



DESIGN REVIEW

Permit info: DSRFY2025-0008

Application Date: 5/7/2025 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

▪ www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Rennison Companies c/o John Rennison, Zach Turner on behalf of Pacific West Communities, Inc.	Name: Pacific West Communities c/o Caleb Roope
Company: Rennison Companies on behalf of Pacific West Communities, Inc.	Company: Pacific West Communities
Address: 2025 E Riverside Dr., Ste 200	Address: 430 E State Street, Ste 100
City: Eagle	City: Eagle
State: Idaho Zip: 83616	State: Idaho Zip: 83616
Tel.: 208.938.2440	Tel.: 208.461.0022
E-mail: john@rennisoncompanies.com and zach@rennisoncompanies.com	E-mail: dons@tpchousing.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: 8647 and 8687 W Marigold Street, Garden City, ID 83714

Subdivision Name:	Lot:	Block:
Tax Parcel Number: Pending Application at Garden City	Zoning: R-3	Total Acres: 6.532
Proposed Use: Multi-family housing	Floodplain:	Yes No

The site is located within FEMA Zone X (500-year flood plain)

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

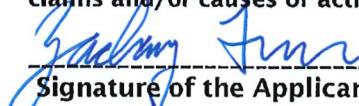
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees, and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 Signature of the Applicant

5/6/25 (date)

 Signature of the Owner

5/6/25 (date)

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

1 <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent	12 <input checked="" type="checkbox"/> Affidavit of Legal Interest
2 <input checked="" type="checkbox"/> Neighborhood Map	13 <input type="checkbox"/> N/A Sustainability Checklist *if applicable
3 <input checked="" type="checkbox"/> Site Plan	
4 <input checked="" type="checkbox"/> Landscape Plan	14 INFORMATION REQUIRED MASTER SIGN PLAN: *Required for developments of two or more buildings: ☒ Location, elevations, and materials of proposed signage
5 <input checked="" type="checkbox"/> Schematic Drawing	
6 <input checked="" type="checkbox"/> Lighting Plan	15 INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM: *Required if irrigation canal/irrigation ditch runs through property or along property lines: ☒ Letter from company indicating approval
7 <input checked="" type="checkbox"/> Topographic Survey	
8 <input checked="" type="checkbox"/> Grading Plan	
9 <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request	
10 <input checked="" type="checkbox"/> Ada County Approved Addresses	
11 <input type="checkbox"/> N/A Waiver Request of Application Materials	



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

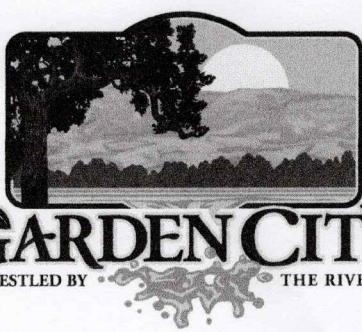
INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



GARDEN CITY

NESTLED BY THE RIVER

6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

Boise Bible College, INC. 8695 W Marigold Street

Name _____, Address of Owner _____
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)

Garden City, Idaho 83714
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to _____
Name of Applicant _____
Pacific West Communities, Inc. c/o Caleb Roope or its representatives
to submit the accompanying application pertaining to _____
Garden City Idaho, 83714 _____ property.
Address of Property Subject to this Affidavit _____
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

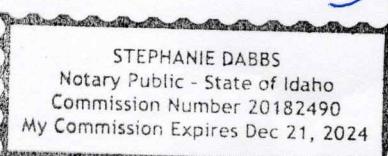
Dated this 3/28/24 day of March, 2024.

Signature _____ Printed Name _____
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Stephanie Dabbs Stephanie Dabbs
Notary Public for Idaho

Notary Public for Idaho



Residing at: Canyon County
My Commission expires Dec. 31 2024

February 21st 2025

Design Intent

RE: Antioch Apartments

The proposed development consists of 236 apartments, featuring a mix of 1-, 2-, and 3-bedroom units spread across two buildings. Building amenities will be thoughtfully distributed between both buildings to complement each other. These amenities include a fitness room, a 4th-floor clubroom, co-working spaces, bike storage, a package room, and a pet wash area. A leasing office will be located in Building 1. The U-shaped design of the buildings creates an internal landscaped courtyard for residents, offering gathering spaces and a pergola.

Cohesive Design

The project promotes visually appealing design that incorporate high-quality architectural character compatible with the city's Architectural guidelines. The community proposes to be sensitive to adjacent anticipated land uses consistent with the goals of city of Garden City.

Buildings are thoughtfully located on the site to highlight amenity spaces, entries from adjacent streets to the north, and internal site view corridors. The building facades are articulated with pedestrian-scale articulation to create a sensitive scale. Attention has been paid to mass, form, and use a variety of materials to ensure the buildings are compatible with each other. Dwelling unit balconies provide visual break to the façade as well as providing required outdoor space. The two buildings are designed to be similar, but not the same as we have articulated the facades slightly and provided alternate but cohesive color schemes.

The project uses a variety of building form techniques to articulate the façade and accentuate key components. Buildings contain texture, detail, and interest to enhance the experience of prospective tenants, residents, and the public.

Building Form

Building massing is broken up to articulate the building physically and visually, while keeping strong, unifying elements to avoid visual clutter. Walls contain a variety of textures, colors, and patterning for interest. Articulated residential building roof lines break the building scale and define patios and entries. A prominent amenity building roof form creates a primary entry focal point and a visual hierarchy across the site. Primary façade materials are varied, with textured stucco above brick cladding to emphasize base and top. Thoughtfully applied lap siding at building breaks unifies the buildings to further avoid visual clutter. Monotonous wall planes are avoided by providing four-sided articulation, as well as breaks vertically and horizontally. Accessory structures, such as trash enclosures and carports, are designed to complement residential building design through use of compatible color, detail, and materiality. Lighting, wayfinding signage, and a hierarchy of landscape material complement the overall design goals

Building Materials

The project proposes high-quality materials and complimentary colors to promote a timeless aesthetic that appeals to future tenants while integrating in the neighborhood. Complementary material combinations between amenity building and residential buildings create a cohesive community design.

The project proposes high-quality, durable materials throughout. The residential buildings propose brick cladding and base, cement-fiber wall siding in various textures for interest, generous windows, metal railing and detail accents. A sophisticated, contemporary color palette complements and accentuates building massing. The color palate consists of a historically inspired palette, with a range of complimentary tones that present a quality, timeless character. The thoughtful variation of 2 building color schemes across the site ensures a vibrant, diverse community as visible from exterior views, entry drives and outdoor gathering spaces. Where provided, utility doors are recessed or integrated in the public-facing façades. Mechanical equipment is screened and proposed located away from building entries, entry drives and open spaces where at all possible.

Signage and Lighting

Future wayfinding signage and architectural lighting are designed as unified elements of building designs that contribute to enhance quality, safety and convenience. Building lighting fixtures are designed to be consistent with other decorative hardware proposed in the building. Lighting levels promote safe pedestrian environments along roadways, at intersections, and in public spaces. Building signage is integrated with the overall architectural aesthetic to enhance and complement the community's design. Signage materiality, proportion, and illumination appeal to the pedestrian scale and enhance security.

Site Design

The development also includes nearly 2 acres of outdoor space, which will feature a walking path, a dog park, and open grass areas for recreational activities. This outdoor common space exceeds the minimum requirements and will distinguish the project from others.

February 21st 2025

Garden City
Planning and Zoning Services
6015 N Glenwood Street
Garden City, ID 83714

RE: Antioch Apartments
Compliance Statement

To Whom it May Concern,

We believe that the project submitted for Design Review complies with the zoning district regulations, development regulations, design requirements for multifamily housing, landscaping and tree protection provisions, and open space requirements. Parking requirements are met with stalls located on Parcels 2 and 3, as well as additional parking in the Boise Bible College parking lot. A parking agreement is in place between the two entities.

The proposed development consists of 236 apartments, featuring a mix of 1-, 2-, and 3-bedroom units spread across two buildings. Building amenities will be thoughtfully distributed between both buildings to complement each other. These amenities include a fitness room, a 4th-floor clubroom, co-working spaces, bike storage, a package room, and a pet wash area. A leasing office will be located in Building 1. The U-shaped design of the buildings creates an internal landscaped courtyard for residents, offering gathering spaces and a pergola.

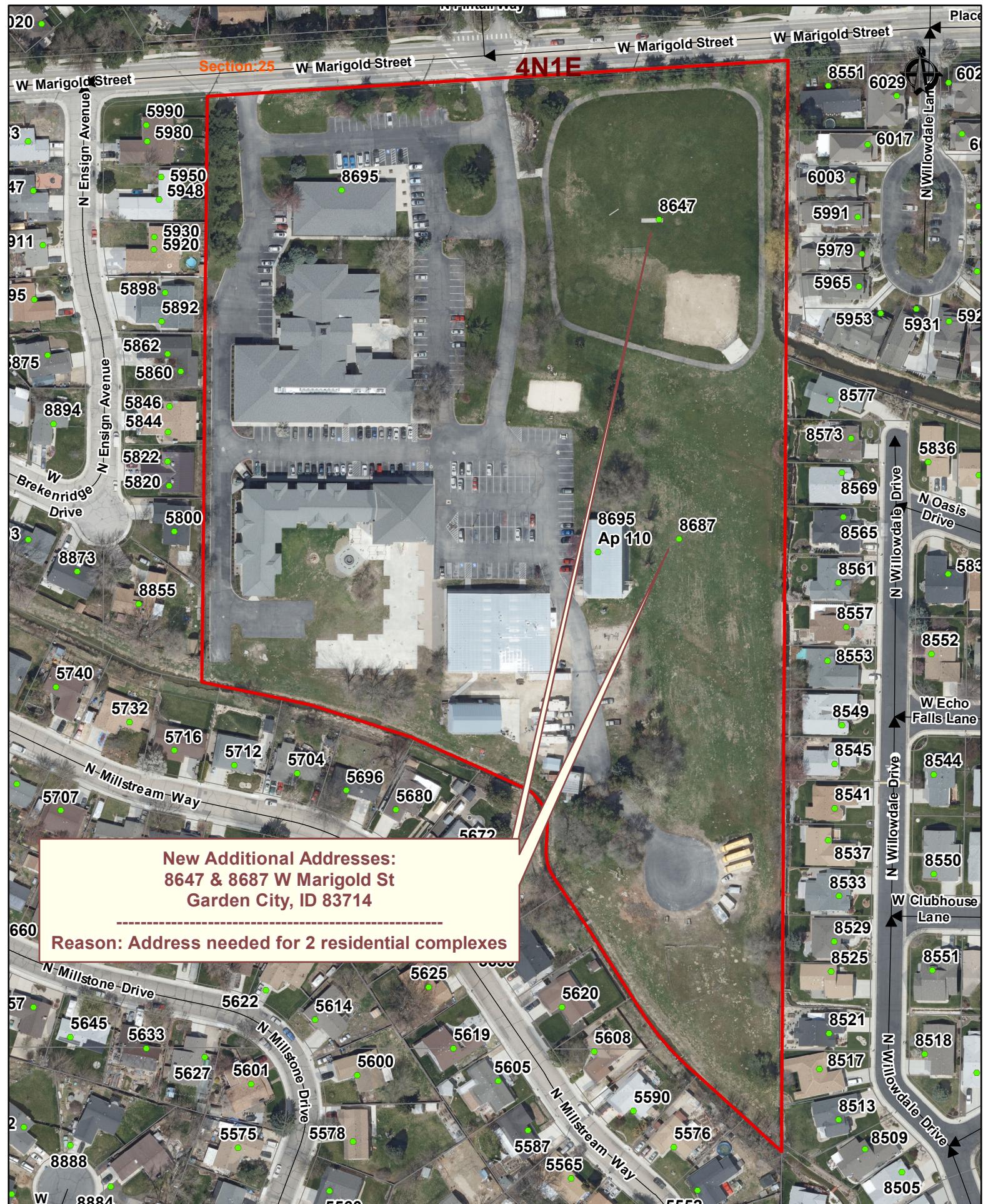
The development also includes nearly 2 acres of outdoor space, which will feature a walking path, a dog park, and open grassy areas for recreational activities. This outdoor common space exceeds the minimum requirements and will distinguish the project from others. The development includes 21% open space and the minimum required is 5%. The road buffer on Marigold Street requires 8 trees and we are providing 17. The development exceeds the minimum number of trees and shrubs throughout the site.

It is our belief that we have conformed to the standards set forth by the city of Garden City. Thank you for your consideration of this application and please contact me if you have any questions.

Respectfully,



Chad Gierhart
Project Manager
Pivot North architecture
(208) 690-3108 x712
chad@pivotnorthdesign.com



This map is made from data copyrighted by Ada County. Ada County shall not be liable for inaccuracies or misuse of this map. Maps bearing this disclaimer may be photocopied freely. However, use in any digital form requires the written permission of Ada County.

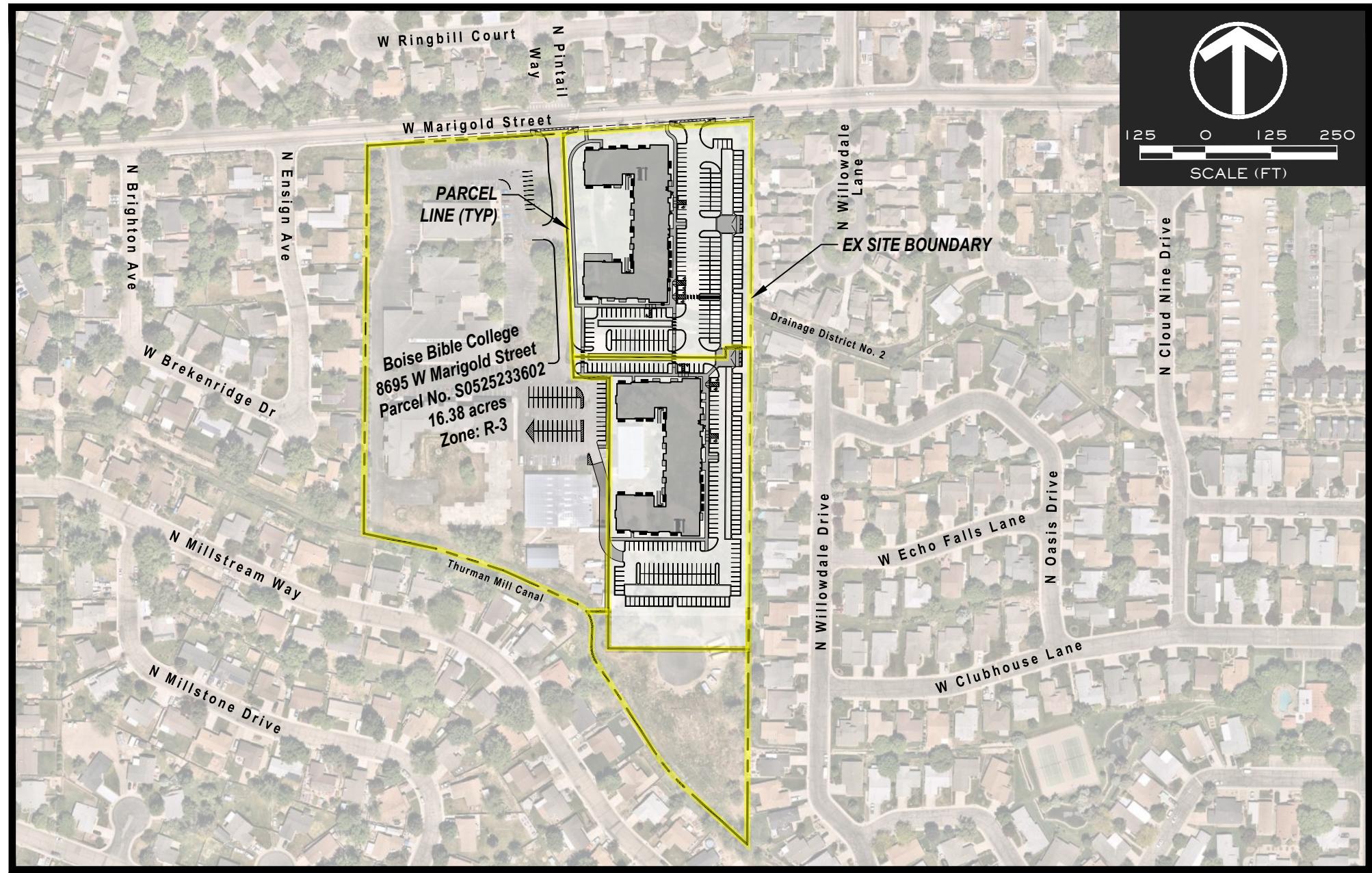
New Address Effective: 5/8/2024

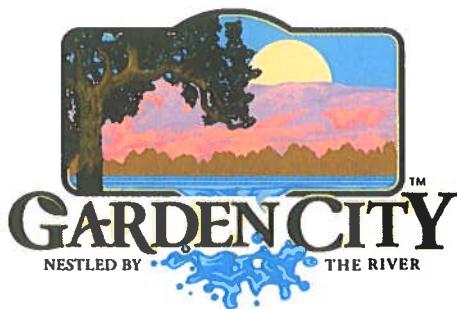
1 inch = 151 feet

ADA COUNTY ASSESSOR
Land Records Division
Geographic Information Systems
190 E. Front Street, Ste. 107
Boise, ID 83702

Antioch Apartments | Neighborhood Map

GARDEN CITY, IDAHO





CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714
Phone 208/472-2900 • Fax 208/472-2996

5 June 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **8647 and 8687 West Marigold Street**
Parcel Number S0525233602
Conditional Water and Sanitary Sewer Ability to Serve
ATSFY2024-0019

I am a consultant (employed by Centurion Engineers) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours (fire hydrant 8068) based upon a letter dated 25 March 2024 from the Garden City Public Works Water Division. Should the North Ada County Fire and Rescue District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and/or propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system in the area has very limited capacity to serve any expansion in the immediate service area. There are two areas of concern to address to be able to serve this property with any expansion:

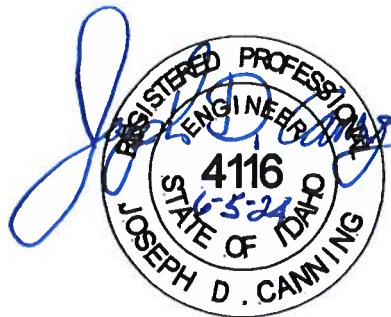
- The site is served by Monitoring Station #8 – this station is at capacity and not able to accept additional flows
- The site is served by the Ruby Lift Station – this station is at capacity and not able to accept additional flows

The above issues will need to be addressed before the city will be able to approve expanded sewer service to the site. We suggest that a meeting occur between the landowner and the city to discuss the above issues in more detail.

In addition, any new sanitary mainline extensions or sewer service connections must be coordinated, reviewed and approved by the city prior to installation. The applicant must verify location and available grade to the city sewer system. Design and installation is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

cc. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City

Mr. Chad Vaughn
Garden City Public Works Water Division

Bryan Appleby

From: allen fun <allenfun50@hotmail.com>
Sent: Thursday, May 23, 2024 3:57 PM
To: Bryan Appleby
Subject: Re: Boise Bible College -- Proposed DD#2 Ditch Tiling

Bryan;

**We have gone over the plans and approved.
Please let this serve as authorization to proceed , pending
the license agreement with the drain district.**

**allen
d.d.#2**

From: Bryan Appleby <bryan@rennisoncompanies.com>
Sent: Monday, May 20, 2024 10:37 AM
To: allenfun50@hotmail.com <allenfun50@hotmail.com>
Cc: Zach Turner <zach@rennisoncompanies.com>
Subject: RE: Boise Bible College -- Proposed DD#2 Ditch Tiling

Good Morning, Allen –

I'm following up on my email below. We're looking for a response confirming that DD#2 is in general agreement with the proposed improvements and that the summary below is accurate.

BRYAN APPLEBY, PE | Civil Engineer



ADDRESS: 2025 E Riverside Drive, Suite 200 | Eagle, Idaho 83616
MOBILE: 208.484.3747 | **EMAIL:** Bryan@RennisonCompanies.com

From: Bryan Appleby
Sent: Monday, May 13, 2024 4:14 PM
To: allenfun50@hotmail.com
Cc: Zach Turner <zach@rennisoncompanies.com>
Subject: Boise Bible College -- Proposed DD#2 Ditch Tiling

Allen,

Thank you again for meeting earlier today to discuss the plans to tile the Drainage District No. 2 (DD#2) ditch on the Boise Bible College property. Please see the project summary below along with a summary of our discussion today.

Our design team soon plans to submit a Design Review application to the City of Garden City for an apartment project located on the Boise Bible College property. As part of our application, we need to provide documentation to the City that DD#2 is aware of our proposed plans for their facilities and is in general agreement with those plans.

We are proposing to fill the existing DD#2 open drainage ditch in the northeast corner of the site and install 18-inch piping approximately 38 feet off the east site boundary (under the proposed parking lot). The piping would tie into the existing 18-inch system running along the south side of Marigold Street. In order to draw down the water table in this part of Garden City, you requested that the 18-inch piping be perforated and placed on 3/4" chip bedding with filter fabric.

The attached drawing shows the proposed ditch tiling location along with preliminary design elevations and slopes.

We understand that upon further design of the proposed site improvements, we will be required to provide the design drawings to DD#2 for review and approval and then enter into a license agreement, which will be prepared by DD#2's attorney, Bryce Farris at Sawtooth Law.

Please confirm that DD#2 is in general agreement with the proposed improvements and that the summary above is accurate.

BRYAN APPLEBY, PE | Civil Engineer



ADDRESS: 2025 E Riverside Drive, Suite 200 | Eagle, Idaho 83616

MOBILE: 208.484.3747 | **EMAIL:** Bryan@RennisonCompanies.com





Sheet A-1

NOT TO SCALE

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

BUILDING 1 NORTH EAST CORNER

pivot north



Sheet A-2

NOT TO SCALE

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

BUILDING 2 NORTH EAST CORNER

pivot north



1. EXTERIOR PLASTER,
SAND FINISH



2. RUNNING BOND FACE BRICK
W/ SOLDIER COURSE WAINSCOT
MISSION FINISH
COLOR: PEWTER BY INTERSTATE BRICK



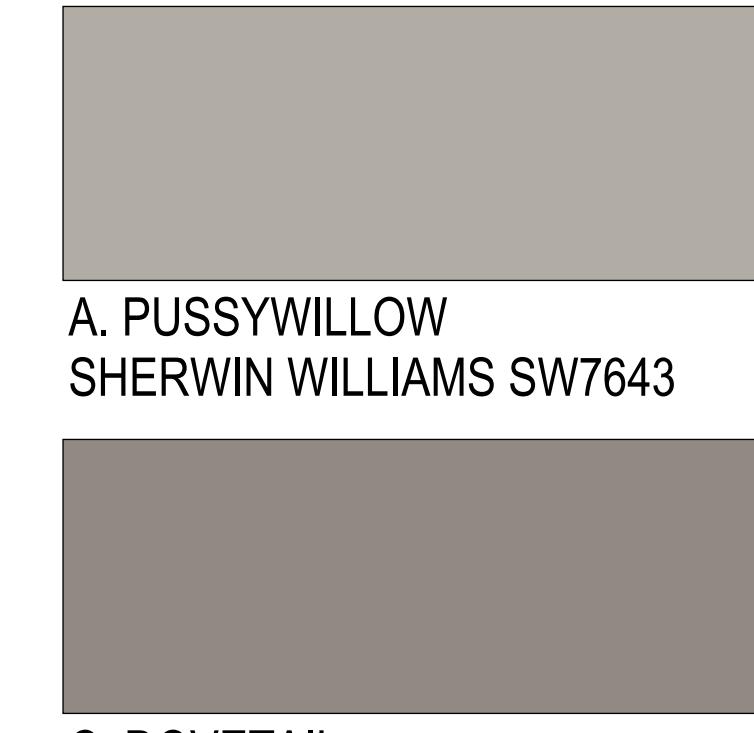
3. RUNNING BOND FACE BRICK
W/ SOLDIER COURSE WAINSCOT
MISSION FINISH
COLOR: COAL CREEK BY INTERSTATE BRICK



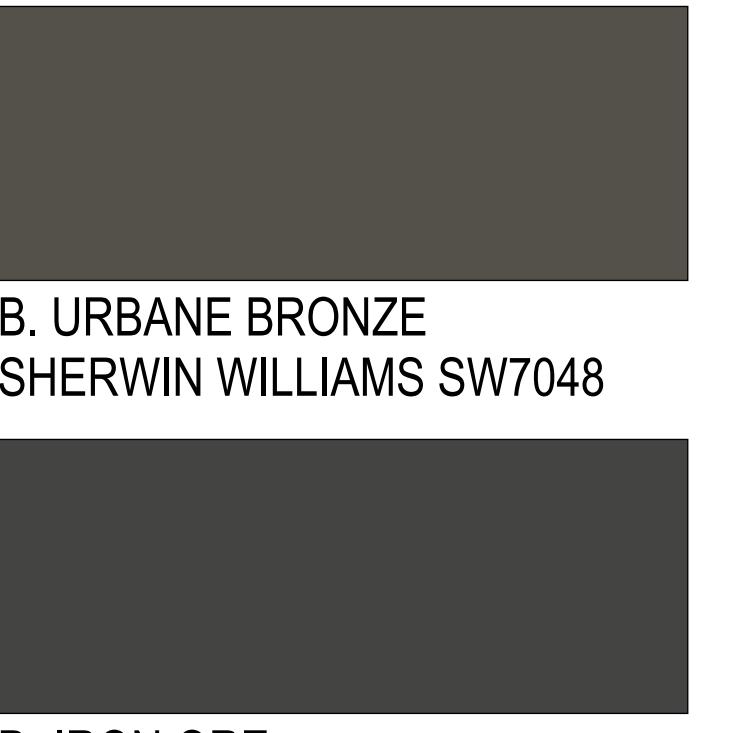
4. CEMENTITIOUS WOOD GRAIN
LAP SIDING, STAINED
COLOR: SAND CASTLE
RUSTIC SERIES BY WOODTONE



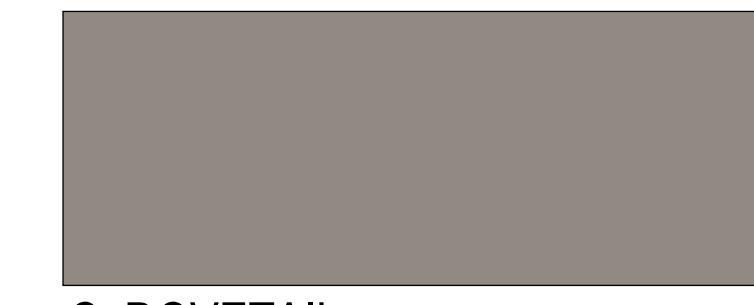
5. VINYL OR COMPOSITE WINDOW,
COLOR: BLACK EXT. WHITE INT.



A. PUSSYWILLOW
SHERWIN WILLIAMS SW7643



B. URBANE BRONZE
SHERWIN WILLIAMS SW7048



C. DOVETAIL
SHERWIN WILLIAMS SW7018



D. IRON ORE
SHERWIN WILLIAMS SW7069



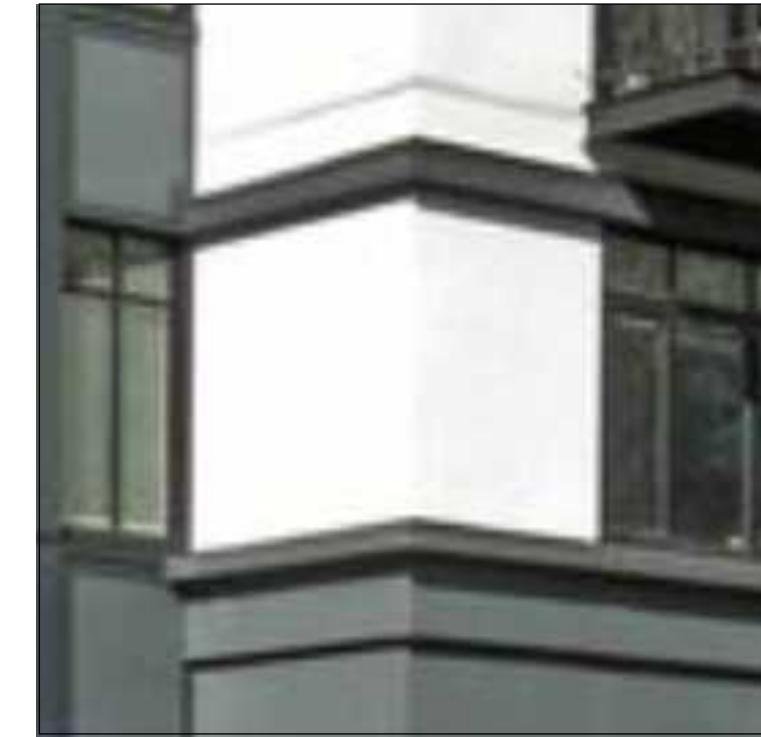
6. PAINTED TUBE STEEL
BALCONY RAILING



7. PLASTER AWNING



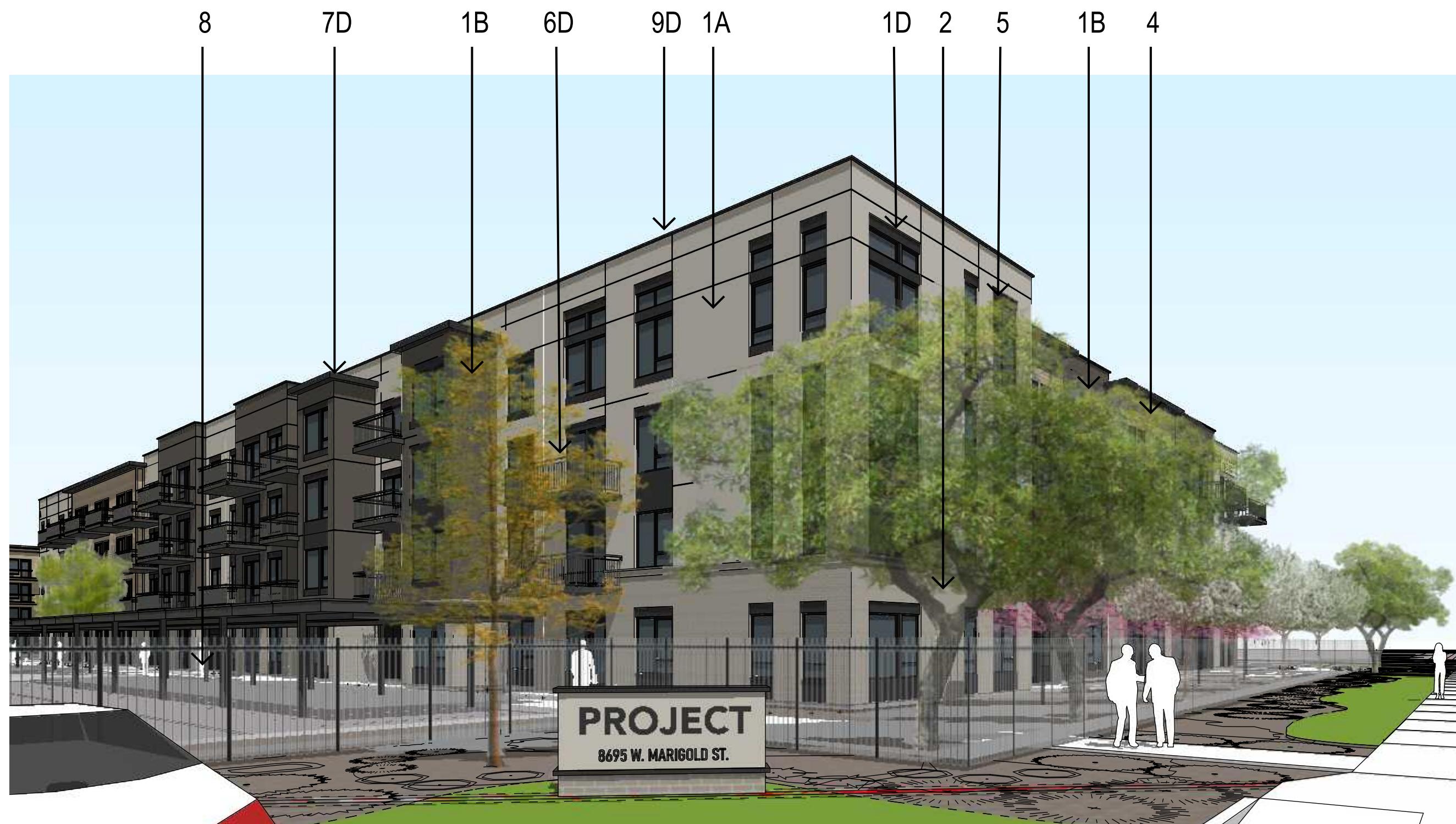
8. ALUMINUM STOREFRONT
COLOR: STANDARD DARK BRONZE



9. PLASTER OVE EIFS TRIM

NOTE: NUMBERS DENOTE MATERIAL,
LETTERS DENOTE COLOR.

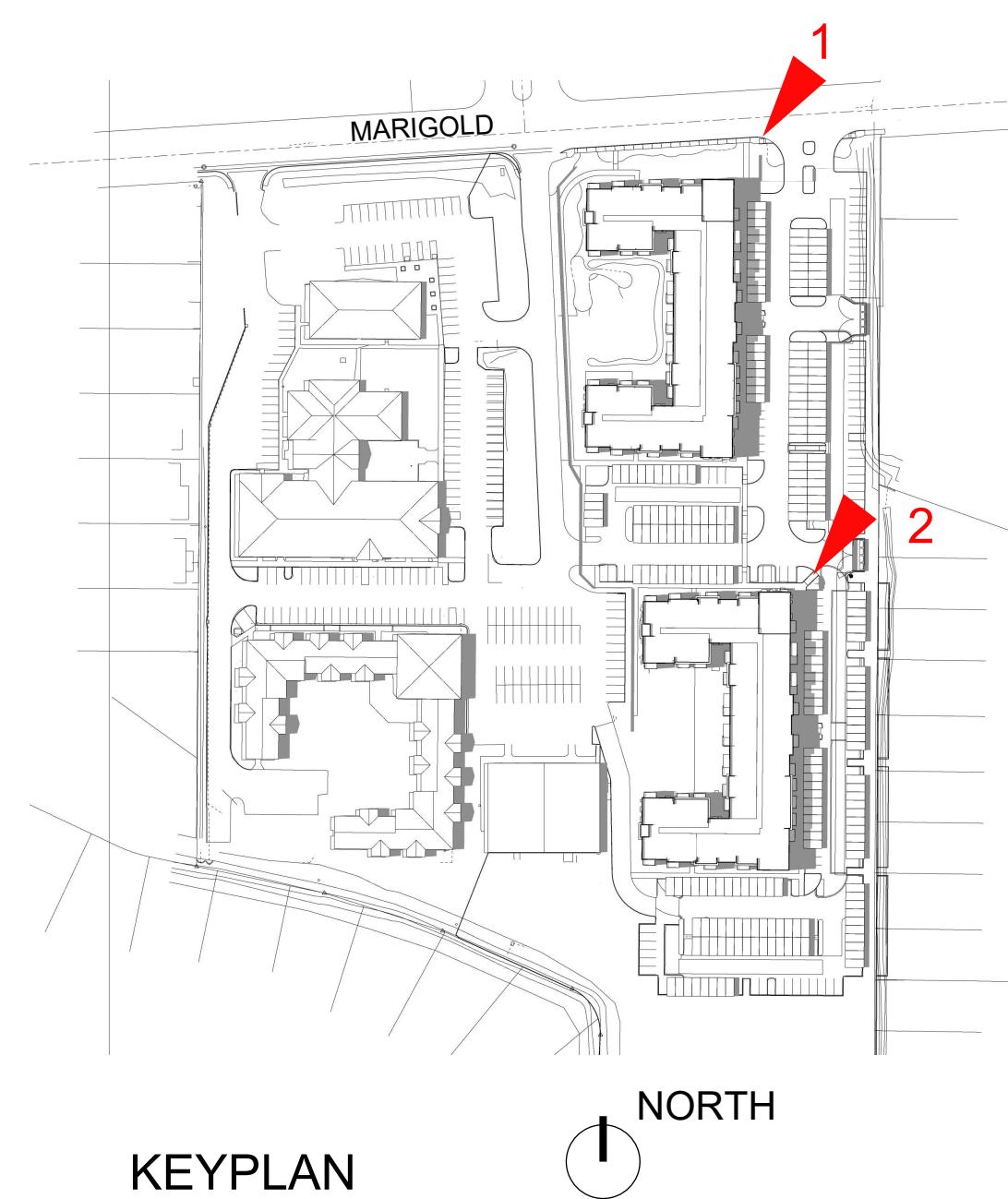
ALL MATERIALS AS NOTED OR OWNER
APPROVED EQUAL



VIEW 1. LOOKING SW TO BUILDING 1



VIEW 2. LOOKING SW TO BUILDING 2



KEYPLAN

Sheet A-3



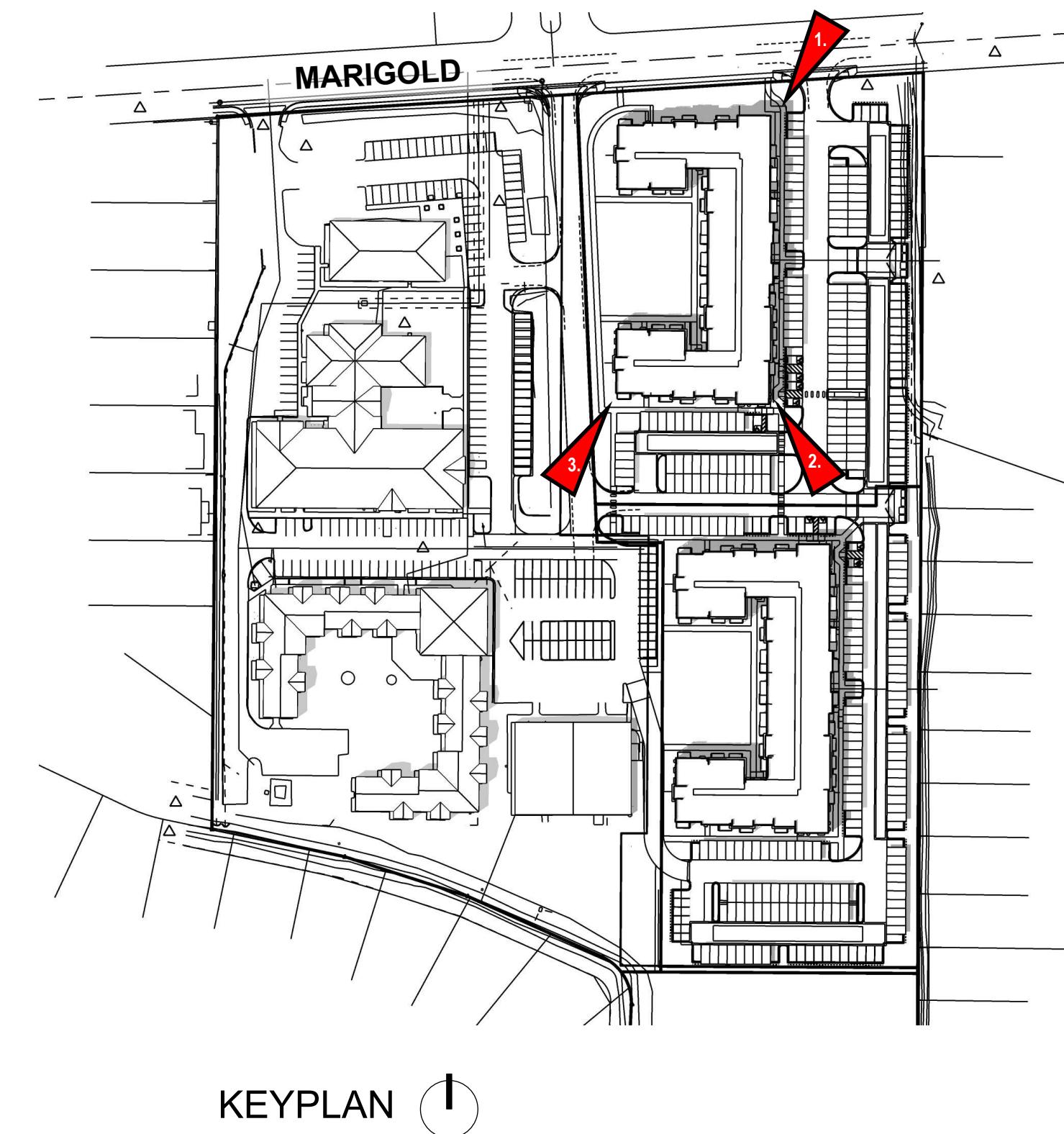
1. VIEW LOOKING SOUTH-WEST TO BUILDING 1



2. VIEW LOOKING NORTH-WEST TO BUILDING 1



3. VIEW LOOKING NORTH-EAST TO BUILDING 1



KEYPLAN

CONCEPT PERSPECTIVE VIEWS

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

SCALE: N.T.S.

