

CODE REQUIREMENTS PER GARDEN CITY, ID

STREET BUFFER:

- * 1 CLASS I TREE PER 50 LINEAL FEET, PLUS 1 ADDITIONAL TREE CLASS II OR III PER EVERY STREET SIDE.

PERIMETER LANDSCAPE REQUIREMENTS:

- * (1) TREE FOR EVERY (15) LINEAR FEET OF PERIMETER LENGTH (OR AS APPROPRIATE TO THE SELECTED SPECIES) TO QUICKLY ESTABLISH CONTINUOUS CANOPY COVERAGE.

PARKING LOT LANDSCAPE REQUIREMENTS:

- * INTERNAL SHADE TREES SHALL BE PROVIDED AT A MINIMUM OF (1) TREE FOR EVERY (5) PARKING SPACES
* NO PARKING SPACE SHOULD BE MORE THAN 100' FROM A TREE.

GENERAL LANDSCAPE REQUIREMENTS:

- * MINIMUM OF 5% OF GROSS SITE AREA SHALL BE LANDSCAPED EXCLUDING SETBACKS OR PERIMETER LANDSCAPING.
- * (1) TREE PER 1,000 SQ. FT. AND (1) SHRUB PER 150 SQ. FT. OF LANDSCAPED AREA.
- * TREES MAY BE SUBSTITUTED FOR UP TO ½ OF THE REQUIRED SHRUBS AT THE RATE OF ONE TREE FOR EVERY 10 SHRUBS AND VICE VERSA.
- * 70% OF LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AT MATURITY.

BIODIVERSITY REQUIREMENTS:

- * 5-10: 2 SPECIES REQ, 11-30: 3 SPECIES REQ, 31-50: 4 SPECIES REQ, 50+: 5 SPECIES REQ.

MINIMUM PLANT SIZES:

PLANT TYPE:

- EVERGREEN TREES: 6'-0" HT. MIN.
- ORNAMENTAL TREES: 2" CALIPER MIN.
- SHADE TREES: 2" CALIPER MIN.
- WOODY SHRUBS: 2 GAL. MIN.

LANDSCAPE MATERIALS LEGEND:



STACK ROCK
GROUP

LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #300A1
Boise, ID 83702
StackRockGroup.com

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JUNIPER SAUNA CO.

202 E. 34TH ST.
GARDEN CITY ID 83714

REVISIONS

MRK	DATE	Description
	**	**

JOB NO:	25-3250
DATE:	11.06.2024
DRAWN BY:	AH
CHECKED BY:	WH

DRAWING TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L100

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS

- 1.1. All contractor work shall be conducted in accordance with ISPMC (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.

2. EXISTING CONDITIONS

- 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
- 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
- 2.3. See Engineer's plans for information about existing features.
- 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.

3. GRADING & SITE PREPARATION

- 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
- 3.2. All gravel overprep to be removed and disposed of off site.
- 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
- 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
- 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
- 3.6. No pooling or standing water will be accepted per industry standards.

4. SOILS

- 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
- 4.2. All planter beds shall receive 18" min depth of screened topsoil.
- 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
- 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
- 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
- 4.3.3. Topsoil shall have a ph of 6.5 to 8.0.
- 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
- 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not

contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.

4.5.

Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.

4.6.

Amend all new plantings with 2 parts topsoil, 1 part compost.

5. LAWN AREAS

- 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
- 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
- 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
- 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
- 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
- 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
- 5.6.1. Install $\frac{3}{4}$ " chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.

6. PLANTER BED MULCH

- 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.

7. PLANTS

- 7.1. All plant material shall be installed per industry standards.
- 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
- 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
- 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
- 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.

8. IRRIGATION

- 8.1. Irrigation system shall be built to the following specifications:
- 8.2. Adhere to city codes when connecting to city water.
- 8.3. All irrigation material to be new with manufacturers' warranty

fully intact.

- 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.

- 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.

- 8.5. All remote control valves (including master control valve) to have flow control device.

- 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.

- 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.

- 8.8. Use common trenching where possible..
- 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.

- 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.

- 8.11. Connect mainline to point of connection in approximate location shown on plan.

- 8.12. Contractor is responsible complying with all codes and paying all permits necessary.

- 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.

- 8.14. All drip irrigation to be buried 2" below finished grade.
- 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.

- 8.16. Install all irrigation per irrigation drawings, utilize material specified or approved equal.
- 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.

- 8.18. If any discrepancies are found, then local codes shall prevail.

9. CONTRACTOR RESPONSIBILITIES
- 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.

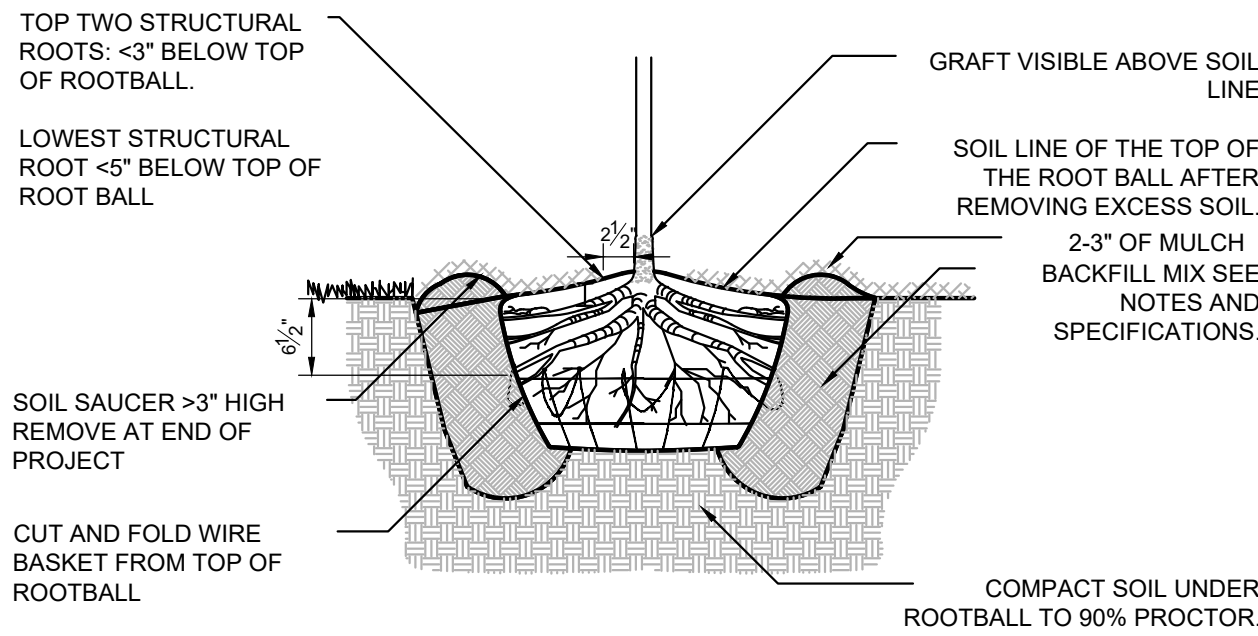
- 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.

- 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by owner's representative.

10. In the event of a discrepancy, notify the Landscape Architect immediately.

NOTES:

1. DO NOT DAMAGE OR CUT LEADER
2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP $\frac{1}{4}$ OF THE ROOTBALL.
6. 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.

