



## DESIGN REVIEW

Permit info: DSRFY2025-0008

Application Date: 5/7/2025

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
<b>Name:</b> Rennison Companies c/o John Rennison, Zach Turner on behalf of Pacific West Communities, Inc.	<b>Name:</b> Pacific West Communities c/o Caleb Roope
<b>Company:</b> Rennison Companies on behalf of Pacific West Communities, Inc.	<b>Company:</b> Pacific West Communities
<b>Address:</b> 2025 E Riverside Dr., Ste 200	<b>Address:</b> 430 E State Street, Ste 100
<b>City:</b> Eagle	<b>City:</b> Eagle
<b>State:</b> Idaho <b>Zip:</b> 83616	<b>State:</b> Idaho <b>Zip:</b> 83616
<b>Tel.:</b> 208.938.2440	<b>Tel.:</b> 208.461.0022
<b>E-mail:</b> <a href="mailto:john@rennisoncompanies.com">john@rennisoncompanies.com</a> and <a href="mailto:zach@rennisoncompanies.com">zach@rennisoncompanies.com</a>	<b>E-mail:</b> <a href="mailto:dons@tpchousing.com">dons@tpchousing.com</a>

### PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

**Site Address:** 8647 and 8687 W Marigold Street, Garden City, ID 83714

<b>Subdivision Name:</b>	<b>Lot:</b>	<b>Block:</b>
<b>Tax Parcel Number:</b> Pending Application at Garden City	<b>Zoning:</b> R-3	<b>Total Acres:</b> 6.532
<b>Proposed Use:</b> Multi-family housing	<b>Floodplain:</b>	<b>Yes</b> <b>No</b>

The site is located within FEMA Zone X (500-year flood plain)

### OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees, and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 5/6/25  
Signature of the Applicant (date)

 5/6/25  
Signature of the Owner (date)

### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

### **ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |    |   |    |  |
|----|---|----|--|
| 1  | <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                            | 12 | <input checked="" type="checkbox"/> Affidavit of Legal Interest                                      |
| 2  | <input checked="" type="checkbox"/> Neighborhood Map  | 13 | <input checked="" type="checkbox"/> Sustainability Checklist <i>*if applicable</i>                   |
| 3  | <input checked="" type="checkbox"/> Site Plan   |    |  |
| 4  | <input checked="" type="checkbox"/> Landscape Plan  | 14 | <b>INFORMATION REQUIRED MASTER SIGN PLAN:</b>  |
| 5  | <input checked="" type="checkbox"/> Schematic Drawing   |    | <i>*Required for developments of two or more buildings:</i>  |
| 6  | <input checked="" type="checkbox"/> Lighting Plan   |    | <input checked="" type="checkbox"/> Location, elevations, and materials of proposed signage          |
| 7  | <input checked="" type="checkbox"/> Topographic Survey  | 15 | <b>INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:</b>                                   |
| 8  | <input checked="" type="checkbox"/> Grading Plan  |    | <i>*Required if irrigation canal/irrigation ditch runs through property or along property lines:</i> |
| 9  | <input checked="" type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |    | <input checked="" type="checkbox"/> Letter from company indicating approval                          |
| 10 | <input checked="" type="checkbox"/> Ada County Approved Addresses   |    |  |
| 11 | <input checked="" type="checkbox"/> Waiver Request of Application Materials                                 |    |  |





## **PLEASE CHECK THE FOLLOWING:**

### **INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:**

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### **INFORMATION REQUIRED ON SITE PLAN:**

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☒ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- ☒ Location, dimensions and type of signs.
- ☒ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- ☒ Location and dimensions of outdoor storage areas
- ☒ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- ☒ Scale the same as the site plan.
- ☒ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☒ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☒ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☒ Log of square footage of landscaping materials corresponding to location
- ☒ Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☒ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☒ Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☒ Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- ☒ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☒ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- ☒ 11" x 17" size minimum
- ☒ Scale not less than one inch equals twenty feet (1" = 20')
- ☒ Two foot (2') contours for the entire proposal site
- ☒ One foot (1') contours for details, including all planimetric features
- ☒ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☒ Existing easement and utility locations
- ☒ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☒ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☒ Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

- ☒ Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- ☒ Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.





## Design Intent

RE: Antioch Apartments

The proposed development consists of 236 apartments, featuring a mix of 1-, 2-, and 3-bedroom units spread across two buildings. Building amenities will be thoughtfully distributed between both buildings to complement each other. These amenities include a fitness room, a 4th-floor clubroom, co-working spaces, bike storage, a package room, and a pet wash area. A leasing office will be located in Building 1. The U-shaped design of the buildings creates an internal landscaped courtyard for residents, offering gathering spaces and a pergola.

## Cohesive Design

The project promotes visually appealing design that incorporate high-quality architectural character compatible with the city's Architectural guidelines. The community proposes to be sensitive to adjacent anticipated land uses consistent with the goals of city of Garden City.

Buildings are thoughtfully located on the site to highlight amenity spaces, entries from adjacent streets to the north, and internal site view corridors. The building facades are articulated with pedestrian-scale articulation to create a sensitive scale. Attention has been paid to mass, form, and use a variety of materials to ensure the buildings are compatible with each other. Dwelling unit balconies provide visual break to the façade as well as providing required outdoor space. The two buildings are designed to be similar, but not the same as we have articulated the facades slightly and provided alternate but cohesive color schemes.

The project uses a variety of building form techniques to articulate the façade and accentuate key components. Buildings contain texture, detail, and interest to enhance the experience of prospective tenants, residents, and the public.

## Building Form

Building massing is broken up to articulate the building physically and visually, while keeping strong, unifying elements to avoid visual clutter. Walls contain a variety of textures, colors, and patterning for interest. Articulated residential building roof lines break the building scale and define patios and entries. A prominent amenity building roof form creates a primary entry focal point and a visual hierarchy across the site. Primary façade materials are varied, with textured stucco above brick cladding to emphasize base and top. Thoughtfully applied lap siding at building breaks unifies the buildings to further avoid visual clutter. Monotonous wall planes are avoided by providing four-sided articulation, as well as breaks vertically and horizontally. Accessory structures, such as trash enclosures and carports, are designed to complement residential building design through use of compatible color, detail, and materiality. Lighting, wayfinding signage, and a hierarchy of landscape material complement the overall design goals.

### **Building Materials**

The project proposes high-quality materials and complimentary colors to promote a timeless aesthetic that appeals to future tenants while integrating in the neighborhood. Complementary material combinations between amenity building and residential buildings create a cohesive community design.

The project proposes high-quality, durable materials throughout. The residential buildings propose brick cladding and base, cement-fiber wall siding in various textures for interest, generous windows, metal railing and detail accents. A sophisticated, contemporary color palette complements and accentuates building massing. The color palette consists of a historically inspired palette, with a range of complimentary tones that present a quality, timeless character. The thoughtful variation of 2 building color schemes across the site ensures a vibrant, diverse community as visible from exterior views, entry drives and outdoor gathering spaces. Where provided, utility doors are recessed or integrated in the public-facing façades. Mechanical equipment is screened and proposed located away from building entries, entry drives and open spaces where at all possible.

### **Signage and Lighting**

Future wayfinding signage and architectural lighting are designed as unified elements of building designs that contribute to enhance quality, safety and convenience. Building lighting fixtures are designed to be consistent with other decorative hardware proposed in the building. Lighting levels promote safe pedestrian environments along roadways, at intersections, and in public spaces. Building signage is integrated with the overall architectural aesthetic to enhance and complement the community's design. Signage materiality, proportion, and illumination appeal to the pedestrian scale and enhance security.

### **Site Design**

The development also includes nearly 2 acres of outdoor space, which will feature a walking path, a dog park, and open grass areas for recreational activities. This outdoor common space exceeds the minimum requirements and will distinguish the project from others.



February 21<sup>st</sup> 2025

Garden City  
Planning and Zoning Services  
6015 N Glenwood Street  
Garden City, ID 83714

RE: Antioch Apartments  
Compliance Statement

To Whom it May Concern,

We believe that the project submitted for Design Review complies with the zoning district regulations, development regulations, design requirements for multifamily housing, landscaping and tree protection provisions, and open space requirements. Parking requirements are met with stalls located on Parcels 2 and 3, as well as additional parking in the Boise Bible College parking lot. A parking agreement is in place between the two entities.

The proposed development consists of 236 apartments, featuring a mix of 1-, 2-, and 3-bedroom units spread across two buildings. Building amenities will be thoughtfully distributed between both buildings to complement each other. These amenities include a fitness room, a 4th-floor clubroom, co-working spaces, bike storage, a package room, and a pet wash area. A leasing office will be located in Building 1. The U-shaped design of the buildings creates an internal landscaped courtyard for residents, offering gathering spaces and a pergola.

The development also includes nearly 2 acres of outdoor space, which will feature a walking path, a dog park, and open grassy areas for recreational activities. This outdoor common space exceeds the minimum requirements and will distinguish the project from others. The development includes 21% open space and the minimum required is 5%. The road buffer on Marigold Street requires 8 trees and we are providing 17. The development exceeds the minimum number of trees and shrubs throughout the site.

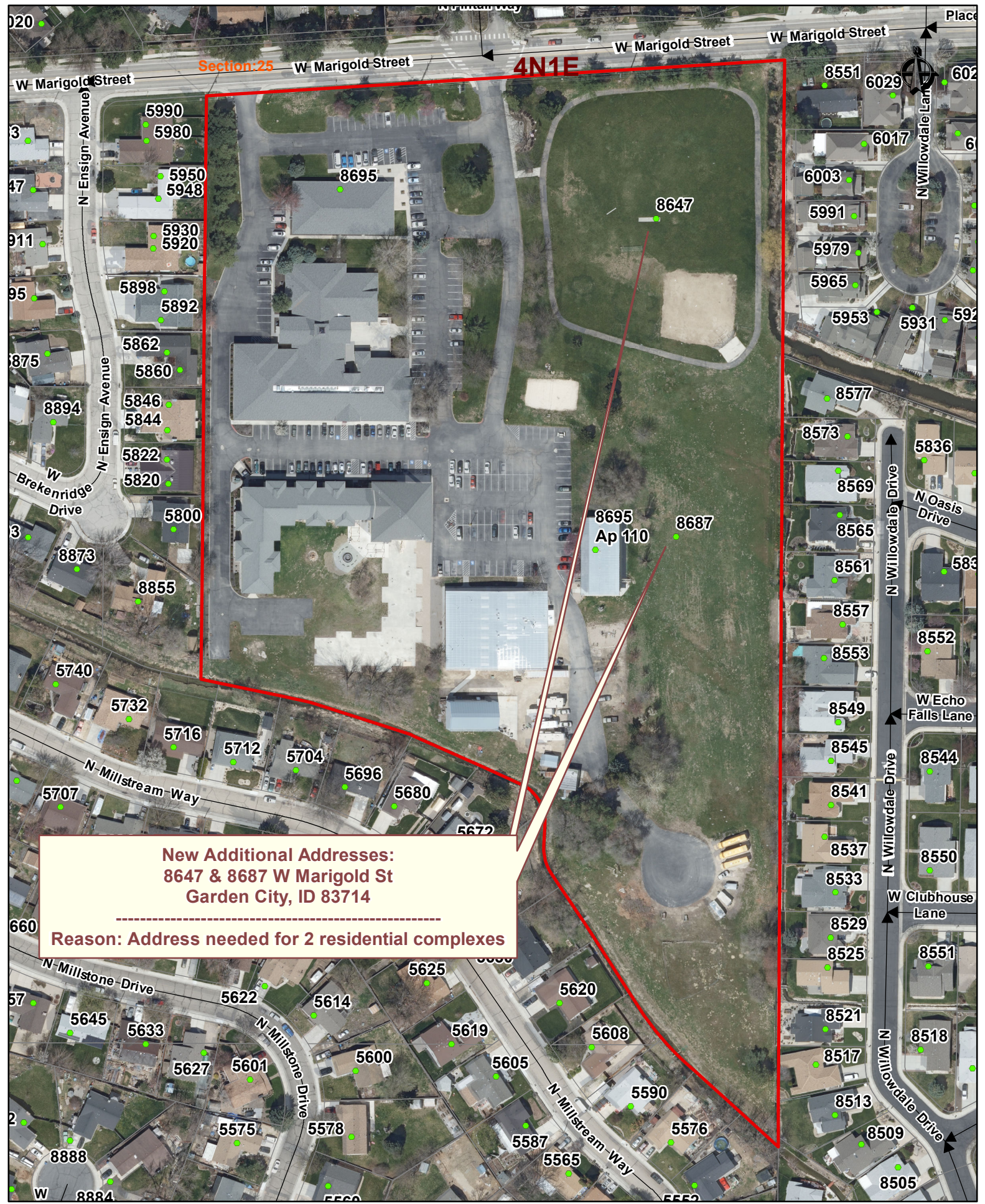
It is our belief that we have conformed to the standards set forth by the city of Garden City. Thank you for your consideration of this application and please contact me if you have any questions.

Respectfully,



Chad Gierhart  
Project Manager  
Pivot North architecture  
(208) 690-3108 x712  
chad@pivotnorthdesign.com





**New Additional Addresses:**  
8647 & 8687 W Marigold St  
Garden City, ID 83714

**Reason: Address needed for 2 residential complexes**



This map is made from data copyrighted by Ada County. Ada County shall not be liable for inaccuracies or misuse of this map. Maps bearing this disclaimer may be photocopied freely. However, use in any digital form requires the written permission of Ada County.

**New Address Effective: 5/8/2024**

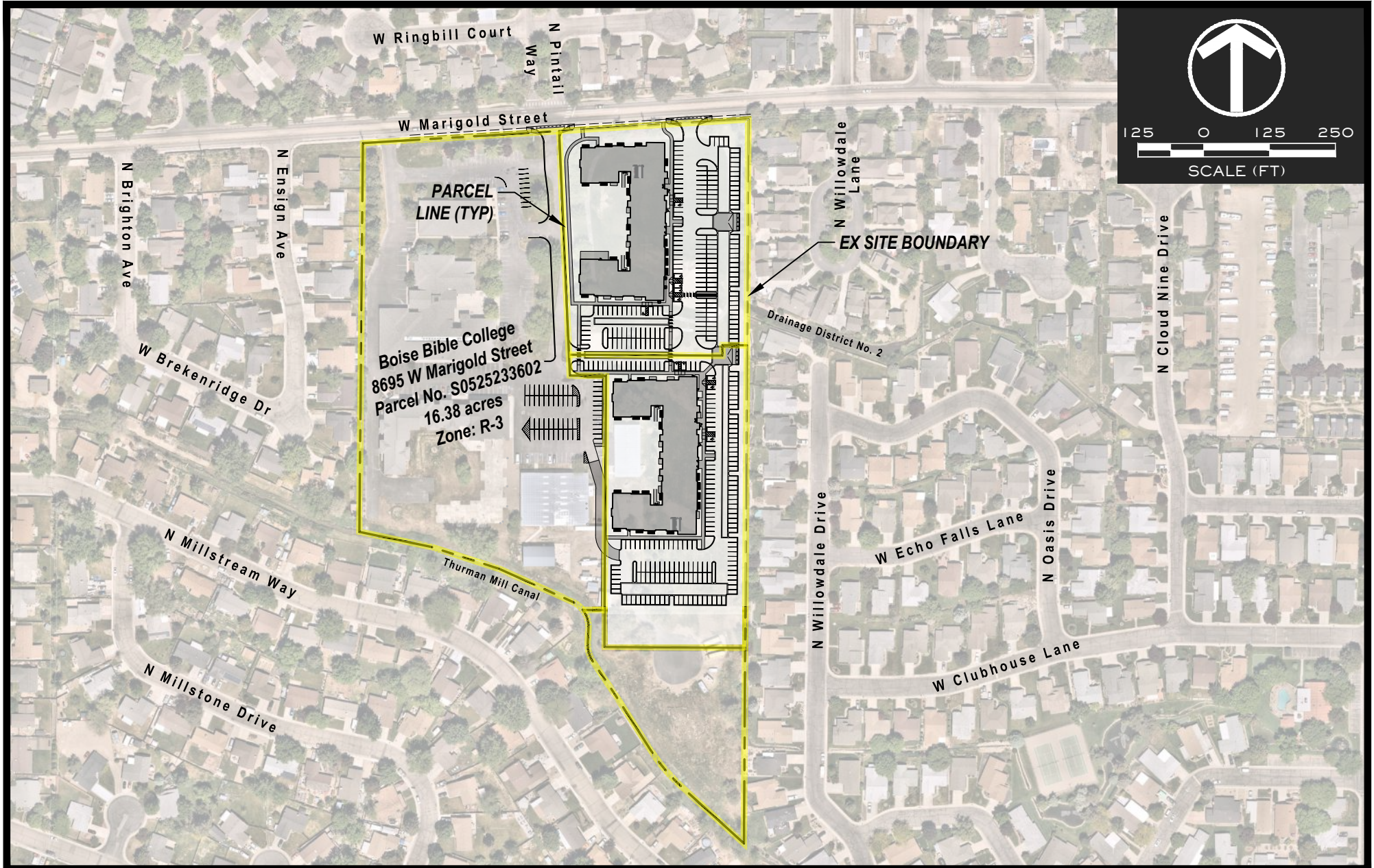
1 inch = 151 feet

ADA COUNTY ASSESSOR  
Land Records Division  
Geographic Information Systems  
190 E. Front Street, Ste. 107  
Boise, ID 83702

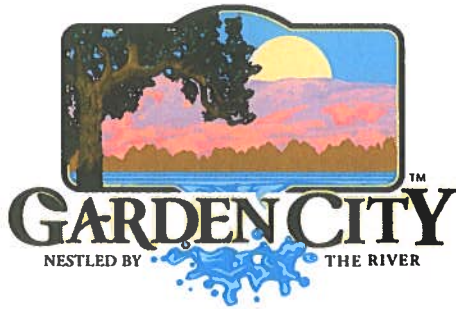


# Antioch Apartments | Neighborhood Map

GARDEN CITY, IDAHO







## CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714  
Phone 208/472-2900 • Fax 208/472-2996

5 June 2024

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **8647 and 8687 West Marigold Street**  
**Parcel Number S0525233602**  
**Conditional Water and Sanitary Sewer Ability to Serve**  
**ATSFY2024-0019**

I am a consultant (employed by Centurion Engineers) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours (fire hydrant 8068) based upon a letter dated 25 March 2024 from the Garden City Public Works Water Division. Should the North Ada County Fire and Rescue District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and/or propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system in the area has very limited capacity to serve any expansion in the immediate service area. There are two areas of concern to address to be able to serve this property with any expansion:

- The site is served by Monitoring Station #8 – this station is at capacity and not able to accept additional flows
- The site is served by the Ruby Lift Station – this station is at capacity and not able to accept additional flows

**The above issues will need to be addressed before the city will be able to approve expanded sewer service to the site. We suggest that a meeting occur between the landowner and the city to discuss the above issues in more detail.**

In addition, any new sanitary mainline extensions or sewer service connections must be coordinated, reviewed and approved by the city prior to installation. The applicant must verify location and available grade to the city sewer system. Design and installation is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS  
Centurion Engineers, Inc.  
Garden City Engineer

ec. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City

Mr. Chad Vaughn  
Garden City Public Works Water Division

## Bryan Appleby

---

**From:** allen fun <allenfun50@hotmail.com>  
**Sent:** Thursday, May 23, 2024 3:57 PM  
**To:** Bryan Appleby  
**Subject:** Re: Boise Bible College -- Proposed DD#2 Ditch Tiling

**Bryan;**

**We have gone over the plans and approved.  
Please let this serve as authorization to proceed , pending  
the license agreement with the drain district.**

**allen  
d.d.#2**

---

**From:** Bryan Appleby <bryan@rennisoncompanies.com>  
**Sent:** Monday, May 20, 2024 10:37 AM  
**To:** allenfun50@hotmail.com <allenfun50@hotmail.com>  
**Cc:** Zach Turner <zach@rennisoncompanies.com>  
**Subject:** RE: Boise Bible College -- Proposed DD#2 Ditch Tiling

Good Morning, Allen –

I'm following up on my email below. We're looking for a response confirming that DD#2 is in general agreement with the proposed improvements and that the summary below is accurate.

---

**BRYAN APPLEBY, PE | Civil Engineer**



**ADDRESS:** 2025 E Riverside Drive, Suite 200 | Eagle, Idaho 83616  
**MOBILE:** 208.484.3747 | **EMAIL:** [Bryan@RennisonCompanies.com](mailto:Bryan@RennisonCompanies.com)

---

**From:** Bryan Appleby  
**Sent:** Monday, May 13, 2024 4:14 PM  
**To:** allenfun50@hotmail.com  
**Cc:** Zach Turner <zach@rennisoncompanies.com>  
**Subject:** Boise Bible College -- Proposed DD#2 Ditch Tiling

Allen,

Thank you again for meeting earlier today to discuss the plans to tile the Drainage District No. 2 (DD#2) ditch on the Boise Bible College property. Please see the project summary below along with a summary of our discussion today.



Our design team soon plans to submit a Design Review application to the City of Garden City for an apartment project located on the Boise Bible College property. As part of our application, we need to provide documentation to the City that DD#2 is aware of our proposed plans for their facilities and is in general agreement with those plans.

We are proposing to fill the existing DD#2 open drainage ditch in the northeast corner of the site and install 18-inch piping approximately 38 feet off the east site boundary (under the proposed parking lot). The piping would tie into the existing 18-inch system running along the south side of Marigold Street. In order to draw down the water table in this part of Garden City, you requested that the 18-inch piping be perforated and placed on 3/4" chip bedding with filter fabric.

The attached drawing shows the proposed ditch tiling location along with preliminary design elevations and slopes.

We understand that upon further design of the proposed site improvements, we will be required to provide the design drawings to DD#2 for review and approval and then enter into a license agreement, which will be prepared by DD#2's attorney, Bryce Farris at Sawtooth Law.

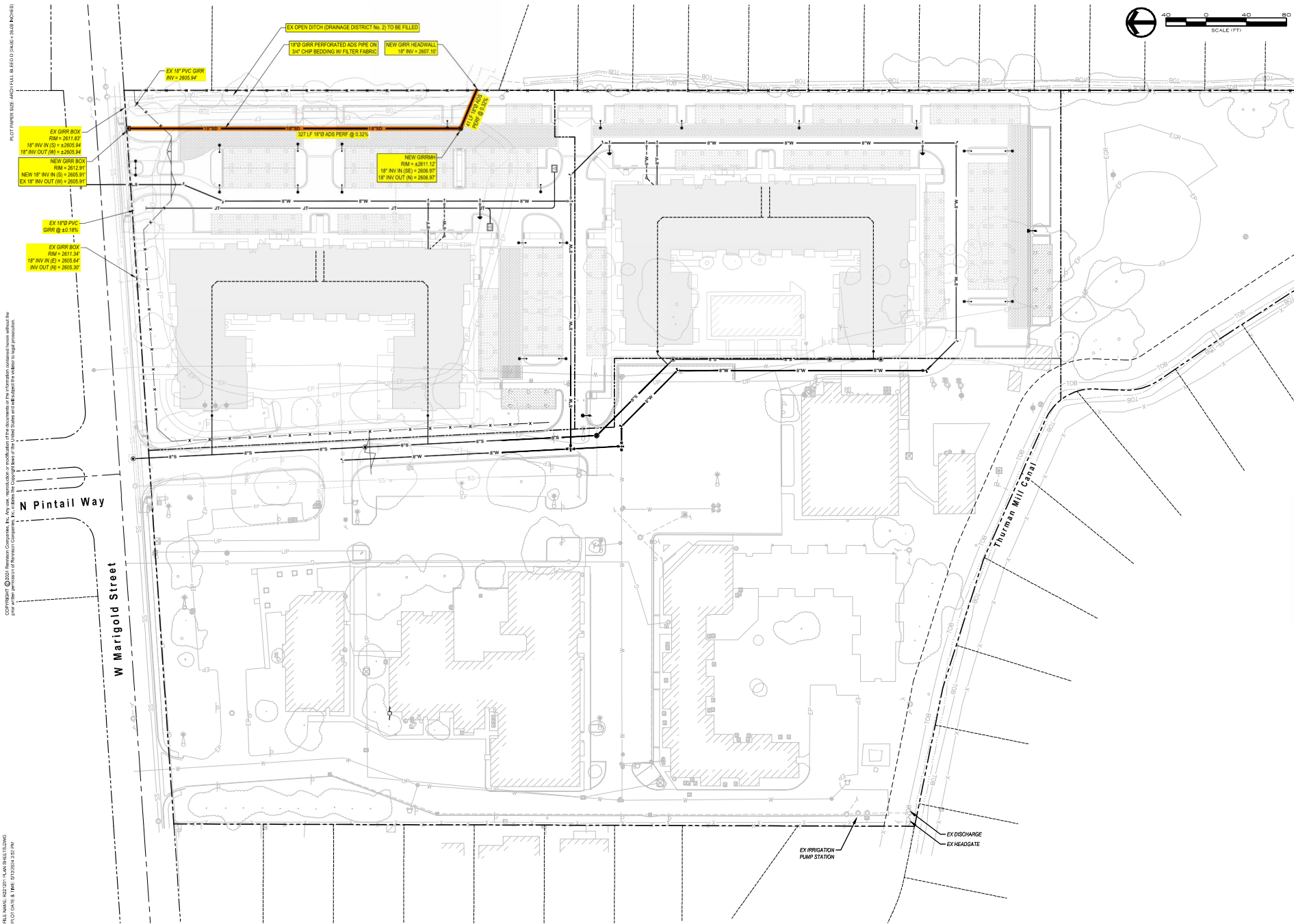
Please confirm that DD#2 is in general agreement with the proposed improvements and that the summary above is accurate.

---

**BRYAN APPLEBY, PE** | Civil Engineer



**ADDRESS:** 2025 E Riverside Drive, Suite 200 | Eagle, Idaho 83616  
**MOBILE:** 208.484.3747 | **EMAIL:** [Bryan@RennisonCompanies.com](mailto:Bryan@RennisonCompanies.com)



PLANTING: 1/2" = 1' SCALE  
PLOT DATE: 8/1/2024  
PLOT BY: J. J. JENSEN

CONTRACTOR: J. J. JENSEN & ASSOCIATES, INC.  
PROJECT: BOISE BIBLICAL COLLEGE APARTMENTS  
SHEET: C5.0



**RENNISON  
DESIGN**  
2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616

Design Review Drawings for:

## Boise Bible College Apartments

8695 W Marigold Street, Garden City, Idaho



**PACIFIC  
WEST  
COMMUNITIES**

Description	Date



Drawing Set Issued for:  
**DESIGN REVIEW**

Project No.	8221201
Issued Date	04 JUNE 2024
Drawn by	BEA

Sheet Title

Ditch Tiling  
Plan

Sheet Number

# C5.0





**CIVIL ENGINEER**  
RENNISON DESIGN  
CONTACT: BRYAN APPELBY, PE  
2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616  
(208) 484-3741  
bryan@rennisoncompanies.com



**SURVEYOR**  
IDAHO SURVEY GROUP  
CONTACT: CODY MCCAMMON, PLS  
5955 W EMERALD STREET  
BOISE, IDAHO 83704  
(208) 846-8570  
codym@idahosurvey.com



**OWNER'S REPRESENTATIVE**  
RENNISON COMPANIES  
CONTACT: ZACH TURNER  
2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616  
(208) 596-1614  
zach@rennisoncompanies.com



**NOTES**

- REFER TO ALTA-NSPS LAND TITLE SURVEY FOR 8695 W MARIGOLD STREET, PREPARED BY IDAHO SURVEY GROUP, DATED APRIL 23, 2022, FOR THE FOLLOWING INFORMATION NOT SHOWN THIS SHEET:
  - EASEMENTS.
  - ABOVE- AND BELOW-GROUND UTILITIES.
  - PROPERTY BOUNDARY, DIMENSIONS, SETBACKS, AND PARCEL SIZE.
  - LABELED BUILDING DIMENSIONS.
  - BUILDING SQUARE FOOTAGES.
  - FENCE LOCATIONS.
  - PARKING STALL COUNTS.
- REFER TO RECORD OF SURVEY PREPARED BY IDAHO SURVEY GROUP, DATED APRIL 2024, FOR DIMENSIONS OF PROPOSED PARCELS.
- REFER TO SITE LIGHTING PLAN PREPARED BY OTHERS FOR EXISTING SITE EXTERIOR LIGHTING.
- THURMAN MILL CANAL (aka THURMAN DRAIN) IS UNDER THE JURISDICTION OF THURMAN MILL DITCH COMPANY, LTD. THE DRAINAGE DITCH IN THE NORTHEAST CORNER OF THE PROPERTY IS UNDER THE JURISDICTION OF DRAINAGE DISTRICT No. 2.
- A LICENSE AGREEMENT BY AND BETWEEN DRAINAGE DISTRICT No. 4 AND BOISE BIBLE COLLEGE, INC., RECORDED SEPTEMBER 13, 2006, INSTRUMENT No. 106146814, ALLOWS FOR SOME PRE-TREATED STORMWATER DISCHARGE TO THE THURMAN MILL CANAL. NO CHANGES ARE PROPOSED TO THE EXISTING DISCHARGE.

Description	Date





Sheet A-1

NOT TO SCALE

# ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

## BUILDING 1

NORTH EAST CORNER

**pivot north**





Sheet A-2

NOT TO SCALE

# ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

**BUILDING 2** NORTH EAST CORNER

**pivot north**





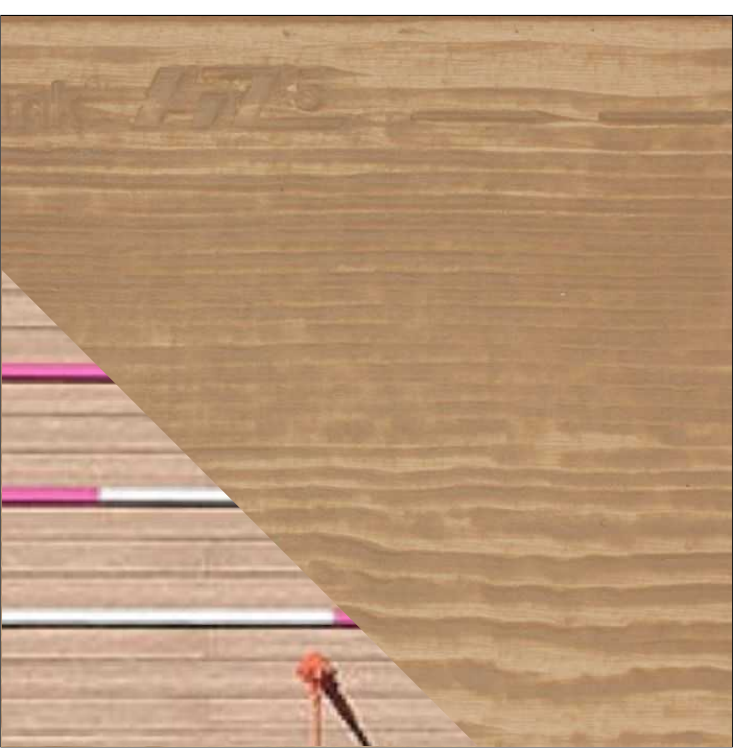
1. EXTERIOR PLASTER,  
SAND FINISH



2. RUNNING BOND FACE BRICK  
W/ SOLDIER COURSE WAINSCOT  
MISSION FINISH  
COLOR: PEWTER BY INTERSTATE BRICK



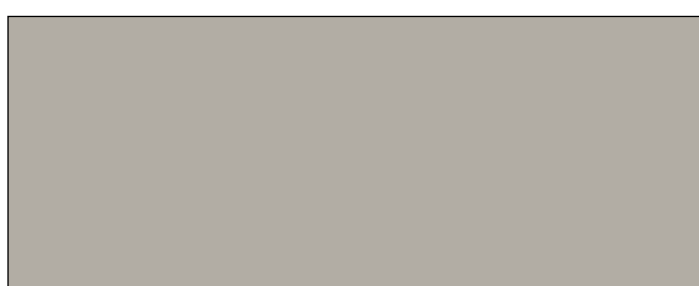
3. RUNNING BOND FACE BRICK  
W/ SOLDIER COURSE WAINSCOT  
MISSION FINISH  
COLOR: COAL CREEK BY INTERSTATE BRICK



4. CEMENTITIOUS WOOD GRAIN  
LAP SIDING, STAINED  
COLOR: SAND CASTLE  
RUSTIC SERIES BY WOODTONE



5. VINYL OR COMPOSITE WINDOW,  
COLOR: BLACK EXT. WHITE INT.



A. PUSSYWILLOW  
SHERWIN WILLIAMS SW7643



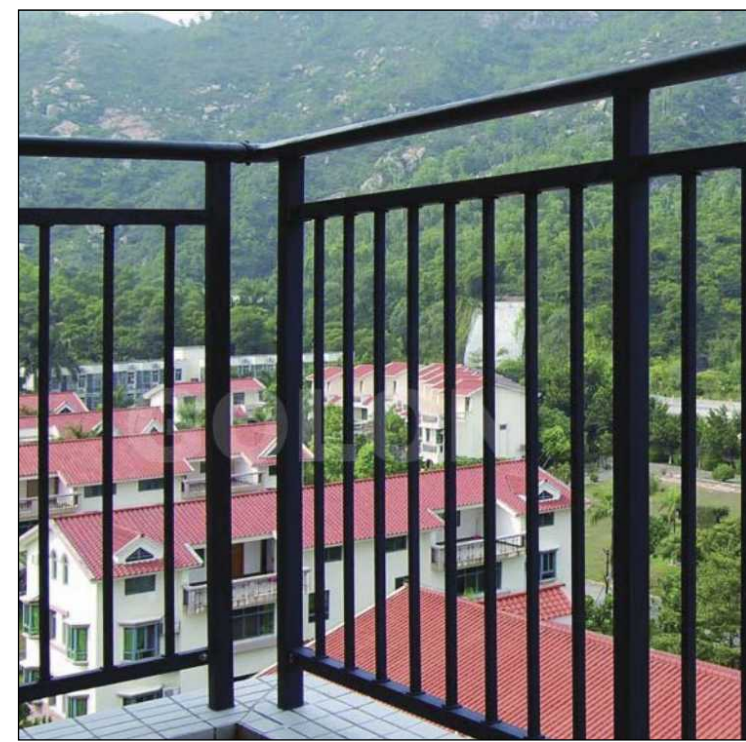
B. URBANE BRONZE  
SHERWIN WILLIAMS SW7048



C. DOVETAIL  
SHERWIN WILLIAMS SW7018



D. IRON ORE  
SHERWIN WILLIAMS SW7069



6. PAINTED TUBE STEEL  
BALCONY RAILING



7. PLASTER AWNING



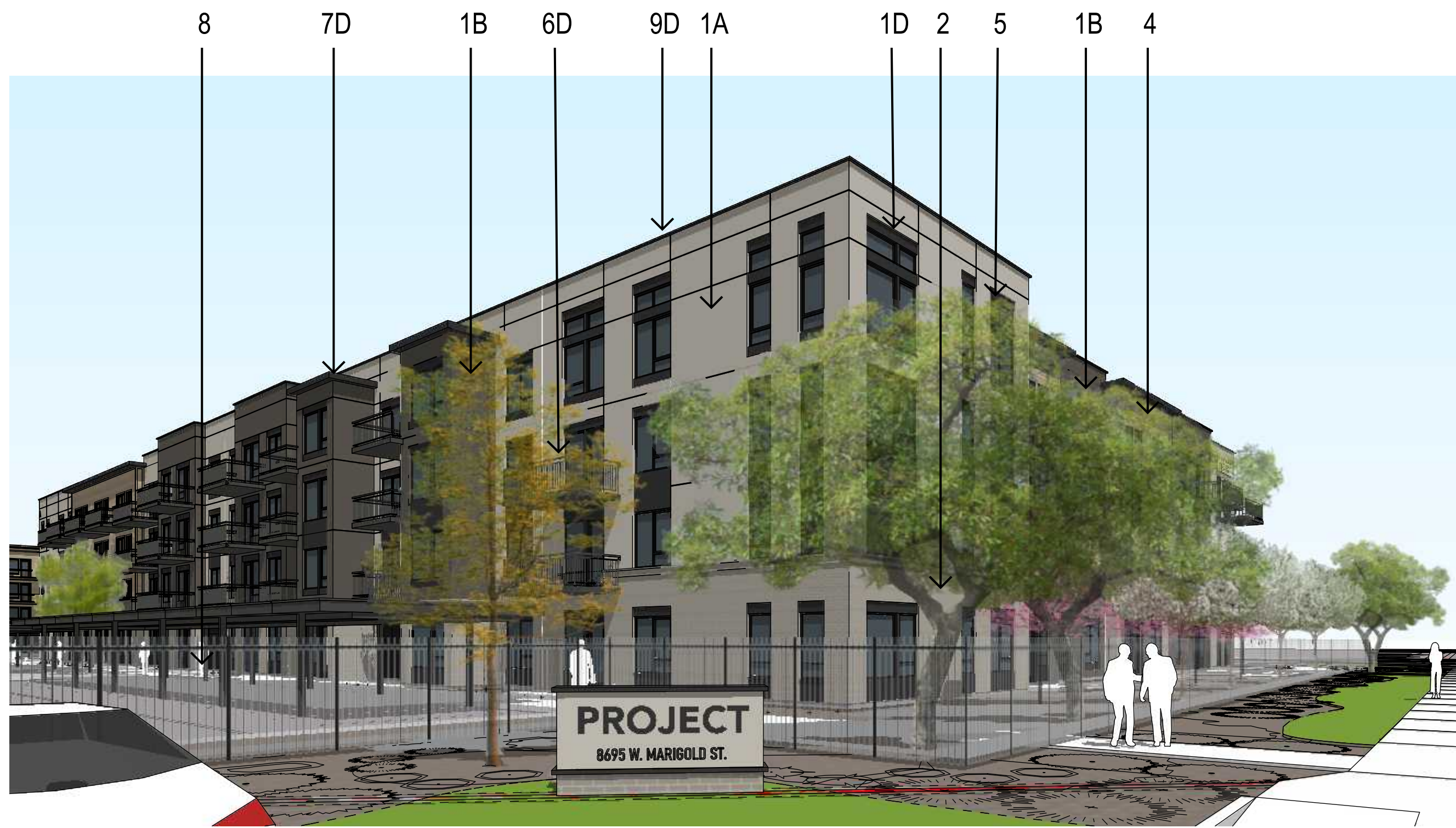
8. ALUMINUM STOREFRONT  
COLOR: STANDARD DARK BRONZE



9. PLASTER OVE EIFS TRIM

NOTE: NUMBERS DENOTE MATERIAL,  
LETTERS DENOTE COLOR.

