

DESIGN REVIEW

Permit info: DSRFY2024-0019

Application Date: 9/11/2024

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

• www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT		PROPERTY OWNER	
Name:	JASON Tomlinson	Name:	WELTON STUART / Tony Caruso
Company:	TD ARCHITECTURE	Company:	INTERSTATE DIESEL
Address:	3083 E. BARBER DR	Address:	112 W. 35th ST.
City:	BOISE	City:	GARDEN City
State:	ID	State:	ID
Zip:	83714	Zip:	83714
Tel.:	208.402.3516	Tel.:	208.809.0305
E-mail:	tomlinsondesigns55@gmail.com	E-mail:	

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☐ Construct New ☒ Addition ☐ Subdivision

Site Address: 112 W. 35th ST.		
Subdivision Name: Fairview Acres Sub No. 4	Lot: 6 & 7	Block: L
Tax Parcel Number: R 2734530070	Zoning: C-2	Total Acres: 0.344 ACRES
Proposed Use: Auto Repair	Floodplain: Yes	No

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

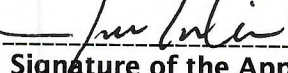
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 3/24/24
Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|---|
| <input type="checkbox"/> Compliance Statement and Statement of Intent | <input type="checkbox"/> Affidavit of Legal Interest |
| <input type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input type="checkbox"/> Site Plan | |
| <input type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> Schematic Drawing | |
| <input type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey | |
| <input type="checkbox"/> Grading Plan | |
| <input type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☒ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- ☒ Location, dimensions and type of signs.
- ☒ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- ☒ Location and dimensions of outdoor storage areas
- ☒ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

No changes
REQD AS
PART of
This
Application

- ☐ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☐ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☐ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location
- ☐ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☒ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☒ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☒ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
- ☐ Two foot (2') contours for the entire proposal site
- ☐ One foot (1') contours for details, including all planimetric features
- ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☐ Existing easement and utility locations
- ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☐ Proposed storm water systems

No changes
to EXIST.
Grades

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- N/A ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- N/A ☐ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.



State of Idaho)
)SS
County of Ada)

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission
to TD ARCHITECTURE, 112 W 35TH ST
Name Address
to submit the accompanying application pertaining to that property.
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Signature Steward Wilson

Subscribed and sworn to before me the day and year first above written

Stephanie Marie Madgens
Notary Public for Idaho

Residing at: Ada County

My Commission expires 07/05/2028



TOMLINSON DESIGNS

3883 E. Barber Dr
Boise, ID 83716
Ph. 208.602.3516

Date: 9/5/2024
To: Garden City P&Z Staff
From: Jason Tomlinson
TD Architecture
3883 E. Barber Dr
Boise, ID 83716
Re: Interstate Diesel Statement of Intent
112 W. 35th St
Garden City, Idaho

This Statement of Intent is in regards to a proposed 1095 sf building addition to an existing 4500 sf building located at 112 W. 35th St. The existing use is a diesel truck repair shop and the proposed expansion would be to expand the shop area with no change in use. The area where the proposed expansion is to take place is currently an exterior truck staging area with asphalt cover where repairs are taking place in outside conditions. The expansion would allow this operation to take place inside and clean up the visual presence on site.

There are no proposed landscape modifications to the site since the proposed expansion is less than 25% of the existing building area. The proposed exterior materials are a combination of fluted CMU block to match the existing building and board and batt siding to create a varied material on the exterior. The roof pitch matches the existing and roofing materials will also match existing. There are no exterior HVAC units to be added, so screening is not an issue. We are proposing multiple glass panels in the new overhead doors facing 35th St and three large picture windows in the new building area facing Brown St. Both of these glazing ratios exceed the required 15% of total wall area. The parking area will remain the same with all parking lot access and asphalt parking areas to remain as existing. Since we will have the same amount of impervious surface area after the addition, the site drainage areas and calculations remain unchanged.

We feel the impact to the neighboring property owners will be an overall improvement. Mechanic practices that are currently taking place outside the building will move to the interior. This will create less noise and an improved visual impact to the site.

If you have any questions, or need additional information regarding this project, please do not hesitate to contact me.

