



## DESIGN REVIEW

Permit info: \_\_DSRFY2025-0009\_\_

Application Date: \_\_06/12/2025\_\_ Rec'd by: MA

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

APPLICANT		PROPERTY OWNER	
Name: JEFF LIKES - ALC ARCHITECTURE		Name: TODD DEBOER	
Company:		Company: HOMEOWNER	
Address:		Address: 411 46TH STREET	
City:		City: GARDEN CITY	
State:	Zip:	State: ID	Zip: 83714
Tel.: 208-514-2713		Tel.: 208-602-5535	
E-mail: JEFF@ALCARCHITECTURE.COM		E-mail: TODDSNCI@GMAIL.COM	

### PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 411 46TH STREET		
Subdivision Name: FAIRVIEW ACRES	Lot: 32	Block: 20
Tax Parcel Number: R2734522621	Zoning: R-3	Total Acres: 0.68
Proposed Use: STORAGE	Floodplain:	<u>Yes</u> No

### OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

-----  
Signature of the Applicant

-----  
(date)

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Signature of the Owner

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(date)

### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                 | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i>  |
| <input checked="" type="checkbox"/> Neighborhood Map   | <input type="checkbox"/> Trash Disposal Plan   |
| <input checked="" type="checkbox"/> Site Plan  | <input checked="" type="checkbox"/> Colored renderings and/or elevations showing the exterior material composition |
| <input checked="" type="checkbox"/> Landscape Plan   |  |
| <input checked="" type="checkbox"/> Schematic Drawing  |  |
| <input type="checkbox"/> Lighting Plan   |  |
| <input type="checkbox"/> Topographic Survey  |  |
| <input type="checkbox"/> Grading Plan  |  |
| <input type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |  |
| <input type="checkbox"/> Ada County Approved Addresses   |  |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials                      |  |
| <input checked="" type="checkbox"/> Affidavit of Legal Interest                                  |  |



## **PLEASE CHECK THE FOLLOWING:**

### **INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:**

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### **INFORMATION REQUIRED ON SITE PLAN:**

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☒ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- ☒ Location, dimensions and type of signs.
- ☒ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- ☒ Location and dimensions of outdoor storage areas
- ☒ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- ☒ Scale the same as the site plan.
- ☒ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☒ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☒ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☒ Log of square footage of landscaping materials corresponding to location
- ☒ Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☒ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☒ Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- NA ☐ 11" x 17" size minimum
- ☐ Location, type, height, lumen output, and luminance levels of all exterior lighting
  - ☐ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
  - ☐ Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- NA ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- NA ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
  - ☐ Two foot (2') contours for the entire proposal site
  - ☐ One foot (1') contours for details, including all planimetric features
  - ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
  - ☐ Existing easement and utility locations
  - ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
  - ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas

- ☐ Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

- NA ☐ Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- NA ☐ Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- ☒ Statement must include a list of the application materials to be waived and an explanation for the request.

**INFORMATION REQUIRED FOR TRASH DISPOSAL PLAN:**

- NA ☐ Site photo
- ☐ Location, configuration, dimensions, type of containers, and number of containers
  - ☐ Refer to Republic Services Solid Waste Design Standards.





June 11, 2025

City of Garden City  
6015 N. Glenwood Street  
Garden City, ID. 83714  
Planning and Zoning Commission

**Re: Residential Storage Shed at 411 46<sup>th</sup> Street – Design Review**

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We are proposing a new Residential storage shed to be used by the owner and occupant of the residence at 411 46<sup>th</sup> Street. The structure is situated within required lot setbacks, and the use of the storage shed does not pose any concerns for noxious noises to adjacent residents or properties.

The shed will be finished with a white metal siding with red trim as shown in the renderings attached with this submittal.

Should you have any questions or concerns regarding this project and the provided documents please feel free to contact me at your earliest convenience. We thank you for your time and consideration for this project and look forward to your approval.

Thank you,

Jeff Likes

A handwritten signature in black ink, appearing to read 'Jeff Likes'.

