



## DESIGN REVIEW

Permit info: DSRFY2025-0010  
Application Date: 08/14/2025 Re MA  
e'd by: FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921  
▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) • [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
<b>Name:</b> DAPHNE ROMANI	<b>Name:</b> KYLE MUTZEL, CHRIS MUTZEL
<b>Company:</b> BRIO ARCHITECTURE	<b>Company:</b> BOISE SAUNA LAND, LLC
<b>Address:</b> 3313 W. CHERRY LN. #626	<b>Address:</b> 2312 N 20TH ST
<b>City:</b> MERIDIAN	<b>City:</b> BOISE
<b>State:</b> ID <b>Zip:</b> 83642	<b>State:</b> ID <b>Zip:</b> 83702
<b>Tel.:</b> (208) 207.9830	<b>Tel.:</b> 425.736.3917
<b>E-mail:</b> DAPHNE@BRIOARCHITECTURE.COM	<b>E-mail:</b> KYLEDMUTZEL@GMAIL.COM

### PROPERTY AND DESIGN INFORMATION

This application is a request to:  Construct New  Addition  Subdivision

**Site Address:** 202 E 34TH ST GARDEN CITY, ID 83714

<b>Subdivision Name:</b> FAIRVIEW ACRES SUB NO 5	<b>Lot:</b> 1 & 2	<b>Block:</b> 31
<b>Tax Parcel Number:</b> R2734540701	<b>Zoning:</b> C-2	<b>Total Acres:</b> 0.344
<b>Proposed Use:</b> HEALTH CLUB	<b>Floodplain:</b> <input checked="" type="checkbox"/>	<b>No</b>

### OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Daphne Romani 7/14/25 Kyle Mutzel 7/14/25  
Signature of the Applicant (date) Signature of the Owner (date)

#### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED  
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

<input type="checkbox"/> <b>Compliance Statement and Statement of Intent</b>	<input type="checkbox"/> <b>Sustainability Checklist *if applicable</b>
<input type="checkbox"/> <b>Neighborhood Map</b>	<input type="checkbox"/> <b>Trash Disposal Plan</b>
<input type="checkbox"/> <b>Site Plan</b>	<input type="checkbox"/> <b>Colored renderings and/or elevations showing the exterior material composition</b>
<input type="checkbox"/> <b>Landscape Plan</b>	
<input type="checkbox"/> <b>Schematic Drawing</b>	
<input type="checkbox"/> <b>Lighting Plan</b>	
<input type="checkbox"/> <b>Topographic Survey</b>	
<input type="checkbox"/> <b>Grading Plan</b>	
<b>Will Serve Letter **If required, must submit a Fire Flow Request</b>	
<b>Ada County Approved Addresses</b>	
<b>Waiver Request of Application Materials</b>	
<b>Affidavit of Legal Interest</b>	



## PLEASE CHECK THE FOLLOWING:

### INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

N/A  For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas

- Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

**\*Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

**\*Required if irrigation canal/irrigation ditch runs through property or along property lines:**

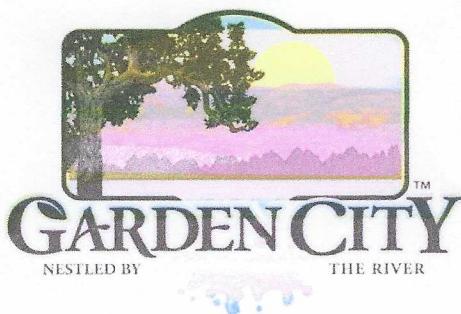
- Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- Statement must include a list of the application materials to be waived and an explanation for the request.

**INFORMATION REQUIRED FOR TRASH DISPOSAL PLAN:**

- Site photo
- Location, configuration, dimensions, type of containers, and number of containers
- Refer to Republic Services Solid Waste Design Standards.



6015 Glenwood Street   Garden City, Idaho 83714  
Phone 208 - 472-2921   Fax 208 - 472-2926  
[www.gardencityidaho.org](http://www.gardencityidaho.org)

## Property Owner Permission (Affidavit of Legal Interest)

State of Idaho )  
 )SS

County of Ada )

I, Kyle Mutze

I, Kyle Mutzel, 2312 N 20th St  
Name Address of Owner

Address of Owner

— Name —

Name \_\_\_\_\_ Address \_\_\_\_\_  
(must be primary owner as noted in Ada County Assessor's records.)

(must be primary owner as noted in Ada County Assessor's records)  
If the primary owner is a business write the business name)

If the primary owner is a business write the business name) Boise Idaho 83702  
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to DAPHNE ROMANI, BRIO ARCHITECTURE  
Name of Applicant  
to submit the accompanying application pertaining to 202 E 34TH ST,  
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 11th day of July, 2025.

Kyle Mutzel

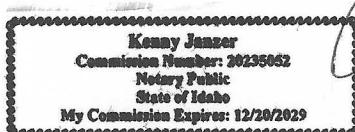
Signature  Printed Name  
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Kenny Tunzer

7/11/2025

~~Notary Public for Idaho~~



Residing at: 1775 W State St. Boise, ID 83702

My Commission expires 12/20/2029



## COMPLIANCE STATEMENT & STATEMENT OF INTENT

JUNIPER SAUNA CO.,  
202 E. 34<sup>TH</sup> STREET  
GARDEN CITY, ID 83714

To Whom It May Concern,

We are proposing to develop the above referenced property with a new commercial structure that will become the headquarters for local business, Juniper Sauna Co., a Health Club. The building will consist of (2) New Commercial spaces for a total of 2,650 s.f.

(2) wood-fired, self-contained Sauna structures and (5) Cold Plunge tubs will be located outdoors in a carefully landscaped exterior yard.

### COMPLIANCE STATEMENT

The zoning for the lot in question falls under the C-2 designation which allows for commercial development and more specifically, allows for "Health Club" use.

The proposed development is a great fit with the City Comprehensive Plan and its goals and objectives as it will improve the image of the City and also emphasize the "Garden" in Garden City with the addition of ample outdoor and landscaped areas.

### OBJECTIVES 8-4C

1. The design of the proposed structure offers appropriate human scale and massing within the urban context, the street scape and the surrounding properties by offering close interaction with the street corner through a public plaza (of approx. 540 s.f.), with direct access to building entrance.  
The maximum building setback is 10' from the property line.
2. The entrance to the building faces Clay st. and is connected to the main parking area through a continuous accessible path.
3. The exterior finish materials used are stucco, factory wood finish fiber cement vertical siding and cultured stone base. Standing seam metal roofing.
4. The notable site feature is its prominent corner location, something the building design takes full advantage of.
5. The building is consistent with the adopted streetscape.

### BIKE AND PEDESTRIAN

The lot is located in the heart of the neighborhood with convenient pedestrian and bicycle access from both the Greenbelt and Chinden Blvd. The closest public transit stop is 0.2 Miles (approx. 350 yards).

Bicycle parking, in excess of the minimum City requirements (8 vs. 3 min.), is conveniently located adjacent to the structure, in proximity to the parking lot driveway and public sidewalk.



## **PARKING AND PARKING LOT STANDARDS**

Access to the parking lot will be through Clay St. and will be located at the back of the new structure, well removed from the street corner. The parking lot frontage along Clay St. will offer an ample landscaped screening buffer from the street. As can be seen from the Landscape plans, parking lot is adequately screened and all the appropriate trees and tree locations are in compliance with the City requirements.

## **COMMUNITY INTERACTION**

The Health Club use is a supportive use to the many living units being developed in the neighborhood and it will offer a gathering space that can promote a sense of community among the area residents and visitors alike.

The project will meet the required 12 points as totaled on the sustainability checklist.

## **LANDSCAPING**

More than 5% of the site will be dedicated to landscaping and the appropriate number of Class II or III are being proposed along the street frontages, per the landscape plan. Landscaping that is compatible with local climatic conditions will be provided and it will be irrigated with a drip type irrigation system.

## **BUILDING DESIGN**

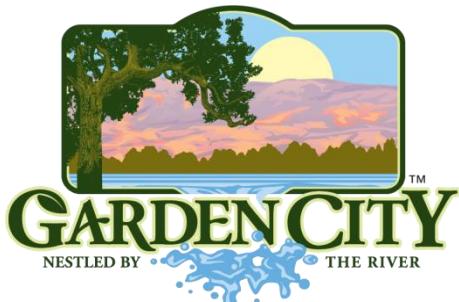
The proposed structure is low-rise, single story and its design is compatible with the surrounding neighborhood. The maximum height of the building is just below 25' with varying height volumes.

The whole structure exhibits coherent volumetric articulation through the use of balanced wall planes and compatible materials throughout to provide architectural interest and neighborhood compatibility.

The exterior finish materials are used to compatibly delineate the different building volumes. The openings will offer a modern slim recessed trim/sill offering articulation and interest to the wall planes. No blank walls are present.

The health club use of this development will aim to merge the indoor and outdoor spaces. Outdoor mechanical equipment will be screened by fences and located towards the parking area.

Overall the building is efficiently located on the SW corner of the lot which also takes advantage of passive solar advantages.



## CITY OF GARDEN CITY

6015 Glenwood Street ▪ Garden City, Idaho 83714  
Phone 208/472-2900 ▪ Fax 208/472-2996

16 June 2025

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **202 East 34<sup>th</sup> Street**  
**Lots 1 & 2, Block 31, FAS#5**  
**Parcel Number R2734540701**  
**Water and Sanitary Sewer Ability to Serve**  
**ATSFY2025-0008**

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water service from the city of Garden City from existing infrastructure.