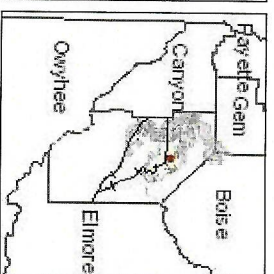
Sincerely,

Jason Tomlinson

TD Architecture

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Legend

- +— Railroad
- Roads (<2,000 scale)
- <all other values>
- Interstate
- Ramp
- Principal Arterial
- Collector
- Minor Arterial
- Local
- Parks
- Alley
- Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels
- raster.DBO.AdaOrthos
- Red: Band_1
- Green: Band_2
- Blue: Band_3
- raster.DBO.AdaOrthos
- Red: Band_1
- Green: Band_2
- Blue: Band_3

8/29/2024

1" = 100'

Map Scale: 1:390.25



Tomlinson Designs

3883 E. BARBER DR
BOISE, ID 83716
ph 208/602-3516

LICENSED
ARCHITECT
AR-15286

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE: 3/12/2018
JASON W. TOMLINSON
STATE OF IDAHO

INTERNATIONAL
DIESEL OF IDAHO

112 W. 35TH ST
GARDEN CITY, ID

SITE PLAN

Sheet Title

Scale

24-012

Project Number

3/21/2024

Date

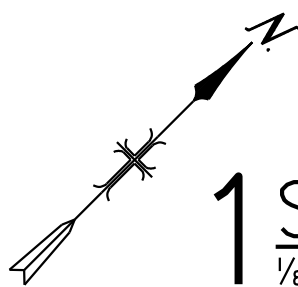
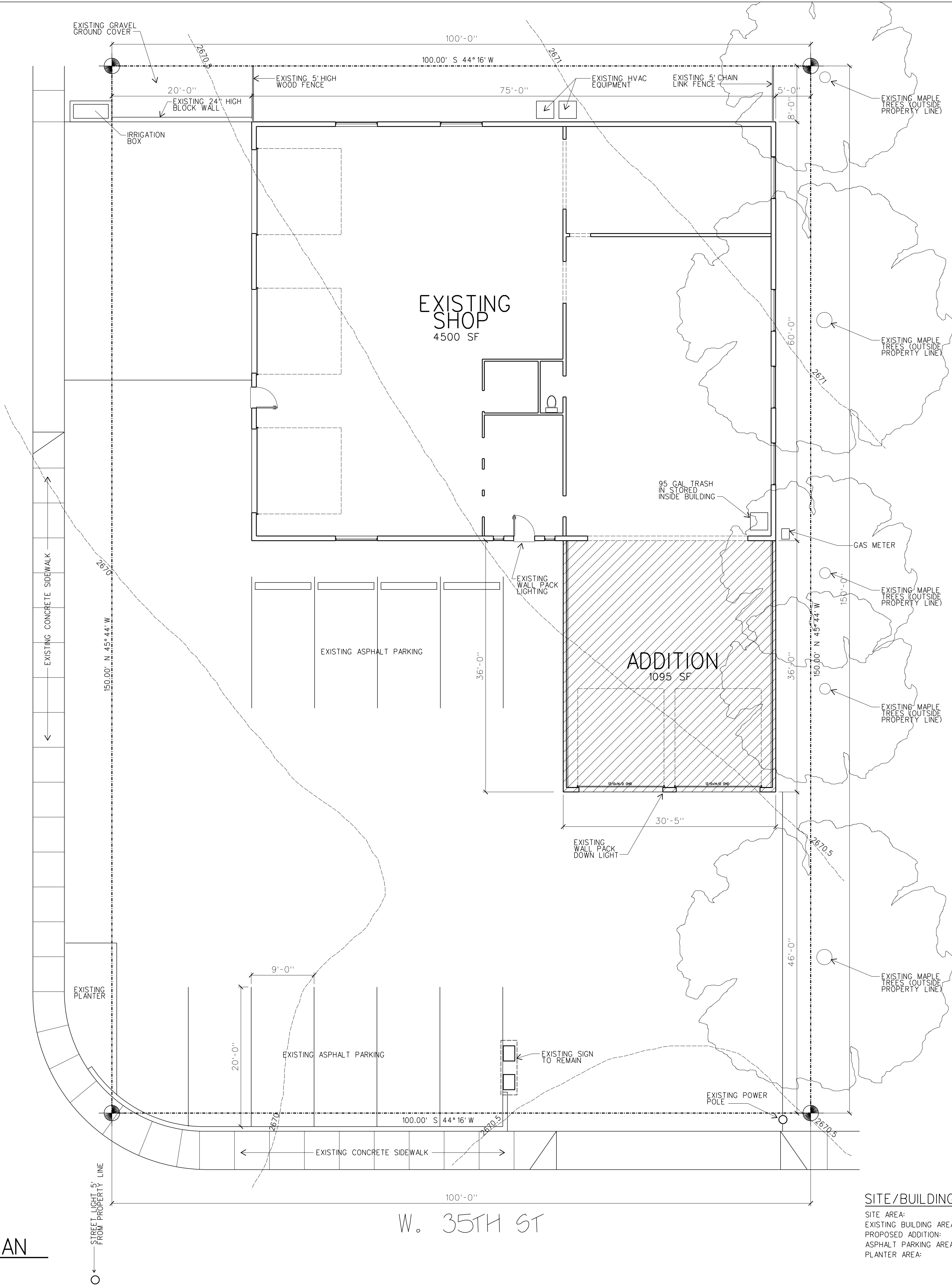
File Name