ALC Architecture

jeff@alcarchitecture.com

208.514.2713

Jeffrey A. Ramey  
*Commissioner/Chair*

J. Todd Bunderson  
*Commissioner*

Jeffrey A. Souza  
*Commissioner*



Shelley Vaughan  
*District  
Administrator*

June 6, 2025

Jeff Likes – ALC Architecture  
1119 E. State Street. Unit 120, Eagle, ID 83616  
[Jeff@alcarchitecture.com](mailto:Jeff@alcarchitecture.com)

Todd Deboer  
411 46<sup>th</sup> Street, Garden City, ID 83714  
[toddsnci@gmail.com](mailto:toddsnci@gmail.com)

Re: CUPFY2025-0011 411 46<sup>th</sup> Street, Garden City, ID 83714 (R2734522621)

Dear Mr. Likes and Deboer,

This is request for a Variance Waiver request of fire flow and ability to serve based on a new 72' by 18' storage shed that requires no water or electrical.

North Ada County Fire & Rescue District has reviewed and can approve the application provided the following comments or conditions of approval are met.

Comments:

1. Fire apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of a building measured by an approved route around the exterior of the building or facility. (IFC 503.1.1)
2. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. (IFC 503.2.1)
3. Fire apparatus access roads shall have an approved driving surface of asphalt, concrete or other approved driving surface and can support the imposed load of fire apparatus weighing at least 75,000 pounds. Please provide documentation the road surface meets this standard. (IFC D102.1)





# 411 46th STREET SHED

411 46TH STREET. GARDEN CITY, IDAHO. 83714

## KEYNOTES

- 3. CONCRETE**
- 3.1. REINFORCED CONCRETE FLOOR SLAB OVER BLOTTER COURSE OVER OVER CHOKER COURSE, GRANULAR BASE AND COMPACTED SUBGRADE. SEE STRUCTURAL FOR MORE CONCRETE FLOOR SLAB INFORMATON. CONTROL JOINTS AT 6'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C. MAX. WITH LIGHT BROOM FINISH, SLOPE FOR POSITIVE DRAINAGE AWAY FROM BUILDING
- 3.2. FOOTING/ FOUNDATION, SIZE AND REINFORCING PER STRUCTURAL PLANS AND DETAILS.
- 5. METALS**
- 5.1. METAL ROOF FLASHING
- 5.2. DRIP FLASHING AT METAL SIDING TERMINATION.
- 5.3. J MOLD PROFILE AT METAL SIDING TERMINATION.
- 5.4. SHEET METAL FINISH WRAP AT OVERHEAD DOOR FRAME OPENING
- 5.5. SHEET METAL FINISH FASCIA WRAP AT ROOF PERIMETER FRAMING.
- 5.6. METAL ROOF FRAMING STUDS PER STRUCTURAL
- 5.7. 6" COLD FORMED STEEL STUD WALL FRAMING PER STRUCTURAL
- 5.8. METAL STUD CHANNEL TRACK
- 5.9. ANCHOR BOLTING PER STRUCTURAL PLANS
- 5.10. CONTINUOUS METAL CHANNEL AT ROOFING ATTACHEMENT LOCATIONS PER STRUCTURAL.
- 6. WOOD, PLASTICS AND COMPOSITES**
- 6.1. ZIP SYSTEM WALL SHEATHING (SEE STRUCTURAL).
- 7. THERMAL AND MOISTURE PROTECTION**
- 7.1. DOWNSPOUT LOCATION. DOWNSPOUTS SHALL BE MIN. .032" THICKNESS FORMED AND COATED ALUMINUM.
- 7.2. RAIN RUNOFF GUTTER
- 8. OPENINGS**
- 8.1. HEAD/SILL FLASHING TO MATCH FRAME FINISH.
- 8.2. EXTERIOR OVERHEAD SECTIONAL DOOR, 12' WIDE X 14' H. DOOR MANUFACTURER AND STYLE TO BE SELECTED BY OWNER. SEE DOOR SCHEDULE.
- 9. FINISHES**
- 9.1. METAL SIDING. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENTS. STYLE AND COLOR TO BE SELECTED BY OWNER
- 9.2. METAL ROOFING. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENTS. STYLE AND COLOR TO BE SELECTED BY OWNER.
- 9.3. CLEAR ACRYLIS CORRUGATED ROOFING PANEL. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENT.
- 32. SITE WORK**
- 32.1. PROPERTY LINE
- 32.2. GRADE ADJACENT TO NEW STRUCTURE TO SLOPE AWAY FROM STRUCTURE.

