



DESIGN REVIEW

Permit info: _____DSRFY2025-0010_____

Application Date: ____08/14/2025____ Re c'd by: MA _____
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: DAPHNE ROMANI	Name: KYLE MUTZEL, CHRIS MUTZEL
Company: BRIO ARCHITECTURE	Company: BOISE SAUNA LAND, LLC
Address: 3313 W. CHERRY LN. #626	Address: 2312 N 20TH ST
City: MERIDIAN	City: BOISE
State: ID Zip: 83642	State: ID Zip: 83702
Tel.: (208) 207.9830	Tel.: 425.736.3917
E-mail: DAPHNE@BRIOARCHITECTURE.COM	E-mail: KYLEDMUTZEL@GMAIL.COM

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 202 E 34TH ST GARDEN CITY, ID 83714

Subdivision Name: FAIRVIEW ACRES SUB NO 5	Lot: 1 & 2	Block: 31
Tax Parcel Number: R2734540701	Zoning: C-2	Total Acres: 0.344
Proposed Use: HEALTH CLUB	Floodplain: <input checked="" type="radio"/> Yes <input type="radio"/> No	

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Daphne Romani 7/14/25 Kyle Mutzel 7/14/25
Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|---|
| <input type="checkbox"/> Compliance Statement and Statement of Intent | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Trash Disposal Plan |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Colored renderings and/or elevations showing the exterior material composition |
| <input type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> Schematic Drawing | |
| <input type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey | |
| <input type="checkbox"/> Grading Plan | |
| <input type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials | |
| <input type="checkbox"/> Affidavit of Legal Interest | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- ☒ Location, dimensions and type of signs.
- ☒ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- ☒ Location and dimensions of outdoor storage areas
- ☒ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☒ Scale the same as the site plan.
- ☒ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☒ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☒ Log of square footage of landscaping materials corresponding to location
- ☐ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☒ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☐ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☒ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Scale not less than one inch equals twenty feet (1" = 20')
- ☒ Two foot (2') contours for the entire proposal site
- ☒ One foot (1') contours for details, including all planimetric features
- ☒ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☒ Existing easement and utility locations
- ☒ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas

- ☐ Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

****Required for developments of two or more buildings:***

- ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

****Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- ☒ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.

INFORMATION REQUIRED FOR TRASH DISPOSAL PLAN:

- ☐ Site photo
- ☒ Location, configuration, dimensions, type of containers, and number of containers
- ☐ Refer to Republic Services Solid Waste Design Standards.



State of Idaho)
)SS
County of Ada)

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to DAAPHNE ROMANI, BRIO ARCHITECTURE
Name of Applicant
to submit the accompanying application pertaining to 202 E 34TH ST _____,
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 11th day of July, 2025

Signature: Kyle Mutzel Printed Name: Kyle Mutzel

Subscribed and sworn to before me the day and year first above written.

Notary Public for Idaho Kenny Junzer 7/11/2025

Residing at: 1775 W State St Boise, ID 83702

My Commission expires 12/20/2029



4/30/2024



COMPLIANCE STATEMENT & STATEMENT OF INTENT

JUNIPER SAUNA CO.,
202 E. 34TH STREET
GARDEN CITY, ID 83714

To Whom It May Concern,

We are proposing to develop the above referenced property with a new commercial structure that will become the headquarters for local business, Juniper Sauna Co., a Health Club. The building will consist of (2) New Commercial spaces for a total of 2,650 s.f.

(2) wood-fired, self-contained Sauna structures and (5) Cold Plunge tubs will be located outdoors in a carefully landscaped exterior yard.

COMPLIANCE STATEMENT

The zoning for the lot in question falls under the C-2 designation which allows for commercial development and more specifically, allows for "Health Club" use.

The proposed development is a great fit with the City Comprehensive Plan and its goals and objectives as it will improve the image of the City and also emphasize the "Garden" in Garden City with the addition of ample outdoor and landscaped areas.

OBJECTIVES 8-4C

1. The design of the proposed structure offers appropriate human scale and massing within the urban context, the street scape and the surrounding properties by offering close interaction with the street corner through a public plaza (of approx. 540 s.f), with direct access to building entrance.
The maximum building setback is 10' from the property line.
2. The entrance to the building faces Clay st. and is connected to the main parking area through a continuous accessible path.
3. The exterior finish materials used are stucco, factory wood finish fiber cement vertical siding and cultured stone base. Standing seam metal roofing.
4. The notable site feature is its prominent corner location, something the building design takes full advantage of.
5. The building is consistent with the adopted streetscape.

BIKE AND PEDESTRIAN

The lot is located in the heart of the neighborhood with convenient pedestrian and bicycle access from both the Greenbelt and Chinden Blvd. The closest public transit stop is 0.2 Miles (approx. 350 yards).

Bicycle parking, in excess of the minimum City requirements (8 vs. 3 min.), is conveniently located adjacent to the structure, in proximity to the parking lot driveway and public sidewalk.



PARKING AND PARKING LOT STANDARDS

Access to the parking lot will be through Clay St. and will be located at the back of the new structure, well removed from the street corner. The parking lot frontage along Clay St. will offer an ample landscaped screening buffer from the street. As can be seen from the Landscape plans, parking lot is adequately screened and all the appropriate trees and tree locations are in compliance with the City requirements.

COMMUNITY INTERACTION

The Health Club use is a supportive use to the many living units being developed in the neighborhood and it will offer a gathering space that can promote a sense of community among the area residents and visitors alike.

The project will meet the required 12 points as totaled on the sustainability checklist.

LANDSCAPING

More than 5% of the site will be dedicated to landscaping and the appropriate number of Class II or III are being proposed along the street frontages, per the landscape plan. Landscaping that is compatible with local climatic conditions will be provided and it will be irrigated with a drip type irrigation system.

BUILDING DESIGN

The proposed structure is low-rise, single story and its design is compatible with the surrounding neighborhood. The maximum height of the building is just below 25' with varying height volumes.

The whole structure exhibits coherent volumetric articulation through the use of balanced wall planes and compatible materials throughout to provide architectural interest and neighborhood compatibility.

The exterior finish materials are used to compatibly delineate the different building volumes. The openings will offer a modern slim recessed trim/sill offering articulation and interest to the wall planes. No blank walls are present.

The health club use of this development will aim to merge the indoor and outdoor spaces. Outdoor mechanical equipment will be screened by fences and located towards the parking area.

Overall the building is efficiently located on the SW corner of the lot which also takes advantage of passive solar advantages.



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

16 June 2025

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **202 East 34th Street**
Lots 1 & 2, Block 31, FAS#5
Parcel Number R2734540701
Water and Sanitary Sewer Ability to Serve
ATSFY2025-0008

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water service from the city of Garden City from existing infrastructure.

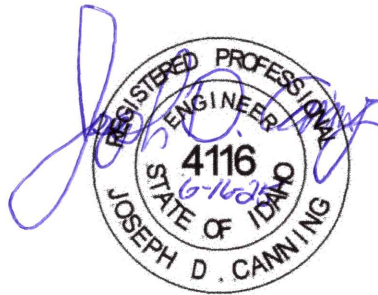
The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 6 June 2025 (fire hydrant #2025) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of line location, grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

June 6, 2025

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 202 E 34th Street

Fire hydrant serving this address: Hydrant #2025

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions, please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

RE: Treasure Valley Development Standards information and best contact.



From McDannel, Konrad <KMcDannel@republicservices.com>
To daphne@brioarchitecture.com <daphne@brioarchitecture.com>
Cc Allen, Gia <GAllen3@republicservices.com>, Stanley, Bryan <BStanley@republicservices.com>, Caldwell, Mike <MCaldwell@republicservices.com>, Pastoor, William <WPastoor@republicservices.com>
Date 2025-04-22 16:30

Hi Daphne,

I appreciate this additional information. The plan you have with Brio would work if the truck could drive forward after service. With that not sounding like an option, I would suggest putting it on the corner at Clay St. This way the truck can service without backing blind into traffic. The truck will hold up a lane of traffic for 1 minute but will be visible to everyone.

Yes, we can service commercial carts at the curb. I advise on 2 things with that idea. 1. Garden City has to approve that as an option. 2. Consider the possibility that more service is needed than expected. For any reason, including change of business purpose.

Sincerely,

Konrad McDannel

Municipal Marketing Coordinator

11101 W Executive Dr

Boise, ID 83713

e kmcdannel@republicservices.com

o 2084078290

w RepublicServices.com



Sustainability in Action

From: daphne@brioarchitecture.com <daphne@brioarchitecture.com>

Sent: Tuesday, April 22, 2025 4:11 PM

To: McDannel, Konrad <KMcDannel@republicservices.com>

Cc: Allen, Gia <GAllen3@republicservices.com>; Stanley, Bryan <BStanley@republicservices.com>; Caldwell, Mike <MCaldwell@republicservices.com>; Pastoor, William <WPastoor@republicservices.com>

Subject: Re: Treasure Valley Development Standards information and best contact.

This Message Is From an Untrusted Sender

[Report Suspicious](#)

You have not previously corresponded with this sender.

Hello Konrad,

Thank you for clarifying this.

The property was approved for development back in 2021, I think, and it was never built.

The land is still vacant and it is on the market. I am working with potential buyers to evaluate whether what they want to develop is feasible and what it would take to meet your standards and the rest of the agencies.

It sounds like all the standards are getting tighter and that the only solution to satisfy your development standards would be to have an alley so you have a continuous one way in and other way out, given that there is not much room for a turnaround.

I am attaching the preliminary site layout we had created to review with the city.

Are 90 gal bins to put out to the curb not an option available to commercial properties?

Thank you

Daphne Romani

Architect

(208)207.9830

Re: JSC: Irrigation Ditch "Approval"



From Wee Boise <weeboise@gmail.com>
To <daphne@brioarchitecture.com>
Cc Will Howard PLA ASLA <will@stackrockgroup.com>, Jason Jones <jj@weeboise.com>, Kyle Mutzel <kyledmutzel@gmail.com>, Chris Mutzel <chris.mutzel@gmail.com>
Date 2025-07-14 09:31

Thanks for the plan Daphne, FALWUA is in support of this plan as proposed. Let us know if you need anything from us as you move forward.

Jason Jones
President FALWUA

On Jul 14, 2025, at 9:20 AM, daphne@brioarchitecture.com wrote:

Hello Jason,

Attached is the site plan for your review.

Upper right corner (SE) of the site plan is where the ditch is located and we are planning on partially undergrounding it.

Thank you

Daphne Romani
Architect
(208)207.9830
(805)259.7462
brioarchitecture.com

<67c8715a.png>



NEIGHBORHOOD MAP

SCALE: 1" = 100'-0"

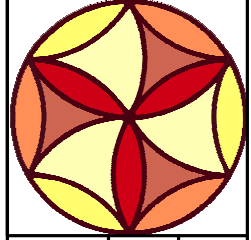
IMPACT OF THE PROPOSED SITING:

SINGLE STRUCTURE IS LOCATED AT THE SW CORNER OF THE PROPERTY , FACING 34TH STREET AND CLAY STREET.

THIS LOCATION IS REMOVED FROM ALL BUILDINGS LOCATED ON ADJACENT PROPERTIES.

THIS LOCATION DOES NOT CAST SHADE ON ANY EXISTING STRUCTURES ON ADJACENT PROPERTIES.

THE PROPERTY TO THE SW, ACROSS FROM CLAY STREET IS CURRENTLY VACANT.