PNA JOB 2022-017

Sheet A-4

pivot north



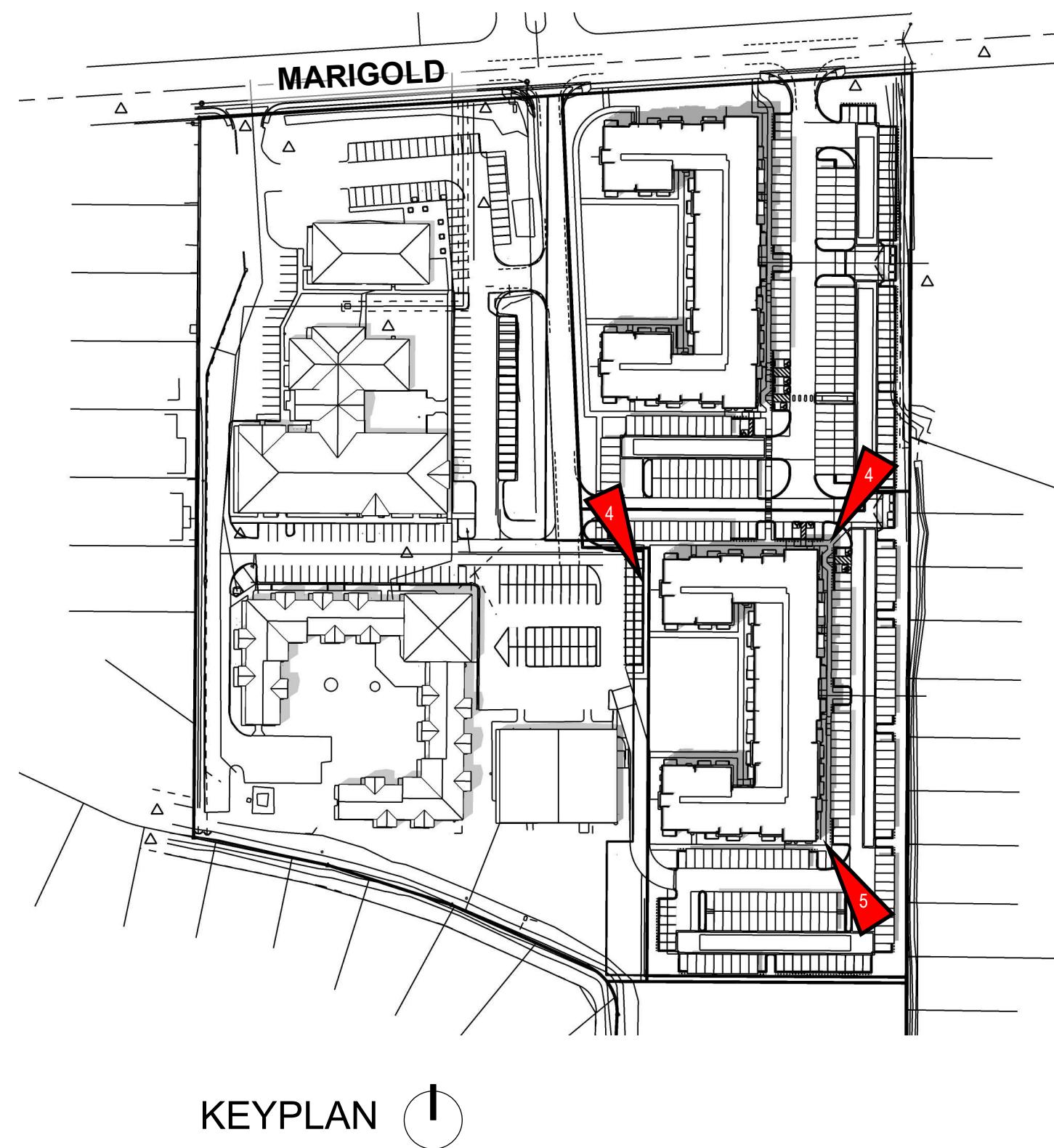
4. VIEW LOOKING SOUTH-WEST TO BUILDING 2



5. VIEW LOOKING NORTH-WEST TO BUILDING 2



6. VIEW LOOKING SOUTH-EAST TO BUILDING 2



KEYPLAN

Sheet A-5

CONCEPT PERSPECTIVE VIEWS

ANTIOCH APARTMENTS

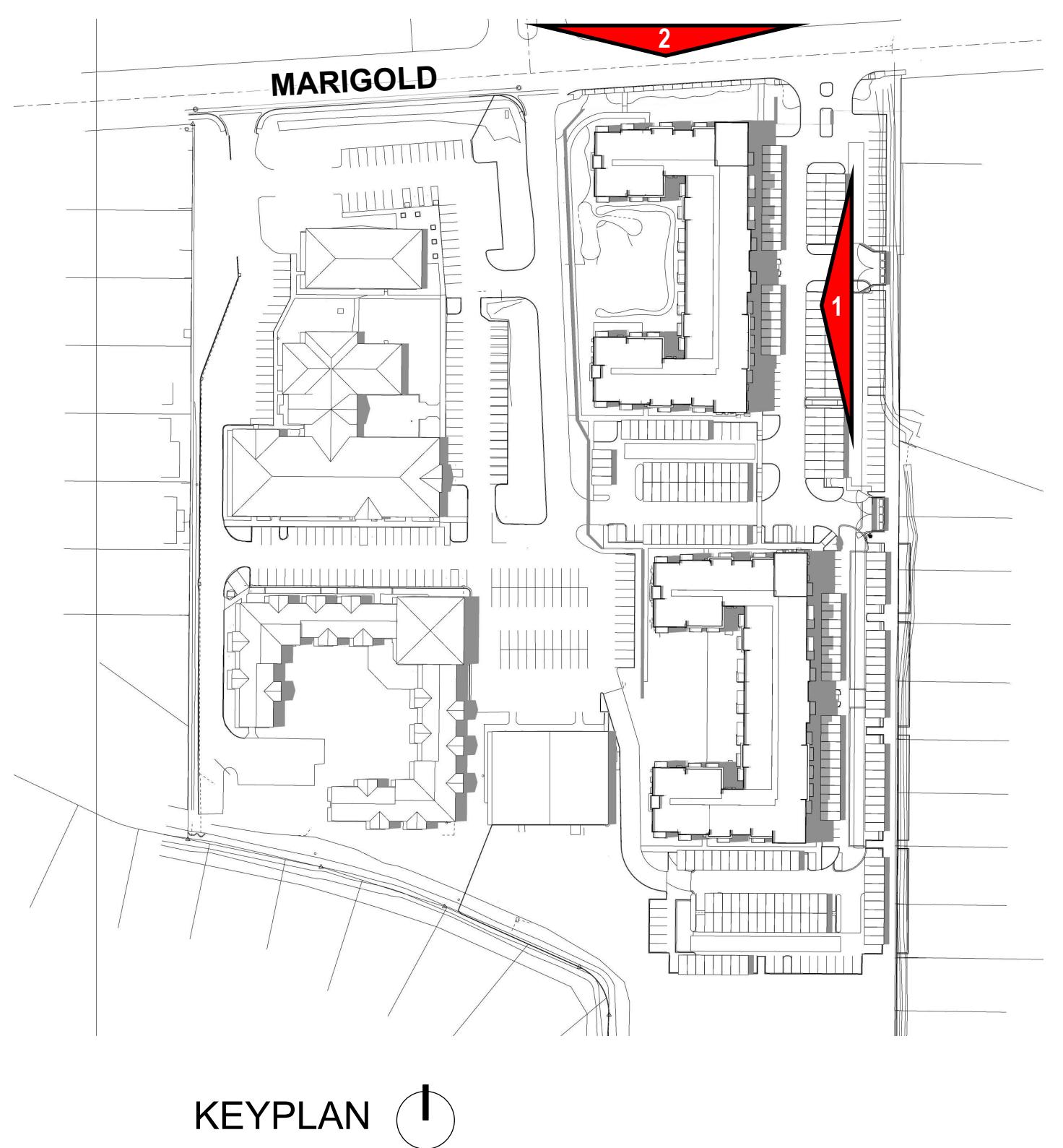
02.21.2025

SCALE: N.T.S.

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

pivot north



Sheet A-6

CONCEPT ELEVATIONS

SCALE: 1"=10' @ 24x36

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

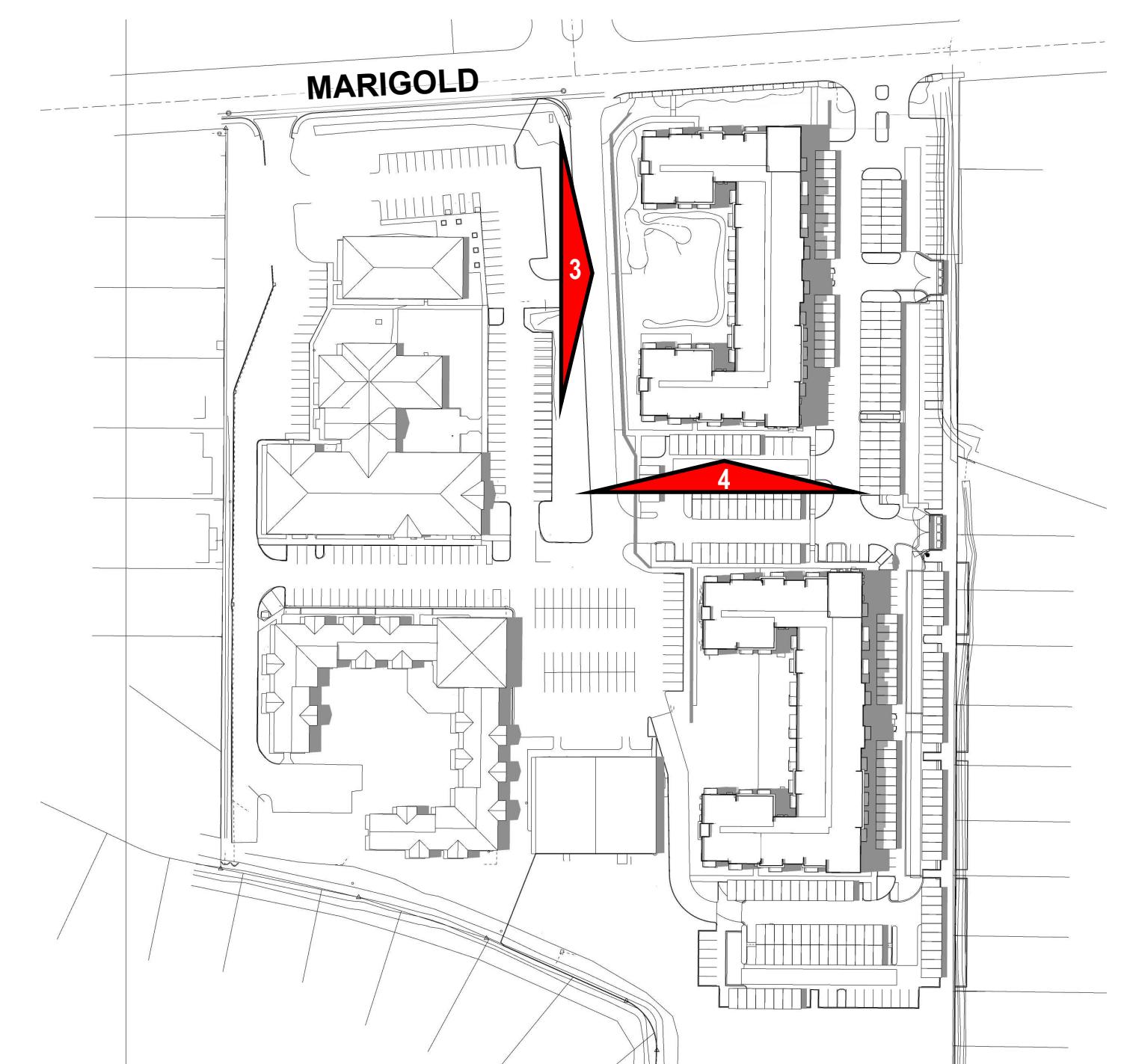
pivot north



3. WEST (INTERIOR DRIVE) ELEVATION



4. SOUTH ELEVATION



KEYPLAN

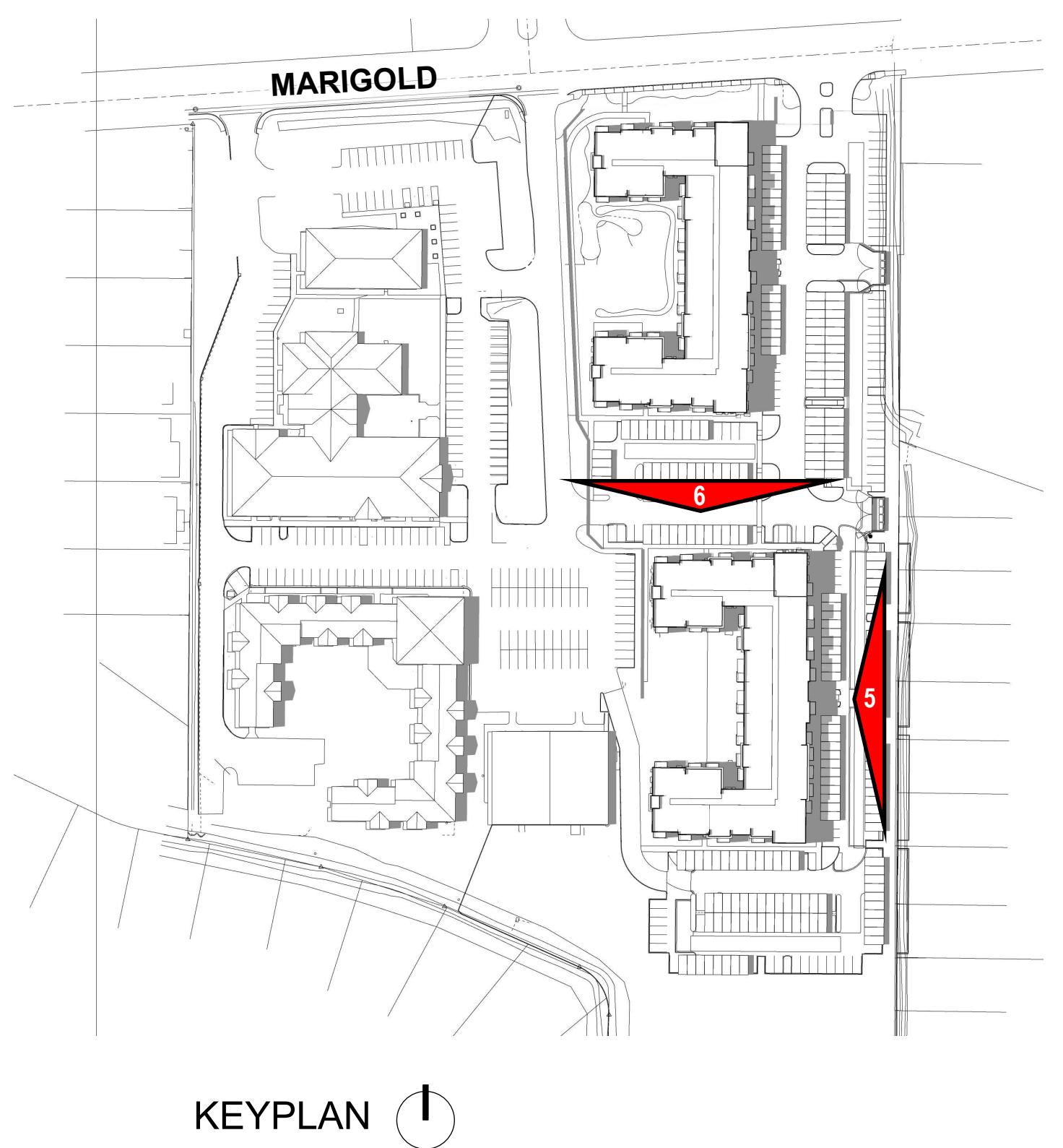


5. EAST ELEVATION

EXTERIOR PLASTER OR EIFS, SAND FINISH
RUNNING BOND BRICK W/ SOLDIER COURSE WAINSCOT



6. NORTH ELEVATION



Sheet A-8

CONCEPT ELEVATIONS

SCALE: 1"=10' @ 24x36

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

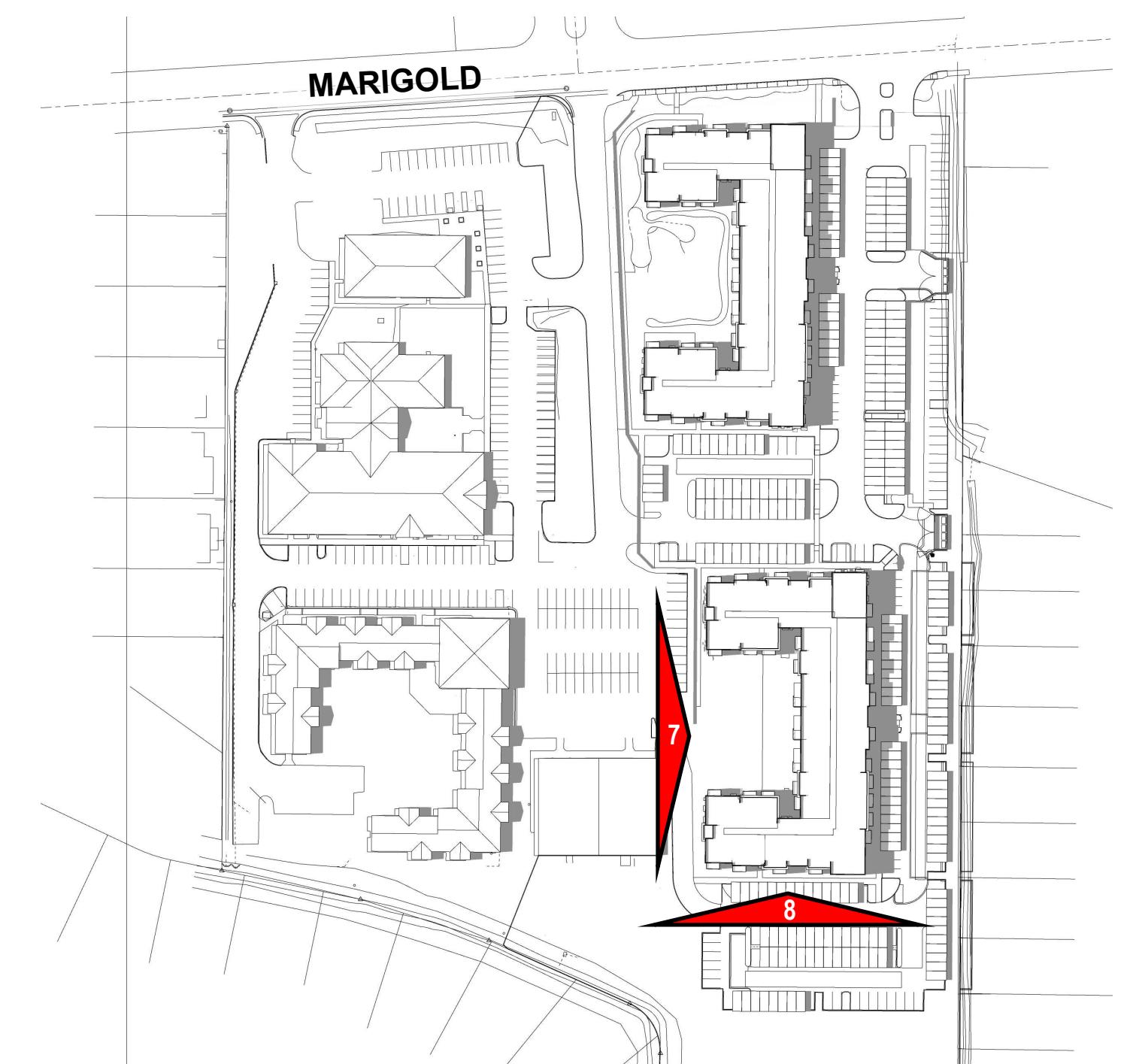
pivot north



7. WEST ELEVATION



8. SOUTH ELEVATION



Sheet A-9

CONCEPT ELEVATIONS

SCALE: 1"=10' @ 24x36

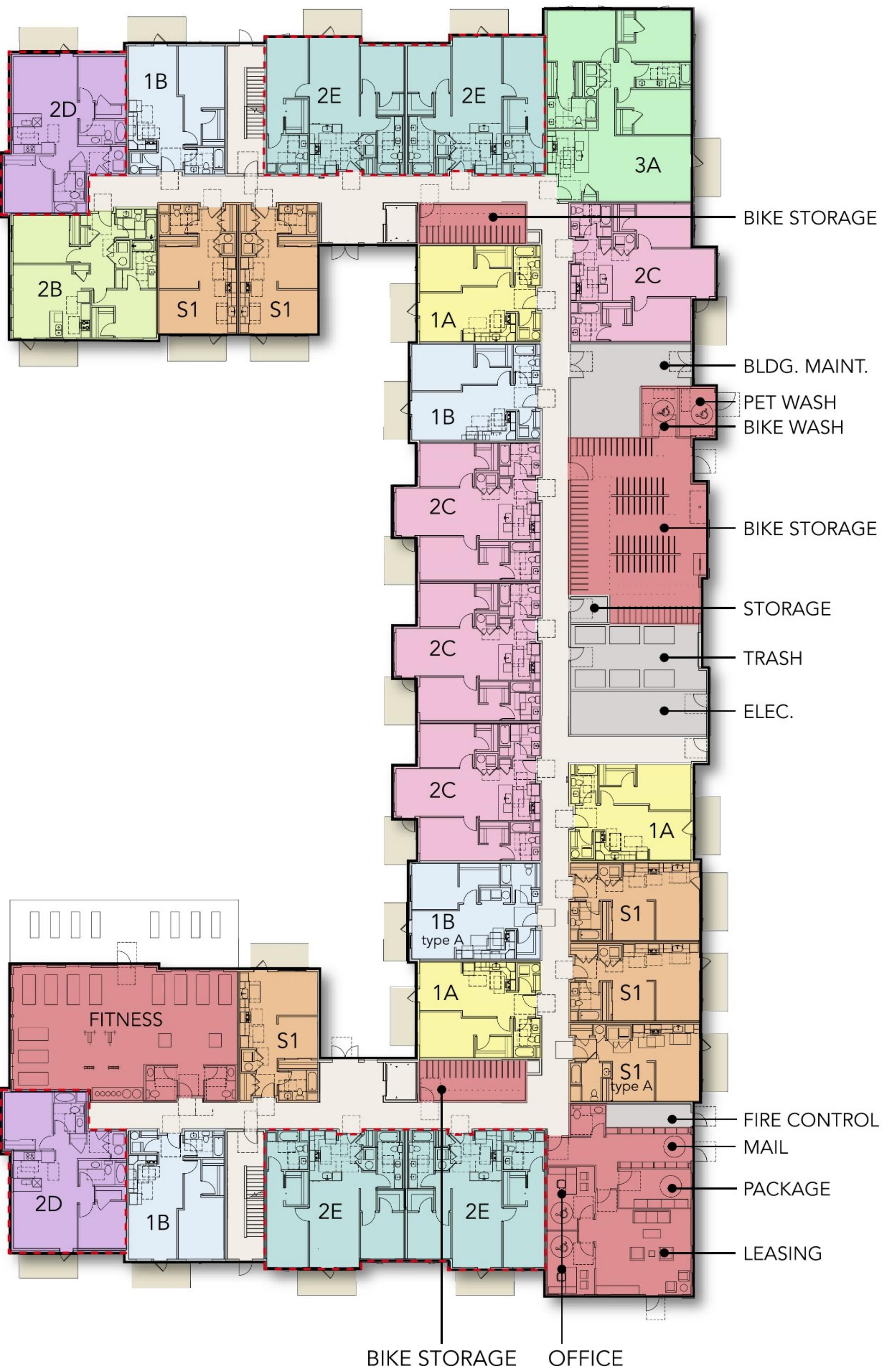
ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

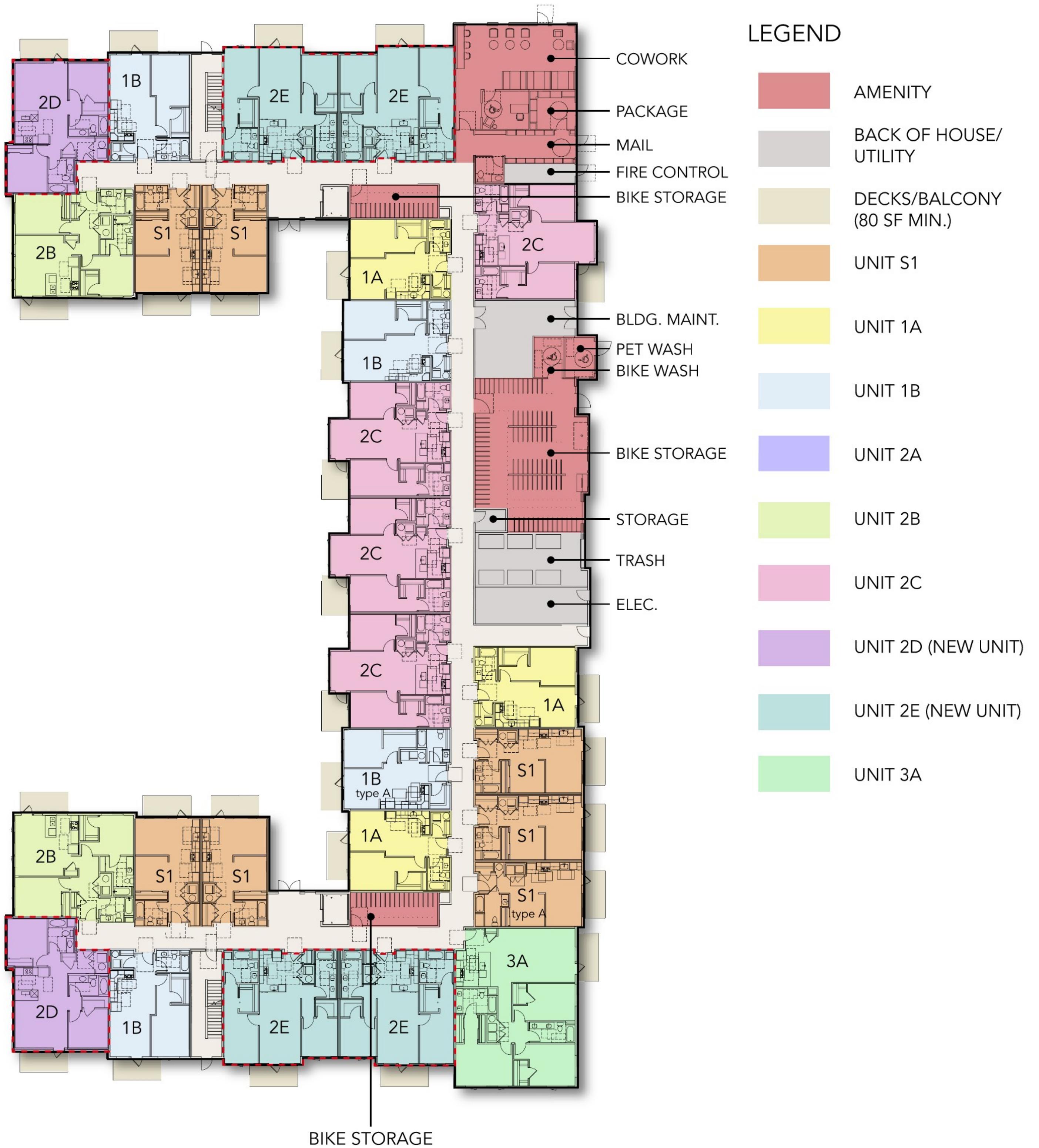
PNA JOB 2022-017

pivot north



BUILDING 1

LEVEL 1



BUILDING 2

LEVEL 1

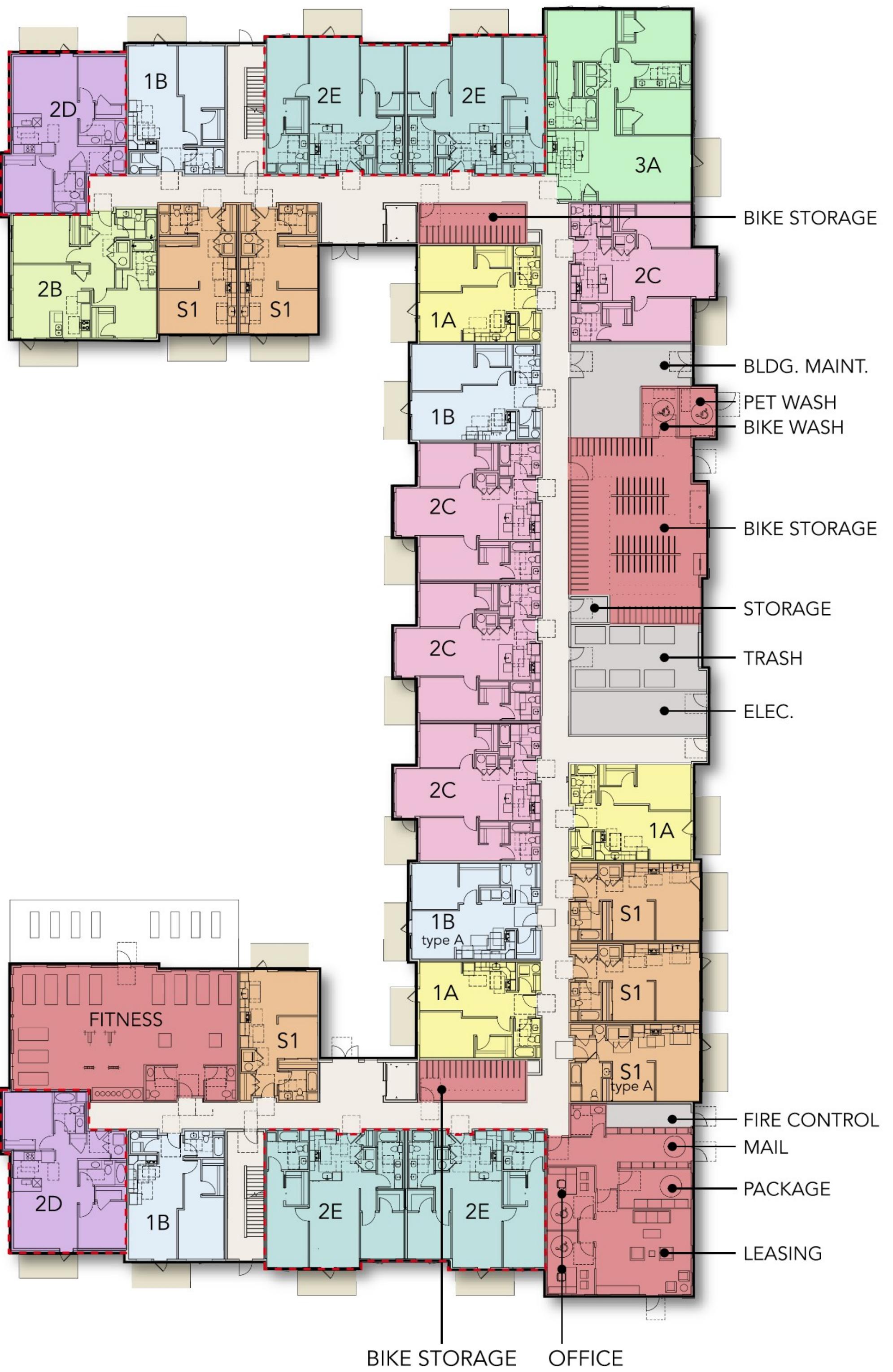
BUILDING PLANS

SCALE: 1"=10'

ANTIOCH APARTMENTS

02.21.2025

PNA JOB 2022-017



BUILDINGS 1 & 2
LEVELS 2-3

SCALE: 1"=20'