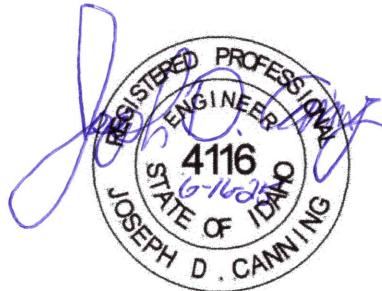
The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 6 June 2025 (fire hydrant #2025) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of line location, grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,

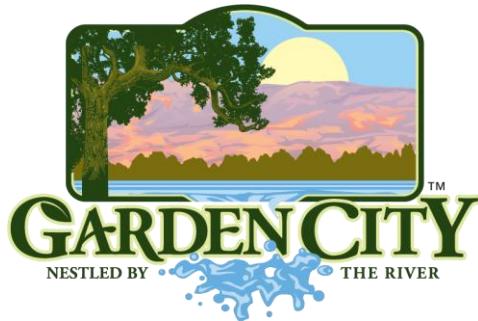


J. D. Canning, PE/PLS  
Centurion Engineers, Inc.  
Garden City Engineer

cc. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

Mr. Chad Vaughn  
Garden City Water Manager  
City of Garden City

Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City



## CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714  
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais  
Boise Fire Department  
333 Mark Stall Place  
Boise, Idaho 83704-0644

June 6, 2025

Subject: Ability to Provide Fire Flows

### **Fire Flow Information:**

Address fire flow requested for: 202 E 34<sup>th</sup> Street

Fire hydrant serving this address: Hydrant #2025

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

### **Sprinkler System Design Information:**

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions, please contact the Garden City permitting desk at 472-2921.

Sincerely,

*Chad Vaughn*

Garden City Public Works Water Division

cc:  
Applicant  
File

## RE: Treasure Valley Development Standards information and best contact.



**From** McDannel, Konrad <KMcdaniel@republicservices.com>  
**To** daphne@brioarchitecture.com <daphne@brioarchitecture.com>  
**Cc** Allen, Gia <GAllen3@republicservices.com>; Stanley, Bryan <BStanley@republicservices.com>; Caldwell, Mike <MCaldwell@republicservices.com>; Pastoor, William <WPastoor@republicservices.com>  
**Date** 2025-04-22 16:30

Hi Daphne,

I appreciate this additional information. The plan you have with Brio would work if the truck could drive forward after service. With that not sounding like an option, I would suggest putting it on the corner at Clay St. This way the truck can service without backing blind into traffic. The truck will hold up a lane of traffic for 1 minute but will be visible to everyone.

**Yes, we can service commercial carts at the curb. I advise** on 2 things with that idea. 1. **Garden City has to approve that as an option.** 2. Consider the possibility that more service is needed than expected. For any reason, including change of business purpose.

Sincerely,

**Konrad McDaniel**

Municipal Marketing Coordinator

11101 W Executive Dr  
Boise, ID 83713  
e [kmcdaniel@republicservices.com](mailto:kmcdaniel@republicservices.com)  
o 2084078290  
w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action

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**From:** daphne@brioarchitecture.com <daphne@brioarchitecture.com>  
**Sent:** Tuesday, April 22, 2025 4:11 PM  
**To:** McDannel, Konrad <KMcdaniel@republicservices.com>  
**Cc:** Allen, Gia <GAllen3@republicservices.com>; Stanley, Bryan <BStanley@republicservices.com>; Caldwell, Mike <MCaldwell@republicservices.com>; Pastoor, William <WPastoor@republicservices.com>  
**Subject:** Re: Treasure Valley Development Standards information and best contact.

---

This Message Is From an Untrusted Sender

[Report Suspicious](#)

You have not previously corresponded with this sender.

Hello Konrad,

Thank you for clarifying this.

The property was approved for development back in 2021, I think, and it was never built.

The land is still vacant and it is on the market. I am working with potential buyers to evaluate whether what they want to develop is feasible and what it would take to meet your standards and the rest of the agencies.

It sounds like all the standards are getting tighter and that the only solution to satisfy your development standards would be to have an alley so you have a continuous one way in and other way out, given that there is not much room for a turnaround.

I am attaching the preliminary site layout we had created to review with the city.

**Are 90 gal bins to put out to the curb not an option available to commercial properties?**

Thank you  
Daphne Romani  
Architect  
(208)207.9830

## Re: JSC: Irrigation Ditch "Approval"



**From** Wee Boise <weeboise@gmail.com>  
**To** <daphne@brioarchitecture.com>  
**Cc** Will Howard PLA ASLA <will@stackrockgroup.com>, Jason Jones <jj@weeboise.com>, Kyle Mutzel <kylemutzel@gmail.com>, Chris Mutzel <chris.mutzel@gmail.com>  
**Date** 2025-07-14 09:31

Thanks for the plan Daphne, FALWUA is in support of this plan as proposed. Let us know if you need anything from us as you move forward.

Jason Jones  
President FALWUA

On Jul 14, 2025, at 9:20 AM, daphne@brioarchitecture.com wrote:

Hello Jason,

Attached is the site plan for your review.

Upper right corner (SE) of the site plan is where the ditch is located and we are planning on partially undergrounding it.

Thank you

Daphne Romani  
Architect  
(208)207.9830  
(805)259.7462  
[brioarchitecture.com](http://brioarchitecture.com)

<67c8715a.png>



## NEIGHBORHOOD MAP

SCALE: 1" = 100'-0"

### IMPACT OF THE PROPOSED SITING:

SINGLE STRUCTURE IS LOCATED AT THE SW CORNER OF THE PROPERTY , FACING 34TH STREET AND CLAY STREET.

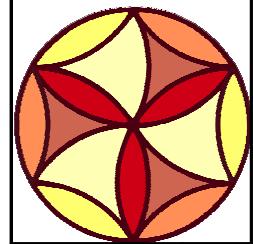
THIS LOCATION IS REMOVED FROM ALL BUILDINGS LOCATED ON ADJACENT PROPERTIES.

THIS LOCATION DOES NOT CAST SHADE ON ANY EXISTING STRUCTURES ON ADJACENT PROPERTIES.

THE PROPERTY TO THE SW, ACROSS FROM CLAY STREET IS CURRENTLY VACANT.