BRIO ARCHITECTURE
SYSTEMS FOR CONSCIOUS LIVING
ARCHITECTURE & DESIGN

3313 W. CHERRY LANE #626
MERIDIAN, ID 836642

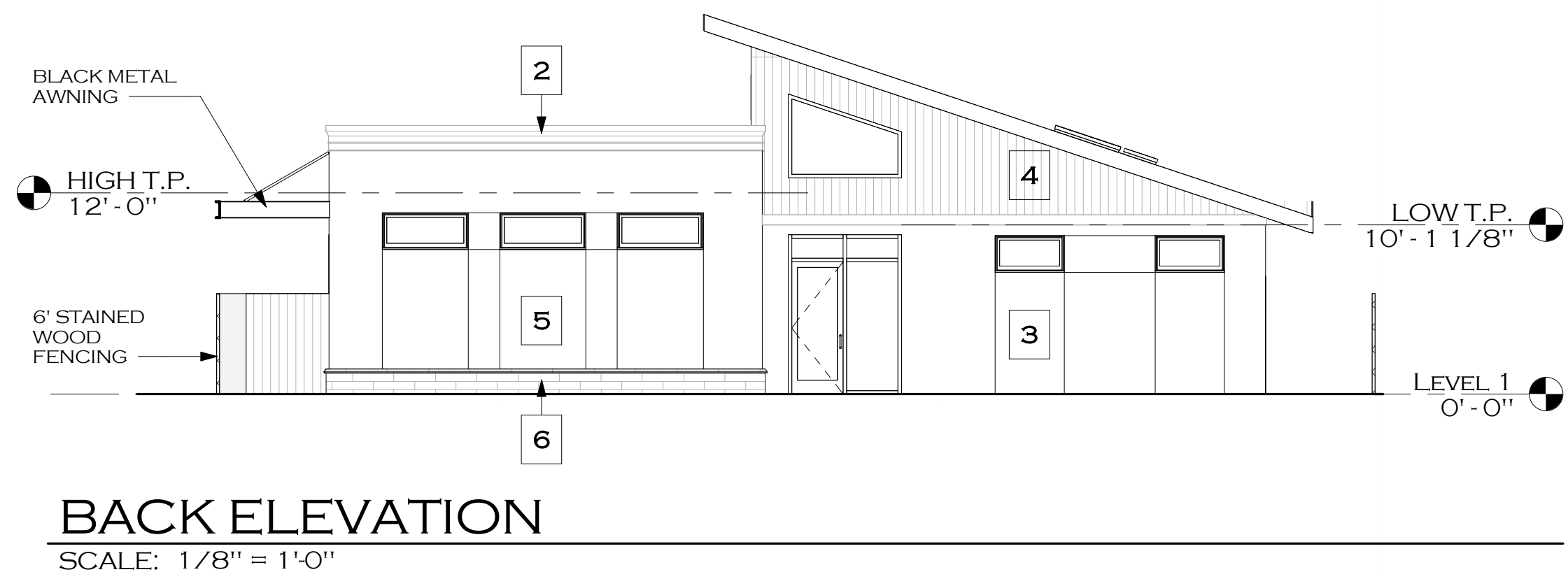
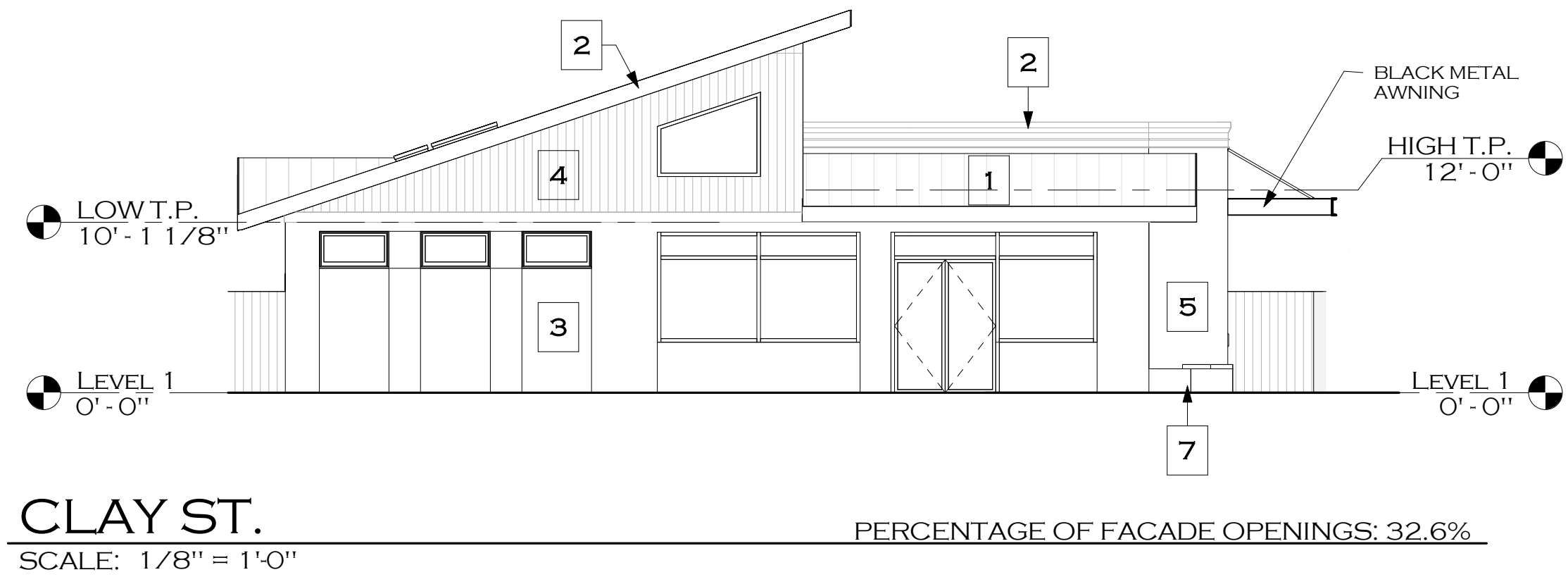
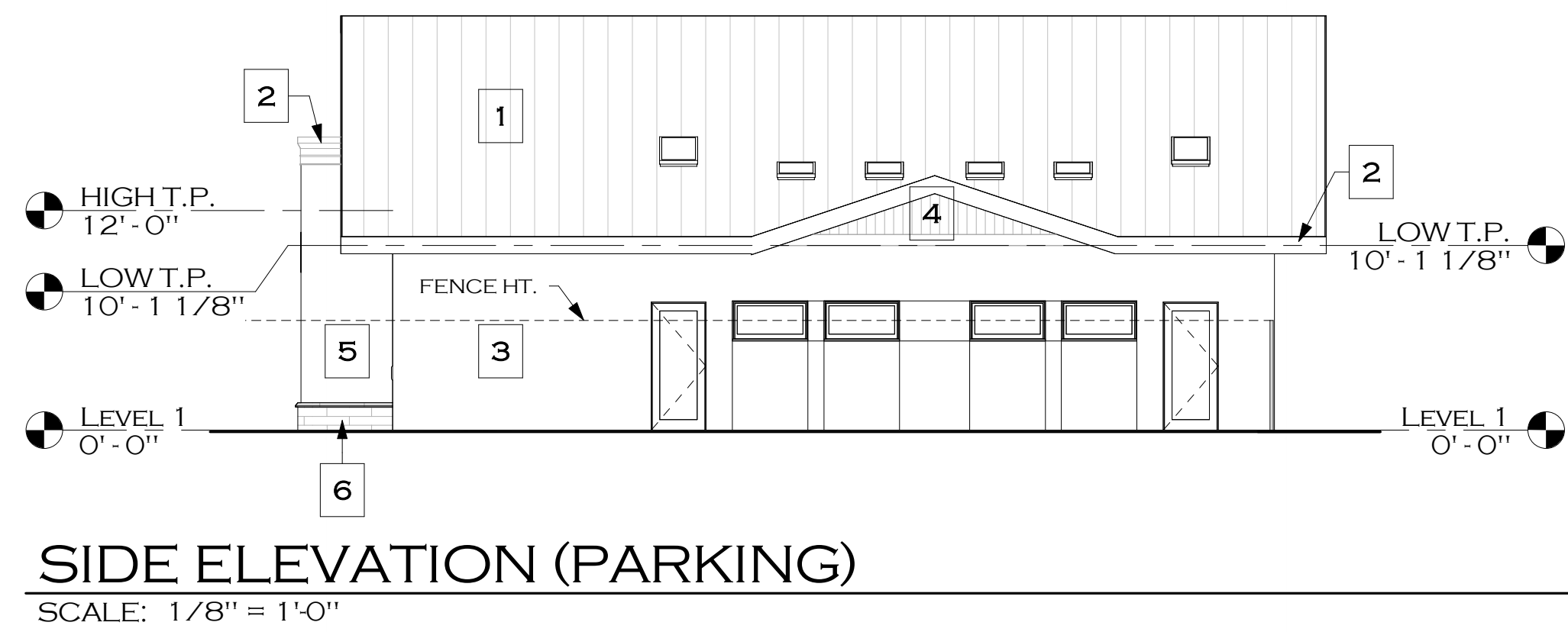
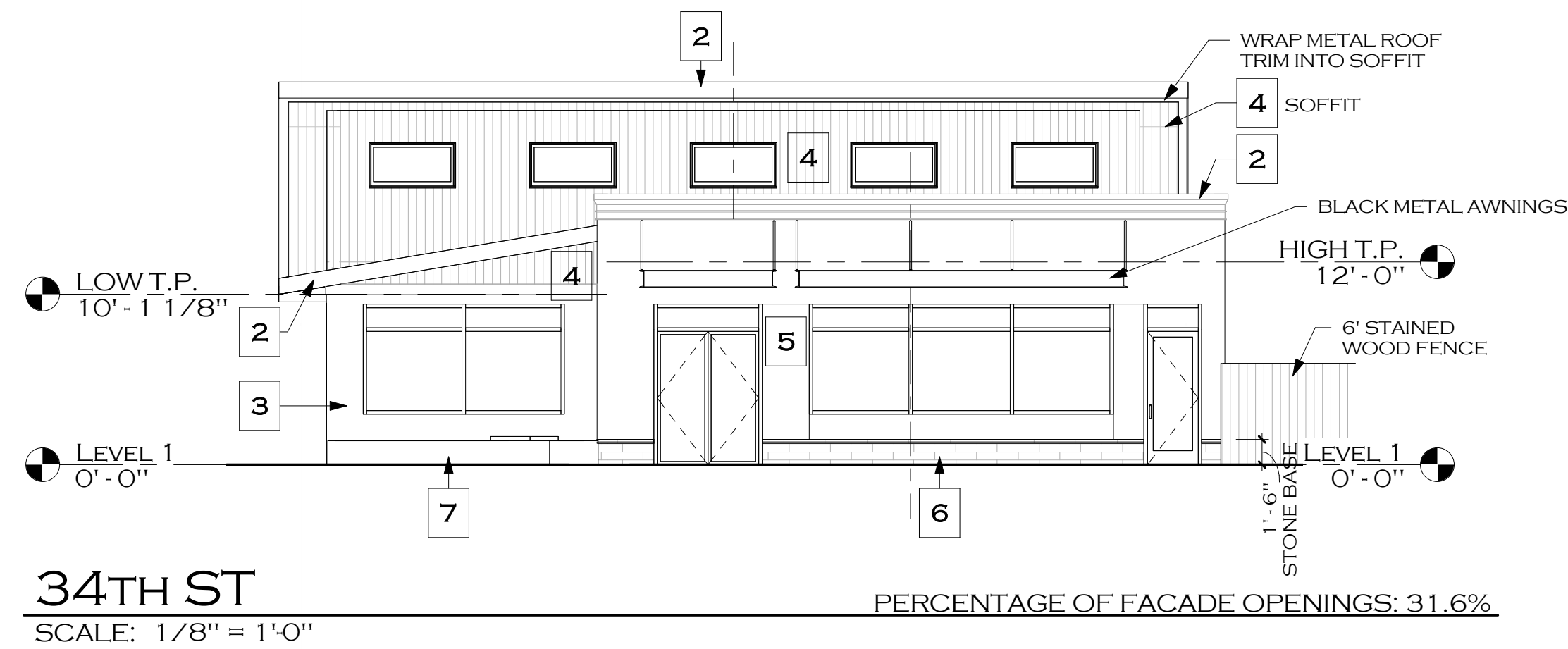
(208) 207-9830

JUNIPER SAUNA CO.
202 E. 34TH ST.
GARDEN CITY, ID 83714

NEIGHBORHOOD MAP

NM

08/14/25



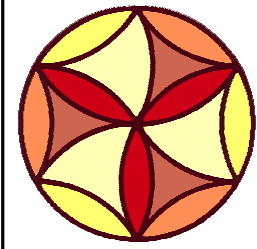
MATERIALS & COLORS

- | | | |
|---|--|--|
| 1 | | ROOF
STANDING SEAM METAL
MATTE BLACK |
| 2 | | TRIM
METAL
MATTE BLACK
(TO MATCH ROOFING) |
| 3 | | STUCCO
GRAY
W/ CONTROL JOINTS |
| 4 | | VERTICAL SIDING
FIBER CEMENT
SPRUCE WOOD FINISH |
| 5 | | STUCCO
BLACK
W/ CONTROL JOINTS |
| 6 | | STONE BASE ELDORADO
VANTAGE 30
WHITE ELM |
| 7 | | CORTEN PLANTER
W/ WOOD SEAT |

STOREFRONT:
EXTERIOR AND
VINYL WINDOW FRAMES: DARK OR BLACK OPTION

BLACK ANODIZED

BRIO ARCHITECTURE
SYSTEMS FOR CONSCIOUS LIVING
ARCHITECTURE & DESIGN



3313 W. CHERRY LANE #206
MERIDEN, ID 83642
3313 W. CHERRY LANE #206
MERIDEN, ID 83642
COPYRIGHT 2022 BRIO ARCHITECTURE. ALL RIGHTS RESERVED. THE ALL COMMON LAW COPYRIGHTS AND
OTHER RIGHTS ARE RESERVED BY BRIO ARCHITECTURE. NO PART OF THIS DOCUMENT OR ANY PART
HEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF BRIO ARCHITECTURE.