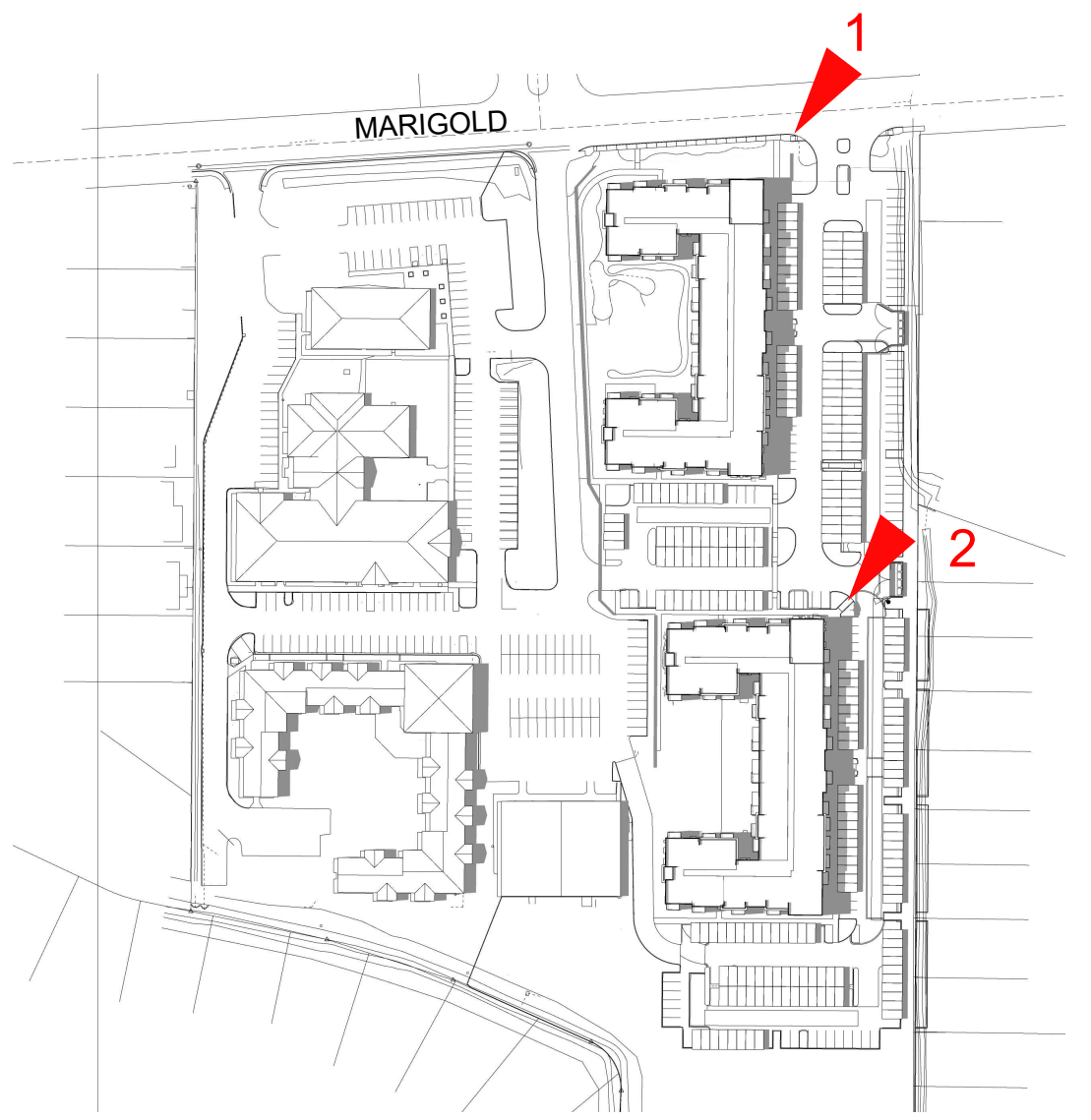
ALL MATERIALS AS NOTED OR OWNER  
APPROVED EQUAL



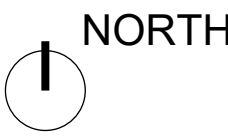
VIEW 1. LOOKING SW TO BUILDING 1



VIEW 2. LOOKING SW TO BUILDING 2



KEYPLAN







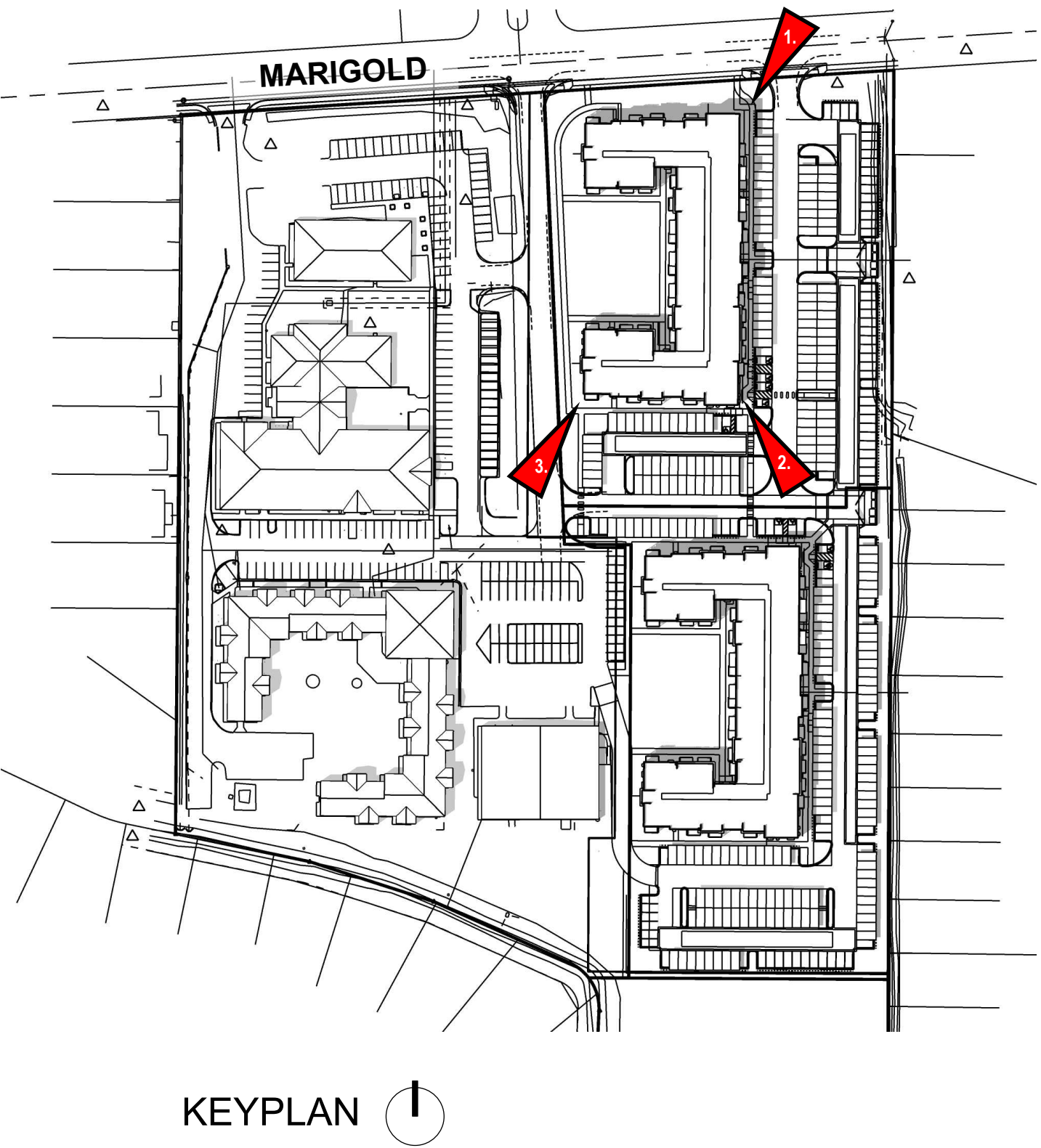
1. VIEW LOOKING SOUTH-WEST TO BUILDING 1



2. VIEW LOOKING NORTH-WEST TO BUILDING 1



3. VIEW LOOKING NORTH-EAST TO BUILDING 1







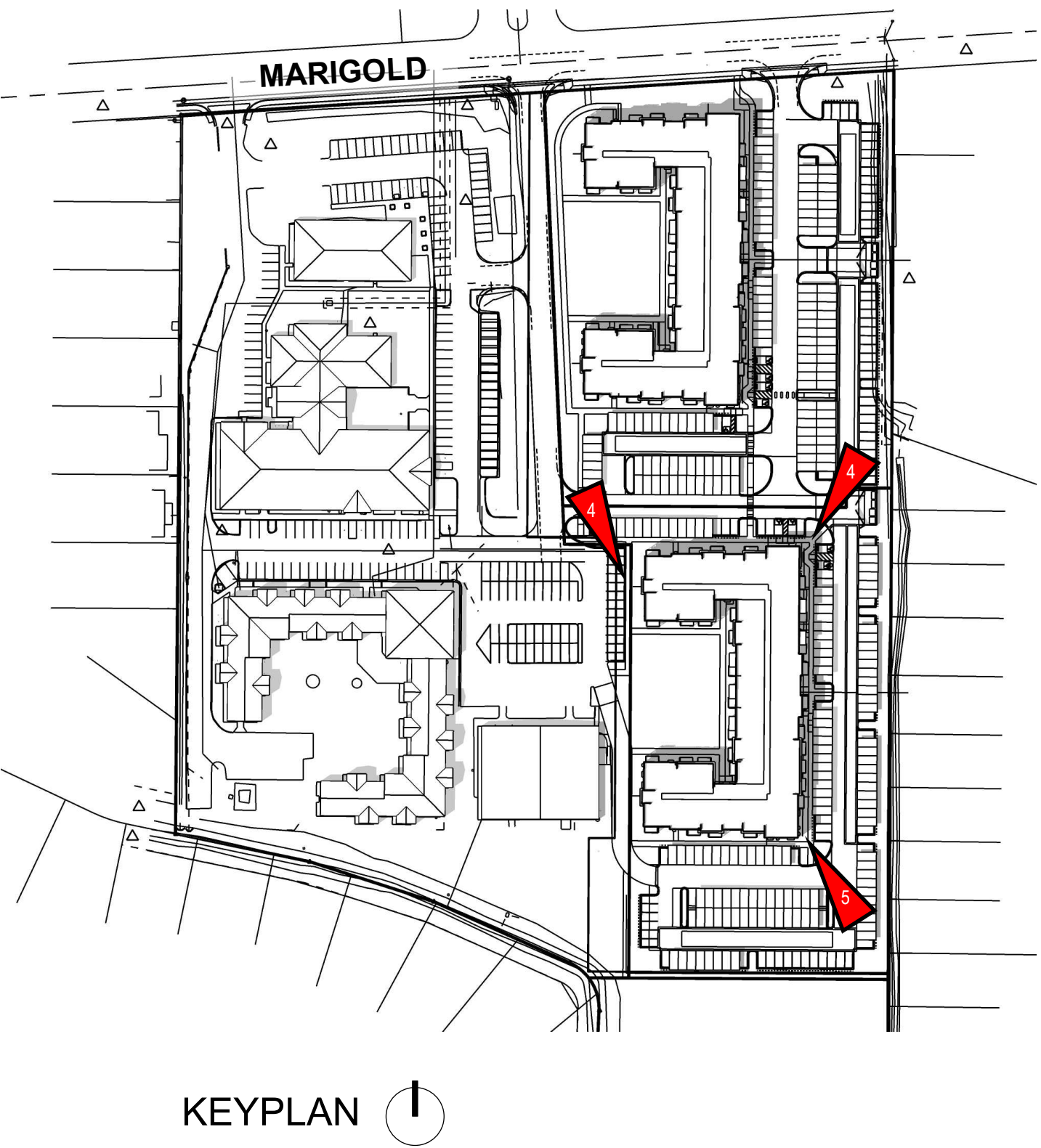
4. VIEW LOOKING SOUTH-WEST TO BUILDING 2



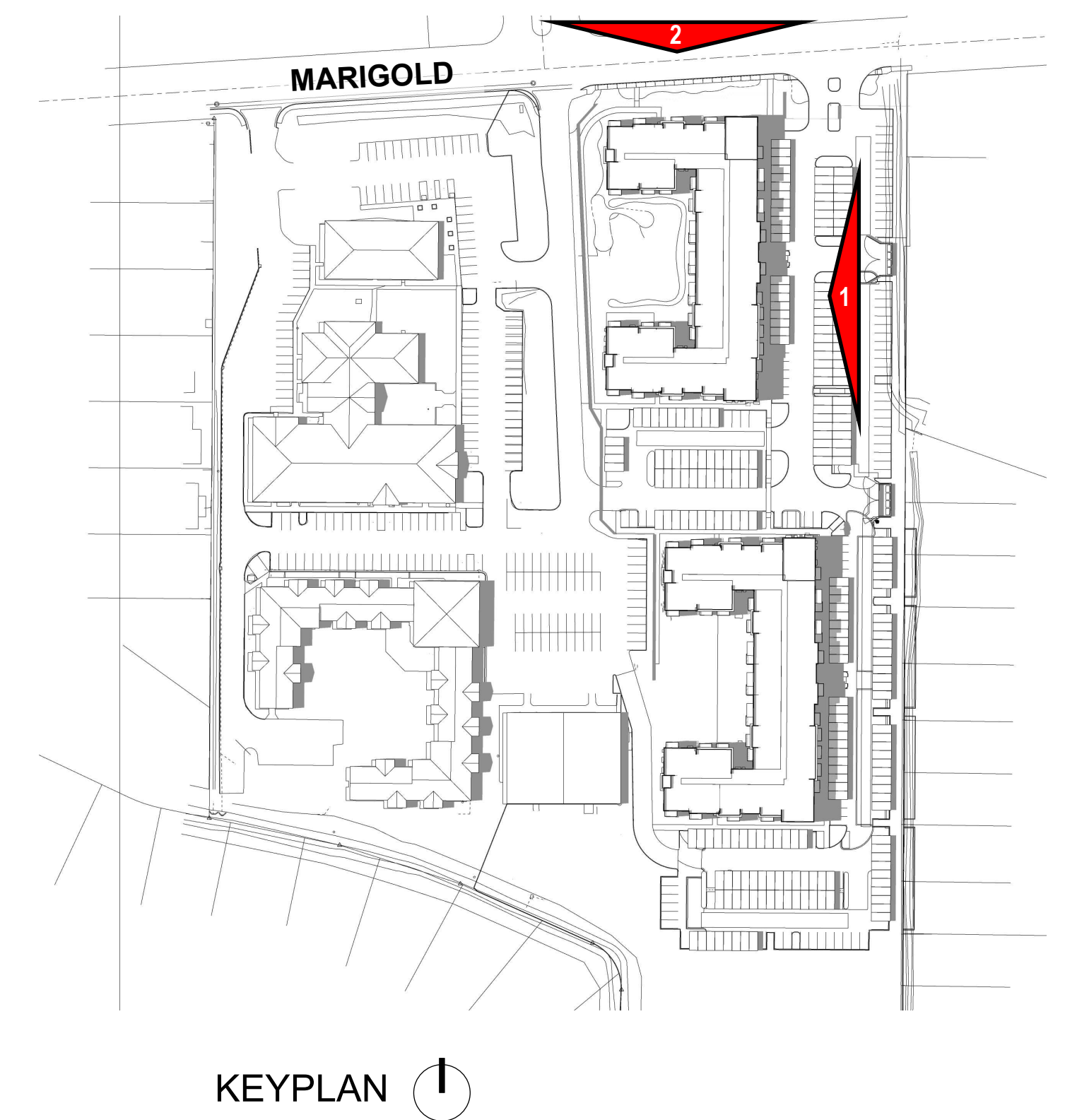
5. VIEW LOOKING NORTH-WEST TO BUILDING 2