**BRIQ ARCHITECTURE**  
SYSTEMS FOR CONSCIOUS LIVING  
ARCHITECTURE & DESIGN

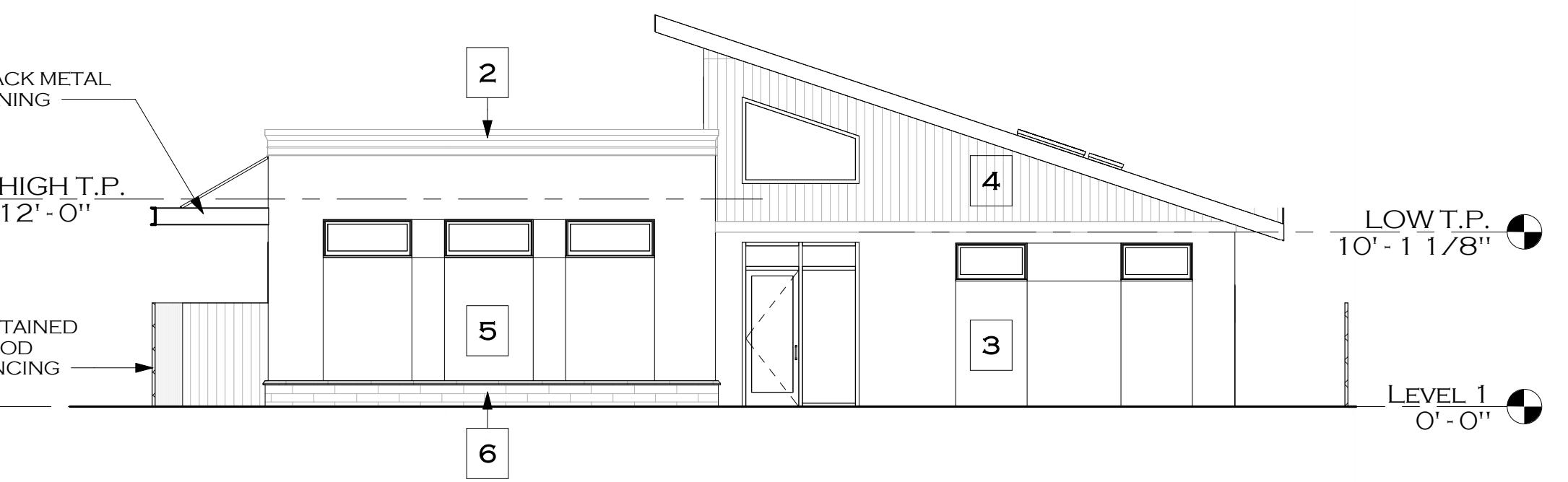
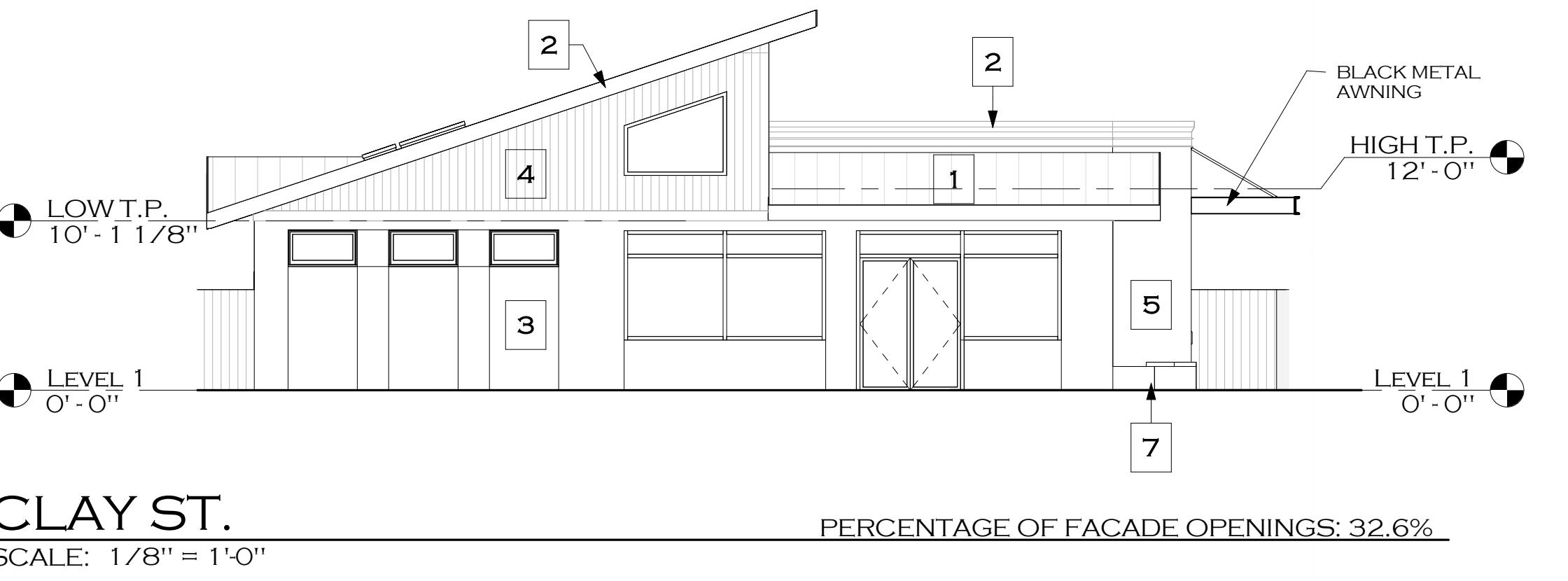
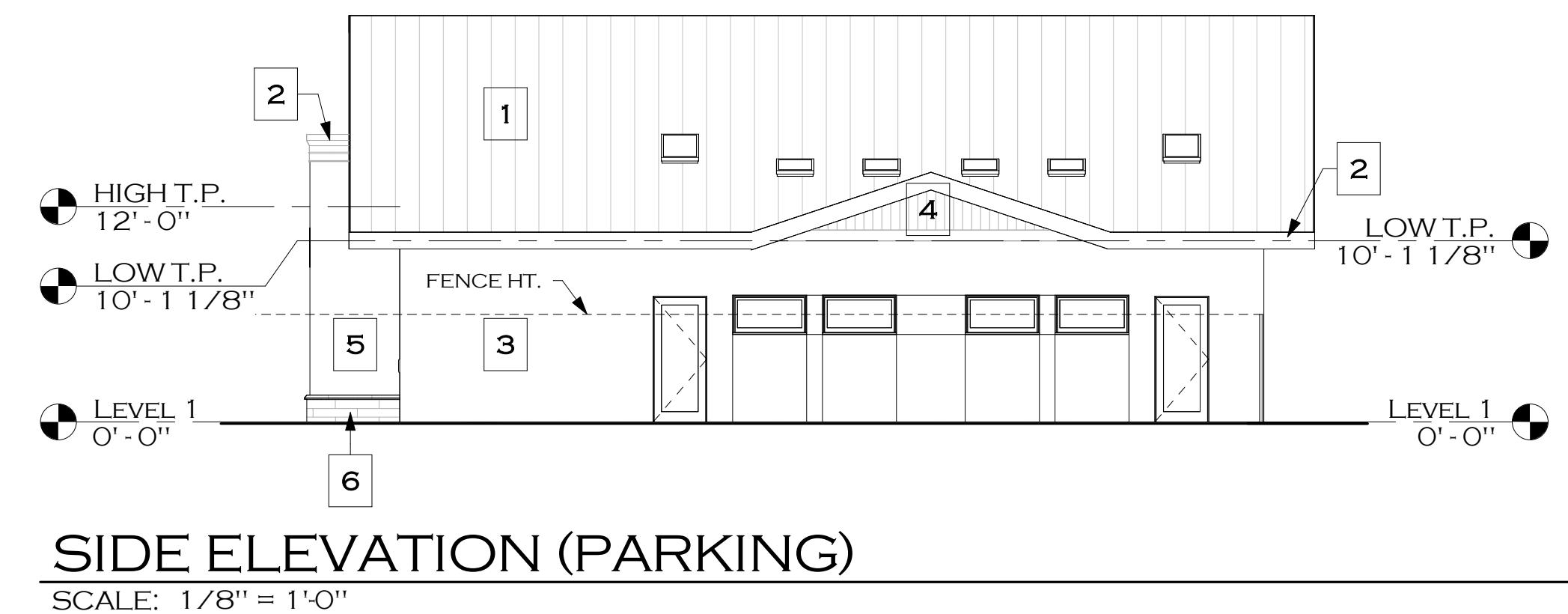
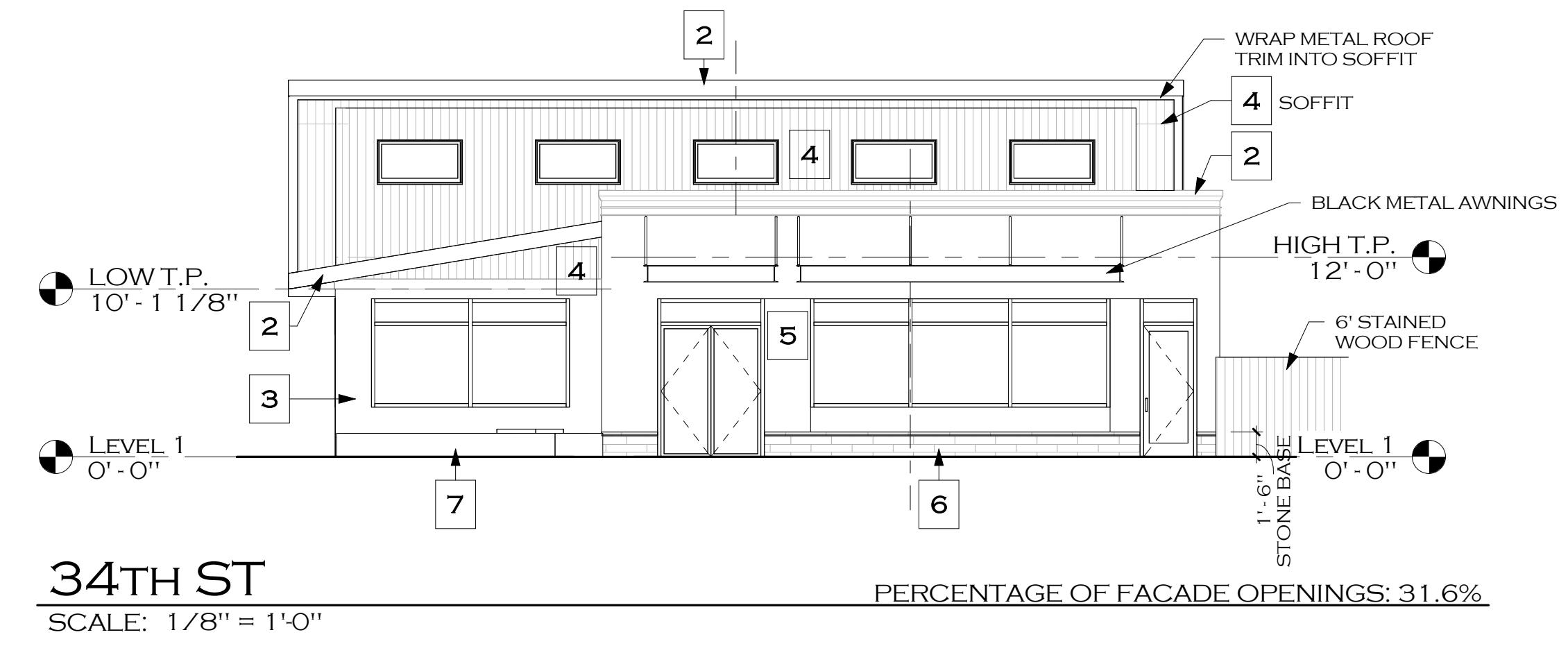
3313 W. CHERRY LANE #626  
MERIDIAN, ID 83642  
(208) 207-9830



JUNIPER SAUNA CO.  
202 E. 34TH ST.  
GARDEN CITY, ID 83714  
NEIGHBORHOOD MAP

NM 08/14/25





CORNER VIEW



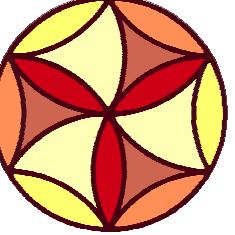
CORNER PERSPECTIVE

## MATERIALS & COLORS

1		ROOF STANDING SEAM METAL MATTE BLACK
2		TRIM METAL MATTE BLACK (TO MATCH ROOFING)
3		STUCCO GRAY W/ CONTROL JOINTS
4		VERTICAL SIDING FIBER CEMENT SPRUCE WOOD FINISH
5		STUCCO BLACK W/ CONTROL JOINTS
6		STONE BASE ELDORADO VANTAGE 30 WHITE ELM
7		CORTEN PLANTER W/ WOOD SEAT

STOREFRONT:  
EXTERIOR AND  
VINYL WINDOW FRAMES: DARK OR BLACK OPTION

**BRIQ ARCHITECTURE**  
SYSTEMS FOR CONSCIOUS LIVING  
ARCHITECTURE & DESIGN



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Architecture.

