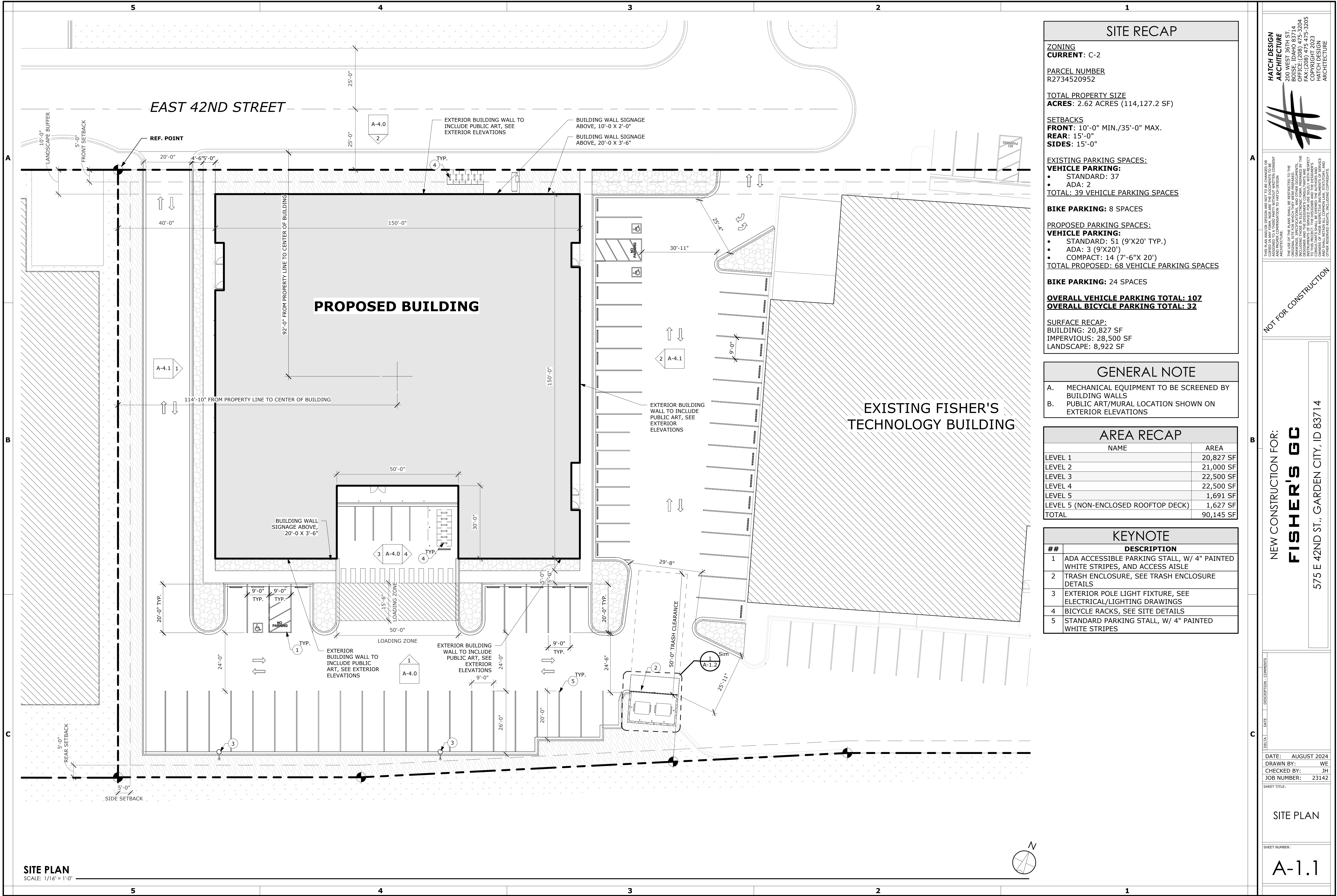




SITE RECAP

ZONING

CURRENT: C-2

PARCEL NUMBER

R2734520952

TOTAL PROPERTY SIZE

ACRES: 2.62 ACRES (114,127.2 SF)

SETBACKS

FRONT: 10'-0" MIN./35'-0" MAX.
REAR: 15'-0"
SIDES: 15'-0"

EXISTING PARKING SPACES:

VEHICLE PARKING:

- STANDARD: 37
- ADA: 2

TOTAL: 39 VEHICLE PARKING SPACES

BIKE PARKING: 8 SPACES

PROPOSED PARKING SPACES:

VEHICLE PARKING:

- STANDARD: 51 (9'X20' TYP.)
- ADA: 3 (9'X20')
- COMPACT: 14 (7'-6"X 20')