6. VIEW LOOKING SOUTH-EAST TO BUILDING 2







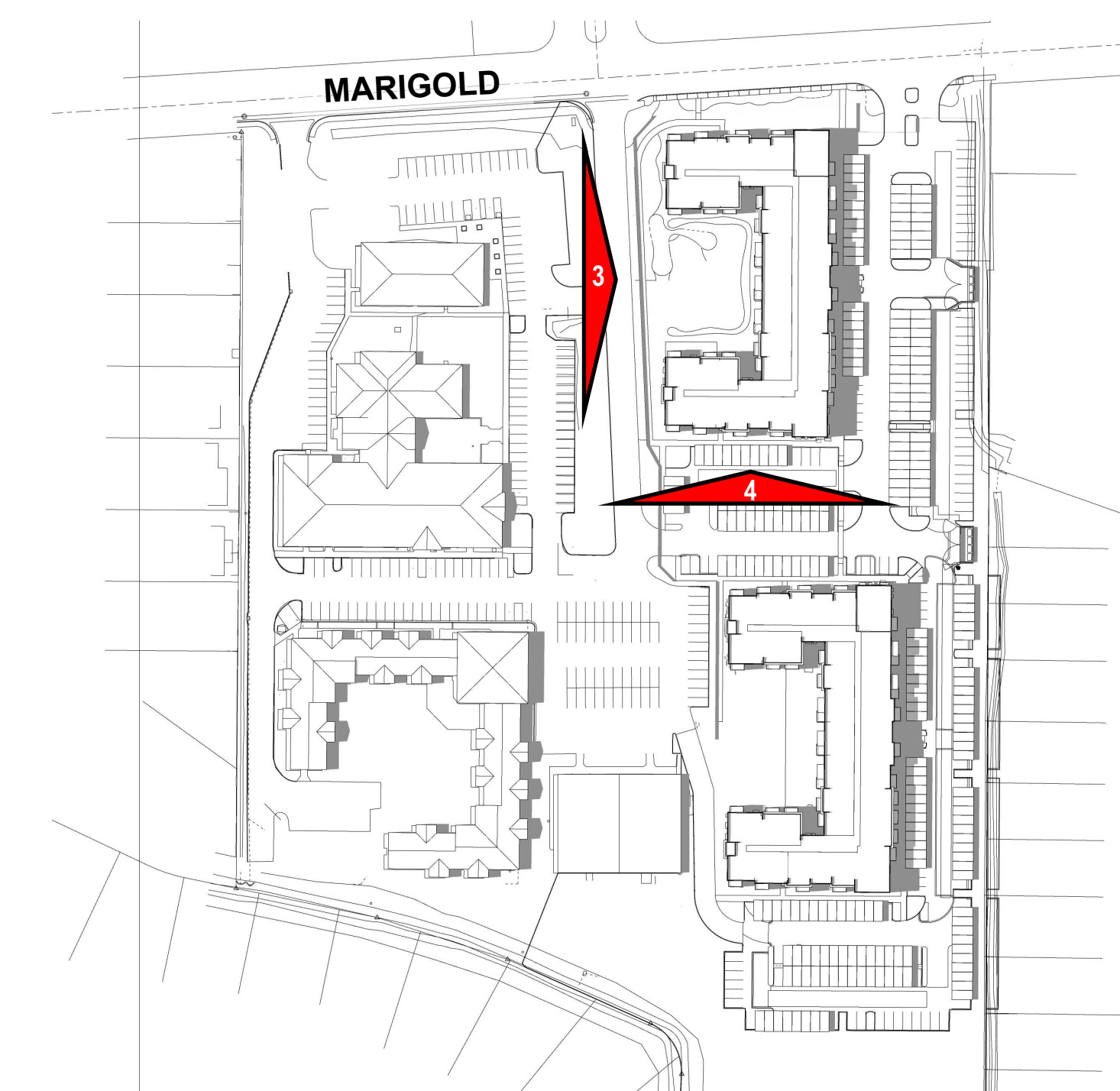




3. WEST (INTERIOR DRIVE) ELEVATION



4. SOUTH ELEVATION



KEYPLAN

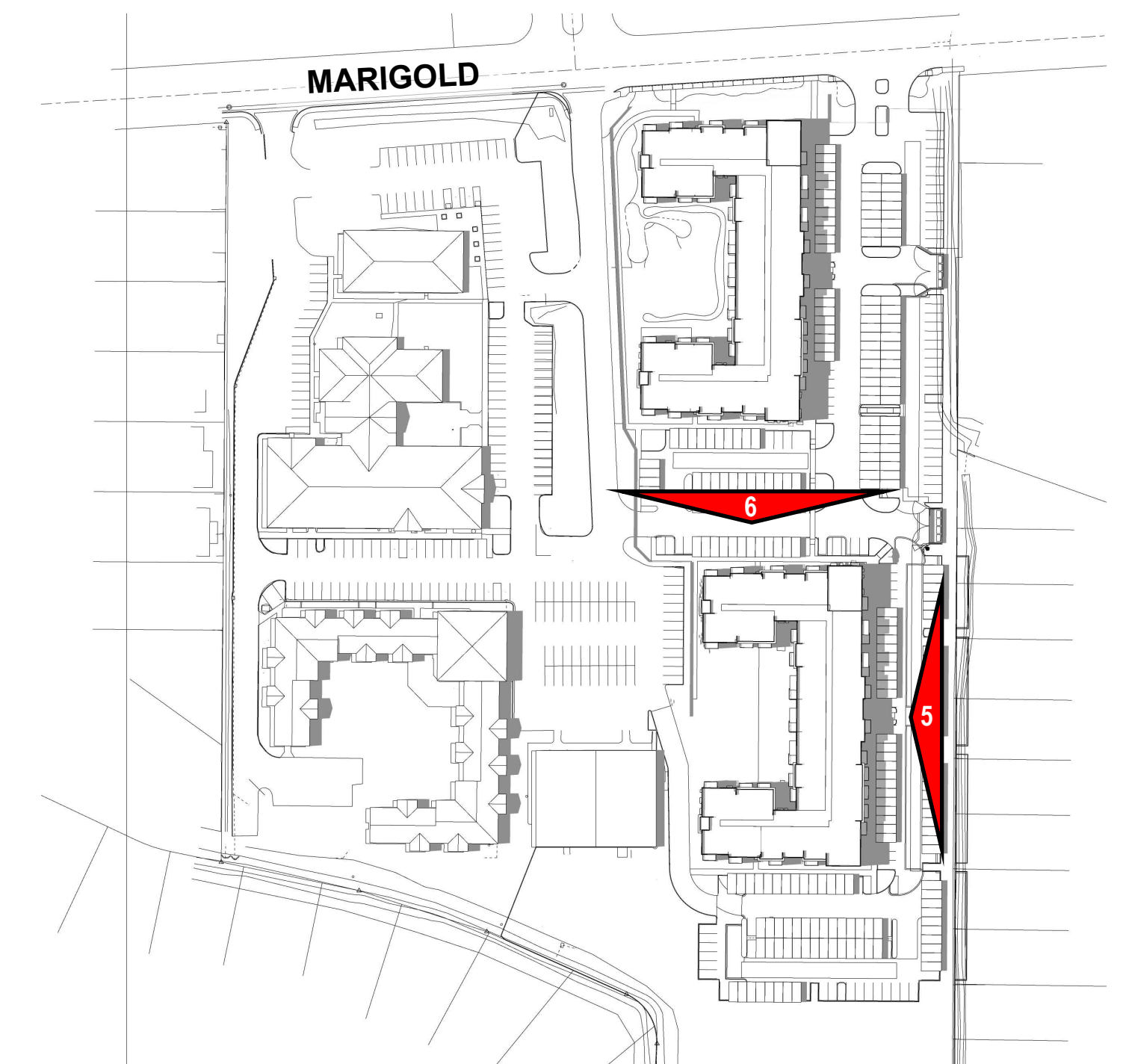




5. EAST ELEVATION



6. NORTH ELEVATION



KEYPLAN

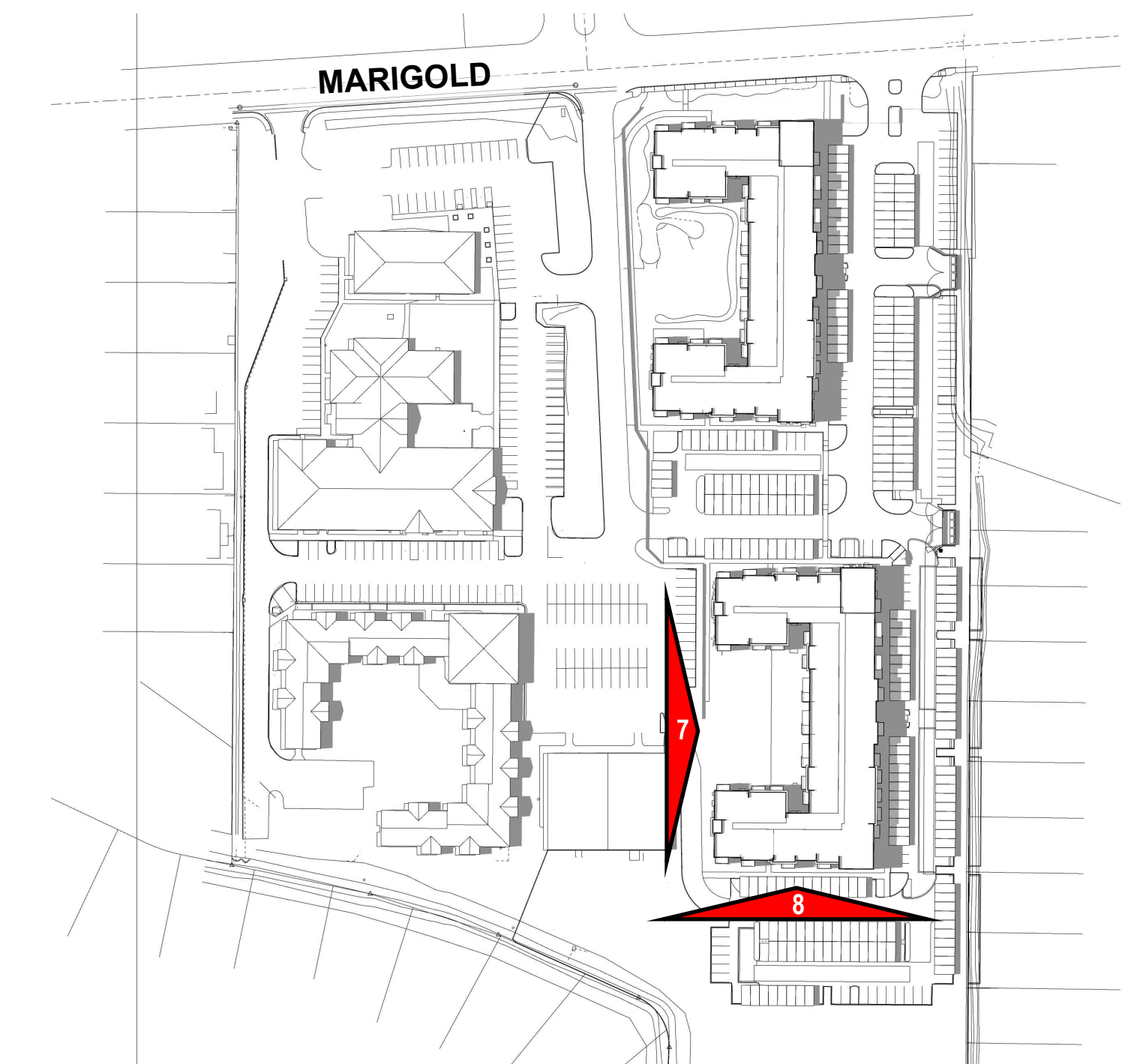




7. WEST ELEVATION

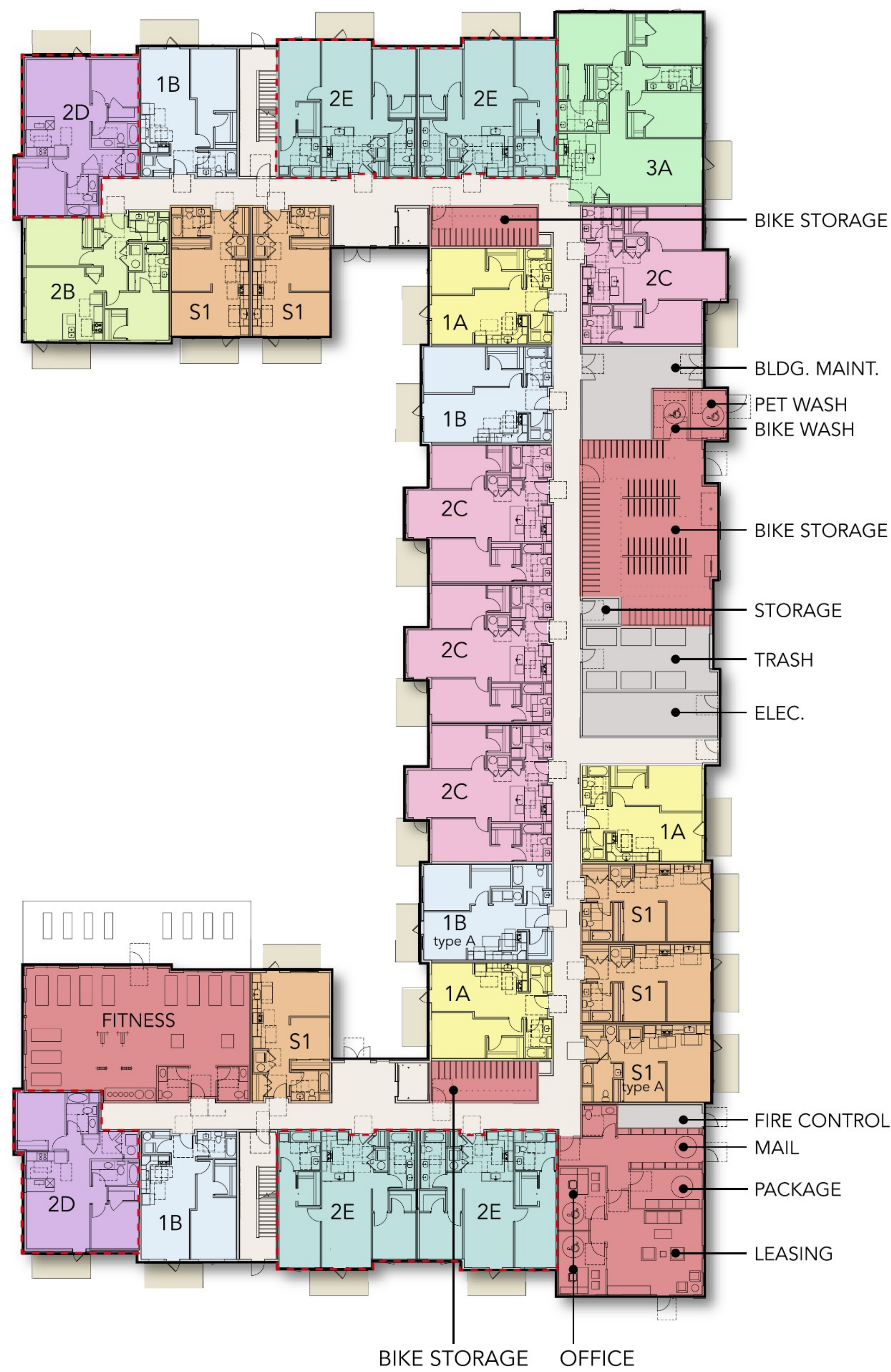


8. SOUTH ELEVATION



KEYPLAN





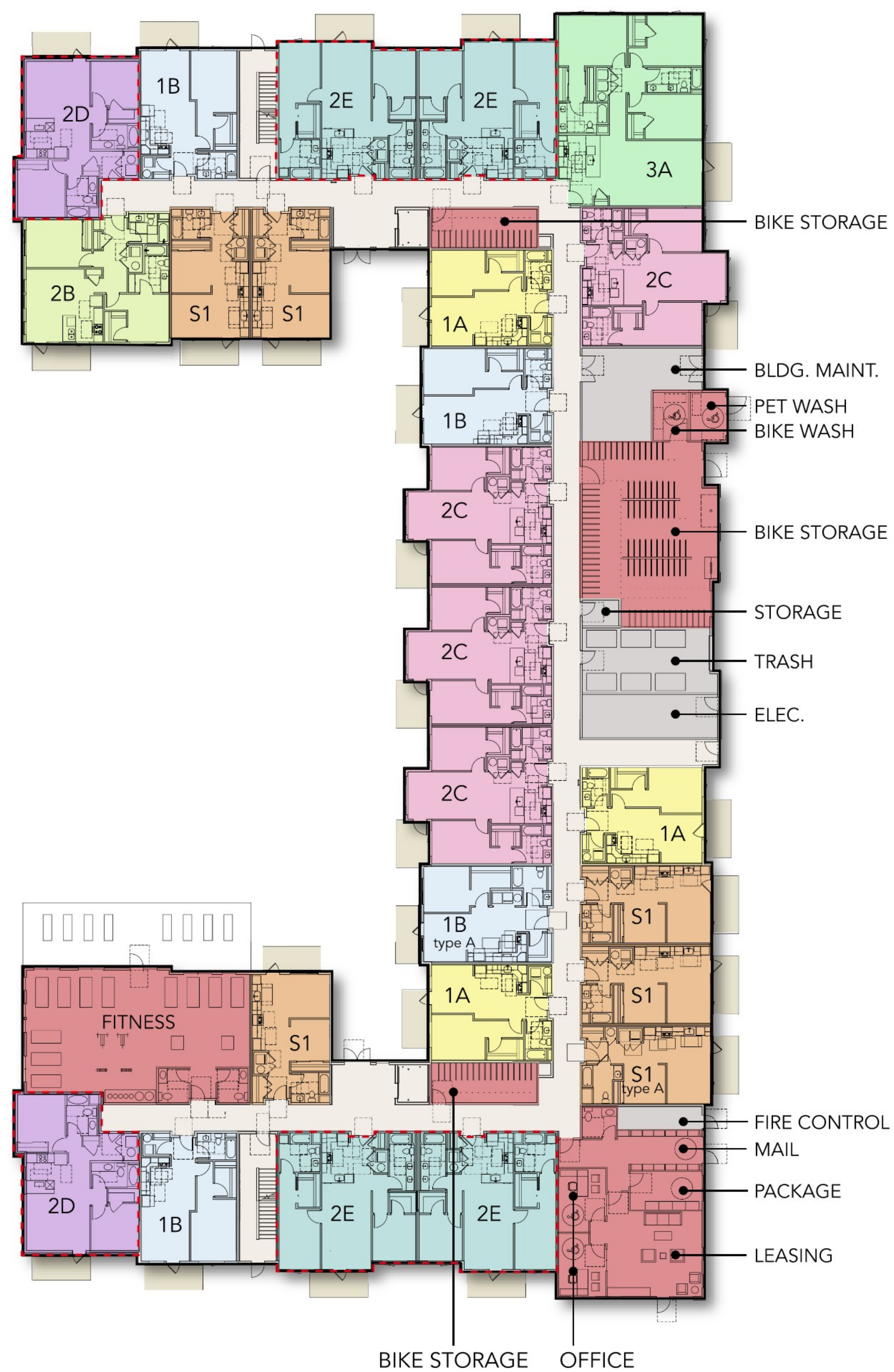
BUILDING 1  
LEVEL 1



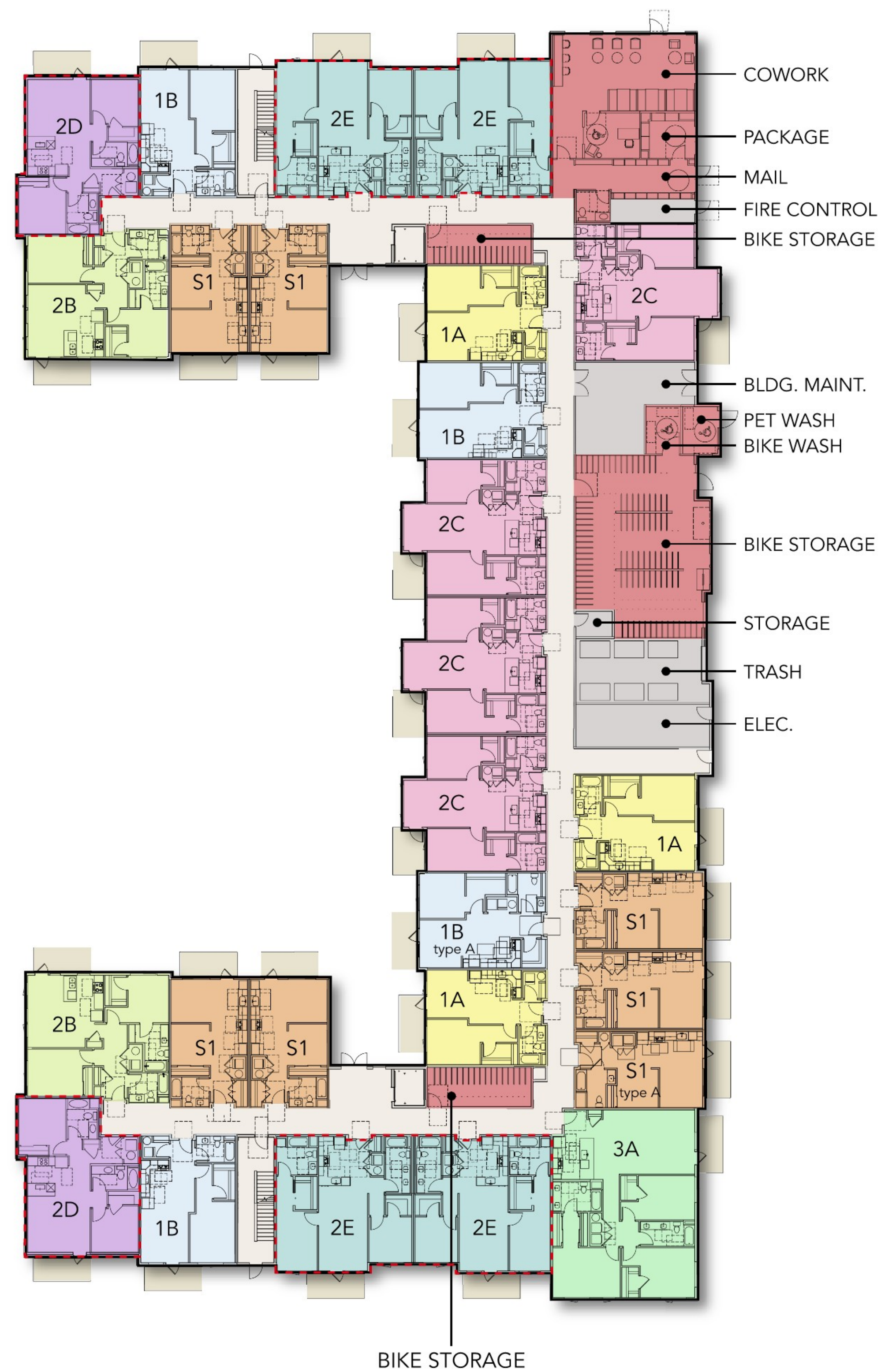
BUILDING 2  
LEVEL 1

- LEGEND
- AMENITY
  - BACK OF HOUSE/UTILITY
  - DECKS/BALCONY (80 SF MIN.)
  - UNIT S1
  - UNIT 1A
  - UNIT 1B
  - UNIT 2A
  - UNIT 2B
  - UNIT 2C
  - UNIT 2D (NEW UNIT)
  - UNIT 2E (NEW UNIT)
  - UNIT 3A





BUILDINGS 1 & 2  
LEVELS 2-3

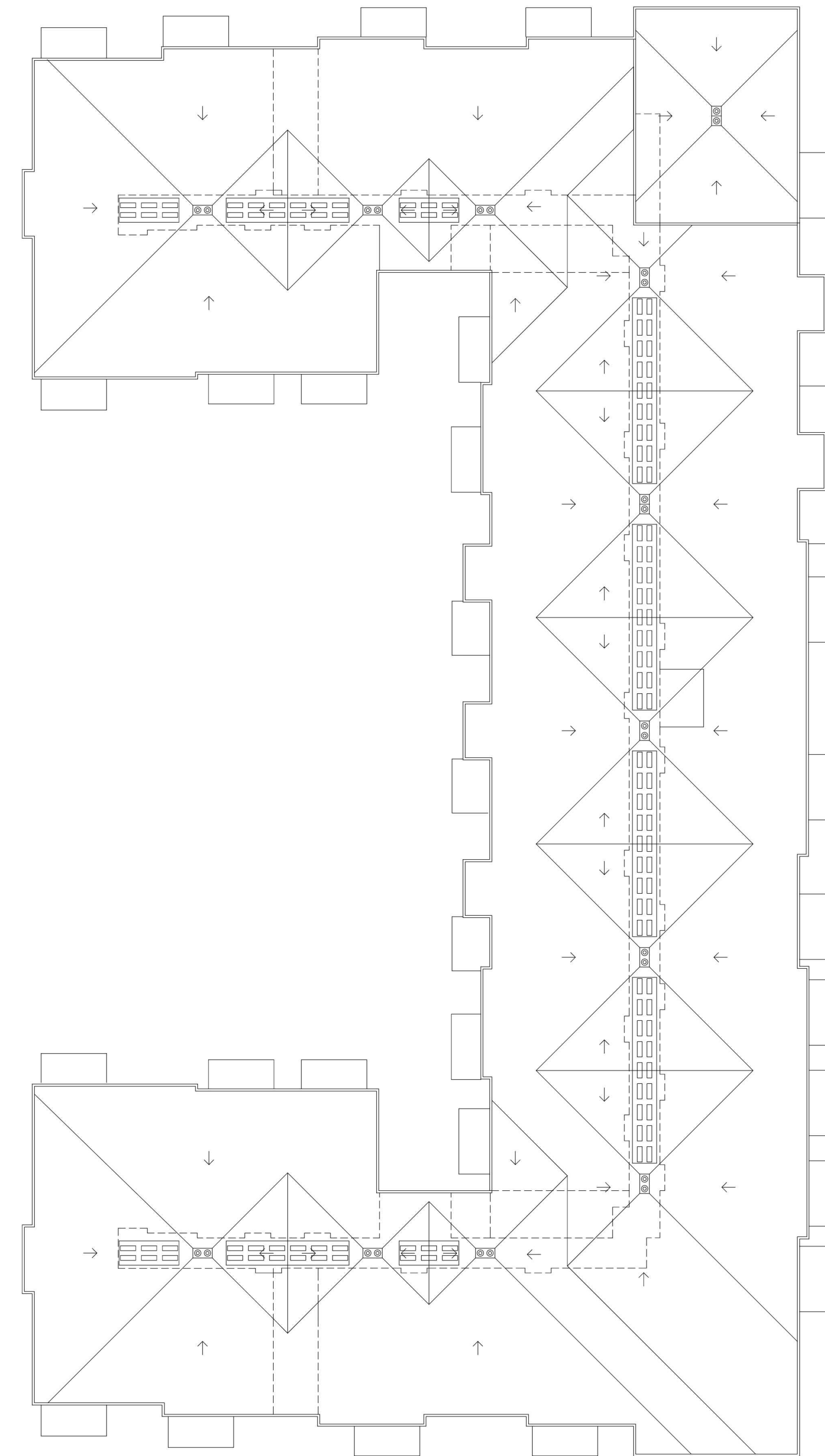


BUILDINGS 1 & 2  
LEVEL 4

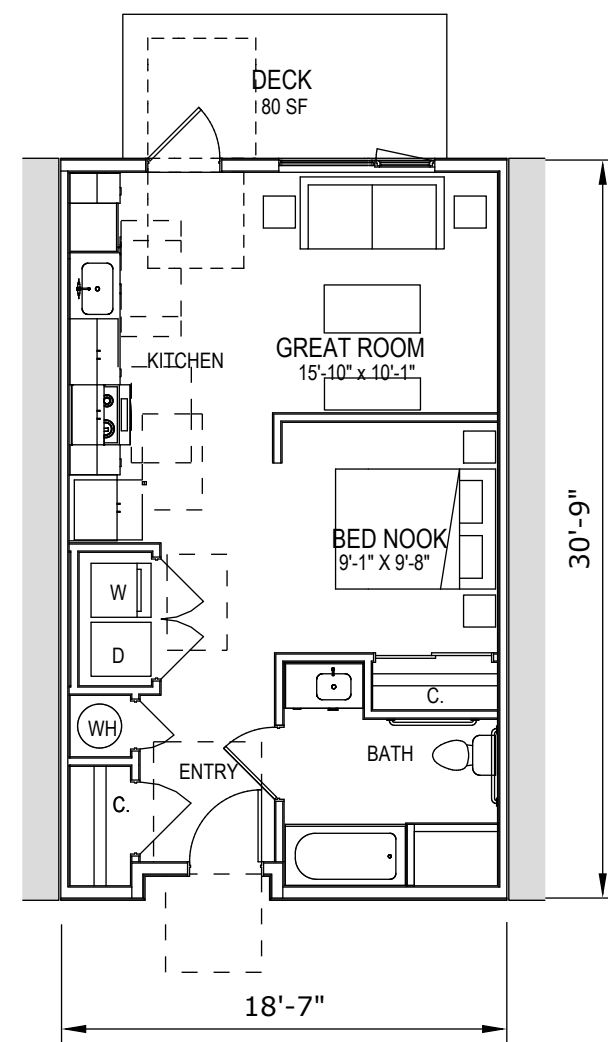
LEGEND

- AMENITY
- BACK OF HOUSE/  
UTILITY
- DECKS/BALCONY  
(80 SF MIN.)
- UNIT S1
- UNIT 1A
- UNIT 1B
- UNIT 2A
- UNIT 2B
- UNIT 2C
- UNIT 2D (NEW UNIT)
- UNIT 2E (NEW UNIT)
- UNIT 3A

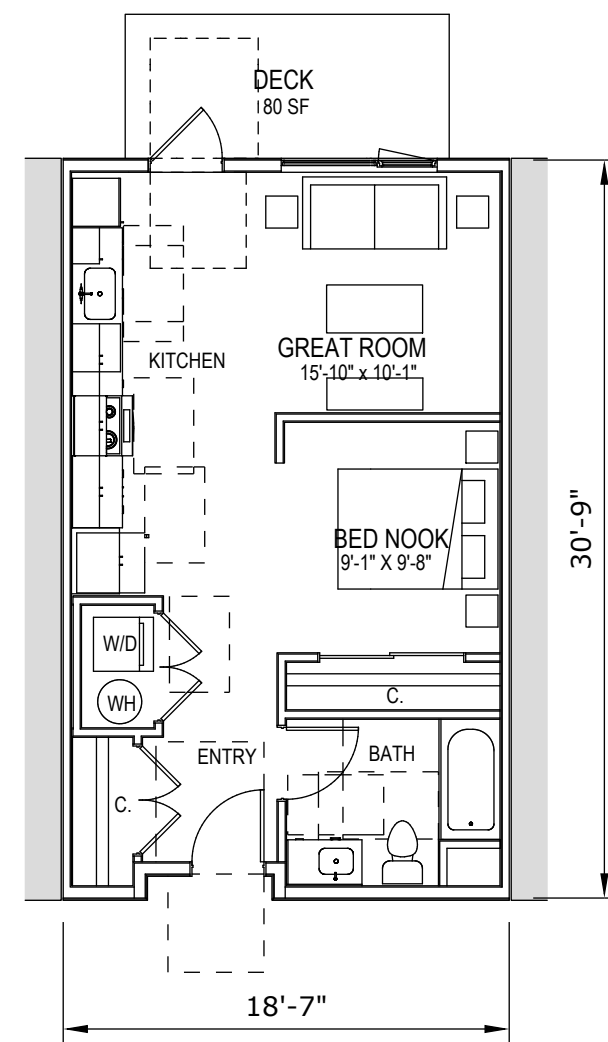




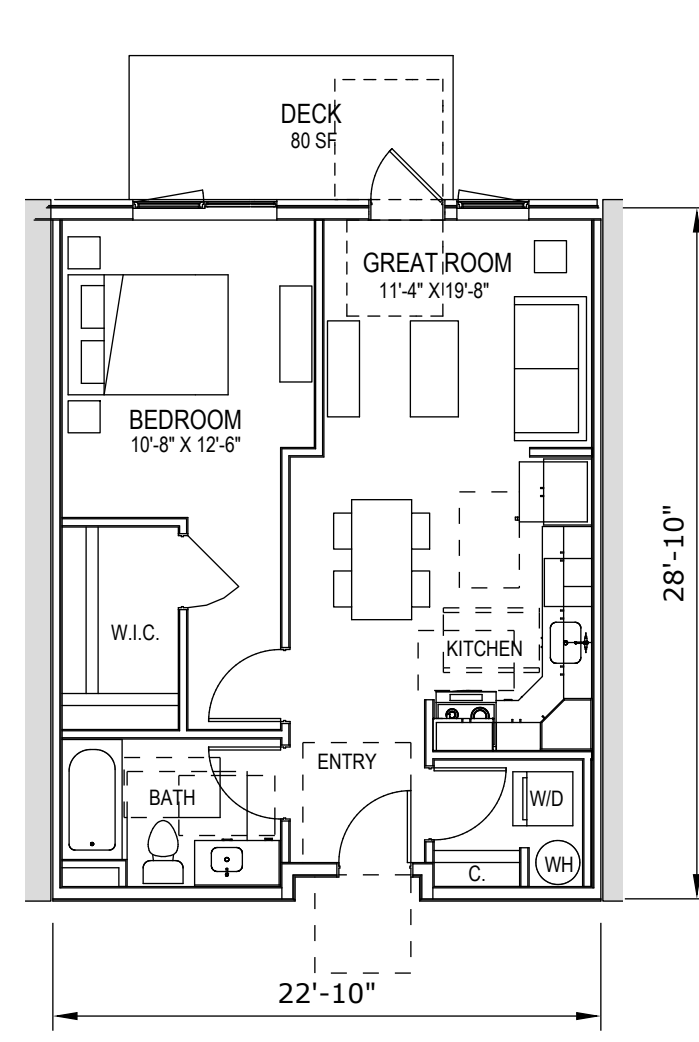
BUILDINGS 1 & 2  
ROOF



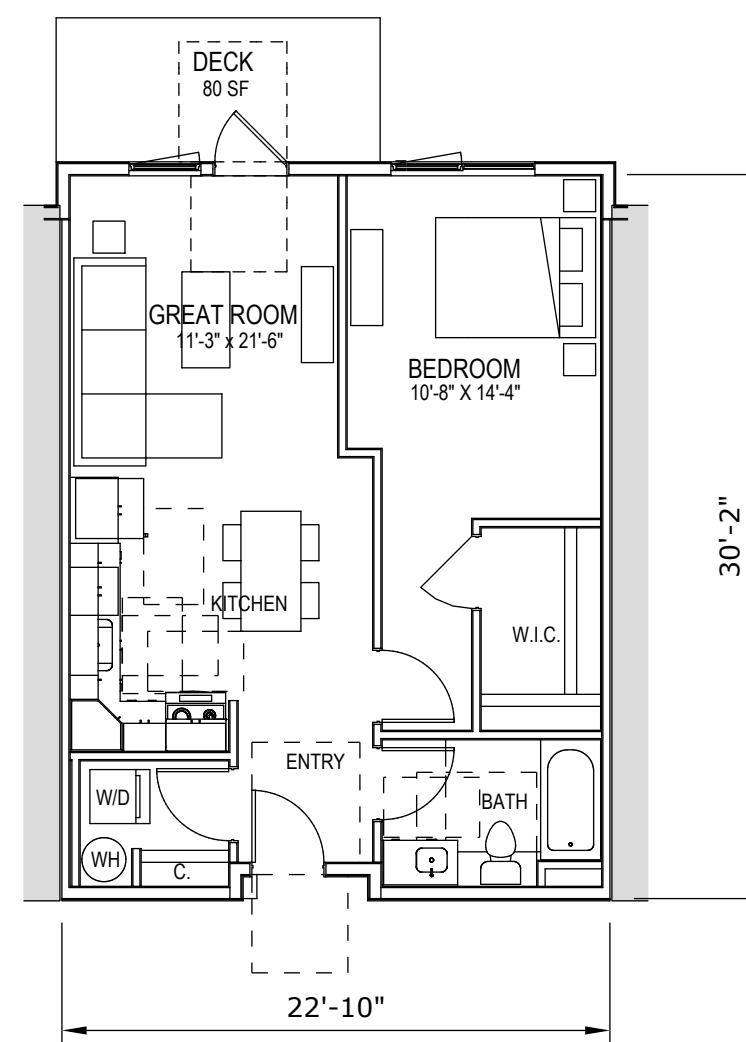
**UNIT S1**  
+/- 560 SF NET  
53 OCCURENCES  
(FROM MERITAGE WEST)



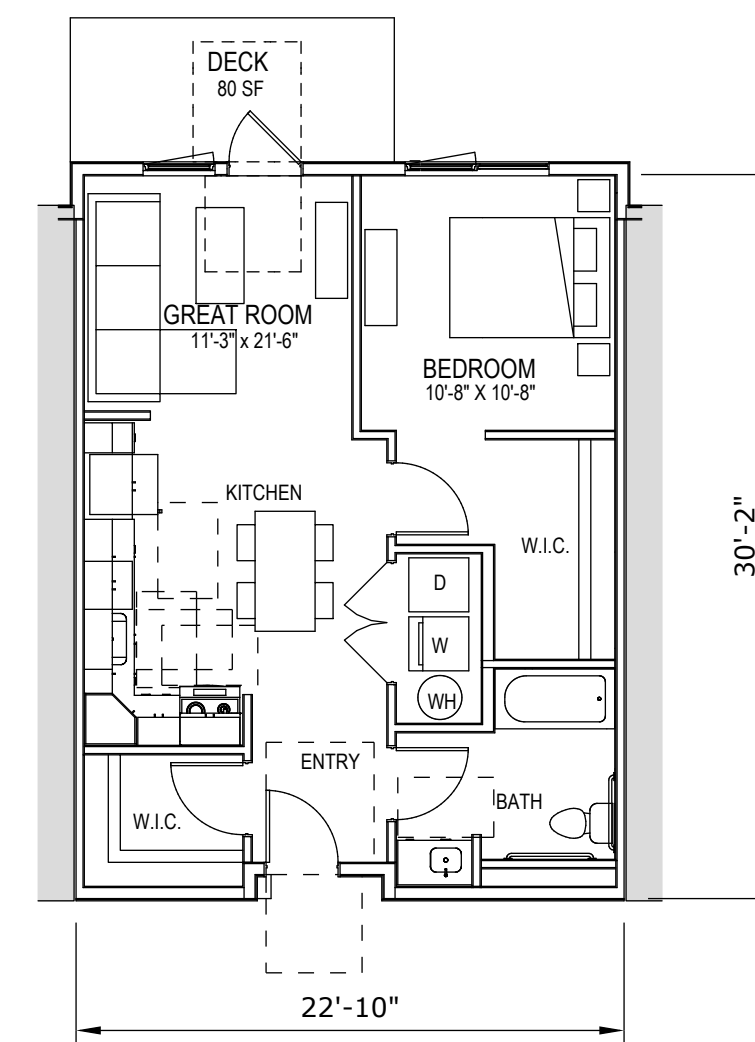
**UNIT S1 type A**  
+/- 560 SF NET  
2 OCCURENCES  
(FROM MERITAGE WEST)



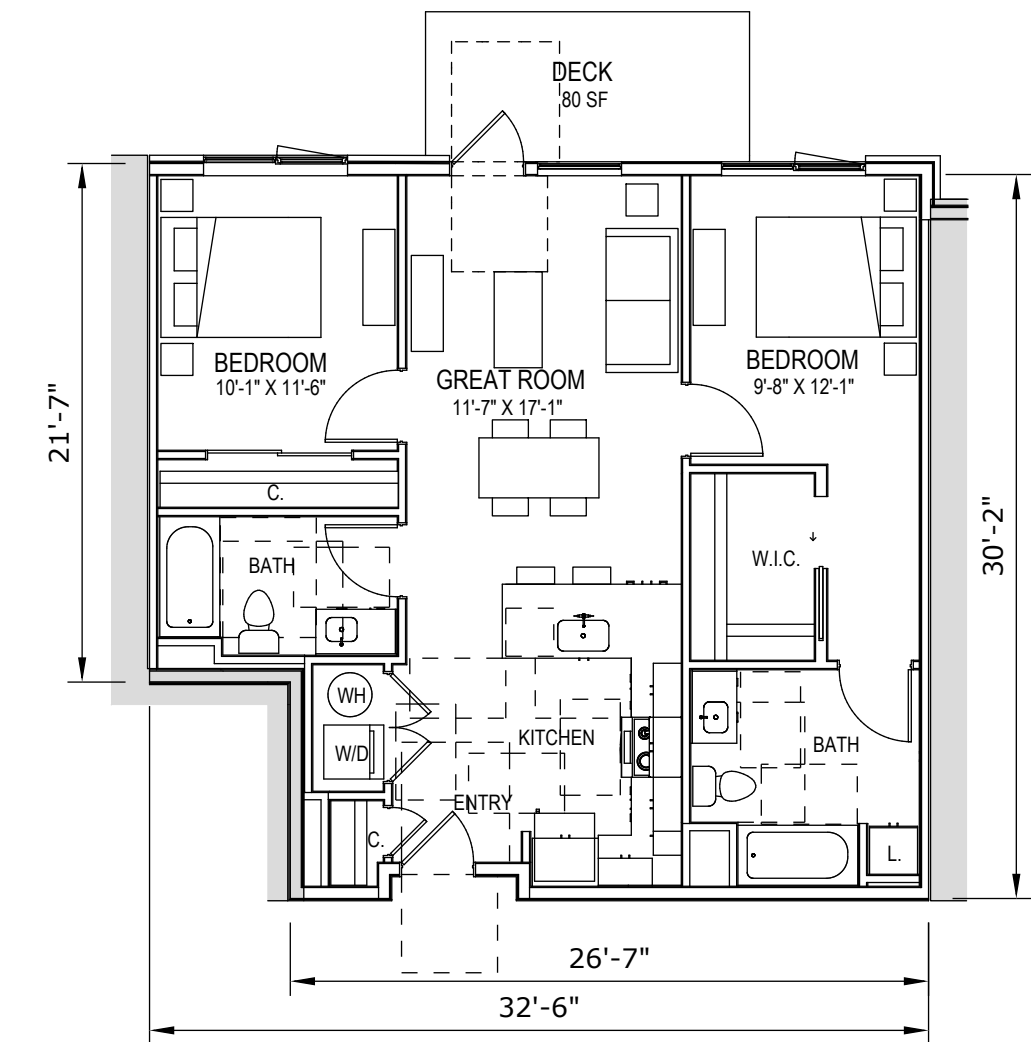
**UNIT 1A**  
+/- 644 SF NET  
24 OCCURENCES  
(FROM MERITAGE WEST)



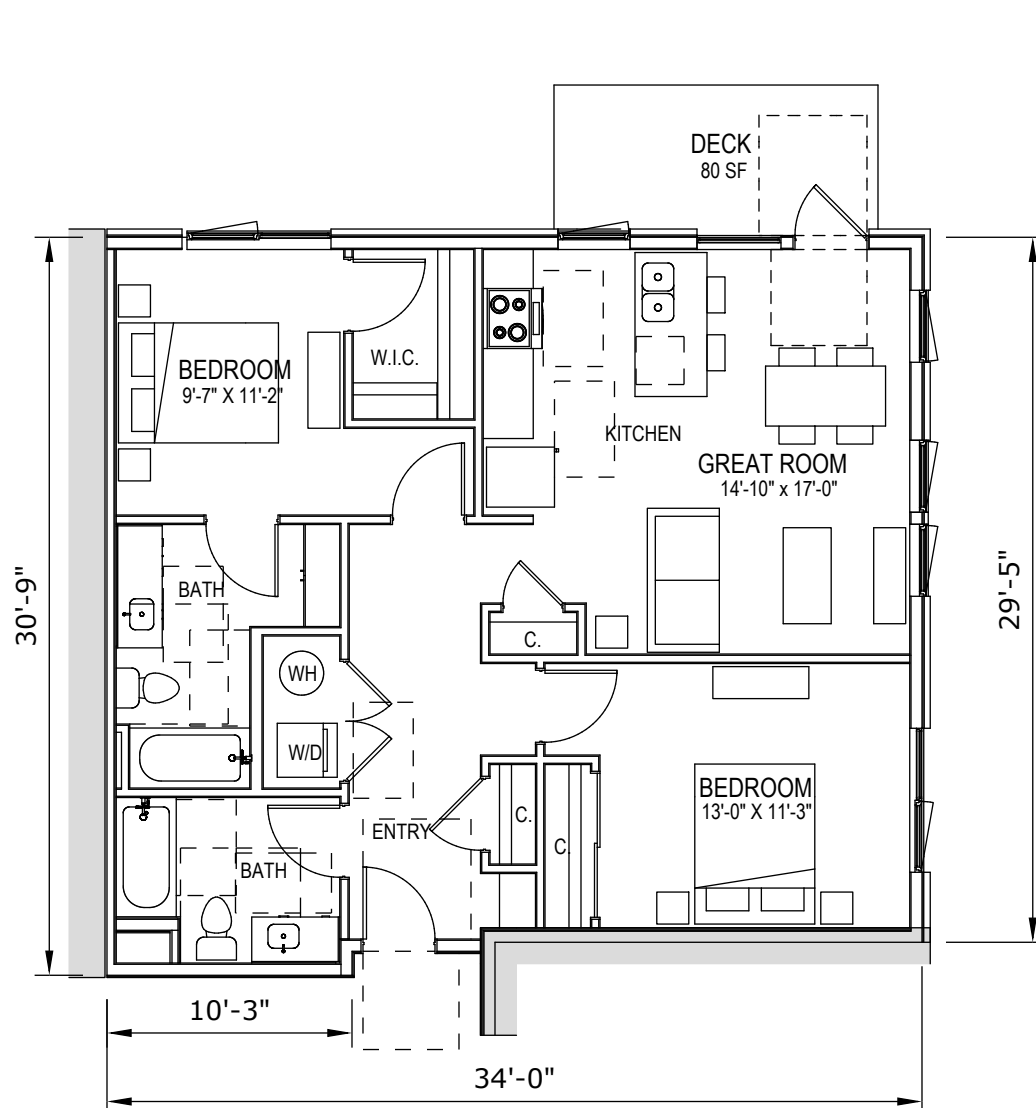
**UNIT 1B**  
+/- 686 SF NET  
30 OCCURENCES  
(FROM MERITAGE WEST)



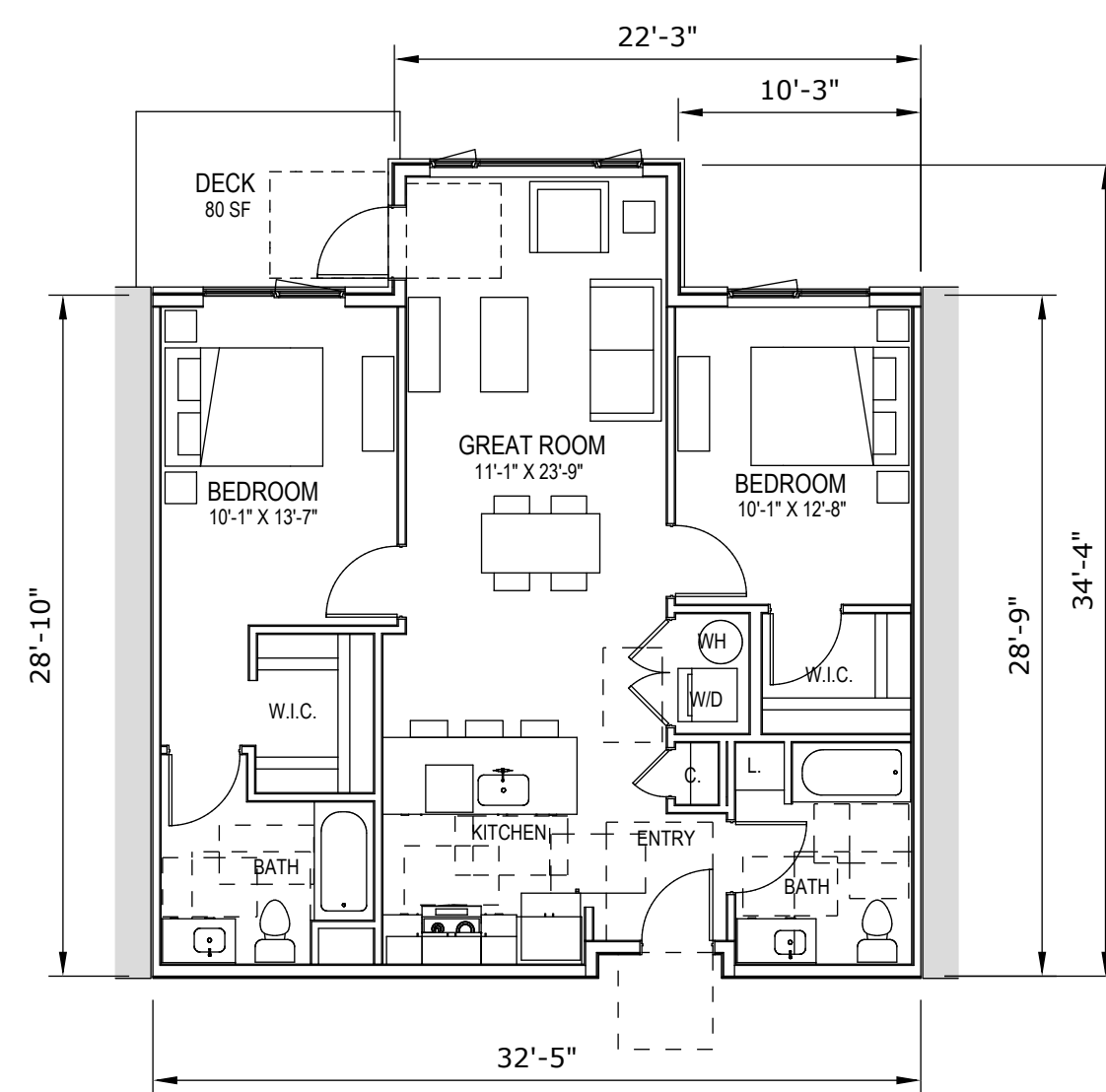
**UNIT 1B type A**  
+/- 686 SF NET  
2 OCCURENCES  
(FROM MERITAGE WEST)



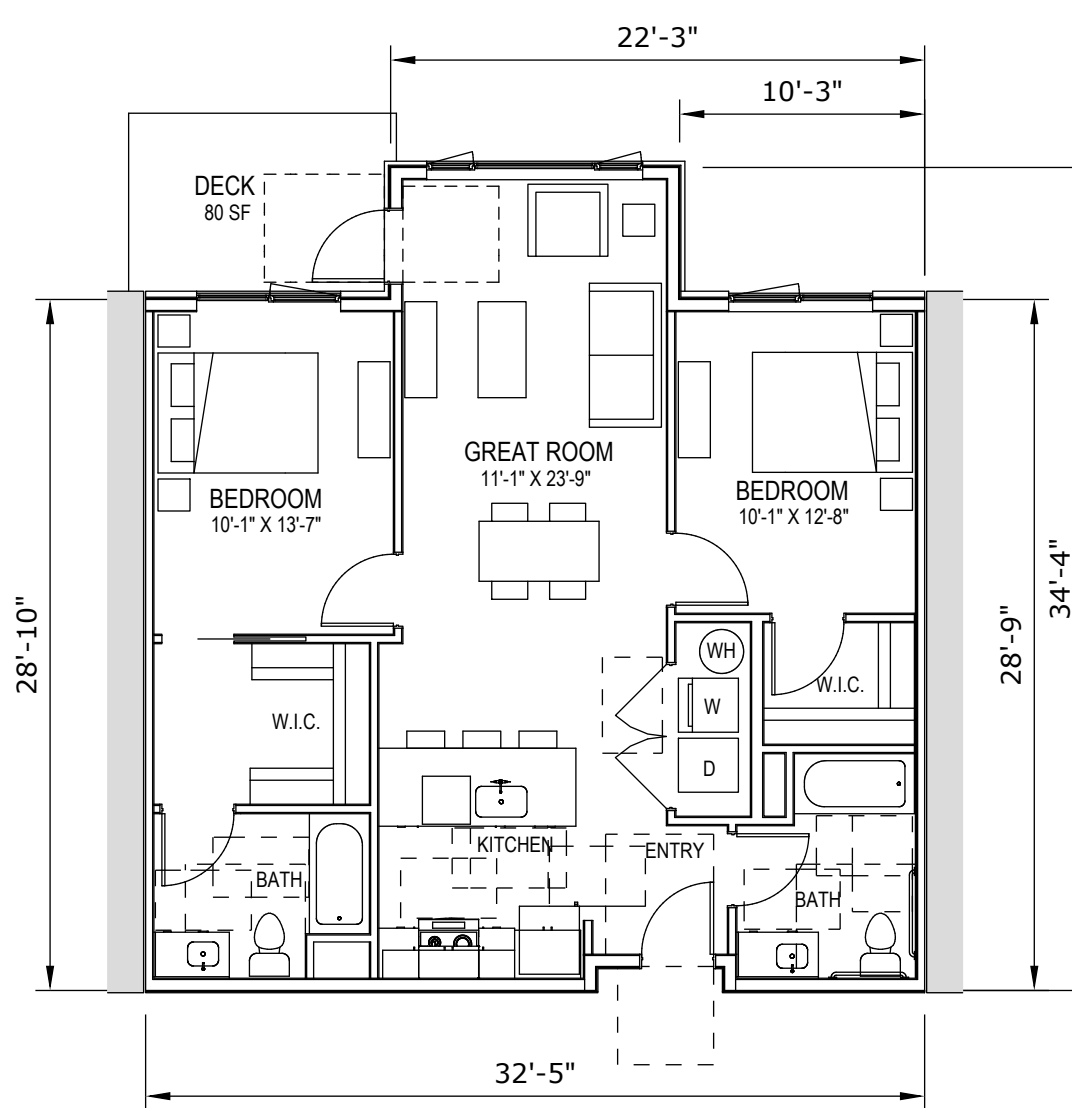
**UNIT 2A**  
+/- 960 SF NET  
12 OCCURENCES  
(FROM MERITAGE WEST)