PROJECT # 250403

JUNIPER SAUNA CO.
202 E. 34TH ST.
GARDEN CITY, ID 83714

SHEET NAME

PLOT DATE

ISSUE DATE
07/14/25

REVISIONS

DESIGN REVIEW

SHEET #

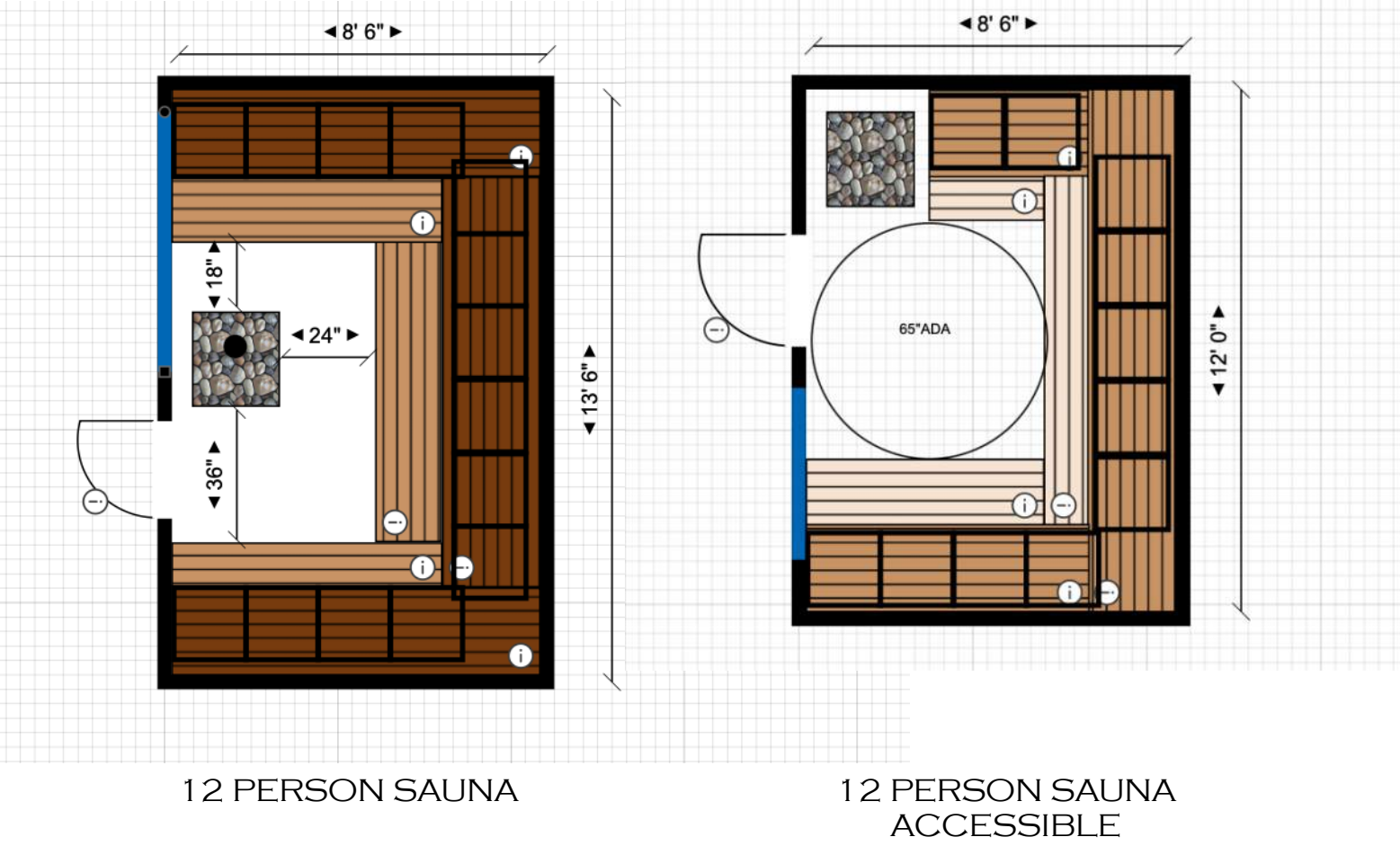


CORNER VIEW



CORNER PERSPECTIVE

A2



SAUNAS

SCALE: 1/4" = 1'-0"



PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
DECIDUOUS TREE						
	LW	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum 30-50' H x 25-40' W	B&B	2"	Class II	2
	MS	Malus x 'Snowdrift' / Snowdrift Crabapple 15-25' H & W	B&B	2"	Class I	4
	SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac 20' H x 15' W	B&B	2"	Class I	5
	ZS	Zelkova serrata / Japanese Zelkova 40-60' H x 25-40' W	B&B	2"	Class II	3
	ZS2	Zelkova serrata 'Schmidtlow' / Wireless® Japanese Zelkova 20-24' H x 30-35' W	B&B	2"	Class II	2
EVERGREEN TREE						
	CP	Chamaecyparis nootkatensis 'Pendula' / Weeping Nootka Cypress 25-30' H x 10-12' W	B&B	6' H MIN	Class I	1
	JM	Juniperus scopulorum 'Moonglow' / Moonglow Juniper 20' T x 8' W	B&B	6' H MIN	Class I	1
	PT2	Pinus thunbergii 'Thunderhead' / Thunderhead Japanese Black Pine 10' H x 15' W MULTI-TRUNK	B&B	6' H MIN	Class I	3
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS						
	PL	Physocarpus opulifolius 'Little Devil' / Little Devil™ Dwarf Ninebark 4-5' H & W	2 gal			28
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2-3' H x 6-8' W	2 gal			6
EVERGREEN SHRUB						
	LM	Lavandula angustifolia 'Munstead' / Munstead English Lavender 12-18" H & W	2 gal			14
	LV	Lavandula x intermedia 'Niko' / Phenomenal® Lavandin 2-3' H & W	2 gal			12
	RA	Rosmarinus officinalis 'Arp' / Arp Rosemary 6' H x 2-4' W	2 gal			11
	YC	Yucca filamentosa 'Color Guard' / Color Guard Adam's Needle 3-4' H x 4' W	2 gal			7
ORNAMENTAL GRASSES						
	CK2	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass 2' H & W	2 gal			18
	HS	Helictotrichon sempervirens / Blue Oat Grass 2-3' H & W	2 gal			9
	PS	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass 4' H x 2-3' W	2 gal			5
PERENNIALS						
	AS	Artemisia schmidtiana 'Silver Mound' / Silver Mound Artemisia 6-12" H x 12-18" W	2 gal			5
	AP	Artemisia x 'Powis Castle' / Powis Castle Artemisia 2-3' T x 1-2' W	2 gal			11
	SS	Salvia nemorosa 'Schneehugel' / Snow Hill Meadow Sage 18" H x 12-18" W	2 gal			11
	SN	Salvia yangii / Russian Sage 3-4' H & W	7 gal			11
	SV	Sedum kamtschaticum 'Variegatum' / Variegated Stonecrop 6-8" H x 15-18" W	1 gal			13
	SR	Sedum reflexum 'Blue Spruce' / Blue Spruce-leaved Stonecrop 5" H x 15-18" W	1 gal			11

LANDSCAPE MATERIALS LEGEND:

	PLANTER BED MULCH - SEE LANDSCAPE NOTE 6/L150.		BROOM FINISH COLORED CONCRETE
	DECOMPOSED GRANITE		RIVER ROCK

LANDSCAPE REQUIREMENTS

CODE REQUIREMENTS PER GARDEN CITY, ID

STREET BUFFER:

- 1 CLASS I TREE PER 50 LINEAL FEET, PLUS 1 ADDITIONAL TREE CLASS II OR III PER EVERY STREET SIDE.

STREET NAME - LENGTH (LF, MINUS CURB CUTS)	TREES REQUIRED	TREES PROVIDED
CLAY ST. - 150'	3 + 1	4
34TH ST. - 101'	2 + 1	3

PERIMETER LANDSCAPE REQUIREMENTS:

- (1) CLASS III TREE, (2) CLASS II TREES, OR (3) CLASS I TREES FOR EVERY 50 LF OF PERIMETER LENGTH. TYPE B FILTERED SCREENING (BETWEEN A PARKING LOT AND PUBLIC STREET) REQUIRES A MIX OF DECIDUOUS AND EVERGREENS.

LOT LINE - LENGTH (LF)	TREES REQUIRED (PER 50 LF)	TREES PROVIDED
WEST - 101'	2 (CLASS III)	2
NORTH - 150'	3 (CLASS III)	3

PARKING LOT LANDSCAPE REQUIREMENTS:

- INTERNAL SHADE TREES SHALL BE PROVIDED AT A MINIMUM OF (1) TREE FOR EVERY (5) PARKING SPACES.
- NO PARKING SPACE SHOULD BE MORE THAN 100' FROM A TREE.

TOTAL PARKING SPACES	TREES REQUIRED	TREES PROVIDED
14	3	3

GENERAL LANDSCAPE REQUIREMENTS:

- MINIMUM OF 5% OF GROSS SITE AREA SHALL BE LANDSCAPED EXCLUDING SETBACKS OR PERIMETER LANDSCAPING.
- (1) TREE PER 1,000 SQ.FT. AND (1) SHRUB PER 150 SQ.FT OF LANDSCAPED AREA.
- TREES MAY BE SUBSTITUTED FOR UP TO ½ OF THE REQUIRED SHRUBS AT THE RATE OF ONE TREE FOR EVERY 10 SHRUBS AND VICE VERSA.
- 70% OF LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AT MATURITY.