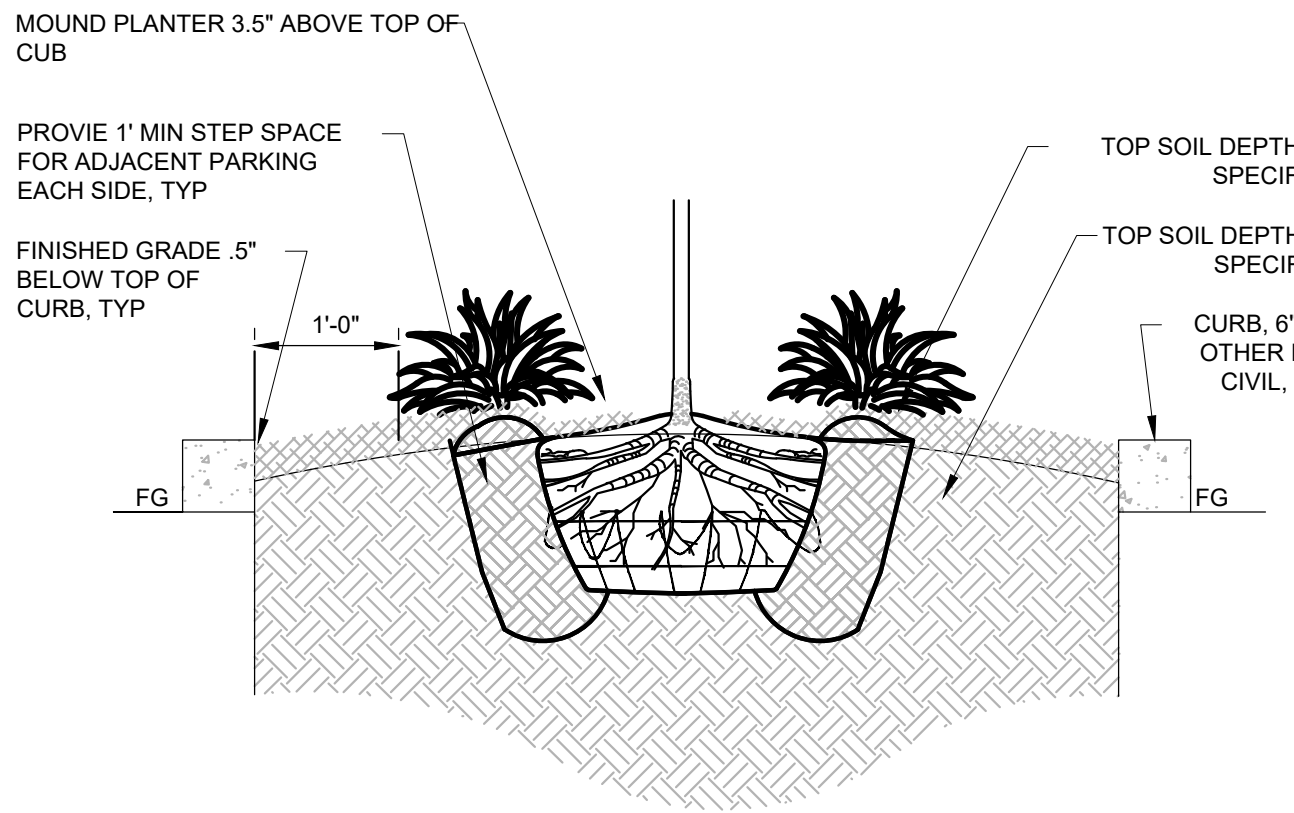


1 BALL & BURLAP TREE PLANTING

3/4" = 1'-0"

3293-01

- NOTE:
- *CURB & ADJACENT PAVEMENT PER CIVIL OR HARDSCAPE PLANS
- *TREE & SHRUB TO BE INSTALLED PER RESPECTIVE DETAILS
- *PLANTS & MULCH PER PLAN

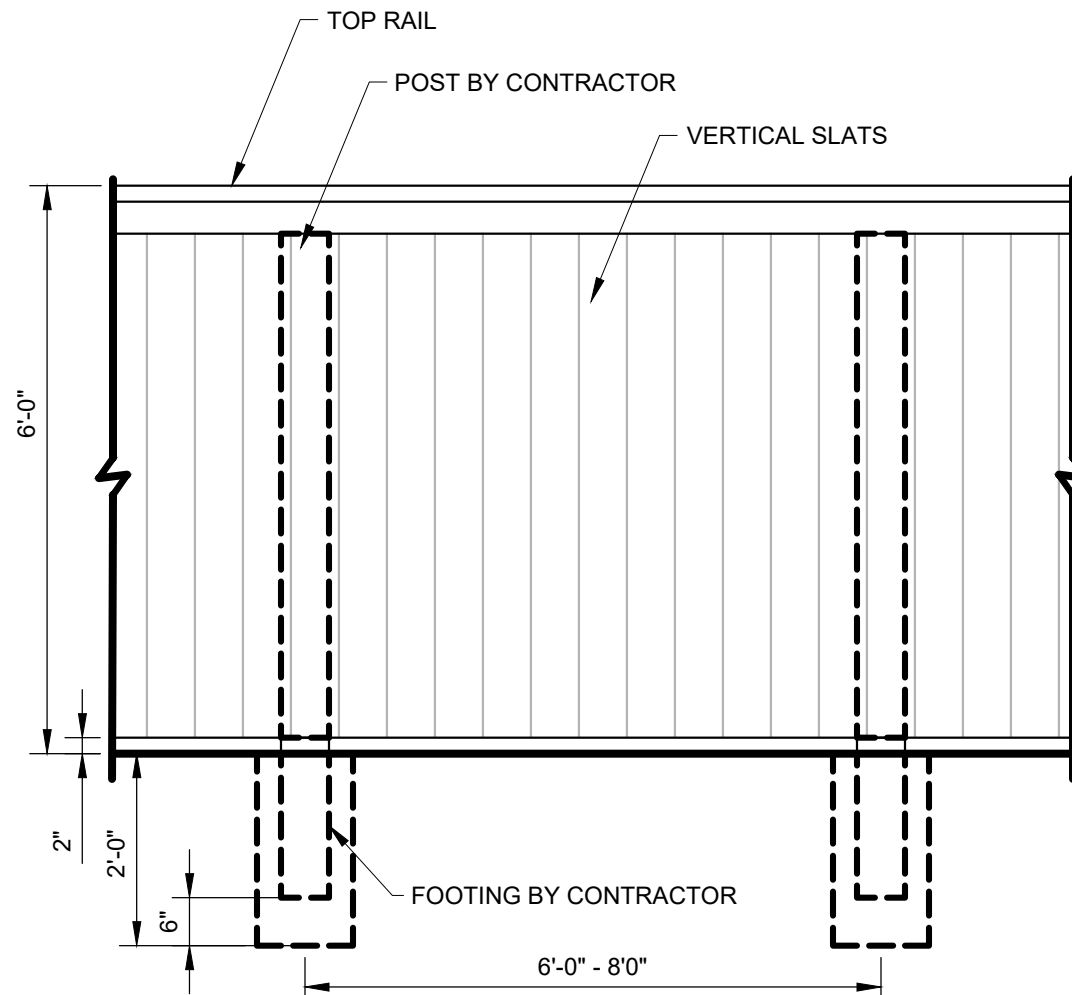


3 PLANTER ISLAND DETAIL

3/4" = 1'-0"