TOTAL PROPOSED: 68 VEHICLE PARKING SPACES

BIKE PARKING: 24 SPACES

OVERALL VEHICLE PARKING TOTAL: 107

OVERALL BICYCLE PARKING TOTAL: 32

SURFACE RECAP:

BUILDING: 20,827 SF
IMPERVIOUS: 28,500 SF
LANDSCAPE: 8,922 SF

GENERAL NOTE

A. MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING WALLS

B. PUBLIC ART/MURAL LOCATION SHOWN ON EXTERIOR ELEVATIONS

AREA RECAP	
NAME	AREA
LEVEL 1	20,827 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5	1,691 SF
LEVEL 5 (NON-ENCLOSED ROOFTOP DECK)	1,627 SF
TOTAL	90,145 SF

KEYNOTE	
##	DESCRIPTION
1	ADA ACCESSIBLE PARKING STALL, W/ 4" PAINTED WHITE STRIPES, AND ACCESS AISLE
2	TRASH ENCLOSURE, SEE TRASH ENCLOSURE DETAILS
3	EXTERIOR POLE LIGHT FIXTURE, SEE ELECTRICAL/LIGHTING DRAWINGS
4	BICYCLE RACKS, SEE SITE DETAILS
5	STANDARD PARKING STALL, W/ 4" PAINTED WHITE STRIPES