PROJECT # 250403  
JUNIPER SAUNA CO.  
202 E. 34TH ST.  
GARDEN CITY, ID 83714

BACK ELEVATION

BUILDING EXTERIOR

SHEET NAME

PLOT DATE

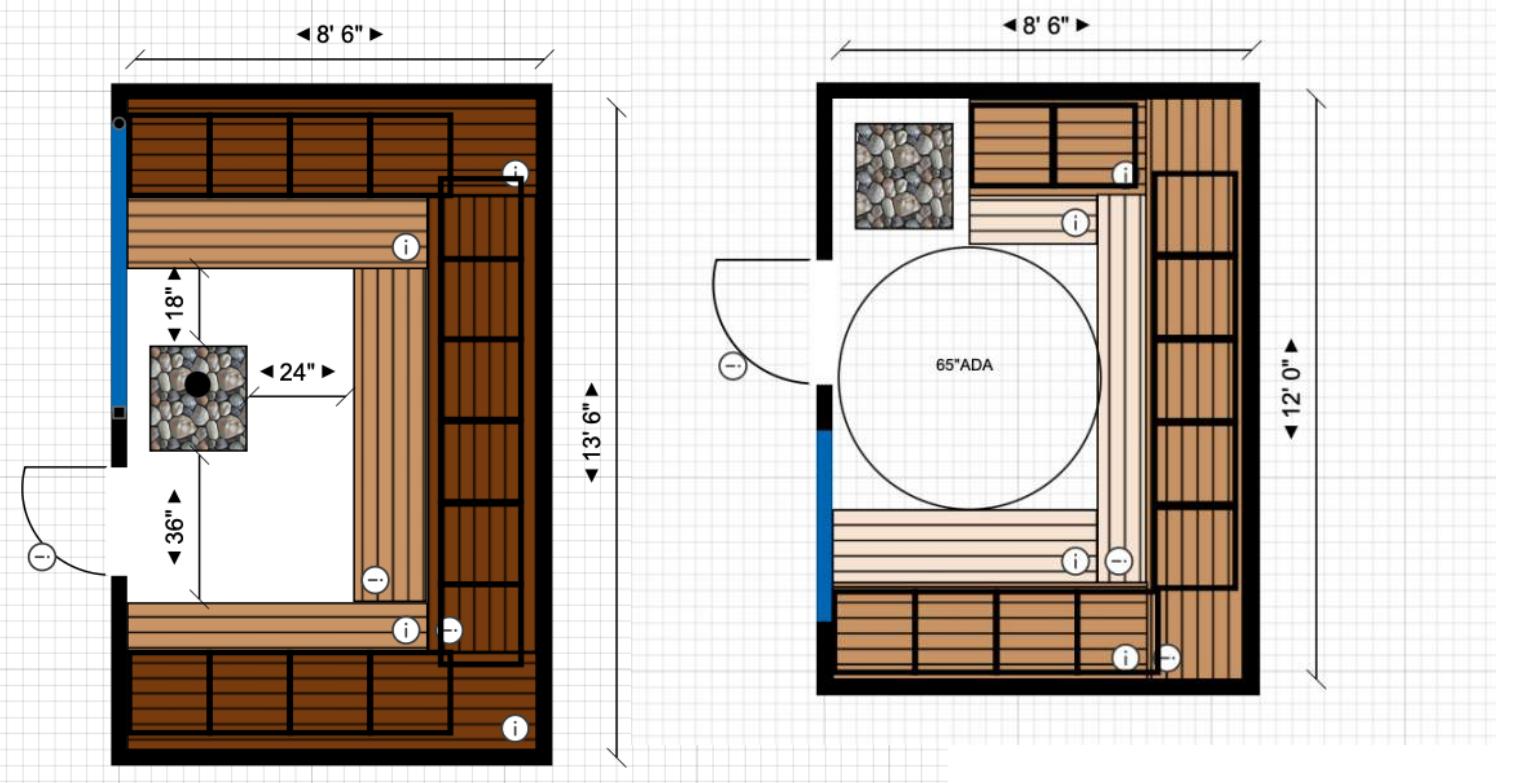
ISSUE DATE

07/14/25

REVISIONS

DESIGN REVIEW  
SHEET #

A2

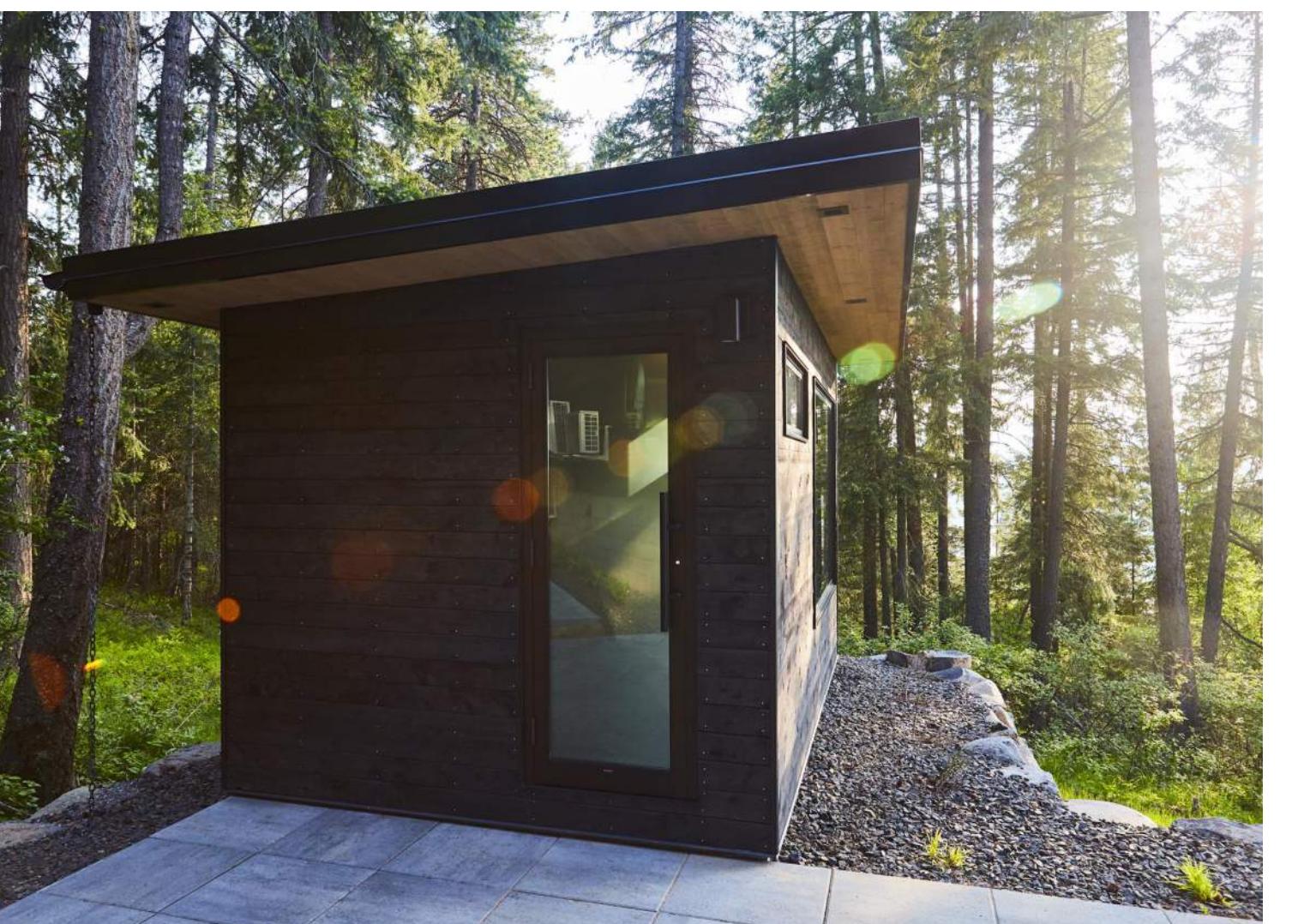


12 PERSON SAUNA

12 PERSON SAUNA  
ACCESSIBLE

## SAUNAS

SCALE: 1/4" = 1'-0"