P-CO-01

- NOTE:
- *POSTS, CONNECTIONS, SLATS & FOOTINGS BY CONTRACTOR



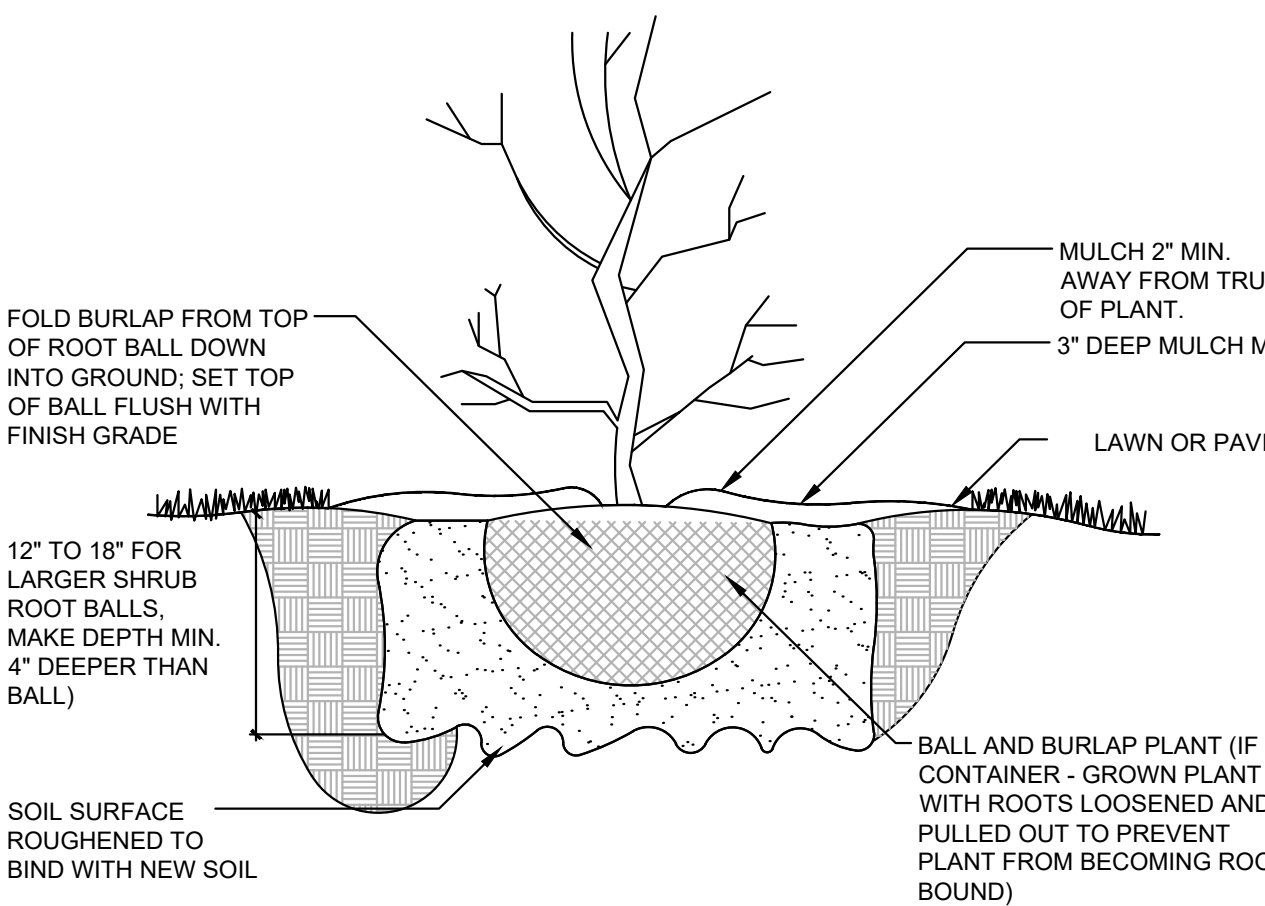
5 6' CLOSED VISION FENCE

1/2" = 1'-0"

323107-02

NOTE:
REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

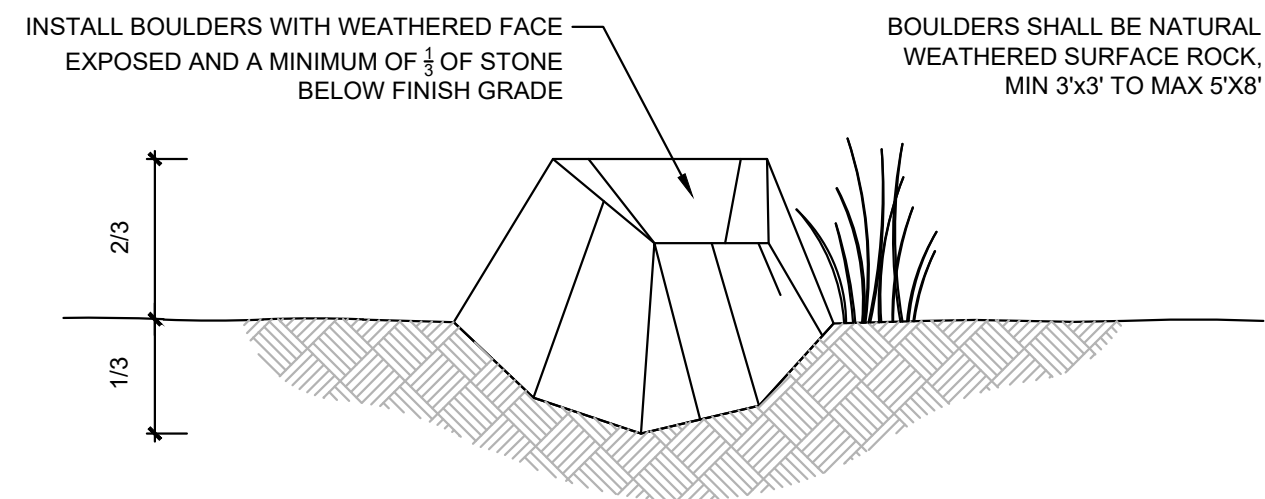
BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 3" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING

1" = 1'-0"

329333-03



4 LANDSCAPE BOULDER PLACEMENT (TYP)

1" = 1'-0"

DETAIL-FILE



LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

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StackRockGroup.com

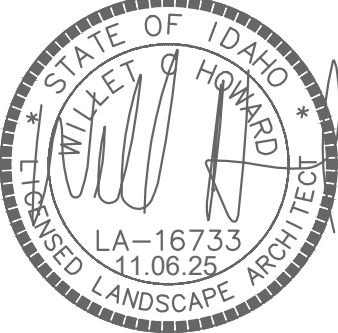
WILLET C HOWARD, PLA
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202 E. 34TH ST.
GARDEN CITY, ID 83714

REVISIONS		
MRK	DATE	Description
△	**	**

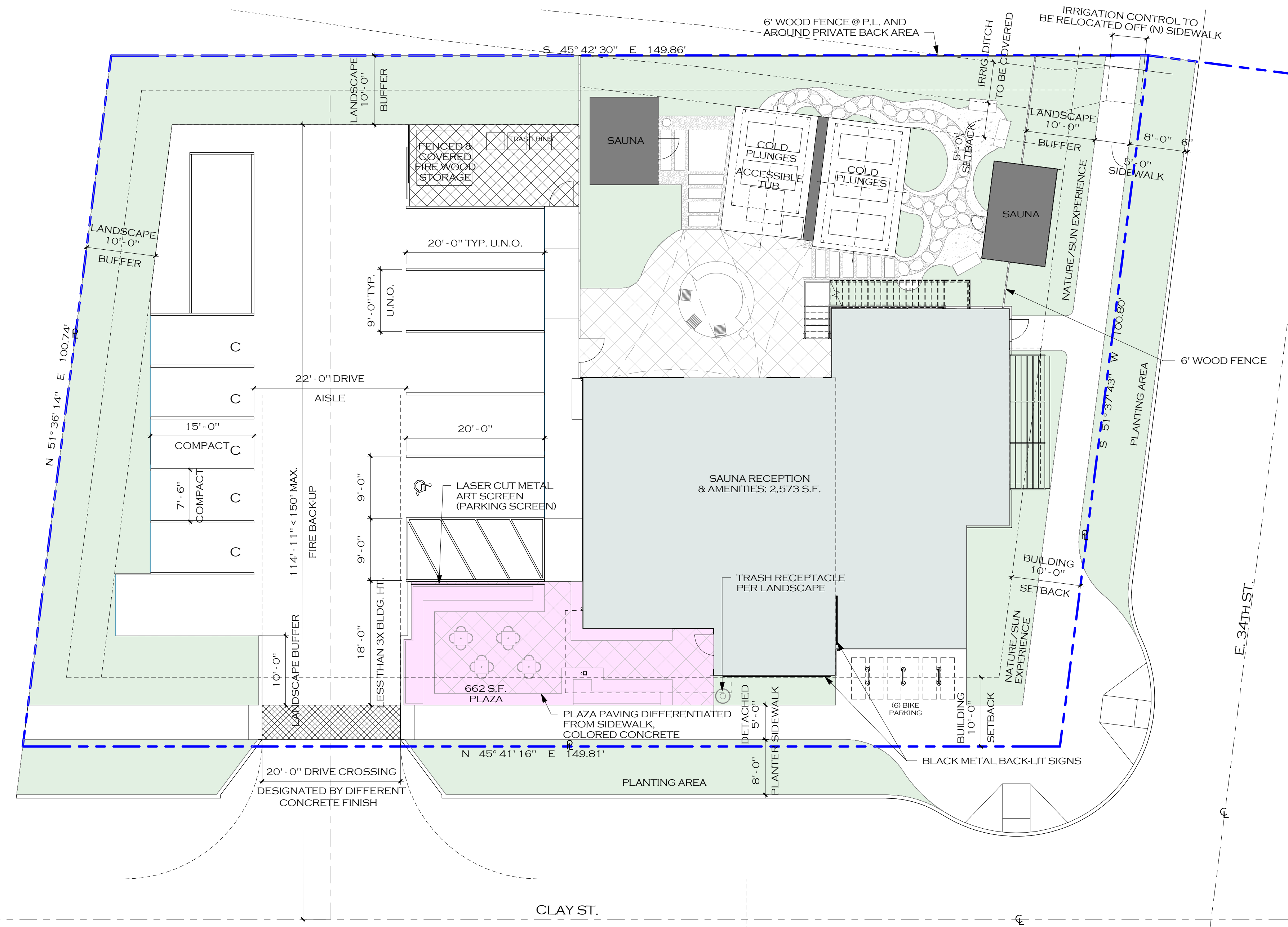
JOB NO: 25-3250
DATE: 11.06.2025
DRAWN BY: AH
CHECKED BY: WH