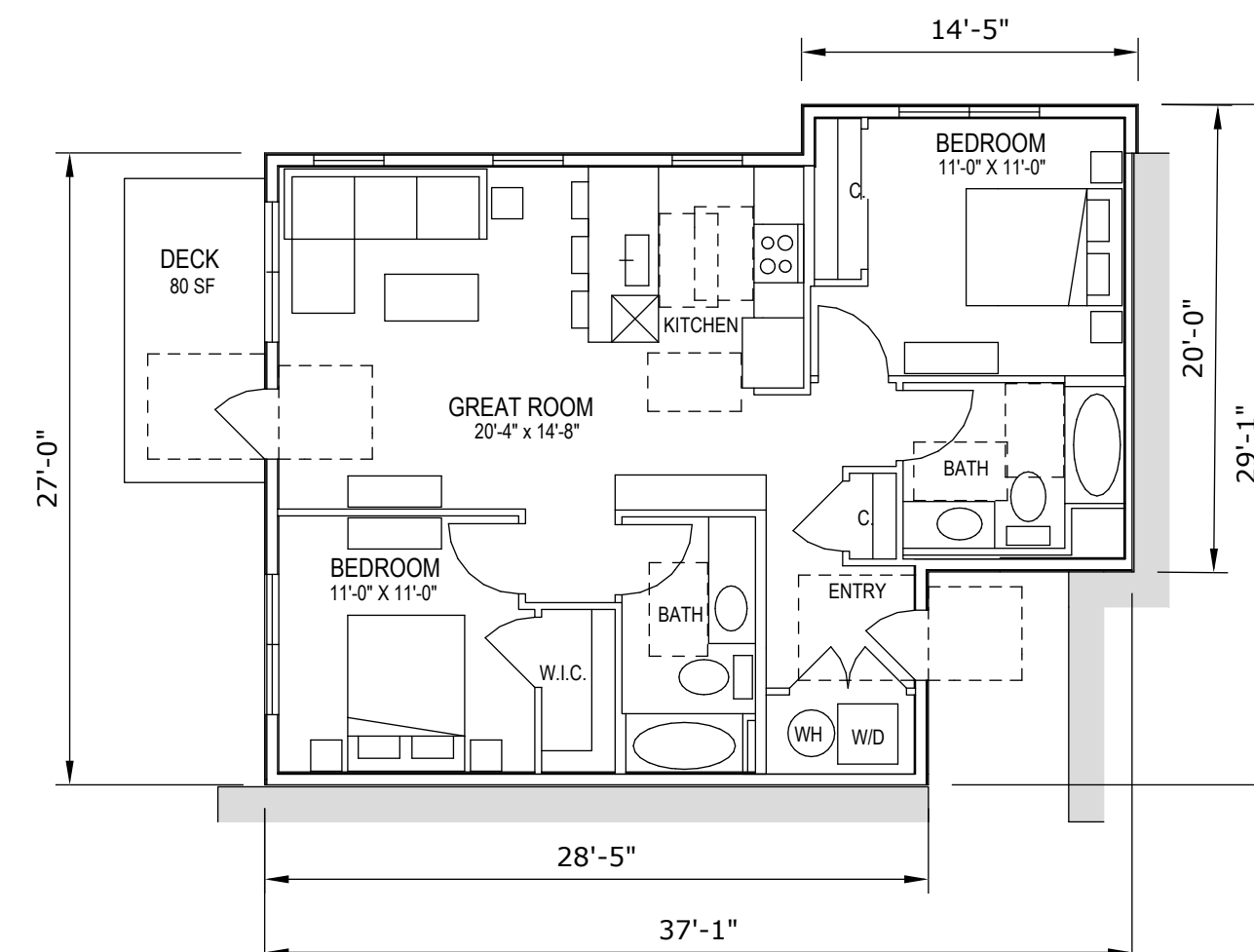
**UNIT 2B**  
+/- 966 SF NET  
15 OCCURENCES  
(FROM MERITAGE WEST)



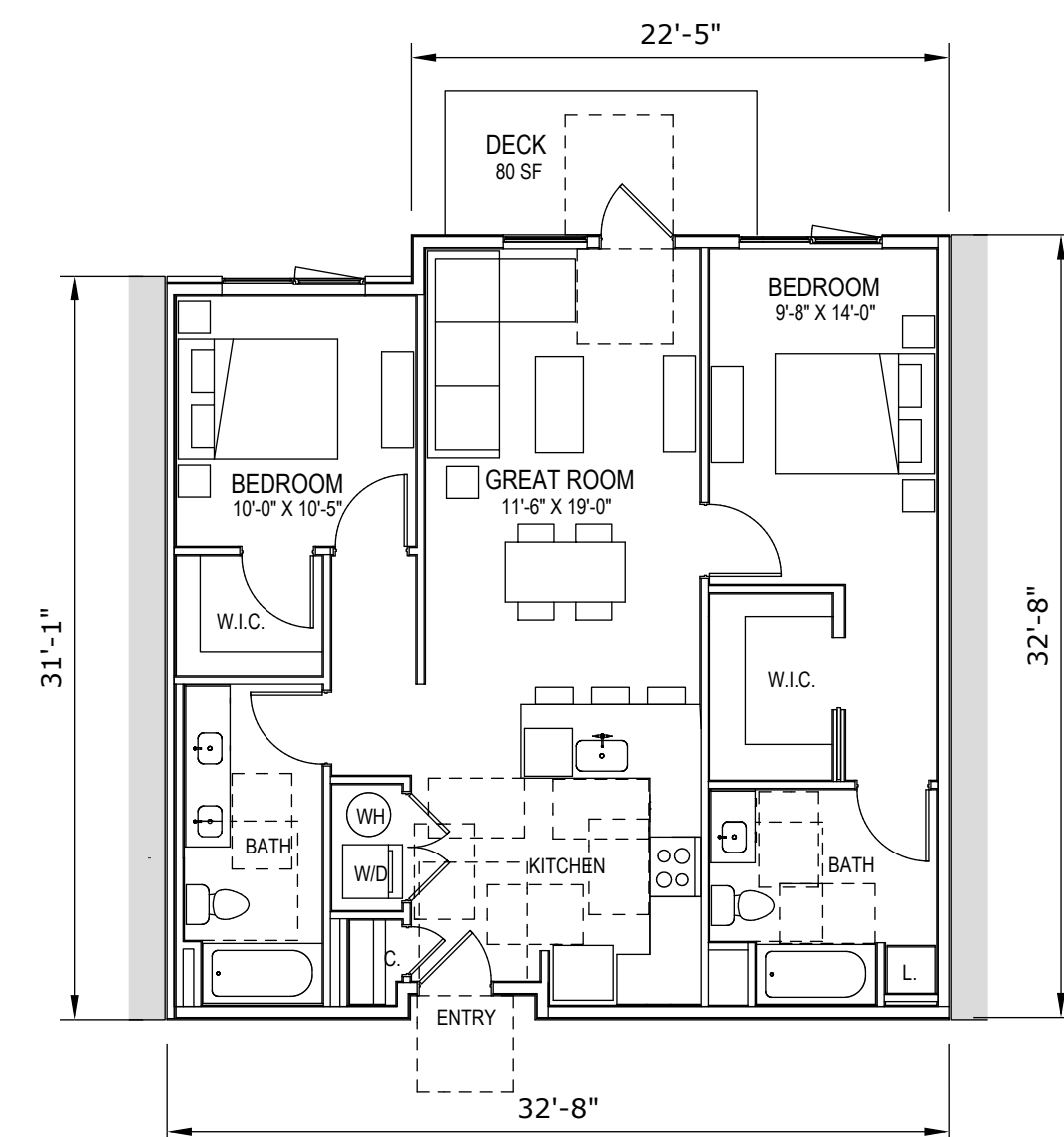
**UNIT 2C**  
+/- 978 SF NET  
36 OCCURENCES  
(FROM MERITAGE WEST)



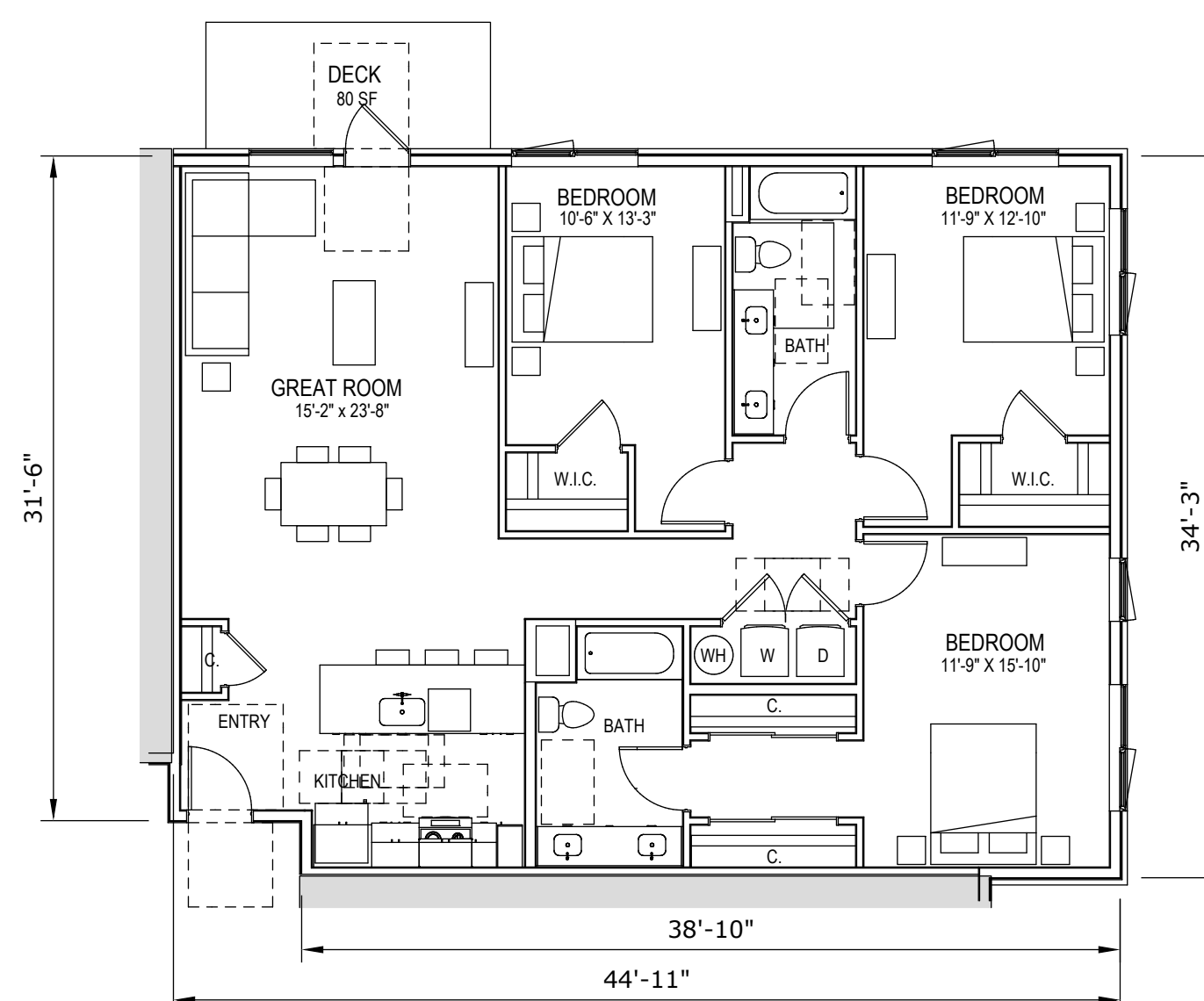
**UNIT 2C type A**  
+/- 978 SF NET  
2 OCCURENCES  
(FROM MERITAGE WEST)



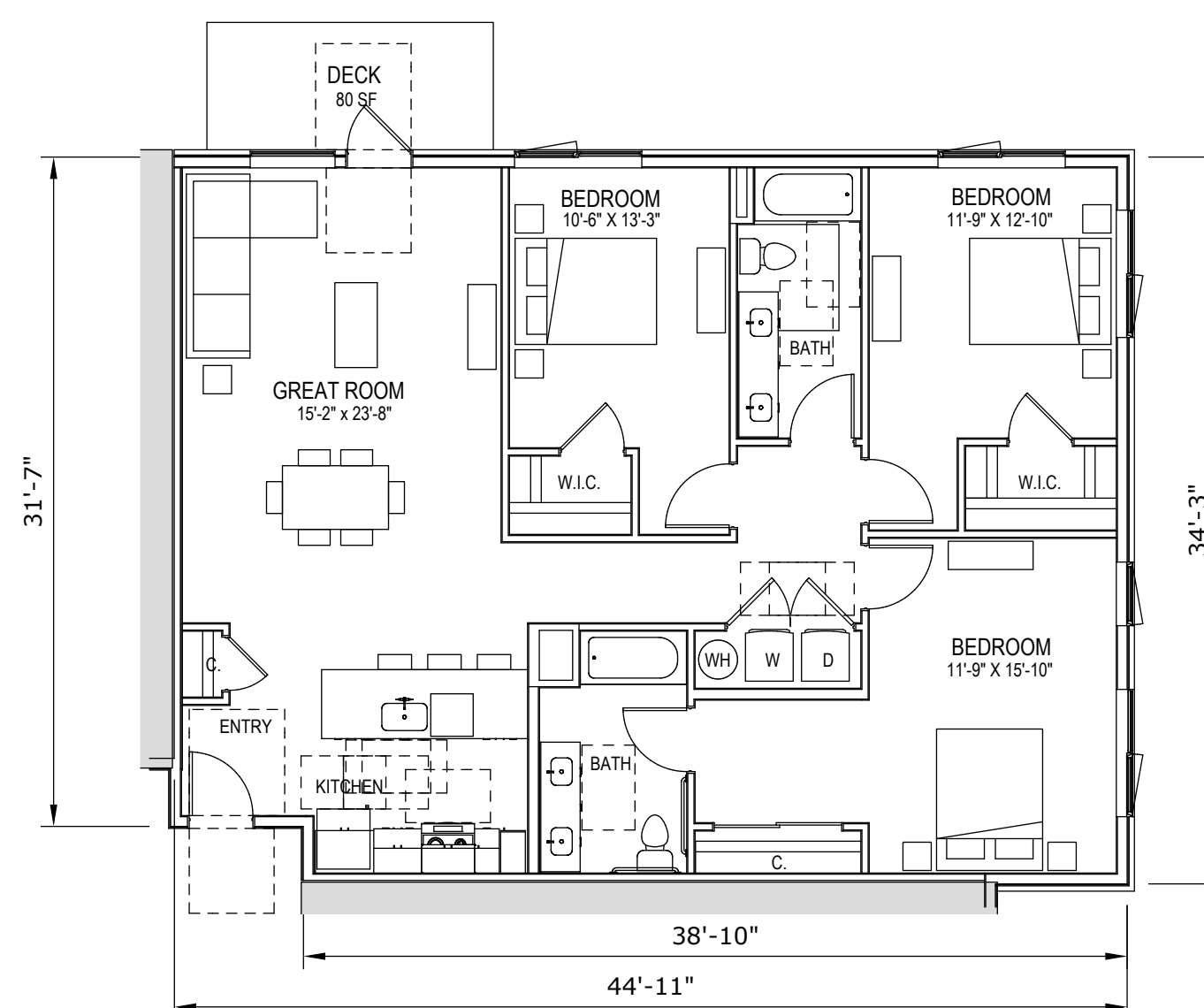
**UNIT 2D**  
+/- 860 SF NET  
16 OCCURENCES  
(NEW UNIT)



**UNIT 2E**  
+/- 970 SF NET  
32 OCCURENCES  
(NEW UNIT)



**UNIT 3A**  
+/- 1,485 SF NET  
10 OCCURENCES  
(FROM MERITAGE WEST)



**UNIT 3A type A**  
+/- 1,485 SF NET  
2 OCCURENCES  
(FROM MERITAGE WEST)

SCALE: 1/8"=1'-0" @ 24x36

## UNIT PLANS

# ANTIOCH APARTMENTS

02.21.2025

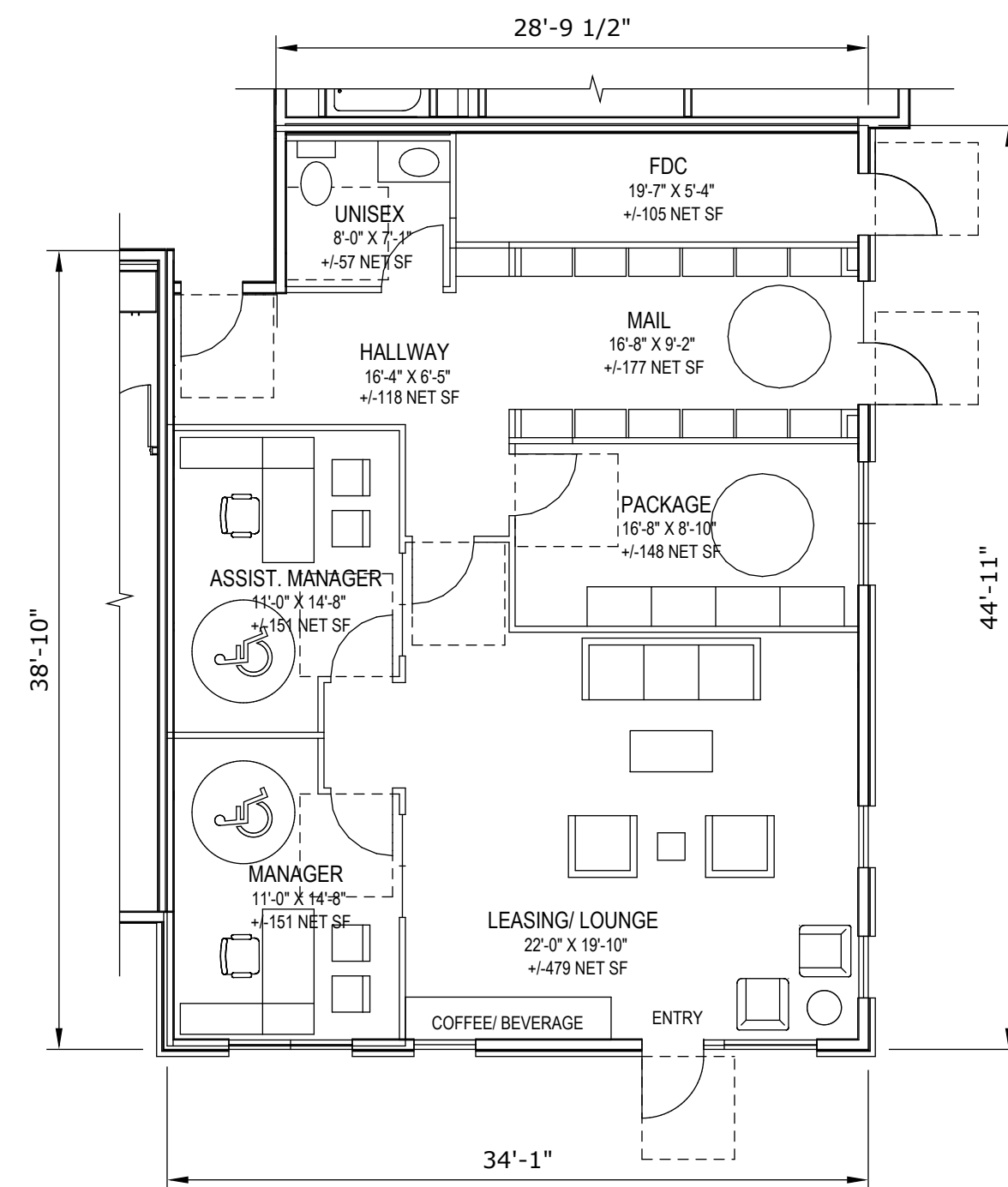
8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

Sheet A-13

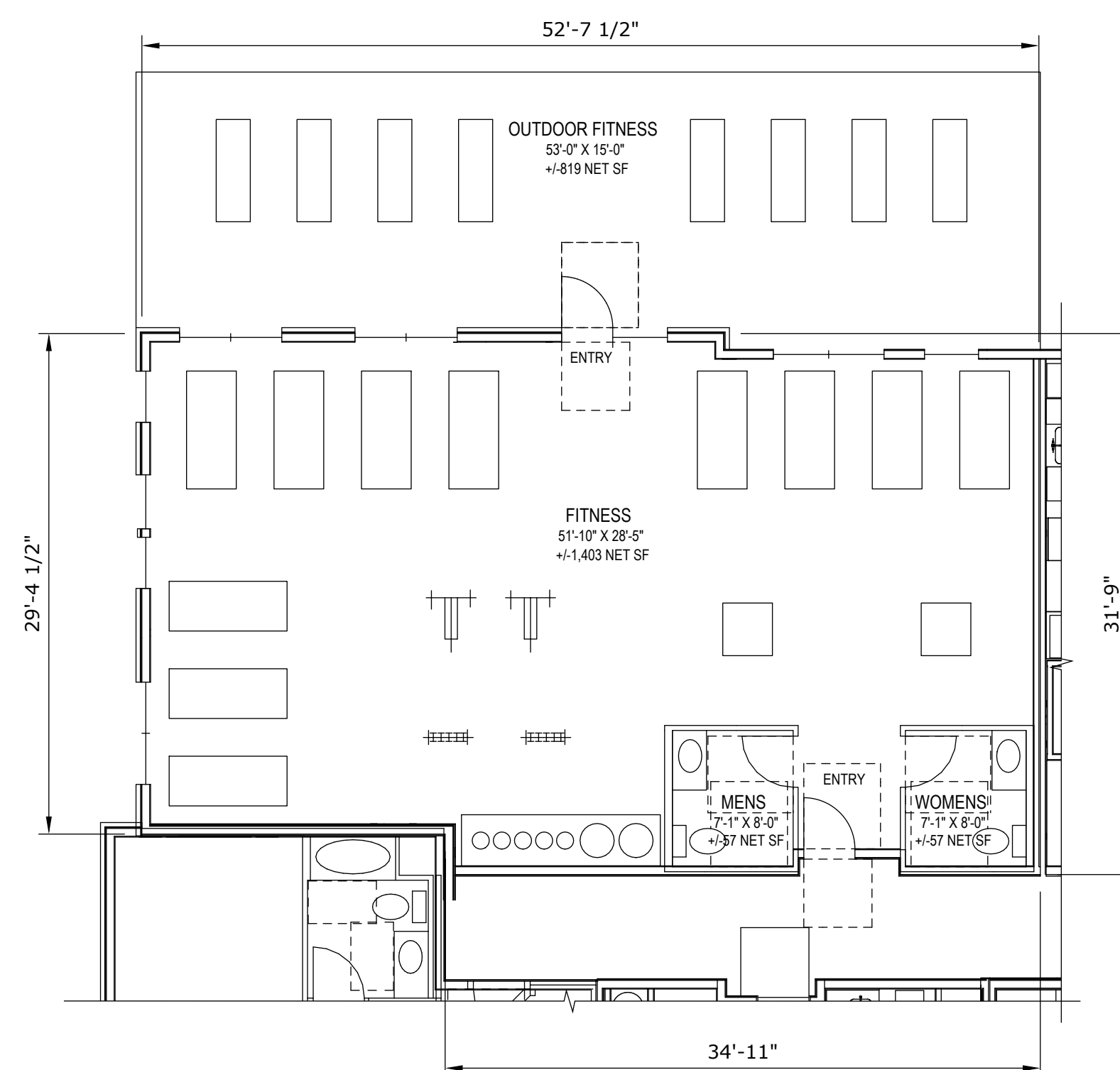
**pivot north**





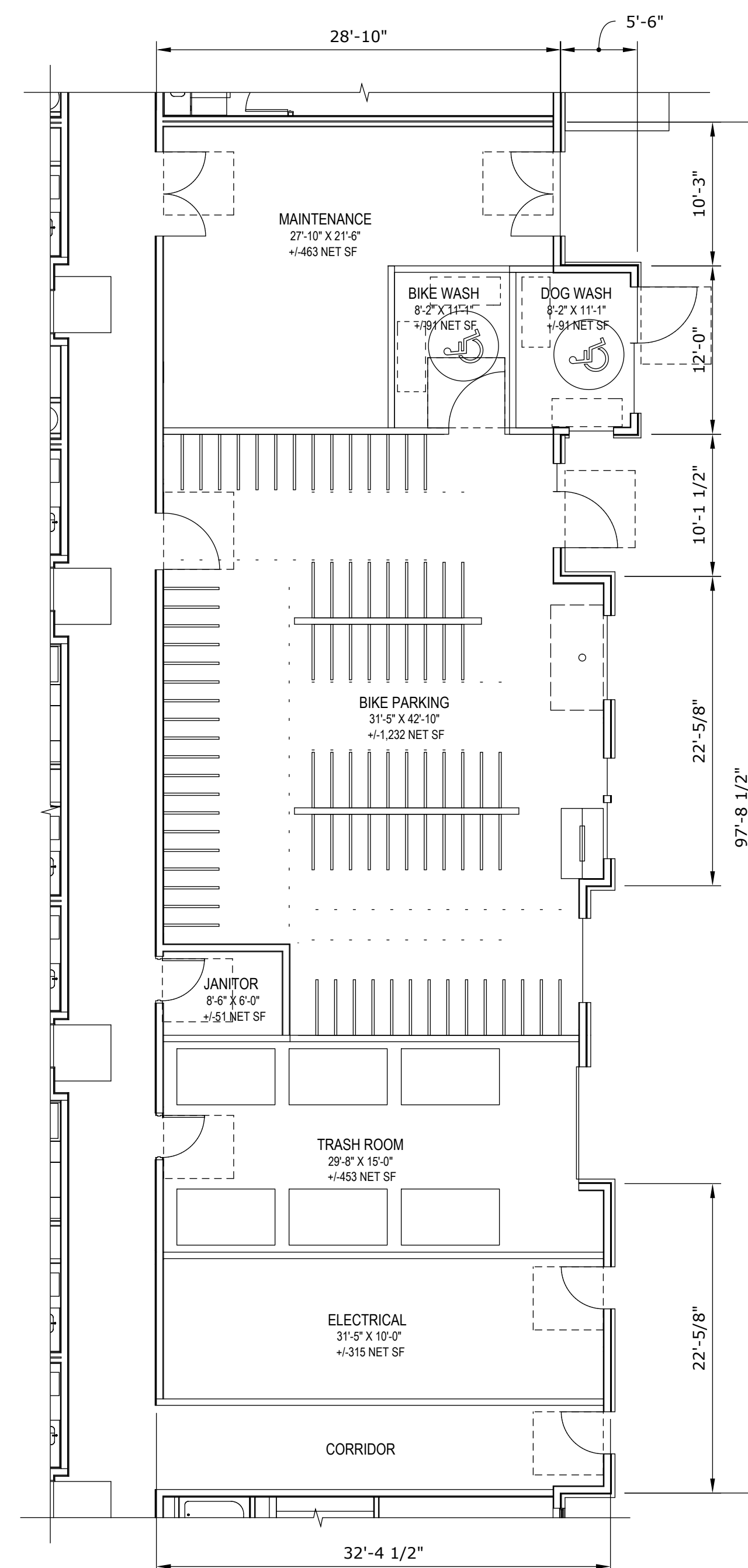
LEASING/ MAIL/ PACKAGE

(BUILDING 1)



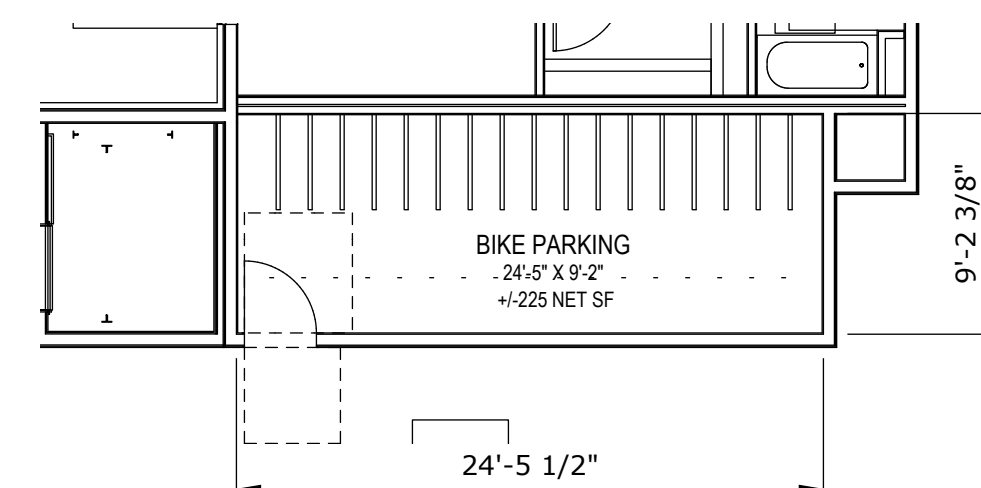
FITNESS

(BUILDING 1)



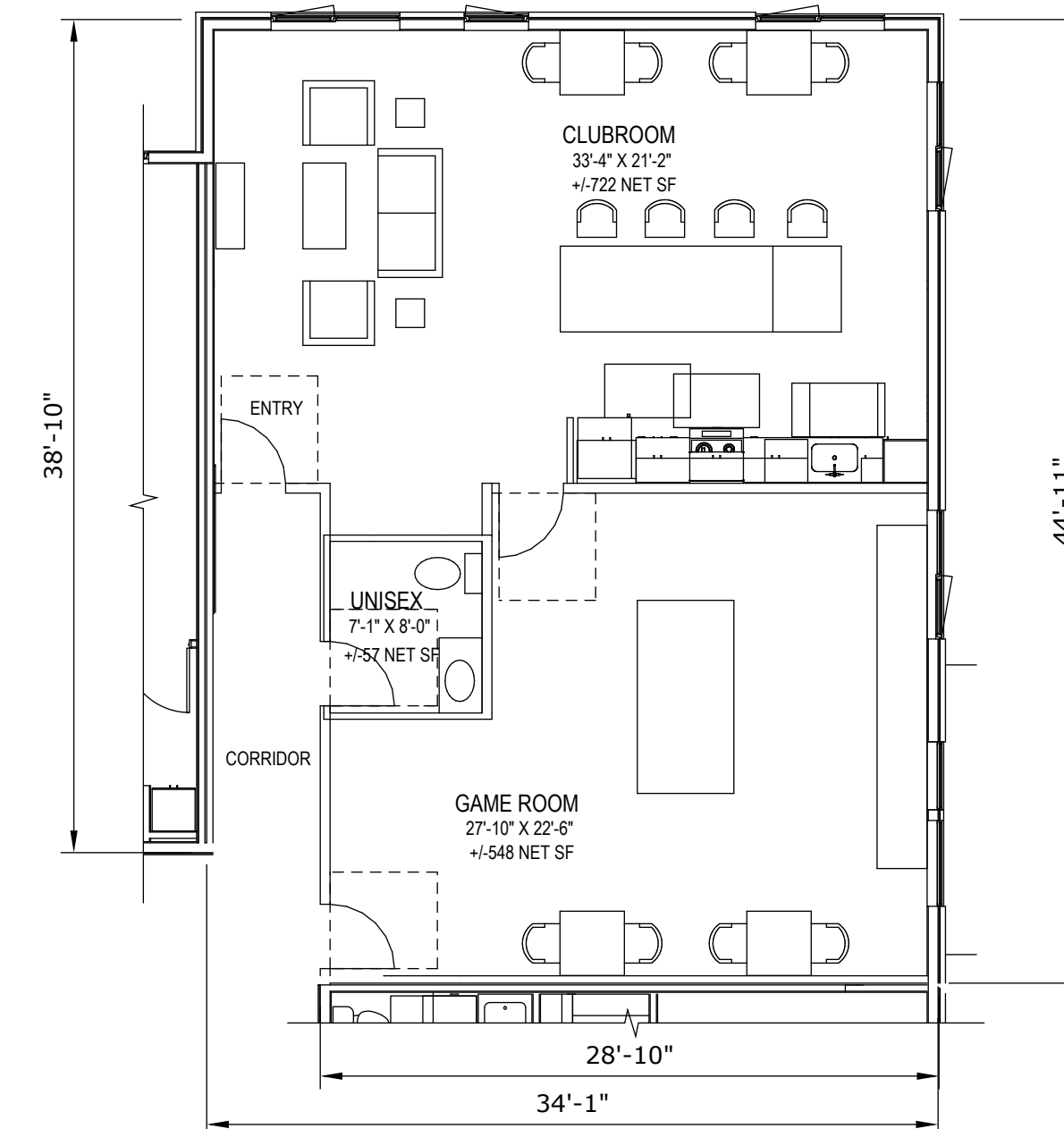
BIKE / MAINT./ TRASH

(BUILDINGS 1 + 2)



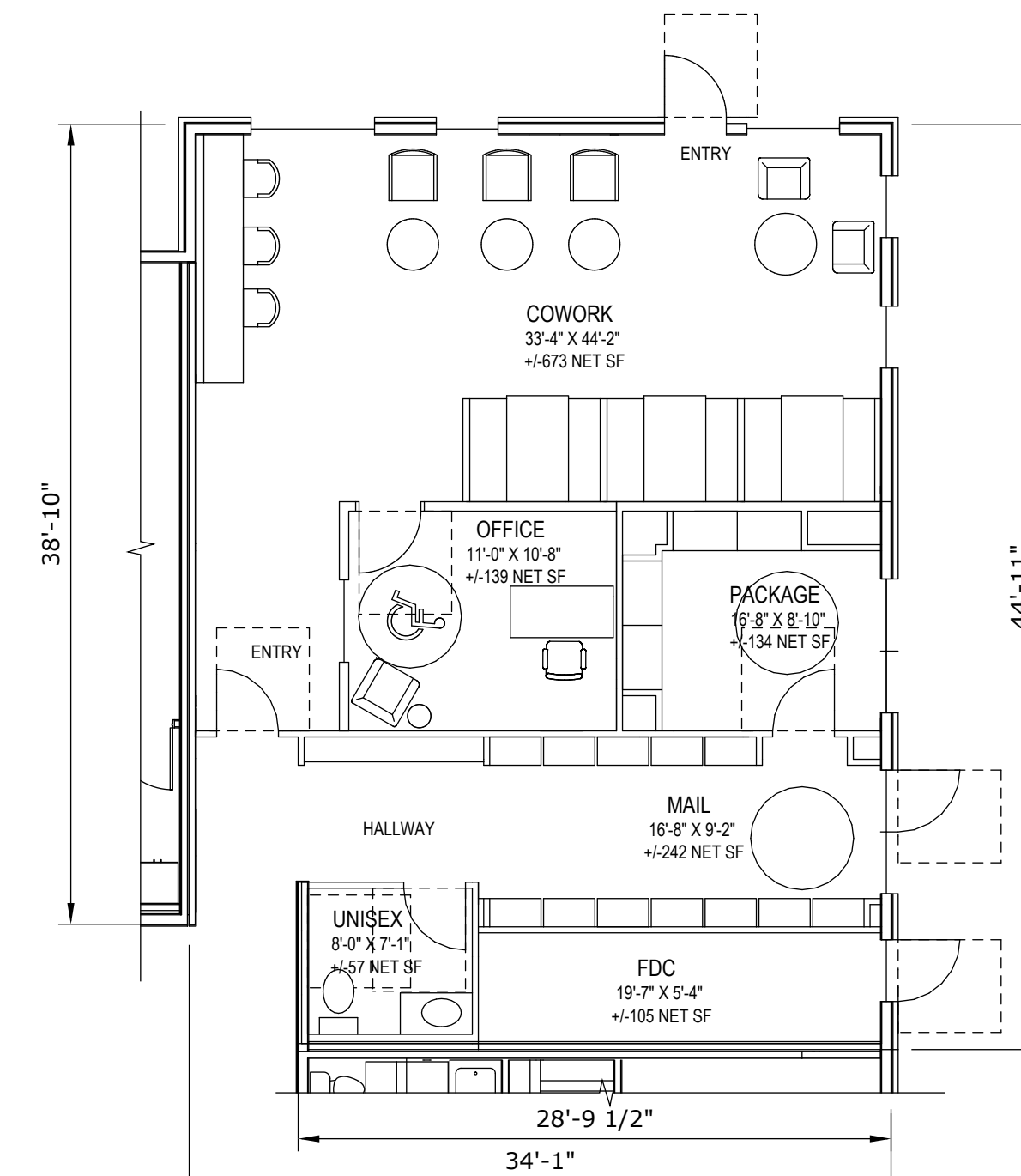
BIKE ROOM

(BUILDINGS 1 + 2)