TOTAL LANDSCAPE AREA (SQ. FT.)	TREES PROVIDED / REQUIRED	SHRUBS PROVIDED / REQUIRED
1127 SQ.FT. (7.5% OF GROSS SITE)	1 / 1	7 + 7

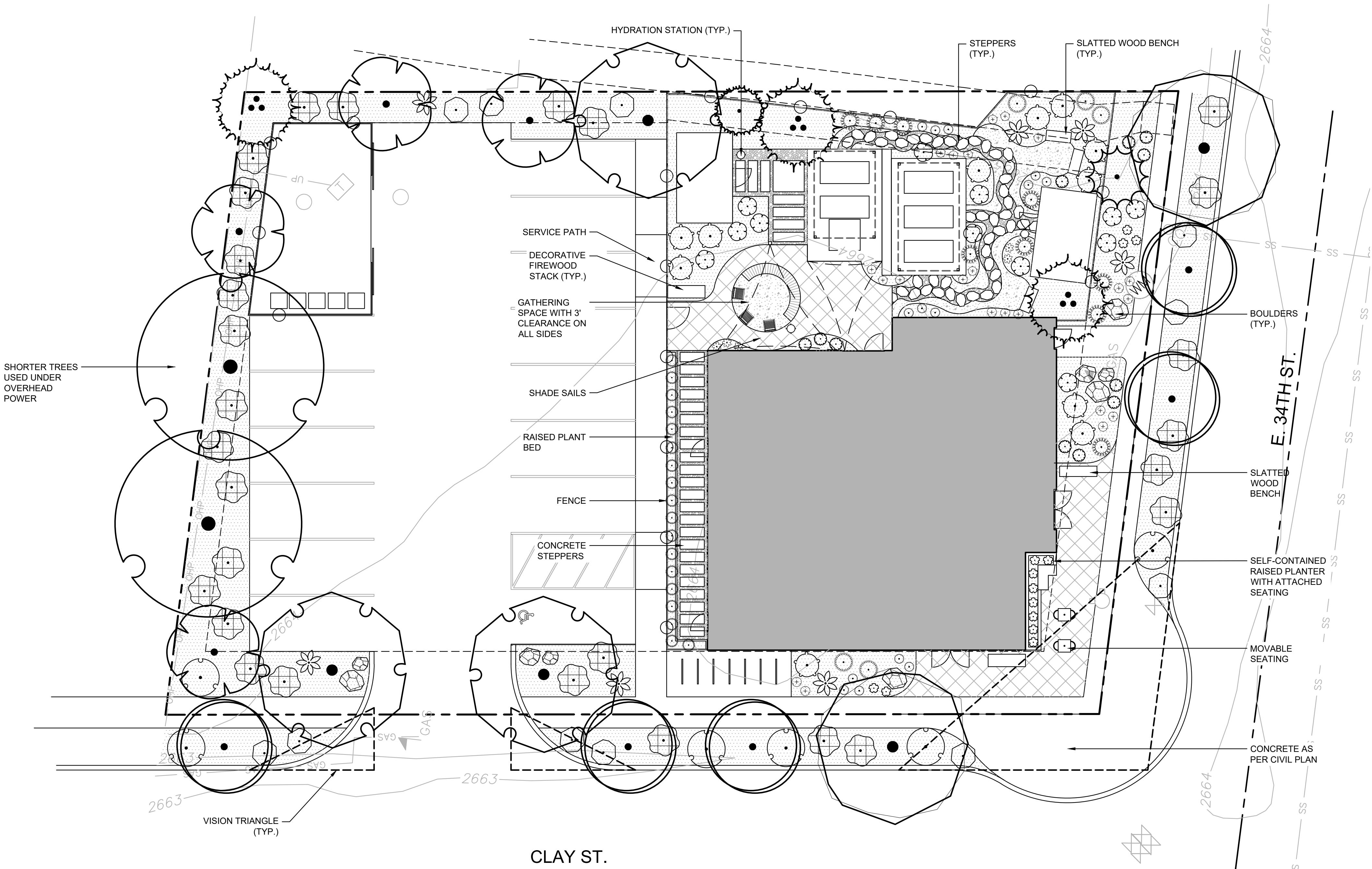
BIODIVERSITY REQUIREMENTS:

- 5-10: 2 SPECIES REQ, 11-30: 3 SPECIES REQ, 31-50: 4 SPECIES REQ, 50+: 5 SPECIES REQ.

TOTAL TREES ON SITE	NUMBER OF SPECIES REQUIRED	NUMBER OF SPECIES PROVIDED
21	3	8

MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
EVERGREEN TREES:	6'-0" HT. MIN.
ORNAMENTAL TREES:	2" CALIPER MIN.
SHADE TREES:	2" CALIPER MIN.
WOODY SHRUBS:	2 GAL. MIN.



LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #300A1
Boise, ID 83702
StackRockGroup.com

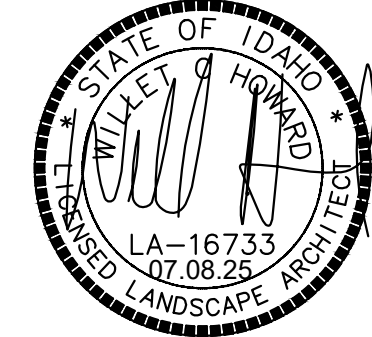
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
WILL@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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Seals PRELIMINARY



NOT FOR CONSTRUCTION

JUNIPER SAUNA CO.

GARDEN CITY, IDAHO

REVISIONS		
MRK	DATE	Description
△	**	**

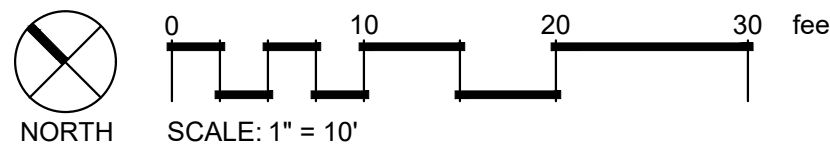
JOB NO:	25-3250
DATE:	07.11.2025
DRAWN BY:	AH
CHECKED BY:	WH

DRAWING TITLE

LANDSCAPE
PLAN

SHEET NUMBER

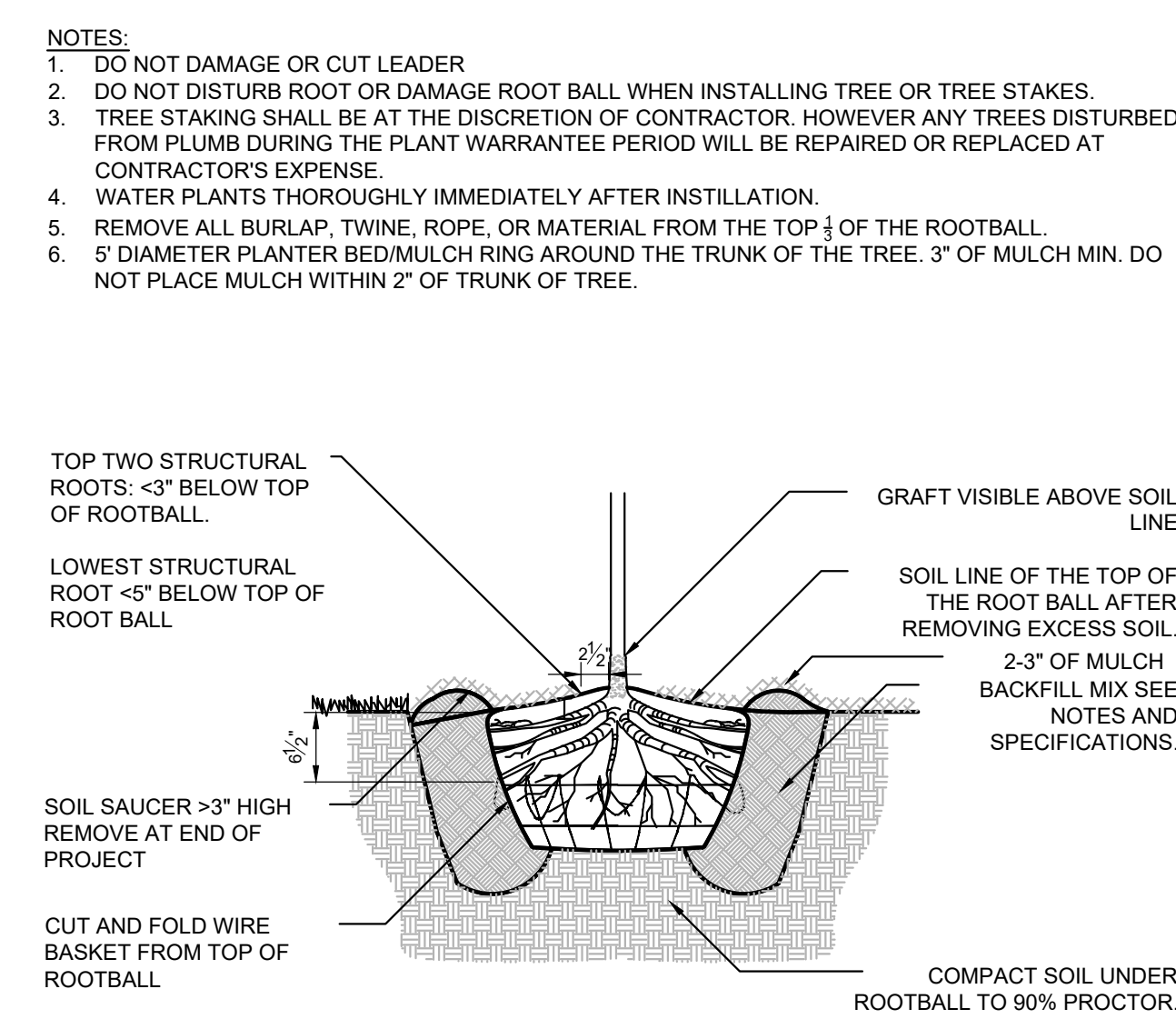
L100



- REGULATIONS & STANDARDS
 - All contractor work shall be conducted in accordance with (SPWC (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
- EXISTING CONDITIONS
 - All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curbs and gutter, light poles and sidewalks.
 - See Engineer's plans for information about existing features.
 - Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
- GRADING & SITE PREPARATION
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overprep to be removed and disposed of off site.
 - Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - No pooling or standing water will be accepted per industry standards.
- SOILS
 - Lawn areas shall receive 12" min depth of screened topsoil.
 - All planter beds shall receive 18" min depth of screened topsoil.
 - Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil shall have a ph of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not