DRAWING TITLE

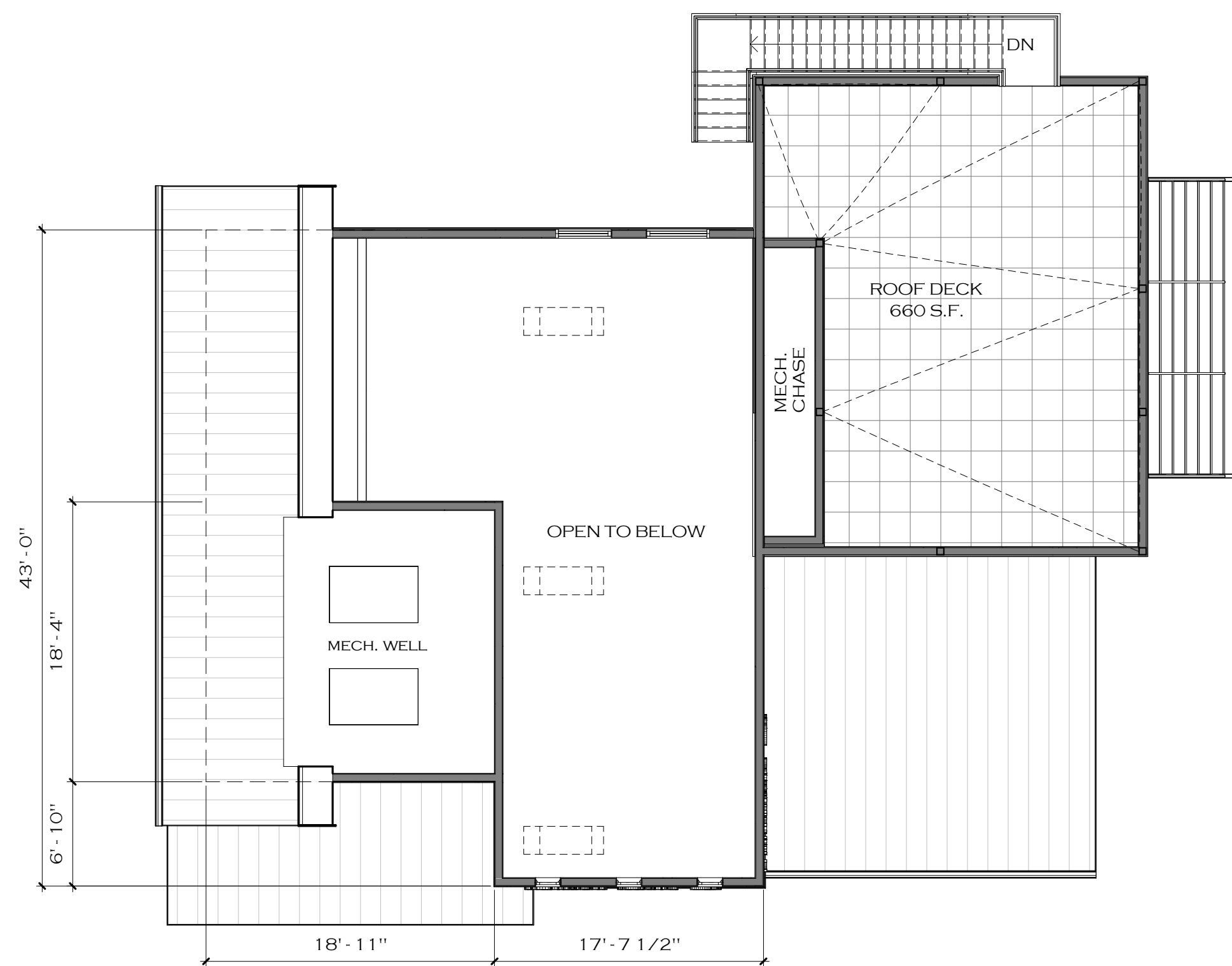
LANDSCAPE
NOTES &
DETAILS

SHEET NUMBER

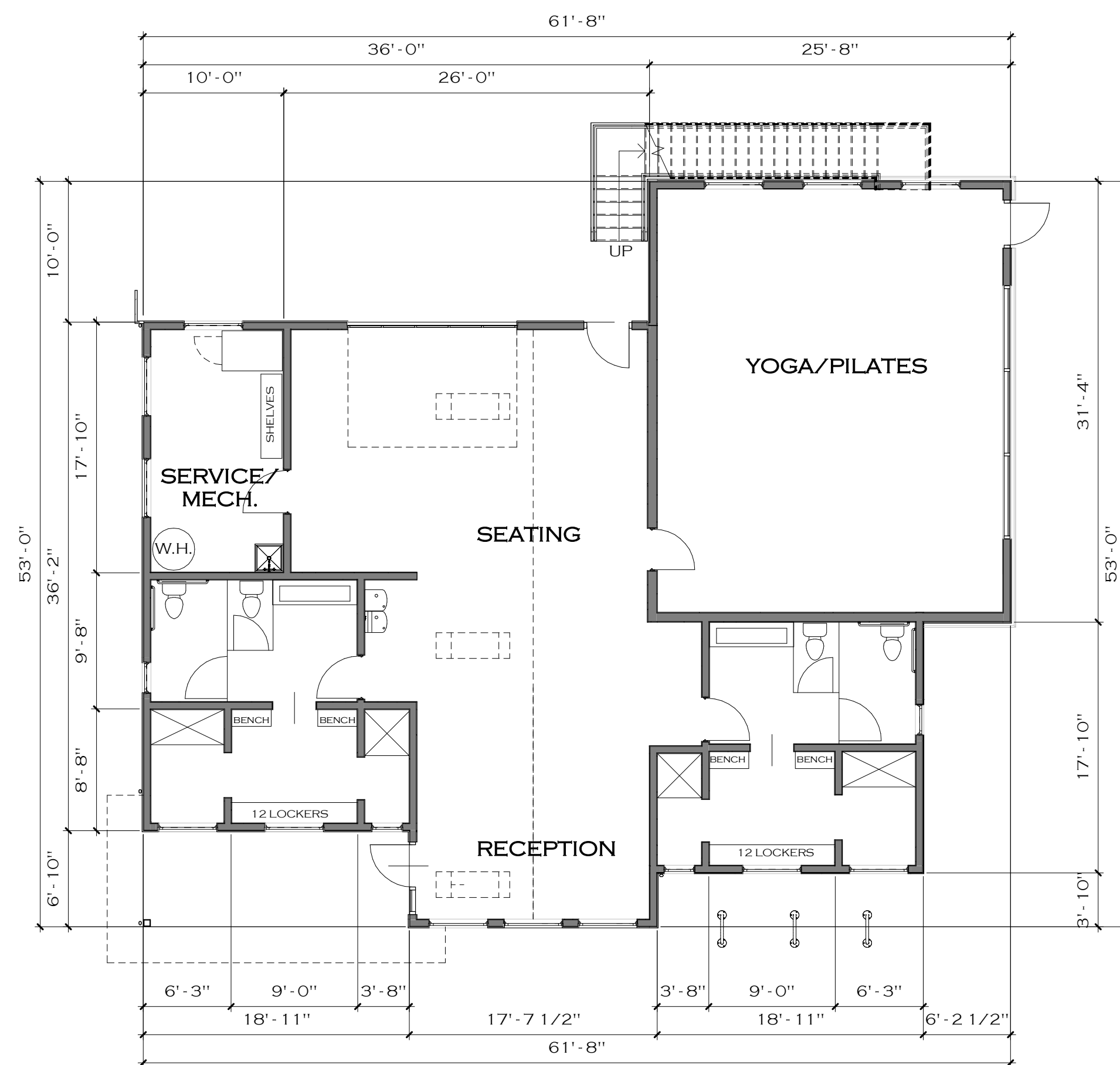
L150



SITE PLAN
SCALE: 1" = 10'-0"