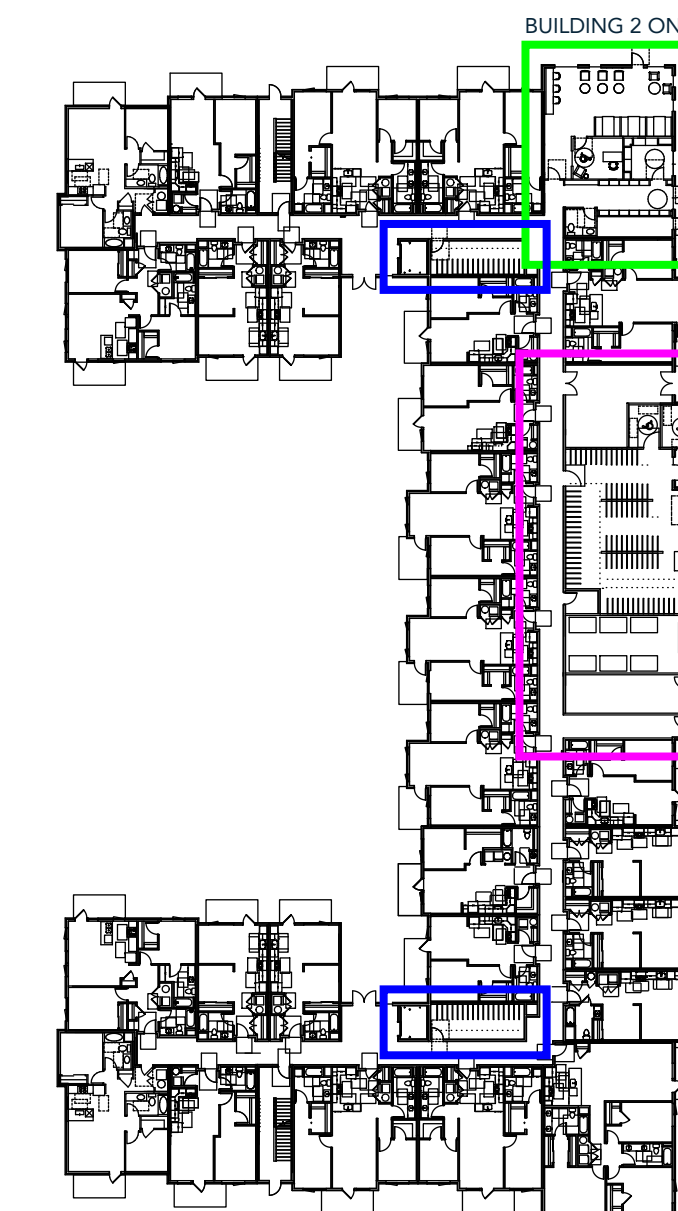
CLUBROOM

(BUILDING 2)

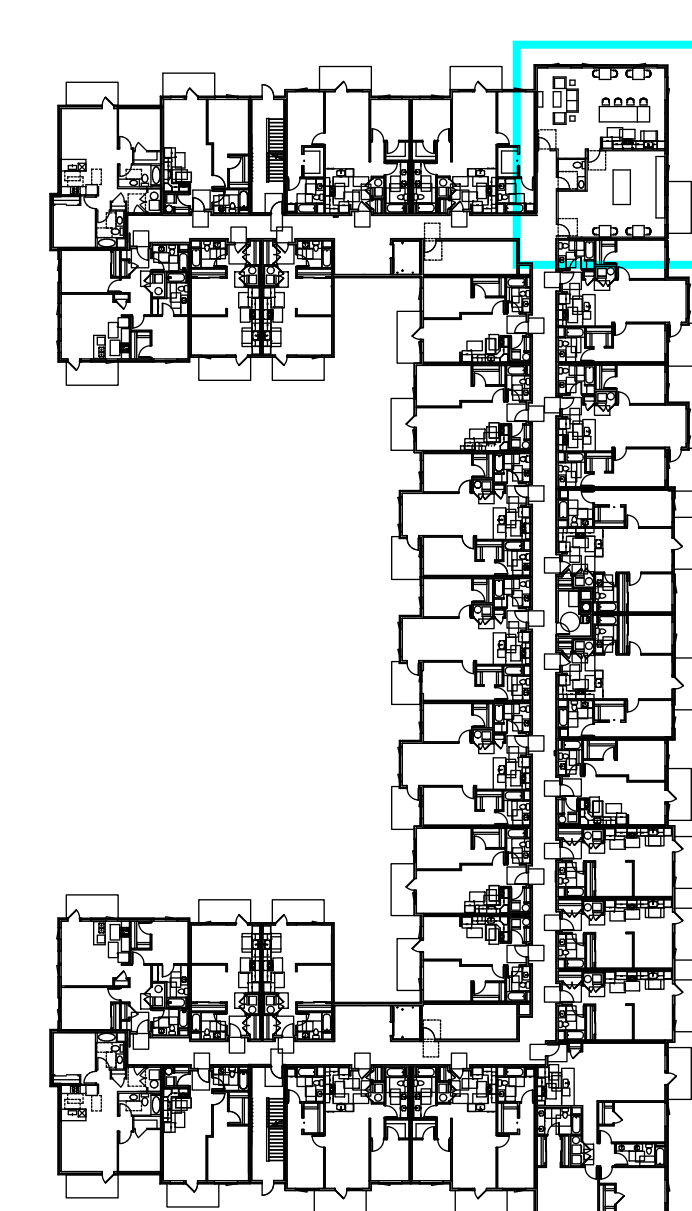


COWORK/ MAIL/ PACKAGE

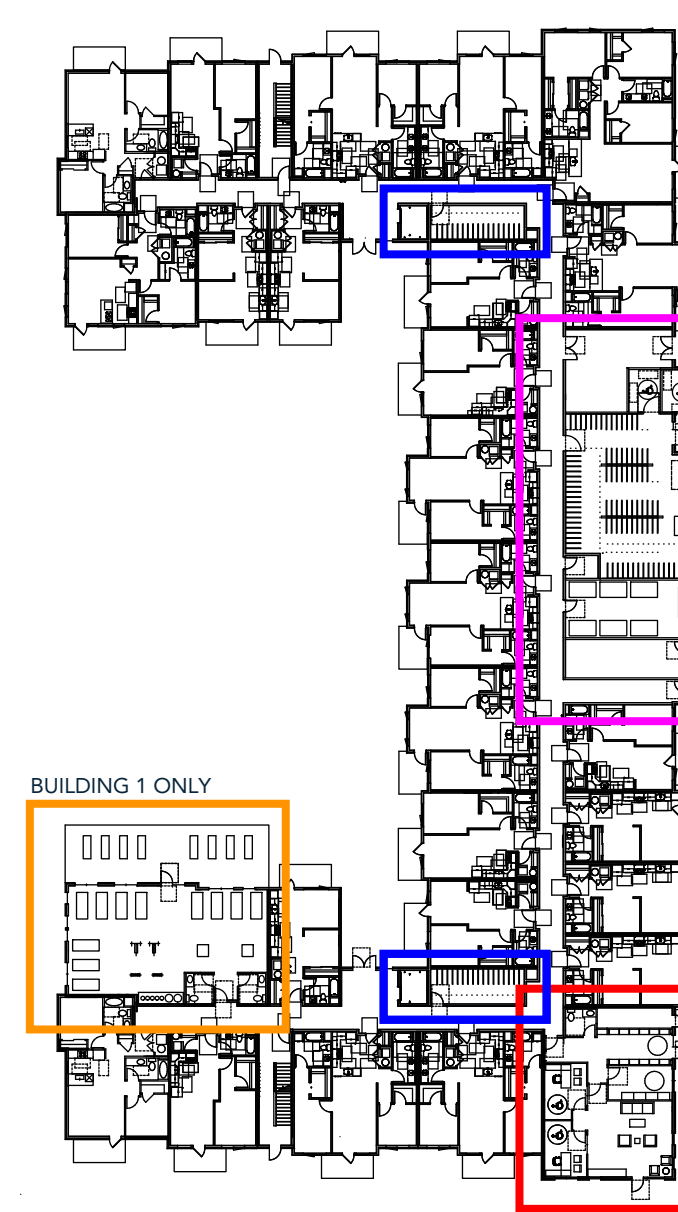
(BUILDING 2)



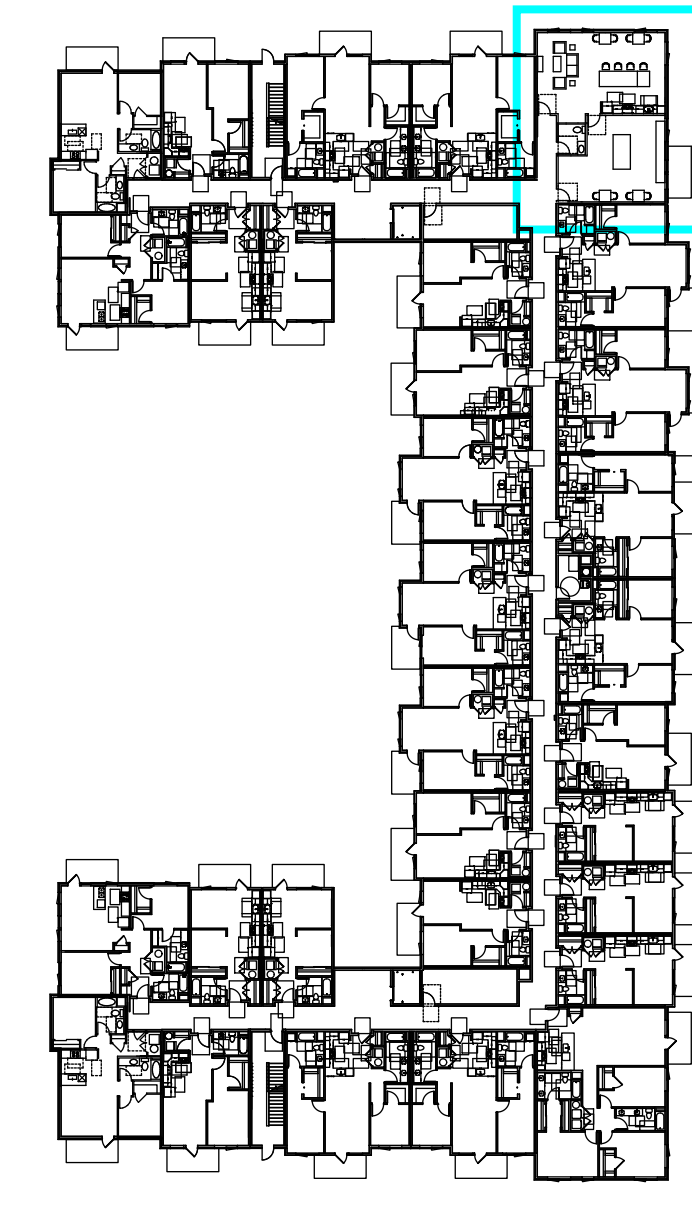
LEVEL 1  
BUILDING 2



LEVEL 4



LEVEL 1  
BUILDING 1



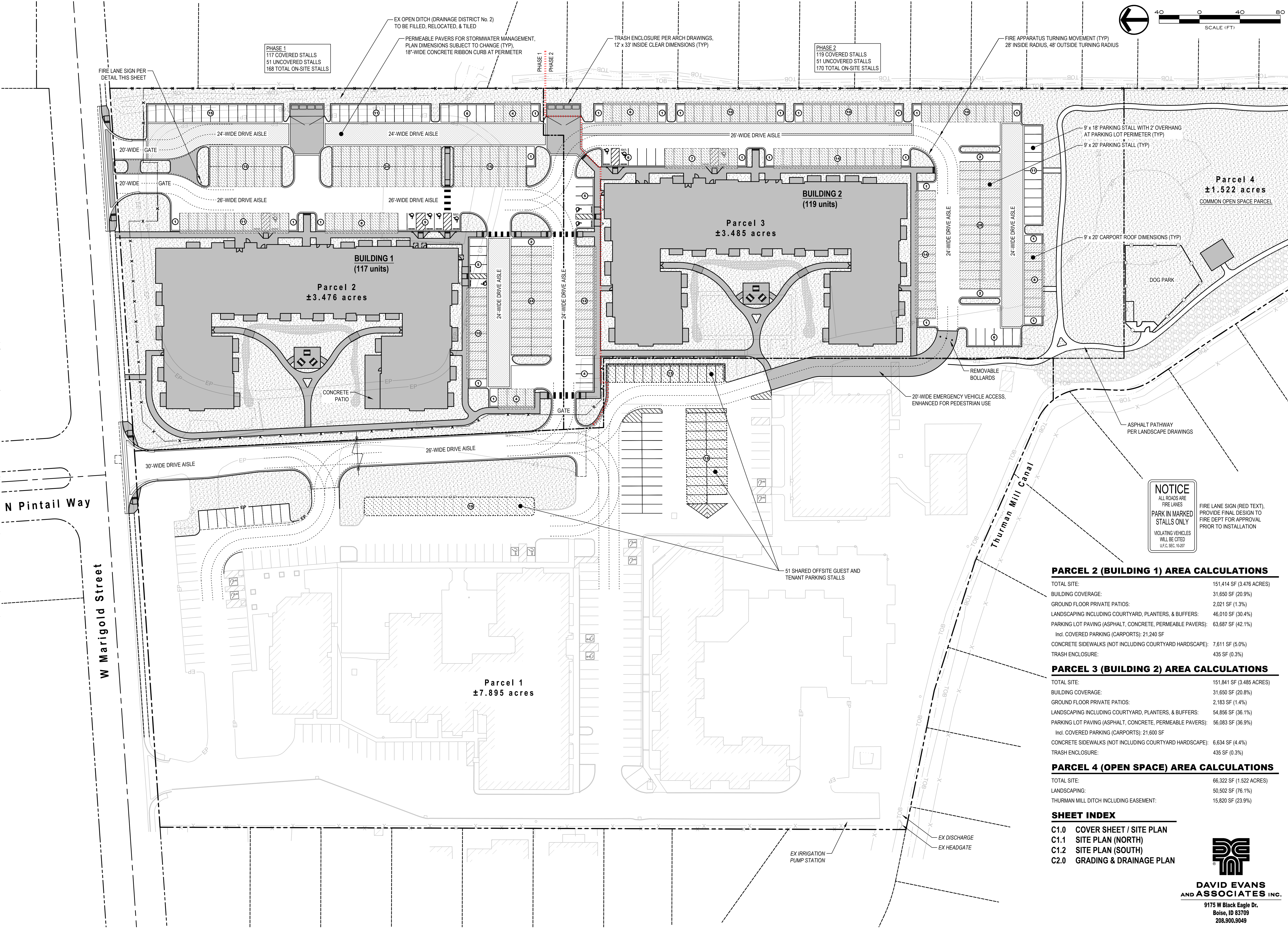
LEVEL 4



FILE NAME: R221201 PLAN SHEET'S.DWG  
PLOT DATE & TIME: 2/24/2025 8:43 AM

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Plot Paper Size: ARCH FULL BLEED D (24.00 x 36.00 INCHES)



PARCEL 2 (BUILDING 1) AREA CALCULATIONS	
TOTAL SITE:	151,414 SF (3.476 ACRES)
BUILDING COVERAGE:	31,650 SF (20.9%)
GROUND FLOOR PRIVATE PATIOS:	2,021 SF (1.3%)
LANDSCAPING INCLUDING COURTYARD, PLANTERS, & BUFFERS:	46,010 SF (30.4%)
PARKING LOT PAVING (ASPHALT, CONCRETE, PERMEABLE PAVERS):	63,687 SF (42.1%)
Incl. COVERED PARKING (CARPORTS):	21,240 SF
CONCRETE SIDEWALKS (NOT INCLUDING COURTYARD HARDSCAPE):	7,611 SF (5.0%)
TRASH ENCLOSURE:	435 SF (0.3%)
PARCEL 3 (BUILDING 2) AREA CALCULATIONS	
TOTAL SITE:	151,841 SF (3.485 ACRES)
BUILDING COVERAGE:	31,650 SF (20.8%)
GROUND FLOOR PRIVATE PATIOS:	2,183 SF (1.4%)
LANDSCAPING INCLUDING COURTYARD, PLANTERS, & BUFFERS:	54,856 SF (36.1%)
PARKING LOT PAVING (ASPHALT, CONCRETE, PERMEABLE PAVERS):	56,083 SF (36.9%)
Incl. COVERED PARKING (CARPORTS):	21,600 SF
CONCRETE SIDEWALKS (NOT INCLUDING COURTYARD HARDSCAPE):	6,634 SF (4.4%)
TRASH ENCLOSURE:	435 SF (0.3%)
PARCEL 4 (OPEN SPACE) AREA CALCULATIONS	
TOTAL SITE:	66,322 SF (1.522 ACRES)
LANDSCAPING:	50,502 SF (76.1%)
THURMAN MILL DITCH INCLUDING EASEMENT:	15,820 SF (23.9%)

**DAVID EVANS AND ASSOCIATES INC.**  
9175 W Black Eagle Dr.  
Boise, ID 83709  
208.900.9049

Design Review Drawings for:

# Antioch Apartments

8695 W Marigold Street, Garden City, Idaho

PACIFIC WEST COMMUNITIES

Description	Date

PROFESSIONAL ENGINEER  
REGISTERED  
12645  
STATE OF IDAHO  
FOR AN APPLICANT

2/19/2025

Drawing Set Issued for:  
**DESIGN REVIEW**

Project No.	R221201
Issued Date	19 FEB 2025
Drawn by	BEA

Sheet Title

Sheet Number

# C1.0

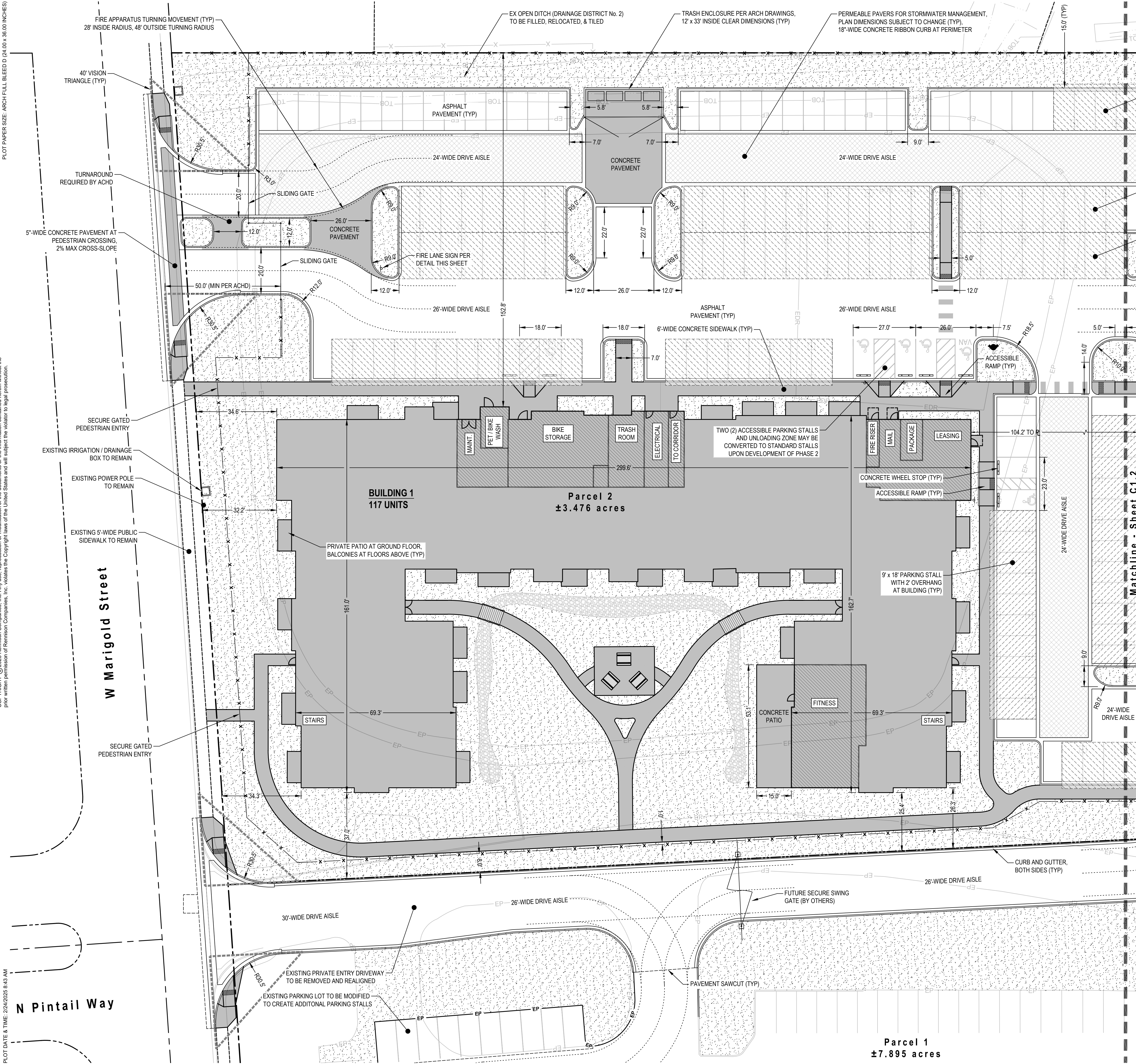
RENNISON DESIGN  
2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616

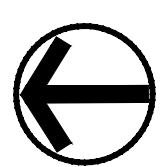


FILE NAME: R221201 PLAN SHEET.SWG  
PLOT DATE & TIME: 2/24/2025 8:43 AM

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Plot Paper Size: ARCH FULL BLEED D (24.00 x 36.00 INCHES)





200040  
SCALE (FT)

NOTICE

ALL ROADS ARE  
FIRE LANES  
PARK IN MARKED  
STALLS ONLY  
VIOLATING VEHICLES  
WILL BE CITED  
UT.C.36C.16-001

FIRE LANE SIGN (RED TEXT),  
PROVIDE FINAL DESIGN TO  
FIRE DEPT FOR APPROVAL  
PRIOR TO INSTALLATION

Design Review Drawings for:

Antioch  
Apartments

8695 W Marigold Street, Garden City, Idaho


PACIFIC  
WEST  
COMMUNITIES

△ Description	Date

2/19/2025

Drawing Set Issued for:  
**DESIGN REVIEW**

Project No.	R221201
Issued Date	19 FEB 2025
Drawn by	BEA
Sheet Title	

DAVID EVANS  
AND ASSOCIATES INC.  
9175 W Black Eagle Dr.  
Boise, ID 83709  
208.900.9049

Site Plan

Sheet Number  
**C1.1**



8695 W Marigold Street, Garden City, Idaho

Design Review Drawings for:



Project No. R221201  
Issued Date 19 FEB 2025  
Drawn by BEA

Sheet Title

Sheet Number

## C1.2

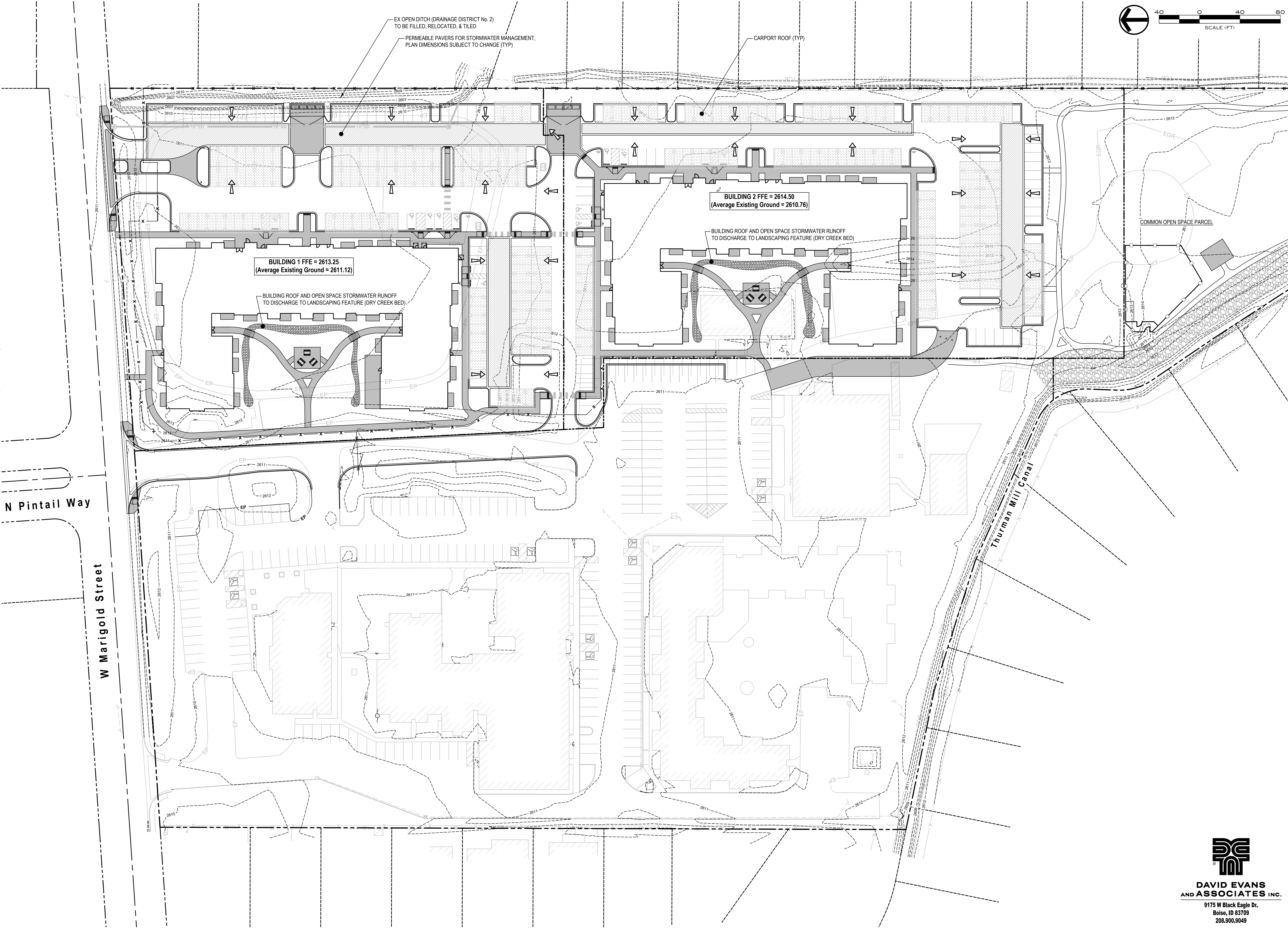


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PLOT DATE & TIME: 2/24/2025 8:44 AM



FILE NAME: R221201 PLAN SHEET.SDWG  
PLOT DATE & TIME: 2/24/2025 8:44 AM

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△ Description	Date



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<b>DESIGN REVIEW</b>	
Project No.	R221201
Issued Date	19 FEB 2025
Drawn by	BEA
Sheet Title	



## LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER.
- ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER AND CONIFER TREES WELLS TO BE 6' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF BLACK SOIL AID MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER.
- ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
- ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION, A PH FROM 5.5 TO 7.0. TOP SOIL SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS, 21 GRAM. QUANTITY PER MANUFACTURER'S RECOMMENDATION.
- PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
- SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
- IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE.
- ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED

- FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.
- COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
- ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION.
- NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

## IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM.
- ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - PRECISE INDIVIDUAL STATION TIMING
  - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
  - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
  - POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.

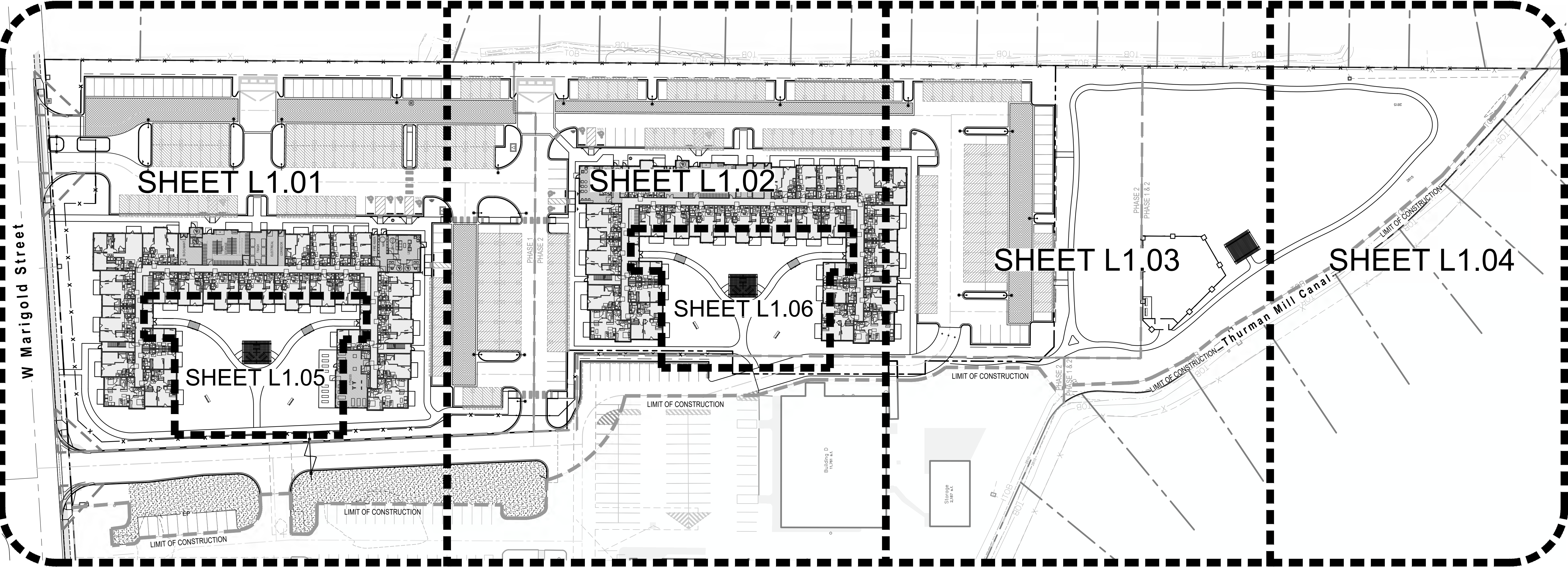
- INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
- POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

## DISCLAIMER:

THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED, IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, SOUTH BECK AND BAIRD, P.C. CANNOT ASSURE ITS ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATE INTO IT AS A RESULT. SOUTH BECK AND BAIRD, P.C. ASSUMES NO LIABILITY FOR ANY MISINFORMATION.



SCALE: NTS



## SITE DEVELOPMENT FEATURES

MULTIFAMILY AREA	6.51 ACRES TOTAL
ZONING	R-3
TOTAL MULTI FAMILY UNITS	236
TOTAL OPEN/Common AREA	.94 ACRES
PERCENT OPEN AREA	15.5%

## LANDSCAPING INFORMATION

\* ROADWAY LANDSCAPE BUFFERS:  
W MARIGOLD STREET:  
20' STREET BUFFER  
375' FEET OF STREET BUFFER  
STREET TREES @ 1/50' = 8 REQUIRED; 17 PROPOSED

\* TOTAL SITE LANDSCAPE AREA: (5% MIN. REQUIRED)  
TOTAL LANDSCAPE AREA PROVIDED  
(MINUS OPEN SPACE/Common AREA) = 61,243 SF, 21%  
TOTAL OPEN SPACE/Common AREA PROVIDED = 123,195 SF, 43%  
(1 TREE/1,000 SF. LANDSCAPE AREA) =184 REQUIRED, 197 PROPOSED  
(1 SHRUB/150 SF. LANDSCAPE AREA) =1,230 REQUIRED, 2,604 PROPOSED

\* PERIMETER LANDSCAPE AREA: (10' WIDE MIN. AND 6' HIGH)  
TOTAL LINEAR FEET = 1,377 LF.  
(1 TREE/35 LF.) = 39 REQUIRED; 39 PROPOSED

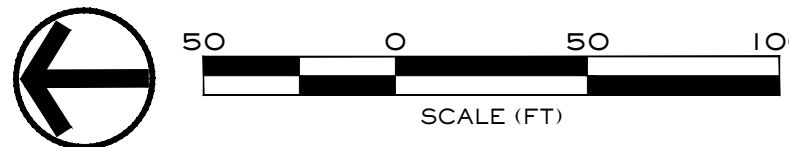
\* PARKING LANDSCAPE REQUIREMENTS:  
PERIMETER LANDSCAPE/SCREENING PROVIDED = TREES AT 35' O.C., 6' HIGH  
SOLID FENCE, AND SHRUB PLANTINGS

\* MITIGATION FOR REMOVAL OF EXISTING TREES: (SEE MITIGATION SHEET L2.00)

\* AMENITIES PROVIDED:  
DOG PARK  
PEDESTRIAN WALKING PATHWAY  
SPORTS FIELD  
OPEN GRASSY AREA  
PLAZA

## LANDSCAPE SHEET INDEX

SEE SHEET L1.01-L1.06 FOR DETAILED LANDSCAPE PLAN,  
SEE SHEET L1.07 FOR FENCING PLAN,  
SEE SHEET L2.00 FOR MITIGATION PLAN,  
SEE SHEET L3.00 FOR LANDSCAPE LEGEND AND DETAILS.