Revisions

SITE/BUILDING CALCULATIONS

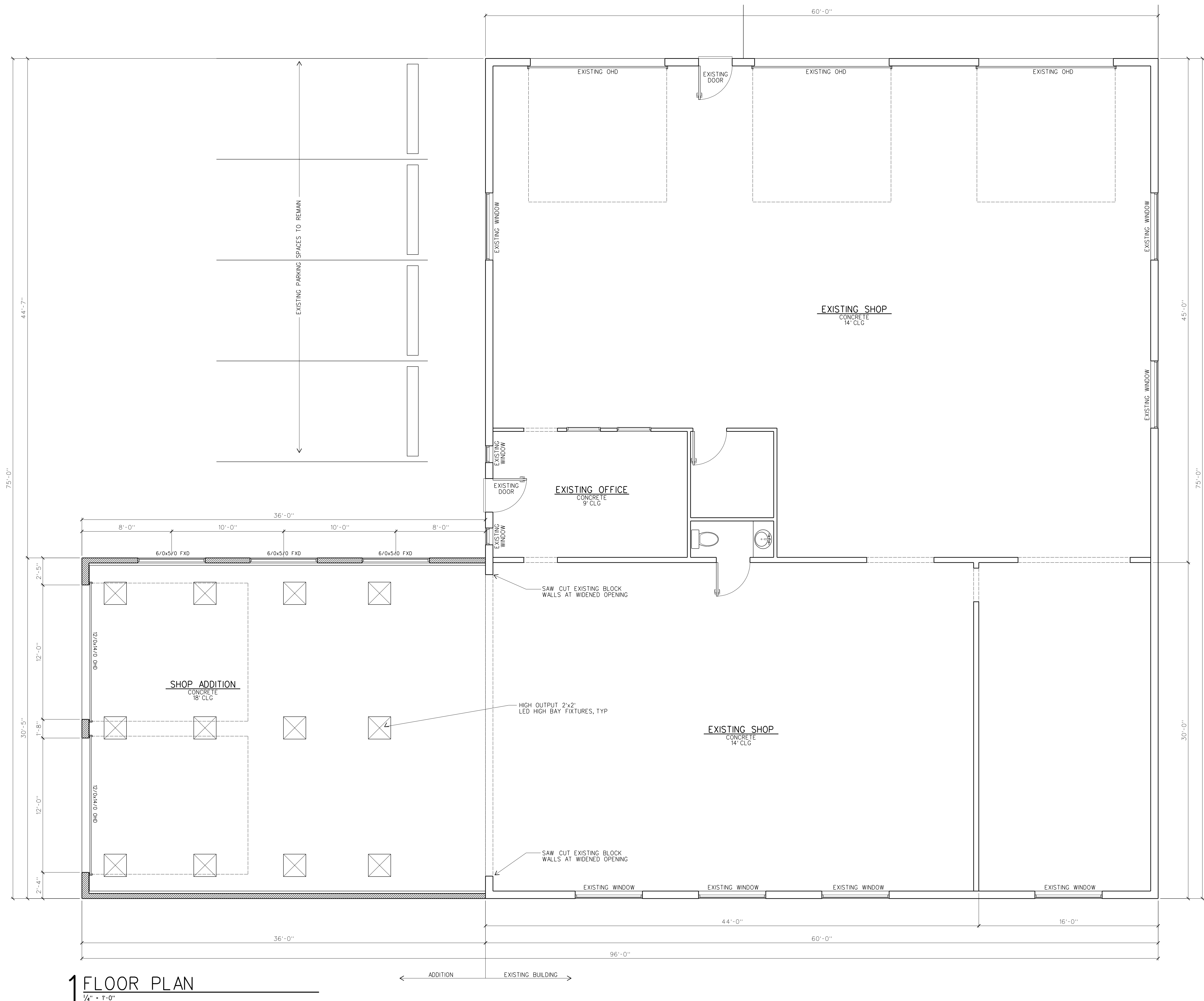
SITE AREA: 15,000 SF
EXISTING BUILDING AREA: 4,500 SF
PROPOSED ADDITION: 1,095 SF (24.3%)
ASPHALT PARKING AREA: 7,802 SF
PLANTER AREA: 1,603 SF