ROOF DECK
SCALE: 1/8" = 1'-0"



CONCEPTUAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT DATA

PROJECT ADDRESS: 202 E 34TH ST
GARDEN CITY, ID 83714

PARCEL NUMBER: R2734540701
ZONING: C-2
ACREAGE: 0.344 AC

NEW ± 2,644 S.F., TWO-STORY STRUCTURE:
(2) NEW SAUNAS: EA. ± 131 S.F.
(2) NEW TRELLISES: EA. ± 200 S.F.
COVERED WOOD STORAGE ± 290 S.F.

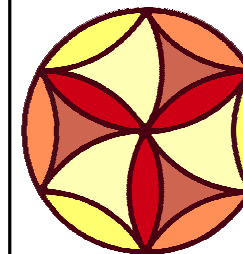
PARKING	REQUIRED	PROVIDED	ACCESSIBLE
VEHICLES	3	13	1
BICYCLE	3	6	

IMPERVIOUS SURFACES 7,893 S.F.
BUILDINGS 2,833 S.F. TOTAL
LANDSCAPING 3,531 S.F.

SEE LANDSCAPE PLANS FOR ALL PROPOSED
LANDSCAPE PLANTING LOCATION

SEE LIGHTING PLAN FOR LOCATION OF PROPOSED
LIGHT FIXTURES

BRIO ARCHITECTURE
SYSTEMS FOR CONSCIOUS LIVING



3313 W. CHERRY LANE #206
MERIDAN, ID 83642
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PROJECT # 250403

JUNIPER SAUNA CO.
202 E. 34TH ST.
GARDEN CITY, ID 83714

SHEET NAME

PLOT DATE

ISSUE DATE 11/06/25

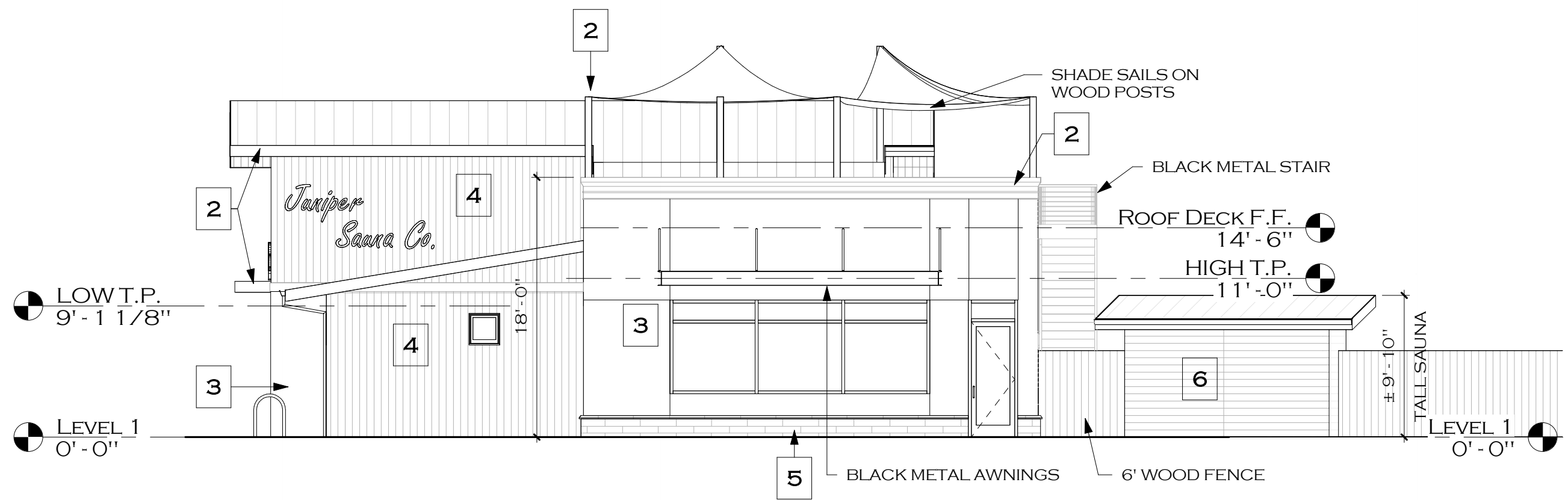
REVISIONS

DESIGN REVIEW

SHEET #

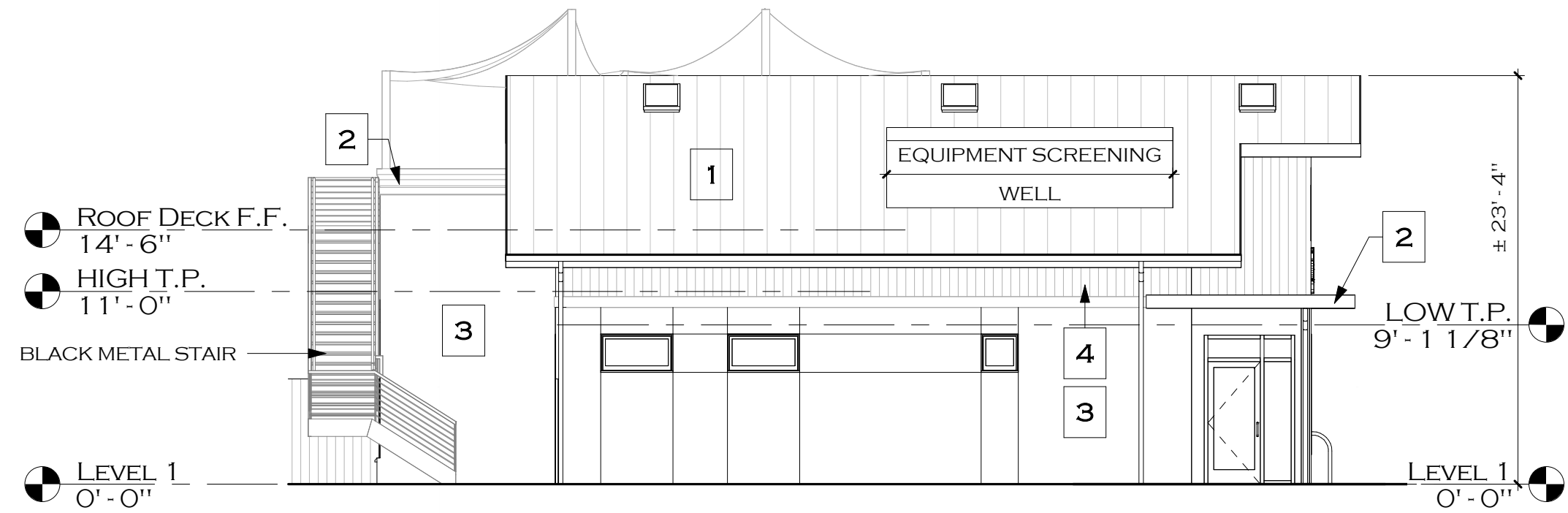
CONCEPTUAL PLANS

A1

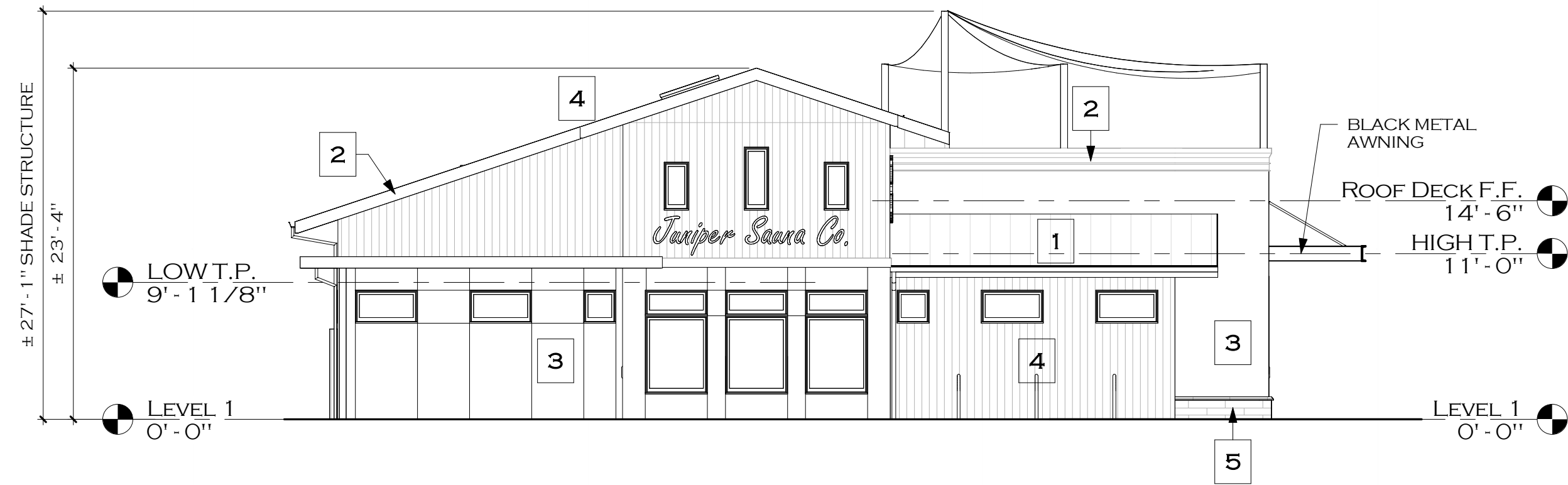


34TH ST
SCALE: 1/8" = 1'-0"