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE: AUGUST 2024

DRAWN BY: WE

CHECKED BY: JH

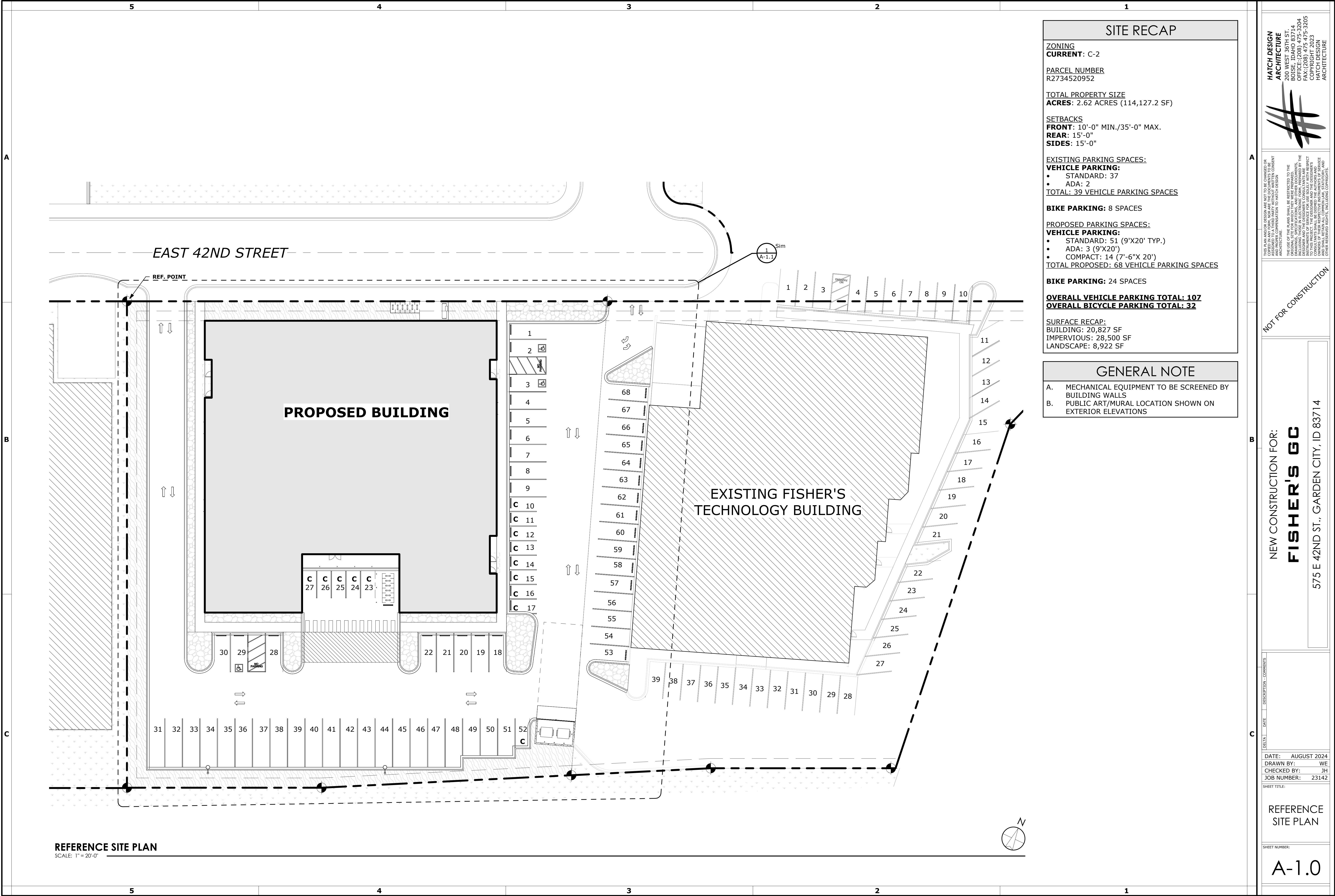
JOB NUMBER: 23142

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1.1



SITE RECAP

ZONING
CURRENT: C-2

PARCEL NUMBER
R2734520952

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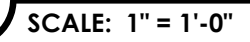
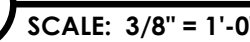
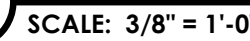
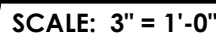
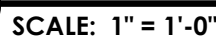
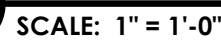
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FISHER'S GC
575 E 42ND ST., GARDEN CITY, ID 83714

DATE	DESCRIPTION	COMMENTS
AUGUST 2024		
DRAWN BY:	WE	
CHECKED BY:	JH	
JOB NUMBER:	23142	
SHEET TITLE:		