**BRIQ ARCHITECTURE**  
SYSTEMS FOR CONSCIOUS LIVING  
ARCHITECTURE & DESIGN

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PROJECT # 250403

SHEET NAME SAUNAS

PLOT DATE

ISSUE DATE

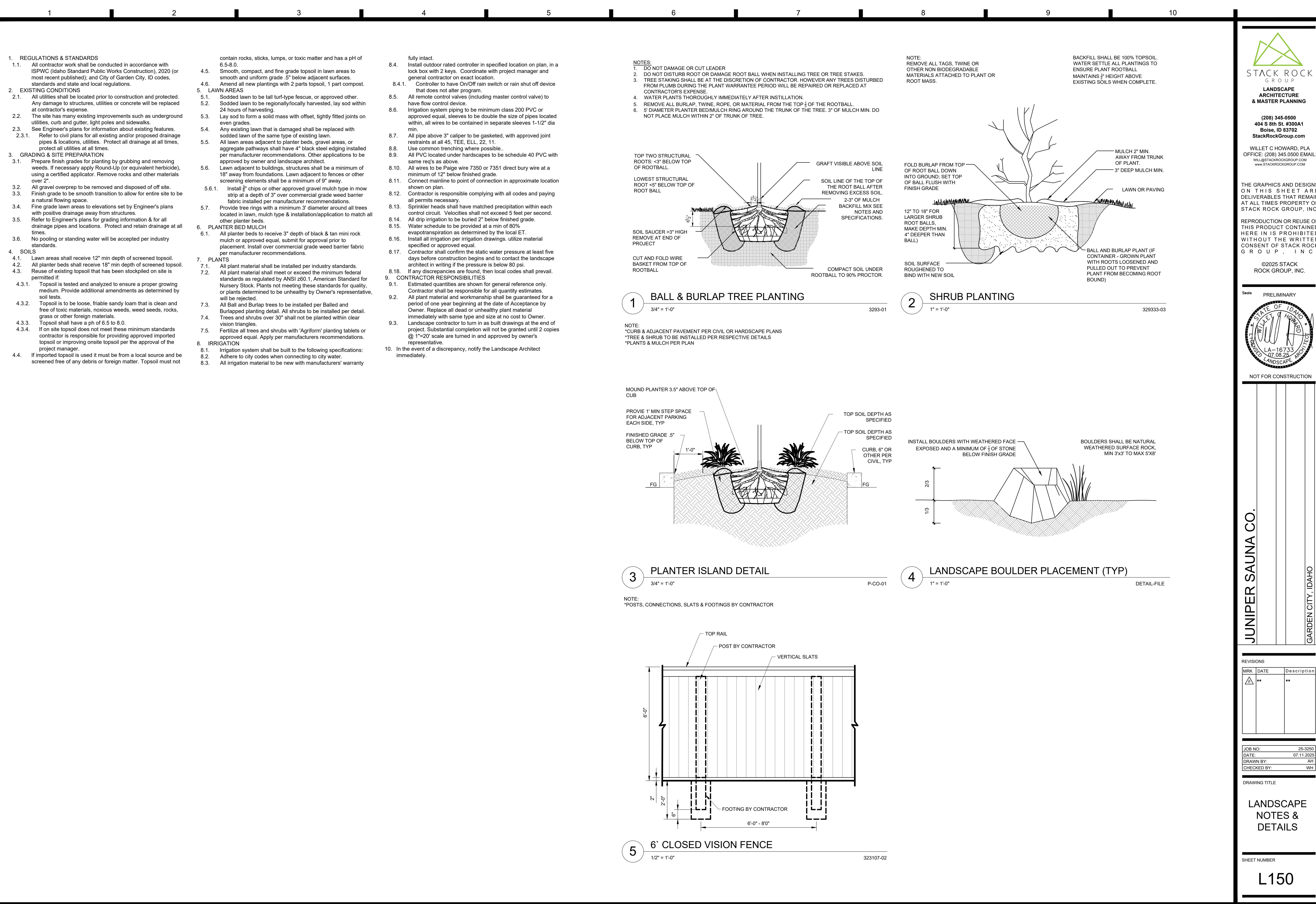
07/14/25

REVISIONS

DESIGN REVIEW  
SHEET #

A3



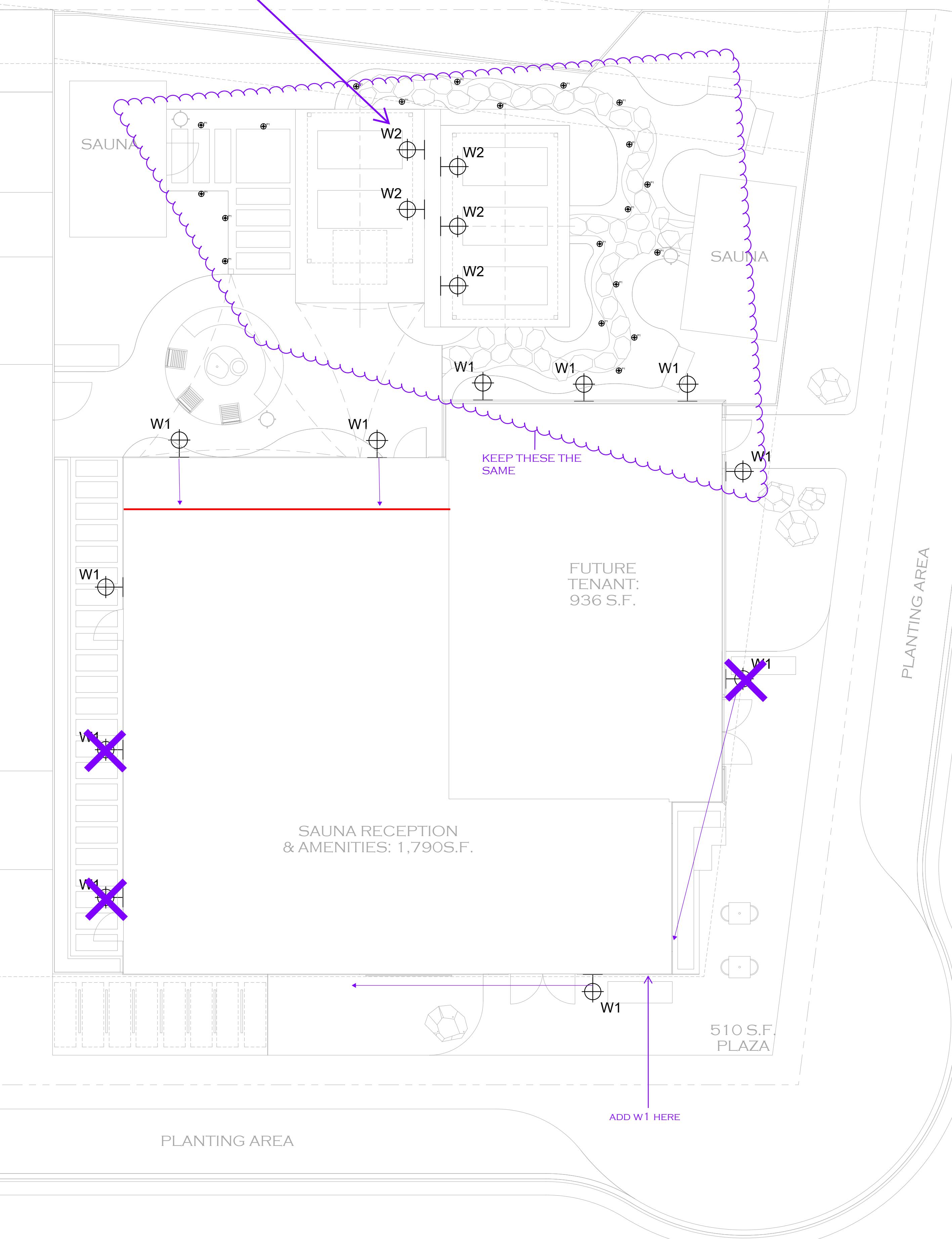




W2: ELVI HOME, INGRID | WATERPROOF WALL LAMP

## PRODUCT SPECIFICATION

- Made from Aluminum
- Size: Square Lamp 5.9" x 5.9" / 15cm x 15cm
- Size: Round Lamp D 5.9" / D 15cm
- Power Source: AC
- Voltage: 90-260V
- Non-Dimmable



---

## JUNIPER SAUNA CO.

**SUPER 3**  
7/14/25

# **LIGHTING PLAN**

**NOT TO SCALE**

NOTE: SEE ATTACHED CUT SHEETS FOR ADDITIONAL FIXTURE INFORMATION

CLAYS

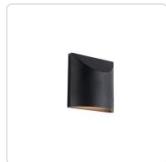
W1

LENOX

EW46308-UNV-3CCT

WALL

PROJECT



EW46308-BK-UNV-  
3CCT  
Black

#### SPECIFICATION DETAILS

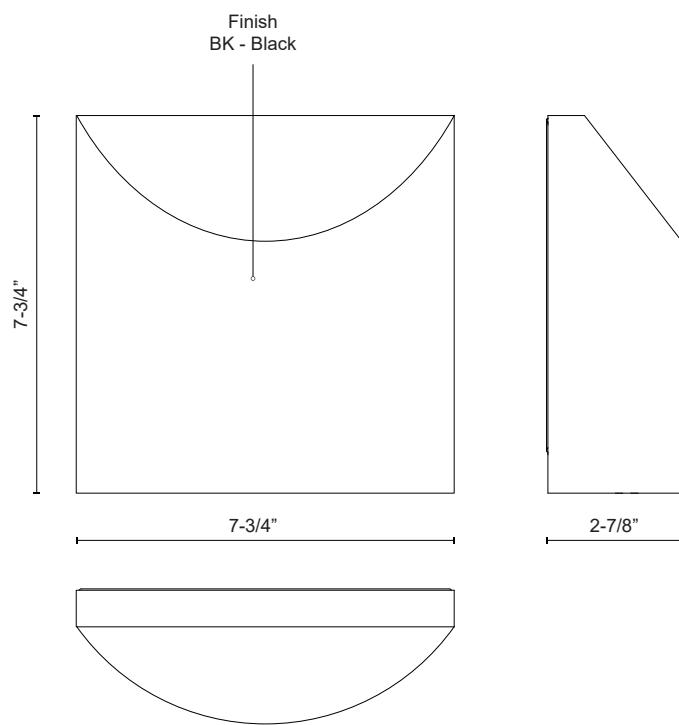
<b>Fixture Dimensions</b>	W7-3/4" x H7-3/4" x E2-7/8"
<b>Height from center</b>	3-7/8"
<b>Light Source</b>	LED with DC Driver
<b>Wattage</b>	20W
<b>Total Lumens</b>	1680lm
<b>Delivered Lumens</b>	BK-1060lm*
<b>Voltage</b>	120-277V
<b>Color Temperature</b>	Selectable CCT 3000K/4000K/5000K
<b>CRI (Ra)</b>	90CRI
<b>LED Rated Life</b>	50,000 hours
<b>Dimming</b>	100% - 10%, TRIAC or ELV Dimmer (Not Included)
<b>Glass Details</b>	Clear Glass
<b>ADA Compliant</b>	Yes
<b>Location</b>	Wet, IP65
<b>Illumination Direction</b>	Down
<b>Mounting Style</b>	Wall Mount, Down Only
<b>Material</b>	Aluminum + Glass
<b>Paint Finish</b>	BK02

\* For custom options, consult factory for details.

\* For warranty information, please visit [www.kuzcolighting.com/warranty](http://www.kuzcolighting.com/warranty)

#### DESCRIPTION

High power LED exterior wall mount fixture intended for use as a downlight. Lenox's die-cast aluminum housing is 8-inch square in its front view, but as the viewer moves to the side the fixture's profile becomes a gently swept curve suggestive of a water drop or perhaps a ship's sail filling with wind. Lenox aimed downwards through its polymeric diffuser lights both the mounting plane and floor. Lenox is available with black finish.



K U Z C O

CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3  
USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081

[WWW.KUZCOLIGHTING.COM](http://WWW.KUZCOLIGHTING.COM)

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#### COMMENT





d"series

A1

# D-Series Size 1 LED Area Luminaire



## Specifications

**EPA:** 0.69 ft<sup>2</sup>  
(0.06 m<sup>2</sup>)

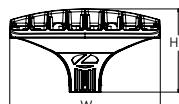
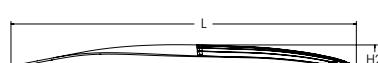
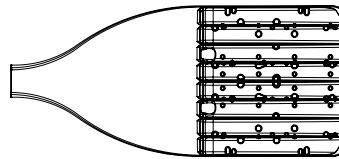
**Length:** 32.71 "  
(83.1 cm)

**Width:** 14.26 "  
(36.2 cm)

**Height H1:** 7.88 "  
(20.0 cm)

**Height H2:** 2.73 "  
(6.9 cm)

**Weight:** 34 lbs  
(15.4 kg)



Design Select options indicated by this color background.

Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect).

\*See ordering tree for details

## Ordering Information

**EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD**

DSX1 LED								
Series	LEDs	Color temperature <sup>2</sup>	Color Rendering Index <sup>2</sup>	Distribution		Voltage	Mounting	
DSX1 LED	<b>Forward optics</b> P1 P6 P2 P7 P3 P8 P4 P9 P5	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K 27K 2700K	70CRI 70CRI 70CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare <sup>3</sup> T4M Type IV medium T4LG Type IV low glare <sup>3</sup> TFTM Forward throw medium	T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control <sup>3</sup> BLC4 Type IV backlight control <sup>3</sup> LCCO Left corner cutoff <sup>3</sup> RCCO Right corner cutoff <sup>3</sup>	MVOLT (120V-277V) <sup>4</sup> HVOLT (347V-480V) <sup>5,6</sup> XVOLT (277V - 480V) <sup>7,8</sup> 120 <sup>16,26</sup> 208 <sup>16,26</sup> 240 <sup>16,26</sup> 277 <sup>16,26</sup> 347 <sup>16,26</sup> 480 <sup>16,26</sup>	<b>Shipped included</b> SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPAS Square pole mounting #5 drilling <sup>9</sup> RPAS Round pole mounting #5 drilling <sup>9</sup> SPA8N Square narrow pole mounting #8 drilling WBA Wall bracket <sup>10</sup> MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	
	<b>Rotated optics</b> P10 <sup>1</sup> P12 <sup>1</sup> P11 <sup>1</sup> P13 <sup>1</sup>	30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI 80CRI 80CRI 80CRI					