WALL AREA: 720.20 S.F.
OPENINGS: 154.45 S.F. PERCENTAGE OF FACADE OPENINGS: 21.4%

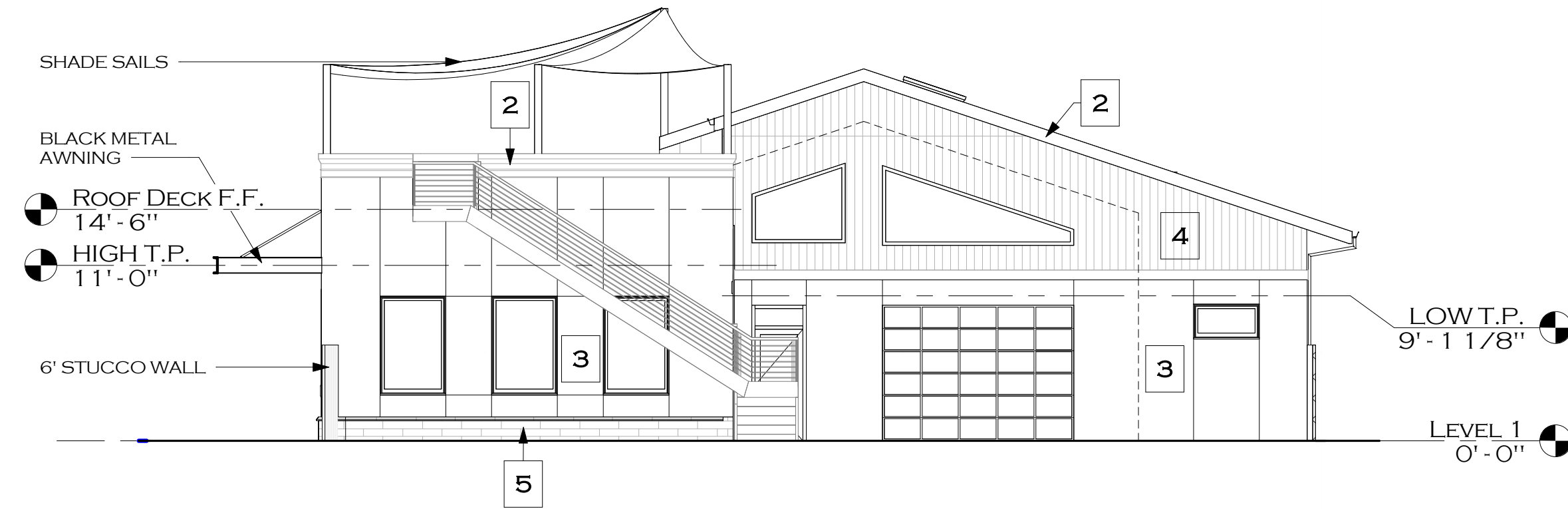


SIDE ELEVATION (PARKING)
SCALE: 1/8" = 1'-0"



CLAY ST.
SCALE: 1/8" = 1'-0"

WALL AREA: 577.28 S.F.
OPENINGS: 130.51 S.F. PERCENTAGE OF FACADE OPENINGS: 22.6%



BACK ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS

- | | | |
|---|--|---|
| 1 | | ROOF
STANDING SEAM METAL
MATTE BLACK |
| 2 | | TRIM
METAL
MATTE BLACK
(TO MATCH ROOFING) |
| 3 | | STUCCO
BLACK
W/ CONTROL JOINTS |
| 4 | | VERTICAL SIDING
FIBER CEMENT
SPRUCE WOOD FINISH |
| 5 | | STONE BASE ELDORADO
VANTAGE 30
WHITE ELM |
| 6 | | SAUNA - HORIZONTAL SIDING
FIBER CEMENT
BLACK FINISH |

STOREFRONT:
EXTERIOR AND
VINYL WINDOW FRAMES: BLACK ANODIZED
WOOD POSTS: DARK OR BLACK OPTION
SHADE SAILS: STAIN TO MATCH SIDING
TAN/LIGHT COLOR

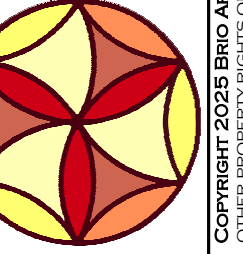


CORNER VIEW



CORNER PERSPECTIVE

BRIO ARCHITECTURE
SYSTEMS FOR CONSCIOUS LIVING



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PROJECT # 250403

JUNIPER SAUNA CO.
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GARDEN CITY, ID 83714