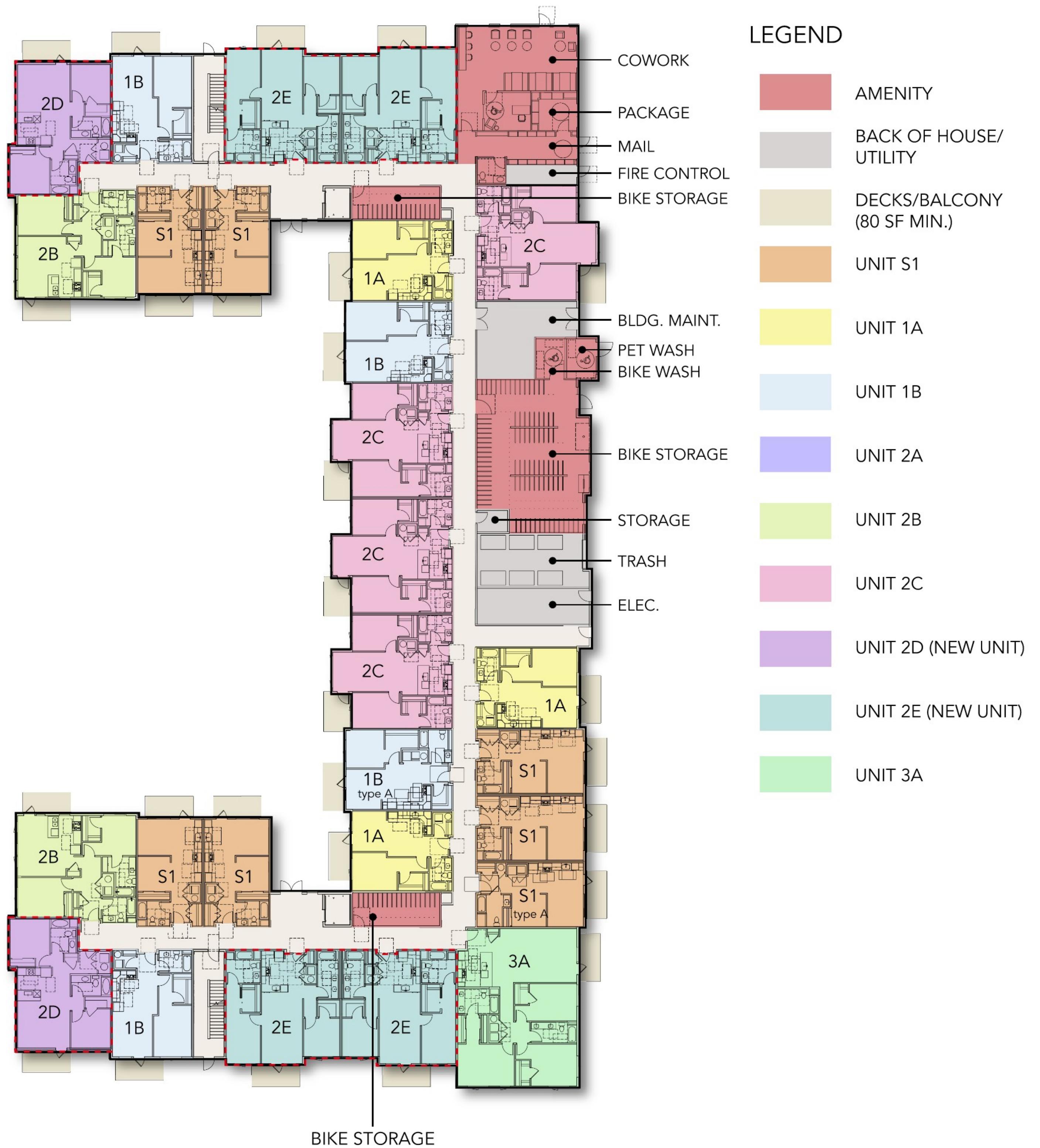
BUILDING PLANS

ANTIOCH APARTMENTS

02.21.2025

8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017



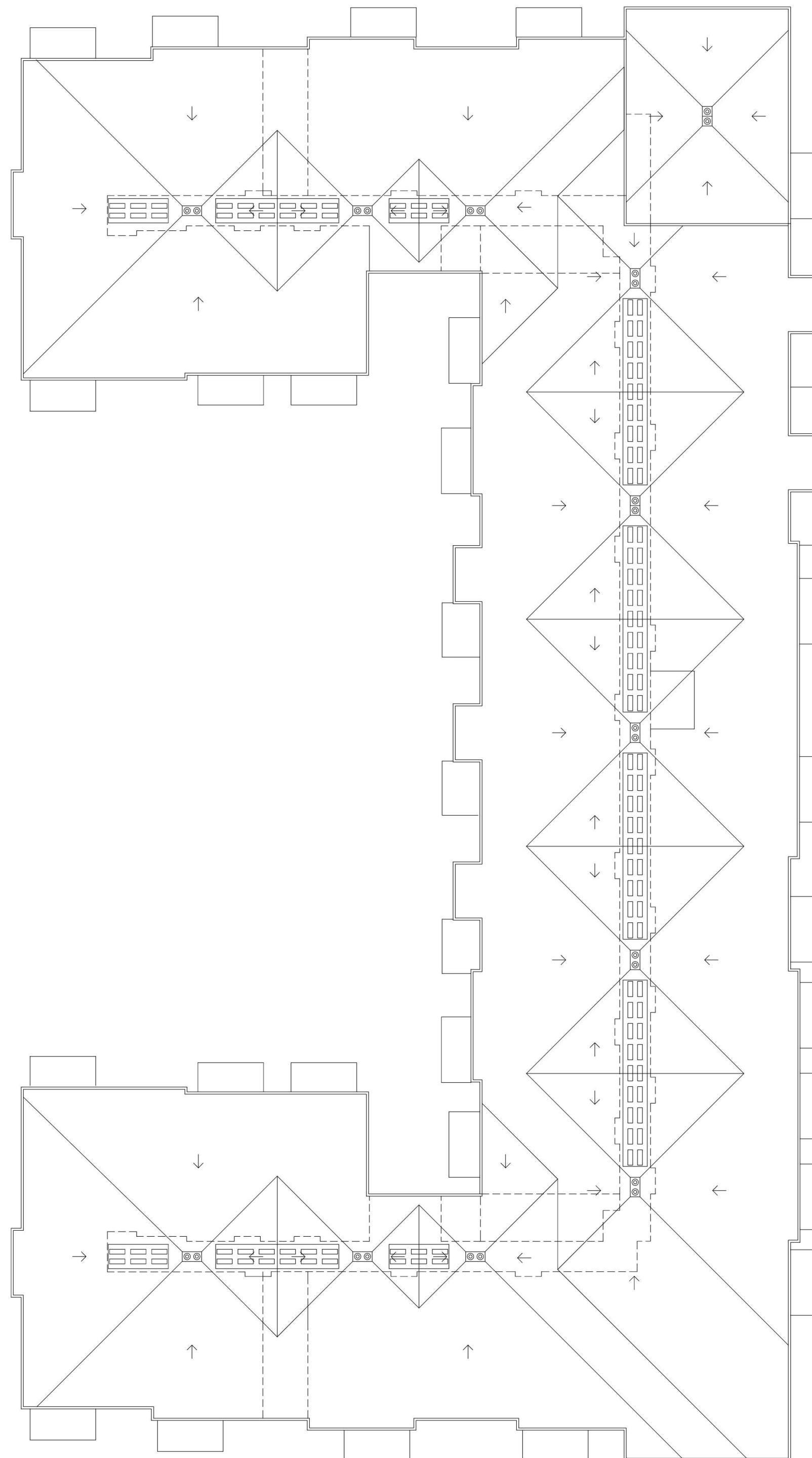
BUILDINGS 1 & 2
LEVEL 4

Sheet A-11

pivot north

LEGEND

	AMENITY
	BACK OF HOUSE/UTILITY
	DECKS/BALCONY (80 SF MIN.)
	UNIT S1
	UNIT 1A
	UNIT 1B
	UNIT 2A
	UNIT 2B
	UNIT 2C
	UNIT 2D (NEW UNIT)
	UNIT 2E (NEW UNIT)
	UNIT 3A



BUILDINGS 1 & 2
ROOF

Sheet A-12

BUILDING PLANS

ANTIOCH APARTMENTS

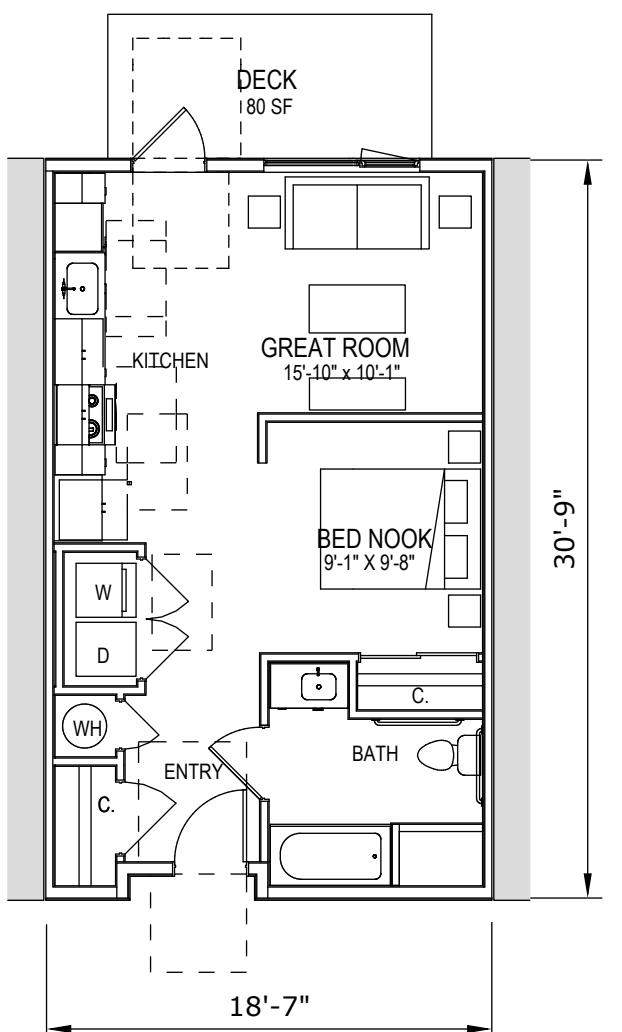
02.21.2025

SCALE: 1"=20'

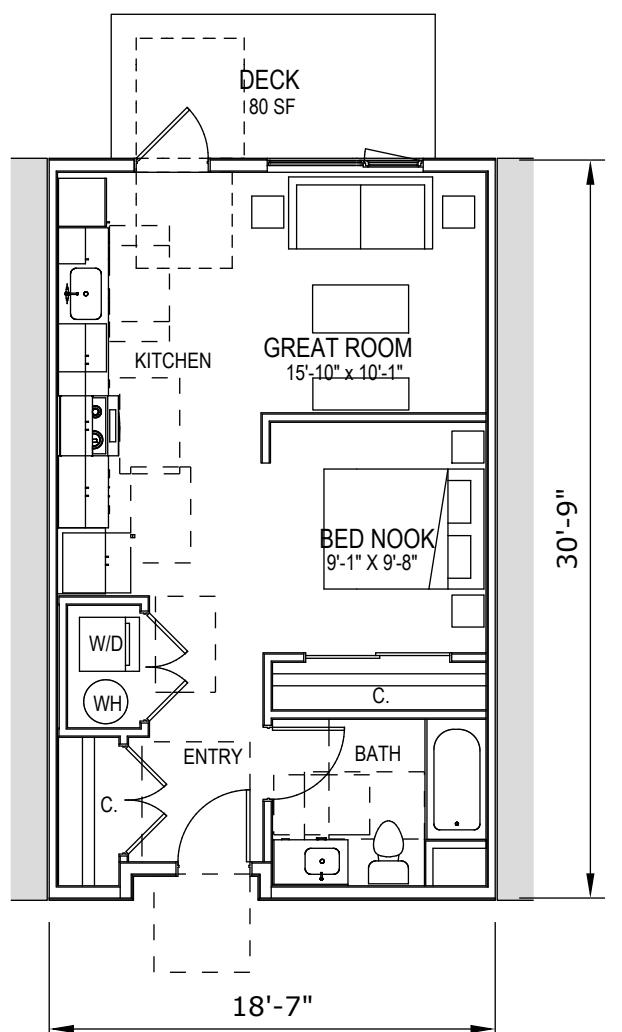
8695 W. Marigold St., Garden City ID 83714

PNA JOB 2022-017

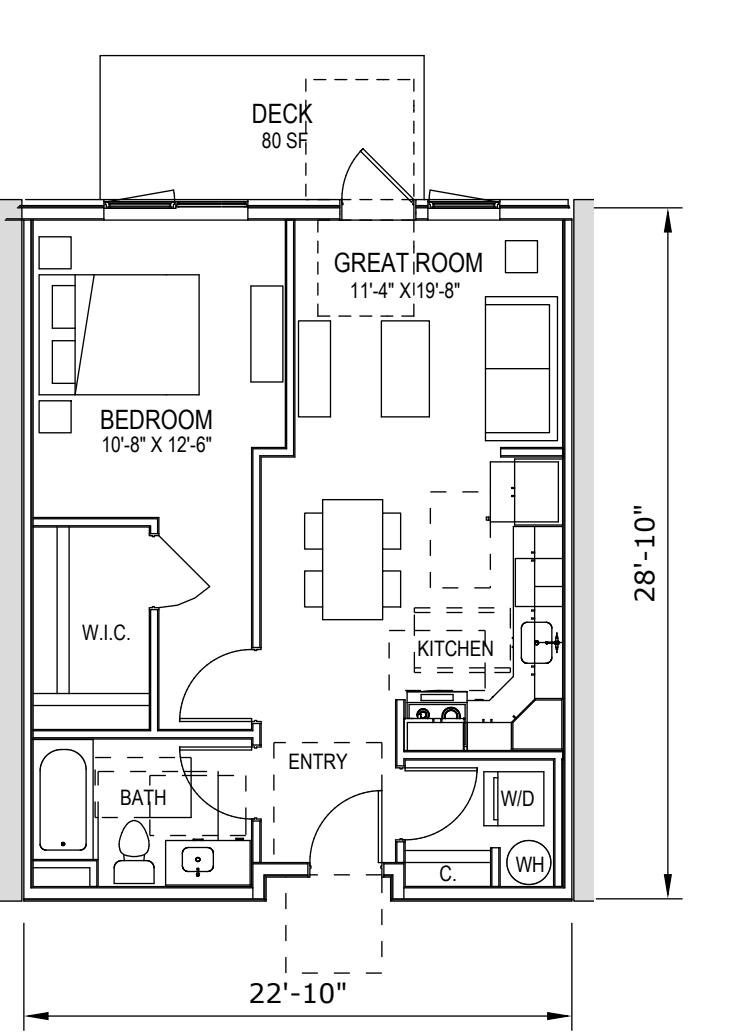
pivot north



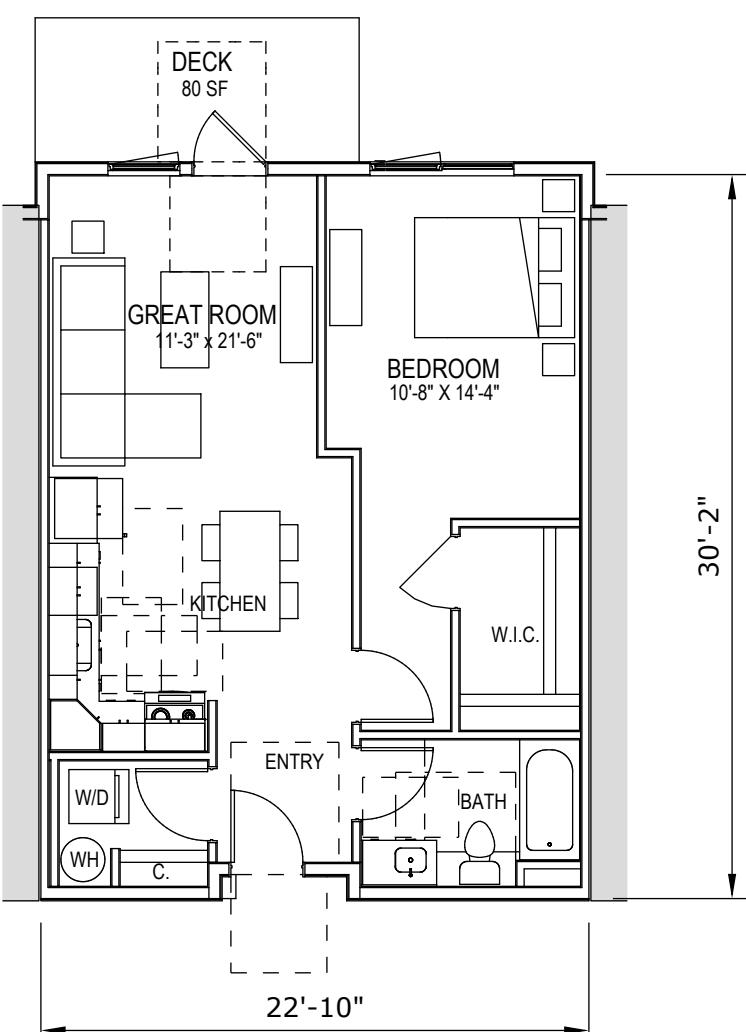
UNIT S1
+/- 560 SF NET
53 OCCURENCES
(FROM MERITAGE WEST)



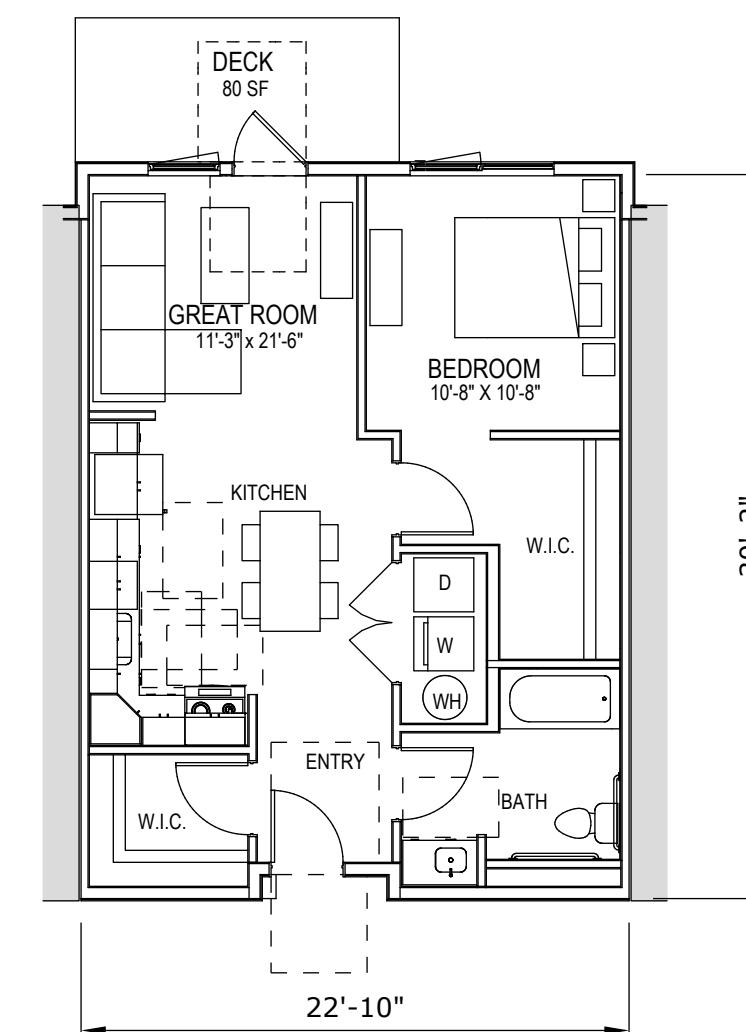
UNIT S1 type A
+/- 560 SF NET
2 OCCURENCES
(FROM MERITAGE WEST)



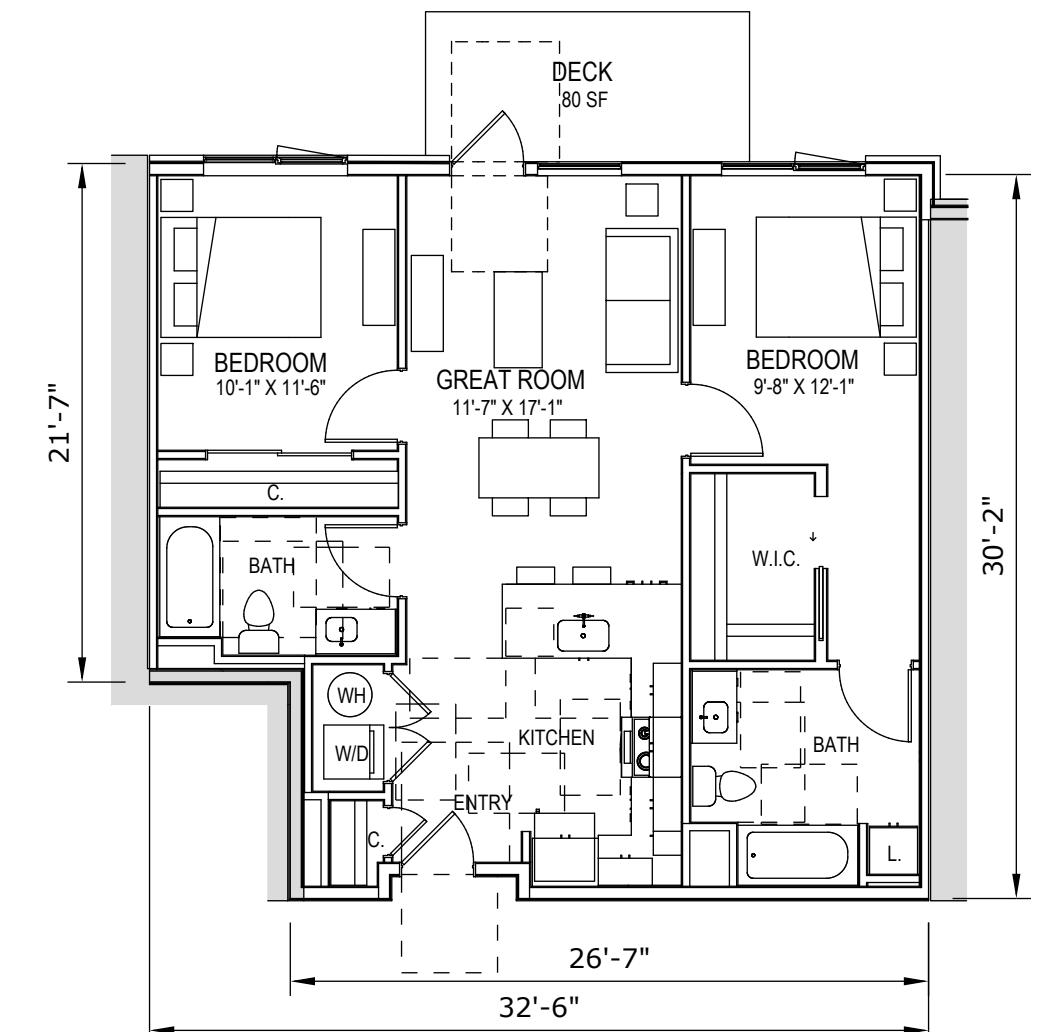
UNIT 1A
+/- 644 SF NET
24 OCCURENCES
(FROM MERITAGE WEST)



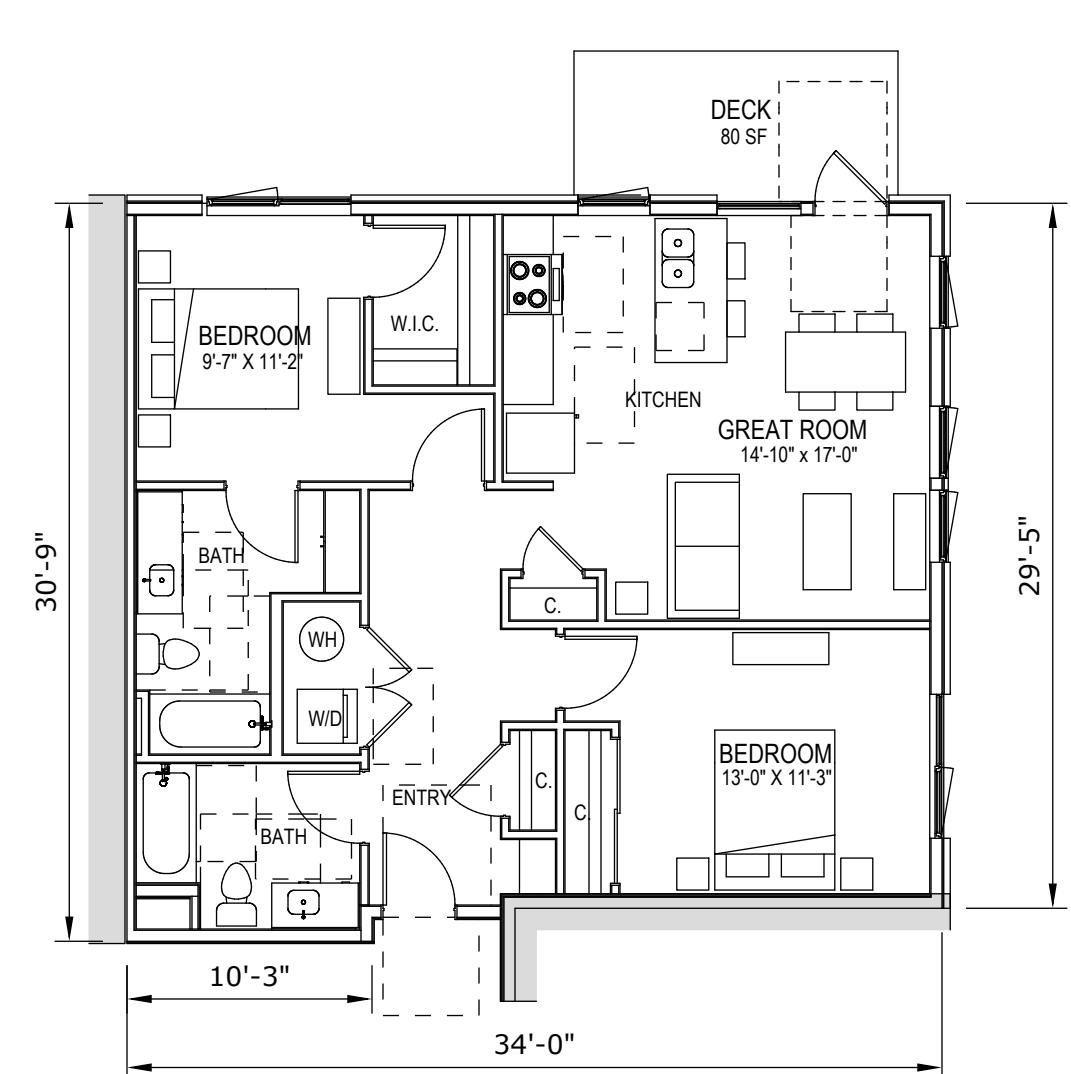
UNIT 1B
+/- 686 SF NET
30 OCCURENCES
(FROM MERITAGE WEST)



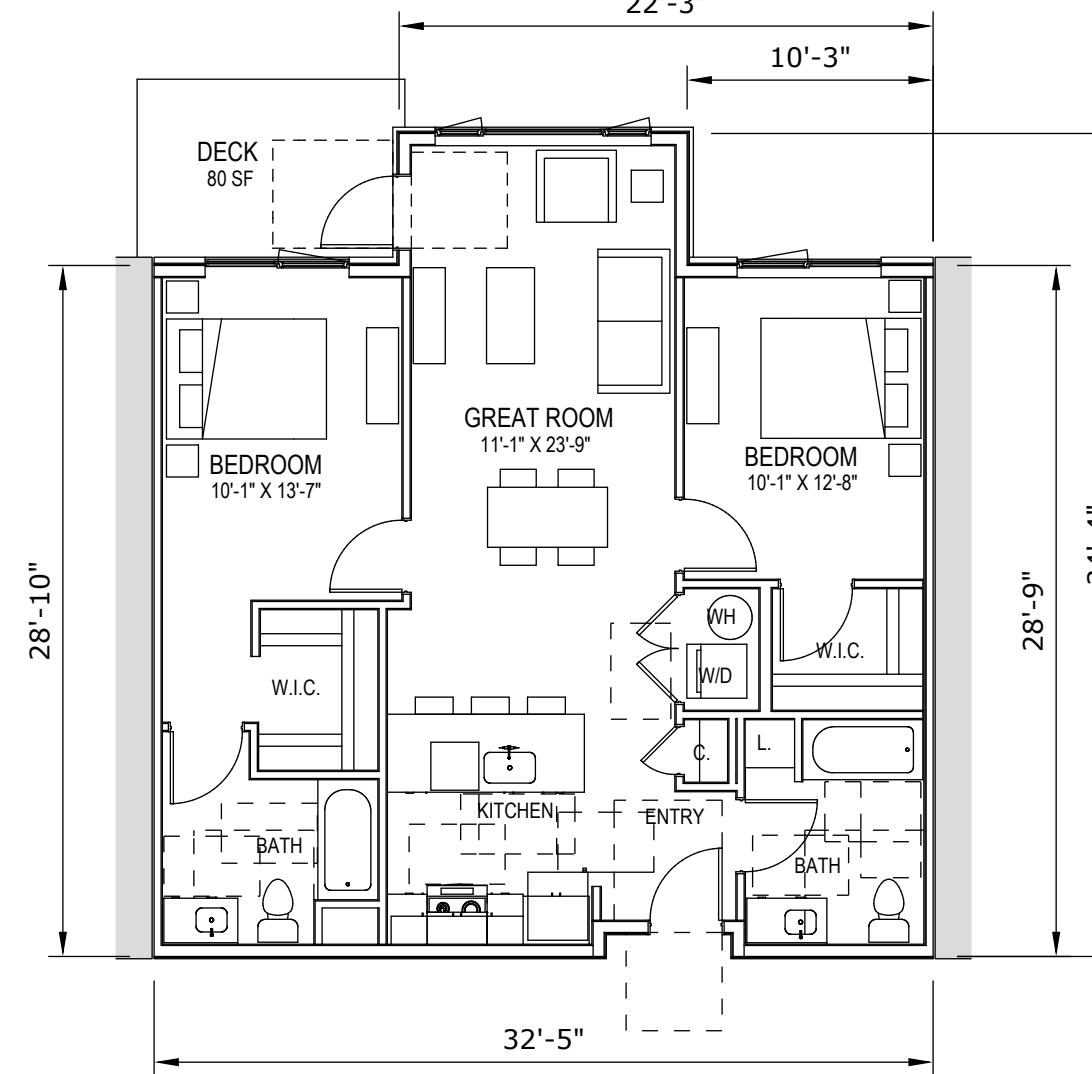
UNIT 1B type A
+/- 686 SF NET
2 OCCURENCES
(FROM MERITAGE WEST)



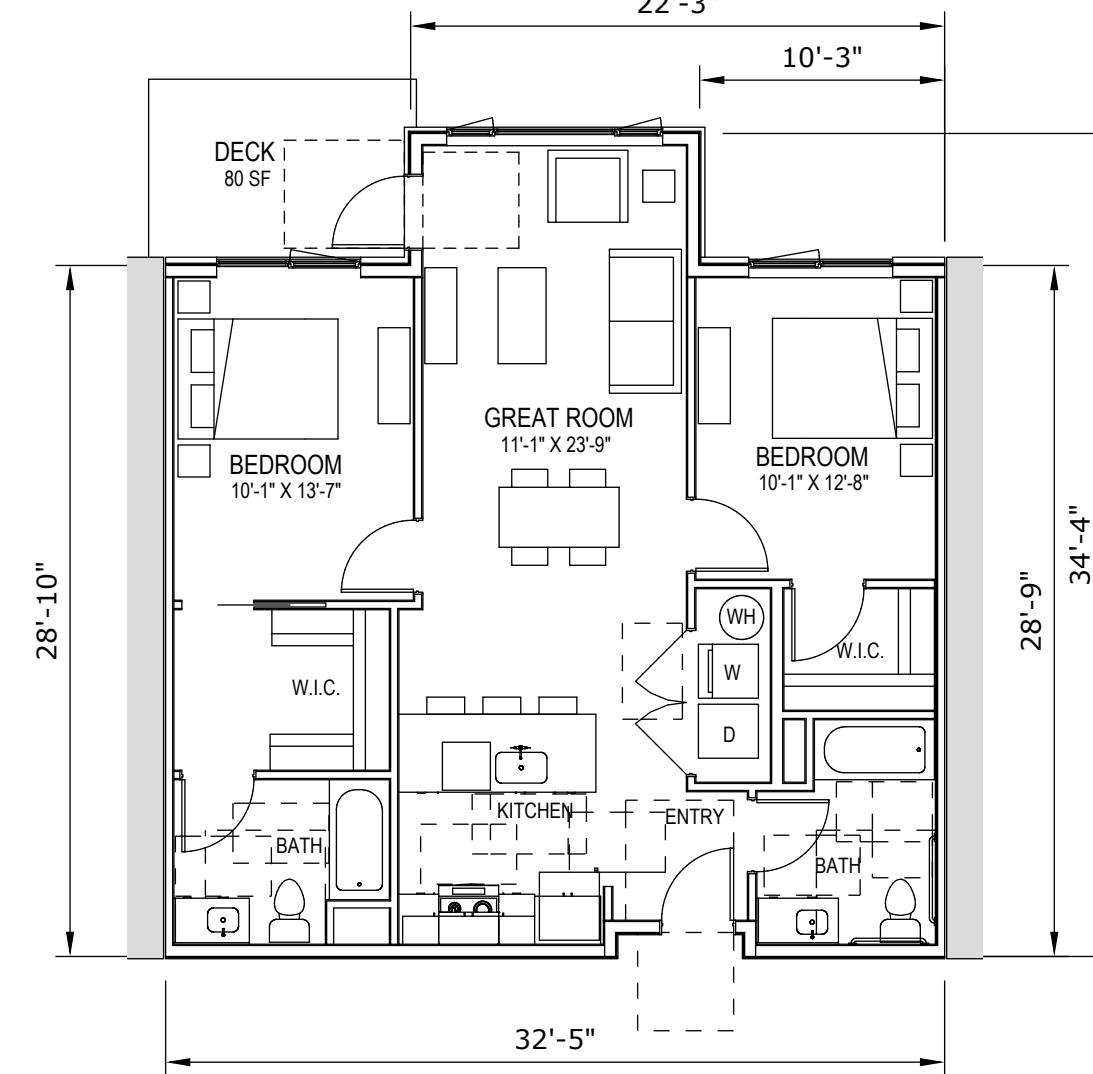
UNIT 2A
+/- 960 SF NET
12 OCCURENCES
(FROM MERITAGE WEST)



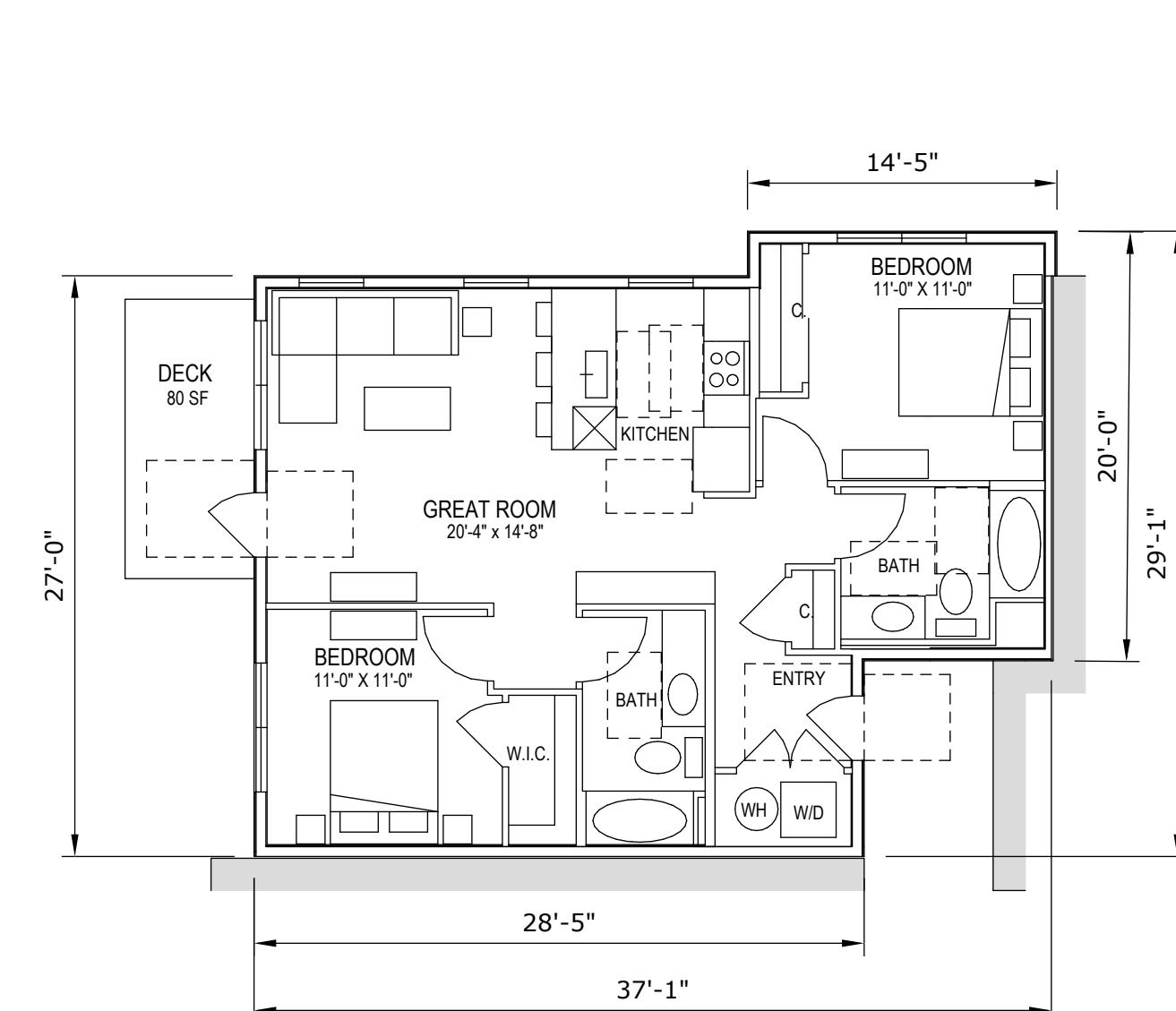
UNIT 2B
+/- 966 SF NET
15 OCCURENCES
(FROM MERITAGE WEST)