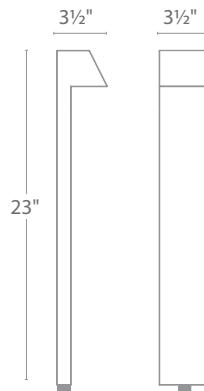
Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. <sup>11,12,20,21</sup> PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. <sup>13,20,21</sup> PER NEMA twist-lock receptacle only (controls ordered separate) <sup>14</sup> PERS Five-pin receptacle only (controls ordered separate) <sup>14,21</sup>	<b>Shipped installed</b> PER7 Seven-pin receptacle only (controls ordered separate) <sup>14,21</sup> FAO Field adjustable output <sup>15,21</sup> BL30 Bi-level switched dimming, 30% <sup>16,21</sup> BL50 Bi-level switched dimming, 50% <sup>16,21</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>17</sup> DS Dual switching <sup>18,19,21</sup>	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

# QUAD LED PATH LIGHT

6091

WAC

LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

## PRODUCT DESCRIPTION

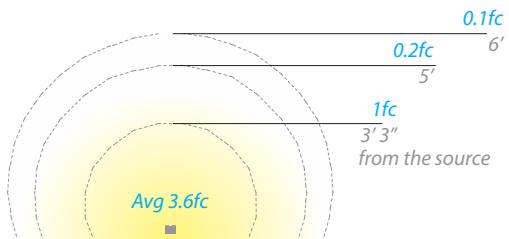
Sleek linear design blends seamlessly into pathways while providing soft, even illumination

## SPECIFICATIONS

<b>Input:</b>	9-15VAC (Transformer is required)
<b>Power:</b>	3.0W / 4.5VA (Use VA value for sizing the transformer and calculate voltage drop.)
<b>Brightness:</b>	Up to 100 lm
<b>CRI:</b>	90
<b>Rated Life:</b>	60,000 hours

## FEATURES

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Solid diecast corrosion resistant aluminum alloy
- Recommended spacing for installation: Residential 8 to 10ft; Commercial: 5 to 7ft
- Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
- Maintains constant lumen output against voltage drop
- UL & cUL 1838 Listed



## ORDERING NUMBER

		Color Temp	Finish
6091	Quad	<b>27</b> 2700K Warm White <b>30</b> 3000K Pure White	<b>BZ</b> Bronze on Aluminum

**6091-\_\_\_\_\_BZ**

Example: **6091-30BZ**

waclighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters, East Manufacturing Facility

44 Harbor Park Drive

Port Washington, NY 11050

South East Manufacturing Facility

1600 Distribution Ct

Lithia Springs, GA 30122

Central Manufacturing Facility

1700 South J Elmer Freeway, Ste 100

Cedar Hill, TX 75104

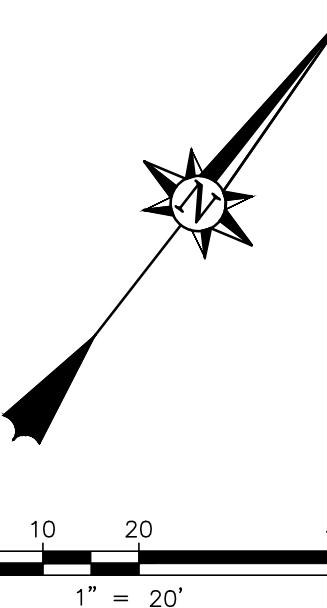
West Manufacturing Facility

1750 S Archibald Ave

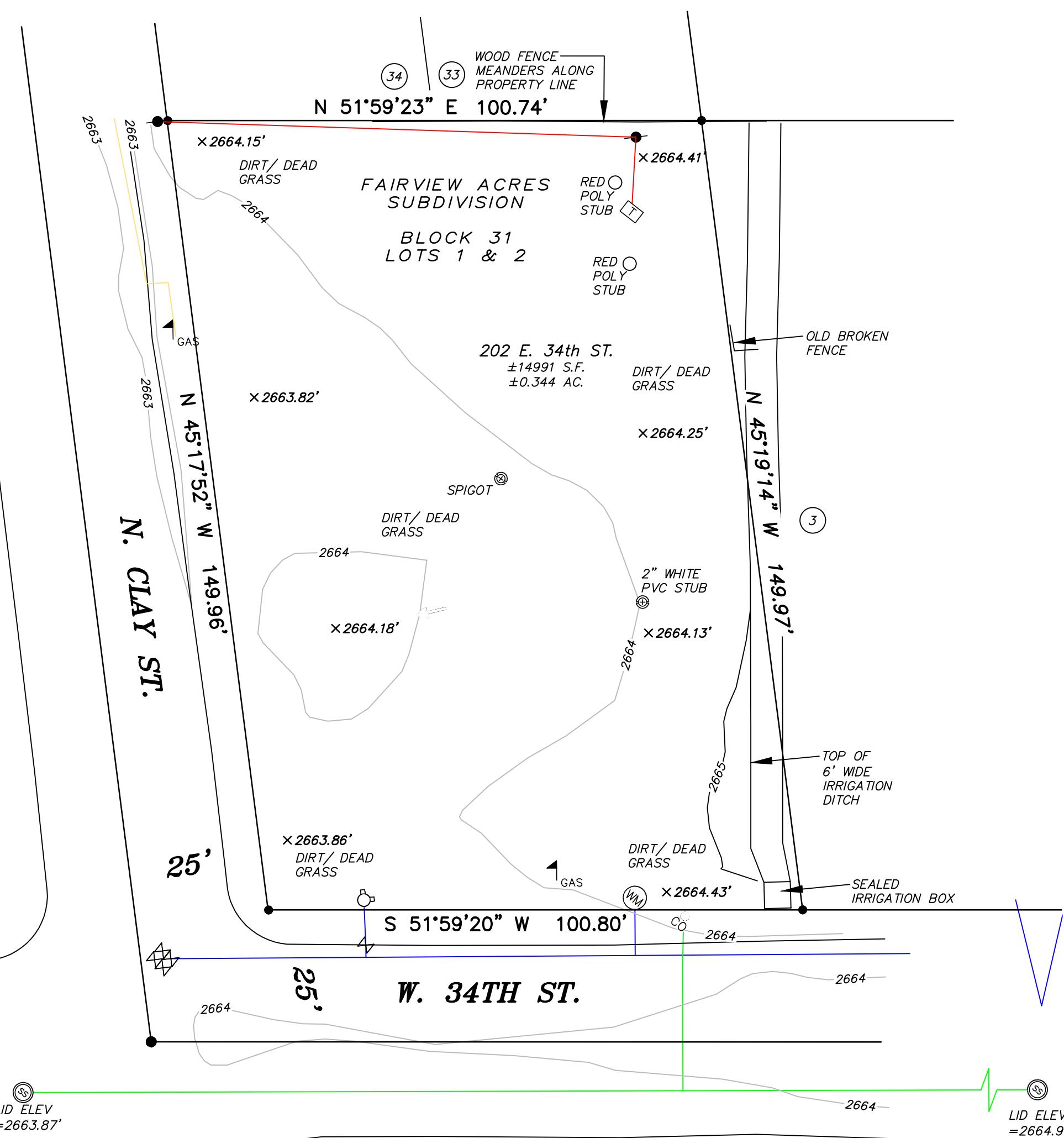
Ontario, CA 91761

# TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY FOR PROVOST & PRITCHARD CONSULTING GROUP,  
LOTS 1 & 2, BLOCK 31, FAIRVIEW ACRES SUBDIVISION,  
BOOK 11 OF PLATS, PAGE 619, ADA COUNTY RECORDS.  
LYING WITHIN GOVT. LOT 11 OF SECTION 05, T.3N., R.2E., B.M.  
CITY OF GARDEN CITY — ADA COUNTY — STATE OF IDAHO



## *LEGEND*



## ***MAPPING NOTES***

1. ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM.



# ACCURATE SURVEYING & MAPPING



JOB NO.  
25-193

---

DRAWN BY:  
SKR

---

SHEET:  
1 OF 1

# PRELIMINARY GRADING PLAN

## LEGAL DESCRIPTION:

A parcel of land being all of Lot 1 and all of Lot 2 of Block 31 of Fairview Acres Subdivision No. 5 as on file in Book 11 of Plats at Page 619 in the office of the recorder for Ada County, Idaho as shown on Record of Survey No. 13105, on file under Instrument No. 2021-152747 in said office of the recorder for Ada County, Idaho, said parcel being situated in the SE1/4 of Section 5, Township 3 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho and more particularly described as follows:

BEGINNING at the Southerly corner of said Lot 1, marked by an iron pin; thence along the Southwesterly line of said Lot 1

North 45°41'16" West 149.81 feet (formerly 150 feet) to the Westerly corner of said Lot 1, marked by an iron pin;

thence along the Northwesterly lines of said Lot 1 and said Lot 2

North 51°36'14" East 100.74 feet (formerly 100.8 feet) to the Northerly corner of said Lot 2, marked by an iron pin; thence along the Northeasterly line of said Lot 2

South 45°42'30" East 149.86 feet (formerly 150 feet) to the Easterly corner of said Lot 2, marked by an iron pin; thence along the Southeasterly lines of said Lot 2 and said Lot 1