## APPLICABLE BUILDING CODES

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 IDAHO STATE PLUMBING CODE  
2023 NATIONAL ELECTRICAL CODE  
2018 INTERNATIONAL FIRE CODE

## SYMBOL LEGEND

- XXX  
XXX  
XXX ROOM NUMBER
- XXX ELEVATION/DATUM MARK
- XXX FINISHES CALLOUT
- A1 D WALL TYPE TAG  
A1 D WALL HEIGHT  
A1 D INSULATION TYPE
- XXX EQUIPMENT / FURNITURE TAG
- CDS XXX MILLWORK TAG  
CASEWORK DESIGN SERIES TYPE
- XXX-1 X-X' CEILING TAG  
X-X' CEILING TYPE  
X-X' CEILING HEIGHT
- # DOOR NUMBER
- # KEYNOTE  
(DIVISION.KEYNOTE NUMBER)
- # WINDOW TYPE TAG  
GLAZING TYPE TAG  
REVISION NUMBER
- 1 A2.1 INTERIOR ELEVATION REFERENCE  
(SEE DETAIL 1A  
ON SHEET A1.1)
- 1 A2.1 WALL SECTION REFERENCE  
(SEE WALL SECTION 1  
ON SHEET A1.1)
- 1 A2.1 BUILDING SECTION REFERENCE  
(SEE BUILDING SECTION 1  
ON SHEET A1.1)
- 1 A2.1 DETAIL REFERENCE  
(SEE DETAIL 1 ON A1.1)

## PROJECT TEAM

**ARCHITECT**  
ALC ARCHITECTURE  
1119 EAST STATE STREET, #120  
EAGLE, IDAHO 83616  
PH: (208) 514.2713  
CONTACT: JEFF LIKES  
EMAIL: JEFF@ALCARCHITECTURE.COM

**STRUCTURAL ENGINEER**  
KORE 4 ENGINEERING  
2295 N. YELLOWSTONE HWY UNIT 6  
IDAHO FALLS, ID. 83401  
PH: 208-840-5673  
EMAIL: CODYB@KORE-4.COM

## SITE ANALYSIS

ADDRESS: 411 46TH STREET  
GARDEN CITY, ID. 83714

ASSESSORS PARCEL NUMBER : R2734522621

LEGAL DESCRIPTION : LOT 32 BLK 20 FAIRVIEW  
ACRES SUB NO 03

TOWNSHIP/RANGE/SECTION:3N2E05

ZONE : R-3

LOT AREA :  
ACRES = 0.68 ACRES

BUILDING AREA: 1,379 SQUARE FEET

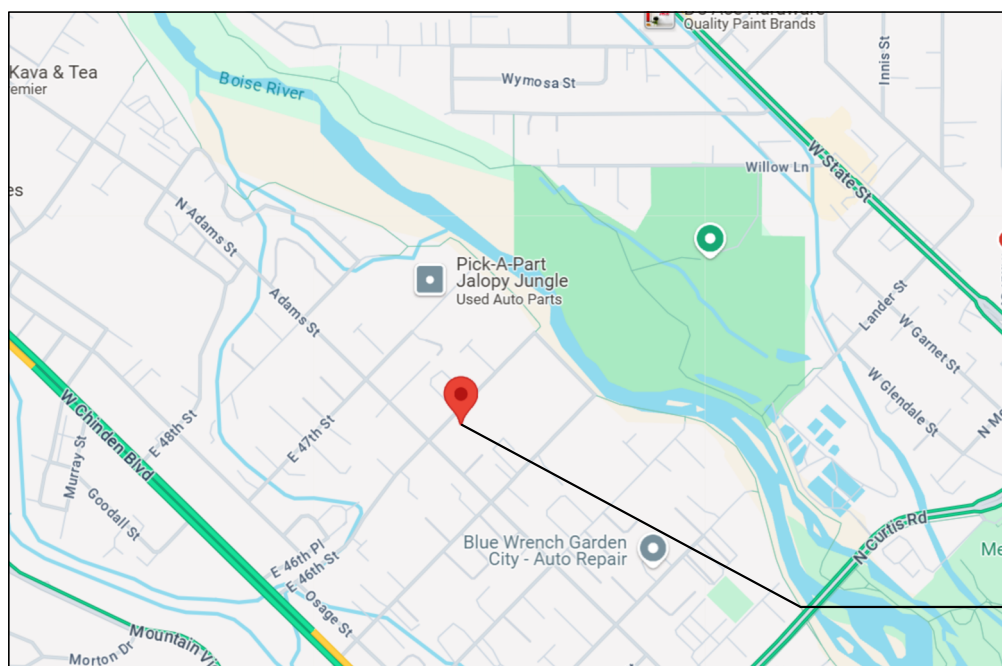
STORIES: 1 STORY  
BUILDING HEIGHT: 17'-6"