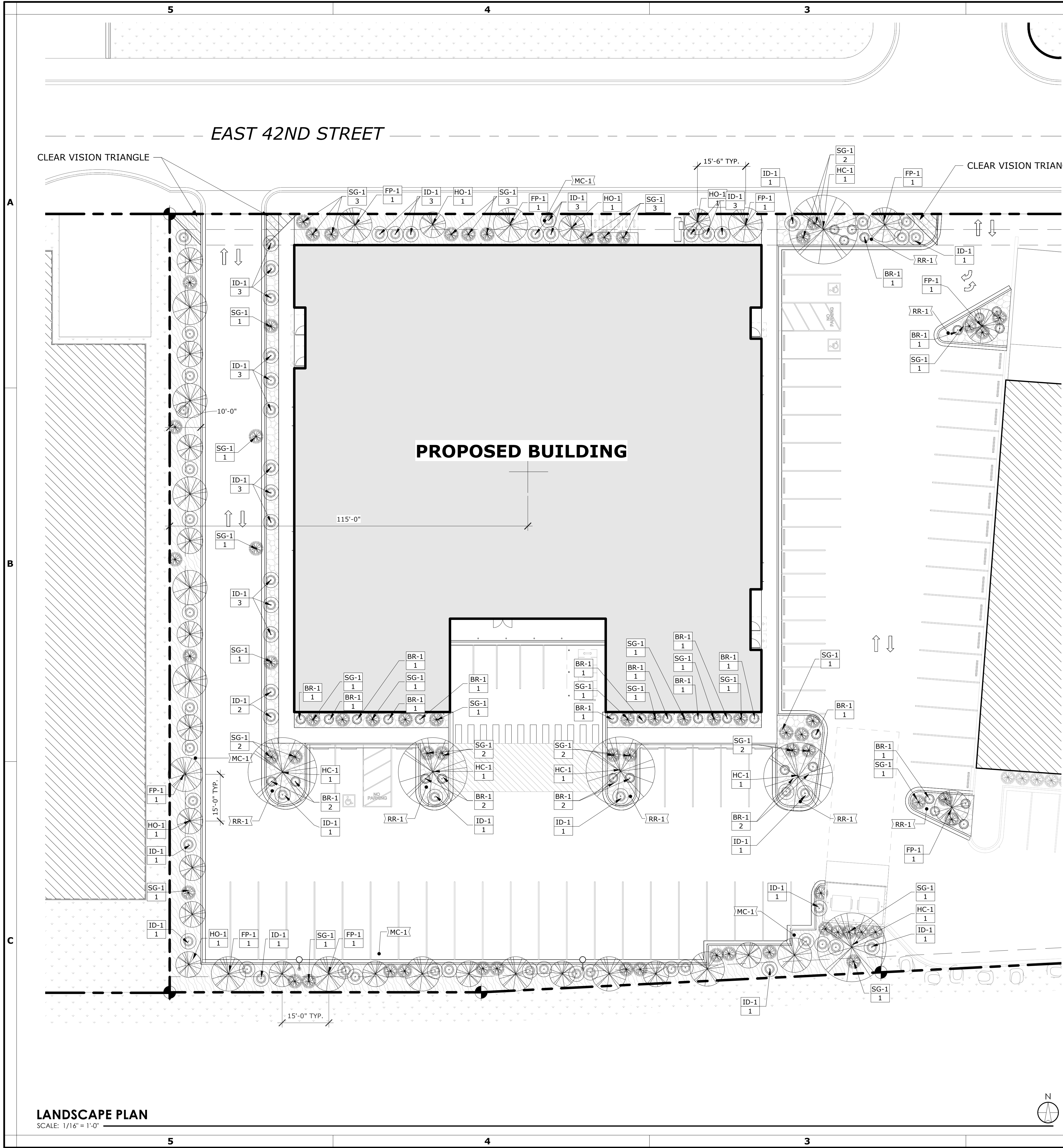
REFERENCE
SITE PLAN

SHEET NUMBER:
A-1.0



575 E 42ND ST., GARDEN CITY, ID 83714

A-1.2



PLANTING SCHEDULE						
##	COUNT	STANDARD NAME	BOTANICAL NAME	MATURE H x W	CLASS	PLANTING SIZE
DECIDUOUS						
FP-1	19	Pear, Flowering	Pyrus calleryana	35'-45' H X 20'-30' W	II	N/A
HC-1	6	Hackberry, Common	Celtis occidentalis	40'-60' H X 40'-60' W	II	N/A
HO-1	19	Oak, Hybrids	Quercus robur x alba	35'-45' H X 12'-15' W	III	N/A
ORNAMENTAL GRASSES						
SG-1	65	Heavy Metal Switch Grass	Panicum virgatum	3' H x 3' W	N/A	1 gal.
SHRUBS						
BR-1	32	Blue Rug Juniper	Juniperus horizontalis 'Wiltonii'	.5' H X 3' W	N/A	2 gal.
ID-1	63	Ivory Halo Dogwood	Cornus alba 'Bailhalo'	5' H X 5' W	N/A	5 gal.
TOTAL:		204				

LANDSCAPE RECAP	
EXISTING LANDSCAPE NOT IN EASEMENTS/SETBACK: 2,300 SF	
PROPOSED LANDSCAPE NOT IN EASEMENTS/SETBACK: 4,219 SF	
TOTAL: 6,519 SF (OK)	
REQUIRED: 5,706 SF	

GROUND COVERAGE RECAP		
##	NAME	AREA
MC-1	SUNBURST RED MULCH	5873 SF
RR-1	3/4" ROUND ROCK	3049 SF

SYMBOL LEGEND	
FP #	PLANTING TAG, SEE PLANTING SCHEDULE
FP	FLOOR TAG, SEE GROUND COVERAGE RECAP

PLANTING LEGEND	
	ORNAMENTAL GRASS, SEE PLANTING SCHEDULE
	DECIDUOUS TREE, SEE PLANTING SCHEDULE
	SHRUB, SEE PLANTING SCHEDULE
	3/4" ROUND ROCK, SEE GROUND COVERAGE RECAP
	MULCH, SEE GROUND COVERAGE RECAP

- GENERAL NOTE**
- A. TREES TO BE SPACED 15 LINEAR FEET, U.N.O.
- B. PROJECT OWNER TO BE RESPONSIBLE FOR LANDSCAPE CARE & MAINTENANCE, OWNER WILL FOLLOW REQ'D MIN. OF LANDSCAPE CARE PER THE CITY'S REQUIREMENTS.
- C. ALL LANDSCAPED AREAS SHALL HAVE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.