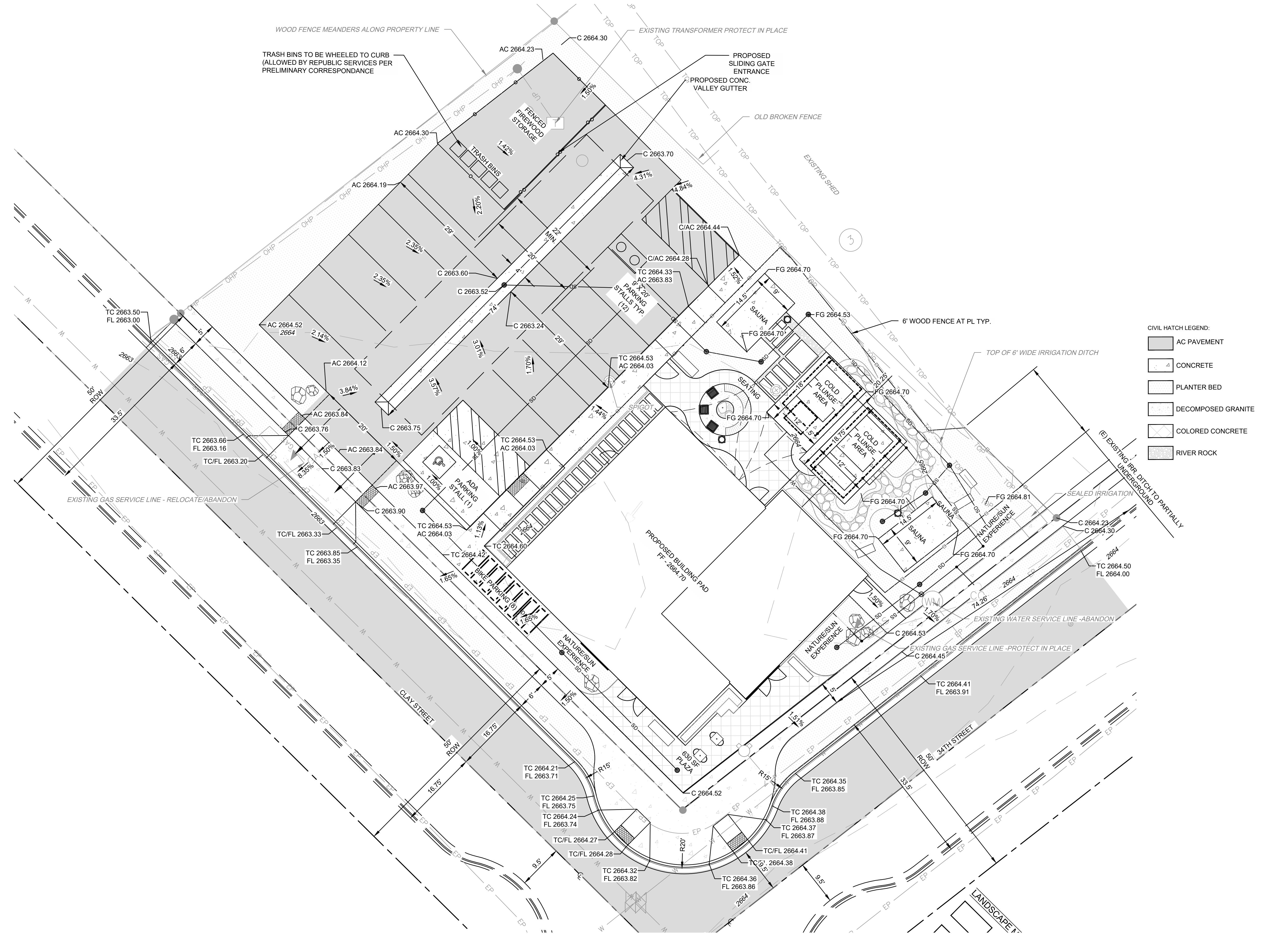
South 51°37'43" West 100.80 feet to the POINT OF BEGINNING.

## GENERAL NOTES

- DETAILS AND NOTES ON TYPICAL SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OTHERWISE. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.
- SHOP DRAWINGS FOR THIS CONTRACT SHALL BE COORDINATED WITH FAVORABLY REVIEWED EQUIPMENT MANUFACTURER'S DRAWINGS.
- DIMENSIONS NOTED WITH AN ASTERISK \*\*\* ARE TO BE COORDINATED WITH FAVORABLY REVIEWED EQUIPMENT MANUFACTURER'S DRAWINGS.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK OR FABRICATION. IF ANY CONDITION EXISTS THAT IS NOT AS SHOWN ON THE DRAWINGS THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.
- THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER, HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS.
- ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTOR(S) USING MATERIALS AND METHODS IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE 2025 IDAHO STANDARDS FOR PUBLIC WORKS (ISPWC), LOCAL CODES AND ORDINANCES. REPORT ALL DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
- ANY CHANGES TO THE APPROVED SET OF PLANS WITHOUT NOTIFYING THE ENGINEER PRIOR TO SUCH CHANGES ABSOLVES SAID ENGINEER FROM ANY AND ALL RESPONSIBILITY WITH RESPECT TO THE LIABILITY, DAMAGE OR EXTRA WORK RESULTING FROM SAID CHANGES.
- BUILDING PERMITS MUST BE OBTAINED BEFORE STARTING CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE LATEST APPLICABLE CONSTRUCTION SAFETY REQUIREMENTS OF OSHA AND ANY OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION.
- THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER OR FIELD REPRESENTATIVES DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTRACTOR'S WORK. SUPPORT SERVICES SHALL BE PROVIDED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

## DRAINAGE NOTE

- THE DRAINAGE INFILTRATION DESIGN IS PRELIMINARY PENDING REVIEW OF FINAL GEOTECHNICAL REPORT.



PRELIMINARY GRADING PLAN  
Fairview Acres Subdivision No. 5  
Lot 1 & 2  
Garden City, Idaho  
Sheet 1 of 1

PRELIMINARY  
NOT FOR CONSTRUCTION  
07/02/2025

REVISION  
No.

BY  
DATE

Juniper Sauna Co.  
PREPARED FOR:  
BRIOT ARCHITECTURE  
202 E 34TH ST  
GARDEN CITY, ID 83714  
CIVIL SITE PLAN

PROVOST &  
PRITCHARD

1901 S. EAGLE ROAD, SUITE 140  
MERIDIAN, ID 83642  
PHONE: (860) 770-4500  
www.provostandpritchard.com

DESIGN ENGINEER:  
MJB  
LICENSE NO.: P-21329  
DRAFTED BY:  
RIR  
DATE: 07/09/2025  
JOB NO.: 4573457325001  
PROJECT NO.: 4573457325001  
PHASE: 1  
0 1  
ORIGINAL SCALE IS ONE INCH. ADJUST SCALE FOR  
REDUCED OR ENLARGED PLANS.  
SHEET

0 5 10 20  
SCALE IN FEET  
1 OF 1

7712024-0801 Sub-Site Plan for Juniper Sauna Co. Civil Site Plan 07/02/2025

Copyright 2025 by PROVOST & PRITCHARD ENGINEERING  
ALL RIGHTS RESERVED. NO PART OF THIS DRAWING  
MAY BE COPIED OR REPRODUCED IN WHOLE OR IN PART  
WITHOUT THE WRITTEN CONSENT OF THE OWNER.  
IN THE EVENT OF UNAUTHORIZED USE OF THIS DRAWING BY THE CONTRACTOR  
OR OTHER PERSON, THE CONTRACTOR OR OTHER PERSON  
SHALL BE HELD LIABLE FOR THE COST OF PROVOST & PRITCHARD  
ENGINEERING'S SERVICES AND FOR THE LEGAL FEES ASSOCIATED WITH DEFENDING  
AND ENFORCING THIS AGREEMENT.

# PRELIMINARY SITE PLAN

LEGAL DESCRIPTION:

A parcel of land being all of Lot 1 and all of Lot 2 of Block 31 of Fairview Acres Subdivision No. 5 as on file in Book 11 of Plats at Page 619 in the office of the recorder for Ada County, Idaho as shown on Record of Survey No. 13105, on file under Instrument No. 2021-152747 in said office of the recorder for Ada County, Idaho, said parcel being situated in the SE1/4 of Section 5, Township 3 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho and more particularly described as follows:

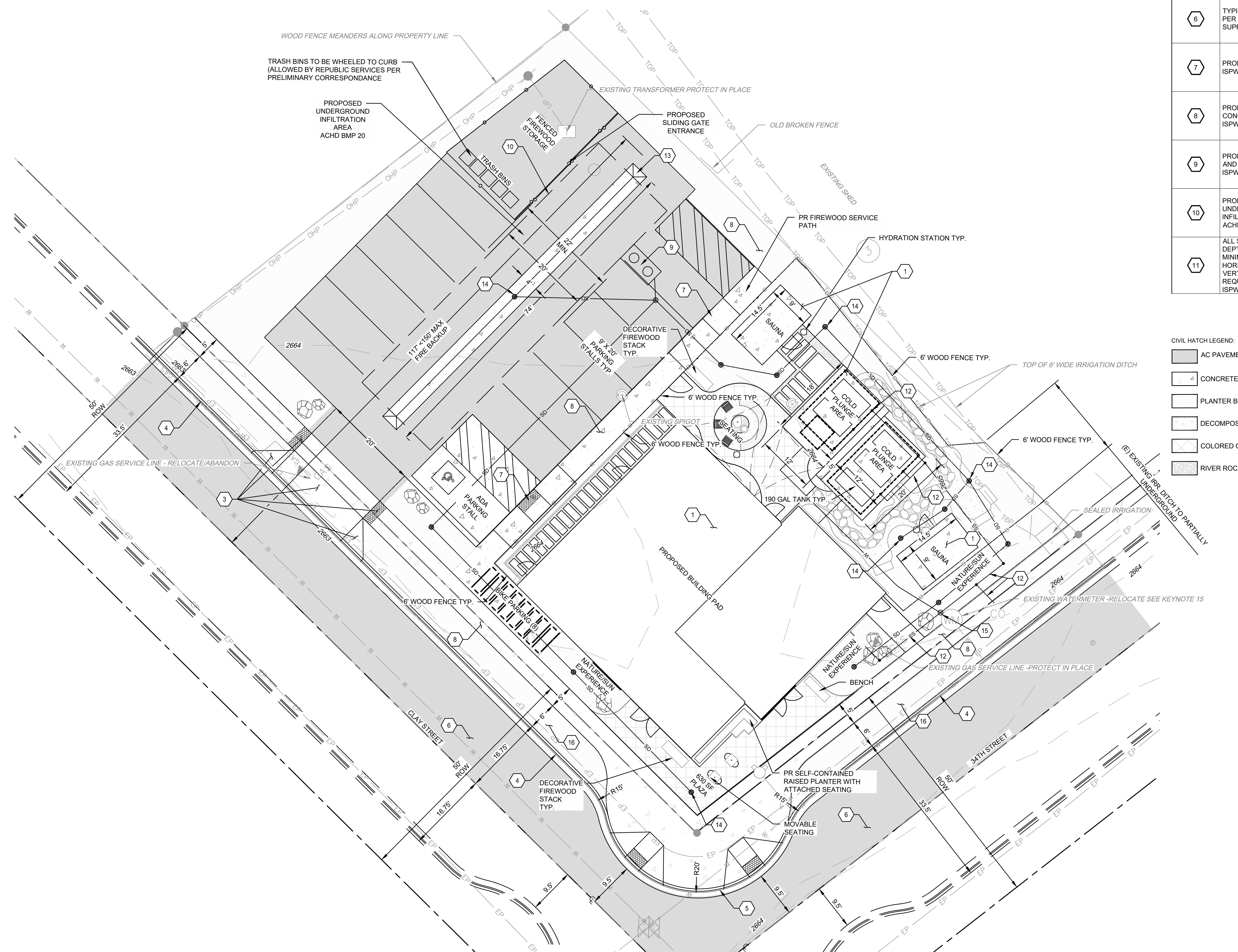
BEGINNING at the Southerly corner of said Lot 1, marked by an iron pin; thence along the Southwesterly line of said Lot 1  
North  $45^{\circ}41'16''$  West 149.81 feet (formerly 150 feet) to the Westerly corner of said Lot 1, marked by an iron pin;  
thence along the Northwesterly lines of said Lot 1 and said Lot 2  
North  $51^{\circ}36'14''$  East 100.74 feet (formerly 100.8 feet) to the Northerly corner of said Lot 2, marked by an iron pin;  
thence along the Northeasterly line of said Lot 2  
South  $45^{\circ}42'30''$  East 149.86 feet (formerly 150 feet) to the Easterly corner of said Lot 2, marked by an iron pin;  
thence along the Southeasterly lines of said Lot 2 and said Lot 1  
South  $51^{\circ}37'43''$  West 100.80 feet to the POINT OF BEGINNING.