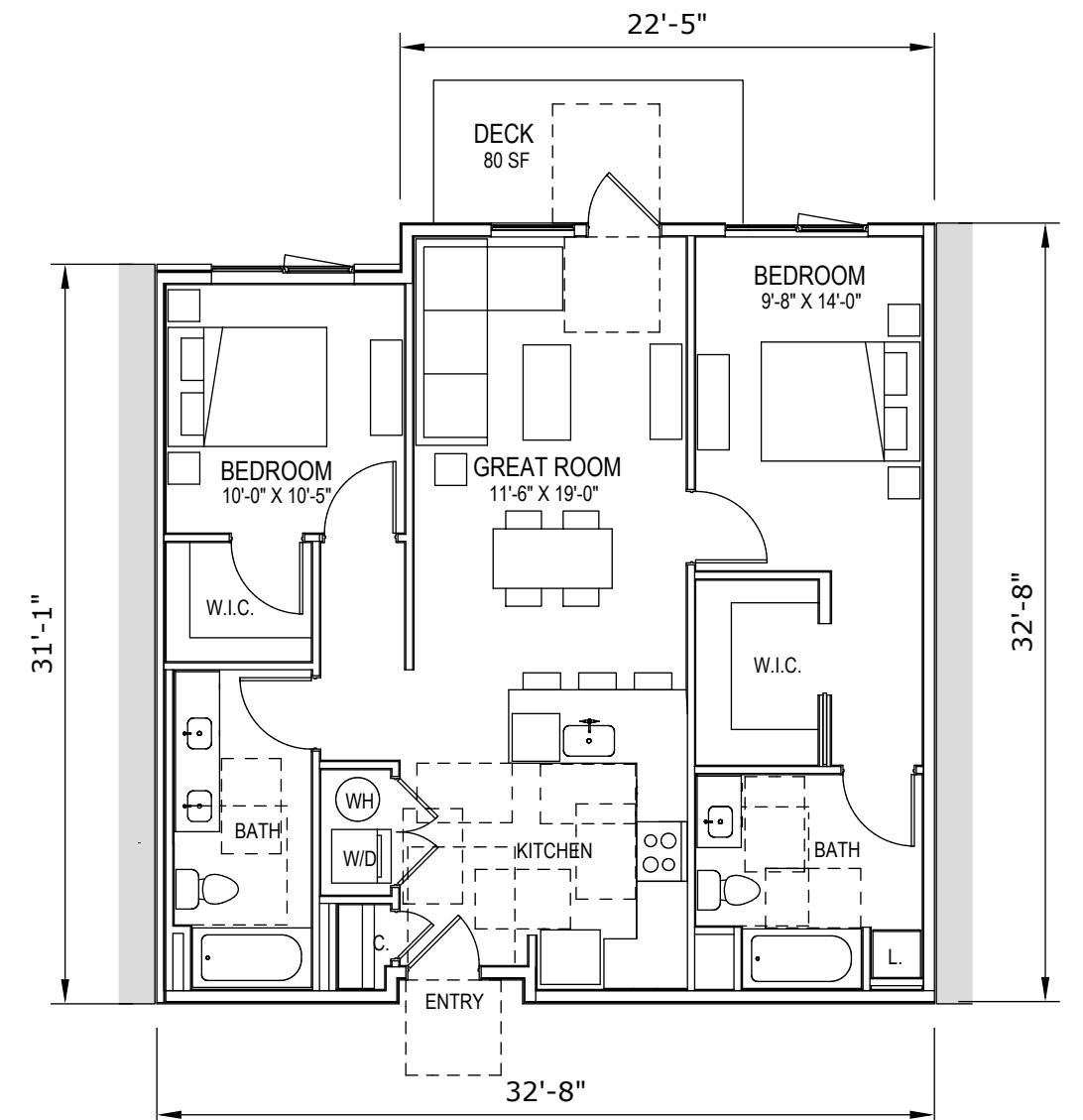
UNIT 2C
+/- 978 SF NET
36 OCCURENCES
(FROM MERITAGE WEST)



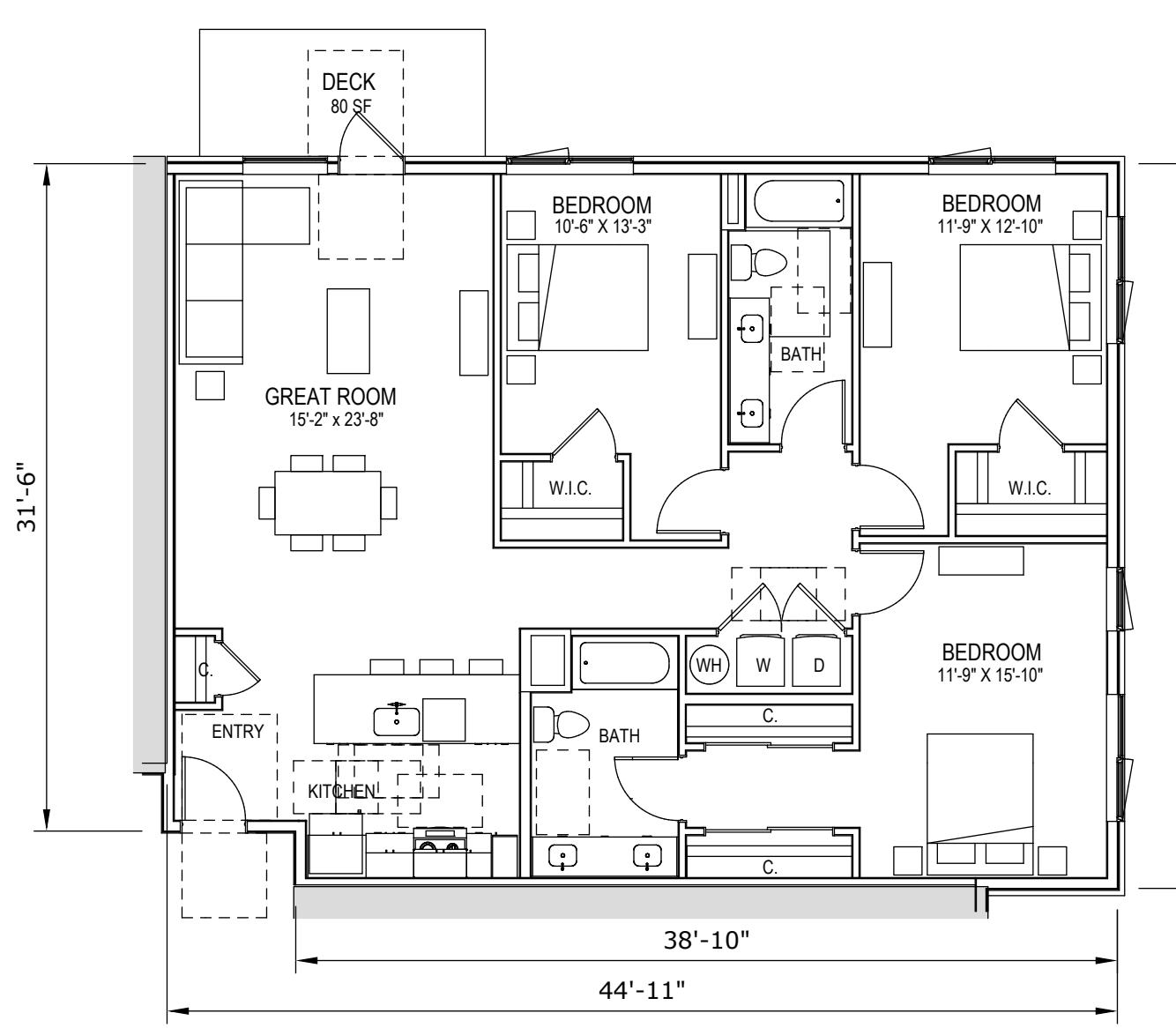
UNIT 2C type A
+/- 978 SF NET
2 OCCURENCES
(FROM MERITAGE WEST)



UNIT 2D
+/- 860 SF NET
16 OCCURENCES
(NEW UNIT)



UNIT 2E
+/- 970 SF NET
32 OCCURENCES
(NEW UNIT)



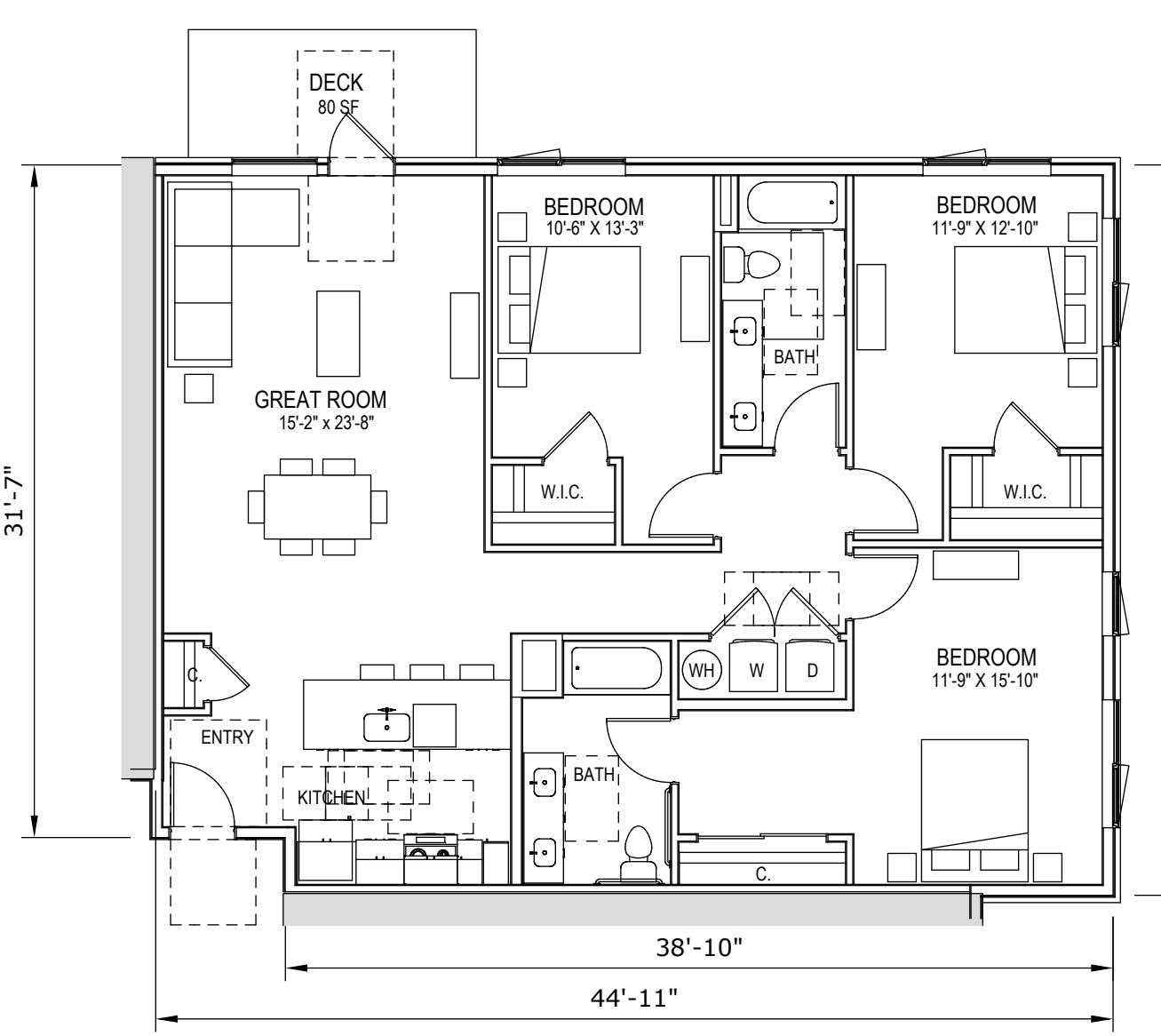
SCALE: 1/8"=1'-0" @ 24x36

UNIT PLANS

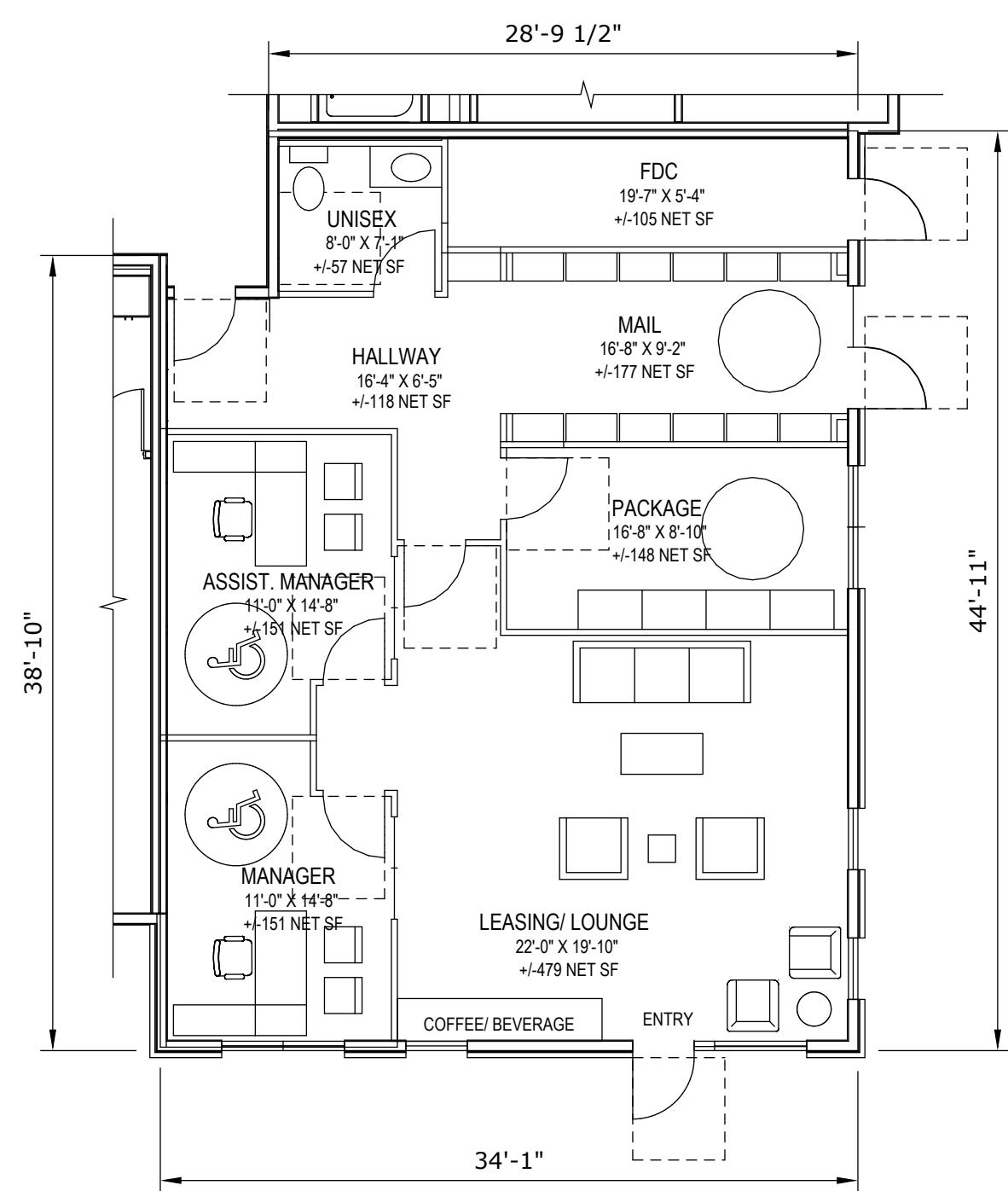
ANTIOCH APARTMENTS

8695 W. Marigold St., Garden City ID 83714

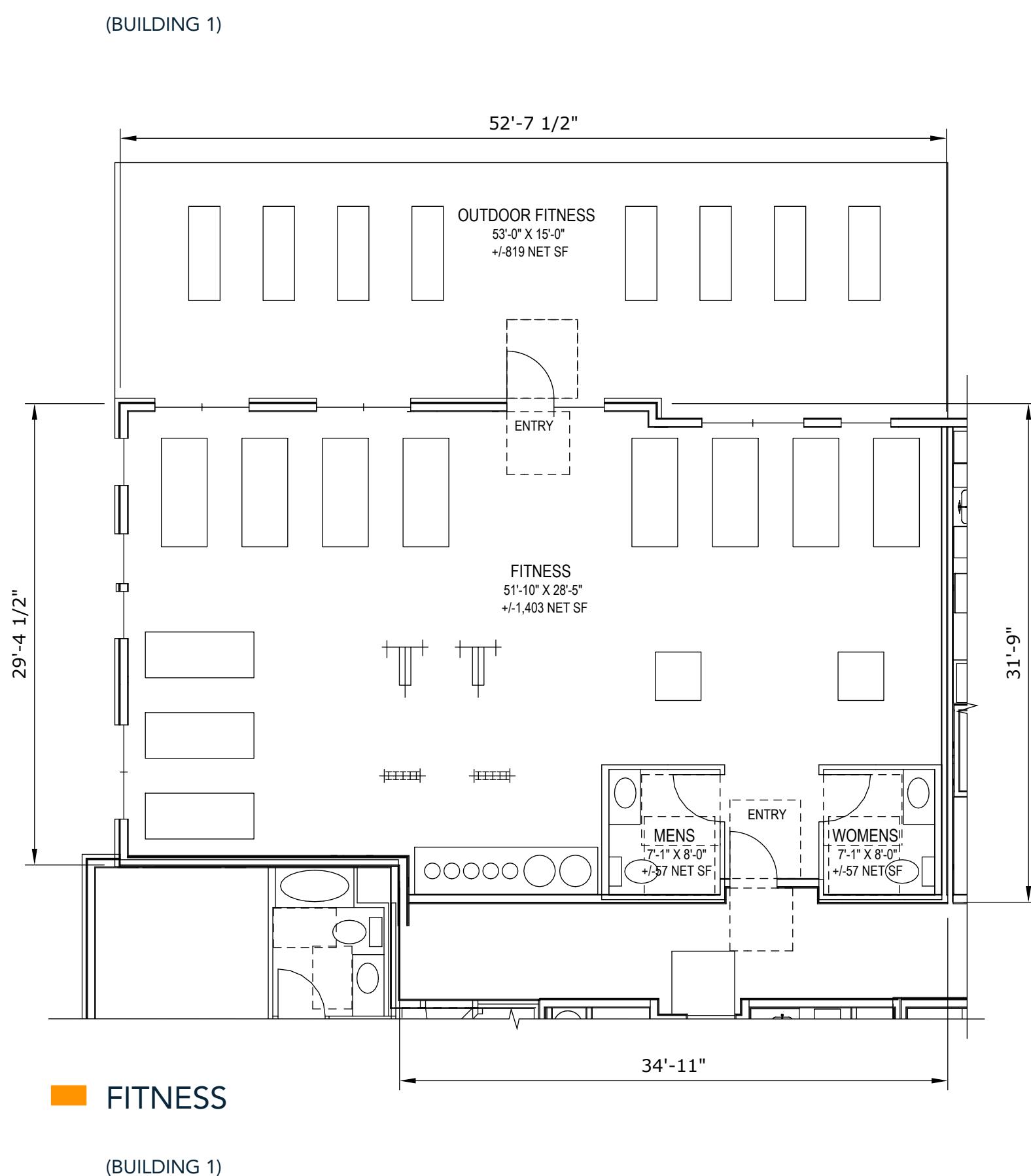
PNA JOB 2022-017



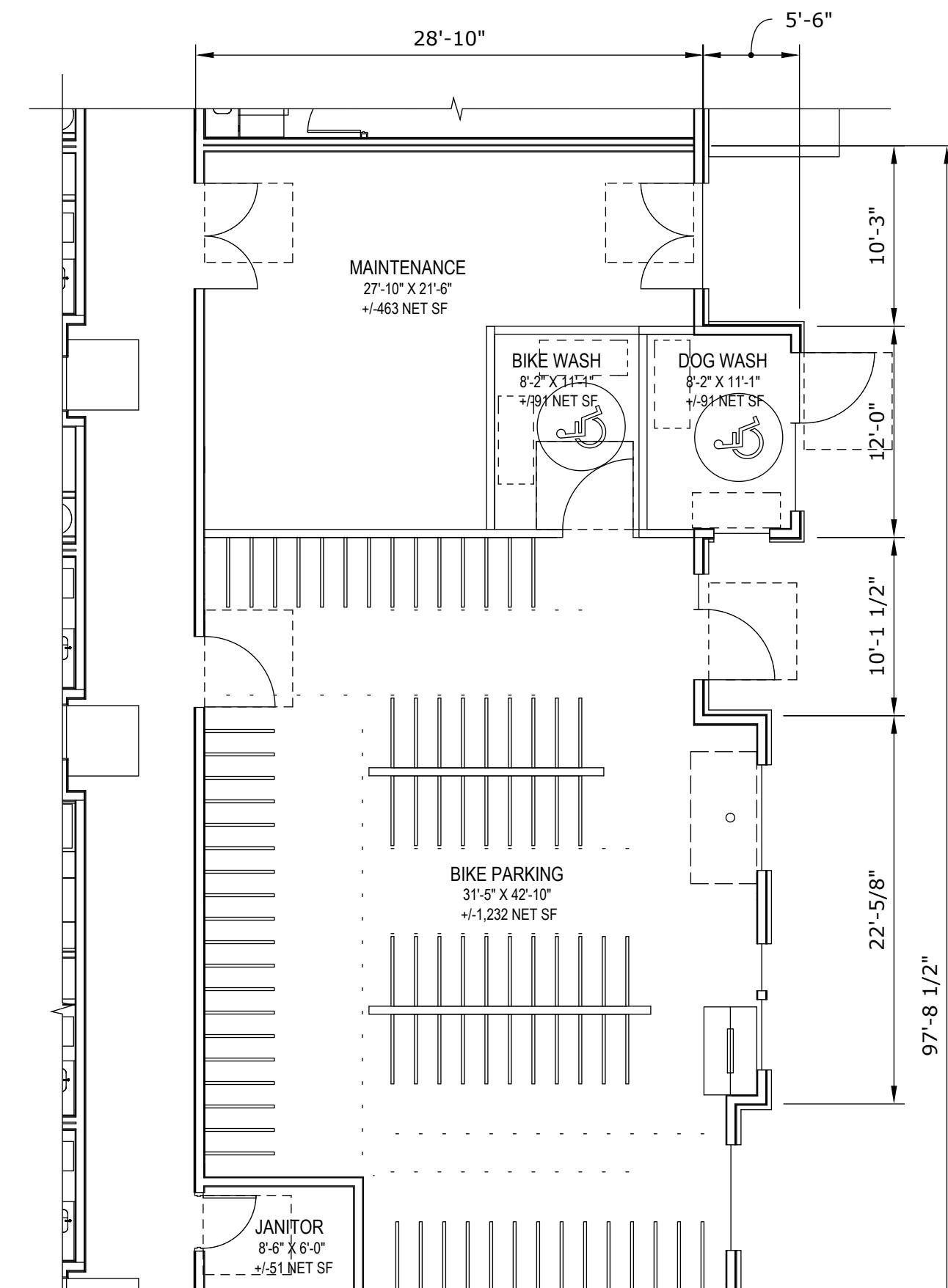
UNIT 3A type A
+/- 1,485 SF NET
2 OCCURENCES
(FROM MERITAGE WEST)



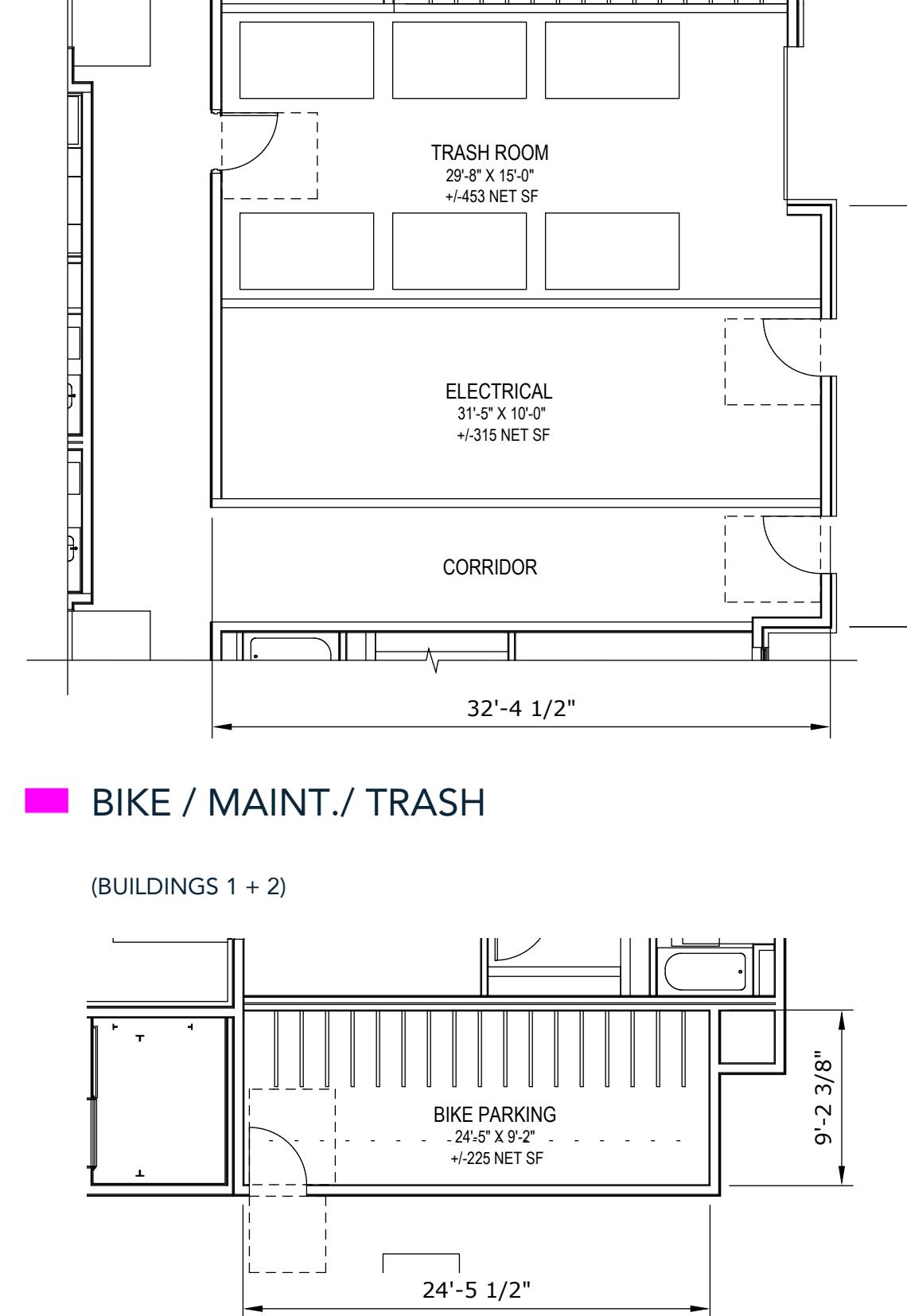
■ LEASING/ MAIL/ PACKAGE



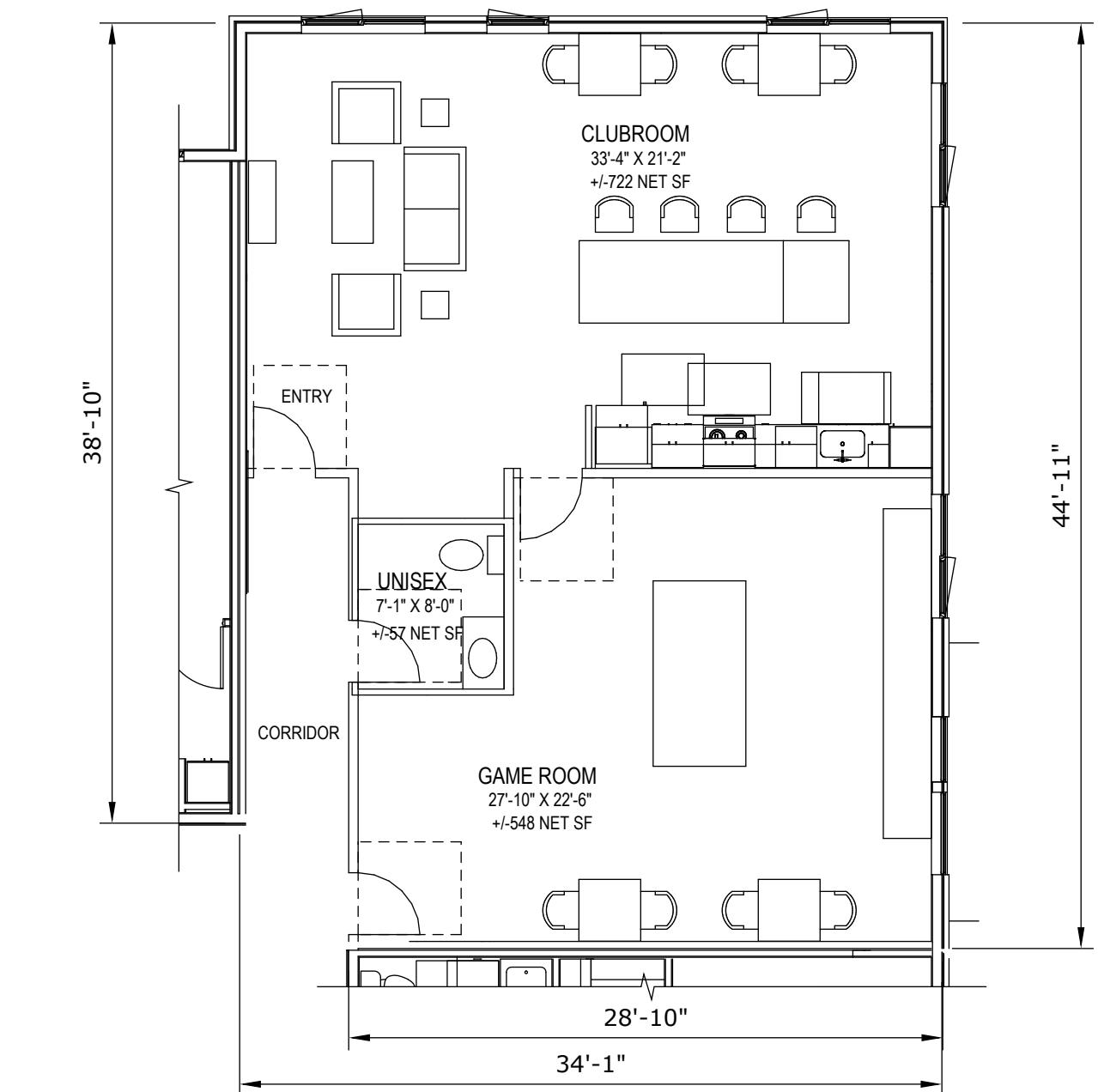
■ FITNESS



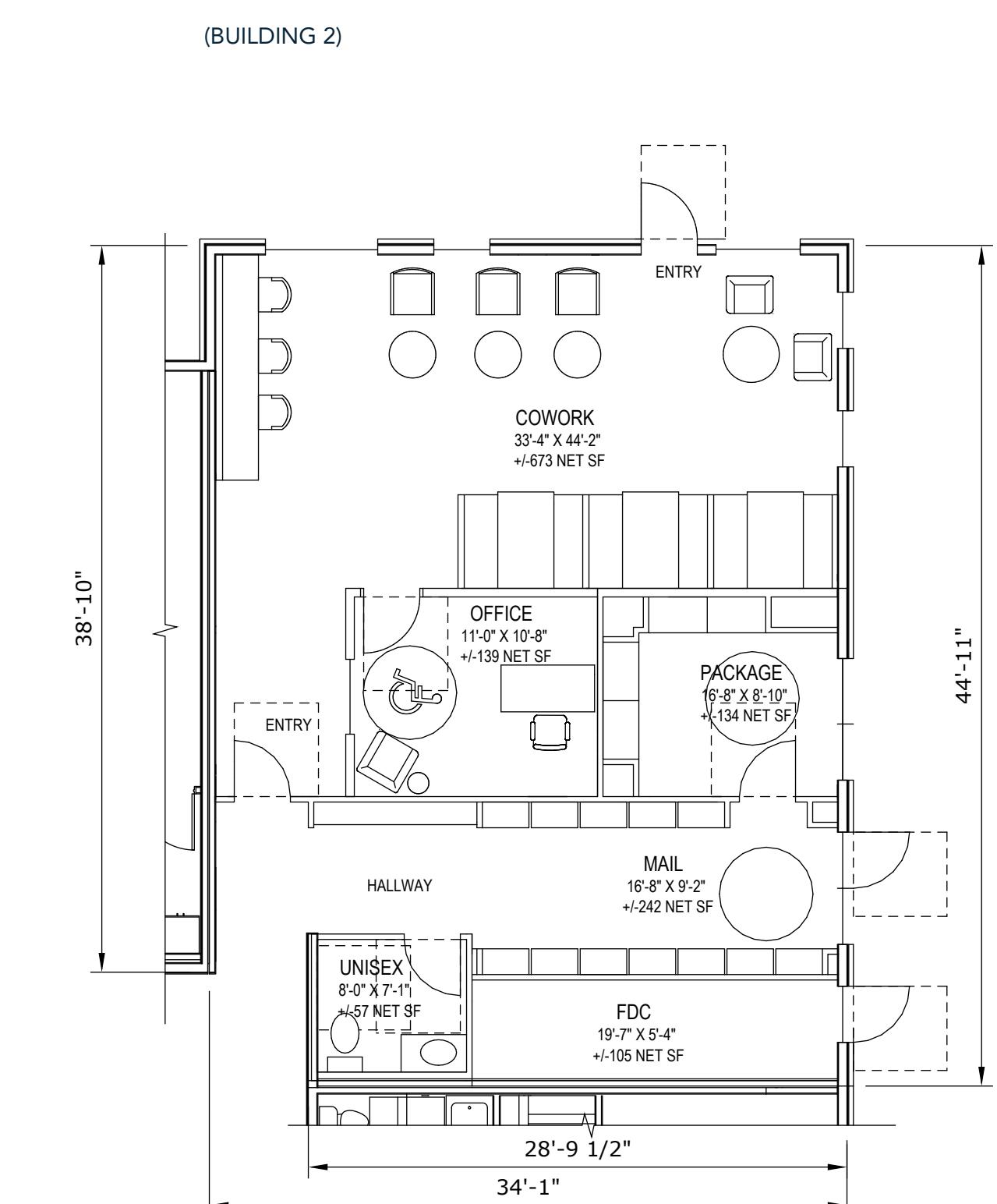
■ BIKE / MAINT./ TRASH



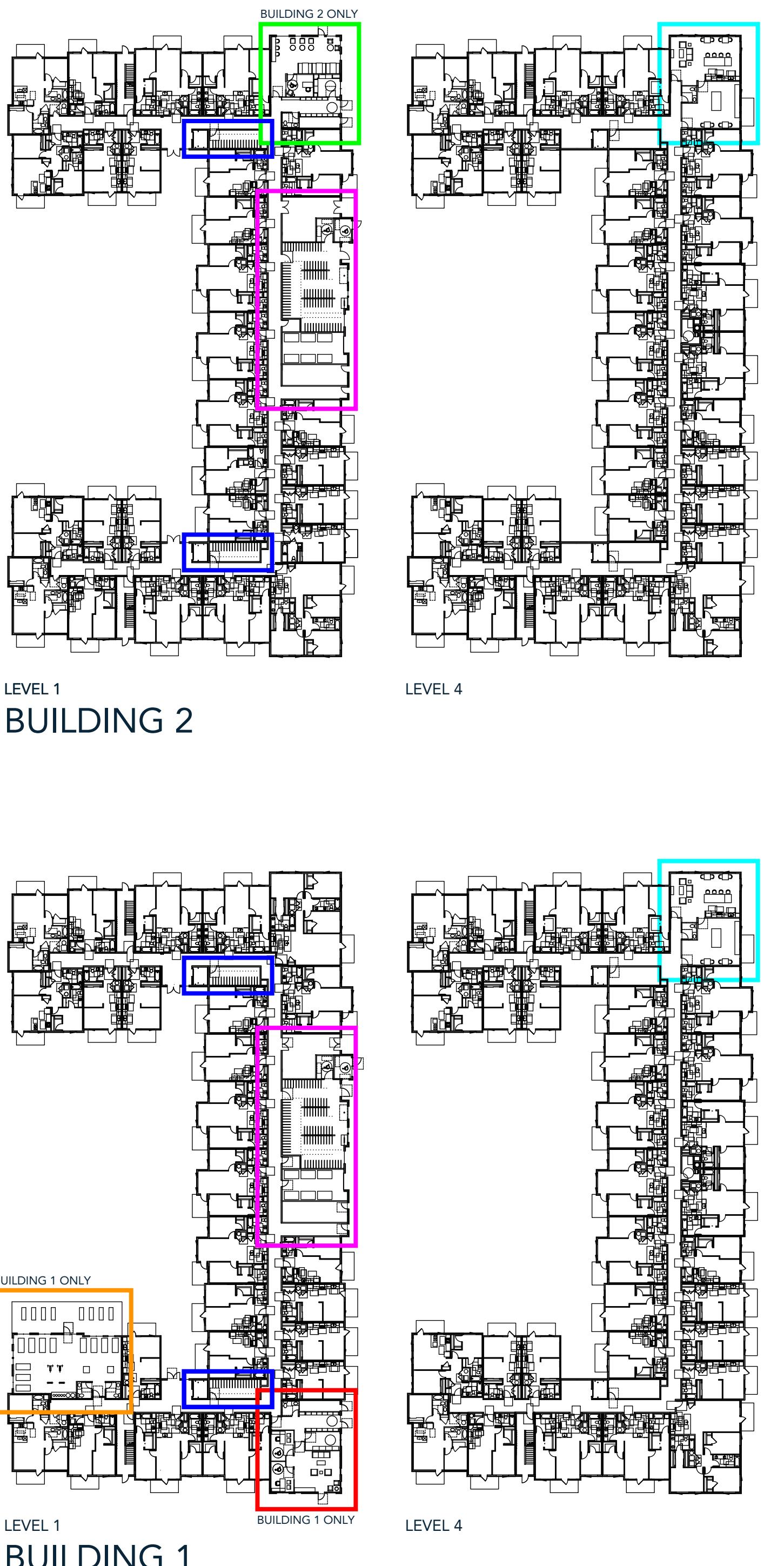
■ BIKE ROOM



■ CLUBROOM



■ COWORK/ MAIL/ PACKAGE



Antioch Apartments

8695 W Marigold Street, Garden City, Idaho

PACIFIC WEST COMMUNITIES

Design Review Drawings for:

2/19/2025

PROFESSIONAL ENGINEER REGISTERED STATE OF IDAHO
12645 BYAN APPLEGATE

2/19/2025

Drawing Set Issued for:
DESIGN REVIEW

Project No. R221201

Issued Date 19 FEB 2025

Drawn by BEA

Sheet Title

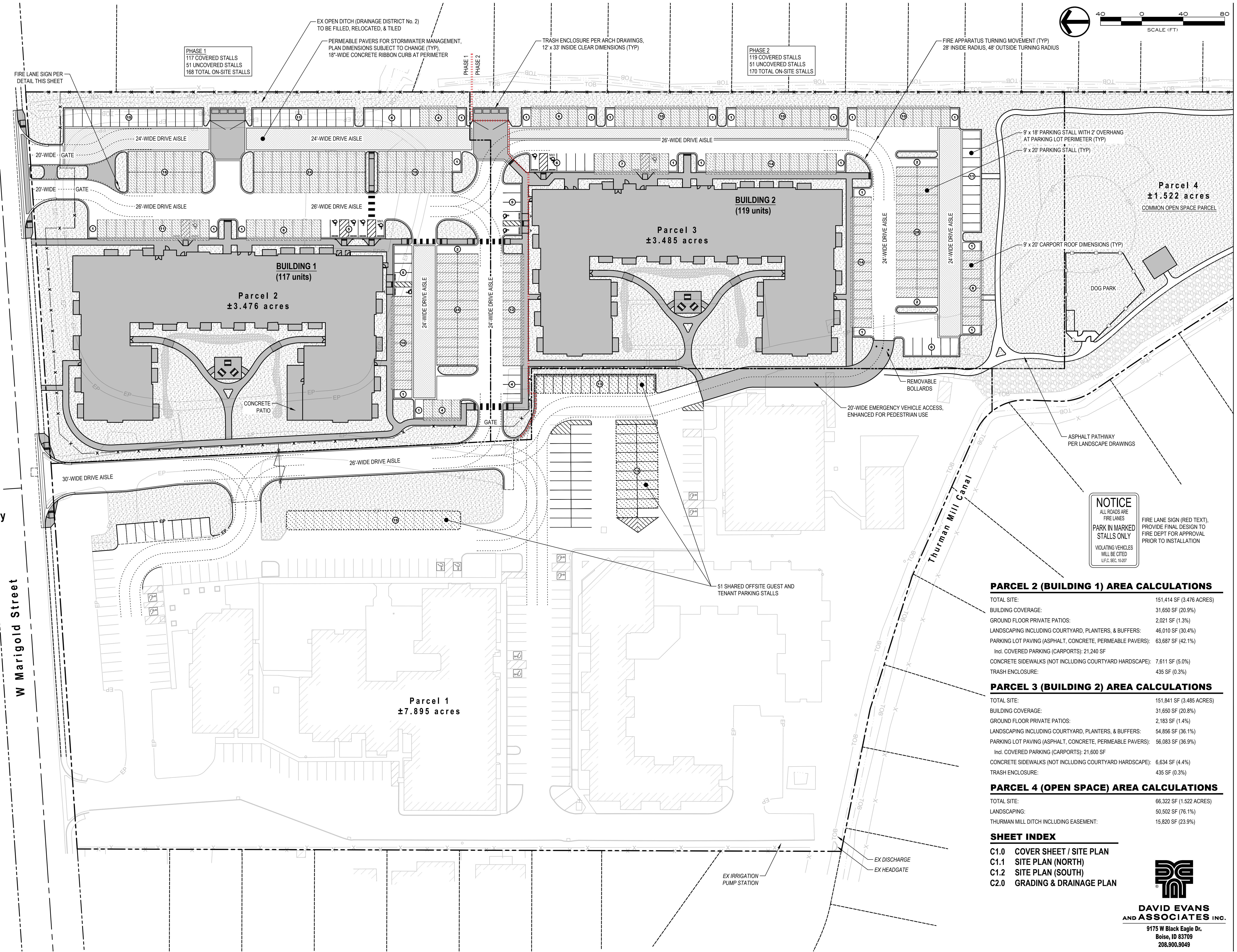
Cover Sheet / Site Plan

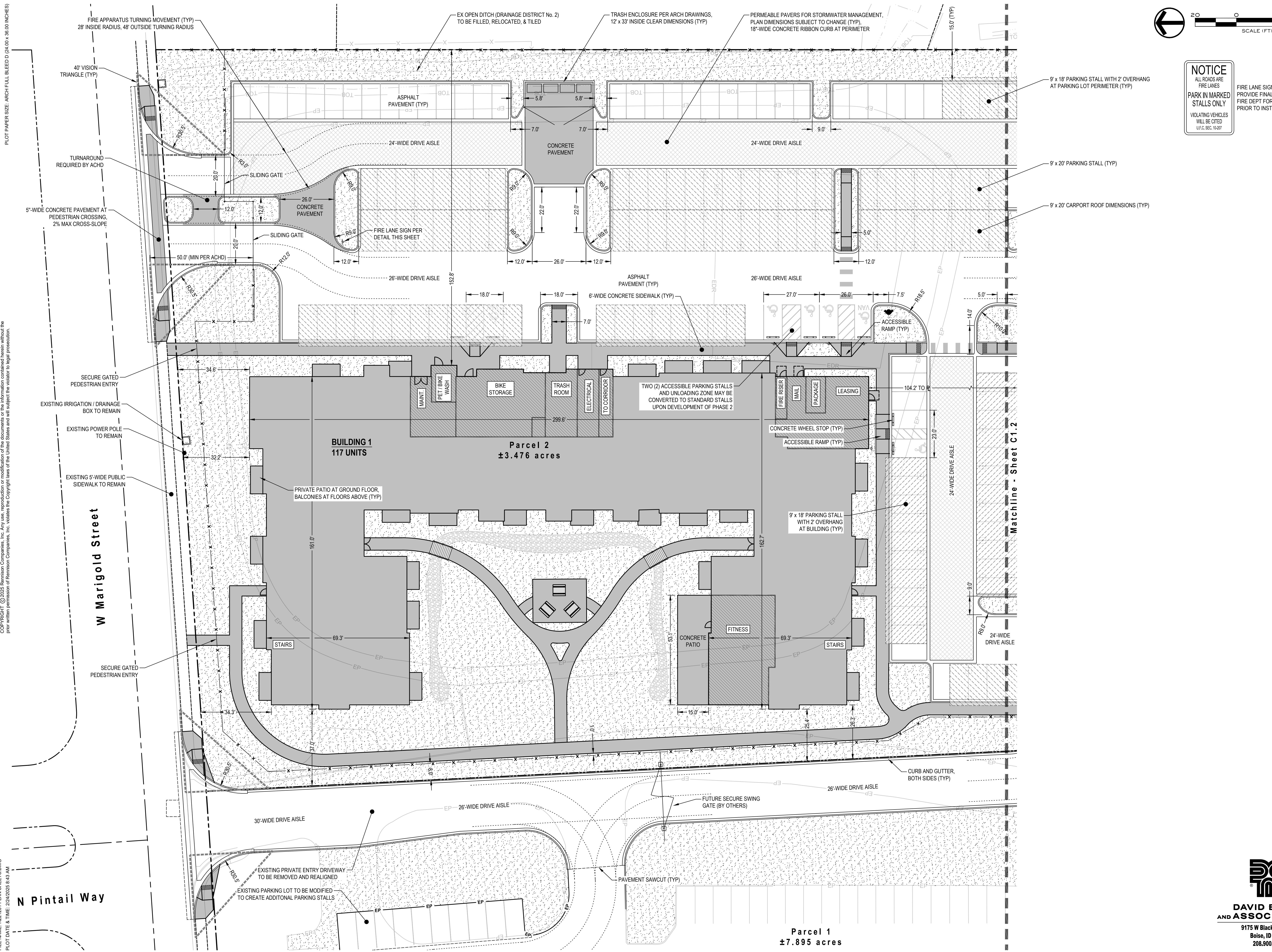
Sheet Number

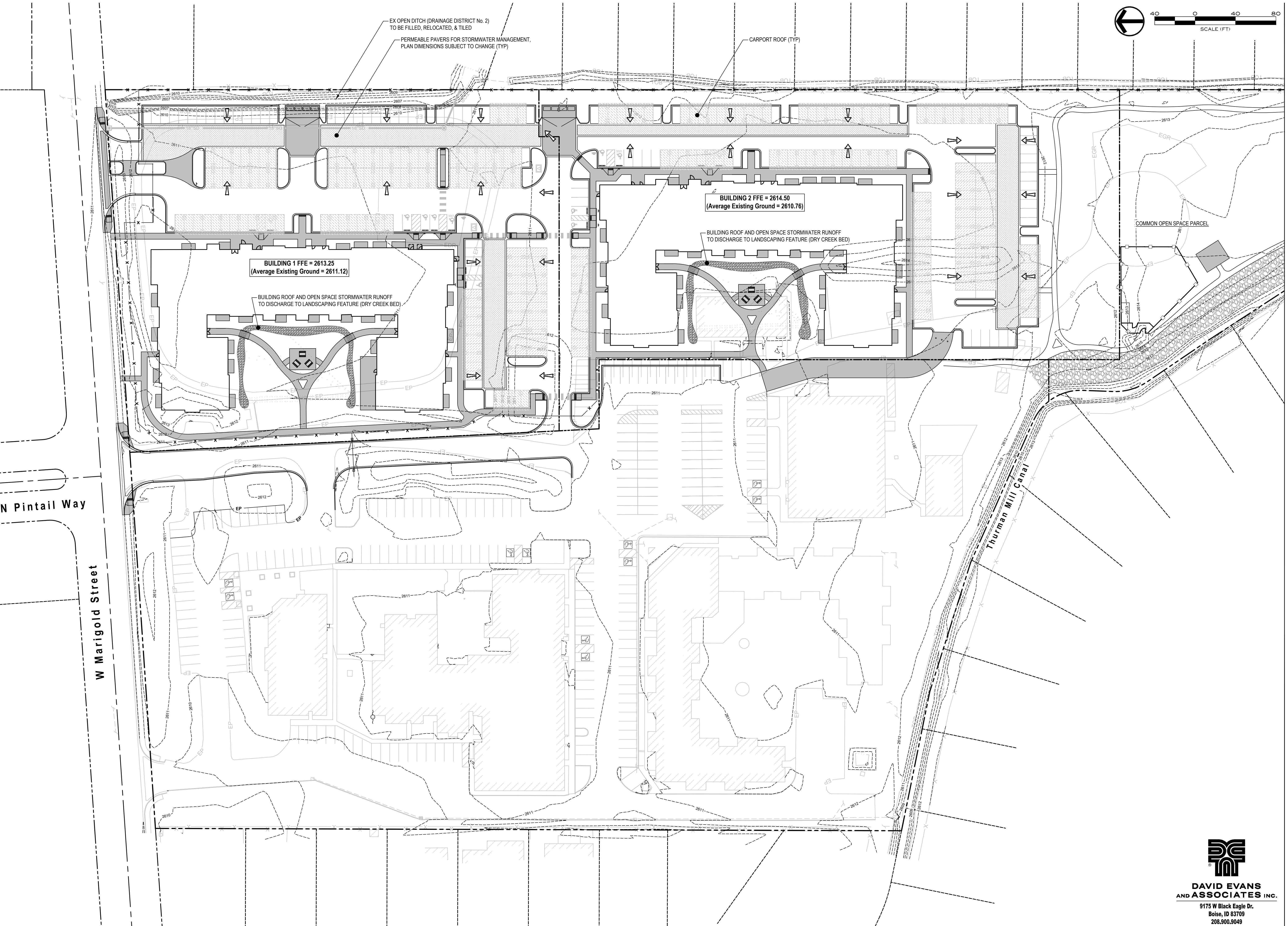
C1.0



DAVID EVANS
AND ASSOCIATES INC.
9175 W Black Eagle Dr.
Boise, ID 83709
208.900.9049







Antioch Apartments

RENNISON DESIGN



2025 E RIVERSIDE DRIVE SUITE 200

8605 W Marigold Street Garden City Idaho

1023 E RIVERSIDE DRIVE, SUITE 200
EAGLE, IDAHO 83616



PACIFIC
WEST

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Page 9 of 10

Drawing Set Issued for:
DESIGN REVIEW

DESIGN REVIEW

ect No. R221201
ed Date 19 FEB 2025

ed Date 19 FEB 2023
own by BEA

Project Title

Grading 8

Grading & Progress Plans

Drainage Plan

Set Number

Set Number

C2.0

**DAVID EVANS
ASSOCIATES INC.**

**9175 W Black Eagle Dr.
Boise, ID 83709
208.900.9049**

et Number
C2.0

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER.
- ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER AND CONIFER TREES WELLS TO BE 6' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF BLACK SOIL AND MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER.
- ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
- ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION, A PH FROM 5.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGIFORM' PLANTING TABLETS, 21 GRAM. QUANTITY PER MANUFACTURER'S RECOMMENDATION.
- PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
- SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
- IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE.
- ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED

FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.

- COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST FIELD CONDITIONS.
- ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION.
- NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - PRECISE INDIVIDUAL STATION TIMING
 - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.

- INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
- POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

DISCLAIMER:

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VICINITY MAP
SCALE: NTS

SOUTH BECK & BAIRD
2002 S. Vista Ave
Boise, ID 83705
info@sbb.com
www.sbb.com
South Beck & Baird Landscape Architecture P.C.
Div. South Beck & Baird Landscape Architecture P.C.

RENNISON
D E S I G N
2025 E RIVERSIDE DRIVE, SUITE 200
EAGLE, IDAHO 83616

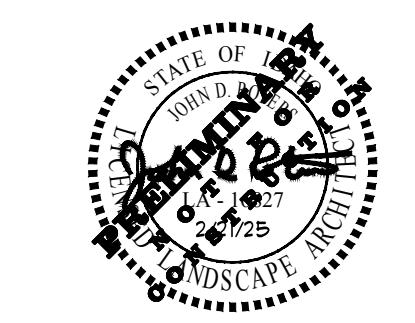
Known as *South Beck & Baird*,
CALL 2 BUSINESS DAYS
TO RECEIVE A QUOTE
YOU MAY
EXHAUST
UNDERGROUND
MATERIALS

Antioch Apartments

Design Review Drawings for:



△ Description Date



Drawing Set Issued for:

DESIGN REVIEW

Project No. R221201 / 24-123

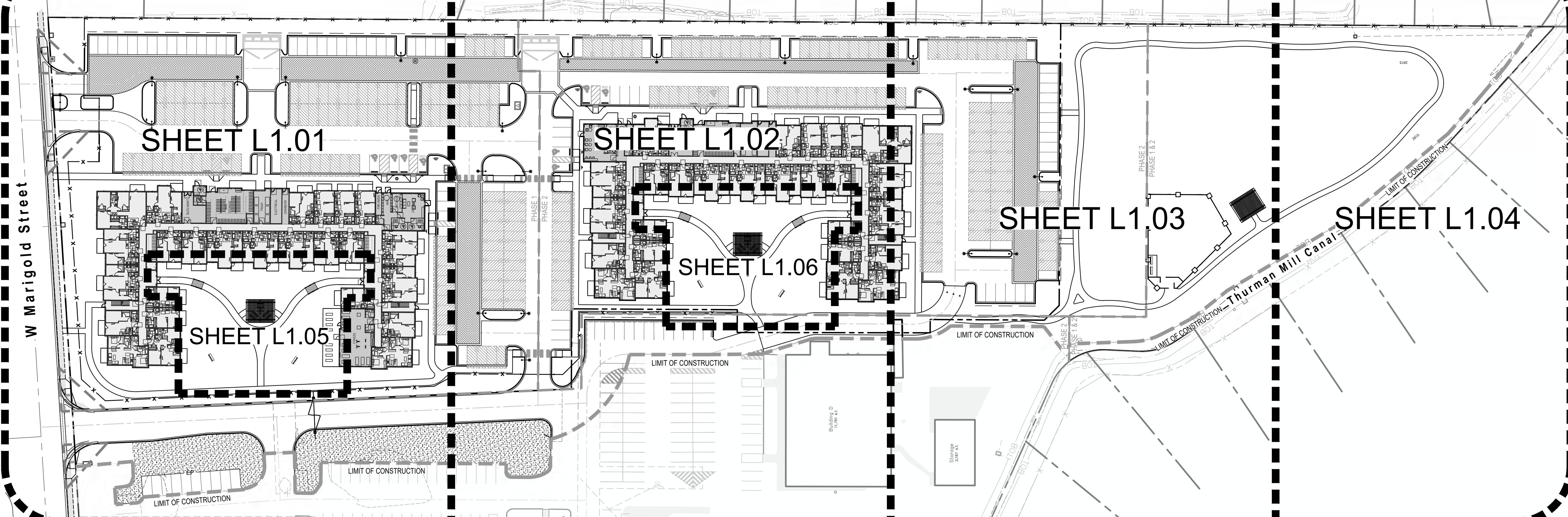
Issued Date 21 FEB 2025

Drawn by SM

Sheet Title

Overall Landscape Plan

Sheet Number

L1.00

SITE DEVELOPMENT FEATURES

MULTIFAMILY AREA 6.51 ACRES TOTAL
ZONING R-3
TOTAL MULTI FAMILY UNITS 236
TOTAL OPEN/COMMON AREA .94 ACRES
PERCENT OPEN AREA 15.5%

LANDSCAPING INFORMATION

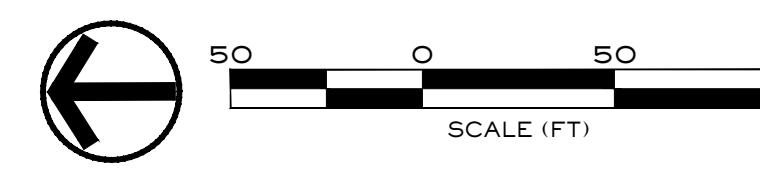
- Roadway Landscape Buffers:**
W MARIGOLD STREET:
20' STREET BUFFER
375' FEET OF STREET BUFFER
STREET TREES @ 1/50' = 8 REQUIRED; 17 PROPOSED
- Total Site Landscape Area:** (5% MIN. REQUIRED)
TOTAL LANDSCAPE AREA PROVIDED (MINUS OPEN SPACE/COMMON AREA) = 61,243 SF, 21%
- Total Open Space/Common Area Provided:** 123,195 SF, 43%
- Permittee Landscape Area:** (1 TREE/1,000 SF. LANDSCAPE AREA) = 184 REQUIRED, 197 PROPOSED
(1 SHRUB/150 SF. LANDSCAPE AREA) = 1,230 REQUIRED, 2,604 PROPOSED
- Perimeter Landscape Area:** (10' WIDE MIN. AND 6' HIGH)
TOTAL LINEAR FEET = 1,377 LF.
(1 TREE/35 LF.) = 39 REQUIRED; 39 PROPOSED

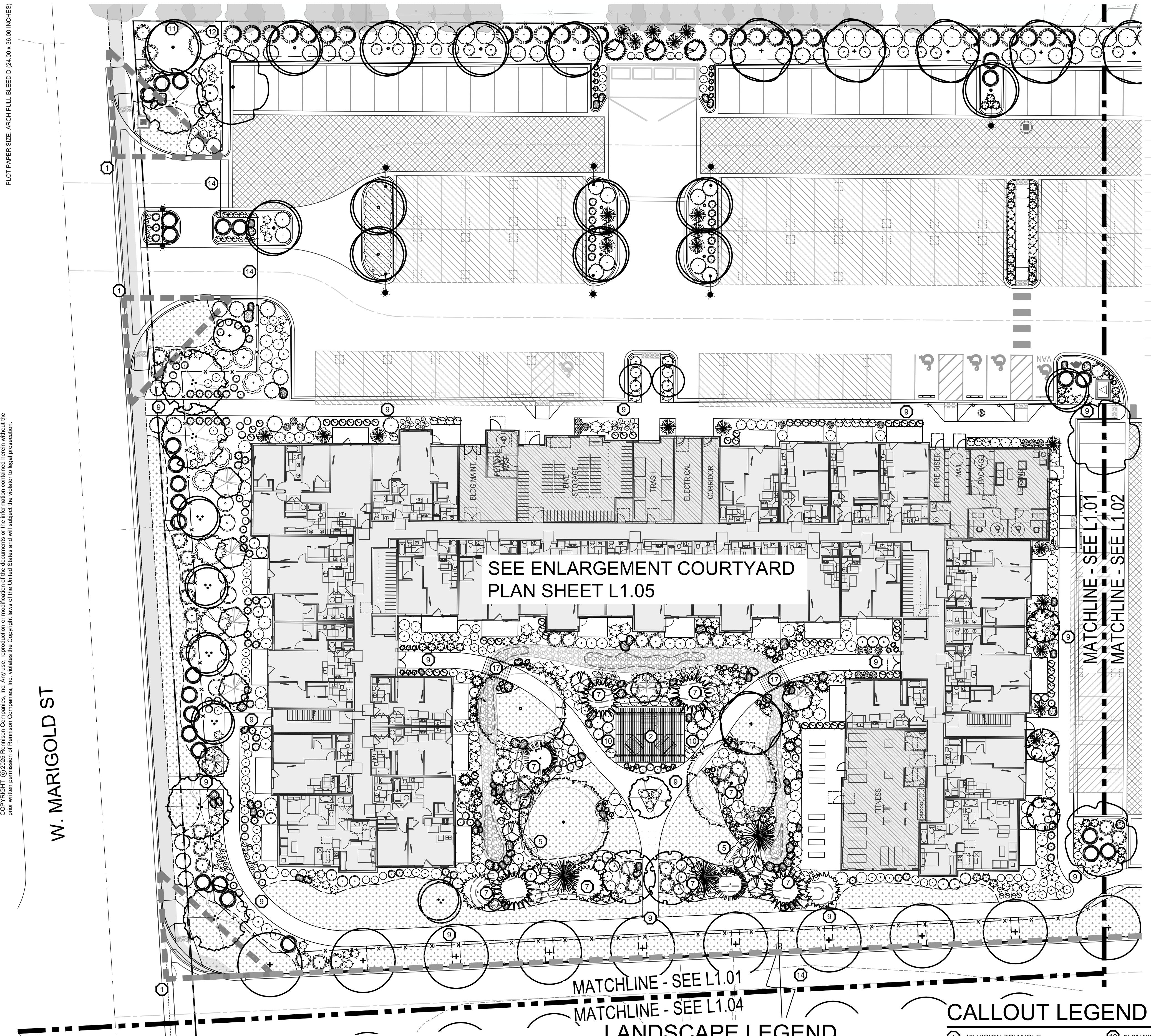
- Parking Landscape Requirements:**
PERIMETER LANDSCAPE/SCREENING PROVIDED = TREES AT 35' O.C., 6' HIGH
SOLID FENCE, AND SHRUB PLANTINGS
- Mitigation for Removal of Existing Trees:** (See Mitigation Sheet L2.00)

- Amenities Provided:**
DOG PARK
PEDESTRIAN WALKING PATHWAY
SPORTS FIELD
OPEN GRASSY AREA
PLAZA

LANDSCAPE SHEET INDEX

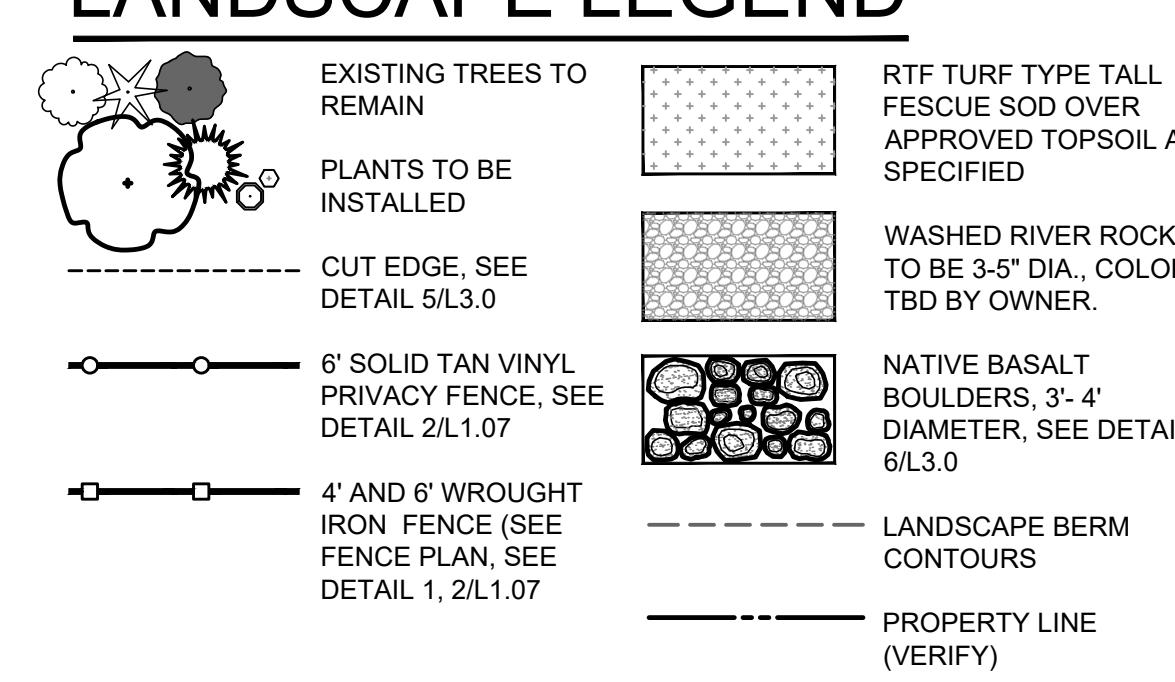
SEE SHEET L1.01-L1.06 FOR DETAILED LANDSCAPE PLAN,
SEE SHEET L1.07 FOR FENCING PLAN,
SEE SHEET L2.00 FOR MITIGATION PLAN,
SEE SHEET L3.00 FOR LANDSCAPE LEGEND AND DETAILS.





WATCHLINE - SEE L1.04

LANDSCAPE LEGEND



- ① 40' VISION TRIANGLE
- ② PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- ③ DOG PARK w/DOMINANT GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER; SEE DETAILS 10 AND 11/L3.00
- ④ FLAG FOOTBALL FIELD, PER OWNER.
- ⑤ 6'-0" BENCH, SEE DETAIL 7/L3.00
- ⑥ OPEN GRASSY PLAY SPACE
- ⑦ 2'-3' BERM WITH 2:1 SLOPE
- ⑧ 5'-0" WIDE ASPHALT PATHWAY
- ⑨ 6'-0" WIDE CONCRETE PATHWAY
- ⑩ 5'-0" WIDE CONCRETE PATHWAY
- ⑪ START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07.
- ⑫ TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- ⑬ END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- ⑭ WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.
- ⑮ 3' DEPTH OF 3/4" MINUS GRAVEL
- ⑯ AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
- ⑰ WOODEN BRIDGE, BY OWNER

CALLOUT LEGEND

PLANT SCHEDULE

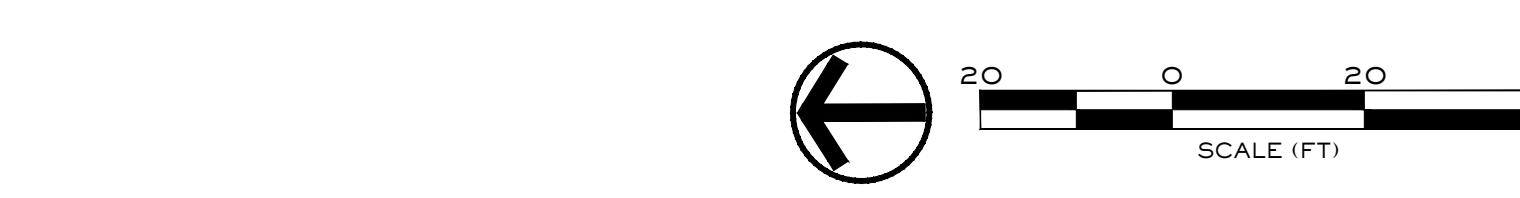
NOTE: All trees to be grade #1
(Shown at 80% Maturity)

SHRUBS SEE DETAIL 3/L3.0

	Buxus x 'Green Mountain' Green Mountain Boxwood	5 Gal.	5' hgt. x 3' wide
	Cornus sericea 'Flaviramea' Yellow Twig Dogwood	2 Gal.	6' hgt. x 8' wide
	Cornus alba 'Bailhalo' Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide
	Cornus alba 'Elegantissima' Variegated Red Twig Dogwood	5 Gal.	6' hgt. x 6' wide
	Cotoneaster horizontalis 'Perpusillus' Prostrate Rock Cotoneaster	2 Gal.	12" hgt. x 6' wide
	Euonymous alatus 'Compactus' Dwarf Burning Bush	5 Gal.	4' hgt. x 4' wide
	Euonymus fortunei 'Ivory Jade' Ivory Jade Wintercreeper	5 Gal.	3' hgt. x 6' wide
	Euonymus fortunei 'Sunrise' PP #12,341 Sunrise Wintercreeper	2 Gal.	2' hgt. x 4' wide
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide
	Juniperus scopulorum 'Blue Arrow' Blue Arrow Juniper	2 Gal.	12' hgt. x 2' wide
	Juniperus scopulorum 'Medora' Medora Juniper	5 Gal.	10' hgt. x 3' wide
	Physocarpus opulifolius 'Dart's Gold' Dart's Gold Ninebark	2 Gal.	5' hgt. x 5' wide
	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark	5 Gal.	8' hgt. x 8' wide
	Potentilla fruticosa 'Gold Star' Gold Star Potentilla	2 Gal.	3' hgt. x 3' wide
	Ilex crenata 'Sky pencil' Sky Pencil Holly	2 Gal.	6' hgt. x 3' wide
	Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	2' hgt. x 6' wide
	Rhus trilobata 'Autumn Amber' Autumn Amber sumac	2 Gal.	6" hgt. x 6' wide
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. x 3' wide
	Rosa x 'Noaspash' Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide
	Mahonia repens Creeping Oregon Grape	2 Gal.	2' hgt. x 4' wide
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. x 4' wide
	Spiraea japonica 'Goldmound' Goldmound Spirea	2 Gal.	3' hgt. x 3' wide
	Blue Prince Holly	2 Gal.	6' hgt. x 4' wide
	Ilex x meserveae 'Blue Prince'		
	Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum	5 Gal.	6' hgt. x 10' wide

GROUND COVERS/GRASSES/PERENNIALS SEE DETAIL 4/L 3.0

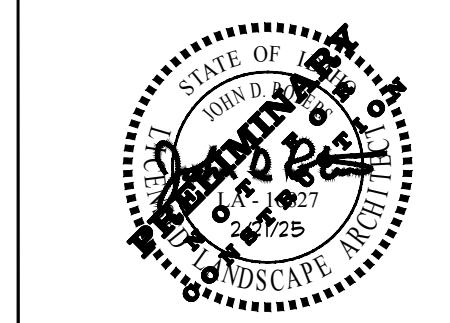
GROUND COVERS/ GRASSES/ PERENNIALS		SEE DETAIL 4/E3.0	
	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide
	Hemerocallis x 'Stella De Oro' Stella De Oro Daylilly	1 Gal.	18" hgt. x 2' wide
	Hosta x 'Blue Angel' Blue Angel Host	1 Gal.	2' hgt. x 5' wide
	Hosta x 'Patriot' Patriot Hosta	1 Gal.	1' hgt. x 3' wide
	Lavandula angustifolia 'Dilly Dilly' Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide
	Sedum spectabile 'Autumn Joy' Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide
	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide
	Pennisetum alopecuroides 'Little Bunny' Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide
	Hypericum frondosum 'Sunburst' Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)



Design Review Drawings for:

Antioch Apartments

8695 W Marigold Street, Garden City, Idaho



Drawing Set Issued for:
DESIGN REVIEW

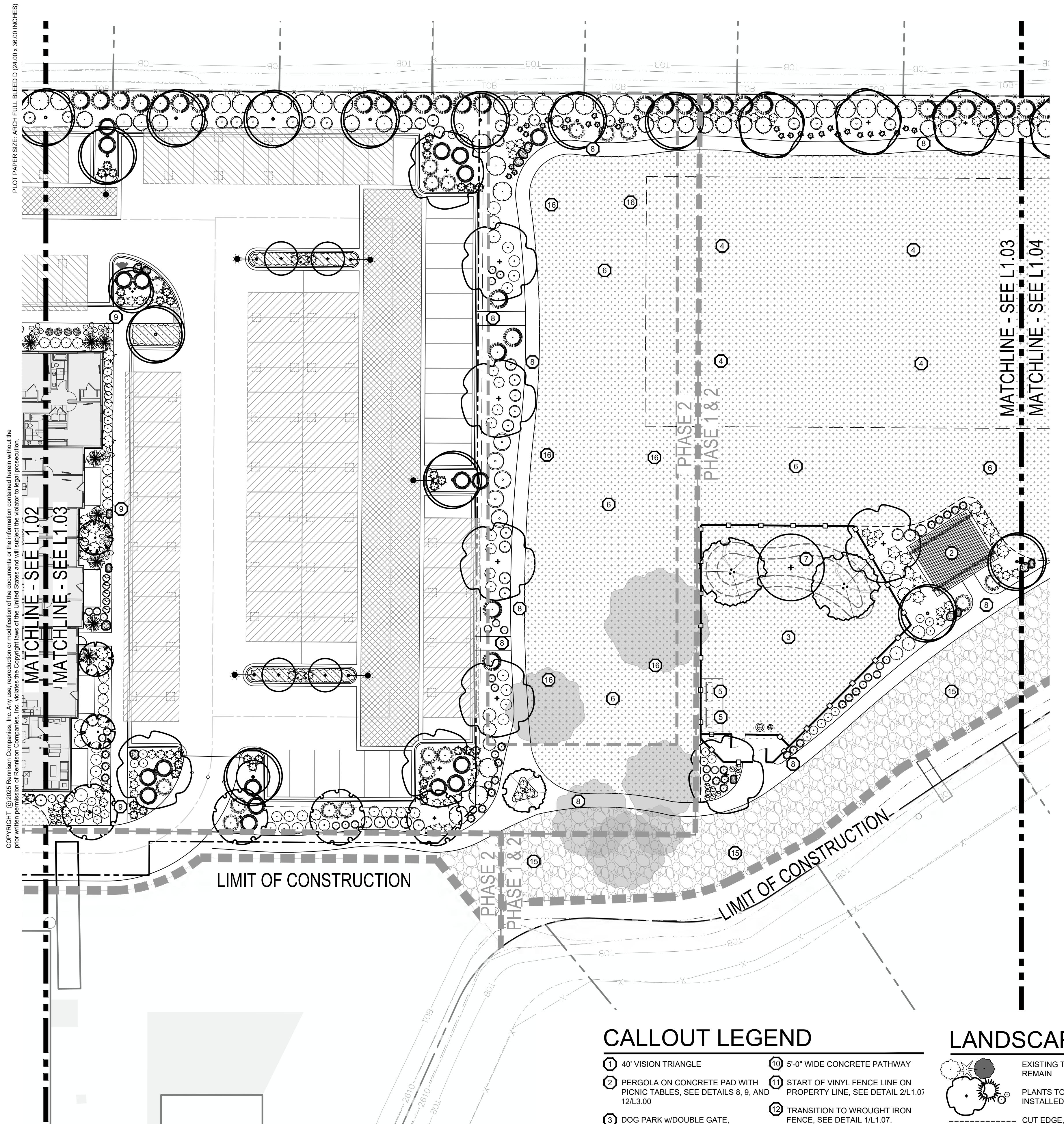
Project No. R221201 / 24-123
Issued Date 21 FEB 2025
Drawn by SM

Sheet Title

Landscape Plan

Philip Morris Inc.