A1.0



1 SITE PLAN/ LANDSCAPE PLAN

1/8" = 1'-0"





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ARCHITECT
AR-15295

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DATE: 3/12/2018
JASON W. TOMLINSON
STATE OF IDAHO

INTERNATIONAL
DIESEL OF IDAHO

112 W. 35TH ST
GARDEN CITY, ID

EXTERIOR ELEVATIONS

Sheet Title

Scale

24-012

Project Number

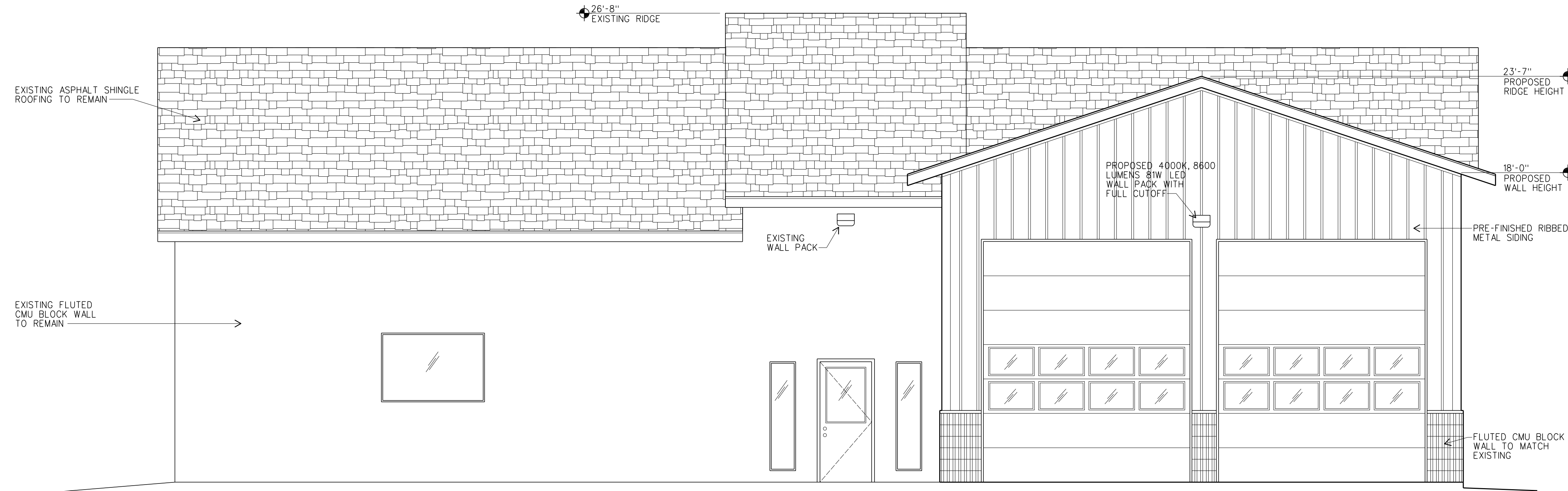
3/21/2024

Date

File Name

Revisions

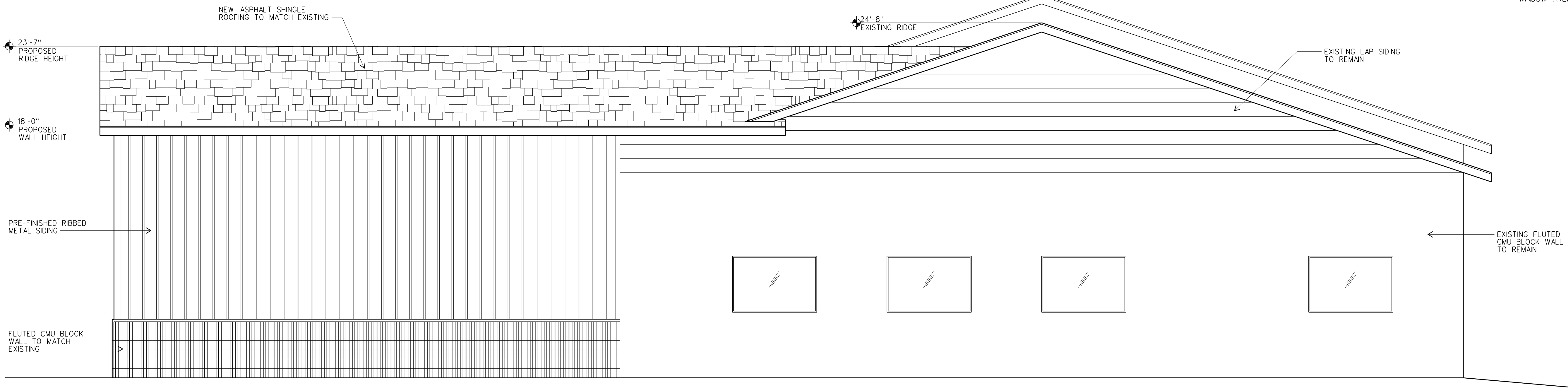
A5.0



1 EAST ELEVATION
1/4" = 1'-0"

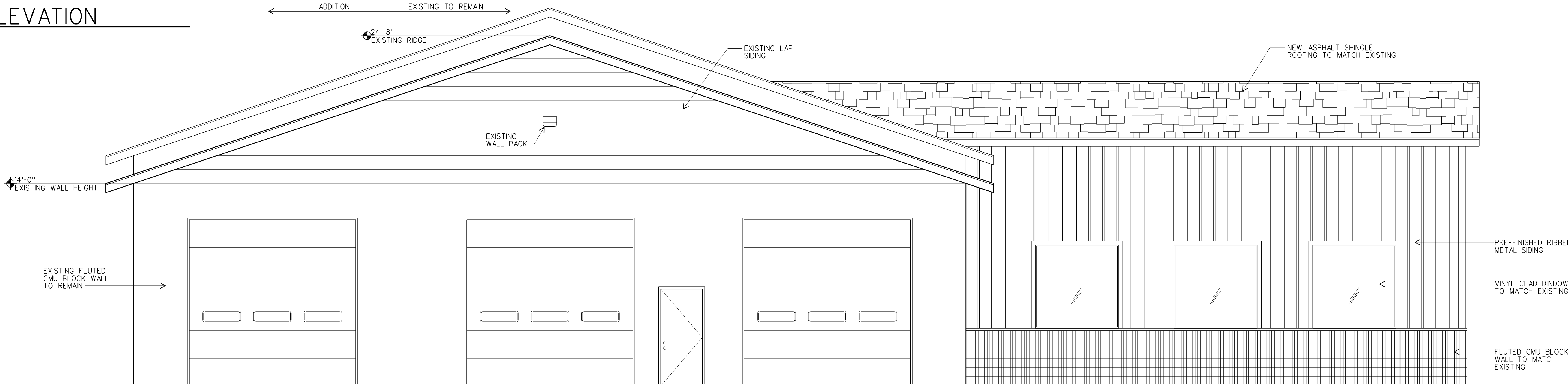
← EXISTING TO REMAIN | ADDITION →

SE ELEVATION MATERIAL RATIOS:
NEW WALL AREA: 616 SF
DOOR AREA: 161 SF (38.0%)
WINDOW AREA: 96 SF (15.6%)