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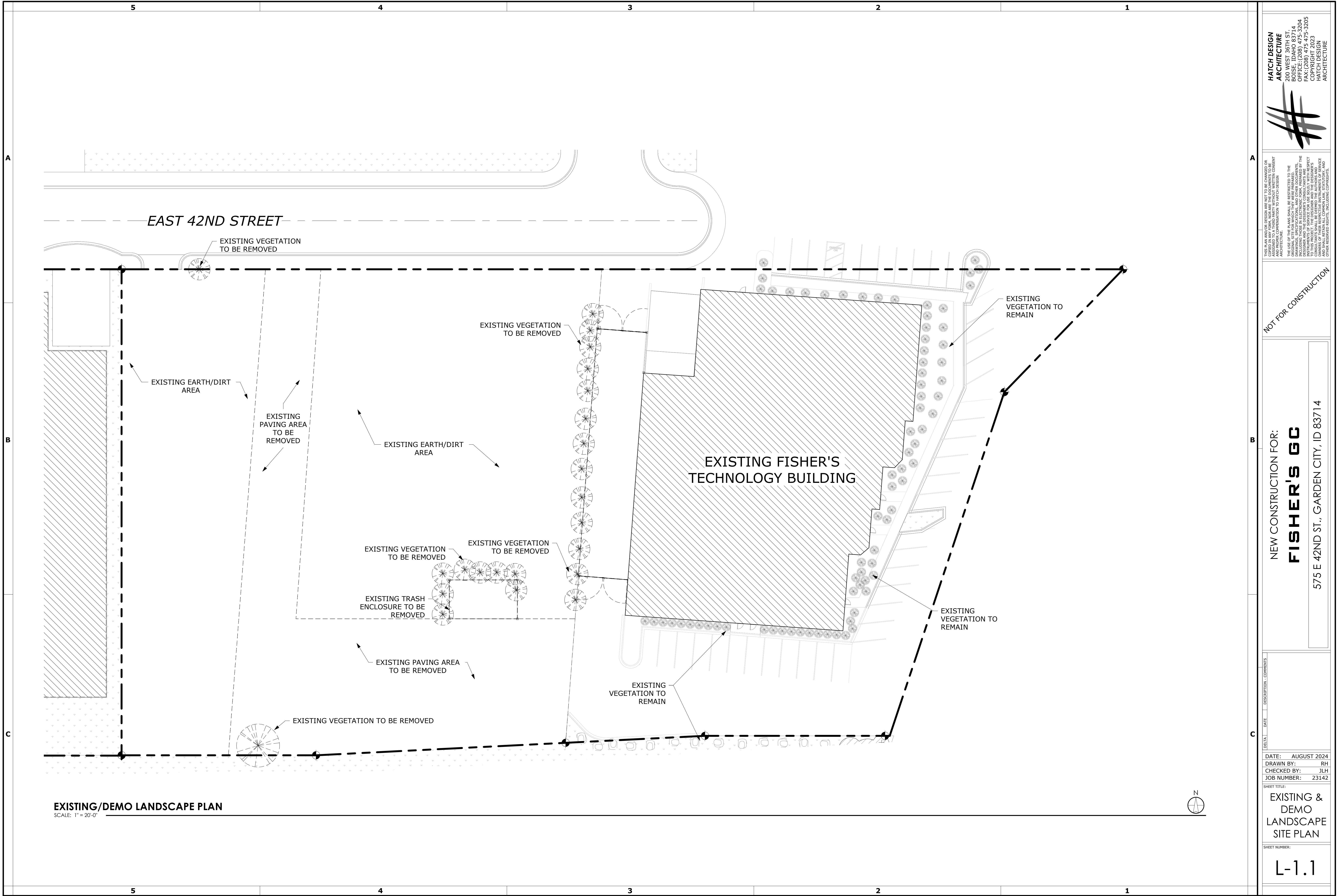
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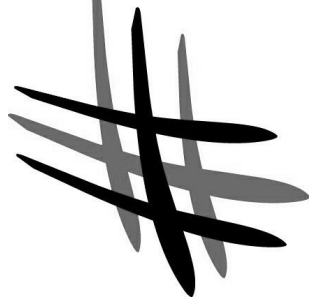
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FISHER'S GC
575 E 42ND ST., GARDEN CITY, ID 83714

DATE: AUGUST 2024
DRAWN BY: RH
CHECKED BY: JLH
JOB NUMBER: 23142

LANDSCAPE
SITE PLAN

SHEET NUMBER:
L-1.0





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DATE	DESCRIPTION - COMMENTS
AUGUST 2024	
DRAWN BY: RH	
CHECKED BY: JLH	
JOB NUMBER: 23142	

SHEET TITLE:
**EXISTING &
DEMO
LANDSCAPE
SITE PLAN**

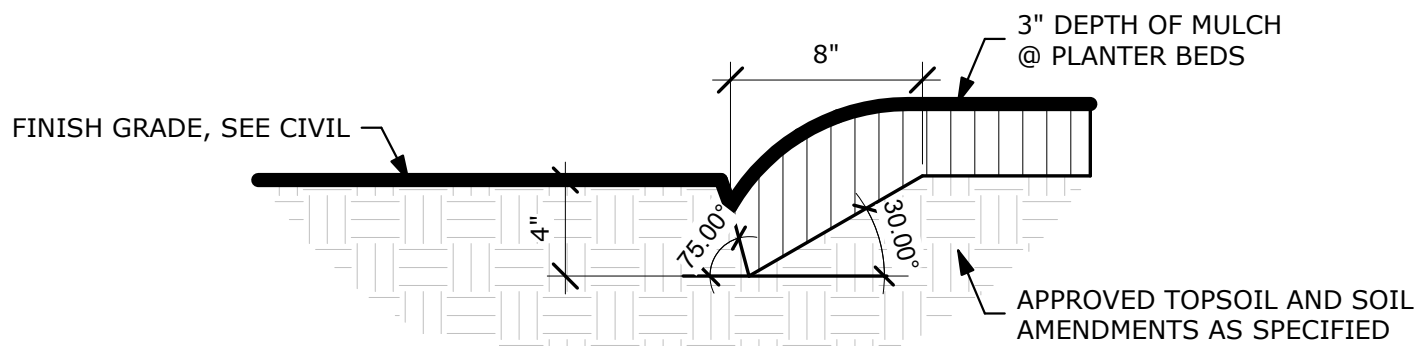
SHEET NUMBER:
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LANDSCAPING NOTES:

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.].
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 3" MINUS BARK MULCH. SUBMIT SAMPLE FOR APPROVAL.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE CIVIL GRADING PLAN.
11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
A) PROVIDE APPROVED IMPORTED TOPSOIL, OR:
B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH:
A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES:
B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6.
16. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
17. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
18. STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

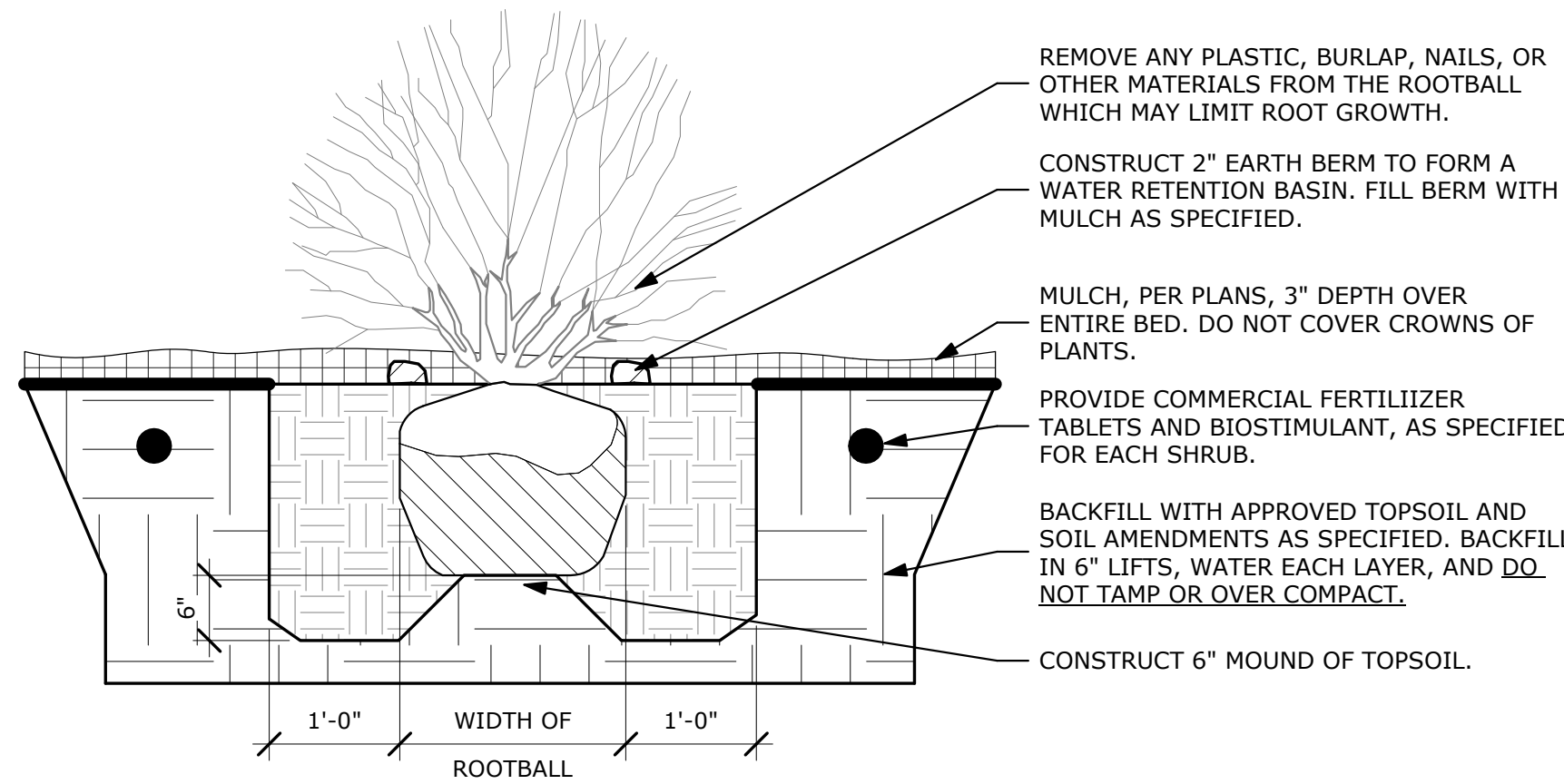
TOPSOIL NOTES:

1. TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
2. TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
3. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
4. PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
5. COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
A) LAWN AREAS: 9 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
B) PLANTER BEDS: 18 INCHES MINIMUM
6. FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOD AND 1" FOR SEED.
7. TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
8. ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.