Sheet Number



CALLOUT LEGEND

- 40' VISION TRIANGLE
- PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER, SEE DETAILS 10 AND 11/L3.00
- FLAG FOOTBALL FIELD, PER OWNER.
- 6'-0" BENCH, SEE DETAIL 7/L3.00
- OPEN GRASSY PLAY SPACE
- 2'-3' BERM WITH 2:1 SLOPE
- 5'-0" WIDE ASPHALT PATHWAY
- 6'-0" WIDE CONCRETE PATHWAY
- 5'-0" WIDE CONCRETE PATHWAY
- START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07
- TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- END OF WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
- WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.
- 3' DEPTH OF 3/4" MINUS GRAVEL
- AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
- WOODEN BRIDGE, BY OWNER

LANDSCAPE LEGEND

EXISTING TREES TO REMAIN
PLANTS TO BE INSTALLED
CUT EDGE, SEE DETAIL 5/L3.0
6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07
4' AND 6' WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07)
3' DEPTH OF 3/4" MINUS GRAVEL
AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
WOODEN BRIDGE, BY OWNER

RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
WASHED RIVER ROCK TO BE 3-6" DIA., COLOR: TBD BY OWNER.
NATIVE BASALT BOULDERS 3'-4" DIAMETER, SEE DETAIL 6/L3.0
LANDSCAPE BERM CONTOURS
PROPERTY LINE (VERIFY)

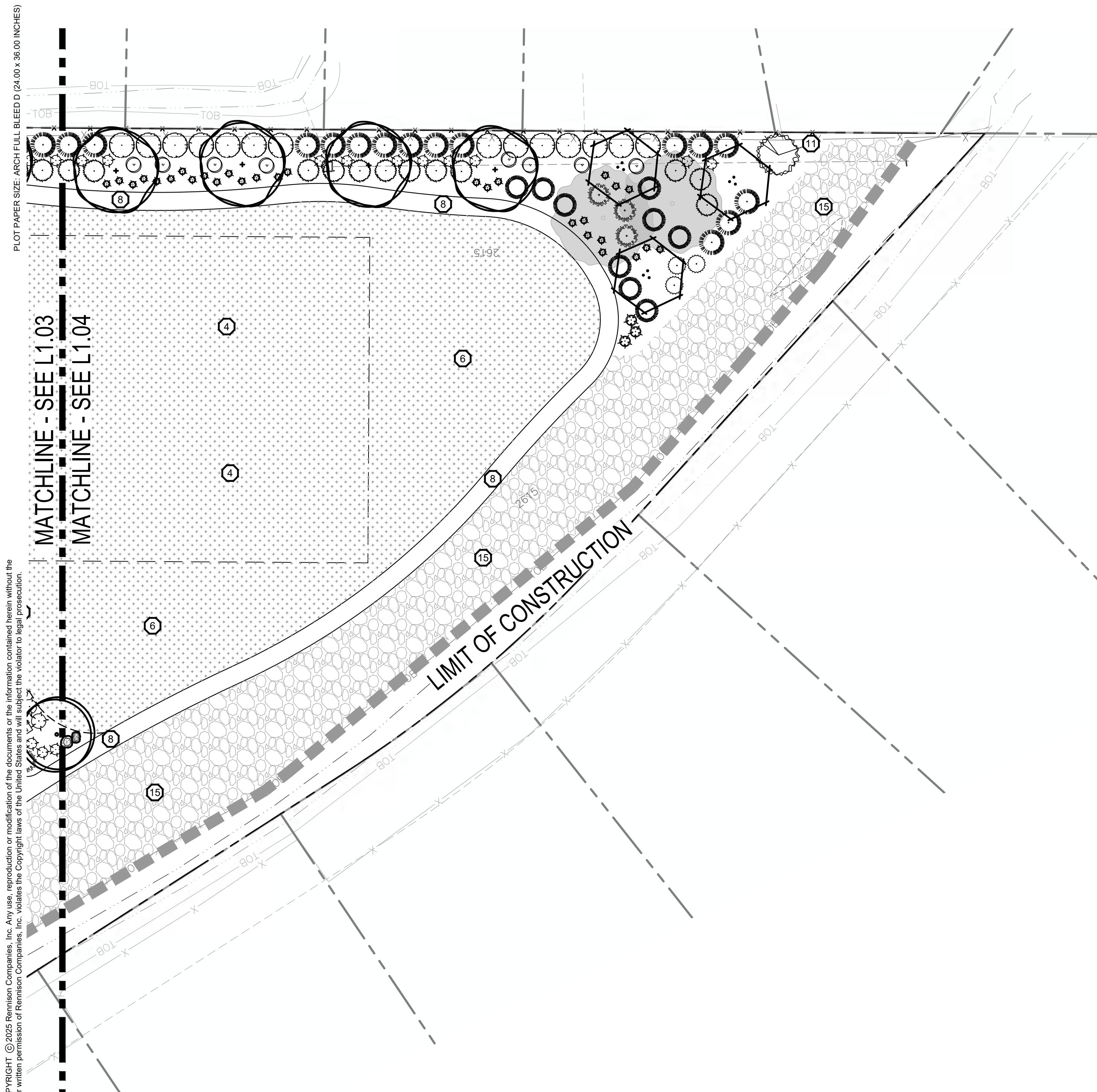
PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

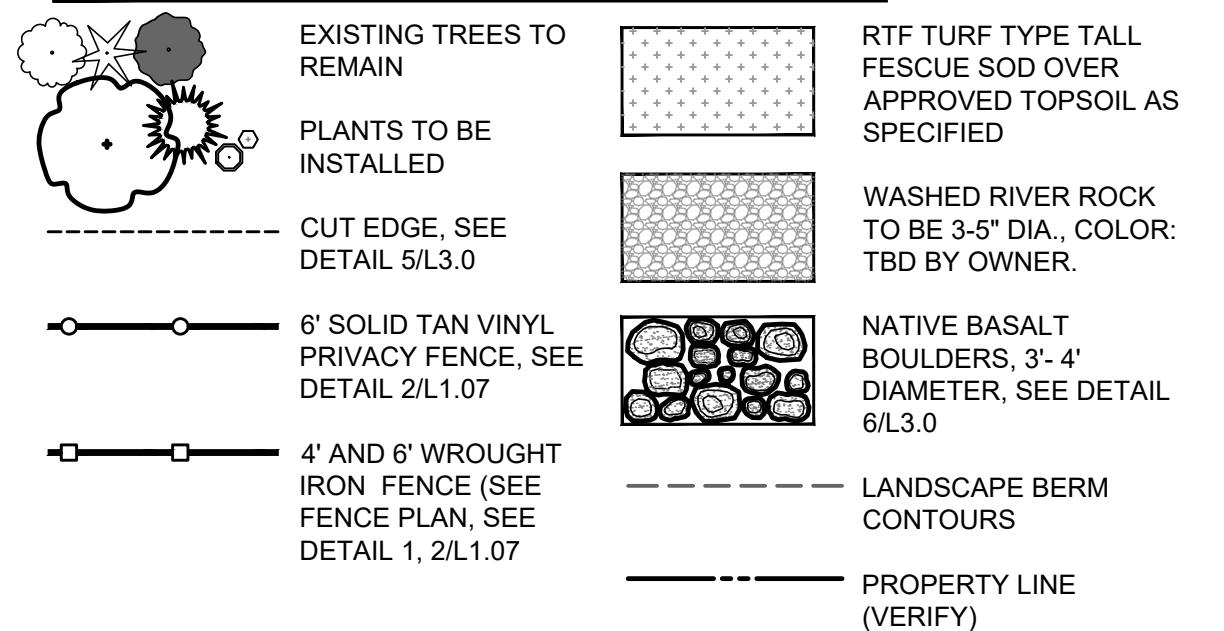
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				
AC	<i>Acer platanoides 'Columnaris'</i> Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS II
AP	<i>Acer rubrum 'Armstrong'</i> Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS II
AK	<i>Acer truncatum x a. plat.'Keithsform'</i> Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS II
BN	<i>Betula nigra</i> River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS II
CE	<i>Carpinus betulus 'Fastigiata'</i> Pyramidal European Hornbeam	2" B&B	35' hgt. 25' w	CLASS II
CC	<i>Carpinus caroliniana 'Urbidge'</i> Rising Red American Hornbeam	2" B&B	30' hgt. 15' w	CLASS II
GT	<i>Gleditsia triacanthos inermis 'Skyline'</i> Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
KP	<i>Malus 'Spring Snow'</i> Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS I
MA	<i>Malus x 'Royal Raindrops'</i> Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS I
PC	<i>Platanus x acerifolia 'Bloodgood'</i> Bloodgood London Planetree	2" B&B	50' hgt. 40' w	CLASS III
TA	<i>Tilia americana 'Boulevard'</i> Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS II
TS	<i>Quercus robur x alba 'JFS-KW2QX'</i> Skinny Genes Oak	2" B&B	45' hgt. 10' w	CLASS II
TT	<i>Tilia tomentosa 'Sterling'</i> Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
ZS	<i>Zelkova serrata 'Schmidtlow'</i> Wireless Zelkova	2" B&B	24' hgt. 36' w	CLASS II
CONIFEROUS TREES				
SEE DETAIL 2/L3.0				
	<i>Cedrus deodara 'Aurea'</i> Golden Deodar Cedar	6' B&B	30' hgt. 15' w	CONIF.
	<i>Picea pungens 'Bacheri'</i> Fat Albert Colorado Blue Spruce	6' B&B	40' hgt. 20' w	CONIF.
	<i>Picea glauca 'Pendula'</i> Weeping White Spruce	6' B&B	25' hgt. 7' w	CONIF.
	<i>Pinus flexilis 'Vanderwolf's Pyramid'</i> Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.
	<i>Pinus nigra 'Oregon Green'</i> Oregon Green Austrian Pine	6' B&B	18' hgt. 15' w	CONIF.
	<i>Pinus strobus 'Fastigiata'</i> Fastigiate White Pine	6' B&B	30' hgt. 10' w	CONIF.
	<i>Picea glauca 'Densata'</i> Black Hills Spruce	6' B&B	25' hgt. 15' w	CONIF.
	<i>Picea pungens 'glaucia'</i> Colorado Blue Spruce	6' B&B	35' hgt. 15' w	CONIF.
SHRUBS				
SEE DETAIL 3/L3.0				
	<i>Buxus x 'Green Mountain'</i> Green Mountain Boxwood	5 Gal.	5' hgt. 3' wide	
	<i>Cornus sericea 'Flaviramea'</i> Yellow Twig Dogwood	2 Gal.	6' hgt. 8' wide	
	<i>Cornus alba 'Balhado'</i>	5 Gal.	6' hgt. 6' wide	
	<i>Ivy Halo Dogwood</i>	5 Gal.	6' hgt. 6' wide	
	<i>Cornus alba 'Elegantissima'</i> Variegated Red Twig Dogwood	2 Gal.	12' hgt. 6' wide	
	<i>Cotoneaster horizontalis 'Perpusillus'</i> Prostrate Rock Cotoneaster	5 Gal.	4' hgt. 4' wide	
	<i>Euonymus alatus 'Compactus'</i> Dwarf Burning Bush	5 Gal.	3' hgt. 8' wide	
	<i>Euonymus fortunei 'Ivory Jade'</i> Ivory Jade Wintercreeper	2 Gal.	2' hgt. 4' wide	
	<i>Euonymus fortunei 'Sunrise'</i> PP #12,341 Sunrise Wintercreeper	2 Gal.	1' hgt. 6' wide	
	<i>Juniperus horizontalis 'Blue Chip'</i> Blue Chip Juniper	2 Gal.	12' hgt. 2' wide	
	<i>Juniperus scopulorum 'Blue Arrow'</i> Blue Arrow Juniper	5 Gal.	10' hgt. 3' wide	
	<i>Juniperus scopulorum 'Medora'</i> Medora Juniper	2 Gal.	5' hgt. 5' wide	
	<i>Physocarpus opulifolius 'Dart's Gold'</i> Dart's Gold Ninebark	2 Gal.	8' hgt. 8' wide	
	<i>Physocarpus opulifolius 'Monlo'</i> Diabolø Ninebark	5 Gal.	3' hgt. 3' wide	
	<i>Potentilla fruticosa 'Gold Star'</i> Gold Star Potentilla	2 Gal.	6' hgt. 3' wide	
	<i>Ilex crenata 'Sky pencil'</i> Sky Pencil Holly	2 Gal.	2' hgt. 6' wide	
	<i>Rhus aromatica 'Gro Low'</i> Gro Low sumac	2 Gal.	6' hgt. 6' wide	
	<i>Rhus trilobata 'Autumn Amber'</i> Autumn Amber sumac	2 Gal.	3' hgt. 3' wide	
	<i>Rosa x 'Nearly Wild'</i> Nearly Wild Rose	2 Gal.	2' hgt. 4' wide	
	<i>Rosa x 'Noaspash'</i> Pink Splash Groundcover Rose	2 Gal.	2' hgt. 4' wide	
	<i>Mahonia repens</i> Creeping Oregon Grape	2 Gal.	4' hgt. 4' wide	
	<i>Spiraea x bumalda 'Goldflame'</i> Goldflame Spirea	2 Gal.	3' hgt. 3' wide	
	<i>Spiraea japonica 'Goldmound'</i> Goldmound Spirea	2 Gal.	6' hgt. 4' wide	
	<i>Blue Prince Holly</i>	5 Gal.	6' hgt. 10' wide	
	<i>Ilex x meserveae 'Blue Prince'</i>			
	<i>Viburnum plicatum tomentosum 'Mariesii'</i>			
GROUND COVERS/GRASSES/PERENNIALS				
SEE DETAIL 4/L3.0				
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i> Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. 2' wide	
	<i>Hemerocallis x 'Stella De Oro'</i> Stella De Oro Daylily	1 Gal.	18' hgt. 2' wide	
	<i>Hosta x 'Blue Angel'</i> Blue Angel Host	1 Gal.	2' hgt. 5' wide	
	<i>Hosta x 'Patriot'</i> Patriot Hosta	1 Gal.	1' hgt. 3' wide	
	<i>Lavandula angustifolia 'Dilly Dilly'</i> Dilly Dilly Lavender	1 Gal.	12' hgt. 18' wide	
	<i>Sedum spectabile 'Autumn Joy'</i> Autumn Joy Stonecrop	1 Gal.	2' hgt. 3' wide	
	<i>Panicum virgatum 'Shenandoah'</i> Shenandoah Switch Grass	1 Gal.	4' hgt. 3' wide	
	<i>Pennisetum alopecuroides 'Little Bunny'</i> Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. 3' wide	
	<i>Hypericum frondosum 'Sunburst'</i> Sunburst St. John's Wort	4" Pot	2' hgt. 4' wide (36" O.C.)	

RENNISON
DESIGN
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South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

Antioch Apartments
8695 W Marigold Street, Garden City, Idaho
Design Review Drawings for:
PACIFIC WEST COMMUNITIES
△ Description Date
STATE OF IDAHO
LANDSCAPE ARCHITECTURE
Drawing Set Issued for:
DESIGN REVIEW
Project No. R221201 / 24-123
Issued Date 21 FEB 2025
Drawn by SM
Sheet Title
Landscape Plan
Sheet Number L1.03
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LANDSCAPE LEGEND

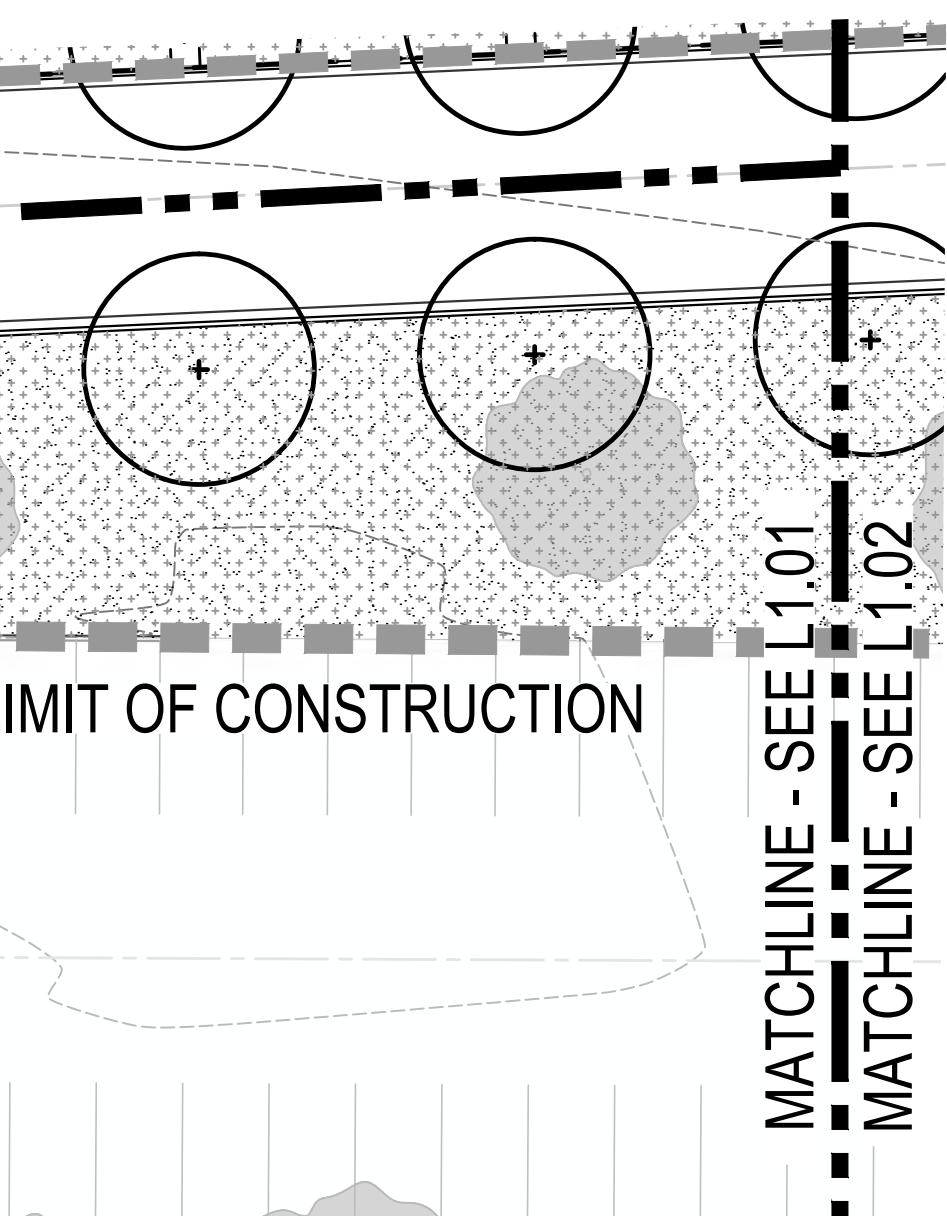


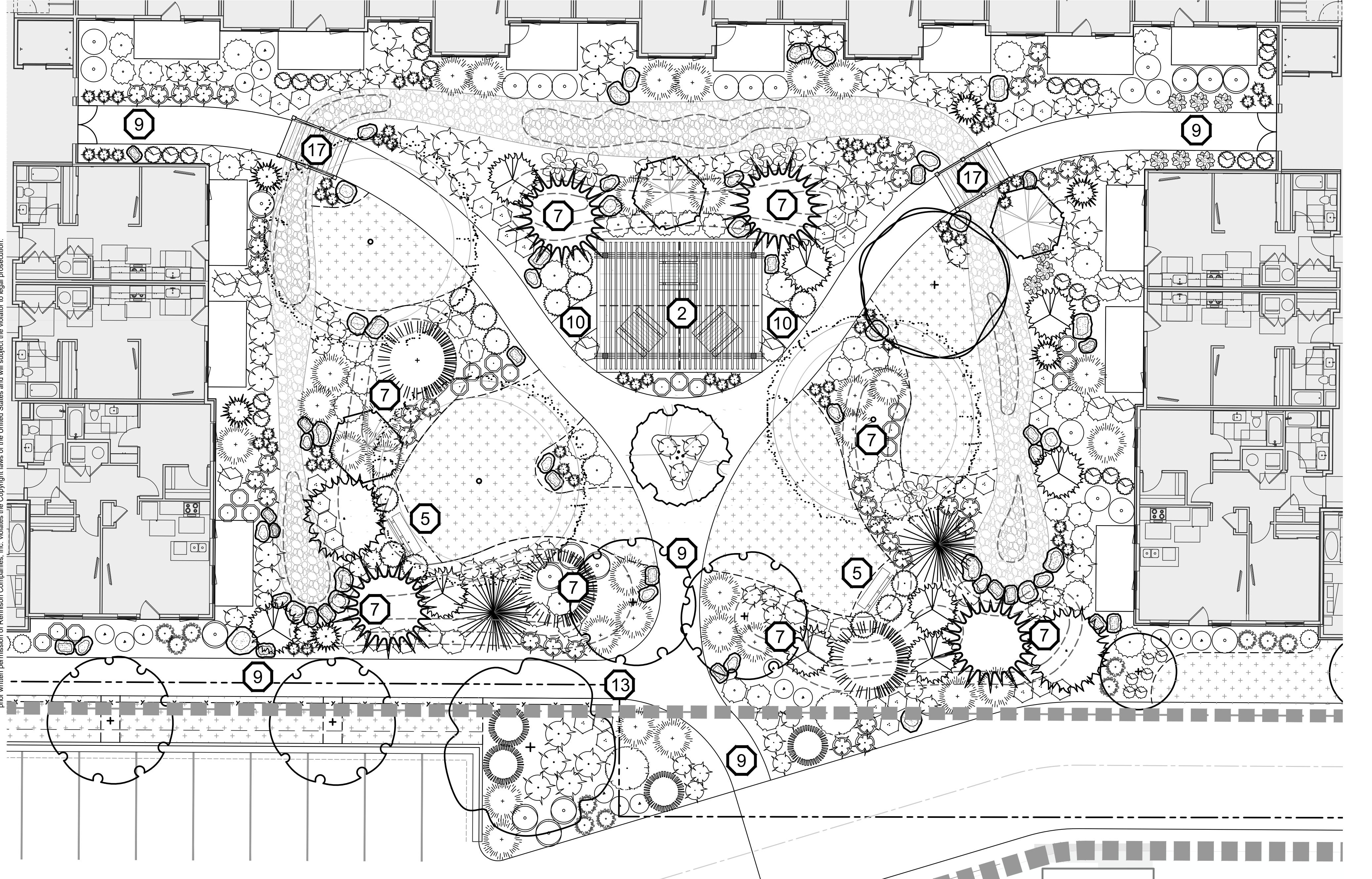
CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- ③ DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER; SEE DETAILS 10 AND 11/L3.00
- ④ FLAG FOOTBALL FIELD, PER OWNER.
- ⑤ 6'0" BENCH, SEE DETAIL 7/L3.00
- ⑥ OPEN GRASSY PLAY SPACE
- ⑦ 2'-3' BERM WITH 2:1 SLOPE
- ⑧ 5'-0" WIDE ASPHALT PATHWAY
- ⑨ 6'-0" WIDE CONCRETE PATHWAY
- ⑩ 5'-0" WIDE CONCRETE PATHWAY
- ⑪ START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07.
- ⑫ TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
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- ⑮ 3' DEPTH OF 3/4" MINUS GRAVEL
- ⑯ AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
- ⑰ WOODEN BRIDGE, BY OWNER

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)			
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	CLASS
DECIDUOUS TREES			
AC	Acer platanoides 'Columnaris' Columnar Norway Maple	2" B&B	35' hgt. 15' w CLASS II
AP	Acer rubrum 'Armstrong' Armstrong Maple	2" B&B	45' hgt. 15' w CLASS II
AK	Acer truncatum x a. plat.'Keithsform' Norwegian Sunset Maple	2" B&B	45' hgt. 25' w CLASS II
BN	Betula nigra River Birch	2" B&B multi-stem	35' hgt. 25' w CLASS II
CE	Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	2" B&B	35' hgt. 25' w CLASS II
CC	Carpinus caroliniana 'Urbicide' Rising Fire American Hornbeam	2" B&B	30' hgt. 15' w CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w CLASS II
KP	Malus 'Spring Snow' Spring Snow Crabapple	2" B&B	25' hgt. 20' w CLASS I
MA	Malus x 'Royal Raindrops' Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w CLASS I
PC	Platanus x acerifolia 'Bloodgood' Bloodgood London Planetree	2" B&B	50' hgt. 40' w CLASS III
TA	Tilia americana 'Boulevard' Boulevard Linden	3" B&B	35' hgt. 30' w CLASS II
TS	Quercus robur x alba 'JFS-KW2QX' Skinny Genes Oak	2" B&B	45' hgt. 10' w CLASS II
TT	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w CLASS II
ZS	Zelkova serrata 'Schmidtlow' Wireless Zelkova	2" B&B	24' hgt. 36' w CLASS II
CONIFEROUS TREES			
		SEE DETAIL 2/L3.0	
	Cedrus deodara 'Aurea' Golden Deodar Cedar	6' B&B	30' hgt. 15' w CONIF.
	Picea pungens 'Bacheri' Fat Albert Colorado Blue Spruce	6' B&B	40' hgt. 20' w CONIF.
	Picea glauca 'Pendula' Weeping White Spruce	6' B&B	25' hgt. 7' w CONIF.
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w CONIF.
	Pinus nigra 'Oregon Green' Oregon Green Austrian Pine	6' B&B	18' hgt. 15' w CONIF.
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	Picea glauca 'Densata' Black Hills Spruce	6' B&B	25' hgt. 15' w CONIF.
	Picea pungens 'glaucia' Colorado Blue Spruce	6' B&B	35' hgt. 15' w CONIF.
SHRUBS			
		SEE DETAIL 3/L3.0	
	Buxus x 'Green Mountain' Green Mountain Boxwood	5 Gal.	5' hgt. x 3' wide
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	Cornus alba 'Balho'	5 Gal.	6' hgt. x 6' wide
	Ivy Halo Dogwood	5 Gal.	6' hgt. x 6' wide
	Cornus alba 'Elegantissima' Variegated Red Twig Dogwood	2 Gal.	12" hgt. x 6' wide
	Cotoneaster horizontalis 'Perpusillus' Prostrate Rock Cotoneaster	5 Gal.	4' hgt. x 4' wide
	Euonymus alatus 'Compactus' Dwarf Burning Bush	5 Gal.	3' hgt. x 6' wide
	Euonymus fortunei 'Ivory Jade' Ivory Jade Wintercreeper	2 Gal.	2' hgt. x 4' wide
	Euonymus fortunei 'Sunrise' PP #12,341 Sunrise Wintercreeper	2 Gal.	1' hgt. x 6' wide
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	12' hgt. x 2' wide
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	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	5' hgt. x 5' wide
	Physocarpus opulifolius 'Dart's Gold' Dart's Gold Ninebark	2 Gal.	8' hgt. x 8' wide
	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark	5 Gal.	3' hgt. x 3' wide
	Potentilla fruticosa 'Gold Star' Gold Star Potentilla	2 Gal.	6' hgt. x 3' wide
	Ilex crenata 'Sky pencil' Sky Pencil Holly	2 Gal.	2' hgt. x 6' wide
	Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	6" hgt. x 6' wide
	Rhus trilobata 'Autumn Amber' Autumn Amber sumac	2 Gal.	3' hgt. x 3' wide
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	Rosa x 'Noasplash' Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide
	Mahonia repens Creeping Oregon Grape	2 Gal.	4' hgt. x 4' wide
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	3' hgt. x 3' wide
	Spiraea japonica 'Goldmound' Goldmound Spirea	2 Gal.	6' hgt. x 4' wide
	Blue Prince Holly	5 Gal.	6' hgt. x 10' wide
	Ilex x meserveae 'Blue Prince' Viburnum plicatum tomentosum 'Mariesii'	1 Gal.	3' hgt. x 2' wide
GROUND COVERS/GRASSES/PERENNIALS			
		SEE DETAIL 4/L3.0	
	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide
	Hemerocallis x Stella De Oro' Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide
	Hosta x 'Blue Angel' Blue Angel Host	1 Gal.	2' hgt. x 5' wide
	Hosta x 'Patriot' Patriot Hosta	1 Gal.	1' hgt. x 3' wide
	Lavandula angustifolia 'Dilly Dilly' Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide
	Sedum spectabile 'Autumn Joy' Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide
	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide
	Pennisetum alopecuroides 'Little Bunny' Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide
	Hypericum frondosum 'Sunburst' Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)





NOTE:

DRAINAGE FROM ROOF DRAINS TO BE CONNECTED TO STORM DRAIN/DRY RIVERBED. COORDINATE WITH CIVIL AND ARCHITECT FOR EXACT LOCATIONS. PIPE IF NECESSARY OR PROVIDE 2-4" DIA. RIVER ROCK FROM DOWN SPOUT TO DRAINAGE SWALE. (COORDINATE IN FIELD)

CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② PERGOLA ON CONCRETE PAD WITH PICNIC TABLES, SEE DETAILS 8, 9, AND 12/L3.00
- ③ DOG PARK w/DOUBLE GATE, BENCHES, TRASH RECEPTACLE, AND DOG STATION, PER OWNER, SEE DETAILS 10 AND 11/L3.00
- ④ FLAG FOOTBALL FIELD, PER OWNER.
- ⑤ 6'-0" BENCH, SEE DETAIL 7/L3.00
- ⑥ OPEN GRASSY PLAY SPACE
- ⑦ 2'-3' BERM WITH 2:1 SLOPE
- ⑧ 5'-0" WIDE ASPHALT PATHWAY
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- ⑪ START OF VINYL FENCE LINE ON PROPERTY LINE, SEE DETAIL 2/L1.07.
- ⑫ TRANSITION TO WROUGHT IRON FENCE, SEE DETAIL 1/L1.07.
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- ⑭ WROUGHT IRON FENCE GATE, SEE DETAIL 1/L1.07.
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- ⑰ WOODEN BRIDGE, BY OWNER

LANDSCAPE LEGEND

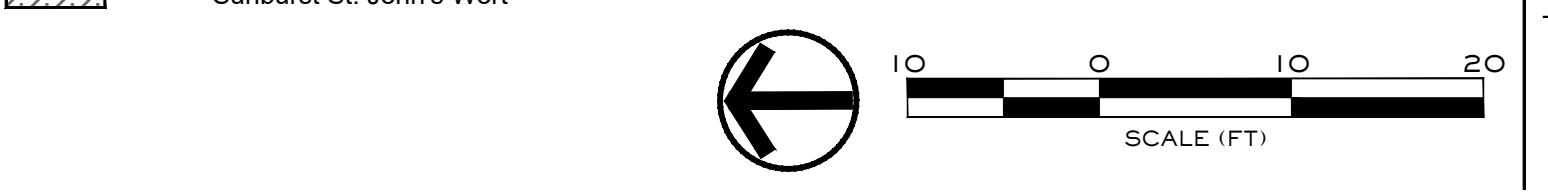
EXISTING TREES TO REMAIN
PLANTS TO BE INSTALLED
CUT EDGE, SEE DETAIL 5/L3.0
6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 2/L1.07
4' AND 6' WROUGHT IRON FENCE (SEE FENCE PLAN, SEE DETAIL 1, 2/L1.07)
3' DEPTH OF 3/4" MINUS GRAVEL
AREA FOR FUTURE CONSTRUCTION OF PHASE 2, AREA TO REMAIN AS LAWN UNTIL PHASE 2 COMPLETION.
WOODEN BRIDGE, BY OWNER

RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
WASHED RIVER ROCK TO BE 3-5" DIA., COLOR: TBD BY OWNER.
NATIVE BASALT BOULDERS 3'-4" DIAMETER, SEE DETAIL 6/L3.0
LANDSCAPE BERM CONTOURS
PROPERTY LINE (VERIFY)

PLANT SCHEDULE

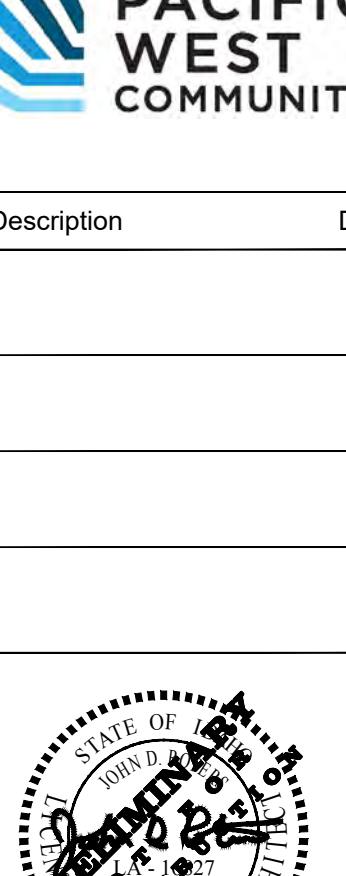
NOTE: All trees to be grade #1 (Shown at 80% Maturity)				
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				
AC	Acer platanoides 'Columnaris' Columnar Norway Maple	2" B&B	35' hgt. 15' w	CLASS II
AP	Acer rubrum 'Armstrong' Armstrong Maple	2" B&B	45' hgt. 15' w	CLASS II
AK	Acer truncatum x A. plat.'Keithsform' Norwegian Sunset Maple	2" B&B	45' hgt. 25' w	CLASS II
BN	Betula nigra River Birch	2" B&B multi-stem	35' hgt. 25' w	CLASS II
CE	Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	2" B&B	30' hgt. 15' w	CLASS II
CC	Carpinus caroliniana 'Ubride' Rising Fire American Hornbeam	2" B&B	35' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
KP	Malus 'Spring Snow' Spring Snow Crabapple	2" B&B	25' hgt. 20' w	CLASS I
MA	Malus x 'Royal Raindrops' Royal Raindrops Crabapple	2" B&B	20' hgt. 15' w	CLASS I
PC	Platanus x acerifolia 'Bloodgood' Bloodgood London Planetree	2" B&B	50' hgt. 40' w	CLASS III
TA	Tilia americana 'Boulevard' Boulevard Linden	3" B&B	35' hgt. 30' w	CLASS II
TS	Quercus robur x alba 'JFS-KW2QX' Skinny Genes Oak	2" B&B	45' hgt. 10' w	CLASS II
TT	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
ZS	Zelkova serrata 'Schmidtlow' Wireless Zelkova	2" B&B	24' hgt. 36' w	CLASS II
CONIFEROUS TREES				
	SEE DETAIL 2/L3.0			
Cedrus deodara 'Aurea' Golden Deodar Cedar	6' B&B	30' hgt. 15' w	CONIF.	
Picea pungens 'Bacheri' Fat Albert Colorado Blue Spruce	6' B&B	40' hgt. 20' w	CONIF.	
Picea glauca 'Pendula' Weeping White Spruce	6' B&B	25' hgt. 7' w	CONIF.	
Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.	
Pinus nigra 'Oregon Green' Oregon Green Austrian Pine	6' B&B	18' hgt. 15' w	CONIF.	
Pinus strobus 'Fastigiata' Fastigiata White Pine	6' B&B	30' hgt. 10' w	CONIF.	
Picea glauca 'Densata' Black Hills Spruce	6' B&B	25' hgt. 15' w	CONIF.	
Picea pungens 'glauca' Colorado Blue Spruce	6' B&B	35' hgt. 15' w	CONIF.	
SHRUBS				
SEE DETAIL 3/L3.0				
Buxus x 'Green Mountain' Green Mountain Boxwood	5 Gal.	5' hgt. 3' wide		
Cornus sericea 'Flaviramea' Yellow Twig Dogwood	2 Gal.	6' hgt. 8' wide		
Cornus alba 'Balho' Ivory Halo Dogwood	5 Gal.	6' hgt. 6' wide		
Cornus alba 'Elegantissima' Variegated Red Twig Dogwood	5 Gal.	6' hgt. 6' wide		
Cotoneaster horizontalis 'Perpusillus' Prostrate Rock Cotoneaster	2 Gal.	12' hgt. x 6' wide		
Euonymus alatus 'Compactus' Dwarf Burning Bush	5 Gal.	4' hgt. x 4' wide		
Euonymus fortunei 'Ivory Jade' Ivory Jade Wintercreeper	5 Gal.	3' hgt. x 8' wide		
Euonymus fortunei 'Sunrise' PP #12,341 Sunrise Wintercreeper	2 Gal.	2' hgt. x 4' wide		
Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide		
Juniperus scopulorum 'Blue Arrow' Blue Arrow Juniper	2 Gal.	12' hgt. x 2' wide		
Juniperus scopulorum 'Medora' Medora Juniper	5 Gal.	10' hgt. x 3' wide		
Physocarpus opulifolius 'Dart's Gold' Dart's Gold Ninebark	2 Gal.	5' hgt. x 5' wide		
Physocarpus opulifolius 'Monlo' Diabolo® Ninebark	5 Gal.	8' hgt. x 8' wide		
Potentilla fruticosa 'Gold Star' Gold Star Potentilla	2 Gal.	3' hgt. x 3' wide		
Ilex crenata 'Sky pencil' Sky Pencil Holly	2 Gal.	6' hgt. x 3' wide		
Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	2' hgt. x 6' wide		
Rhus trilobata 'Autumn Amber' Autumn Amber sumac	2 Gal.	6' hgt. x 6' wide		
Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. x 3' wide		
Rosa x 'Noaspash' Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide		
Mahonia repens Creeping Oregon Grape	2 Gal.	2' hgt. x 4' wide		
Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. x 4' wide		
Spiraea japonica 'Goldmound' Goldmound Spirea	2 Gal.	3' hgt. x 3' wide		
Blue Prince Holly	2 Gal.	6' hgt. x 4' wide		
Ilex x meserveae 'Blue Prince' Viburnum plicatum tomentosum 'Mariesii'	5 Gal.	6' hgt. x 10' wide		
GROUND COVERS/GRASSES/PERENNIALS				
SEE DETAIL 4/L3.0				
Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide		
Hemerocallis x 'Stella De Oro' Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide		
Hosta x 'Blue Angel' Blue Angel Host	1 Gal.	2' hgt. x 5' wide		
Hosta x 'Patriot' Patriot Hosta	1 Gal.	1' hgt. x 3' wide		
Lavandula angustifolia 'Dilly Dilly' Dilly Dilly Lavender	1 Gal.	12" hgt. x 18" wide		
Sedum spectabile 'Autumn Joy' Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide		
Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 Gal.	4' hgt. x 3' wide		
Pennisetum alopecuroides 'Little Bunny' Little Bunny Dwarf Fountain Grass	2 Gal.	2' hgt. x 3' wide		
Hypericum frondosum 'Sunburst' Sunburst St. John's Wort	4" Pot	2' hgt. x 4' wide (36" O.C.)		