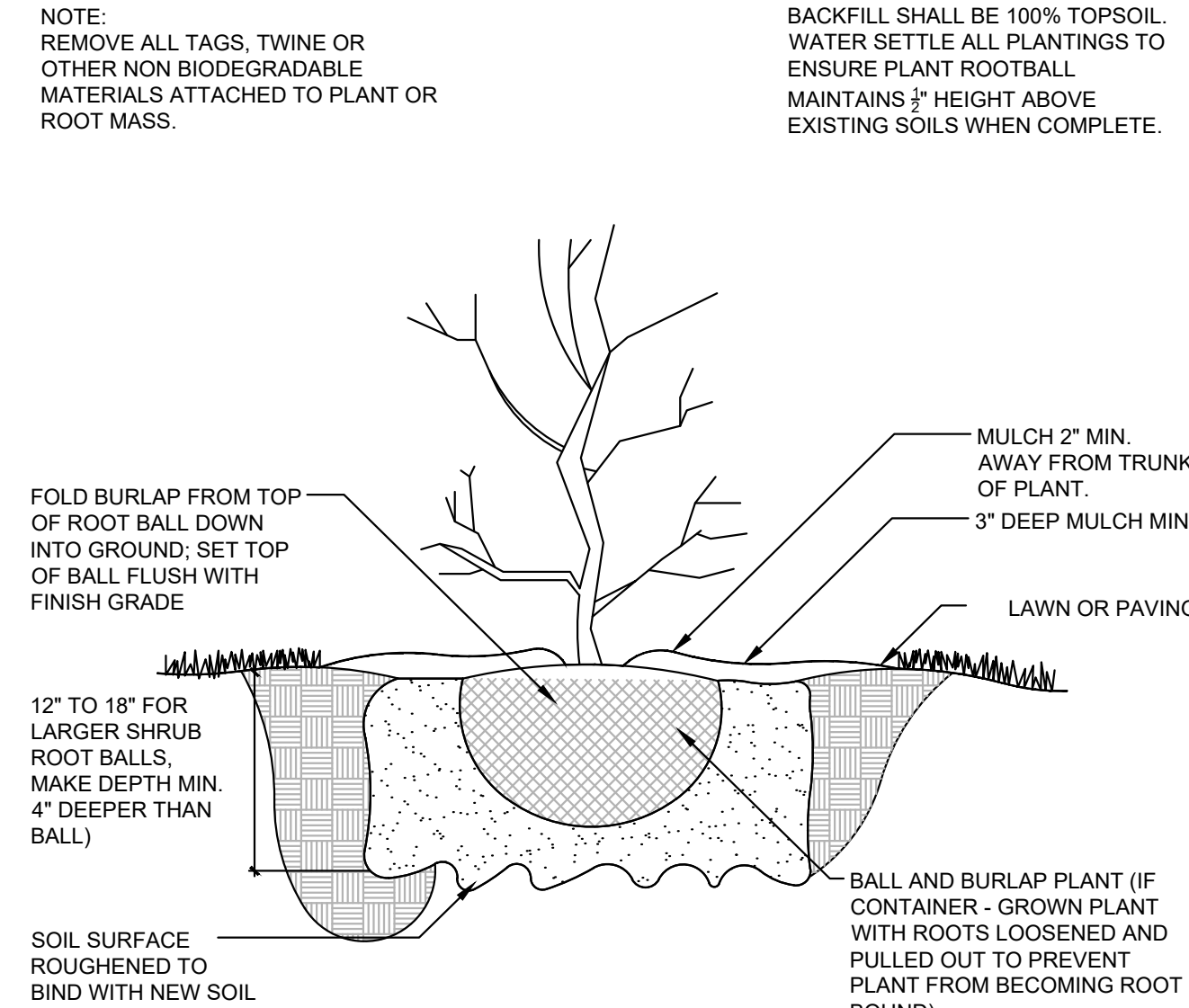
- contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
- Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade. 5" below adjacent surfaces.
- Amend all new plantings with 2 parts topsoil, 1 part compost.
- LAWN AREAS
 - Sodded lawn to be tall turf-type fescue, or approved other.
 - Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - Install $\frac{3}{8}$ " chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
- PLANTER BED MULCH
 - All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
- PLANTS
 - All plant material shall be installed per industry standards.
 - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail. Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
- IRRIGATION
 - Irrigation system shall be built to the following specifications:
 - Adhere to city codes when connecting to city water.
 - All irrigation material to be new with manufacturers' warranty

- fully intact.
 - Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - All remote control valves (including master control valve) to have flow control device.
 - Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
 - Use common trenching where possible..
 - All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - Connect mainline to point of connection in approximate location shown on plan.
 - Contractor is responsible complying with all codes and paying all permits necessary.
 - Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
 - All drip irrigation to be buried 2" below finished grade.
 - Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
 - Install all irrigation per irrigation drawings. utilize material specified or approved equal.
 - Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
 - If any discrepancies are found, then local codes shall prevail.
- CONTRACTOR RESPONSIBILITIES
 - Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by owner's representative.
 - In the event of a discrepancy, notify the Landscape Architect immediately.

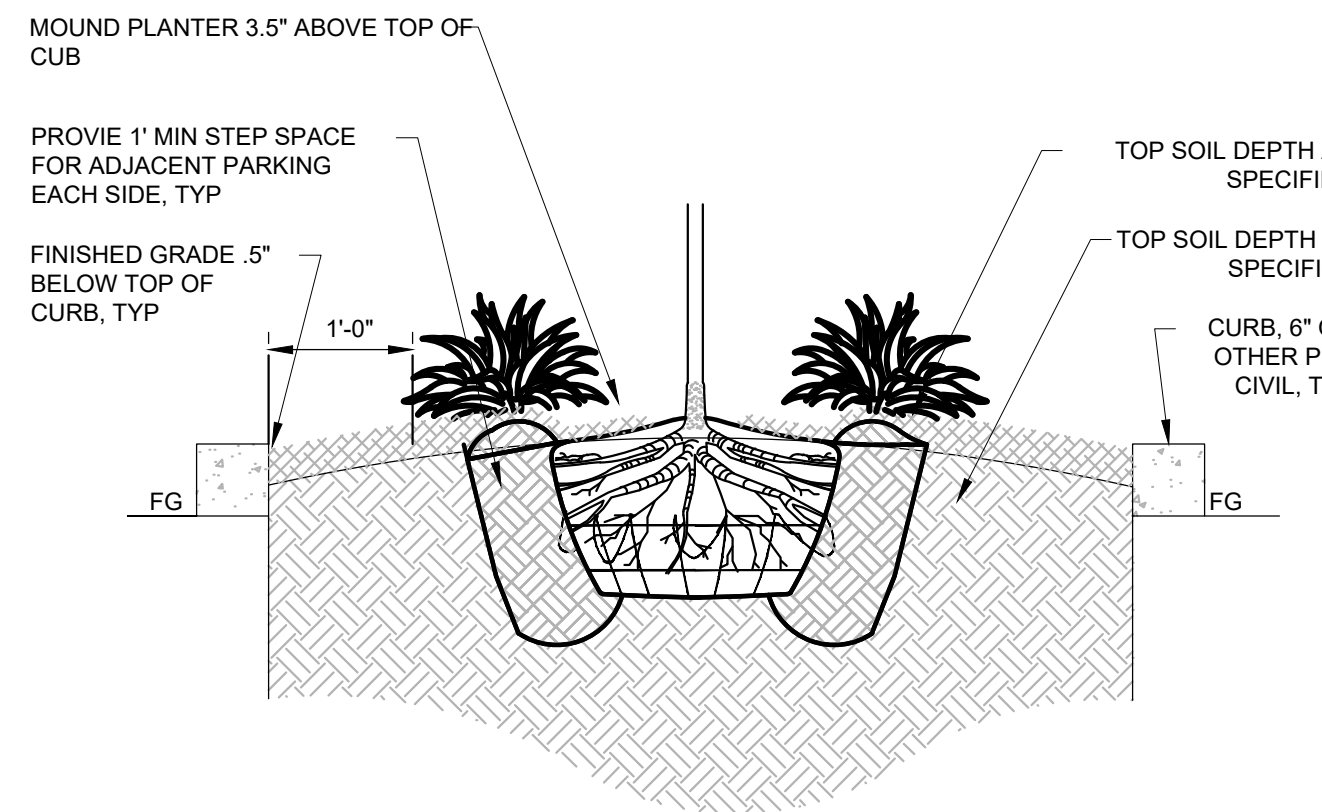


1 BALL & BURLAP TREE PLANTING
3/4" = 1'-0" 3293-01

NOTE:
*CURB & ADJACENT PAVEMENT PER CIVIL OR HARDSCAPE PLANS
*TREE & SHRUB TO BE INSTALLED PER RESPECTIVE DETAILS
*PLANTS & MULCH PER PLAN

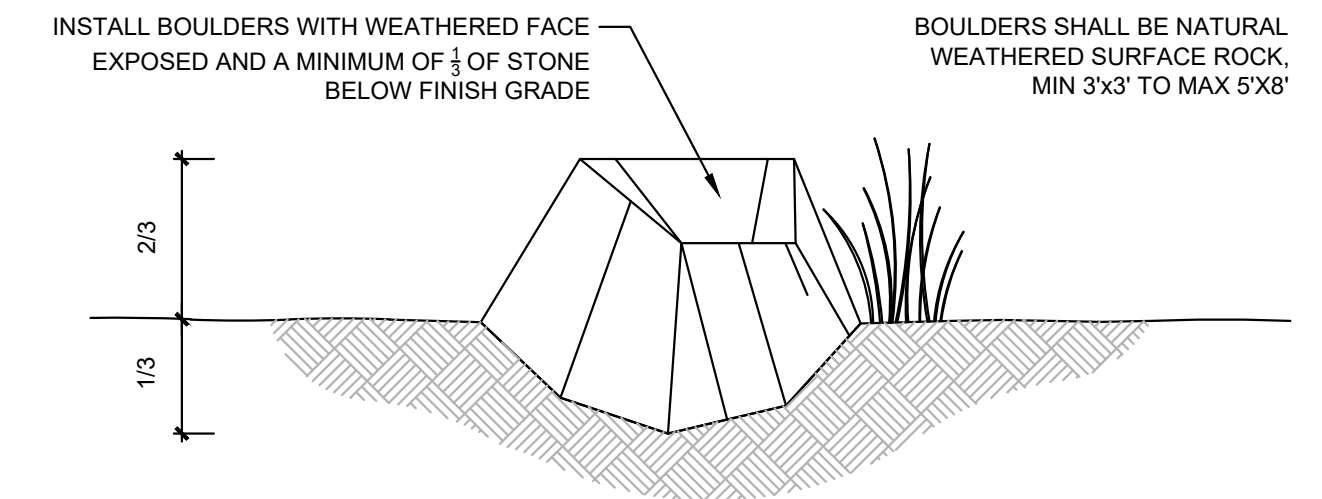


2 SHRUB PLANTING
1" = 1'-0" 329333-03

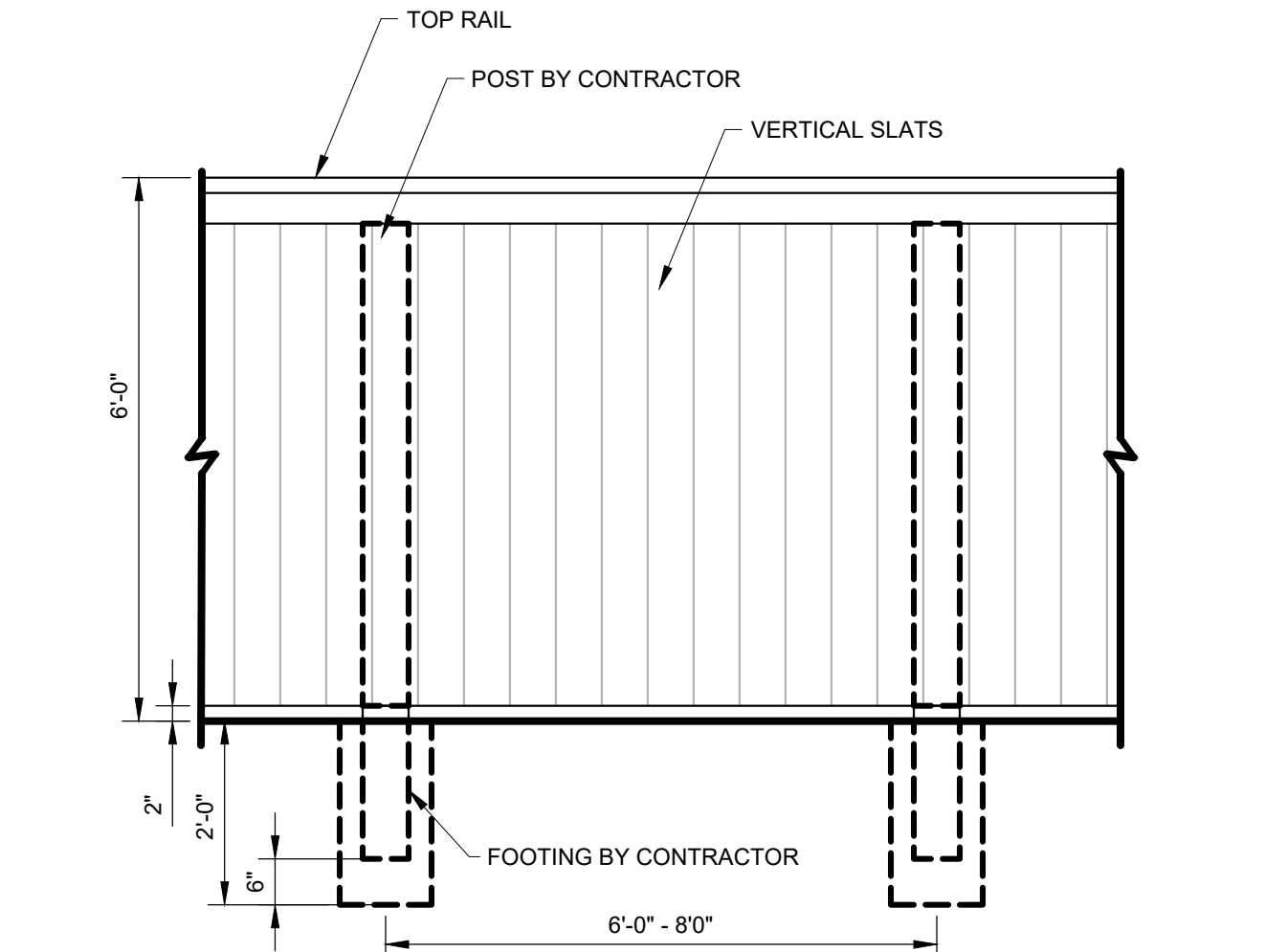


3 PLANTER ISLAND DETAIL
3/4" = 1'-0" P-CO-01

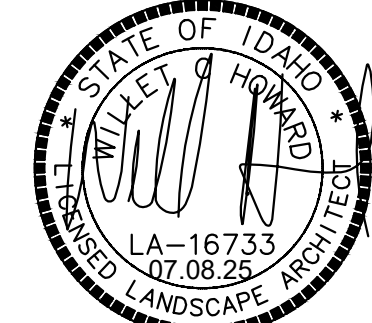
NOTE:
*POSTS, CONNECTIONS, SLATS & FOOTINGS BY CONTRACTOR



4 LANDSCAPE BOULDER PLACEMENT (TYP)
1" = 1'-0" DETAIL-FILE



5 6' CLOSED VISION FENCE
1/2" = 1'-0" 323107-02



REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO:	25-3250
DATE:	07.11.2025
DRAWN BY:	AH
CHECKED BY:	WH