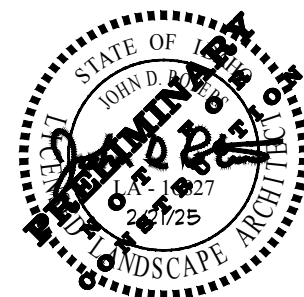


Design Review Drawings for:



Description Date

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Drawing Set Issued for:  
**DESIGN REVIEW**

Project No. R221201 / 24-123  
Issued Date 21 FEB 2025  
Drawn by SM

Sheet Title

Overall Landscape Plan

Sheet Number

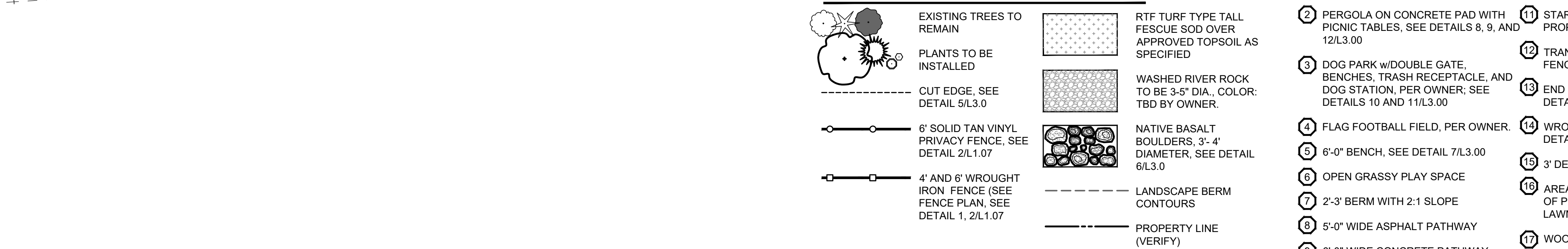
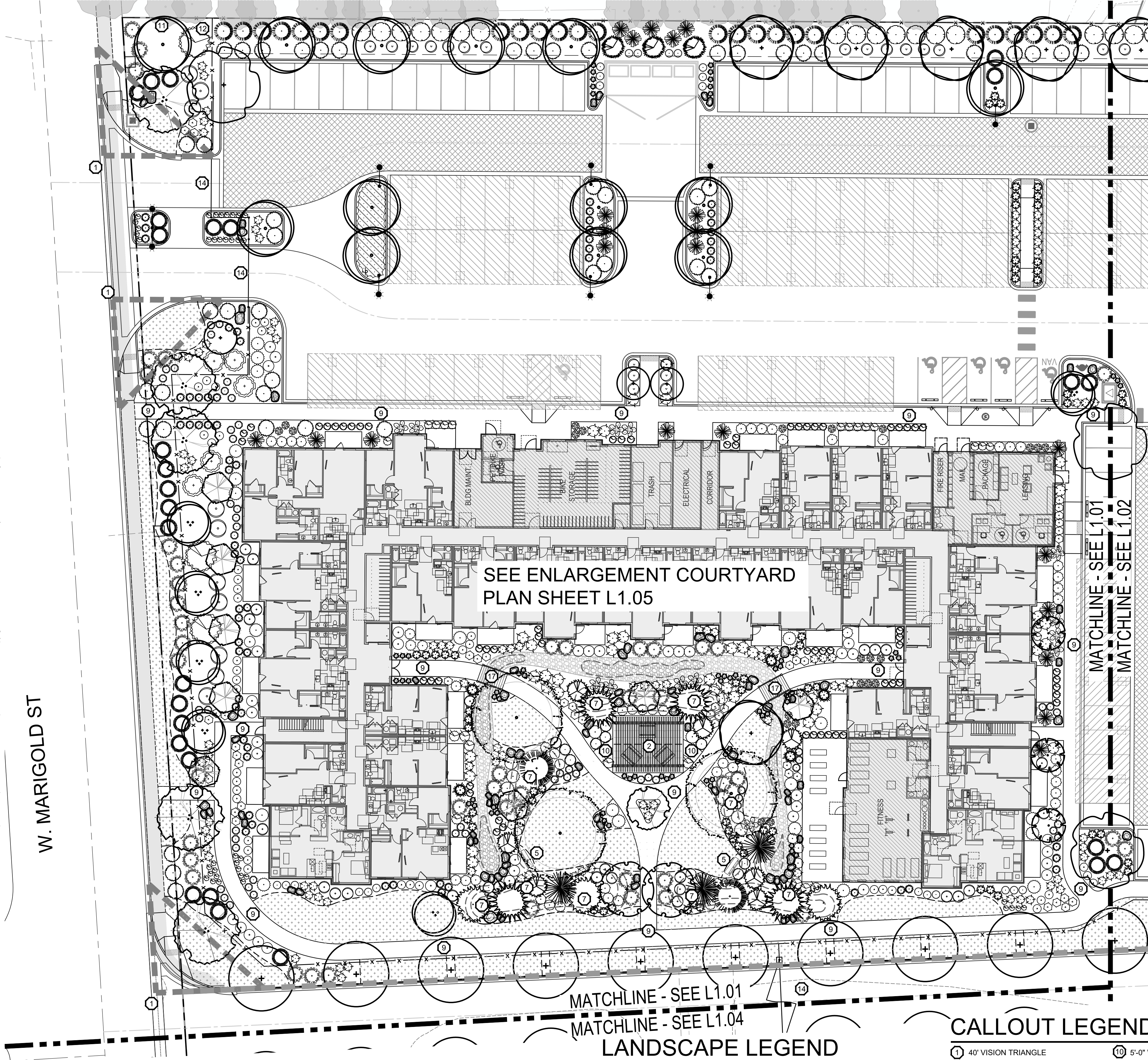
**L1.00**

Antioch  
Apartments

8695 W Marigold Street, Garden City, Idaho







PLANT SCHEDULE					NOTE: All trees to be grade #1 (Shown at 80% Maturity)	
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS		
DECIDUOUS TREES					SEE DETAIL 1/L3.0	
AC	Acer platanoides 'Columnaris'	2" B&B	35' hgt. 15' w	CLASS II		
AP	Acer rubrum 'Armstrong'	2" B&B	45' hgt. 15' w	CLASS II		
AK	Acer truncatum x A. plat. 'Keithsform'	2" B&B	45' hgt. 25' w	CLASS II		
BN	Betula nigra	2" B&B multi-stem	35' hgt. 25' w	CLASS II		
CE	Carpinus betulus 'Fastigiata'	2" B&B	35' hgt. 25' w	CLASS II		
CC	Carpinus caroliniana 'Uxbridge'	2" B&B	30' hgt. 15' w	CLASS II		
GT	Gleditsia triacanthos inermis 'Skyline'	2" B&B	45' hgt. 30' w	CLASS II		
KP	Malus 'Spring Snow'	2" B&B	25' hgt. 20' w	CLASS I		
MA	Malus x 'Royal Raindrops'	2" B&B	20' hgt. 15' w	CLASS I		
PC	Platanus x acerifolia 'Bloodgood'	2" B&B	50' hgt. 40' w	CLASS III		
TA	Tilia americana 'Boulevard'	3" B&B	35' hgt. 30' w	CLASS II		
TS	Quercus robur x alba 'JFS-KW2QX'	2" B&B	45' hgt. 10' w	CLASS II		
TT	Tilia tomentosa 'Sterling'	2" B&B	45' hgt. 35' w	CLASS II		
ZS	Zelkova serrata 'Schmidtlow'	2" B&B	24' hgt. 36' w	CLASS II		
CONIFEROUS TREES					SEE DETAIL 2/L3.0	
	Cedrus deodara 'Aurea'	6" B&B	30' hgt. 15' w	CONIF.		
	Picea pungens 'Bachari'	6" B&B	40' hgt. 20' w	CONIF.		
	Picea glauca 'Pendula'	6" B&B	25' hgt. 7' w	CONIF.		
	Pinus strobus 'Fastigiata'	6" B&B	25' hgt. 15' w	CONIF.		
	Pinus nigra 'Oregon Green'	6" B&B	18' hgt. 15' w	CONIF.		
	Pinus strobus 'Fastigiata'	6" B&B	30' hgt. 10' w	CONIF.		
	Picea glauca 'Densata'	6" B&B	25' hgt. 15' w	CONIF.		
	Picea pungens 'glauca'	6" B&B	35' hgt. 15' w	CONIF.		
SHRUBS					SEE DETAIL 3/L3.0	
	Buxus x 'Green Mountain'	5 Gal.	5' hgt. x 3' wide			
	Cornus sericea 'Flaviramea'	2 Gal.	6' hgt. x 8' wide			
	Cornus alba 'Bailhali'	5 Gal.	6' hgt. x 6' wide			
	Cornus alba 'Elegantissima'	5 Gal.	6' hgt. x 6' wide			
	Cotoneaster horizontalis 'Perpusillus'	2 Gal.	12" hgt. x 6' wide			
	Euonymus alatus 'Compactus'	5 Gal.	4' hgt. x 4' wide			
	Euonymus fortunei 'Ivory Jade'	5 Gal.	3' hgt. x 6' wide			
	Euonymus fortunei 'Sunrise' PP #12,341	2 Gal.	2' hgt. x 4' wide			
	Juniperus horizontalis 'Blue Chip'	2 Gal.	1' hgt. x 6' wide			
	Juniperus scopulorum 'Blue Arrow'	2 Gal.	12" hgt. x 2' wide			
	Juniperus scopulorum 'Medora'	5 Gal.	10' hgt. x 3' wide			
	Physocarpus opulifolius 'Dart's Gold'	2 Gal.	5' hgt. x 5' wide			
	Physocarpus opulifolius 'Monlo'	5 Gal.	8' hgt. x 8' wide			
	Potentilla fruticosa 'Gold Star'	2 Gal.	3' hgt. x 3' wide			
	Ilex crenata 'Sky pencil'	2 Gal.	6' hgt. x 3' wide			
	Rhus aromatica 'Gro Low'	2 Gal.	2' hgt. x 6' wide			
	Rhus trilobata 'Autumn Amber'	2 Gal.	6' hgt. x 6' wide			
	Rosa x 'Nearly Wild'	2 Gal.	3' hgt. x 3' wide			
	Rosa x 'Noisplash'	2 Gal.	2' hgt. x 4' wide			
	Mahonia repens	2 Gal.	2' hgt. x 4' wide			
	Spiraea x bumalda 'Goldflame'	2 Gal.	4' hgt. x 4' wide			
	Spiraea japonica 'Goldmound'	2 Gal.	3' hgt. x 3' wide			
	Blue Prince Holly	2 Gal.	6' hgt. x 4' wide			
	Viburnum plicatum tomentosum 'Mariesii'	5 Gal.	6' hgt. x 10' wide			
GROUND COVERS/ GRASSES/ PERENNIALS					SEE DETAIL 4/L3.0	
	Calamagrostis x acutiflora 'Karl Foerster'	1 Gal.	3' hgt. x 2' wide			
	Hemerocallis x 'Stella De Oro'	1 Gal.	18" hgt. x 2' wide			
	Hosta x 'Blue Angel'	1 Gal.	2' hgt. x 5' wide			
	Hosta x 'Patriot'	1 Gal.	1' hgt. x 3' wide			
	Lavandula angustifolia 'Dilly Dilly'	1 Gal.	12" hgt. x 18" wide			
	Sedum spectabile 'Autumn Joy'	1 Gal.	2' hgt. x 3' wide			
	Panicum virgatum 'Shenandoah'	1 Gal.	4' hgt. x 3' wide			
	Pennisetum alopecuroides 'Little Bunny'	2 Gal.	2' hgt. x 3' wide			
	Hypericum frondosum 'Sunburst'	4" Pot	2' hgt. x 4' wide (36" O.C.)			

811

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**SOUTH BECK & BAIRD**  
South Landscape Architecture P.C.  
Dba South Beck & Baird Landscape Architecture P.C.

RENNISON  
DESIGN

2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616

Design Review Drawings for:

Antioch  
Apartments

8695 W Marigold Street, Garden City, Idaho

PACIFIC  
WEST  
COMMUNITIES

△ Description

Date

LANDSCAPE ARCHITECT  
STATE OF IDAHO  
No. 12345  
2025

Drawing Set Issued for:  
**DESIGN REVIEW**

Project No. R221201 / 24-123  
Issued Date 21 FEB 2025  
Drawn by SM

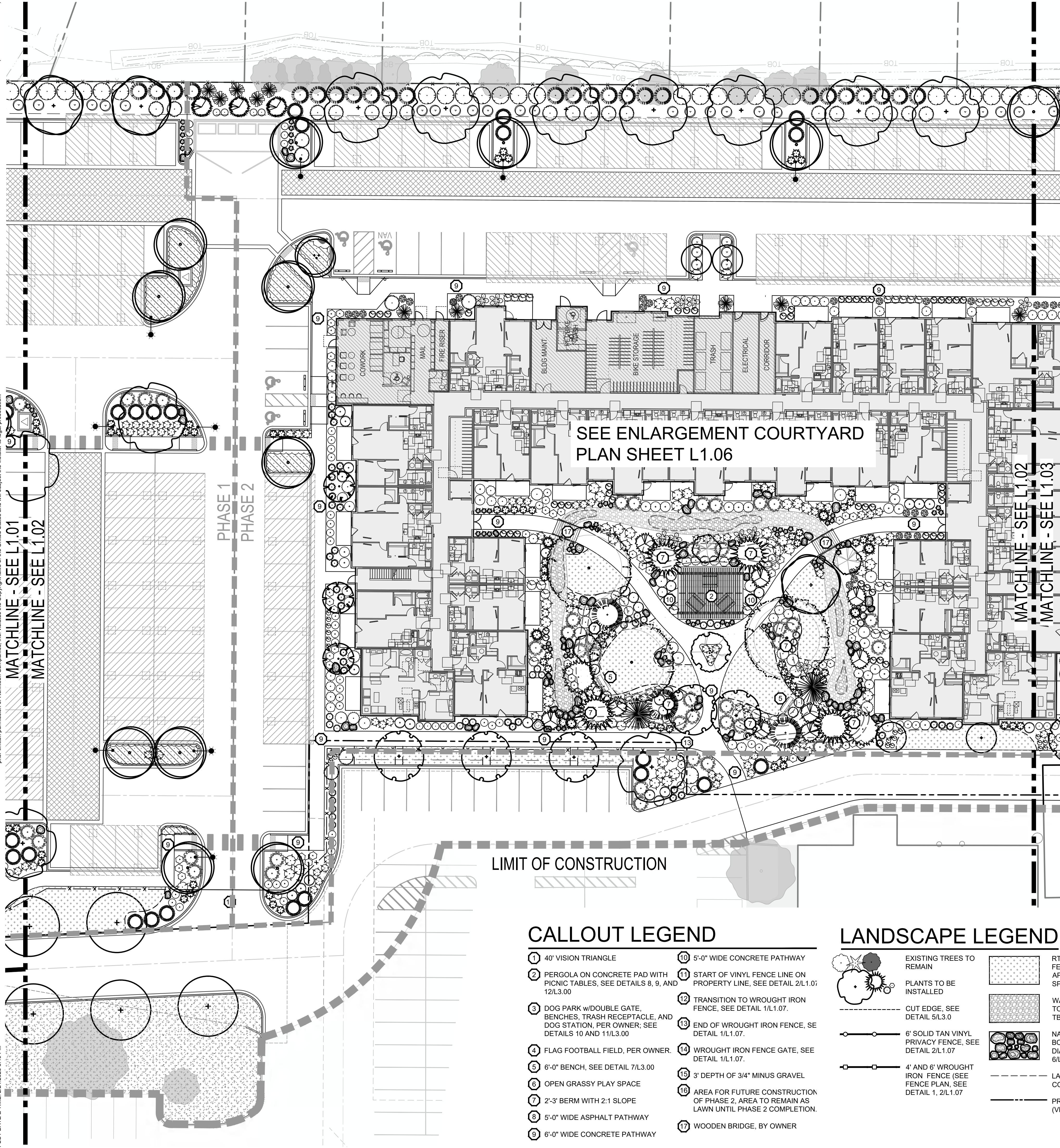
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Sheet Number  
**L1.01**



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PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES			SEE DETAIL 1/L3.0		
AC	Acer platanoides 'Columnaris'	Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS II
AP	Acer rubrum 'Armstrong'	Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS II
AK	Acer truncatum x A. plat. 'Keithsform'	Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS II
BN	Betula nigra	River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS II
CE	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" B&B	30' hgt. 15' w	CLASS II
CC	Carpinus caroliniana 'Urbriidge'	Rising Fire American Hornbeam	2" B&B	45' hgt. 30' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
KP	Malus 'Spring Snow'	Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS I
MA	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS I
PC	Platanus x acerfolio 'Bloodgood'	Bloodgood London Planetree	2" B&B	50' hgt. 40' w	CLASS III
TA	Tilia americana 'Boulevard'	Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS II
TS	Quercus robur x alba 'JFS-KW2QX'	Skinny Genes Oak	2" B&B	45' hgt. 10' w	CLASS II
TT	Tilia tomentosa 'Sterling'	Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
ZS	Zeikova serrata 'Schmidtlow'	Wireless Zeikova	2" B&B	24' hgt. 36' w	CLASS II

CONIFEROUS TREES			SEE DETAIL 2/L3.0		
Cedrus deodara 'Aurea'	Golden Deodar Cedar	6' B&B	30' hgt. 15' w	CONIF.	
Picea pungens 'Bachari'	Fat Albert Colorado Blue Spruce	6' B&B	40' hgt. 20' w	CONIF.	
Picea glauca 'Pendula'	Weeping White Spruce	6' B&B	25' hgt. 7' w	CONIF.	
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.	
Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	6' B&B	18' hgt. 15' w	CONIF.	
Pinus strobus 'Fastigiata'	Fastigate White Pine	6' B&B	30' hgt. 10' w	CONIF.	
Picea glauca 'Densata'	Black Hills Spruce	6' B&B	25' hgt. 15' w	CONIF.	
Picea pungens 'glauca'	Colorado Blue Spruce	6' B&B	35' hgt. 15' w	CONIF.	

SHRUBS			SEE DETAIL 3/L3.0		
Buxus x 'Green Mountain'	Green Mountain Boxwood	5 Gal.	5' hgt. x 3' wide		
Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	2 Gal.	6' hgt. x 8' wide		
Cornus alba 'Bailhailo'	Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide		
Cornus alba 'Elegantissima'	Variegated Red Twig Dogwood	5 Gal.	6' hgt. x 6' wide		
Cotoneaster horizontalis 'Perpusillus'	Prostrate Rock Cotoneaster	2 Gal.	12" hgt. x 6' wide		
Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.	4' hgt. x 4' wide		
Euonymus fortunei 'Ivory Jade'	Ivory Jade Wintercreeper	5 Gal.	3' hgt. x 6' wide		
Euonymus fortunei 'Sunrise' PP #12,341	Sunrise Wintercreeper	2 Gal.	2' hgt. x 4' wide		
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide		
Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	2 Gal.	12" hgt. x 2' wide		
Juniperus scopulorum 'Medora'	Medora Juniper	5 Gal.	10' hgt. x 3' wide		
Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	2 Gal.	5' hgt. x 5' wide		
Physocarpus opulifolius 'Monito'	Diabolo Ninebark	5 Gal.	8' hgt. x 8' wide		
Potentilla fruticosa 'Gold Star'	Gold Star Potentilla	2 Gal.	3' hgt. x 3' wide		
Ilex crenata 'Sky pencil'	Sky Pencil Holly	2 Gal.	6' hgt. x 3' wide		
Rhus aromatica 'Gro Low'	Gro Low sumac	2 Gal.	2' hgt. x 6' wide		
Rhus trilobata 'Autumn Amber'	Autumn Amber sumac	2 Gal.	6' hgt. x 6' wide		
Rosa x 'Nearly Wild'	Nearly Wild Rose	2 Gal.	3' hgt. x 3' wide		
Rosa x 'Noasplash'	Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide		
Mahonia repens	Creeping Oregon Grape	2 Gal.	4' hgt. x 4' wide		
Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2 Gal.	3' hgt. x 3' wide		
Spiraea japonica 'Goldmound'	Goldmound Spirea	2 Gal.	6' hgt. x 4' wide		
Blue Prince Holly	Ilex x meserveae 'Blue Prince'	5 Gal.	6' hgt. x 10' wide		
Viburnum plicatum tomentosum 'Mariesii'	Doublefile Viburnum				

GROUND COVERS/ GRASSES/ PERENNIALS			SEE DETAIL 4/L3.0		
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide		
Hemerocallis x 'Stella De Oro'	Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide		
Hosta x 'Blue Angel'	Blue Angel Host	1 Gal.	2' hgt. x 5' wide		
Hosta x 'Patriot'	Patriot Hosta	1 Gal.	1' hgt. x 3' wide		
Lavandula angustifolia 'Dilly Dilly'	Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide		
Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide		
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide		
Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide		
Hypericum frondosum 'Sunburst'	Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)		

CALLOUT LEGEND

- 1

40° VISION TRIANGLE
- 2

PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- 3

DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER; SEE DETAILS 10 AND 11/L3.00
- 4

FLAG FOOTBALL FIELD, PER OWNER.
- 5

6'-0" BENCH, SEE DETAIL 7/L3.00
- 6

OPEN GRASSY PLAY SPACE
- 7

2'-3" BERM WITH 2:1 SLOPE
- 8

5'-0" WIDE ASPHALT PATHWAY
- 9

6'-0" WIDE CONCRETE PATHWAY

10

5'-0" WIDE CONCRETE PATHWAY

11

START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07

12

TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.

13

END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.

14

WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.

15

3' DEPTH OF 3/4" MINUS GRAVEL

16

AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.

17

WOODEN BRIDGE, BY OWNER

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- CUT EDGE, SEE DETAIL 5/L3.0
- 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07
- 4" AND 6" WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07)
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- WASHED RIVER ROCK TO BE 3-5" DIA., COLOR: TBD BY OWNER.
- NATIVE BASALT BOULDERS, 3'- 4' DIAMETER, SEE DETAIL 6/L3.0
- LANDSCAPE BERM CONTOURS
- PROPERTY LINE (VERIFY)

RENNISON  
DESIGN

2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616

Design Review Drawings for:

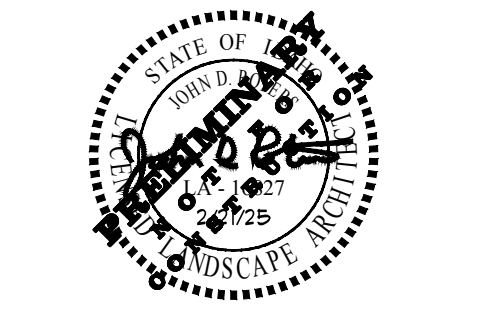
Antioch  
Apartments

8695 W Marigold Street, Garden City, Idaho

PACIFIC  
WEST  
COMMUNITIES

Description

Date



Drawing Set Issued for:  
**DESIGN REVIEW**

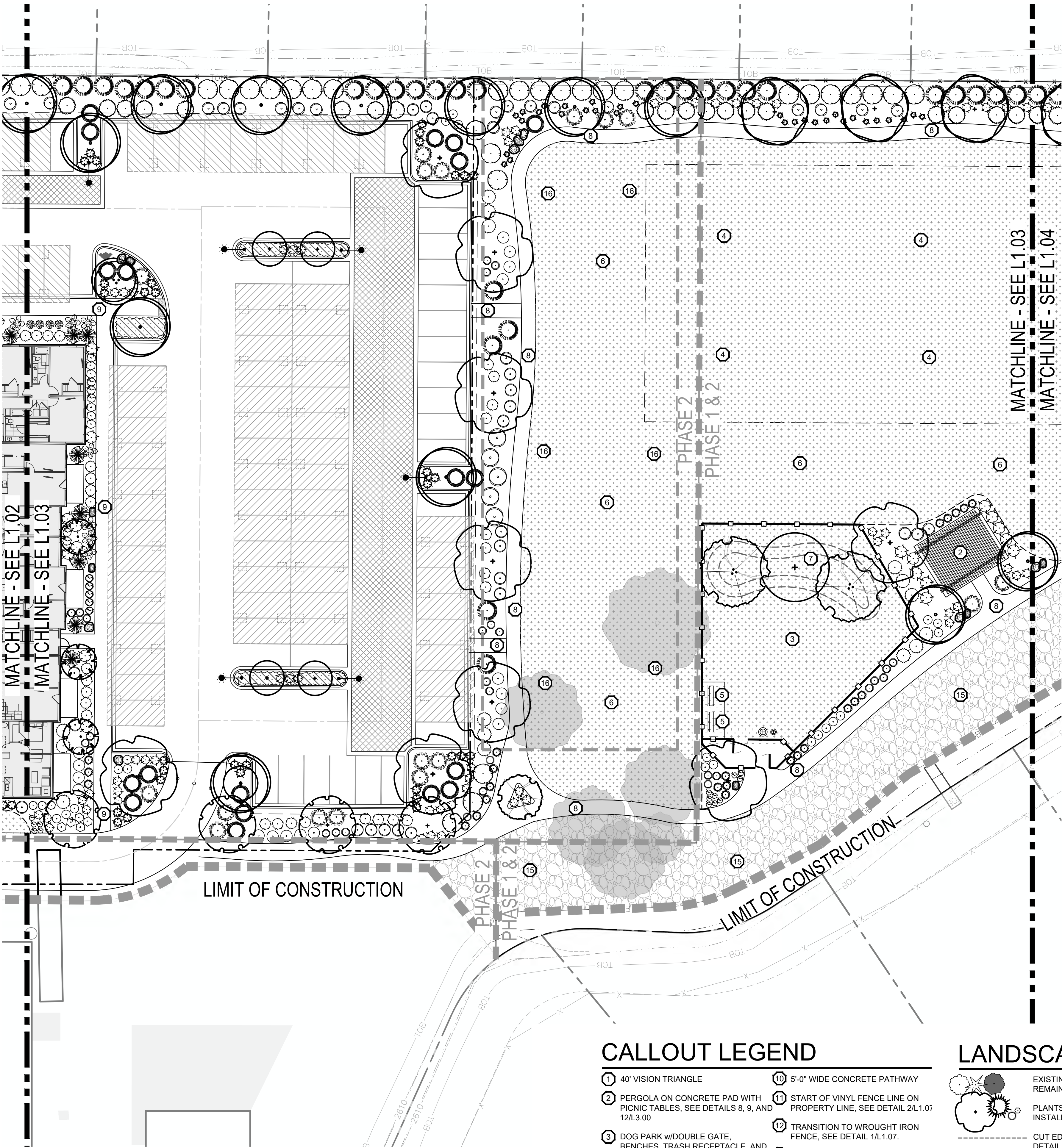
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Issued Date 21 FEB 2025  
Drawn by SM

Sheet Title

Landscape Plan

Sheet Number  
**L1.02**





### CALLOUT LEGEND

- |  |  |
|--|--|
| 1 40' VISION TRIANGLE  | 10 5'-0" WIDE CONCRETE PATHWAY   |
| 2 PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00                                 | 11 START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07                            |
| 3 DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER; SEE DETAILS 10 AND 11/L3.00 | 12 TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.                                     |
| 4 FLAG FOOTBALL FIELD, PER OWNER.  | 13 END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.  |
| 5 6'-0" BENCH, SEE DETAIL 7/L3.00  | 14 WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.  |
| 6 OPEN GRASSY PLAY SPACE   | 15 3' DEPTH OF 3/4" MINUS GRAVEL   |
| 7 2'-3' BERM WITH 2:1 SLOPE  | 16 AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION. |
| 8 5'-0" WIDE ASPHALT PATHWAY   | 17 WOODEN BRIDGE, BY OWNER   |
| 9 6'-0" WIDE CONCRETE PATHWAY  |  |

### LANDSCAPE LEGEND

- |   |  |
|---|--|
| EXISTING TREES TO REMAIN  | RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED |
| PLANTS TO BE INSTALLED  | WASHED RIVER ROCK TO BE 3-5" DIA., COLOR: TBD BY OWNER.          |
| CUT EDGE, SEE DETAIL 5/L3.0   | NATIVE BASALT BOULDERS, 3'- 4' DIAMETER, SEE DETAIL 6/L3.0       |
| 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07                | LANDSCAPE BERM CONTOURS  |
| 4" AND 6" WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07 | PROPERTY LINE (VERIFY)   |

### PLANT SCHEDULE

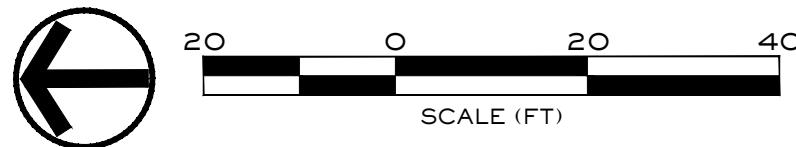
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES			SEE DETAIL 1/L3.0.		
AC	Acer platanoides 'Columnaris'	Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS II
AP	Acer rubrum 'Armstrong'	Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS II
AK	Acer truncatum x A. plat. 'Keithsform'	Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS II
BN	Betula nigra	River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS II
CE	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" B&B	30' hgt. 15' w	CLASS II
CC	Carpinus caroliniana 'Urbriidge'	Rising Fire American Hornbeam	2" B&B	45' hgt. 30' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2" B&B	25' hgt. 20' w	CLASS I
KP	Malus 'Spring Snow'	Spring Snow Crabapple	2" B&B	20' hgt. 15' w	CLASS I
MA	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	2" B&B	50' hgt. 40' w	CLASS III
PC	Platanus x acerfolio 'Bloodgood'	Bloodgood London Planetree	3" B&B	35' hgt. 30' w	CLASS II
TA	Tilia americana 'Boulevard'	Boulevard Linden	2" B&B	45' hgt. 10' w	CLASS II
TS	Quercus robur x alba 'JFS-KW2QX'	Skinny Genes Oak	2" B&B	45' hgt. 35' w	CLASS II
TT	Tilia tomentosa 'Sterling'	Sterling Linden	2" B&B	24' hgt. 36' w	CLASS II
ZS	Zelkova serrata 'Schmidtlow'	Wireless Zelkova	6' B&B	30' hgt. 15' w	CONIF.

CONIFEROUS TREES			SEE DETAIL 2/L3.0.		
Cedrus deodara 'Aurea'	Golden Deodar Cedar	6' B&B	40' hgt. 20' w	CONIF.	
Picea pungens 'Bacheri'	Fat Albert Colorado Blue Spruce	6' B&B	25' hgt. 7' w	CONIF.	
Picea glauca 'Pendula'	Weeping White Spruce	6' B&B	25' hgt. 15' w	CONIF.	
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Limber Pine	6' B&B	18' hgt. 15' w	CONIF.	
Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	6' B&B	30' hgt. 10' w	CONIF.	
Pinus strobus 'Fastigiata'	Fastigiate White Pine	6' B&B	25' hgt. 15' w	CONIF.	
Picea glauca 'Densata'	Black Hills Spruce	6' B&B	35' hgt. 15' w	CONIF.	
Picea pungens 'glauca'	Colorado Blue Spruce	6' B&B		CONIF.	

SHRUBS			SEE DETAIL 3/L3.0.		
Buxus x 'Green Mountain'	Green Mountain Boxwood	2 Gal.	6' hgt. x 8' wide		
Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	5 Gal.	6' hgt. x 6' wide		
Cornus alba 'Bailhailo'	Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide		
Cornus alba 'Elegantissima'	Variegated Red Twig Dogwood	2 Gal.	12" hgt. x 6' wide		
Cotoneaster horizontalis 'Perpusillus'	Prostrate Rock Cotoneaster	5 Gal.	4' hgt. x 4' wide		
Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.	3' hgt. x 6' wide		
Euonymus fortunei 'Ivory Jade'	Ivory Jade Wintercreeper	2 Gal.	2' hgt. x 4' wide		
Euonymus fortunei 'Sunrise' PP #12,341	Sunrise Wintercreeper	2 Gal.	1' hgt. x 6' wide		
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	2 Gal.	12' hgt. x 2' wide		
Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5 Gal.	10' hgt. x 3' wide		
Juniperus scopulorum 'Medora'	Medora Juniper	2 Gal.	5' hgt. x 5' wide		
Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	5 Gal.	8' hgt. x 8' wide		
Physocarpus opulifolius 'Monlo'	Diablo® Ninebark	2 Gal.	3' hgt. x 3' wide		
Potentilla fruticosa 'Gold Star'	Gold Star Potentilla	2 Gal.	2' hgt. x 6' wide		
Rhus aromatica 'Gro Low'	Gro Low sumac	2 Gal.	6' hgt. x 6' wide		
Rhus trilobata 'Autumn Amber'	Autumn Amber sumac	2 Gal.	3' hgt. x 3' wide		
Rosa x 'Nearly Wild'	Nearly Wild Rose	2 Gal.	2' hgt. x 4' wide		
Rosa x 'Noasplash'	Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide		
Mahonia repens	Creeping Oregon Grape	2 Gal.	4' hgt. x 4' wide		
Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2 Gal.	3' hgt. x 3' wide		
Spiraea japonica 'Goldmound'	Goldmound Spirea	2 Gal.	6' hgt. x 4' wide		
Blue Prince Holly	Ilex x meserveae 'Blue Prince'	5 Gal.	6' hgt. x 10' wide		
Viburnum plicatum tomentosum 'Mariesii'	Doublefile Viburnum				

GROUND COVERS/ GRASSES/ PERENNIALS			SEE DETAIL 4/L3.0.		
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Dwarf Feather Grass	1 Gal.	18" hgt. x 2' wide		
Hemerocallis x 'Stella De Oro'	Stella De Oro Daylily	1 Gal.	2' hgt. x 5' wide		
Hosta x 'Blue Angel'	Blue Angel Host	1 Gal.	1' hgt. x 3' wide		
Hosta x 'Patriot'	Patriot Hosta	1 Gal.	12" hgt. x 18" wide		
Lavandula angustifolia 'Dilly Dilly'	Dilly Dilly Lavender	1 Gal.	2' hgt. x 3' wide		
Sedum spectabile 'Autumn Joy'	Autumn Joy Sedecrop	1 Gal.	4' hgt. x 3' wide		
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.	2' hgt. x 3' wide		
Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	4" Pot	2' hgt. x 4' wide (36" O.C.)		
Hypericum frondosum 'Sunburst'	Sunburst St. John's Wort				

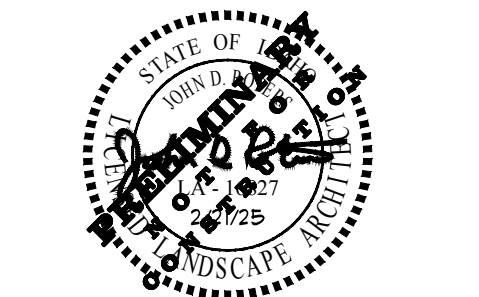


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Design Review Drawings for:



△ Description Date

Drawing Set Issued for:  
**DESIGN REVIEW**

Project No. R221201 / 24-123  
Issued Date 21 FEB 2025  
Drawn by SM

Sheet Title

Landscape Plan

Sheet Number

**L1.03**

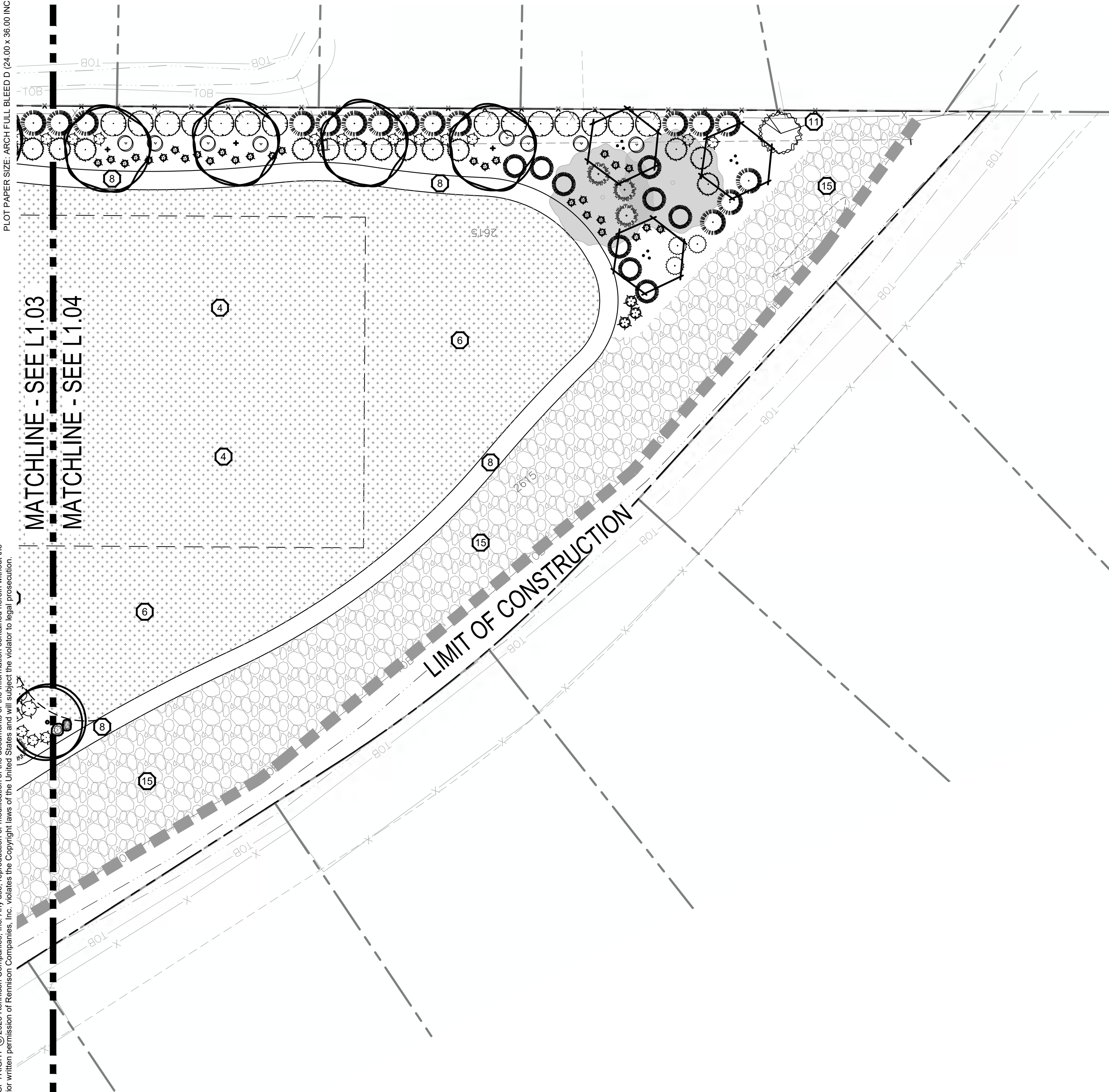
**RENNISON**  
DESIGN  
2025 E RIVERSIDE DRIVE, SUITE 200  
EAGLE, IDAHO 83616

**Antioch**  
**Apartments**  
8695 W Marigold Street, Garden City, Idaho



FILE NAME: 24-123 LANDSCAPE PLAN.DWG  
PLOT DATE & TIME: 2/21/2025 3:49 PM

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## LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- CUT EDGE, SEE DETAIL 5/L3.0
- 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07
- 4" AND 6" WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07)
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- WASHED RIVER ROCK TO BE 3-5" DIA., COLOR: TBD BY OWNER.
- NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 6/L3.0
- LANDSCAPE BERM CONTOURS
- PROPERTY LINE (VERIFY)