SEE DETAIL 4/L3.0				
Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide		
Hemerocallis x 'Stella De Oro' Stella De Oro Daylily	1 Gal.	18" hgt. x 2' wide		
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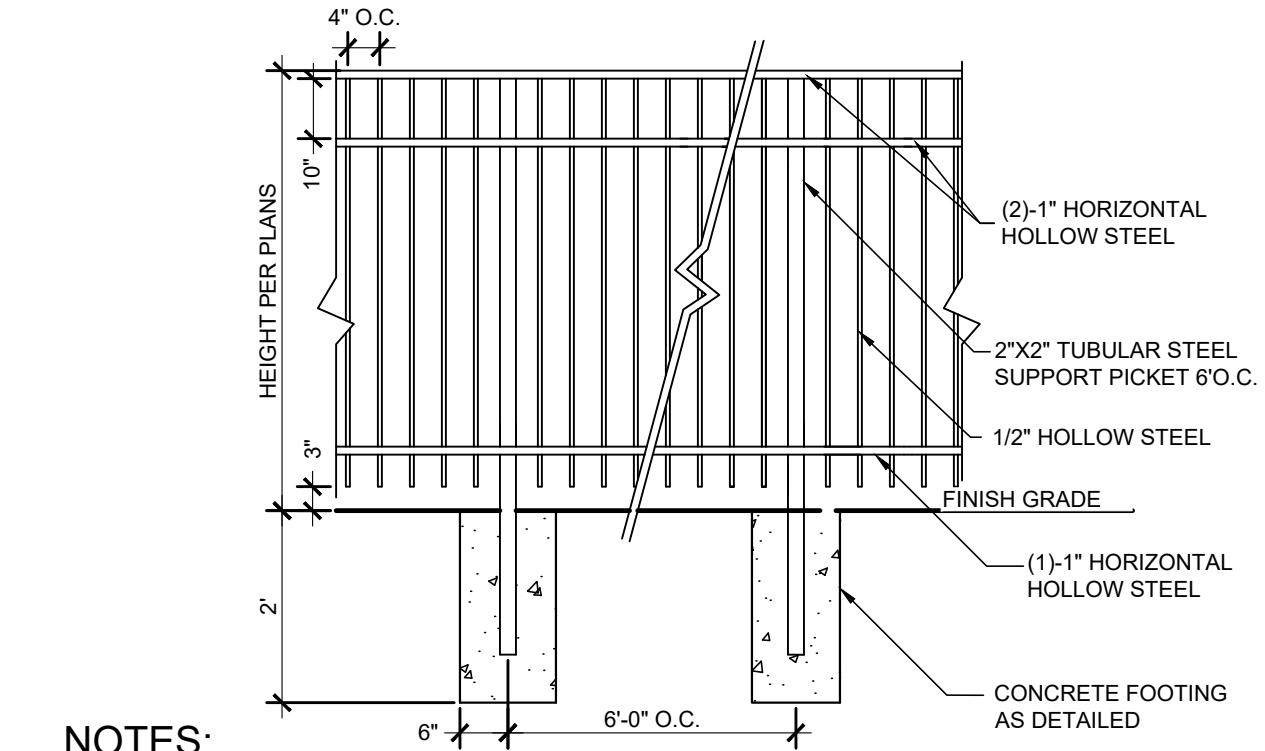
Design Review Drawings for:



Drawing Set Issued for:
DESIGN REVIEW
Project No. R221201 / 24-123
Issued Date 21 FEB 2025
Drawn by SM
Sheet Title

Landscape Plan
South Courtyard

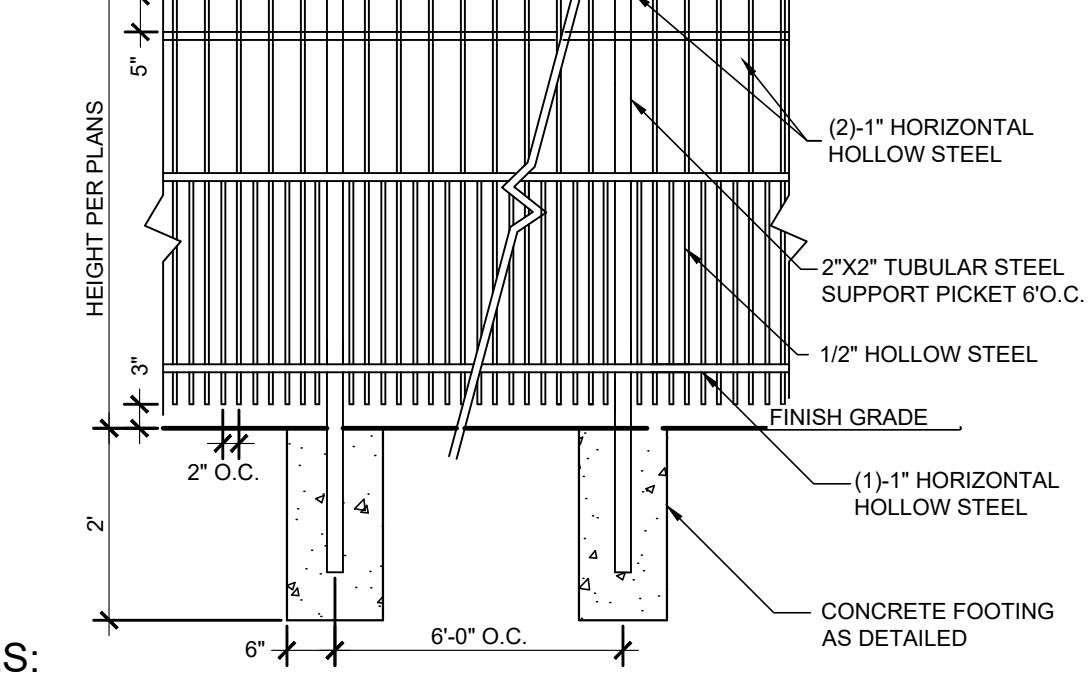
Sheet Number L1.06



NOTES:
 1. REFER TO PLANS FOR FENCE LOCATIONS.
 2. CONTRACTORS ARE RESPONSIBLE FOR SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
 3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. WROUGHT IRON TO BE PAINTED WITH ELECTRO STATIC PAINT - COLOR AS DIRECTED BY OWNER.

1 WROUGHT IRON FENCE

Scale: 1/2" = 1'-0"



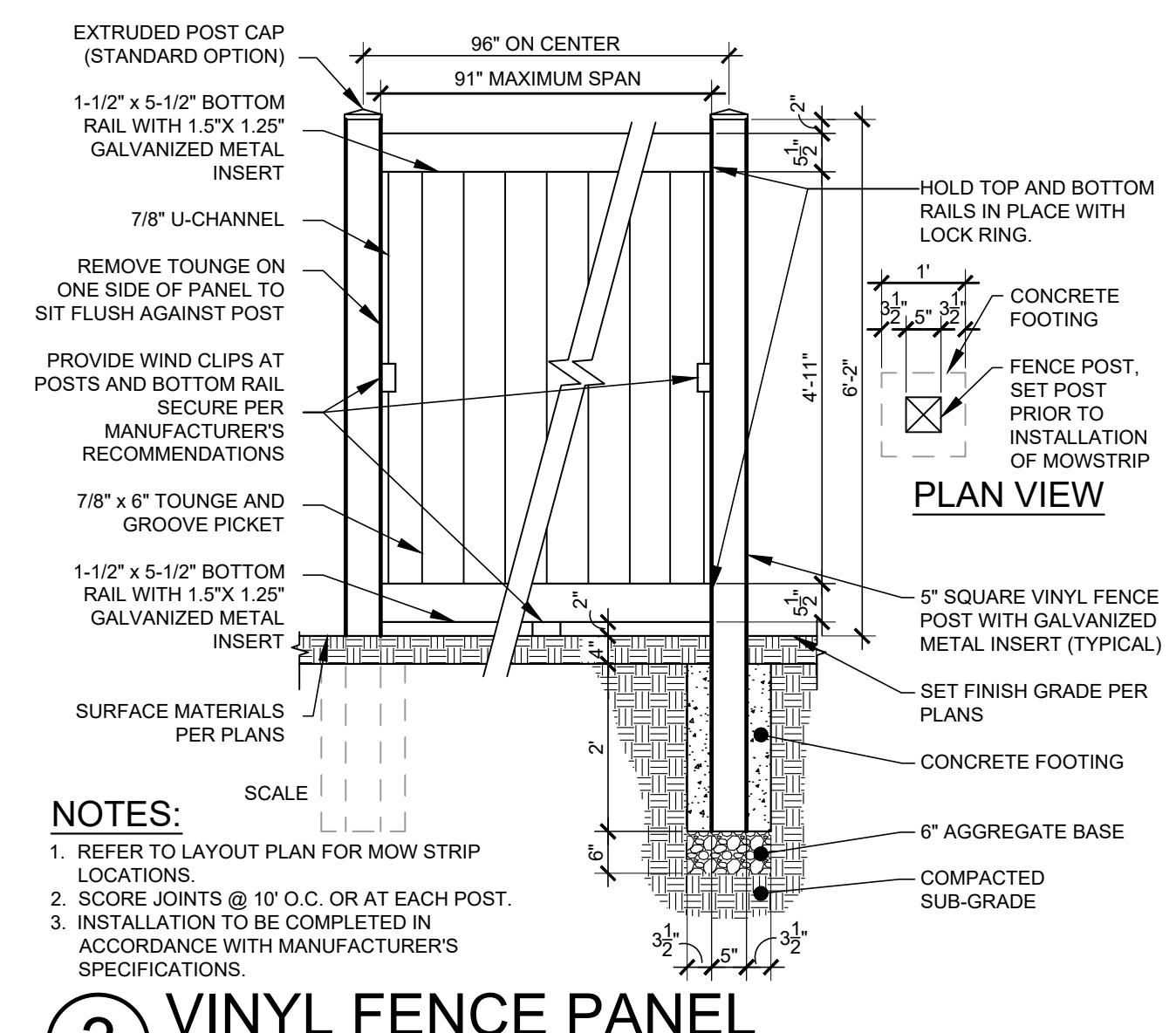
NOTES:
 1. Installation to be completed in accordance with manuf. specifications.
 2. Alloy 6060-T5 on pickets 6063-T6 on posts and rails or approved equal.
 3. Maximum spacing between pickets to be 2" maximum - Contractor shall provide a sample to the owner for approval.

2 DOG WROUGHT IRON FENCE

Scale: 1/2" = 1'-0"



6' WROUGHT IRON FENCE (TYP.)



3 VINYL FENCE PANEL

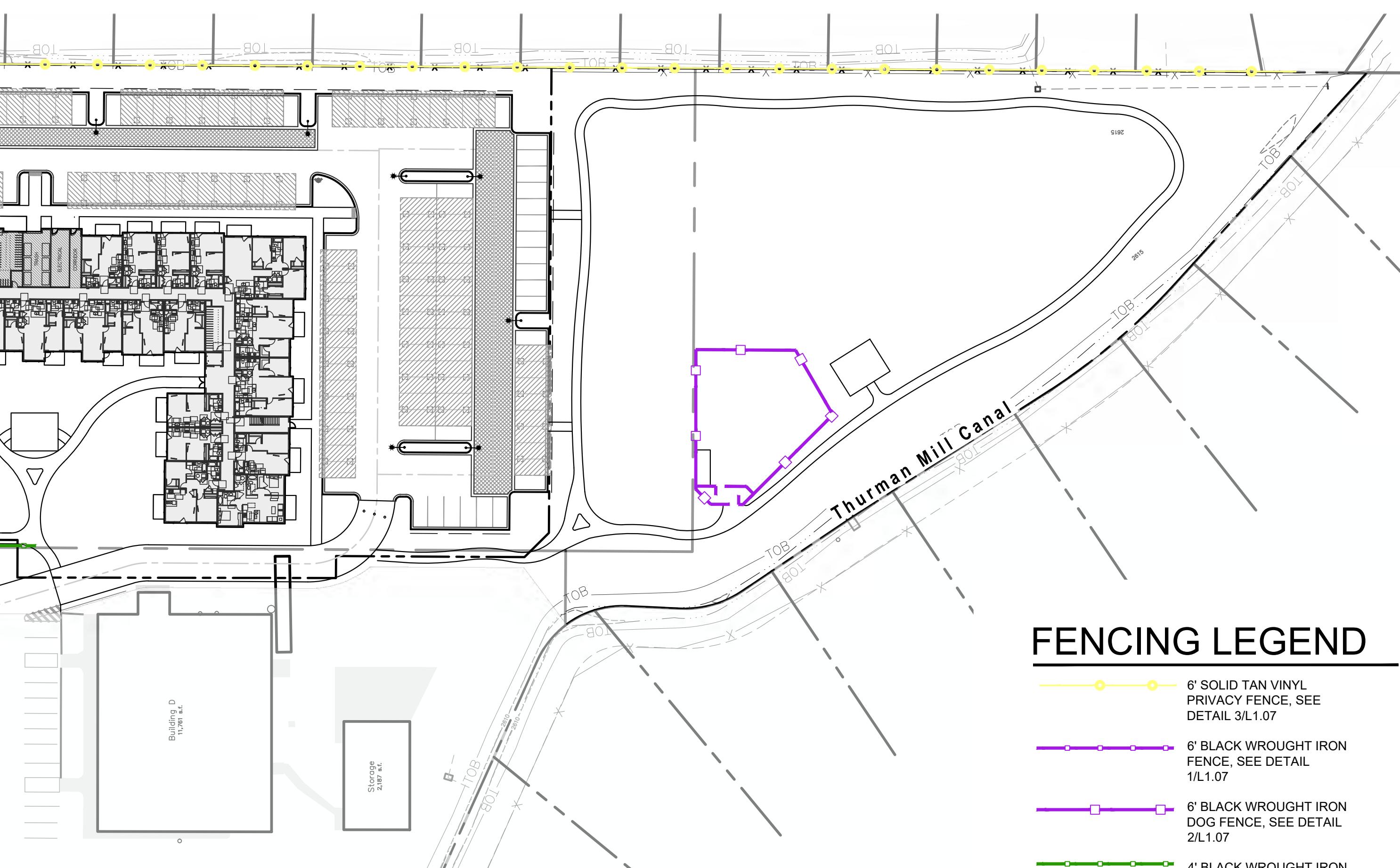
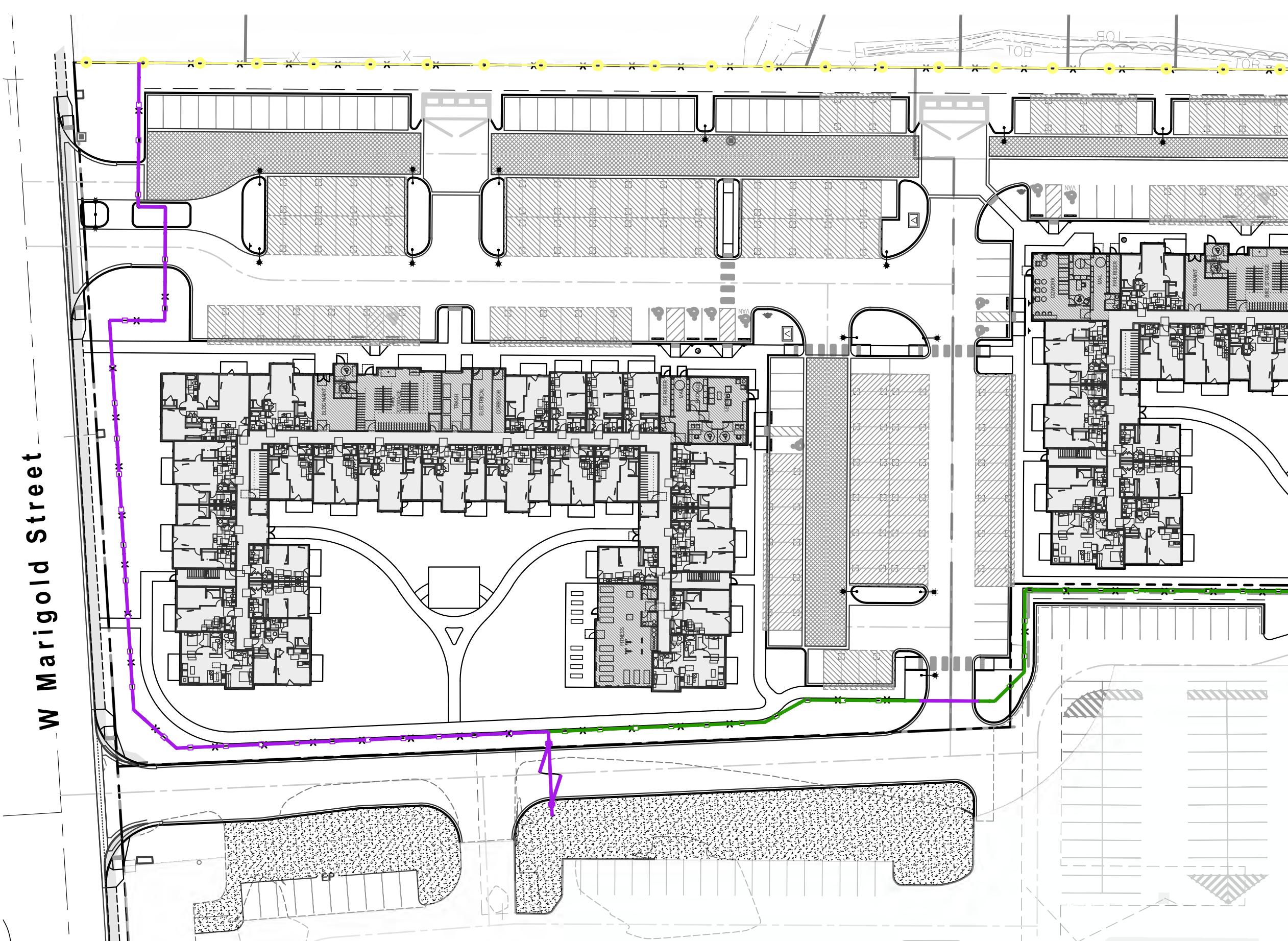
Scale: 1/2" = 1'-0"



WROUGHT IRON GATE (TYP.), BY OWNER



6' TAN VINYL FENCE (TYP.)

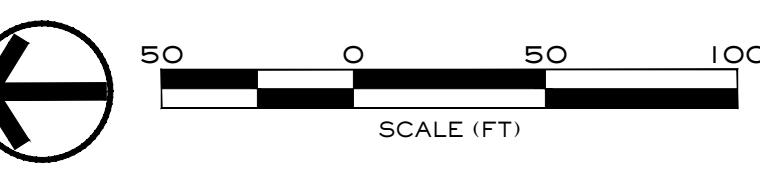


FENCING LEGEND

- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 3/L1.07
- 6' BLACK WROUGHT IRON FENCE, SEE DETAIL 1/L1.07
- 6' BLACK WROUGHT IRON DOG FENCE, SEE DETAIL 2/L1.07
- 4' BLACK WROUGHT IRON FENCE, SEE DETAIL 1/L1.07

NOTE:

1. VEHICLE GATES TO BE PROVIDED BY OWNER, SEE PHOTO FOR TYPICAL DESIGN INTENT, COORDINATE WITH CIVIL.
2. FENCING TO BE COORDINATED WITH ADJACENT LAND OWNER FOR EXTENSION ONTO PROPERTY.

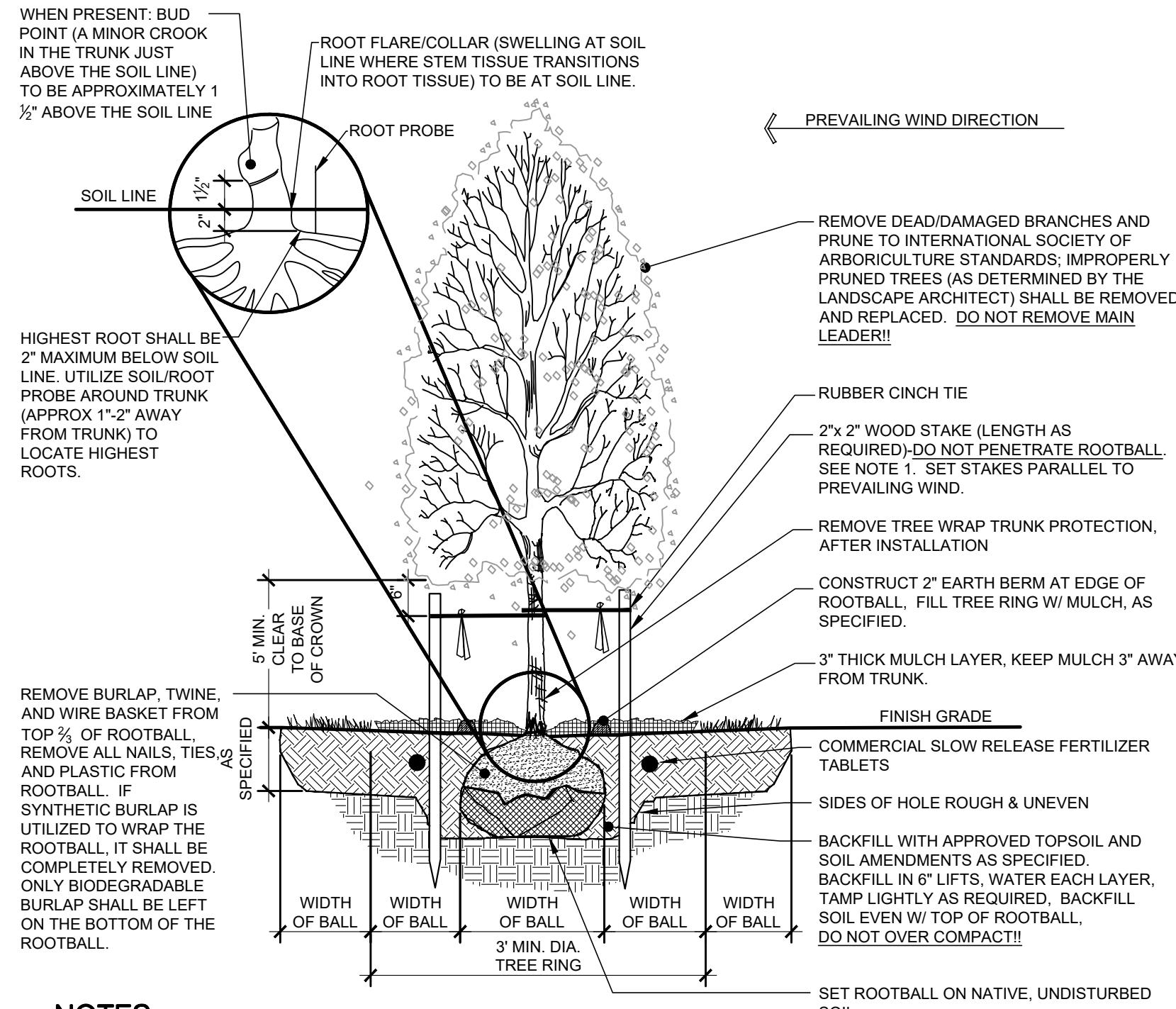
Sheet Number **L1.07**

Antioch Apartments

8695 W Marigold Street, Garden City, Idaho
 Design Review Drawings for:
 PACIFIC WEST COMMUNITIES
 Drawing Set Issued for:
DESIGN REVIEW
 Project No. R221201 / 24-123
 Issued Date 21 FEB 2025
 Drawn by SM
 Sheet Title
 Overall Fence Plan

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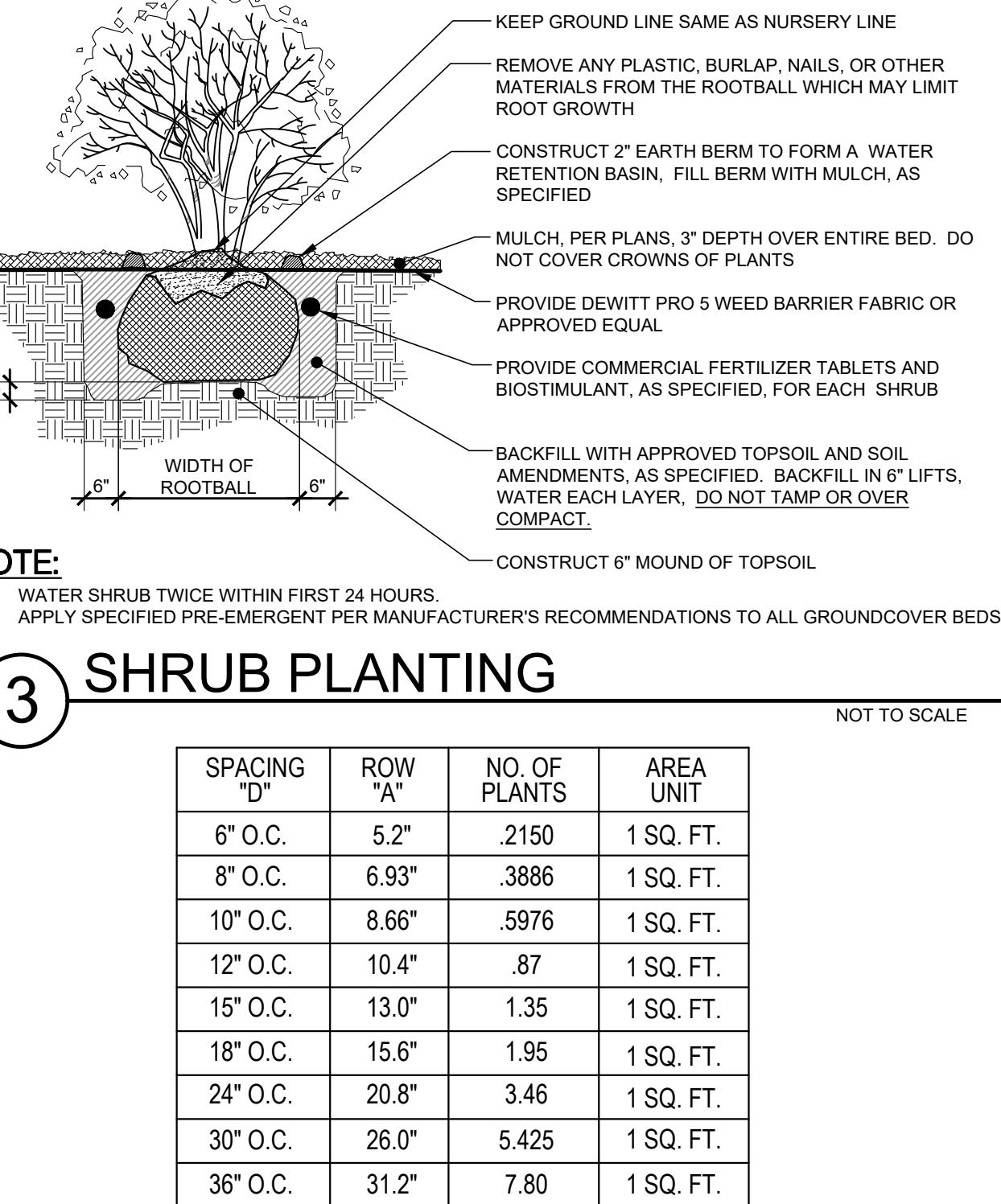


NOTES:

1. THE STAKING OF TREES IS TO BE REQUIRED, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT Tying METHOD.
5. WATER TREE TWICE WITHIN FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
7. FOR TREES LOCATED WITHIN 5'0" OF A CONCRETE CURB OR WALKWAY, PROVIDE TREE ROOT BARRIER (DEROOT#4-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

1 DECIDUOUS TREE PLANTING

NOT TO SCALE

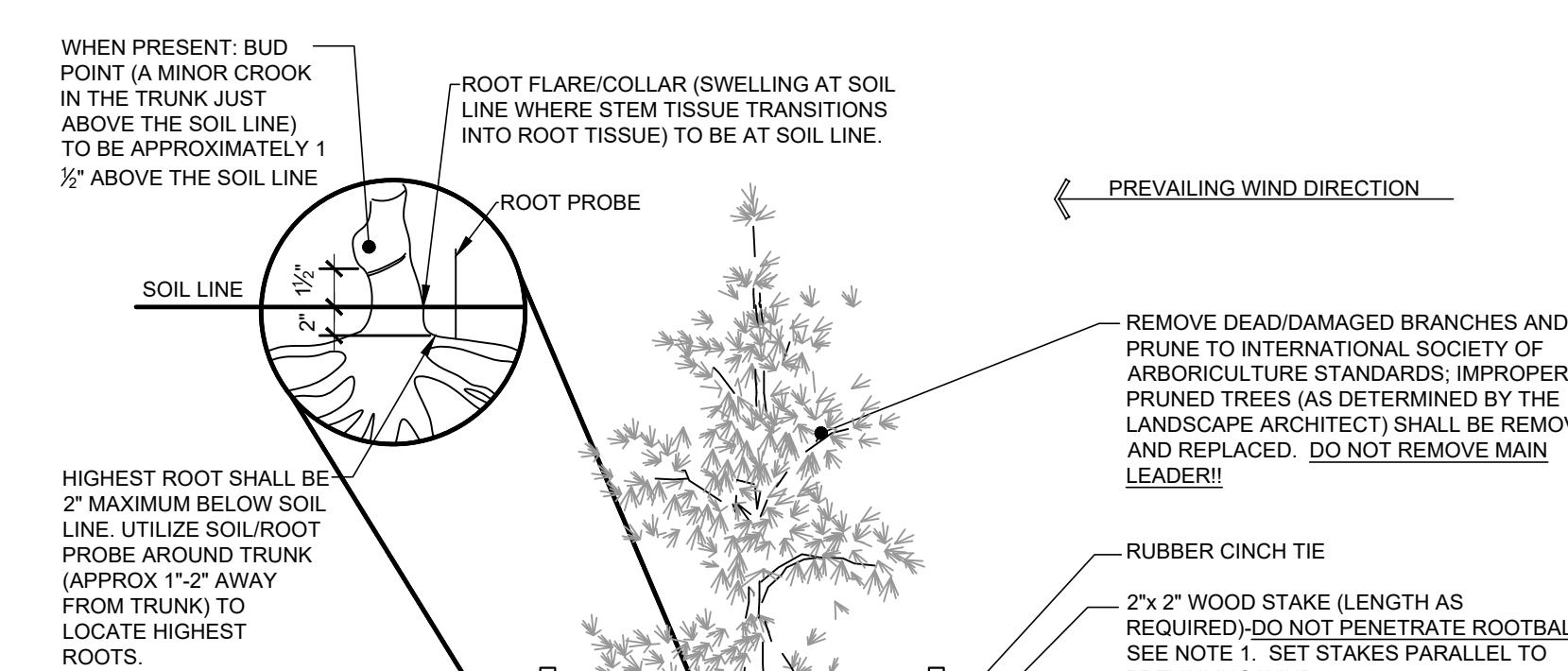


NOTE:
1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

3 SHRUB PLANTING

NOT TO SCALE

SPACING "D"	ROW "A"	NO. OF PLANTS	AREA UNIT
6" O.C.	5.2"	2150	1 SQ. FT.
8" O.C.	6.93"	3886	1 SQ. FT.
10" O.C.	8.66"	5976	1 SQ. FT.
12" O.C.	10.4"	.87	1 SQ. FT.
15" O.C.	13.0"	1.35	1 SQ. FT.
18" O.C.	15.6"	1.95	1 SQ. FT.
24" O.C.	20.8"	3.46	1 SQ. FT.
30" O.C.	26.0"	5.425	1 SQ. FT.
36" O.C.	31.2"	7.80	1 SQ. FT.



NOTES:

1. THE STAKING OF TREES IS TO BE REQUIRED, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT Tying METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPAGE.
5. WATER TREE TWICE WITHIN FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

2 CONIFEROUS TREE PLANTING

NOT TO SCALE

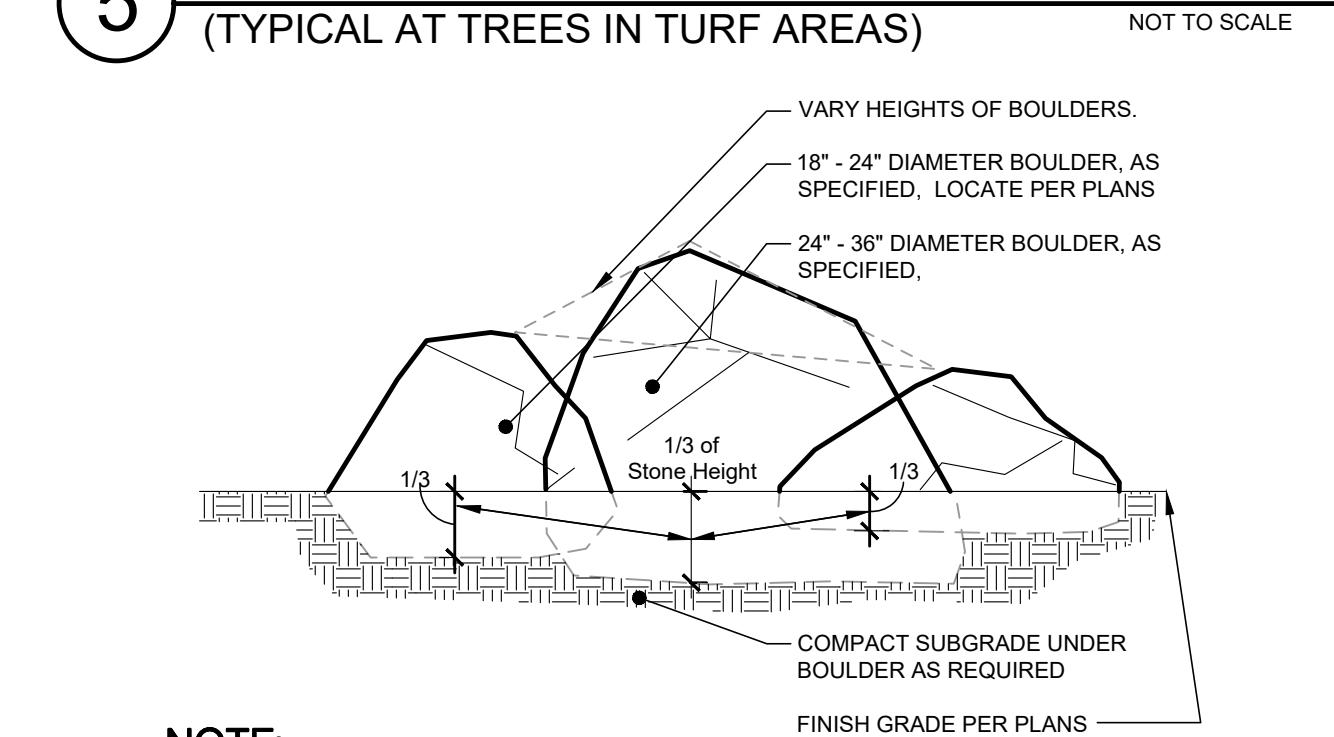
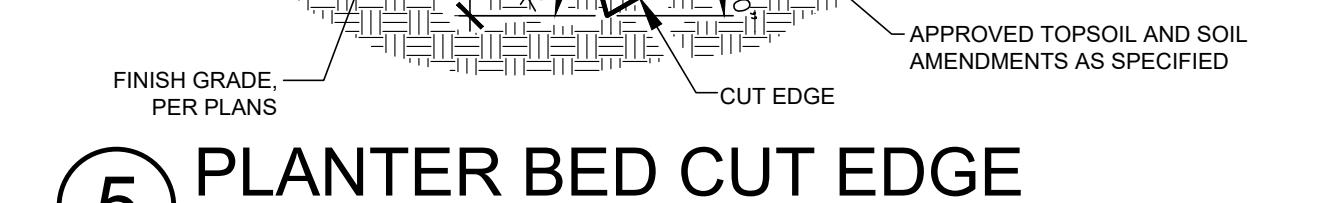


NOTES:

1. THE STAKING OF TREES IS TO BE REQUIRED, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT Tying METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPAGE.
5. WATER TREE TWICE WITHIN FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

4 PERENNIAL & GROUNDCOVER PLANTING

NOT TO SCALE

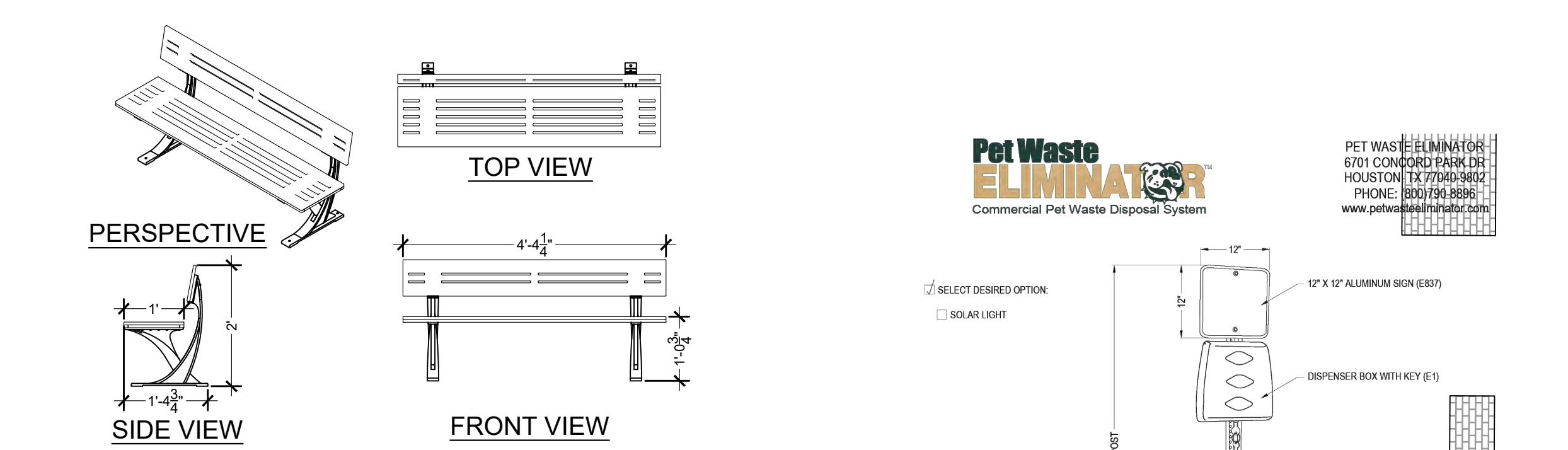


NOTE:

1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION.
3. CLEAN BOULDERS OF SOIL AND LOOSE DEBRIS.
4. WHEN PLACING BOULDERS, BURY 1/3 OF BOULDER BELOW FINISH GRADE.
5. DO NOT SCAR OR DAMAGE BOULDERS.
6. WHEN GROUPING BOULDERS, DISTRIBUTE SIZES EVENLY (I.E., IN A GROUP OF (6), (2) WILL BE LARGE, (2) WILL BE MEDIUM, AND (2) WILL BE SMALL).