DRAWING TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

L150



- Made from Aluminum
- Size: Square Lamp 5.9" x 5.9" / 15cm x 15cm
- Size: Round Lamp D 5.9" / D 15cm
- Power Source: AC
- Voltage: 90-260V
- Non-Dimmable

- Made from Aluminum
- Size: Square Lamp 5.9" x 5.9" / 15cm x 15cm
- Size: Round Lamp D 5.9" / D 15cm
- Power Source: AC
- Voltage: 90-260V
- Non-Dimmable





EW46308-BK-UNV-

3CCT

Black

SPECIFICATION DETAILS

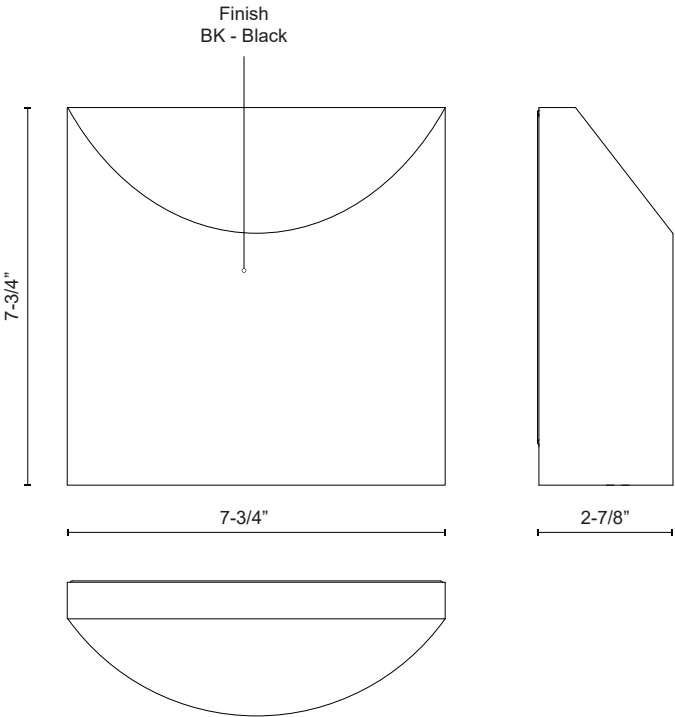
Fixture Dimensions	W7-3/4" x H7-3/4" x E2-7/8"
Height from center	3-7/8"
Light Source	LED with DC Driver
Wattage	20W
Total Lumens	1680lm
Delivered Lumens	BK-1060lm*
Voltage	120-277V
Color Temperature	Selectable CCT 3000K/4000K/5000K
CRI (Ra)	90CRI
LED Rated Life	50,000 hours
Dimming	100% - 10%, TRIAC or ELV Dimmer (Not Included)
Glass Details	Clear Glass
ADA Compliant	Yes
Location	Wet, IP65
Illumination Direction	Down
Mounting Style	Wall Mount, Down Only
Material	Aluminum + Glass
Paint Finish	BK02

* For custom options, consult factory for details.

* For warranty information, please visit www.kuzcolighting.com/warranty

DESCRIPTION

High power LED exterior wall mount fixture intended for use as a downlight. Lenox's die-cast aluminum housing is 8-inch square in its front view, but as the viewer moves to the side the fixture's profile becomes a gently swept curve suggestive of a water drop or perhaps a ship's sail filling with wind. Lenox aimed downwards through its polymeric diffuser lights both the mounting plane and floor. Lenox is available with black finish.



COMMENT

KUZCO

CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3

USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081

WWW.KUZCOLIGHTING.COM

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A1

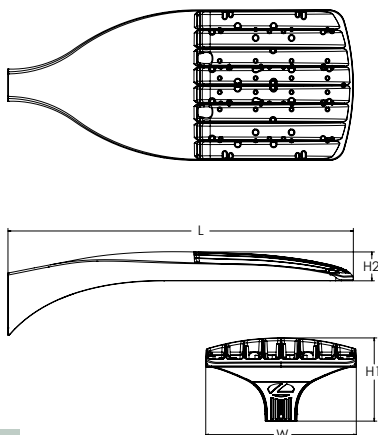
D-Series Size 1 LED Area Luminaire



d#series

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Design Select options indicated by this color background.

Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.

*See ordering tree for details

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED							
Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution		Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row	T5M Type V medium	MVOLT (120V-277V) ⁴	Shipped included
	P1 P6	30K 3000K	70CRI	T1S Type I short	T5LG Type V low glare	HVOLT (347V-480V) ^{5,6}	SPA Square pole mounting (#8 drilling)
	P2 P7	40K 4000K	70CRI	T2M Type II medium	T5W Type V wide	XVOLT (277V - 480V) ^{7,8}	RPA Round pole mounting (#8 drilling)
	P3 P8	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control ³	120 ^{16, 26}	SPA5 Square pole mounting #5 drilling ⁹
	P4 P9			T3LG Type III low glare ³	BLC4 Type IV backlight control ³	208 ^{16, 26}	RPA5 Round pole mounting #5 drilling ⁹
	P5	27K 2700K	80CRI	T4M Type IV medium		240 ^{16, 26}	SPA8N Square narrow pole mounting #8 drilling
	Rotated optics	30K 3000K	80CRI	T4LG Type IV low glare ³	LCCO Left corner cutoff ³	277 ^{16, 26}	WBA Wall bracket ¹⁰
	P10 ¹ P12 ¹	35K 3500K	80CRI	TFTM Forward throw medium		347 ^{16, 26}	MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	P11 ¹ P13 ¹	40K 4000K	80CRI		RCCO Right corner cutoff ³	480 ^{16, 26}	
		50K 5000K	80CRI				

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	DDBXD Dark Bronze
NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11,12,20,21}	SPD20KV 20KV surge protection	DBLXD Black
PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13,20,21}	HS Houseside shield (black finish standard) ²²	DNAXD Natural Aluminum
PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴	L90 Left rotated optics ¹	DWHXD White
PER5 Five-pin receptacle only (controls ordered separate) ^{14,21}	R90 Right rotated optics ¹	DDBTXD Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separate) ^{18,21}	CCE Coastal Construction ²³	DBLBXD Textured black
FAO Field adjustable output ^{15,21}	HA 50°C ambient operation ²⁴	DNATXD Textured natural aluminum
BL30 Bi-level switched dimming, 30% ^{16,21}	BAA Buy America(n) Act and/or Build America Buy America Qualified	DWHGXD Textured white
BL50 Bi-level switched dimming, 50% ^{16,21}	SF Single fuse (120, 277, 347V) ²⁵	
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	DF Double fuse (208, 240, 480V) ²⁶	
DS Dual switching ^{18,19,21}	Shipped separately	
	EGSR External Glare Shield (reversible, field install required, matches housing finish)	
	BSDB Bird Spikes (field install required)	



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DSX1-LED
Rev. 04/29/25
Page 1 of 10

COMMERCIAL OUTDOOR

QUAD LED PATH LIGHT
6091

WAC
LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

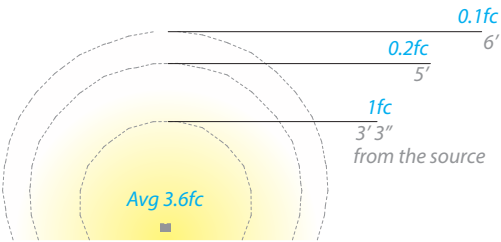
Sleek linear design blends seamlessly into pathways while providing soft, even illumination

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 3.0W / 4.5VA (Use VA value for sizing the transformer and calculate voltage drop.)
Brightness: Up to 100 lm
CRI: 90
Rated Life: 60,000 hours

FEATURES

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Solid diecast corrosion resistant aluminum alloy
- Recommended spacing for installation: Residential 8 to 10ft; Commercial: 5 to 7ft
- Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
- Maintains constant lumen output against voltage drop
- UL & cUL 1838 Listed



ORDERING NUMBER






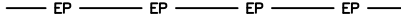








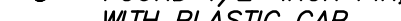

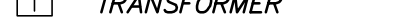






Color Temp		Finish
6091 <i>Quad</i>	27 <i>2700K Warm White</i>	BZ <i>Bronze on Aluminum</i>
	30 <i>3000K Pure White</i>	