## GENERAL NOTES

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7. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTOR(S) USING MATERIALS AND METHODS IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE 2025 IDAHO STANDARDS FOR PUBLIC WORKS (ISPWC), LOCAL CODES AND ORDINANCES. REPORT ALL DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
8. ANY CHANGES TO THE APPROVED SET OF PLANS WITHOUT NOTIFYING THE ENGINEER PRIOR TO SUCH CHANGES ABSOLVES SAID ENGINEER FROM ANY AND ALL RESPONSIBILITY WITH RESPECT TO THE LIABILITY, DAMAGE OR EXTRA WORK RESULTING FROM SAID CHANGES.
9. BUILDING PERMITS MUST BE OBTAINED BEFORE STARTING CONSTRUCTION.
10. ALL WORK SHALL CONFORM TO THE LATEST APPLICABLE CONSTRUCTION SAFETY REQUIREMENTS OF OSHA AND ANY OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION.
11. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
12. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER OR FIELD REPRESENTATIVES DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

### DRAINAGE NOTE

1. THE DRAINAGE INFILTRATION DESIGN IS PRELIMINARY PENDING REVIEW OF FINAL GEOTECHNICAL REPORT.



KEY NOTES	
SYMBOL	DESCRIPTION
1	CONSTRUCT EXTERIOR SLAB IN ACCORDANCE WITH STRUCTURAL PLANS PROVIDED BY OTHERS.
2	GRADE TO DRAIN AWAY FROM EXTERIOR SLAB IN ACCORDANCE WITH GARDEN CITY CODE TITLE 8-7B-1
3	CONSTRUCT CONCRETE DRIVEWAY WITH DETACHED SIDEWALK PER ISPWC ACHD SUPPLEMENT SD-710C
4	6" VERTICAL CURB AND GUTTER PER ISPWC SCHD SUPPLEMENT SD-701
5	CURB BULBOUT PER ISPWC ACHD SUPPLEMENT SD-710F
6	TYPICAL STREET SECTION PER ISPWC ACHD SUPPLEMENT SD-801
7	PROPOSED ADA RAMP PER ISPWC SD-712 AND SD-12G
8	PROPOSED 4" THICK CONCRETE SIDEWALK PER ISPWC SD-709
9	PROPOSED 1000 GAL SAND AND GREASE TRAP PER ISPWC SD-624
10	PROPOSED UNDERGROUND INFILTRATION AREA PER ACHD BMP 20
11	ALL SEWER AND PIPE DEPTHS TO MEET THE MINIMUM DEPTH AND HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS PER THE ISPWC STANDARDS.
12	PROPOSED SANITARY SEWER SERVICE AND SANITARY SEWER CLEANOUT PER ISPWC SD-511A AND SD-506B
13	PROPOSED CONC. VALLEY GUTTER PER ISPWC SD-708
14	PROPOSED INLET CATCH BASIN TYPE II PER ISPWC SD-603
15	PROPOSED WATER SERVICE PER ISPWC SD-401
16	6' PLANTER TO INCLUDE A ROOT BARRIER



## SUSTAINABILITY CHECKLIST

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921  
▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) • [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

Compliance with 8-4G is required for all new non-residential structures, new additions over 5,001 sq. ft. to existing non-residential structures, and all new residential developments over 4 units. This is accomplished through a point system. For more details, consult 8-4G of the Garden City Code.

The following projects are exempt from the requirements of 8-4G:

1. A project that can be certified by a nationally or regionally recognized program for green building construction and/or development.
2. A residential or non-residential development that will be:
  - a. Built to the maximum density or a floor area ratio of 1.0;
  - b. Located on a site that was previously developed with at least 50% site coverage;
  - c. Located within 1/4 mile of a residential zone with an average density of (10) unites per acres net;
  - d. Located within 1/4 mile walking distance of at least two of the following basic services:
    - i. Restaurant
    - ii. Church or Place of Religious Worship
    - iii. Food Store
    - iv. Day Care
    - v. Dry Cleaning Establishment
    - vi. Personal or Professional Services
    - vii. Health Care and Social Services
    - viii. Post Office
    - ix. School
    - x. Health Club
3. A mixed use project in compliance with the requirements as set forth in Article 8-3G of this title.

Place a "x" next to the development that applies to your project.

<b>X</b>	<b>Type of Development</b>	<b>Points required</b>
	New residential development over 4 units	6 pts. per unit
<b>X</b>	New Non-residential development: 5,000 sq. ft. or less	12 pts.
	New Non-residential development: 5,001 – 15,000 sq. ft.	18 pts.
	New Non-residential development: 15,001 – 30,000 sq. ft.	24 pts.
	New Non-residential development: Over 30,000 sq. ft.	32 pts.
	Non-residential additions: 5,001 – 15,000 sq. ft.	12
	Non-residential additions: 15,001 – 30,000 sq. ft.	18
	Non-residential additions: Over 30,000 sq. ft.	24 pts

Using the checklist below, place an "x" next to the sustainable criteria utilized in the project. Usage of each criteria will need to be shown on the site plan and/or landscaping plan or other appropriate plan. Failure to meet the requirements of 8-4G may result in the denial of the project.

<b>X</b>	<b>Sustainable Criteria</b>	<b>Development Type</b>	<b>Points</b>
✓	Project located within ¼ walking distance of one or more stops of a TOD or established public transit line usable by building occupants	ALL	4
✓	Shower and changing facilities for employees who may walk or bike to work are provided	Non-residential	2
	A board or computer is located in a public space that provides the following information for both employees and customers <ul style="list-style-type: none"> <li>A. Information on carpooling programs</li> <li>B. Transit trip planning assistance</li> <li>C. Transit Maps</li> <li>D. Maps of preferred bike routes and the location(s) of secure bicycle parking, lockers and showers, if provided</li> </ul>	Non-residential	1
	Employees are provided at no cost membership in a car-share or van-pool program in which (1) the contract is for at least 2 years, and (2) preferred parking is provided for shared parking, and (3) it is demonstrated that these cars are capable of servicing 5% of the employees	Non-residential	1
	Incentives are provided for employees who carpool or use alternative transportation to get to work. Potential incentives may include guaranteed ride home programs, preferred parking, or transit pass subsidies.	Non-residential	1
✓	Bike parking is provided that exceeds the standard set forth in Section XX of this code	Non-residential	2
	Pedestrian pathway or bike trails are dedicated for public use		4
✓	An easily accessible area is provided that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, and metals	ALL	1
	In re-construction of existing sites, at least fifty (50) percent of non-hazardous construction and demolition debris is recycled and/or salvaged	ALL	3
	At least fifty (50) percent (based on surface area) of the existing building structure is incorporated or reused in the new structure.	ALL	2
	A minimum of fifty (50) percent of the parking spaces is provided under cover, including under deck or under roof.	Non-residential	3
	Parking is provided underground or below, habitable space.	Non-residential; multi-family residential	1 per two spaces

	Any combination of the following for fifty (50) percent of the side hardscape including roads, sidewalks, courtyards, and parking lots is provided: A. Shade (within 5 years of occupancy) B. Paving materials with a Solar Reflectance Index (SRI) of at least 29 C. Open grid pavement system	Non-residential; multi-family residential	3
	A vegetated roof for at least fifty (50) percent of the roof area is provided	ALL	3
	Use of alternate sources of energy		
	Solar collectors are an allowed structure in the CC&R's	Residential	2
	Only captured rain water, recycled wastewater, recycled gray water, or water treated is used for non-potable uses for irrigation	ALL	4
✓	Landscaping is provided that does not require permanent irrigation systems. Temporary irrigation systems used for plant establishment are allowed only if removed within one year of installation	ALL	3
	If irrigation is provided, a drip irrigation system is used.	ALL	2
	Alternative surfaces (e.g., vegetated roofs, pervious pavement or grid pavers) and nonstructural techniques (e.g., rain gardens, vegetated swales, disconnection of imperviousness, rainwater recycling) are used to reduce imperviousness and promote infiltration thereby reducing pollutant loadings	ALL	3
	Storm water volumes generated from the site are reused for non-potable uses such as landscape irrigation, toilet and urinal flushing and custodial uses.	ALL	3
✓	A storm water infiltration and retention system is provided on the site.	ALL	1
	Vegetated open space areas are provided adjacent to the building that is equal to the building footprint	Non-residential	2
	The project design restores surface water systems, including streams and wetlands.	ALL	4
	The project design retains all trees on the site that are four (4) inch caliper or greater in size.	ALL	3
	The development footprint is located in the footprint of a previous building or impervious surface area.	ALL	2
	Land is dedicated for conservation of habitat or wetlands	ALL	4
	An area of ten (10) percent of the project site is dedicated for community gardens.	ALL	3
	A minimum of one acres of land is dedicated for permanent agriculture use.	ALL	4

**Total Points Required for Project:** 12

**Total Points From Checklist** 13