6 BOULDER INSTALLATION

NOT TO SCALE



MAGLIN

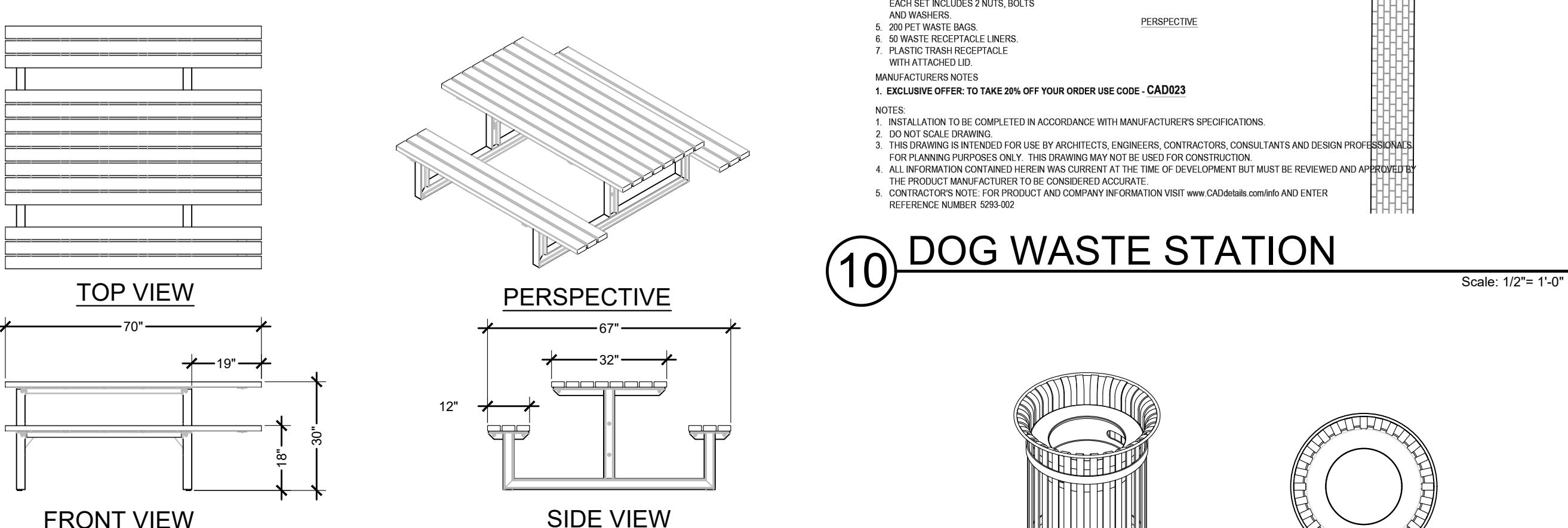
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SCHEDULE)

NOTE:

1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

7 6 FOOT BENCH

Scale: 1/2"= 1'-0"



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8 PICNIC TABLE

Scale: 1/2"= 1'-0"

SITE FURNISHING NOTES

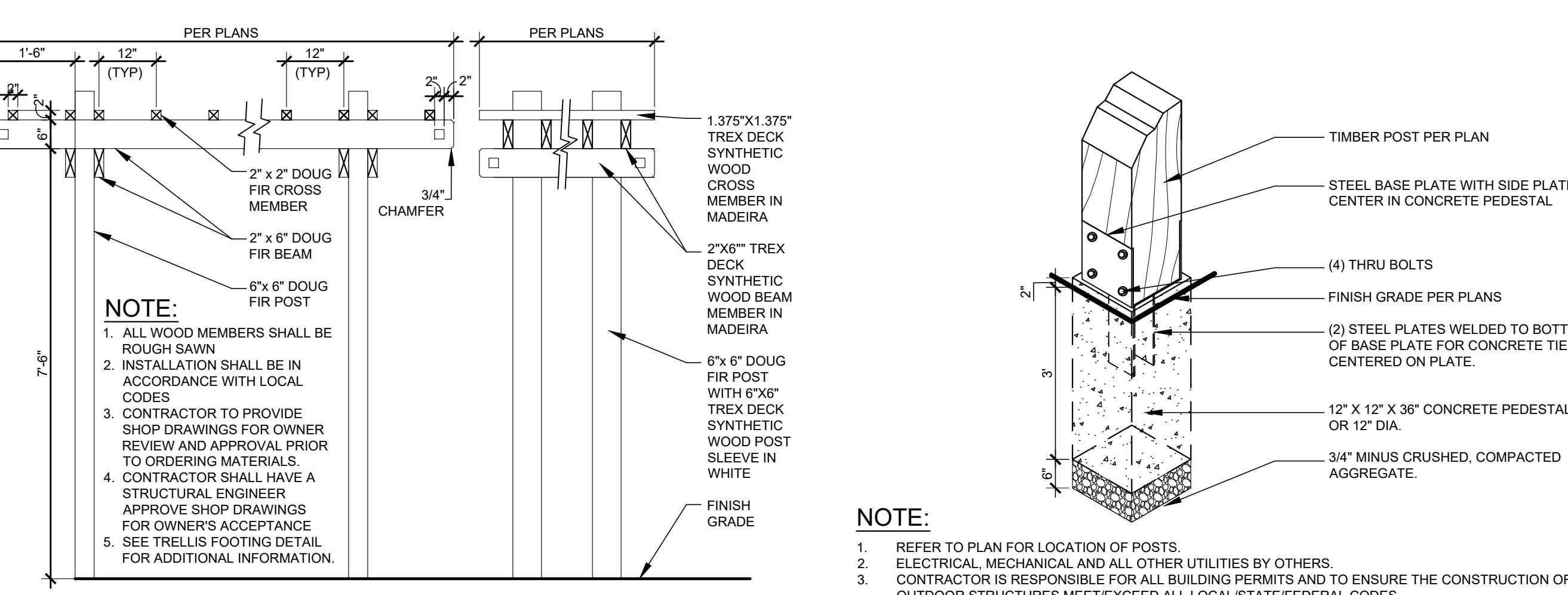
1. ALL 6 FOOT BENCHES TO BE SURFACE MOUNTED ON A MINIMUM 4" CONCRETE PAD. BENCH TO BE A MAGLIN MLB1200 SERIES BENCH, SURFACE MOUNT WITH A POWDER COAT "EVERGREEN" COLOR, SLATS TO BE RECYCLED PLASTIC COLOR - CEDAR. CONTACT MAGLIN 1-800-716-5506 X 521 TO ORDER. ORDER SHALL BE PLACED A MINIMUM OF 8 WEEKS TO INSURE DELIVERY.
2. THE CONTRACTOR SHALL MEET AND/OR EXCEED ALL LOCAL, STATE, AND FEDERAL GOVERNMENT ACCESSIBILITY STANDARDS.
3. THE LANDSCAPE PLANS ARE FOR LANDSCAPE CONSTRUCTION PURPOSES ONLY, NO GRADING OR DRAINAGE, CONCRETE WALKS OR PEDESTRIAN RAMPS, SITE UTILITIES, AND/OR STRUCTURES SHALL BE DESIGNED OR BUILT FROM THE LANDSCAPE DRAWINGS.
4. ALL ONSITE AMENITIES STRUCTURES ARE TO BE CONSTRUCTED WITH REDWOOD, CEDAR, OR DOUG FIR AS DETERMINED BY THE OWNER. COORDINATE AS REQUIRED.

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11 TRASH RECEPTACLE

Scale: 1/2"= 1'-0"



9 OVER HEAD TRELLIS

Scale: 1/2"= 1'-0"



12 CONCRETE TRELLIS FOOTING

Scale: 1/2"= 1'-0"

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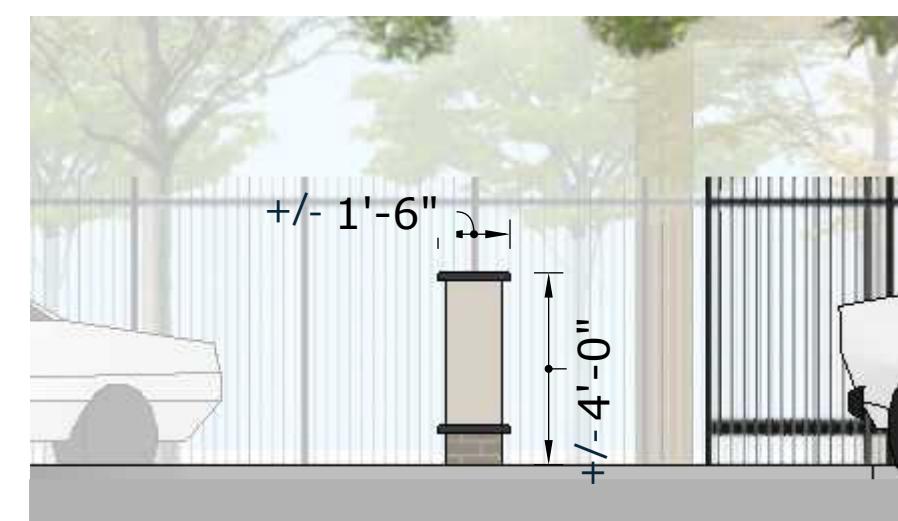
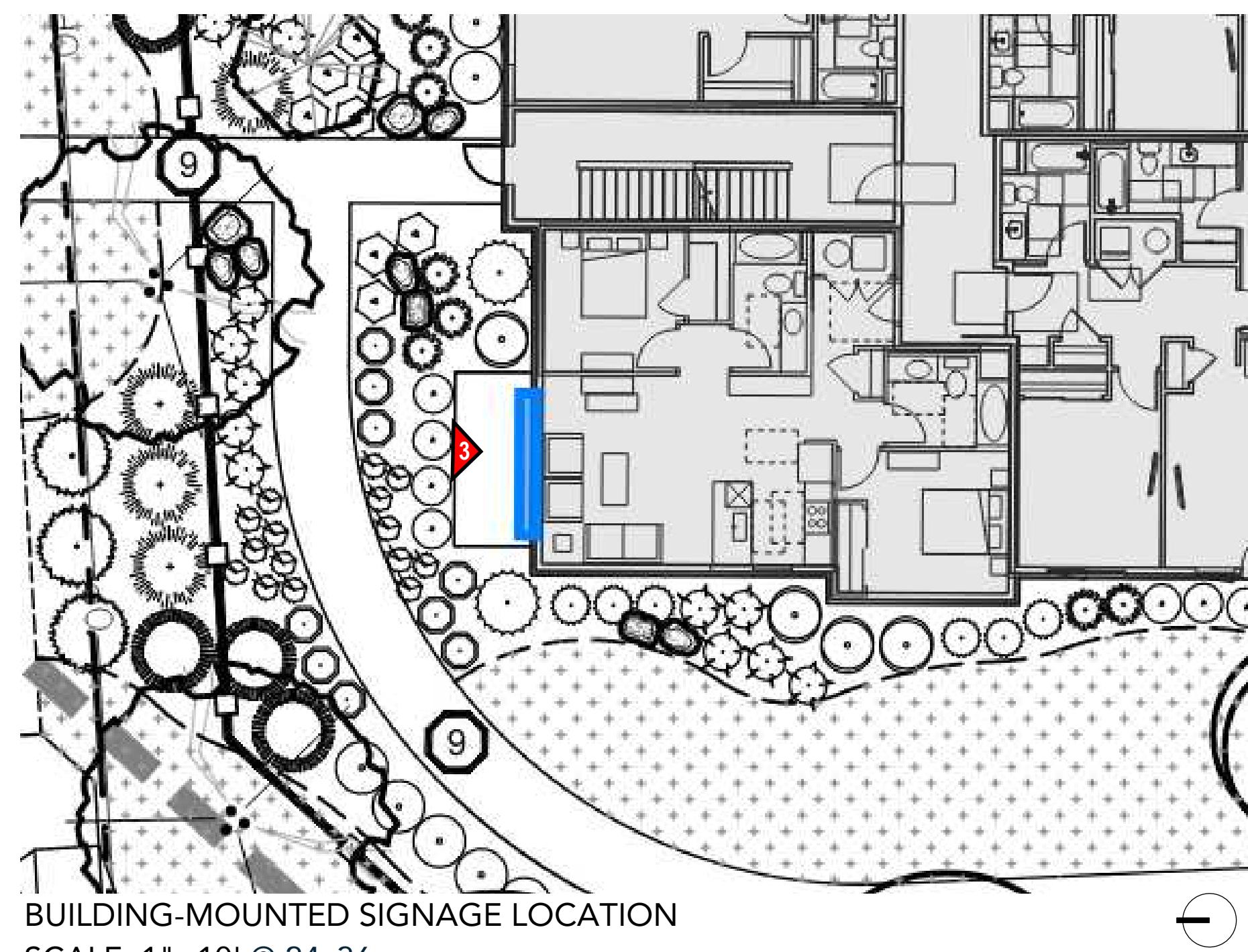
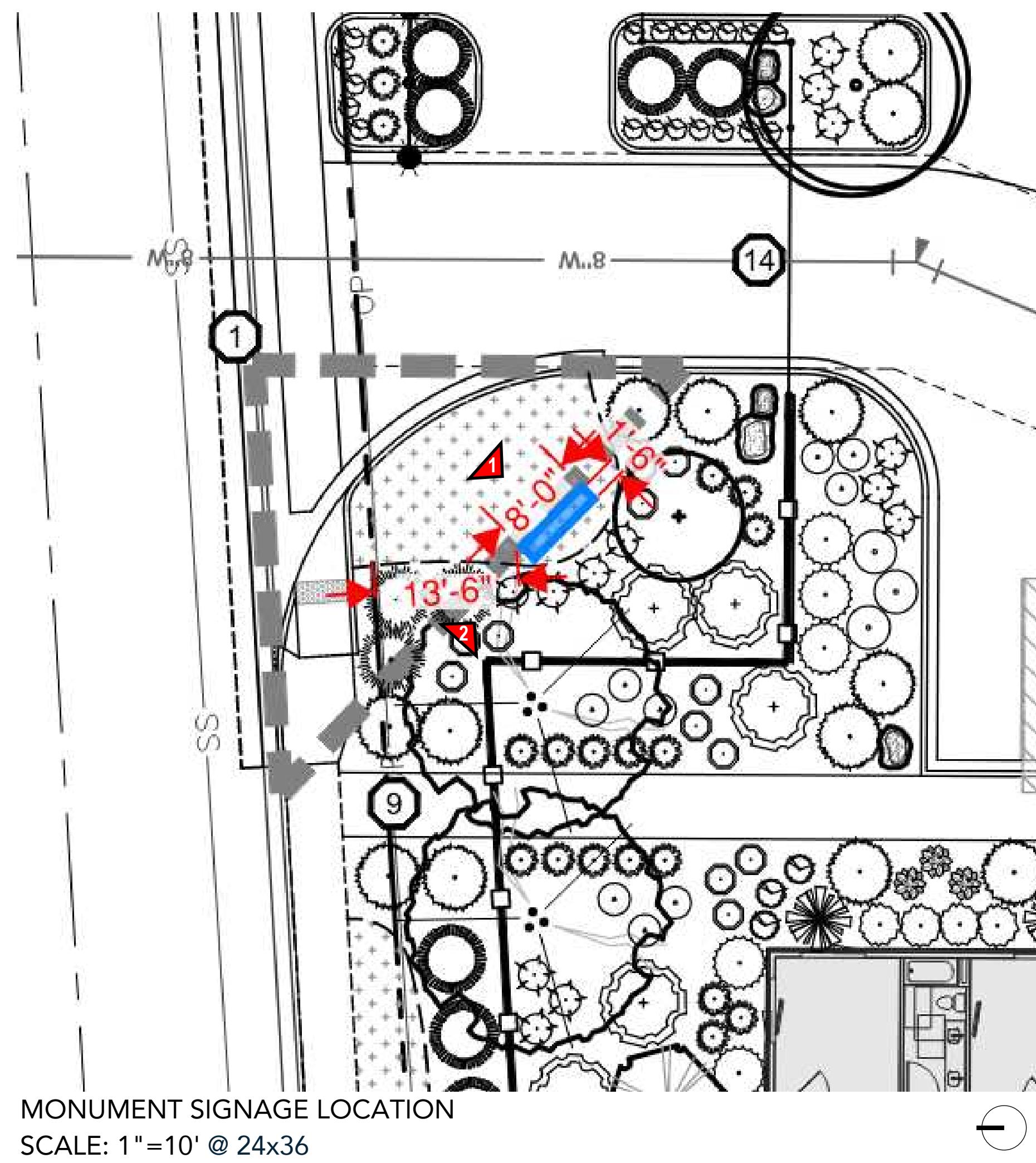
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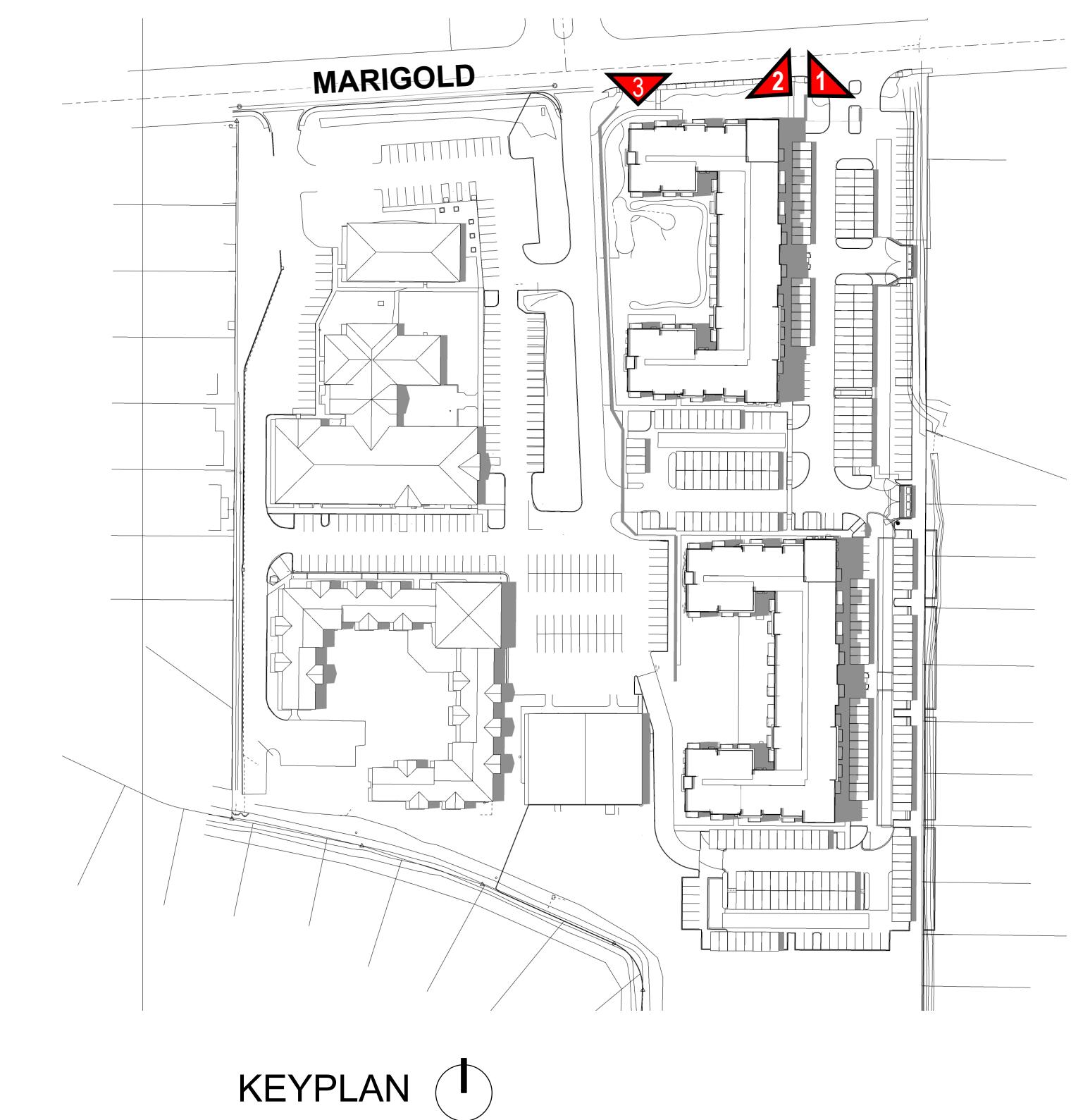
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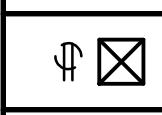
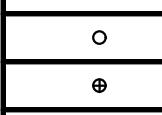
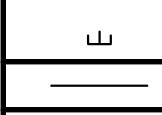
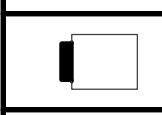
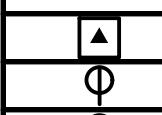
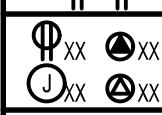
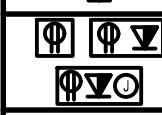
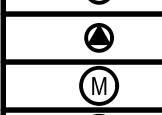
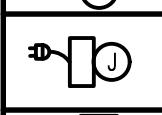
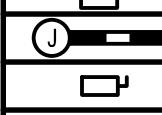
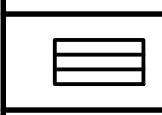
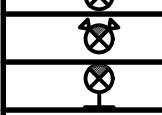
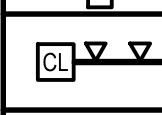
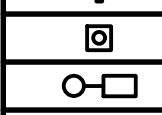
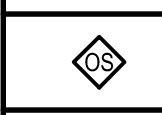
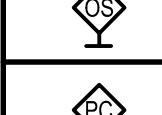
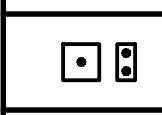
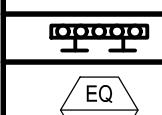
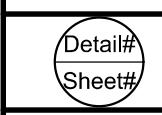
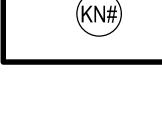
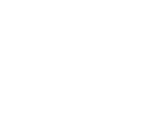
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Issued Date 21 FEB 2025
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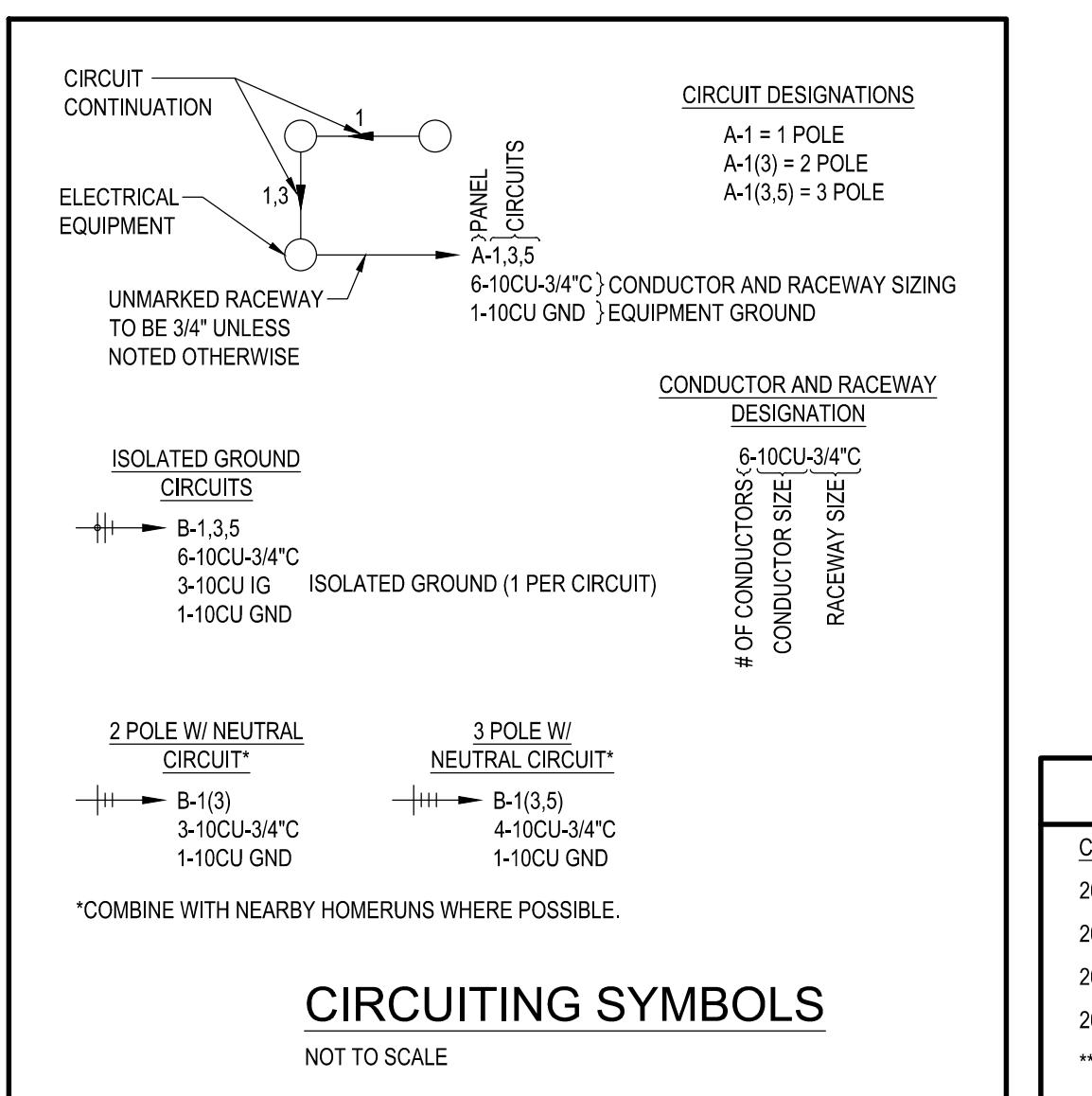
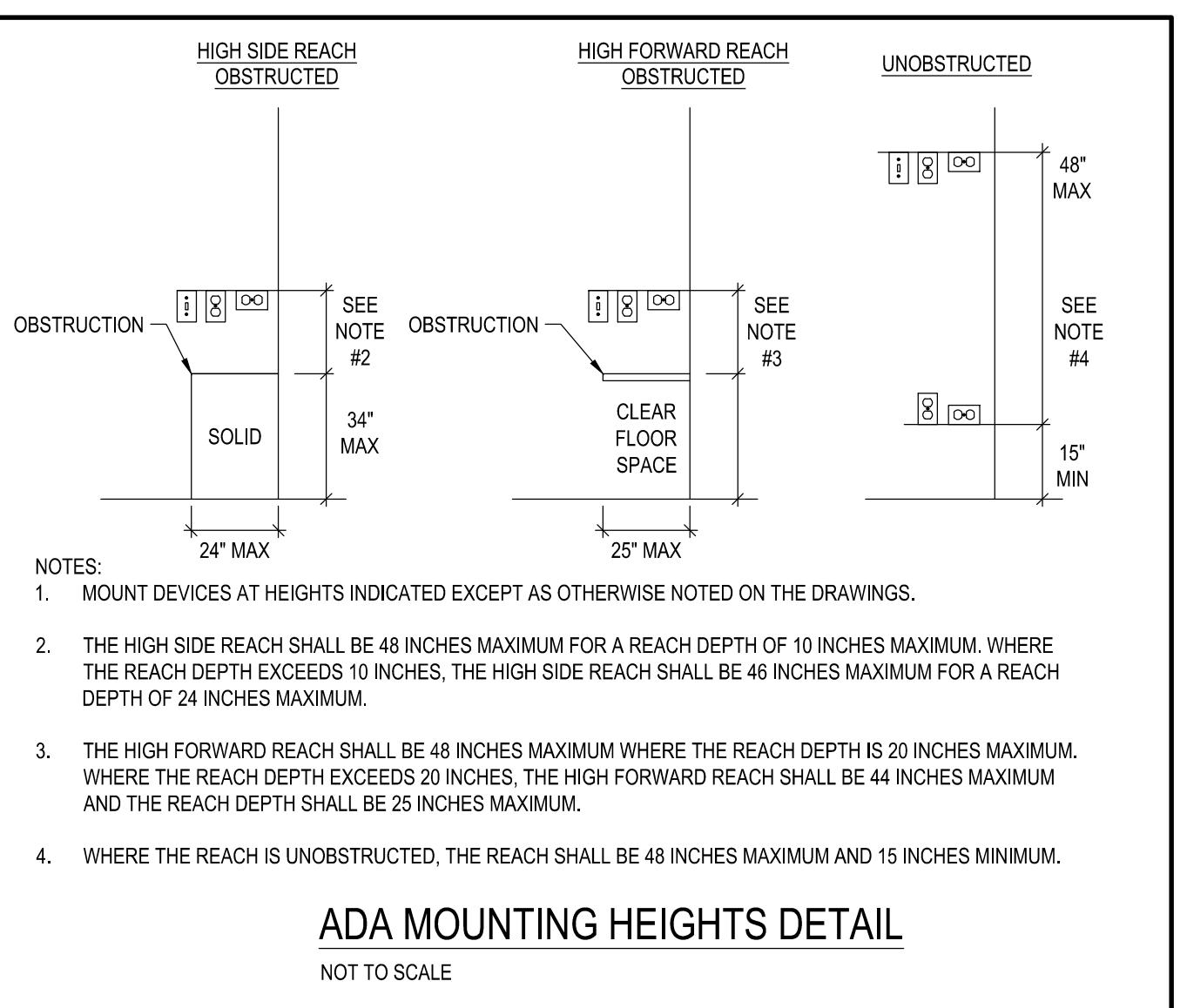
STATE OF IDAHO
LANDSCAPE ARCHITECTURE
DESIGN REVIEW
Drawing Set Issued for:
DESIGN REVIEW



NOTE: SIGNAGE TEXT IS PLACEHOLDER AND WILL BE
UPDATED AS MORE INFORMATION IS KNOWN



ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(N)	NEW
(E)	EXISTING TO REMAIN
(R)	EXISTING TO RELOCATE
(D)	EXISTING TO DEMOLISH
	NEW DEVICE/FIXTURE
	EXISTING DEVICE/FIXTURE
	RELOCATE DEVICE/FIXTURE
	DEMOLISH DEVICE/FIXTURE
	HOME RUN
○	CONDUIT STUB UP FROM FLOOR BELOW
●	CONDUIT STUB DOWN FROM FLOOR ABOVE
~	CONDUIT PEND
—	CONDUIT STUB
— — —	SOLID HEAVY LINE INDICATES RACEWAY AND/OR CONDUCTORS ABOVE FINISHED FLOOR
— — — —	DASHED HEAVY LINE INDICATES RACEWAY AND/OR CONDUCTORS BELOW FINISHED FLOOR
	PANEL BOARD WITH INDICATED WORKING CLEARANCE
	ELECTRICAL EQUIPMENT CABINET
	ELECTRICAL TRANSFORMER
	SIMPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	QUADRUPLEX RECEPTACLE
	GFCI RECEPTACLE
	ISOLATED GROUND RECEPTACLE
	DEVICE WITH LABEL: WP - WEATHER PROOF, #H - MOUNTING HEIGHT, DC - DROP CORD, P - PENDANT, AC - ABOVE COUNTER, BC - BELOW COUNTER
	DATA/TELEPHONE JBOX, WIRING BY OTHERS.
	FLOOR BOX/POKE THROUGH
	SPECIAL PURPOSE RECEPTACLE, MATCH TO 'NEMA' PATTERN OF EQUIPMENT
	DIRECT CONNECTION
	MOTOR CONNECTION
	JUNCTION BOX
	CORD REEL
	TWO SECTION DATA/POWER POLE
	PLUG MOLD STRIP
	DISCONNECT
	SHUNT TRIP BREAKER
	TROFFER LIGHT FIXTURE
	HIGH BAY LIGHT FIXTURE
	STRIP LIGHT FIXTURE
	EMERGENCY EGRESS LIGHT FIXTURES
	EXIT SIGN, ARROW INDICATES DIRECTIONAL SIGNAGE
	EXIT SIGN, CEILING MOUNTED
	EXIT SIGN, WALL MOUNTED
	EMERGENCY BUG EYE LIGHT FIXTURE
	TRACK WITH TWO TRACK HEAD LIGHT FIXTURES AND CURRENT LIMITING DEVICE
	MONOPONT TRACK LIGHT HEAD
	CAN LIGHT FIXTURE
	POLE MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	SWITCH WITH LABEL: BLANK - SINGLE POLE, 3 - THREE WAY, 4 - FOUR WAY, M - MOTOR RATED, D - DIMMER, OS - OCCUPANCY SENSOR, K - KEYED, T - TIMER
	CEILING-MOUNTED OCCUPANCY SENSOR
	WALL-MOUNTED OCCUPANCY SENSOR
	PHOTOCELL
	SINGLE AND DUAL PUSH BUTTON
	TELEPHONE TERMINAL BOARD
	GROUNDING BUS BAR
	MECHANICAL EQUIPMENT TAG
	DETAIL NUMBER CALLOUT
	KEYED NOTE CALLOUT



BASIS OF DESIGN	
CODES:	
2018 INTERNATIONAL BUILDING CODE (IBC)	
2018 INTERNATIONAL FIRE CODE (IFC)	
2017 NATIONAL ELECTRICAL CODE (NEC)	
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
*INCLUDING ALL ADOPTED AMENDMENTS	

ELECTRICAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
E0.0	ELECTRICAL COVER SHEET
E1.0	ELECTRICAL SITE PLAN
E1.1	ELECTRICAL PHOTOMETRIC SITE PLAN



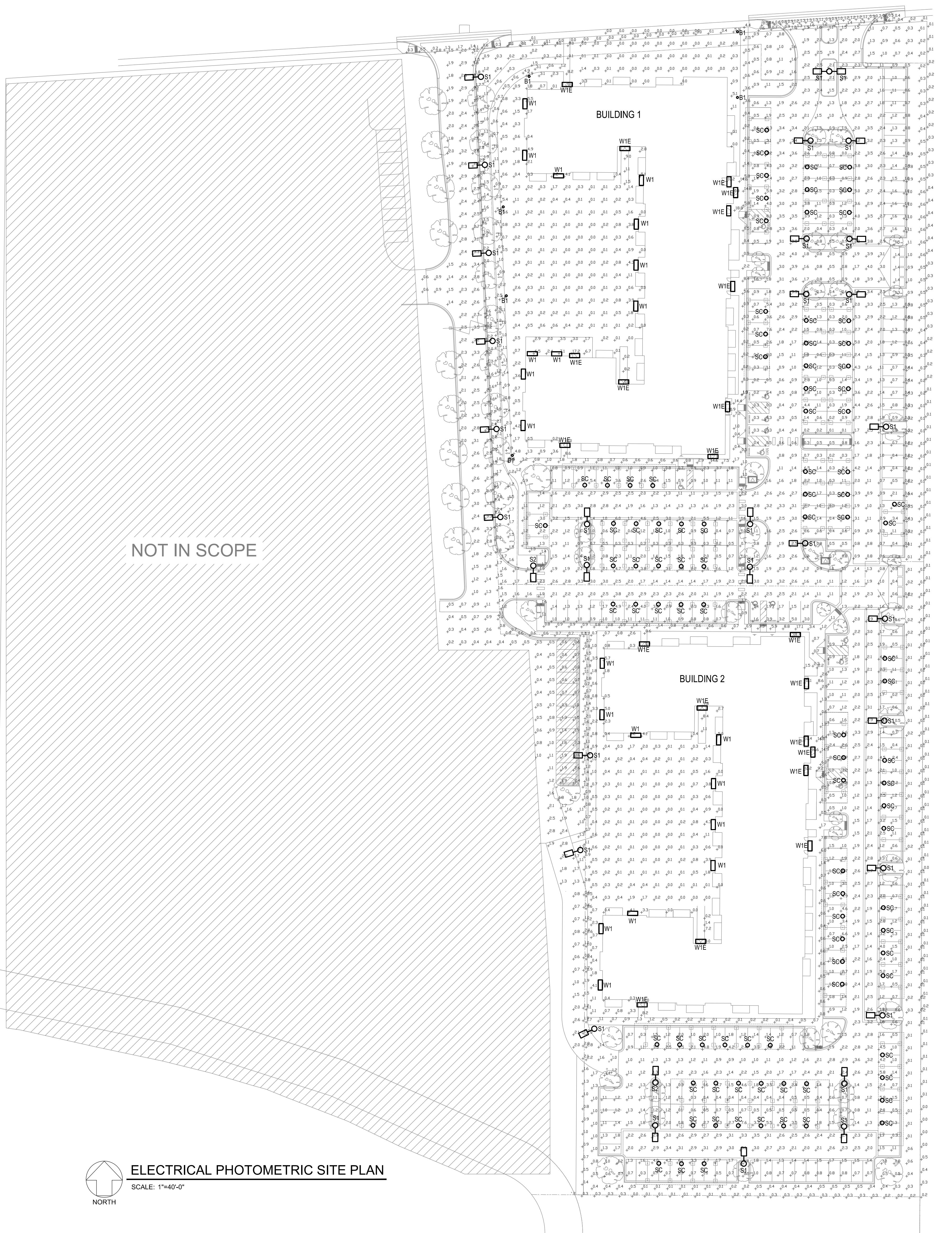
SUBMITTAL NAME - 02/14/2025
Project number: 2022-017 / 75Y09

REVISIONS

No. Description Date

DRAWN BY: NW CHECKED BY: ZS
SHEET

E1.1



PHOTOMETRIC CALCULATIONS				
NAME	AVERAGE FC	HIGHEST FC	MINIMUM FC	UNIFORM GRADIENT
DRIVE AISLE	1.8	11.5	0.2	12.4
WALKWAY	5.0	8.8	3.3	N/A