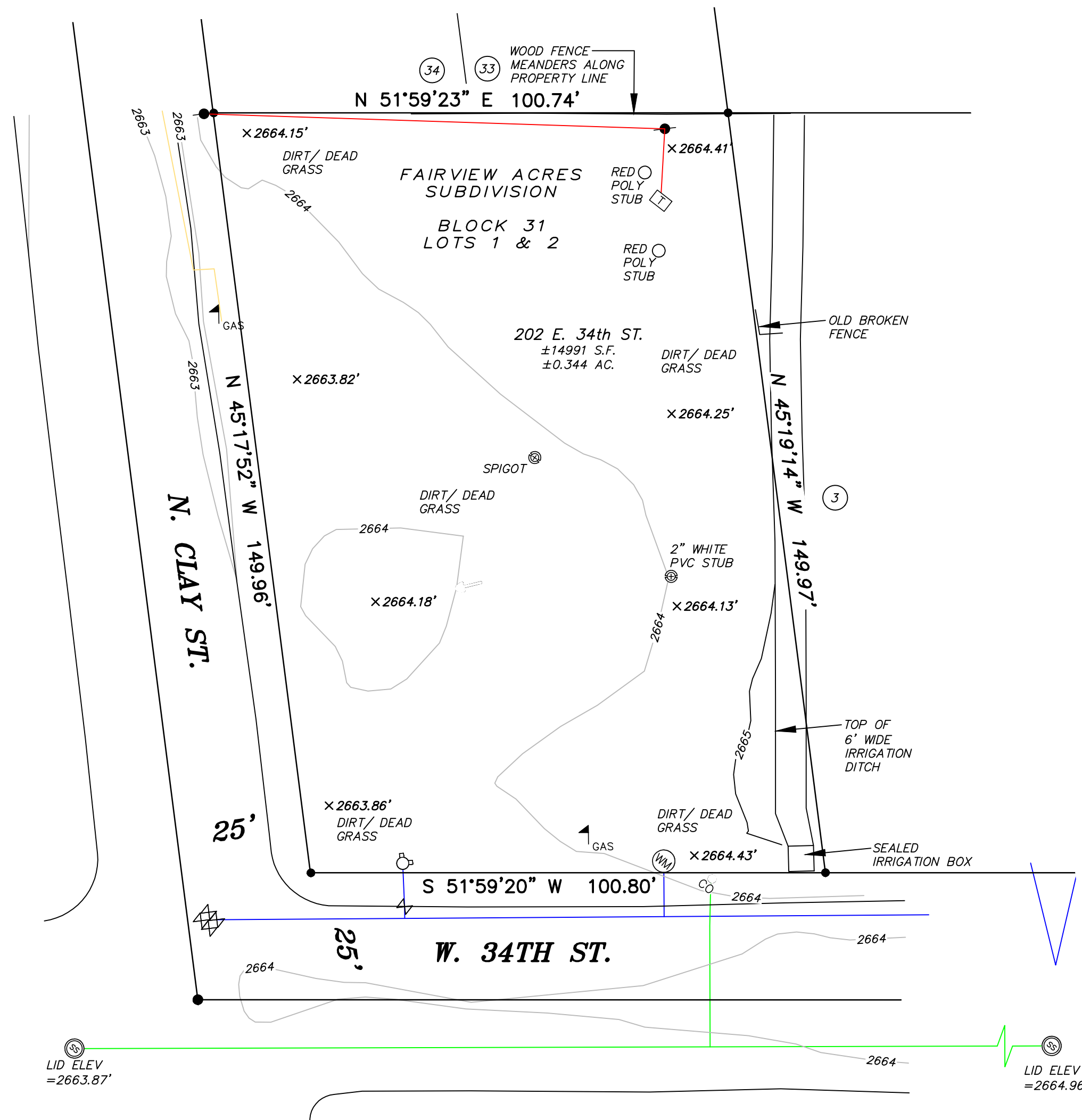
6091-__BZ

Example: 6091-30BZ

TOPOGRAPHIC SURVEY FOR PROVOST & PRITCHARD CONSULTING GROUP,
LOTS 1 & 2, BLOCK 31, FAIRVIEW ACRES SUBDIVISION,
BOOK 11 OF PLATS, PAGE 619, ADA COUNTY RECORDS.
LYING WITHIN GOVT. LOT 11 OF SECTION 05, T.3N., R.2E., B.M.
CITY OF GARDEN CITY — ADA COUNTY — STATE OF IDAHO



- | | |
|---|--|
|  | BOUNDARY LINE |
|  | PARCEL LINE |
|  | CENTERLINE |
|  | FENCE (WOOD/VYNIL) |
|  | EDGE OF PAVEMENT |
|  | SANITARY SEWER |
|  | WATER |
|  | TOP OF SLOPE |
|  | UNDERGROUND POWER |
|  | OVERHEAD UTILITY |
|  | GAS LINE |
|  | FOUND 1/2" IRON PIN,
WITH PLASTIC CAP |
|  | TRANSFORMER |
|  | SANITARY SEWER MANHOLE |
|  | UTILITY MARKER WITH TYPE |
|  | UTILITY POLE |
|  | SPIGOT |
|  | WATER VALVE |
|  | WATER METER |
|  | FIRE HYDRANT |
|  | CLEAN OUT |
|  | TEST PIT |
|  | PLATTED LOT NUMBER |



1. ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM.



1520 W. Washington St.
Boise, Idaho 83702
(208) 488-4227
www accuratesurveyors.com

JOB NO. 25-193
DRAWN BY: SKR
SHEET: 1 OF 1

PRELIMINARY GRADING PLAN

LEGAL DESCRIPTION:

A parcel of land being all of Lot 1 and all of Lot 2 of Block 31 of Fairview Acres Subdivision No. 5 as on file in Book 11 of Plats at Page 619 in the office of the recorder for Ada County, Idaho as shown on Record of Survey No. 13105, on file under Instrument No. 2021-152747 in said office of the recorder for Ada County, Idaho, said parcel being situated in the SE1/4 of Section 5, Township 3 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho and more particularly described as follows:

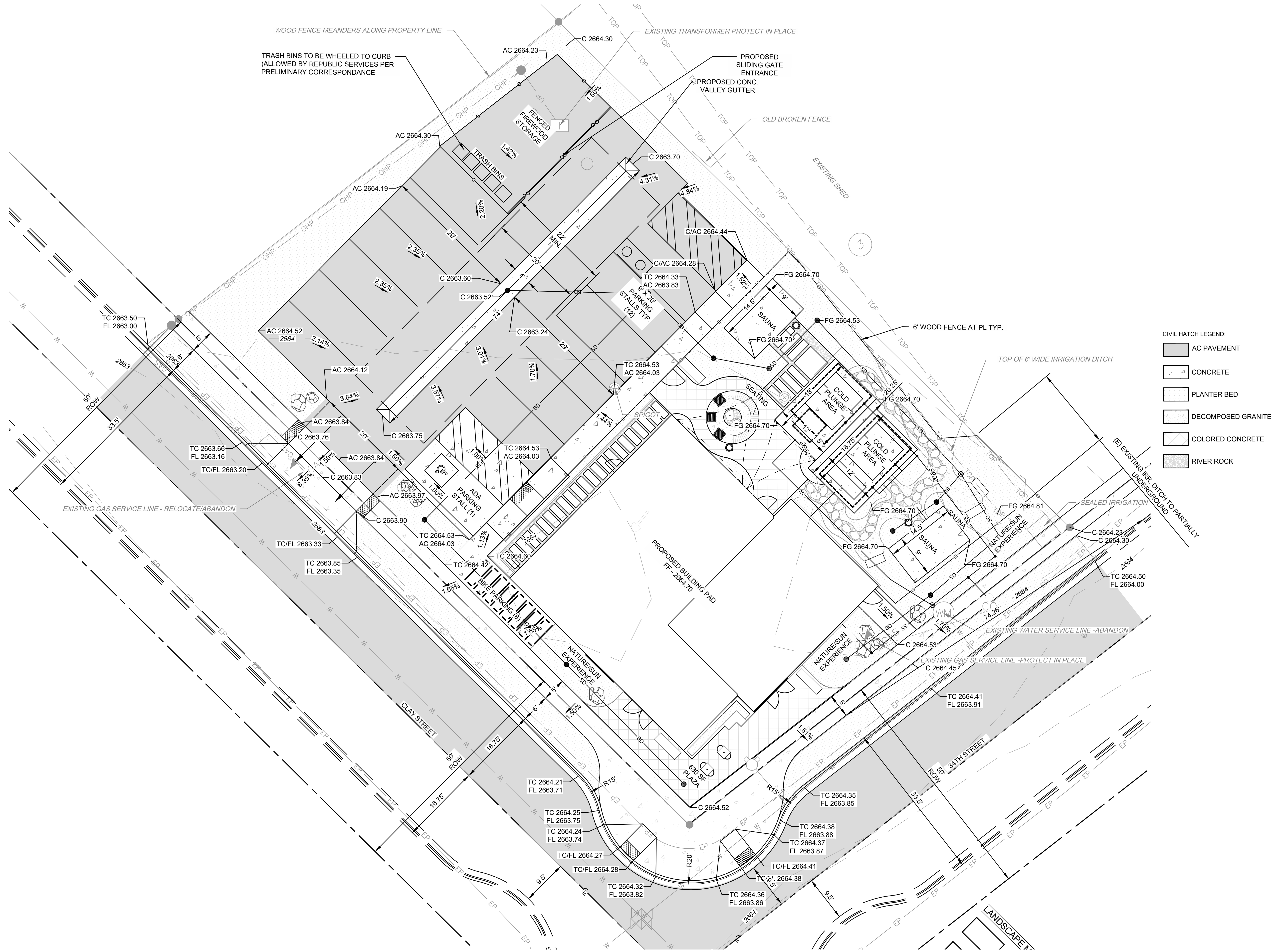
BEGINNING at the Southerly corner of said Lot 1, marked by an iron pin; thence along the Southwesterly line of said Lot 1 North 45°41'16" West 149.81 feet (formerly 150 feet) to the Westerly corner of said Lot 1, marked by an iron pin; thence along the Northwesterly lines of said Lot 1 and said Lot 2 North 51°36'14" East 100.74 feet (formerly 100.8 feet) to the Northerly corner of said Lot 2, marked by an iron pin; thence along the Northeasterly line of said Lot 2 South 45°42'30" East 149.86 feet (formerly 150 feet) to the Easterly corner of said Lot 2, marked by an iron pin; thence along the Southeasterly lines of said Lot 2 and said Lot 1 South 51°37'43" West 100.80 feet to the POINT OF BEGINNING.

GENERAL NOTES

1. DETAILS AND NOTES ON TYPICAL SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OTHERWISE. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.
2. SHOP DRAWINGS FOR THIS CONTRACT SHALL BE COORDINATED WITH FAVORABLY REVIEWED EQUIPMENT MANUFACTURER'S DRAWINGS.
3. DIMENSIONS NOTED WITH AN ASTERISK *** ARE TO BE COORDINATED WITH FAVORABLY REVIEWED EQUIPMENT MANUFACTURER'S DRAWINGS.
4. ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK OR FABRICATION. IF ANY CONDITION EXISTS THAT IS NOT AS SHOWN ON THE DRAWINGS THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.
6. THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER, HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS.
7. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTOR(S) USING MATERIALS AND METHODS IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE 2025 IDAHO STANDARDS FOR PUBLIC WORKS (ISPC), LOCAL CODES AND ORDINANCES. REPORT ALL DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
8. ANY CHANGES TO THE APPROVED SET OF PLANS WITHOUT NOTIFYING THE ENGINEER PRIOR TO SUCH CHANGES ABSOLVES SAID ENGINEER FROM ANY AND ALL RESPONSIBILITY WITH RESPECT TO THE LIABILITY, DAMAGE OR EXTRA WORK RESULTING FROM SAID CHANGES.
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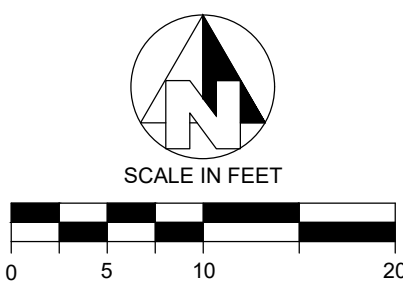
DRAINAGE NOTE

1. THE DRAINAGE INFILTRATION DESIGN IS PRELIMINARY PENDING REVIEW OF FINAL GEOTECHNICAL REPORT.



CIVIL HATCH LEGEND:

[Hatch Pattern]	AC PAVEMENT
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	PLANTER BED
[Hatch Pattern]	DECOMPOSED GRANITE
[Hatch Pattern]	COLORLED CONCRETE
[Hatch Pattern]	RIVER ROCK



PRELIMINARY
NOT FOR CONSTRUCTION

07/02/2025

FOR
REVIEW
ONLY

Juniper Sauna Co.
PREPARED FOR:
BRO ARCHITECTURE
202 E 34TH ST
GARDEN CITY, ID 83714
CIVIL SITE PLAN

PROVOST & PRITCHARD
1988 S. EAGLE ROAD, SUITE 140
MERIDIAN, ID 83642
www.provostpritchard.com

DESIGN ENGINEER:	MJB
LICENSE NO:	P-21329
DRAFTED BY:	RIR
CHECKED BY:	TDM
DATE:	07/09/2025
JOB NO:	4573
PROJECT NO:	4573457325001
PHASE:	1
ORIGINAL SCALE SHOWN IS ONE INCH. ADJUST SCALE FOR REDUCED OR ENLARGED PLANS. SHEET	

PRELIMINARY SITE PLAN

LEGAL DESCRIPTION:

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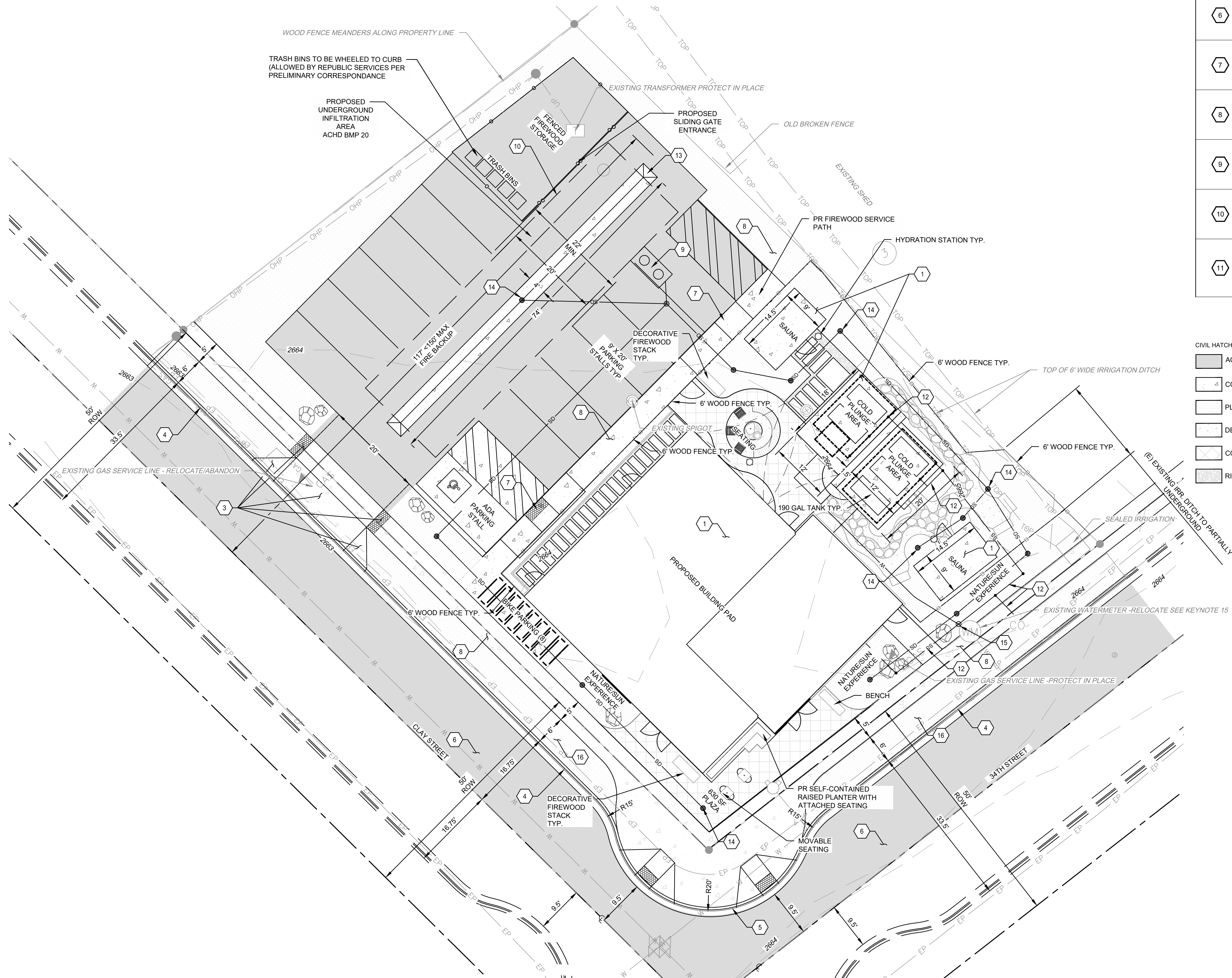
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DRAINAGE NOTE

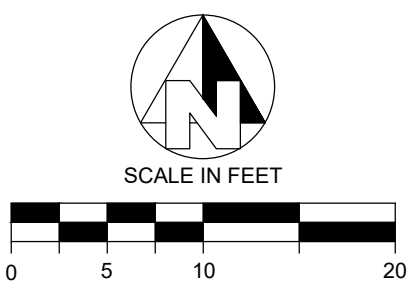
1. THE DRAINAGE INFILTRATION DESIGN IS PRELIMINARY PENDING REVIEW OF FINAL GEOTECHNICAL REPORT.



KEY NOTES	
SYMBOL	DESCRIPTION
1	CONSTRUCT EXTERIOR SLAB IN ACCORDANCE WITH STRUCTURAL PLANS PROVIDED BY OTHERS.
2	GRADE TO DRAIN AWAY FROM EXTERIOR SLAB IN ACCORDANCE WITH GARDEN CITY CODE TITLE 8-7B-1
3	CONSTRUCT CONCRETE DRIVEWAY WITH DETACHED SIDEWALK PER ISPCW ACHD SUPPLEMENT SD-710C
4	6" VERTICAL CURB AND GUTTER PER ISPCW SCHD SUPPLEMENT SD-701
5	CURB BULBOUT PER ISPCW ACHD SUPPLEMENT SD-710F
6	TYPICAL STREET SECTION PER ISPCW ACHD SUPPLEMENT SD-801
7	PROPOSED ADA RAMP PER ISPCW SD-712 AND SD-12G
8	PROPOSED 4" THICK CONCRETE SIDEWALK PER ISPCW SD-709
9	PROPOSED 1000 GAL SAND AND GREASE TRAP PER ISPCW SD-624
10	PROPOSED UNDERGROUND INFILTRATION AREA PER ACHD BMP 20
11	ALL SEWER AND PIPE DEPTHS TO MEET THE MINIMUM DEPTH AND HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS PER THE ISPCW STANDARDS.

CIVIL HATCH LEGEND:	
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12	PROPOSED SANITARY SEWER SERVICE AND SANITARY SEWER CLEANOUT PER ISPCW SD-511A AND SD-506B
13	PROPOSED CONC. VALLEY GUTTER PER ISPCW SD-708
14	PROPOSED INLET CATCH BASIN TYPE II PER ISPCW SD-503
15	PROPOSED WATER SERVICE PER ISPCW SD-401
16	6" PLANTER TO INCLUDE A ROOT BARRIER



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202 E 34TH ST
GARDEN CITY, ID 83714
CIVIL SITE PLAN

PROVOST & PRITCHARD
1988 S. EAGLE ROAD, SUITE 140
MERIDIAN, ID 83642
www.provostpritchard.com

DESIGN ENGINEER:
MJB
LICENSE NO:
P-21329
DRAFTED BY:
RIR
CHECKED BY:
TDM
DATE: 07/11/2025
JOB NO: 4573
PROJECT NO: 4573457325001
PHASE: 1
ORIGINAL SCALE SHOWN IS ONE
INCH. ADJUST SCALE FOR
REDUCED OR ENLARGED PLANS.
SHEET
1 OF 1



SUSTAINABILITY CHECKLIST

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
 ▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

Compliance with 8-4G is required for all new non-residential structures, new additions over 5,001 sq. ft. to existing non-residential structures, and all new residential developments over 4 units. This is accomplished through a point system. For more details, consult 8-4G of the Garden City Code.

The following projects are exempt from the requirements of 8-4G:

1. A project that can be certified by a nationally or regionally recognized program for green building construction and/or development.
2. A residential or non-residential development that will be:
 - a. Built to the maximum density or a floor area ratio of 1.0;
 - b. Located on a site that was previously developed with at least 50% site coverage;
 - c. Located within ¼ mile of a residential zone with an average density of (10) unites per acres net;
 - d. Located within ¼ mile walking distance of at least two of the following basic services:
 - i. Restaurant
 - ii. Church or Place of Religious Worship
 - iii. Food Store
 - iv. Day Care
 - v. Dry Cleaning Establishment
 - vi. Personal or Professional Services
 - vii. Health Care and Social Services
 - viii. Post Office
 - ix. School
 - x. Health Club
3. A mixed use project in compliance with the requirements as set forth in Article 8-3G of this title.

Place a "x" next to the development that applies to your project.

X	Type of Development	Points required
	New residential development over 4 units	6 pts. per unit
X	New Non-residential development: 5,000 sq. ft. or less	12 pts.
	New Non-residential development: 5,001 – 15,000 sq. ft.	18 pts.
	New Non-residential development: 15,001 – 30,000 sq. ft.	24 pts.
	New Non-residential development: Over 30,000 sq. ft.	32 pts.
	Non-residential additions: 5,001 – 15,000 sq. ft.	12
	Non-residential additions: 15,001 – 30,000 sq. ft.	18
	Non-residential additions: Over 30,000 sq. ft.	24 pts

Using the checklist below, place an "x" next to the sustainable criteria utilized in the project. Usage of each criteria will need to be shown on the site plan and/or landscaping plan or other appropriate plan. Failure to meet the requirements of 8-4G may result in the denial of the project.

X	Sustainable Criteria	Development Type	Points
✓	Project located within ¼ walking distance of one or more stops of a TOD or established public transit line usable by building occupants	ALL	4
✓	Shower and changing facilities for employees who may walk or bike to work are provided	Non-residential	2
	A board or computer is located in a public space that provides the following information for both employees and customers A. Information on carpooling programs B. Transit trip planning assistance C. Transit Maps D. Maps of preferred bike routes and the location(s) of secure bicycle parking, lockers and showers, if provided	Non-residential	1
	Employees are provided at no cost membership in a car-share or van-pool program in which (1) the contract is for at least 2 years, and (2) preferred parking is provided for shared parking, and (3) it is demonstrated that these cars are capable of servicing 5% of the employees	Non-residential	1
	Incentives are provided for employees who carpool or use alternative transportation to get to work. Potential incentives may include guaranteed ride home programs, preferred parking, or transit pass subsidies.	Non-residential	1
✓	Bike parking is provided that exceeds the standard set forth in Section XX of this code	Non-residential	2
	Pedestrian pathway or bike trails are dedicated for public use		4
✓	An easily accessible area is provided that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, and metals	ALL	1
	In re-construction of existing sites, at least fifty (50) percent of non-hazardous construction and demolition debris is recycled and/or salvaged	ALL	3
	At least fifty (50) percent (based on surface area) of the existing building structure is incorporated or reused in the new structure.	ALL	2
	A minimum of fifty (50) percent of the parking spaces is provided under cover, including under deck or under roof.	Non-residential	3
	Parking is provided underground or below, habitable space.	Non-residential; multi-family residential	1 per two spaces

	Any combination of the following for fifty (50) percent of the side hardscape including roads, sidewalks, courtyards, and parking lots is provided: A. Shade (within 5 years of occupancy) B. Paving materials with a Solar Reflectance Index (SRI) of at least 29 C. Open grid pavement system	Non-residential; multi-family residential	3
	A vegetated roof for at least fifty (50) percent of the roof area is provided	ALL	3
	Use of alternate sources of energy		
	Solar collectors are an allowed structure in the CC&R's	Residential	2
	Only captured rain water, recycled wastewater, recycled gray water, or water treated is used for non-potable uses for irrigation	ALL	4
✓	Landscaping is provided that does not require permanent irrigation systems. Temporary irrigation systems used for plan establishment are allowed only if removed within one year of installation	ALL	3
	If irrigation is provided, a drip irrigation system is used.	ALL	2
	Alternative surfaces (e.g., vegetated roofs, pervious pavement or grid pavers) and nonstructural techniques (e.g., rain gardens, vegetated swales, disconnection of imperviousness, rainwater recycling) are used to reduce imperviousness and promote infiltration thereby reducing pollutant loadings	ALL	3
	Storm water volumes generated from the site are reused for non-potable uses such as landscape irrigation, toilet and urinal flushing and custodial uses.	ALL	3
✓	A storm water infiltration and retention system is provided on the site.	ALL	1
	Vegetated open space areas are provided adjacent to the building that is equal to the building footprint	Non-residential	2
	The project design restores surface water systems, including streams and wetlands.	ALL	4
	The project design retains all trees on the site that are four (4) inch caliper or greater in size.	ALL	3
	The development footprint is located in the footprint of a previous building or impervious surface area.	ALL	2
	Land is dedicated for conservation of habitat or wetlands	ALL	4
	An area of ten (10) percent of the project site is dedicated for community gardens.	ALL	3
	A minimum of one acres of land is dedicated for permanent agriculture use.	ALL	4

Total Points Required for Project: 12

Total Points From Checklist 13