SHEET NAME

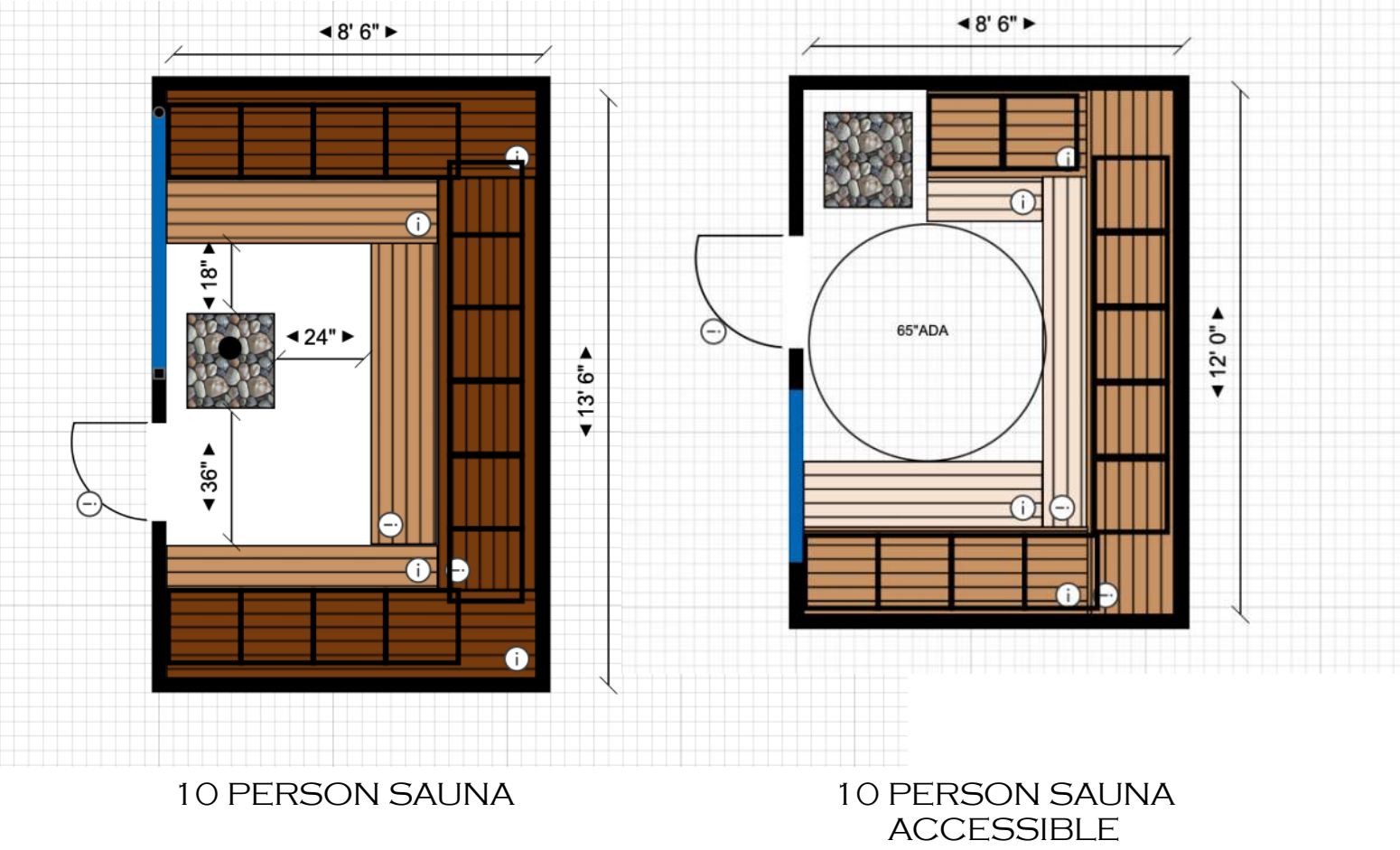
PLOT DATE

ISSUE DATE
11/06/25

REVISIONS

SHEET #

A2



SAUNAS

SCALE: 1/4" = 1'-0"



PROJECT # 250403

JUNIPER SAUNA CO.
202 E. 34TH ST.
GARDEN CITY, ID 83714

SHEET NAME

SAUNAS

PLOT DATE

ISSUE DATE
11/06/25

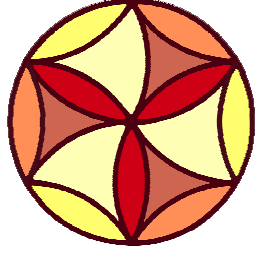
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A3

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Fwd: New Venture in Garden City - Use of Wood Fired Sauna Stoves

From Kyle Mutzel <kyledmutzel@gmail.com>
To Daphne Romani <daphne@brioarchitecture.com>
Cc Chris Mutzel <chris.mutzel@gmail.com>
Date 2025-10-14 09:08

Daphne,
See response from IDEQ regarding wood fired stoves.

Thanks
Kyle

----- Forwarded message -----

From: David Luft <David.Luft@deq.idaho.gov>
Date: Tue, Oct 14, 2025 at 8:27 AM
Subject: RE: New Venture in Garden City - Use of Wood Fired Sauna Stoves
To: Kyle Mutzel <kyledmutzel@gmail.com>

Kyle, mostly correct on the first part. The limit for the wood stoves would be 1,000,000 btu/hr. The 500,000 was based on two stoves. The combined heat input from however many stoves would need to be less than 1,000,000. If it is greater, you may still be able to prove that your emissions are below regulatory concern, which would mean you would be exempt. The 1mm btu is just one existing exemption within the Rules.

On the 2nd part, the Garden City ordinance says wood burning is prohibited at an AQI forecast of 74 or above.

Regards,



David Luft

Air Quality Manager

Idaho Department of Environmental Quality
1445 N Orchard St, Boise, ID 83706
P: (208) 373-0201
www.deq.idaho.gov

From: Kyle Mutzel <kyledmutzel@gmail.com>
Sent: Friday, October 10, 2025 10:43 AM
To: David Luft <David.Luft@deq.idaho.gov>
Cc: Daphne Romani <daphne@brioarchitecture.com>
Subject: Re: New Venture in Garden City - Use of Wood Fired Sauna Stoves

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Hi David,

Thank you for your call the other day regarding this.

I just wanted to have you confirm that the below is what we spoke about regarding our intended use of wood fired sauna stoves:

-If we prove that each sauna stove input is less than 500,000 BTU/hour we will not need another permit for the wood fire sauna stoves

-If the AQI is greater than 74, wood burning stoves are not able to be used (per Garden City Ordinance).

Can you please confirm that I have this right?

Thank you!

Kyle

On Tue, Oct 7, 2025 at 9:49 AM Kyle Mutzel <kyledmutzel@gmail.com> wrote:

Hi David,

Hope you are having a good week.

My brother and I are in the process of starting a new business in Garden City - a sauna/Cold plunge wellness studio (see screenshot below of the site). We intend to have two wood fired saunas (using wood fired stoves) in an outdoor fenced area. Early on in this exploration we were told by the Garden City planning department that our intended use would be permissible and the Boise Fire Department and DOPL also validated this.

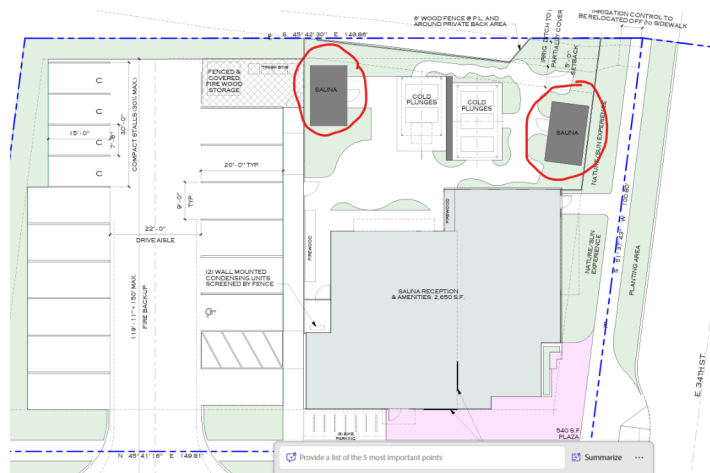
We just had our design review meeting with Garden City and they recommended reaching out to you to double check that using wood stoves is OK. We view them as a differentiator for our business over electric heaters. The stoves we intend to use are [here](#) - ultra efficient, minimal smoke stoves designed for commercial use.

Do you see any issues with this? Please let me know if you have any questions.

Thanks for your time and help.

Kyle Mutzel

425 736 3917



Sauna Stove and Air Quality Memo for Garden City Planners

This memo is meant to address concerns regarding air quality and the use of wood-burning sauna stoves for our proposal at 202 E 34th St.

About wood fire stoves and saunas:

- Owner intends to use wood-fired sauna stoves made by Kuuma Manufacturing, an American-based sauna manufacturer <https://www.lamppakuuma.com/sauna-stoves/>. Kuuma provides UL-listed stoves that are well-tested and have decades of safe operating history in commercial and residential applications.
- About wood stoves:
 - Wood stoves produce smoke most significantly at startup and when the fire is not managed properly, leading to less than complete combustion. Similarly, when wet wood is used, wood-fire stoves produce more smoke.
- Kuuma's newer stoves include a [new "gasification"](#) technique, which burns wood at higher temperatures for an extremely clean-burning effect.
- We expect that when using any wood-fire stove from Kuuma, visual and odorous effects of wood-burning will be minimized and comparable to other local businesses (Push N Pour coffee roaster to north using air scrubber, brewer at ADDRESS, etc). We intend to use a Kuuma's clean-burning gasification stove as allowed for by the fire department for the lowest possible effect on air quality. We will burn only well-dried firewood at prescribed heat/temperature to minimize all neighborhood impacts. Owner will only be starting a fire once per day, so the greatest impact to air quality will be minimized to a 10 minute period at the start of business hours.