CONSTRUCTION TYPE: V-B

FIRE SPRINKLERS: NO  
FIRE ALARM: NO

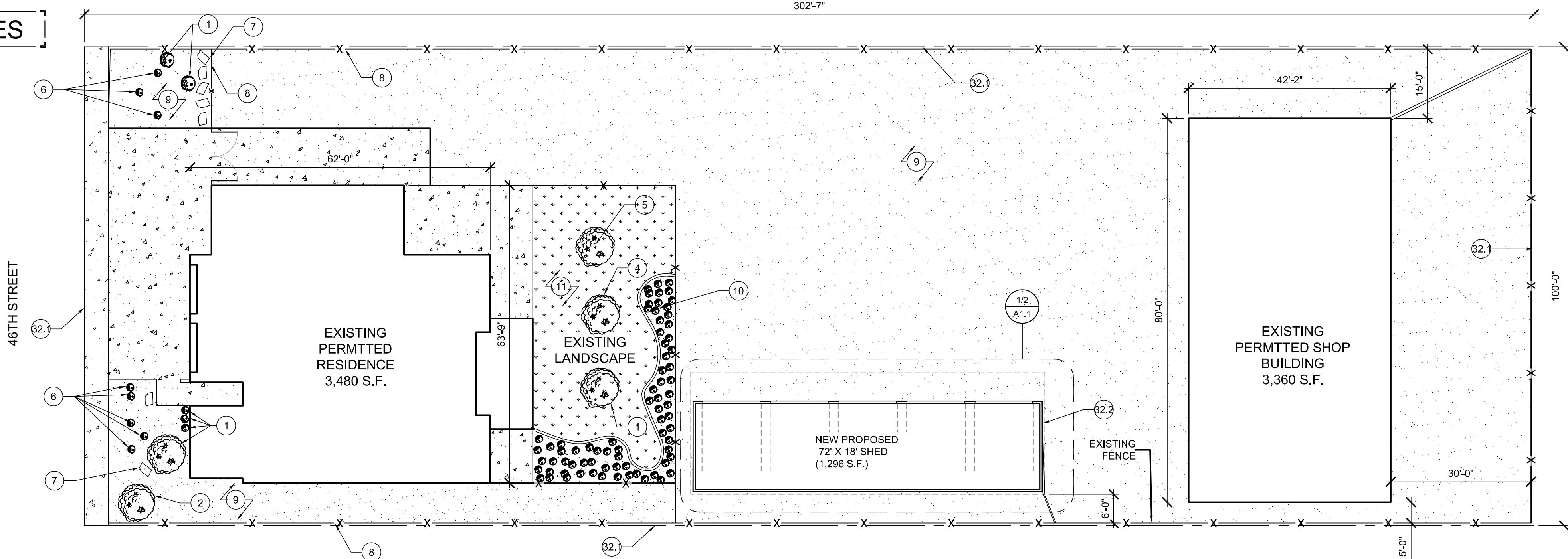
REQUIRED SETBACKS: SIDE: 5'  
FRONT: 5' - 20'  
REAR: 15'

## VICINITY MAP



## LANDSCAPE NOTES

1. EXISTING EVERGREEN TREE
2. EXISTING COLUMNAR MAPLE TREE
3. EXISTING
4. EXISTING CRIMSON MAPLE
5. EXISTING HONEY LOCUST TREE
6. EXISTING YUCCA BUSH
7. EXISTING LANDSCAPE BOULDER
8. EXISTING FENCING
9. EXISTING PERMA-BARK
10. EXISTING SHRUB PLANTINGS
11. EXISTING GRASS