## CALLOUT LEGEND

- 1 40' VISION TRIANGLE
- 2 PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- 3 DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER, SEE DETAILS 10 AND 11/L3.00
- 4 FLAG FOOTBALL FIELD, PER OWNER.
- 5 6'-0" BENCH, SEE DETAIL 7/L3.00
- 6 OPEN GRASSY PLAY SPACE
- 7 2'-3' BERM WITH 2:1 SLOPE
- 8 5'-0" WIDE ASPHALT PATHWAY
- 9 6'-0" WIDE CONCRETE PATHWAY
- 10 5'-0" WIDE CONCRETE PATHWAY
- 11 START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07.
- 12 TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- 13 END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- 14 WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.
- 15 3' DEPTH OF 3/4" MINUS GRAVEL
- 16 AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
- 17 WOODEN BRIDGE, BY OWNER

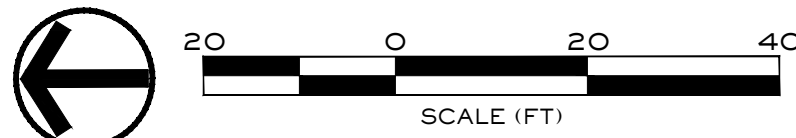
## PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES			SEE DETAIL 1/L3.0		
AC	Acer platanoides	'Columnaris'	2" B&B	35' hgt. 15' w	CLASS II
AP	Acer rubrum	'Armstrong'	2" B&B	45' hgt. 15' w	CLASS II
AK	Acer truncatum x A. plat.	'Keithsform'	2" B&B	45' hgt. 25' w	CLASS II
BN	Betula nigra	River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS II
CE	Carpinus betulus	'Fastigiata'	2" B&B	30' hgt. 15' w	CLASS II
CC	Carpinus caroliniana	'Urbriidge'	2" B&B	30' hgt. 15' w	CLASS II
GT	Gleditsia triacanthos inermis	'Skyline'	2" B&B	45' hgt. 30' w	CLASS II
KP	Malus 'Spring Snow'	Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS I
MA	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS I
PC	Platanus x acerfolio	'Bloodgood'	2" B&B	50' hgt. 40' w	CLASS III
TA	Tilia americana	Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS II
TS	Quercus robur x alba	'JFS-KW2QX'	2" B&B	45' hgt. 10' w	CLASS II
TT	Tilia tomentosa	'Sterling'	2" B&B	45' hgt. 35' w	CLASS II
ZS	Zeikova serrata	'Schmidtlow'	2" B&B	24' hgt. 36' w	CLASS II

CONIFEROUS TREES			SEE DETAIL 2/L3.0		
	Cedrus deodara	'Aurea'	6" B&B	30' hgt. 15' w	CONIF.
	Picea pungens	'Bachari'	6" B&B	40' hgt. 20' w	CONIF.
	Picea glauca	'Pendula'	6" B&B	25' hgt. 7' w	CONIF.
	Pinus flexilis	'Vanderwolf's Pyramid'	6" B&B	25' hgt. 15' w	CONIF.
	Pinus nigra	'Oregon Green'	6" B&B	18' hgt. 15' w	CONIF.
	Pinus strobus	'Fastigiata'	6" B&B	30' hgt. 10' w	CONIF.
	Picea glauca	'Densata'	6" B&B	25' hgt. 15' w	CONIF.
	Picea pungens	'glauca'	6" B&B	35' hgt. 15' w	CONIF.
SHRUBS			SEE DETAIL 3/L3.0		
	Buxus x 'Green Mountain'	Green Mountain Boxwood	5 Gal.	5' hgt. x 3' wide	
	Cornus sericea	'Flaviramea'	2 Gal.	6' hgt. x 8' wide	
	Cornus alba	'Bailhali'	5 Gal.	6' hgt. x 6' wide	
	Cornus alba	'Elegantissima'	5 Gal.	6' hgt. x 6' wide	
	Cotoneaster horizontalis	'Perpusillus'	2 Gal.	12" hgt. x 6' wide	
	Euonymus alatus	'Compactus'	5 Gal.	4' hgt. x 4' wide	
	Euonymus fortunei	'Ivory Jade'	5 Gal.	3' hgt. x 6' wide	
	Euonymus fortunei	'Sunrise'	2 Gal.	2' hgt. x 4' wide	
	Juniperus horizontalis	'Blue Chip'	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum	'Blue Arrow'	2 Gal.	12' hgt. x 2' wide	
	Juniperus scopulorum	'Medora'	5 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius	'Dart's Gold'	2 Gal.	5' hgt. x 5' wide	
	Physocarpus opulifolius	'Monito'	5 Gal.	8' hgt. x 8' wide	
	Potentilla fruticosa	'Gold Star'	2 Gal.	3' hgt. x 3' wide	
	Illex crenata	'Sky pencil'	2 Gal.	6' hgt. x 3' wide	
	Rhus aromatica	'Gro Low'	2 Gal.	2' hgt. x 6' wide	
	Rhus trilobata	'Autumn Amber'	2 Gal.	6' hgt. x 6' wide	
	Rosa x 'Nearly Wild'	Nearly Wild Rose	2 Gal.	3' hgt. x 3' wide	
	Rosa x 'Noasplash'	Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	
	Spiraea japonica	'Goldflame'	2 Gal.	4' hgt. x 4' wide	
	Spiraea japonica	'Goldmound'	2 Gal.	3' hgt. x 3' wide	
	Blue Prince Holly	Illex x meserveae 'Blue Prince'	2 Gal.	6' hgt. x 4' wide	
	Viburnum plicatum tomentosum	'Mariesii'	5 Gal.	6' hgt. x 10' wide	

GROUND COVERS/ GRASSES/ PERENNIALS			SEE DETAIL 4/L3.0		
	Calamagrostis x acutiflora	'Karl Foerster'	1 Gal.	3' hgt. x 2' wide	
	Hemerocallis x 'Stella De Oro'	Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide	
	Hosta x 'Blue Angel'	Blue Angel Host	1 Gal.	2' hgt. x 5' wide	
	Hosta x 'Patriot'	Patriot Hosta	1 Gal.	1' hgt. x 3' wide	
	Lavandula angustifolia	'Dilly Dilly'	1 Gal.	12" hgt. x 18" wide	
	Sedum spectabile	'Autumn Joy'	1 Gal.	2' hgt. x 3' wide	
	Panicum virgatum	'Shenandoah'	1 Gal.	4' hgt. x 3' wide	
	Pennisetum alopecuroides	'Little Bunny'	2 Gal.	2' hgt. x 3' wide	
	Hypericum frondosum	'Sunburst'	4" Pot	2' hgt. x 4' wide (36" O.C.)	



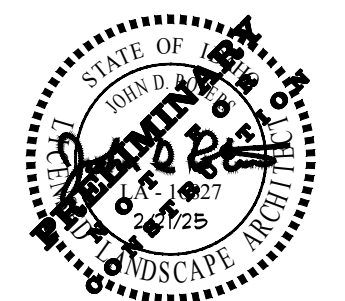
Design Review Drawings for:

## Antioch Apartments

8695 W Marigold Street, Garden City, Idaho



Description Date



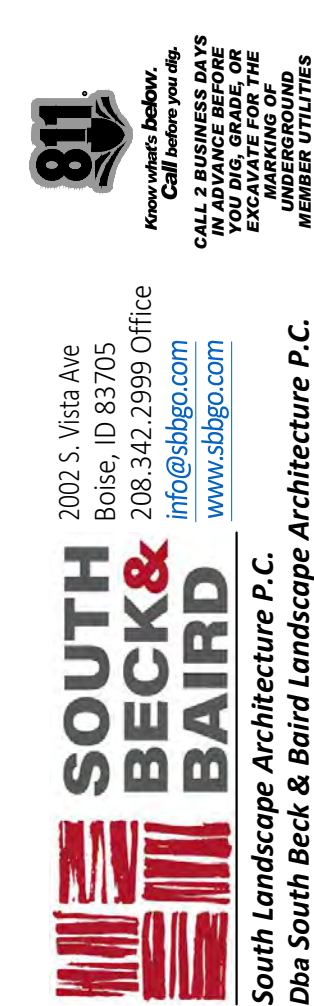
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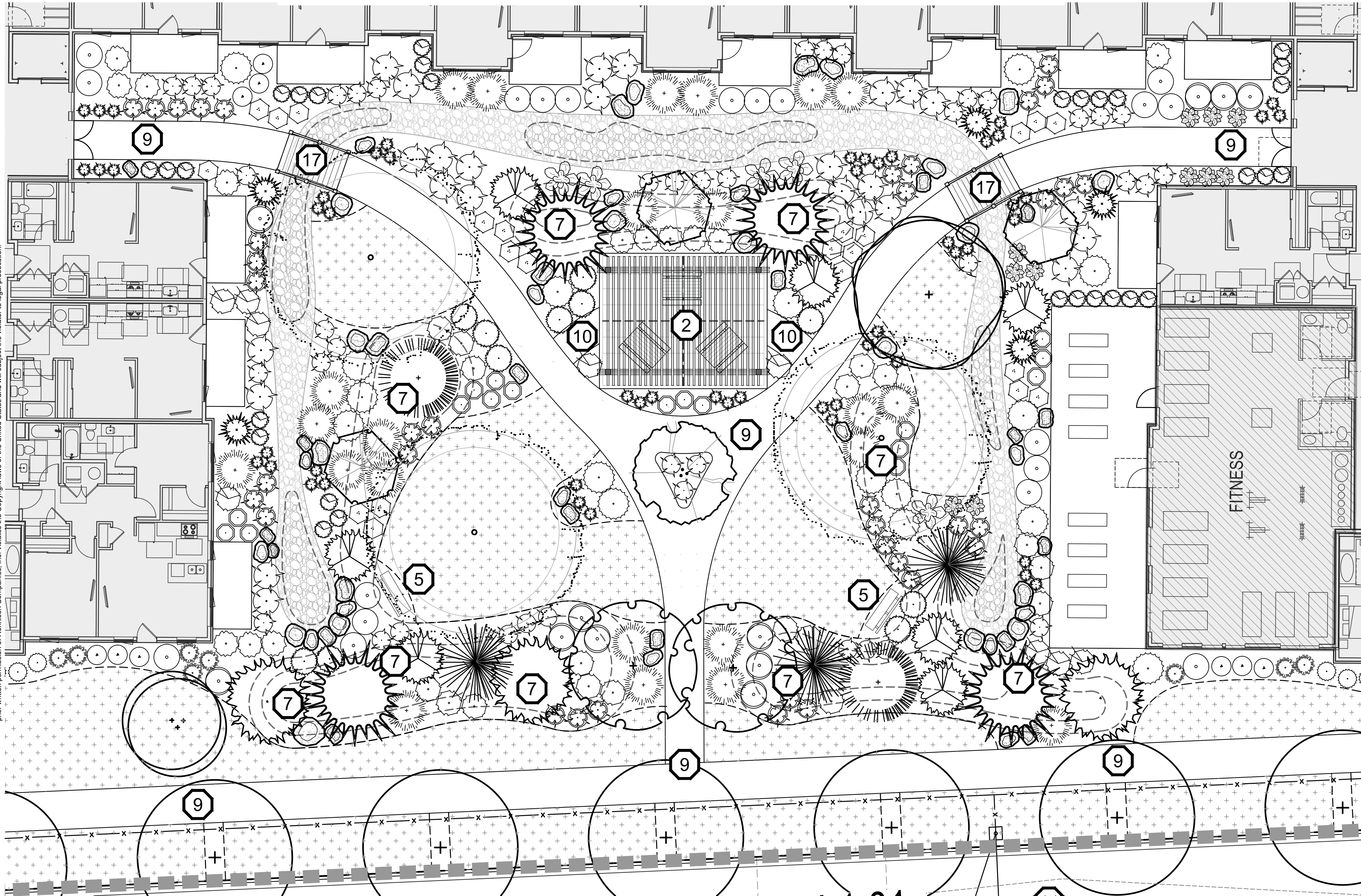
Landscape Plan

Sheet Number

# L1.04







### NOTE:

DRAINAGE FROM ROOF DRAINS TO BE CONNECTED TO STORM DRAIN/DRY RIVERBED. COORDINATE WITH CIVIL AND ARCHITECT FOR EXACT LOCATIONS. PIPE IF NECESSARY OR PROVIDE 2-4" DIA. RIVER ROCK FROM DOWN SPOUT TO DRAINAGE SWALE. (COORDINATE IN FIELD)

### CALLOUT LEGEND

- |  |  |
|--|--|
| 1 40' VISION TRIANGLE  | 10 5'-0" WIDE CONCRETE PATHWAY   |
| 2 PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00                                 | 11 START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07                            |
| 3 DOG PARK W/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER; SEE DETAILS 10 AND 11/L3.00 | 12 TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.                                     |
| 4 FLAG FOOTBALL FIELD, PER OWNER.  | 13 END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.  |
| 5 6'-0" BENCH, SEE DETAIL 7/L3.00  | 14 WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.  |
| 6 OPEN GRASSY PLAY SPACE   | 15 3' DEPTH OF 3/4" MINUS GRAVEL   |
| 7 2'-3" BERM WITH 2:1 SLOPE  | 16 AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION. |
| 8 5'-0" WIDE ASPHALT PATHWAY   | 17 WOODEN BRIDGE, BY OWNER   |
| 9 6'-0" WIDE CONCRETE PATHWAY  |  |

### LANDSCAPE LEGEND

- |   |  |
|---|--|
| EXISTING TREES TO REMAIN  | RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED |
| PLANTS TO BE INSTALLED  | WASHED RIVER ROCK TO BE 3-5" DIA., COLOR: TBD BY OWNER.          |
| CUT EDGE, SEE DETAIL 5/L3.0   | NATIVE BASALT BOULDERS, 3'- 4' DIAMETER, SEE DETAIL 6/L3.0       |
| 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07                | LANDSCAPE BERM CONTOURS  |
| 4" AND 6" WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07 | PROPERTY LINE (VERIFY)   |

### PLANT SCHEDULE

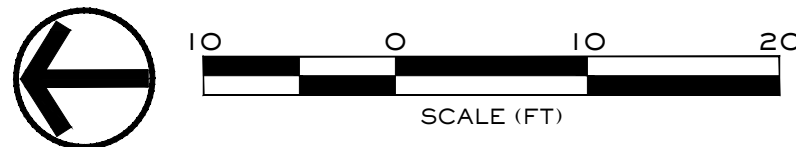
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES		SEE DETAIL 1/L3.0		
AC	Acer platanoides 'Columnaris' Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS
AP	Acer rubrum 'Armstrong' Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS
AK	Acer truncatum x A. plat.'Keithsform' Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS
BN	Betula nigra River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS
CE	Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	2" B&B	35' hgt. 25' w	CLASS
CC	Carpinus caroliniana 'Urbriidge' Rising Fire American Hornbeam	2" B&B	30' hgt. 15' w	CLASS
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS
KP	Malus 'Spring Snow' Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS
MA	Malus x 'Royal Raindrops' Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS
PC	Platanus x acerfolio 'Bloodgood' Bloodgood London Planetree	2" B&B	50' hgt. 40' w	CLASS
TA	Tilia americana 'Boulevard' Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS
TS	Quercus robur x alba 'JFS-KW2QX' Skinny Genes Oak	2" B&B	45' hgt. 10' w	CLASS
TT	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w	CLASS
ZS	Zeikova serrata 'Schmidtlow' Wireless Zeikova	2" B&B	24' hgt. 36' w	CLASS

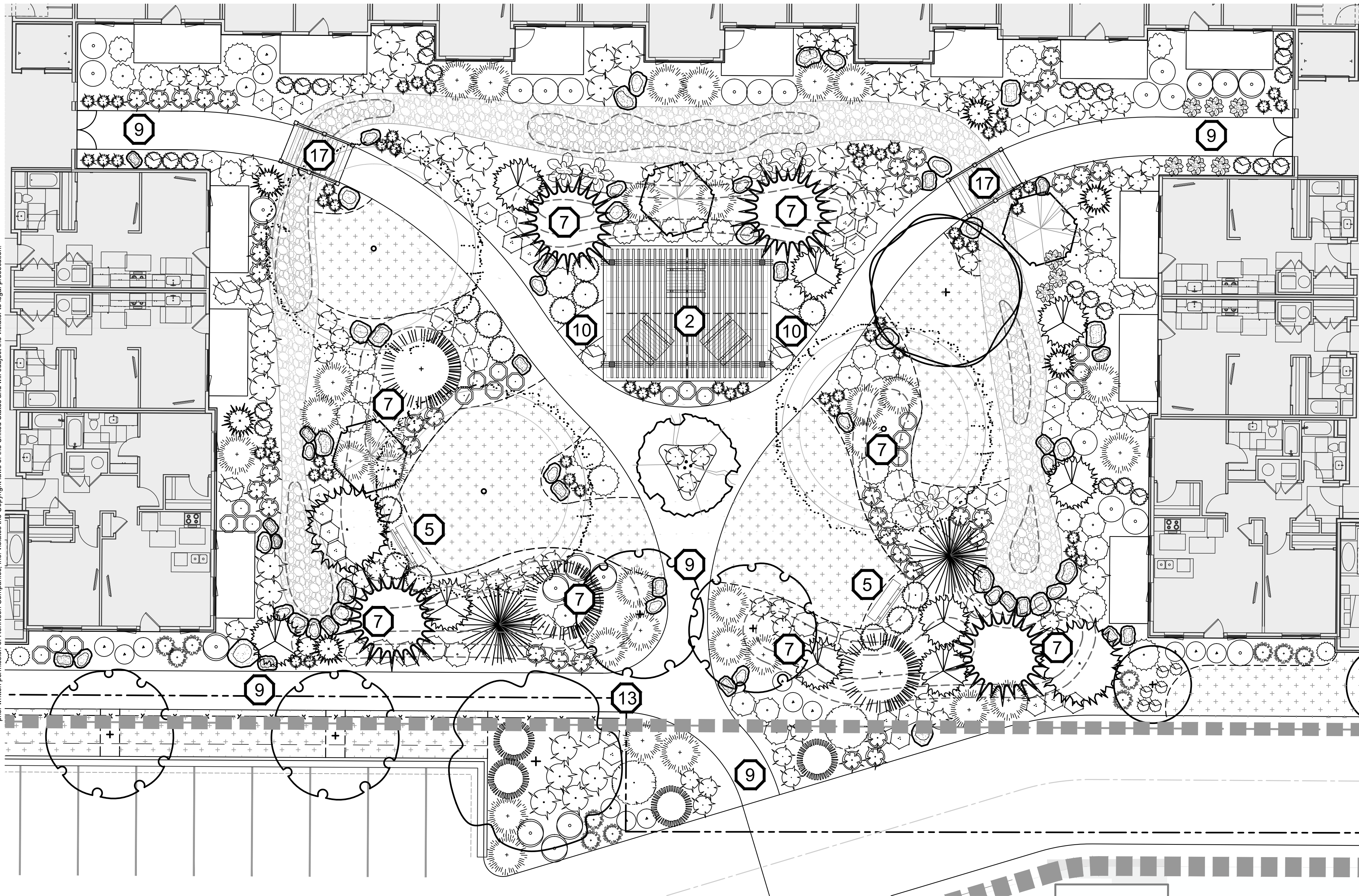
CONIFEROUS TREES		SEE DETAIL 2/L3.0		
Cedrus deodara 'Aurea'	Golden Deodar Cedar	6' B&B	30' hgt. 15' w	CONIF.
Picea pungens 'Bacheri'	Fat Albert Colorado Blue Spruce	6' B&B	40' hgt. 20' w	CONIF.
Picea glauca 'Pendula'	Weeping White Spruce	6' B&B	25' hgt. 7' w	CONIF.
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.
Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	6' B&B	18' hgt. 15' w	CONIF.
Pinus strobus 'Fastigiata'	Fastigate White Pine	6' B&B	30' hgt. 10' w	CONIF.
Picea glauca 'Densata'	Black Hills Spruce	6' B&B	25' hgt. 15' w	CONIF.
Picea pungens 'glauca'	Colorado Blue Spruce	6' B&B	35' hgt. 15' w	CONIF.

SHRUBS		SEE DETAIL 3/L3.0		
Buxus x 'Green Mountain'	Green Mountain Boxwood	5 Gal.	5' hgt. x 3' wide	
Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	2 Gal.	6' hgt. x 8' wide	
Cornus alba 'Bailhailo'	Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide	
Cornus alba 'Elegantissima'	Variegated Red Twig Dogwood	5 Gal.	6' hgt. x 6' wide	
Cotoneaster horizontalis 'Perpusillus'	Prostrate Rock Cotoneaster	2 Gal.	12" hgt. x 6' wide	
Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.	4' hgt. x 4' wide	
Euonymus fortunei 'Ivory Jade'	Ivory Jade Wintercreeper	5 Gal.	3' hgt. x 6' wide	
Euonymus fortunei 'Sunrise' PP #12,341	Sunrise Wintercreeper	2 Gal.	2' hgt. x 4' wide	
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	2 Gal.	12' hgt. x 2' wide	
Juniperus scopulorum 'Medora'	Medora Juniper	5 Gal.	10' hgt. x 3' wide	
Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	2 Gal.	5' hgt. x 5' wide	
Physocarpus opulifolius 'Monito'	Diablo® Ninebark	5 Gal.	8' hgt. x 8' wide	
Potentilla fruticosa 'Gold Star'	Gold Star Potentilla	2 Gal.	3' hgt. x 3' wide	
Ilex crenata 'Sky pencil'	Sky Pencil Holly	2 Gal.	6' hgt. x 3' wide	
Rhus aromatica 'Gro Low'	Gro Low sumac	2 Gal.	2' hgt. x 6' wide	
Rhus trilobata 'Autumn Amber'	Autumn Amber sumac	2 Gal.	6' hgt. x 6' wide	
Rosa x 'Nearly Wild'	Nearly Wild Rose	2 Gal.	3' hgt. x 3' wide	
Rosa x 'Noasplash'	Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	
Mahonia repens	Creeping Oregon Grape	2 Gal.	4' hgt. x 4' wide	
Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2 Gal.	3' hgt. x 3' wide	
Spiraea japonica 'Goldmound'	Goldmound Spirea	2 Gal.	6' hgt. x 4' wide	
Blue Prince Holly	Ilex x meserveae 'Blue Prince'	5 Gal.	6' hgt. x 10' wide	
Viburnum plicatum tomentosum 'Mariesii'	Doublefile Viburnum			

GROUND COVERS/ GRASSES/ PERENNIALS		SEE DETAIL 4/L3.0		
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide	
Hemerocallis x 'Stella De Oro'	Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide	
Hosta x 'Blue Angel'	Blue Angel Host	1 Gal.	2' hgt. x 5' wide	
Hosta x 'Patriot'	Patriot Hosta	1 Gal.	1' hgt. x 3' wide	
Lavandula angustifolia 'Dilly Dilly'	Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide	
Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide	
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide	
Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide	
Hypericum frondosum 'Sunburst'	Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)	







DRAINAGE FROM ROOF DRAINS TO BE CONNECTED TO STORM DRAIN/DRY RIVERBED. COORDINATE WITH CIVIL AND ARCHITECT FOR EXACT LOCATIONS. PIPE IF NECESSARY OR PROVIDE 2'-4" DIA. RIVER ROCK FROM DOWN SPOUT TO DRAINAGE SWALE. (COORDINATE IN FIELD)

















- |   |   |    |   |
|---|---|----|---|
| 1 | 40" VISION TRIANGLE   | 10 | 5'-0" WIDE CONCRETE PATHWAY   |
| 2 | PERGOLA ON CONCRETE PAD WITH PINCAB TABLES, SEE DETAILS 8, 9, AND 12/L3.00                                | 11 | START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07.                           |
| 3 | DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND SEWAGE HOLE, BY OWNER; SEE DETAILS 10 AND 11/L3.00 | 12 | TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.                                     |
| 4 | FLAG FOOTBALL FIELD, PER OWNER.   | 13 | END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.  |
| 5 | 6'-0" BENCH, SEE DETAIL 7/L3.00   | 14 | WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.  |
| 6 | OPEN GRASSY PLAY SPACE  | 15 | 3' DEPTH OF 3/4" MINUS GRAVEL   |
| 7 | 2'-3" BERM WITH 2:1 SLOPE   | 16 | AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION. |
| 8 | 5'-0" WIDE ASPHALT PATHWAY  | 17 | WOODEN BRIDGE, BY OWNER   |
| 9 | 6'-0" WIDE CONCRETE PATHWAY   |    |   |

<p>EXISTING TREES TO REMAIN</p> <p>PLANTS TO BE INSTALLED</p>	<p>CUT EDGE, SEE DETAIL 5/L3.0</p>	<p>RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED</p>
<p>6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07</p>	<p>WASHED RIVER ROCK TO BE 3'-5" DIA., COLOR: TBD BY OWNER.</p>	<p>NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 6/L3.0</p>
<p>4' AND 6' WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07</p>	<p>LANDSCAPE BERM CONTOURS</p>	<p>PROPERTY LINE (VERIFY)</p>















































NOTE: All trees to be grade #1  
(Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				
AC	Acer platanoides 'Columnaris' Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS I
AP	Acer rubrum 'Armstrong' Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS II
AK	Acer truncatum x A. plat. 'Keithsform' Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS II
BN	Betula nigra River Birch	2" B&B	35' hgt. 25' w	CLASS II
CE	Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	2" B&B	35' hgt. 25' w	CLASS II
CC	Carpinus caroliniana 'Uxbridge' Rising Fire American Hornbeam	2" B&B	30' hgt. 15' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
KP	Malus 'Spring Snow' Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS I
MA	Malus x Royal Raindrops' Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS I
PC	Platanus x californio 'Bloodgood' Bloodgood London Planetree	2" B&B	50' hgt. 40' w	CLASS II
PT	Tilia americana 'Boulevard' Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS II
TS	Quercus robur x alba 'JFS-KWQ2X' Skinny Genes Oak	2" B&B	45' hgt. 10' w	CLASS II
TT	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
ZS	Zelkova serrata 'Schmidtlow' Schmidtlow	2" B&B	24' hgt. 36' w	CLASS II

SEE DETAIL 2/L3.0

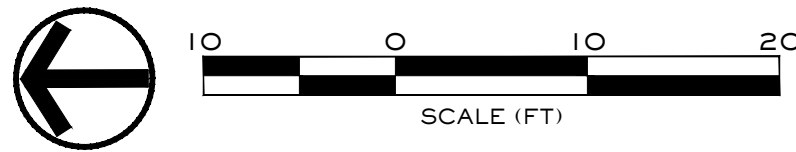
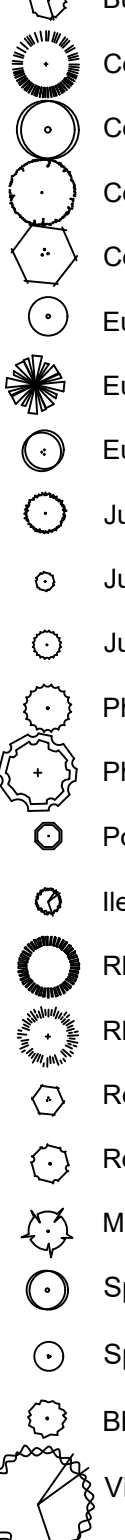
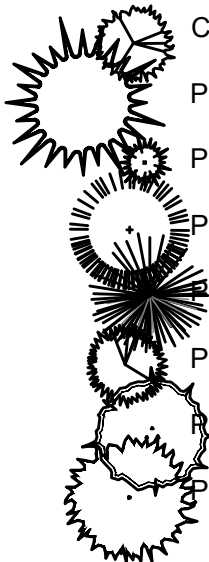
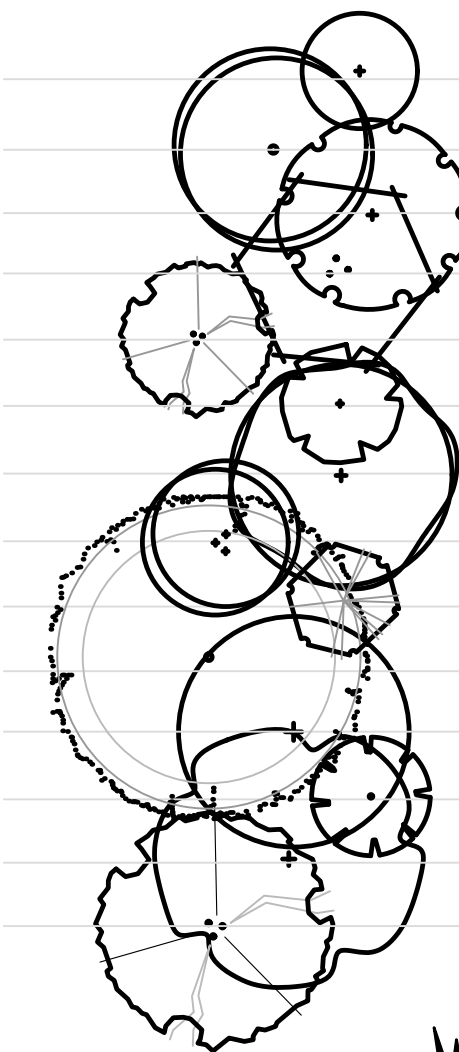
	Cedrus deodara 'Aurea'	6' B&B	30' hgt. 15' w	CONIF.
	Golden Deodar Cedar			
	Picea pungens 'Bachner'	6' B&B	40' hgt. 20' w	CONIF.
	Fat Albert Colorado Blue Spruce			
	Picea glauca 'Pendula'	6' B&B	25' hgt. 7' w	CONIF.
	Weeping White Spruce			
	Pinus flexilis 'Vanderwolf's Pyramid'	6' B&B	25' hgt. 15' w	CONIF.
	Vanderwolf's Limber Pine			
	Pinus nigra 'Oregon Green'	6' B&B	18' hgt. 15' w	CONIF.
	Oregon Green Austrian Pine			
	Pinus strobus 'Fastigiata'	6' B&B	30' hgt. 10' w	CONIF.
	Fastigiata White Pine			
	Picea glauca 'Densata'	6' B&B	25' hgt. 15' w	CONIF.
	Black Hills Spruce			
	Picea pungens 'glauca'	6' B&B	35' hgt. 15' w	CONIF.
	Colorado Blue Spruce			

SEE DETAIL 3/L3.0.

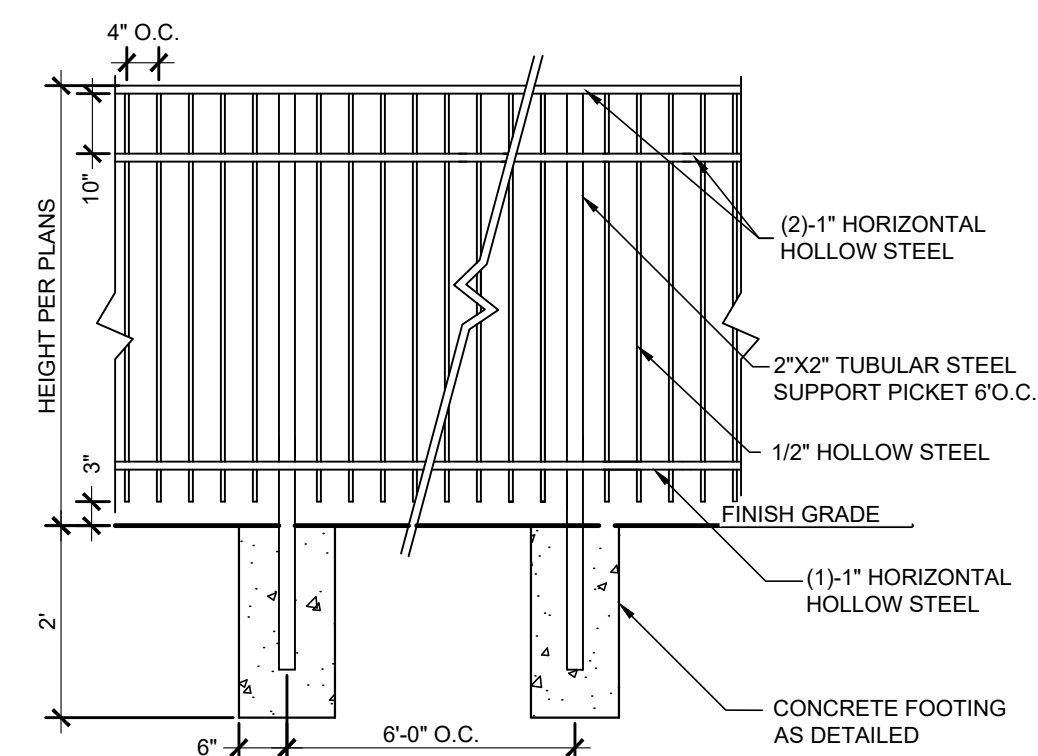
	Buxus x 'Green Mountain'	5 Gal.	5' hgt. x 3' wide
	Green Mountain Boxwood		
	Cornus sericea 'Flaviramea'	2 Gal.	6' hgt. x 8' wide
	Yellow Twig Dogwood		
	Cornus alba 'Ballhoal'	5 Gal.	6' hgt. x 6' wide
	Ivory Halo Dogwood		
	Cornus alba 'Elegantissima'	5 Gal.	6' hgt. x 6' wide
	Variegated Red Twig Dogwood		
	Cotoneaster horizontalis 'Perpusillus'	2 Gal.	12" hgt. x 6' wide
	Prostrate Rock Cotoneaster		
	Euonymus alatus 'Compactus'	5 Gal.	4' hgt. x 4' wide
	Dwarf Burning Bush		
	Euonymus fortunei 'Ivory Jade'	5 Gal.	3' hgt. x 6' wide
	Ivory Jade Wintercreeper		
	Euonymus fortunei 'Sunrise' PP #12,341	2 Gal.	2' hgt. x 4' wide
	Sunrise Wintercreeper		
	Juniperus horizontalis 'Blue Chip'	2 Gal.	1' hgt. x 6' wide
	Blue Chip Juniper		
	Juniperus scopulorum 'Blue Arrow'	2 Gal.	12" hgt. x 2' wide
	Blue Arrow Juniper		
	Juniperus scopulorum 'Medora'	5 Gal.	10' hgt. x 3' wide
	Medora Juniper		
	Physocarpus opulifolius 'Dart's Gold'	2 Gal.	5' hgt. x 5' wide
	Dart's Gold Ninebark		
	Physocarpus opulifolius 'Monlo'	5 Gal.	8' hgt. x 8' wide
	Diabolo® Ninebark		
	Potentilla fruticosa 'Gold Star'	2 Gal.	3' hgt. x 3' wide
	Gold Star Potentilla		
	Ilex crenata 'Sky pencil'	2 Gal.	6' hgt. x 3' wide
	Sky Pencil Holly		
	Rhus aromatica 'Gro Low'	2 Gal.	2' hgt. x 6' wide
	Gro Low Sumac		
	Rhus trilobata 'Autumn Amber'	2 Gal.	6' hgt. x 6' wide
	Autumn Amber sumac		
	Rosa x 'Nearly Wild'	2 Gal.	3' hgt. x 3' wide
	Nearly Wild Rose		
	Rosa x 'Noasplash'	2 Gal.	2' hgt. x 4' wide
	Pink Splash Groundcover Rose		
	Mahonia repens	2 Gal.	2' hgt. x 4' wide
	Creeping Oregon Grape		
	Spiraea x bumalda 'Goldflame'	2 Gal.	4' hgt. x 4' wide
	Goldflame Spirea		
	Spiraea japonica 'Goldmound'	3 Gal.	3' hgt. x 3' wide
	Goldmound Spirea		
	Blue Prince Holly	2 Gal.	6' hgt. x 4' wide
	Ilex x meserveae 'Blue Prince'		
	Viburnum plicatum tomentosum 'Mariesii'	5 Gal.	6' hgt. x 10' wide
	Doublefile Viburnum		

SEE DETAIL 4/L3.0.