Reviews of Smoke/Odor from Kuuma & BlueFlame Sauna Stove:

"....outside of the first 10 minutes, there is no smoke happening with the BluFlame. No smoke...it is hard to tell if the BluFlame sauna stove is burning or not"- [Sauna Times](#)

"....anyone walking by would not realize the sauna had been lit, because no smoke was coming out of the chimney." - [Timbey Jay](#) (public newspaper article on a sauna establishment in MN)

Mitigating Air Quality during Air Quality Emergencies & BTU requirements

- A typical sauna stove generates 25-40,000 Btus of heat per hour.
- Kuuma Large stoves (our planned use) can generate even more, up to 60,000 BTUs/hr
- Owner intends to comply with all [air quality rules](#) and stands from DEQ, specifically we will:
 - Switch to electric or gas modes of heating our saunas during Air Quality Episodes, as required per the rules.
 - When using wood-based heat sources, owner will use two separate Large Kuuma stoves, which combined will be much less than the total 1,000,000 BTU/hr which triggers additional application review by the Idaho Department of Environmental Quality (DEQ)

Wood-Stove Air Quality Specifications

Stove Type	Particulate Emissions (PM2.5)	CO Emissions	Visible Smoke
Kuuma BluFlame (gasification)	<0.5 grams/hour	<0.5 g/hr	Almost zero, even at startup

Responses from Boise Fire Department and Other Departments Regulating the use of Wood-Fired Stoves

[Link to discussion with Fire Department](#)

[Link to discussion with Department of Public Licensing](#)

Other references:

- Kuuma Stove UL listing https://www.pfsteco.com/docs/cert/Hearth_Products_529.pdf
- [Kuuma Stove Quantitative Air Quality](#)
- Video showing no smoke from Kuuma stove during full operation:
 - ▶ [Kuuma BluFlame Sauna Stove Smokeless Burn Cam and Operational Tutorial](#)

Re: JSC: Irrigation Ditch "Approval"

From Wee Boise <weeboise@gmail.com>
To <daphne@brioarchitecture.com>
Cc Will Howard PLA ASLA <will@stackrockgroup.com>, Jason Jones <jj@weeboise.com>, Kyle Mutzel <kyledmutzel@gmail.com>, Chris Mutzel <chris.mutzel@gmail.com>
Date 2025-10-31 11:43

Yeah, Fairview Acres has no problem with piping the ditch at that location. Obviously, the property owners will become responsible for any additional maintenance and repair cost, in accordance with Idaho law, but outside of that disclaimer we are happy to help, and want to make sure our Ditchrider comes and takes a look as the work is being done just to avoid any possible issues.

Sent from my iPad

On Oct 30, 2025, at 5:03 PM, daphne@brioarchitecture.com wrote:

Hello Jason,

I am following up with you after receiving feedback from the the DR Consultation earlier in October.

The Consultants recommended that we fully cover the irrigation ditch within the subject property (instead of the partial covering we were proposing). They also recommended that we get that cleared with Fairview Acres.

Attached please find the revised site plan showing that we are fully covering the irrigation ditch within the property.
Can you please let us know whether this will be an acceptable solution?

Your input is much appreciated.

Thank you

Daphne Romani
Architect
(208)207.9830
(805)259.7462
[brioarchitecture.com](mailto:daphne@brioarchitecture.com)

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On 2025-07-14 09:31, Wee Boise wrote:

Thanks for the plan Daphne, FALWUA is in support of this plan as proposed. Let us know if you need anything from us as you move forward.

Jason Jones
President FALWUA

On Jul 14, 2025, at 9:20 AM, daphne@brioarchitecture.com wrote:

Hello Jason,

Attached is the site plan for your review.

Upper right corner (SE) of the site plan is where the ditch is located and we are planning on partially undergrounding it.

Thank you

Daphne Romani
Architect
(208)207.9830
(805)259.7462
[brioarchitecture.com](mailto:daphne@brioarchitecture.com)

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On 2025-07-14 09:10, Wee Boise wrote:

Of course!

On Mon, Jul 14, 2025 at 9:06 AM Will Howard, PLA, ASLA <will@stackrockgroup.com> wrote:

Jason,



November 6th, 2025

Mariia Antonova
Assistant Planner
Development Services Department,
City of Garden City
6015 Glenwood Street,
Garden City, ID 83714

RE: DSRFY2025 - 0010
Response to DR Comments and Resubmittal narrative

Dear Ms. Antonova,

The following information is included in the DR resubmittal to provide additional information about the revisions made and address all of the comments included in the original staff report and the follow-up Summary e-mail.

From the Original Staff Report

(Number in brackets identifies "Items" from "Summary of Discussion" e-mail)

(1) 8-4A-3 Fences and Walls: The location of the 6' fence along 34th street has been updated to meet the min. requirement of 10' from the back of the sidewalk. Please see Sheet A1 for dimensions. The sauna structure was incorporate into it and the materials continuity and cohesive nature are noted on the plans. See landscape plan for addressed landscape comments.

(2) 8-4A-9 Waterways: Consultants recommended tiling the ditch to the property line. Please find revised site plan reflecting recommendation. Attached please also find the correspondence and approval from Fairview Acres for this update. We attempted to contact the neighbor to communicate this development but were not successful in reaching them.

8-4C-3 Design Provisions for Nonresidential Structures:

(3) Floor Area Ratio (FAR): A second floor roof deck was added to the scope of the building.

This area will function as a "sun deck" to the users of the facility and a partial sun-shade structure is included to provide a second story feel.

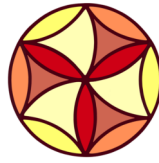
(4) 60% street frontage coverage: Please find revised site plan reflecting compliance with this requirement. The plaza (approx. 662 s.f.) was relocated to the north-west corner of the building, along Clay street bringing the street frontage coverage to 60%.

The street frontage coverage along 34th street also meets the 60% coverage and the materials of the integrated fence and sauna structure form a unified composition.

First Floor Facades: Calculations have been added to the exterior elevations and they exceed the min. requirement of 15% for the Health Club use.

Parking lot screening: The revised site plan is including a screen in the plaza, located between the street and the parking area, and dimensions have been added to

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WWW.BRIOARCHITECTURE.COM



BRIO Architecture

demonstrate compliance with the 10' landscape screening requirement.

Driveway Lanes: The revised site plan is dimensioned and demonstrates compliance with the width requirements of both the drive aisle and the crossing at the sidewalk. Additionally differentiated paving has been indicated.

Pedestrian Pathways: The pedestrian pathways are in compliance and this was confirmed by consultants during meeting.

(5) Building Details: No issue was noted in regards to the building details during the consultation meeting.

Floor plan layout was re-arranged to accommodate for Clay Street pedestrian-scale street engaged fenestration.

8-4C-4 Special Provisions for Specific Non residential Development:

No issue was noted in regards to the building and roofline articulations.

Plaza: Size and dimensions indicated on revised site plan. Artistic screening provided.

8-4I-5 Perimeter Landscaping Provisions: The revised site plan offers revised and dimensioned 10' landscape buffer.

(6) 8-4I-6 Parking Lot Landscaping Provisions: The revised site plan offers revised and dimensioned 10' landscape buffer.

(7) Wood-Fired Sauna Concerns: IDEQ was contacted and written response is attached to this resubmittal. Attached you can also find the wood stove specifications, which are in compliance with IDEQ requirements.

The City of Garden City prohibits wood-burning within the City limits when Air Quality index is 74 or above and for this purpose the Saunas will be equipped with gas and electricity to power alternative heating sources.

Thank you for reviewing this revised submittal.

Should you have any questions while you review the resubmitted plans and documentation. Please do not hesitate to call me (208.207.9830) and I will be happy to assist with any clarification needed.

We are looking forward to hearing back and reaching a positive outcome.

Sincerely

Daphne Romani
Architect, AR-986551