## SITE PLAN

SCALE: 1/16" = 1'-0"

## SHEET INDEX

**GENERAL:**  
G1.1 ARCHITECTURAL COVER SHEET, CODE ANALYSIS AND SITE PLAN  
G1.5 GENERAL NOTES

**STRUCTURAL :**  
XX

**ARCHITECTURAL :**

A1.1 FLOOR PLAND & ROOF PLAN  
A4.1 EXTERIOR ELEVATIONS  
A5.1 SECTIONS AND DETAILS

NO.	REVISIONS	DATE



PROJECT FOR: 411 46TH ST. SHED

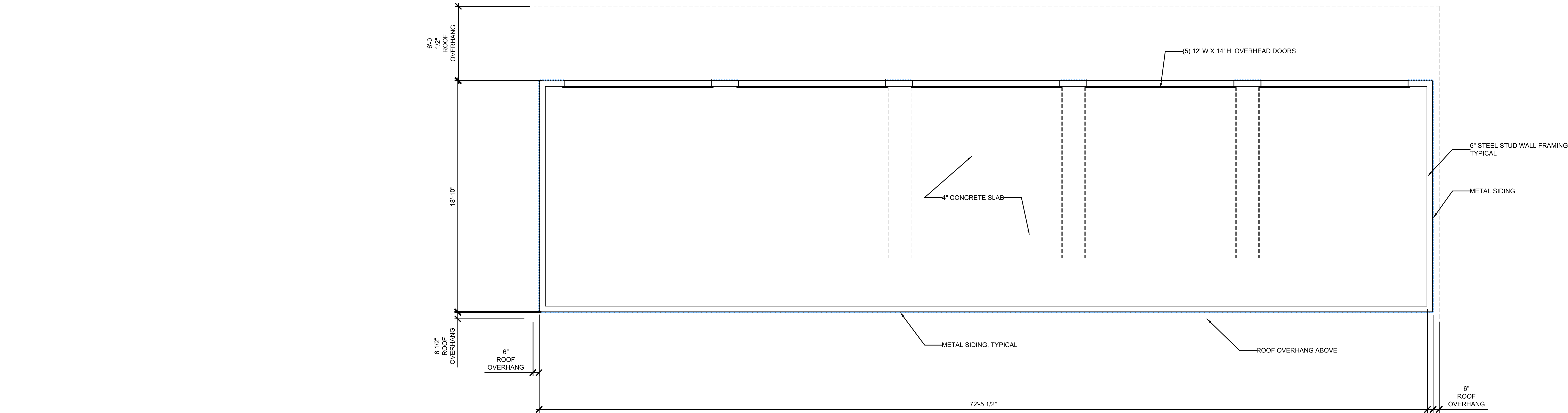