★	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide
✧	Hemerocallis x 'Stella De Oro' Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide
✿	Hosta x 'Blue Angel' Blue Angel Host	1 Gal.	2' hgt. x 5' wide
✿	Hosta x 'Patriot' Patriot Hosta	1 Gal.	1' hgt. x 3' wide
☼	Lavandula angustifolia 'Dilly Dilly' Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide
☼	Sedum spectabile 'Autumn Joy' Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide
☼	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide
☼	Pennisetum alopecuroides 'Little Bunny' Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide
☼	Hypericum frondosum 'Sunburst' Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)





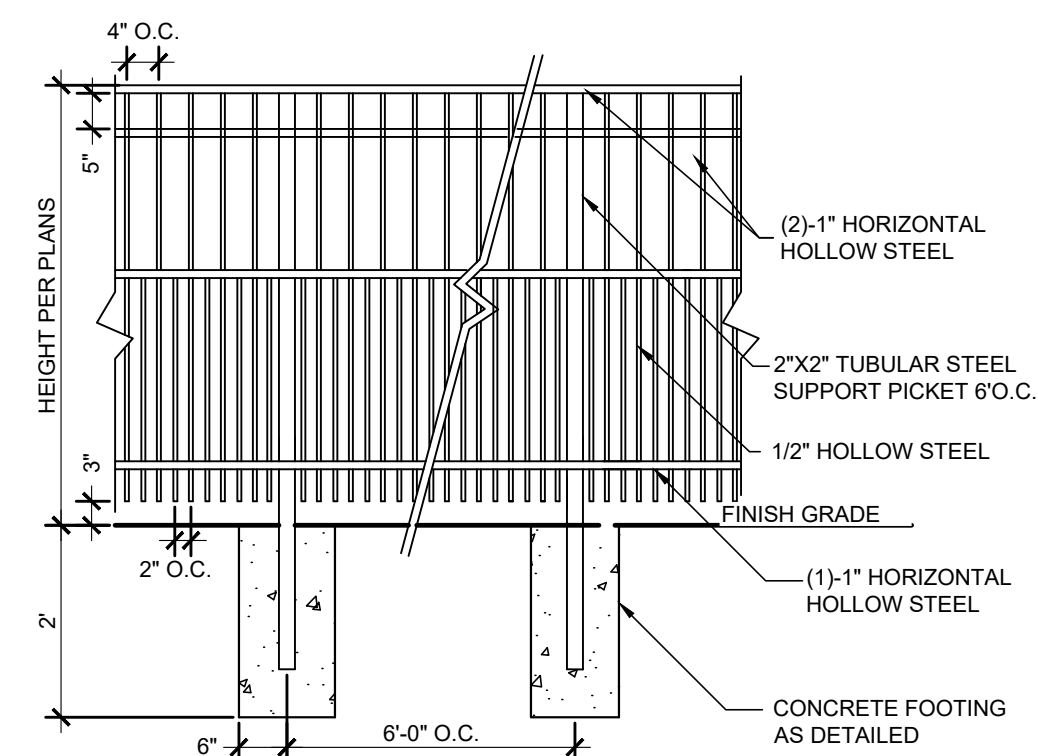


NOTES:

1. REFER TO PLANS FOR FENCE LOCATIONS.
2. CONTRACTORS ARE RESPONSIBLE FOR SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. WROUGHT IRON TO BE PAINTED WITH ELECTRO STATIC PAINT - COLOR AS DIRECTED BY OWNER.

① WROUGHT IRON FENCE

Scale: 1/2"= 1'-0"



NOTES:

- NOTES:
1. Installation to be completed in accordance with manuf. specifications.
  2. Alloy 6060-T5 on pickets 6063-T6 on posts and rails or approved equal.
  3. Maximum spacing between pickets to be 2" maximum - Contractor shall provide a sample to the owner for approval.

## 2 DOG WROUGHT IRON FENCE

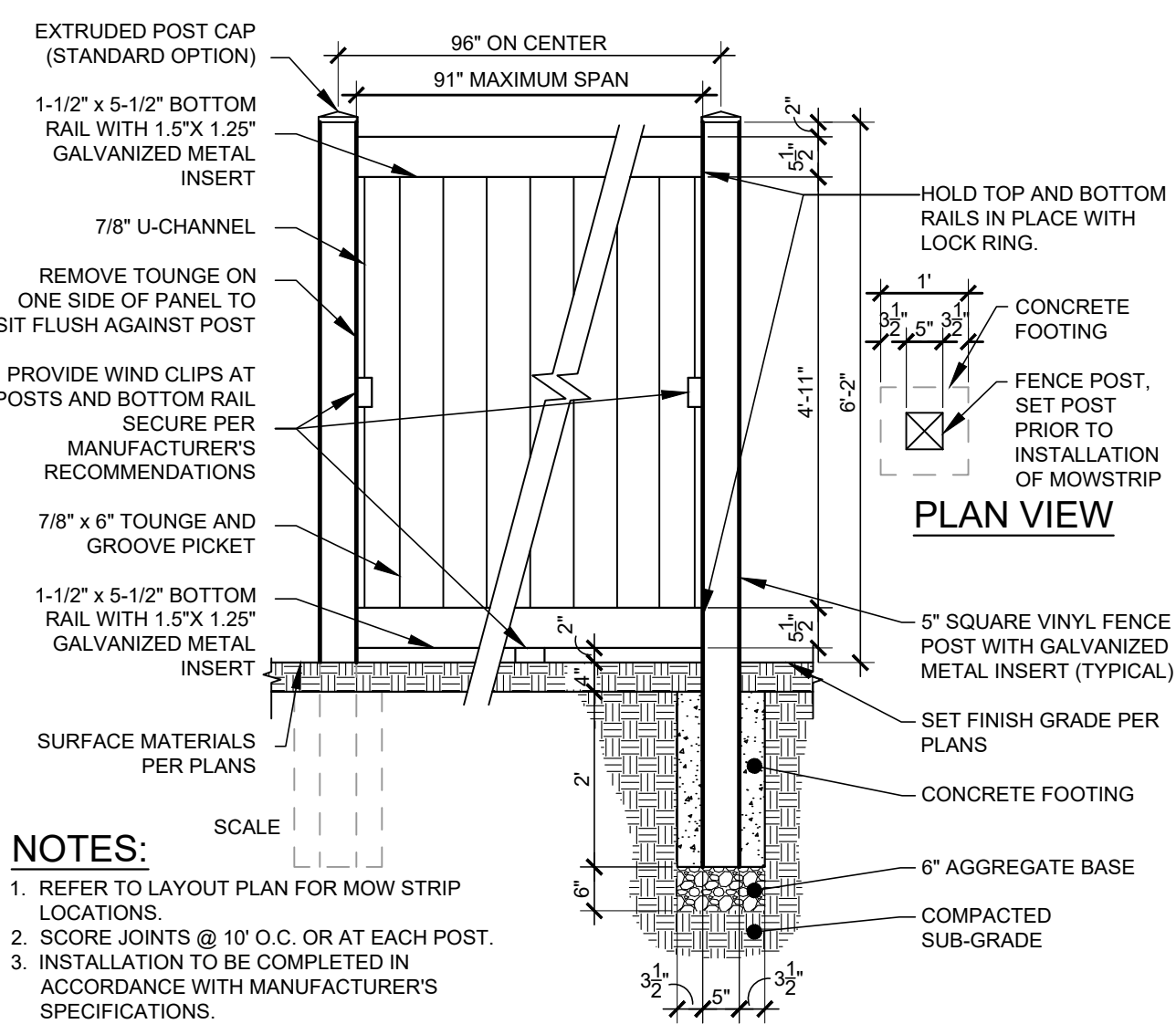
Scale: 1/2"= 1'-0"



4' WROUGHT IRON FENCE (TYP.)



6' WROUGHT IRON FENCE (TYP.)



NOTES:

1. REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS.
2. SCORE JOINTS @ 10' O.C. OR AT EACH POST.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

② VINYL FENCE PANEL

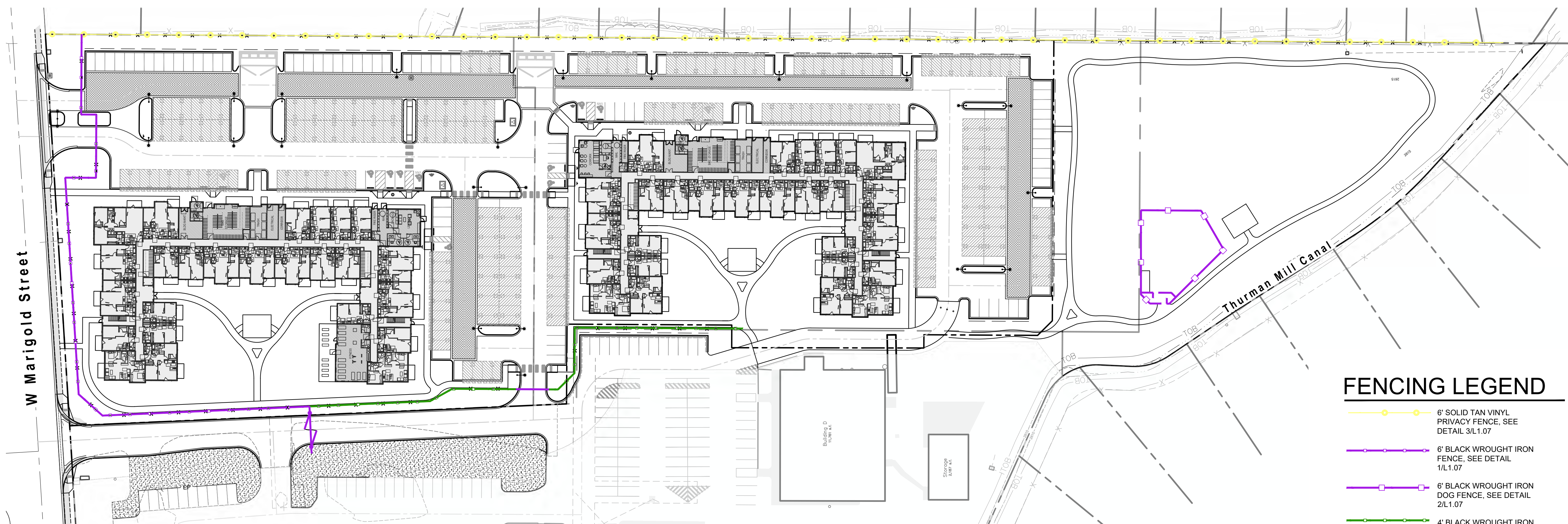
SCALE: 1/2"= 1'-0"







WROUGHT IRON GATE (TYP.), BY OWNER



6' TAN VINYL FENCE (TYP.)

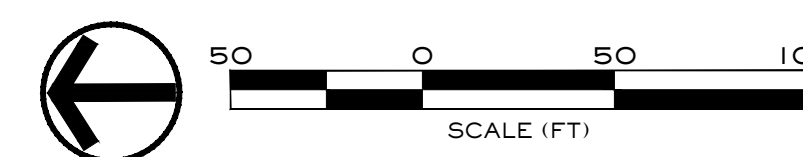


## FENCING LEGEND

-  6' SOLID TAN VINYL  
PRIVACY FENCE, SEE  
DETAIL 3/L1.07
-  6' BLACK WROUGHT IRON  
FENCE, SEE DETAIL  
1/L1.07
-  6' BLACK WROUGHT IRON  
DOG FENCE, SEE DETAIL  
2/L1.07
-  4' BLACK WROUGHT IRON  
FENCE, SEE DETAIL  
1/L1.07

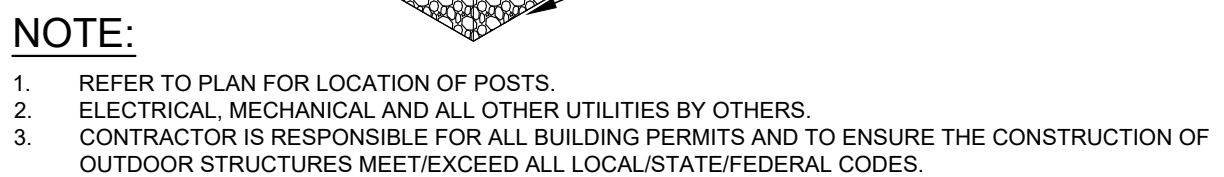
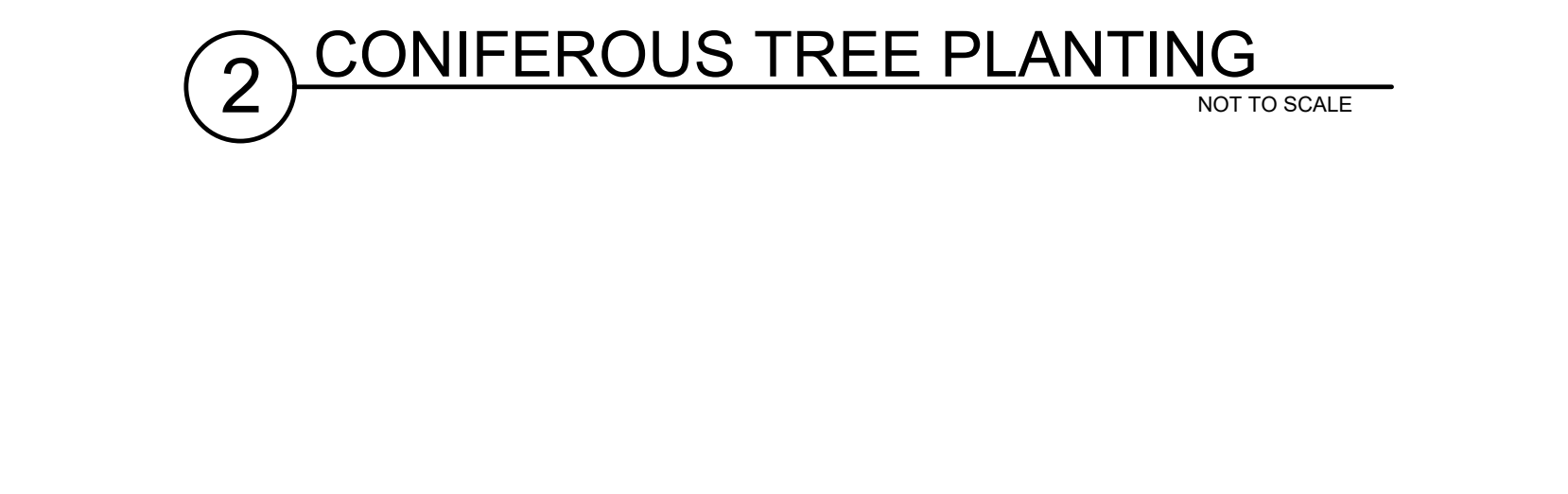
**NOTE:**

1. VEHICLE GATES TO BE PROVIDED BY OWNER, SEE PHOTO FOR TYPICAL DESIGN INTENT, COORDINATE WITH CIVIL.
2. FENCING TO BE COORDINATED WITH ADJACENT LAND OWNER FOR EXTENSION ONTO PROPERTY.





FILE NAME: 24-12  
PLOT DATE & TIME:



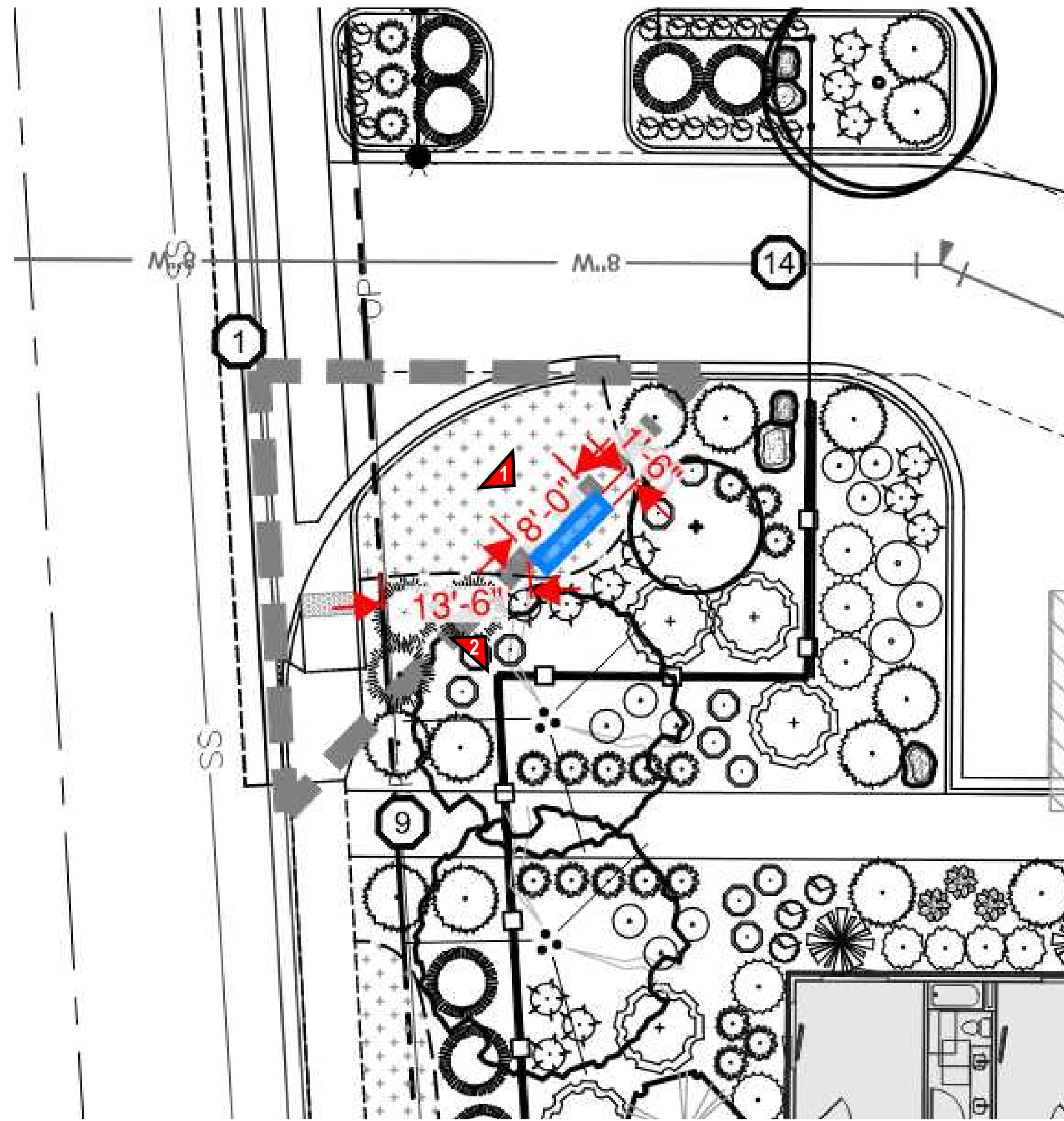
**Landscape Legend  
& Details**

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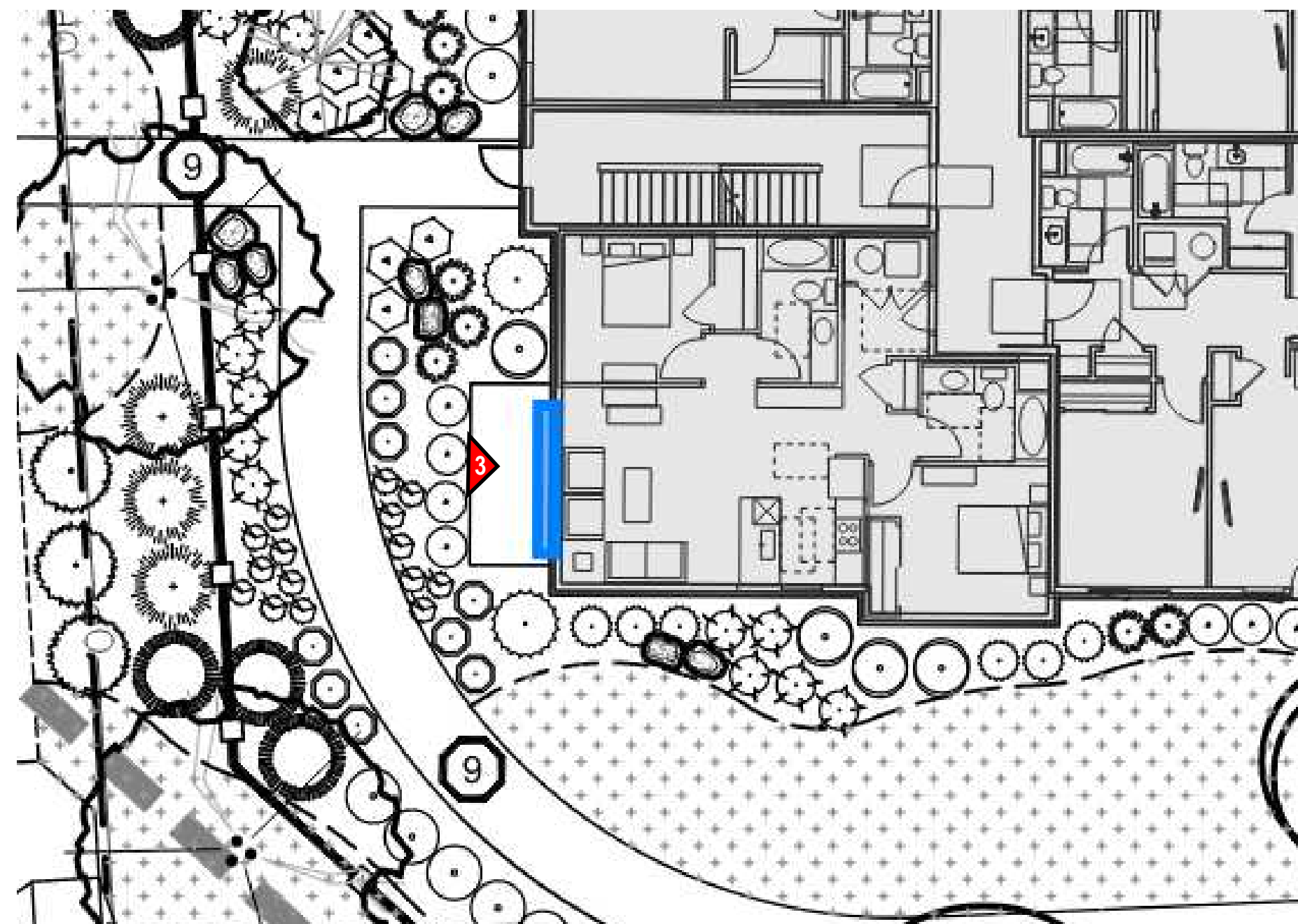
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**L3.00**

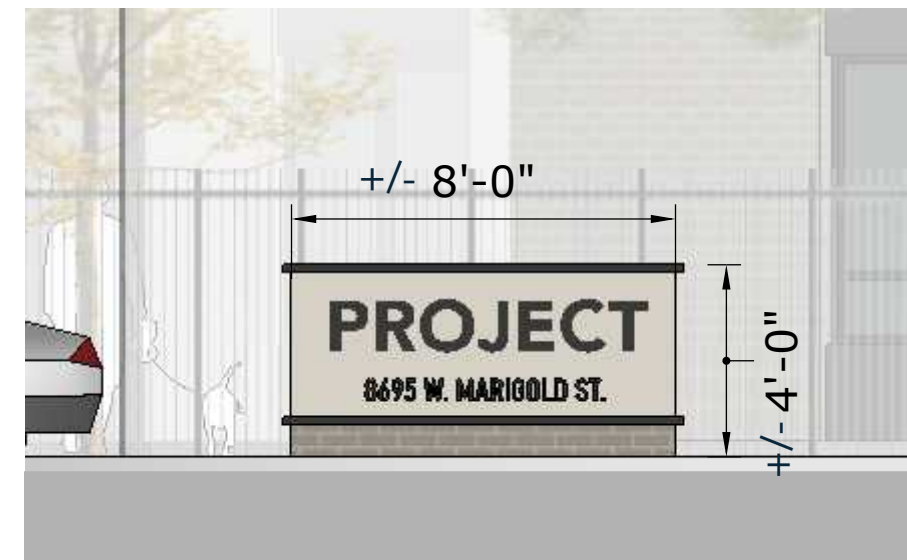




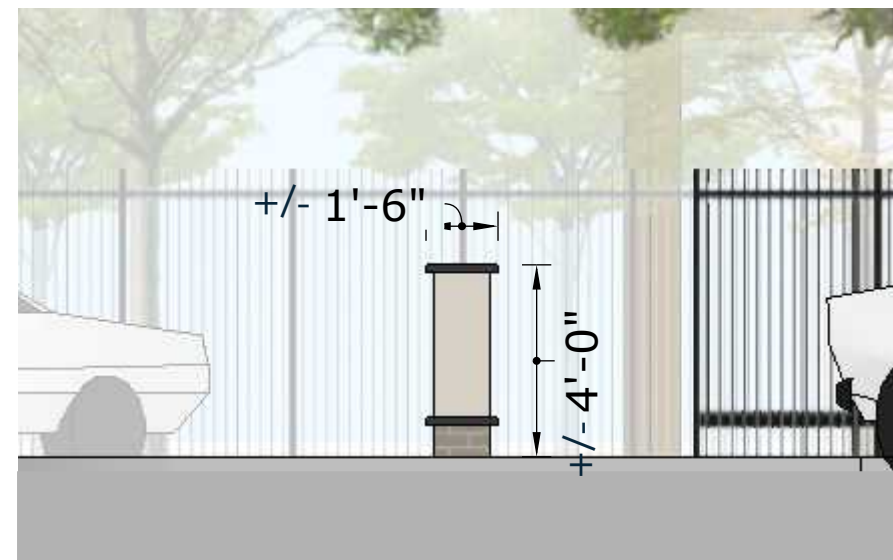
MONUMENT SIGNAGE LOCATION  
SCALE: 1"=10' @ 24x36



BUILDING-MOUNTED SIGNAGE LOCATION  
SCALE: 1"=10' @ 24x36



1. MONUMENT (NORTH-EAST) ELEVATION  
SCALE: 1/4"=1'-0" @ 24x36



2. MONUMENT (NORTH-WEST) ELEVATION  
SCALE: 1/4"=1'-0" @ 24x36

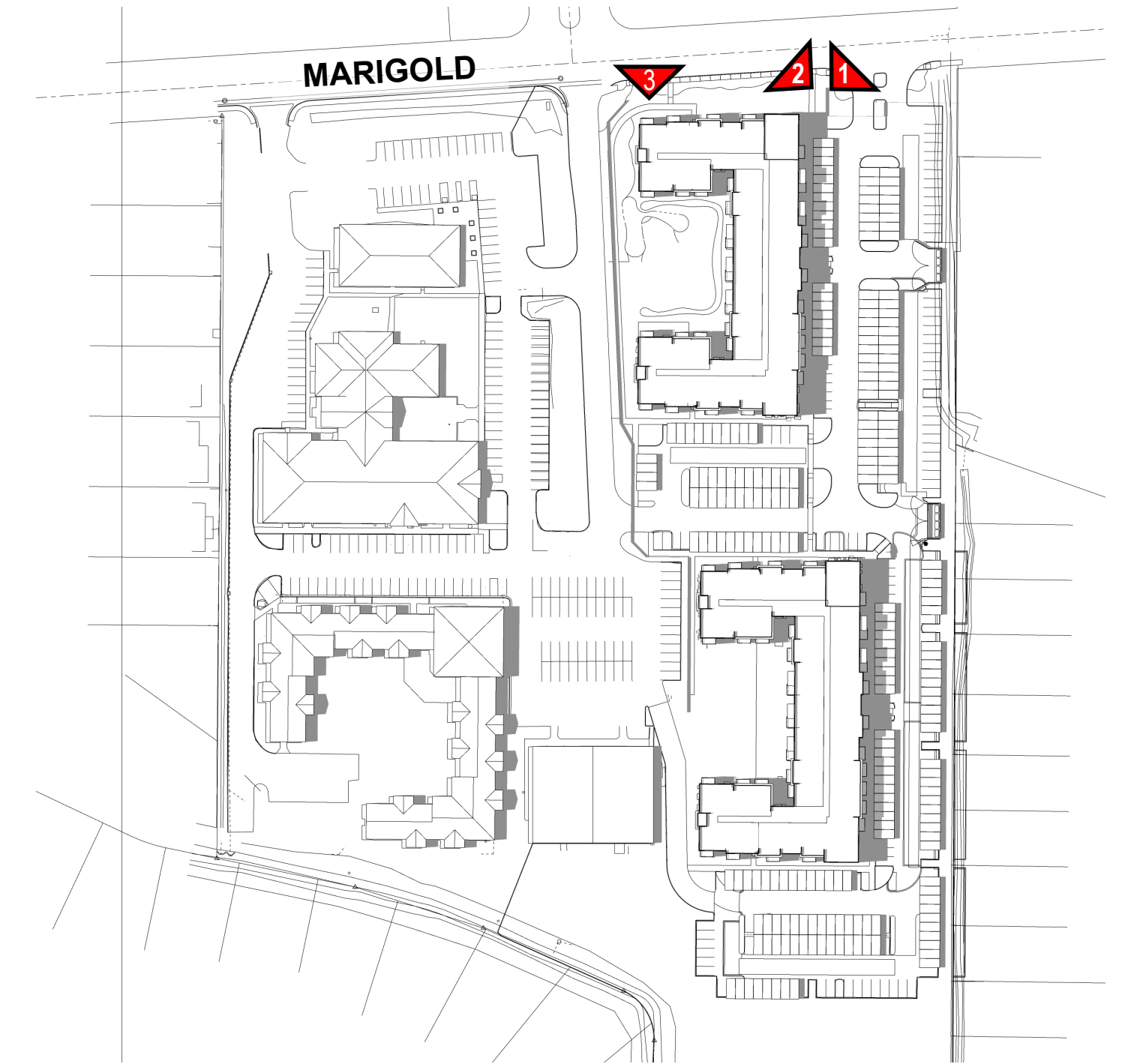


3. NORTH (MARIGOLD) ELEVATION  
SCALE: 1/4"=1'-0" @ 24x36

NOTE: SIGNAGE TEXT IS PLACEHOLDER AND WILL BE  
UPDATED AS MORE INFORMATION IS KNOWN



VIEW TO BALDCYPRESS ENTRY



KEYPLAN





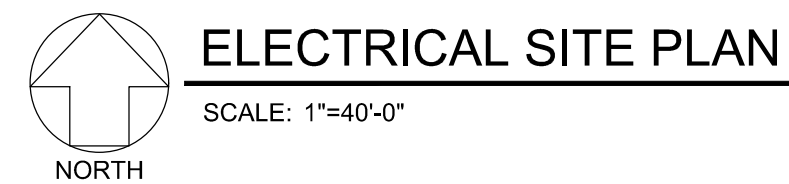


SUBMITTAL NAME - 02/14/2025  
Project number: 2022-017 / 35Y09  
REVISIONS

# ELECTRICAL SITE PLAN

# E1.0

1. THE EXISTING OUTDOOR LIGHTING HAVE UNDERGROUND ELECTRICAL FEEDS, ALL POLE LIGHT FIXTURES ARE LED, AND WALL-MOUNTED FIXTURES ARE FLUORESCENT. NO STREET LIGHTING THEREFORE, THE EXISTING SITE LIGHTING IS IN COMPLIANCE WITH GARDEN CITY OUTDOOR LIGHTING STANDARD 8-4A-4 SECTIONS (A)(2), (A)(3), AND (B).



Technical drawing of a 30' pole base. The drawing includes a cross-section view at the bottom and an elevation view at the top. The cross-section shows a 2'-0" diameter base with a 1" chamfer at the top. A base cover is shown on top of the base. A rigid conduit is shown entering the base from the side, passing through the finished grade. A hand hole is shown on the side of the base. The elevation view shows the pole with a 30' height and a 2'-0" diameter base. The pole is shown with a 1" chamfer at the top. The drawing is labeled with dimensions and components: 30' POLE, 2'-0", 1" CHAMFER, BASE COVER, FINISHED GRADE, RIGID CONDUIT, HAND HOLE, and 2'-0".

### LIGHT FIXTURE SCHEDULE

GENERAL NOTES:

A. COORDINATE LIGHT FIXTURE FINISHES WITH INTERIOR DESIGNER AND/OR ARCHITECT.

B. CONTROL ABBREVI: OCC = INTEGRAL OCCUPANCY SENSOR; PC = INTEGRAL PHOTOCELL; DIMS = DIM TO 50% WHEN UNOCCUPIED.

C. MINIMUM COLOR RENDERING INDEX (CRI) VALUE FOR ALL LIGHT FIXTURES TO BE 90, UNLESS OTHERWISE NOTED.

FIXTURE NOTES:

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMENS	CCT	DIMMING	CONTROL	VOLTAGE	WATTAGE	BATTERY	FINISH	MOUNTING	NOTES
B1	SITE BOLLARD, 8" SQUARE, 4' HEIGHT, TYPE 5 GLASS REFLECTOR	VISIONAIRE	OWK-3-8542-GRS-20-C-7-4K-UNV-AB-BK	3418 lm	4000 K			120V	45W		BLACK	SURFACE	
S1	SITE POLE LIGHT, TYPE 3 DISTRIBUTION, WITH BACK SIDE CUTOFF LOUVER SHIELD	VISIONAIRE	PGS-1-T3-4BL-C-7-4K-UNV-BZ-CSL	12467 lm	4000 K		OCC,PC	120V	107W		BRONZE	POLE @ +30'-0" AFF	
S2	SITE POLE LIGHT, TYPE 5 DISTRIBUTION, WITH BACK SIDE CUTOFF LOUVER SHIELD	VISIONAIRE	PGS-1-T5W-4BL-C-7-4K-UNV-BZ-CSL	13681 lm	4000 K		OCC,PC	120V	107W		BRONZE	POLE @ +30'-0" AFF	
SC	EXTERIOR CANOPY FIXTURE, CAST FM W/ DRI;	LITHONIA	QLOCFM-1S-409X-120V-DOB	1042 lm	4000 K		PC	120V	16.6W		DARK BRONZE	SURFACE	
W1	WALL SCONCE, FORWARD THROW DISTRIBUTION	WE-EF	SL5420 LED, 625-6399	1690 lm	4000 K		PC	120V	29W		BLACK	WALL @ +9'-0" AFF	
WYE	WALL PACK WITH BATTERY BACKUP	LITHONIA	WST LED-P2-40K-1W-120-DOBXD-E20WH	3512 lm	4000 K		PC	120V	25W	X	BLACK	WALL @ +9'-0" AFF	

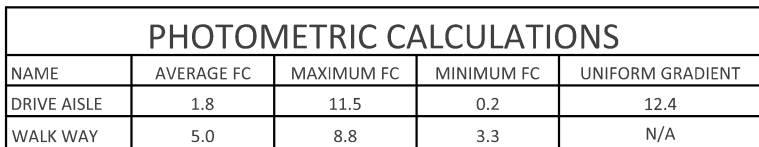
ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(N) _____	NEW
(E) _____	EXISTING
(D) - - - - -	DEMO
○	BOLLARD
○	CARPORT CANOPY LIGHT
□	WALL PACK
○ — □	SITE POLE LIGHT
○ — □	UTILITY TRANSFORMER



SUBMITTAL NAME - 02/14/2025  
Project number: 2022-017 / 35Y09  
REVISIONS

# ELECTRICAL PHOTOMETRIC SITE PLAN

## E1.1



 **ELECTRICAL PHOTOMETRIC SITE PLAN**  
SCALE: 1"=40'-0"