2 NORTH ELEVATION
1/4" = 1'-0"

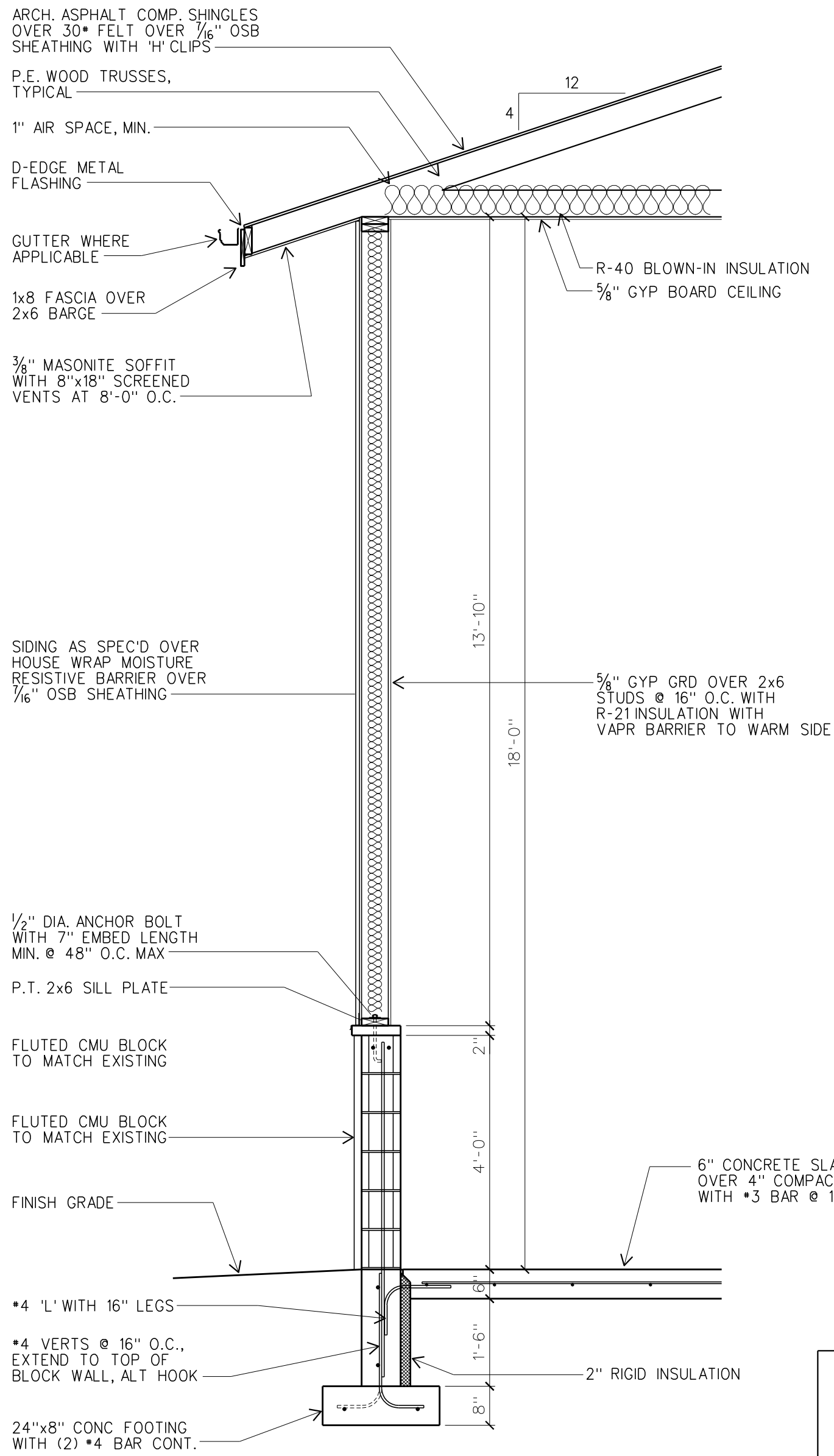
← ADDITION | EXISTING TO REMAIN →



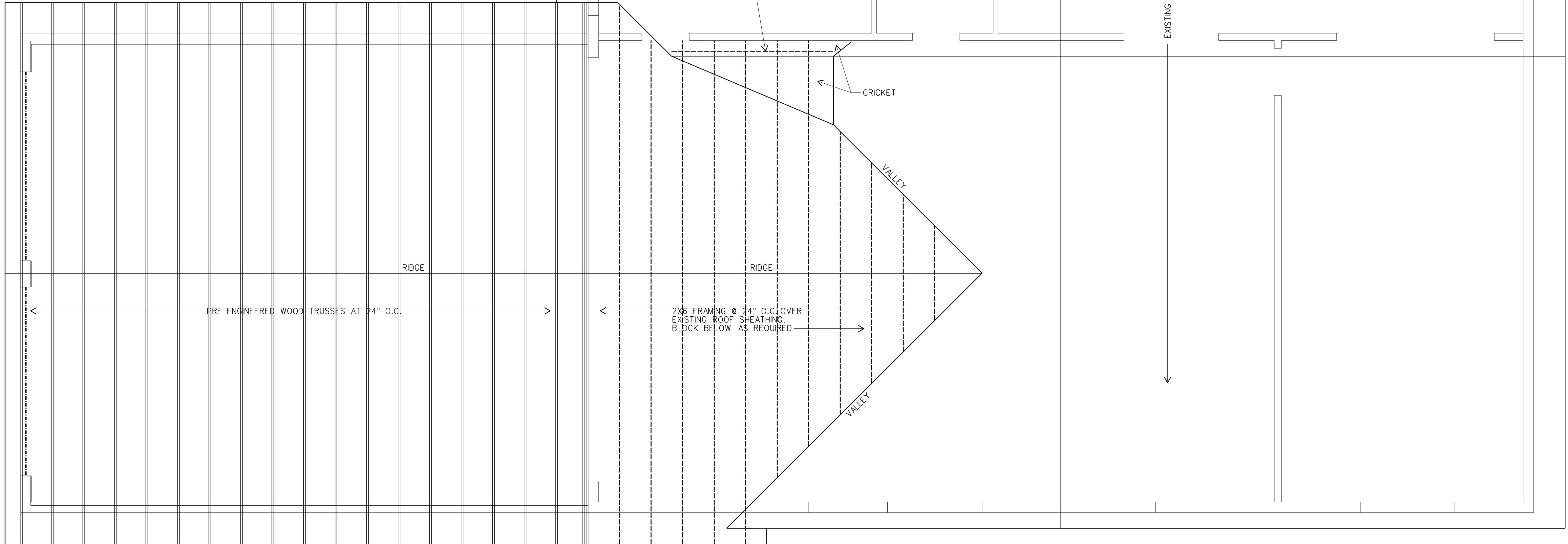
3 SOUTH ELEVATION
1/4" = 1'-0"

← EXISTING TO REMAIN | ADDITION →

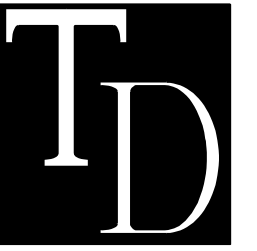
SW ELEVATION MATERIAL RATIOS:
NEW WALL AREA: 630 SF
WINDOW AREA: 108 SF (17.1%)



1 WALL SECTION
1/2" = 1'-0"



1 ROOF FRAMING PLAN
1/4" = 1'-0"



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GARDEN CITY, ID

ROOF FRAMING PLAN

Sheet Title

Scale

24-012

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3/21/2024

Date

File Name

Revisions

A6.0