BOISE, ID. 83714

DRAWN BY: CS  
CHECKED BY: JL  
JOB # 24159  
DATE: 03.14.25

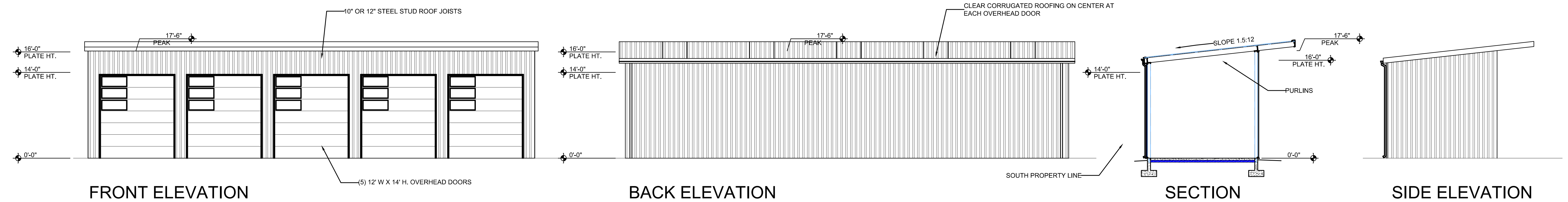
COVER SHEET

G1.1

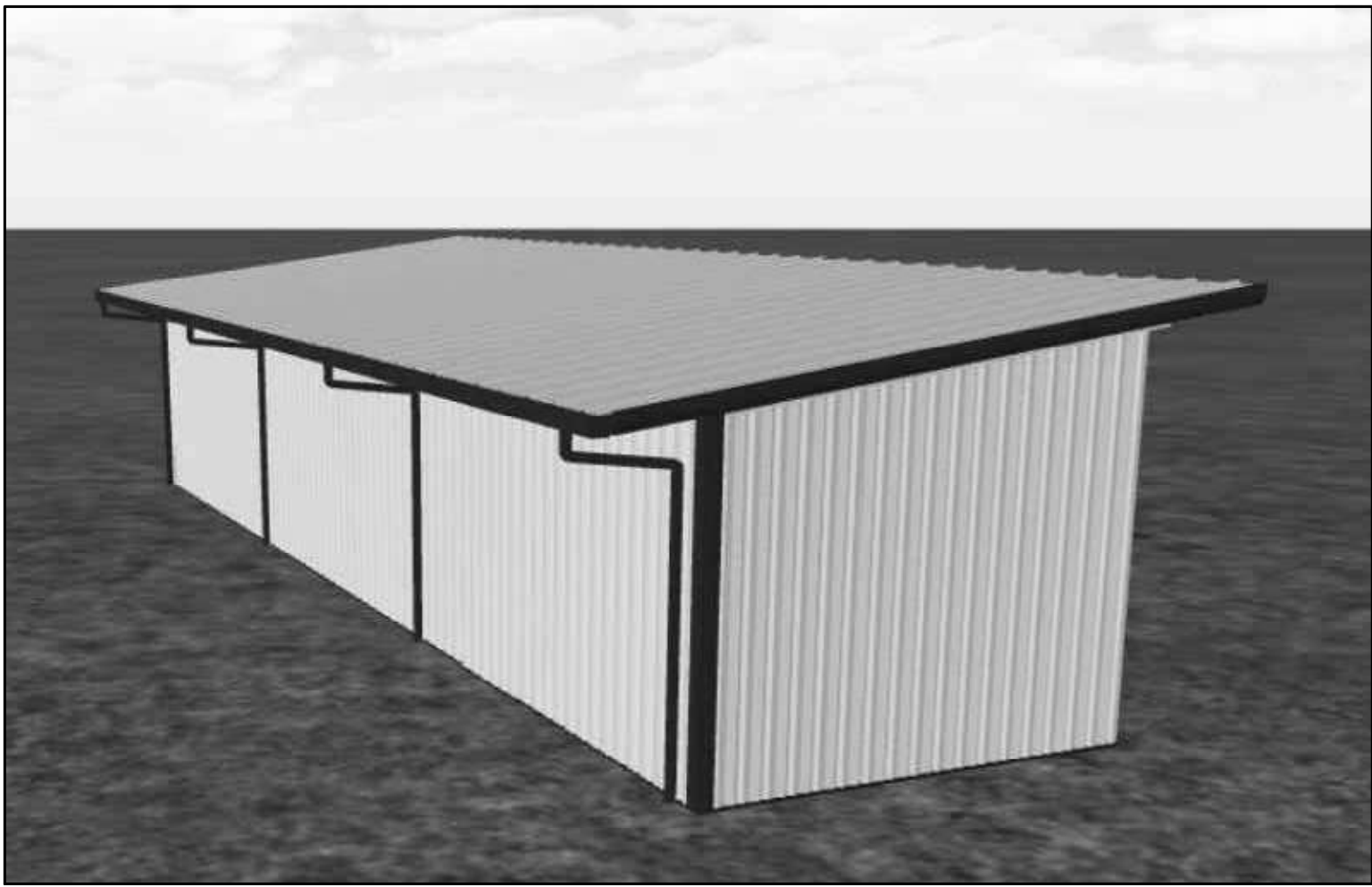




**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 SHED ELEVATIONS AND SECTIONS**  
SCALE: 1/8" = 1'-0"



**3 RENDERING**  
SCALE: NTS

NO.	REVISIONS	DATE



## SITE PHOTOS