1 PLANTER BED CUT EDGE

SCALE: 1 1/2" = 1'-0"

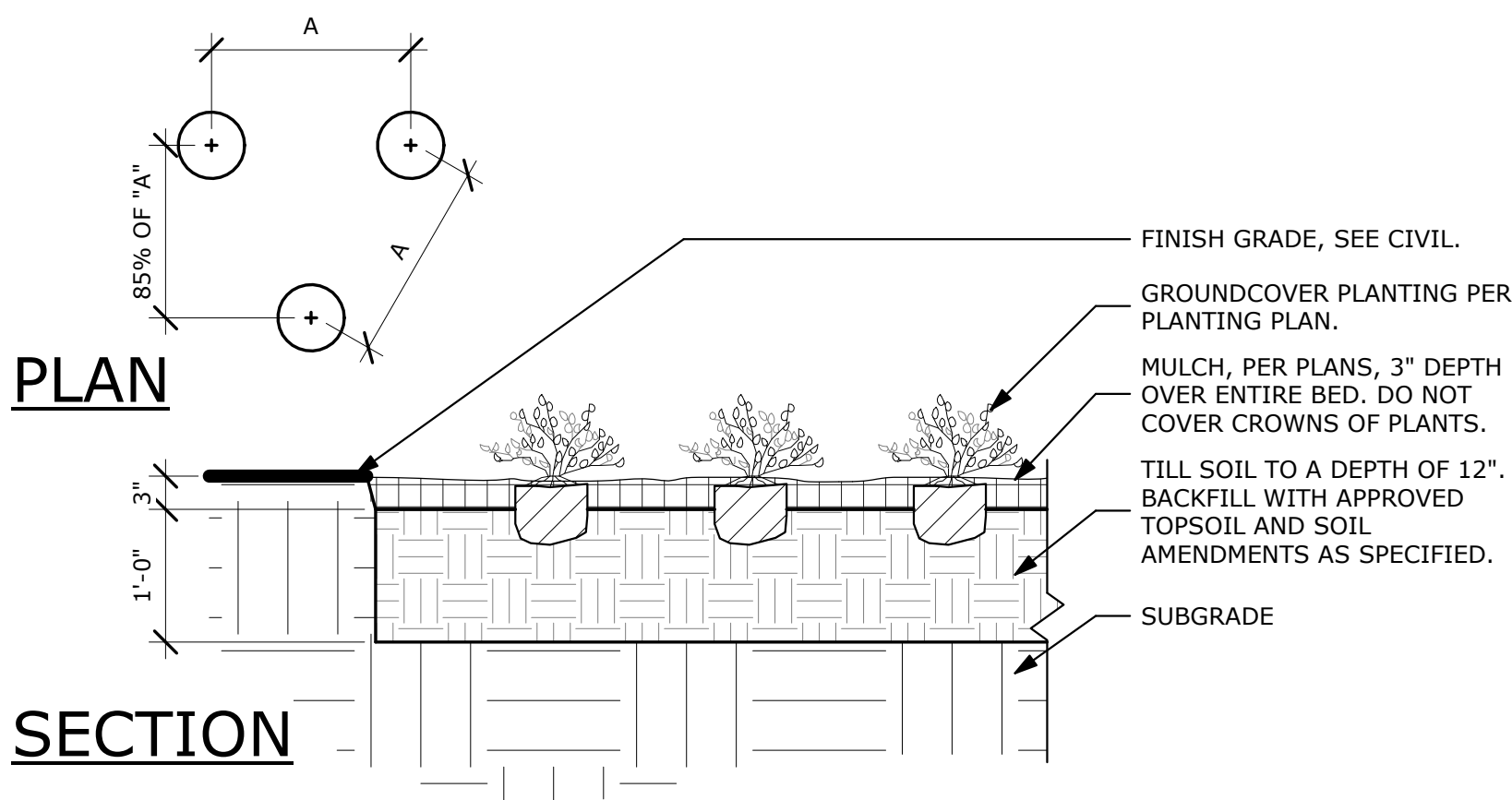


NOTES:

1. SHRUB SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
2. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
3. THIN BRANCHES AND FOLIAGE BY 1/3.
4. DO NOT CUT LEADERS TO RETAIN NATURAL SHRUB SHAPE.
5. FOR CONTAINER GROAN PLANTS THAT ARE ROOTBOUND SPLIT THE ROOTBALL WITH 3

2 SHRUB PLANTING/ERTICAL CUTS.

SCALE: 3/4" = 1'-0"



PLAN

SECTION

NOTES:

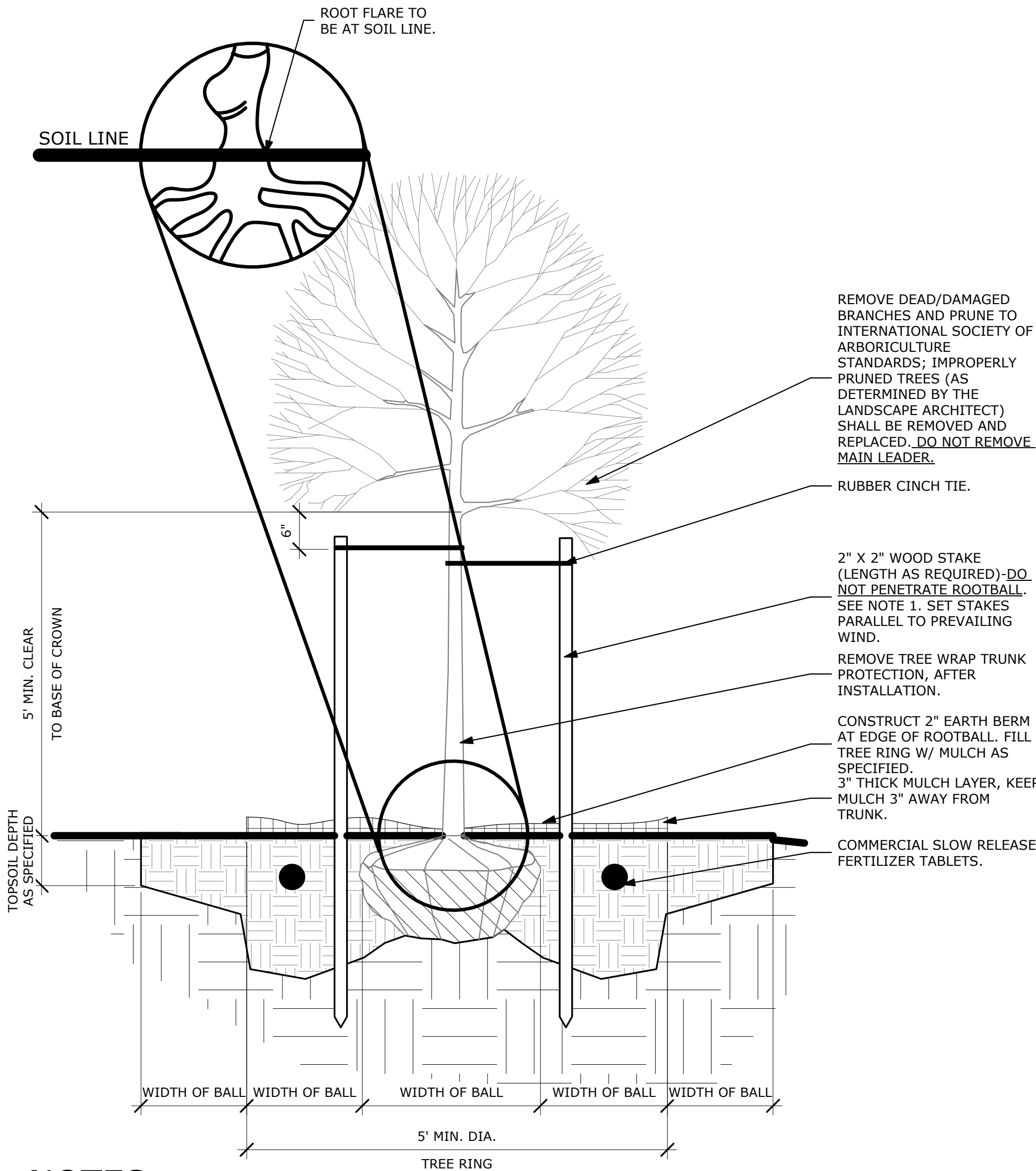
1. ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER IN A TRIANGULAR PATTERN.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S

3 GROUND COVER PLANTING IS TO ALL GROUNDCOVER BEDS.

SCALE: 3/4" = 1'-0"

IRRIGATION NOTES:

1. GROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
A) PRECISE INDIVIDUAL STATION TIMING.
B) RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES.
C) AT LEAST ONE PROGRAM FOR EACH HYDROZONE.
D) SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF.
E) POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.



NOTES:

1. REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL.
2. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
3. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
6. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
7. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
8. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR

4 DECIDUOUS TREE PLANTING

SCALE: 3/4" = 1'-0"

WEED ABATEMENT NOTES:

1. ALL AREAS TO BE PLANTED OR HYDROSEEDDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
2. CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED EQUAL.
3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
5. APPLY SECOND APPLICATION OF "ROUND-UP" TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
6. IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE: AUGUST 2024

DRAWN BY: RH

CHECKED BY: JLM

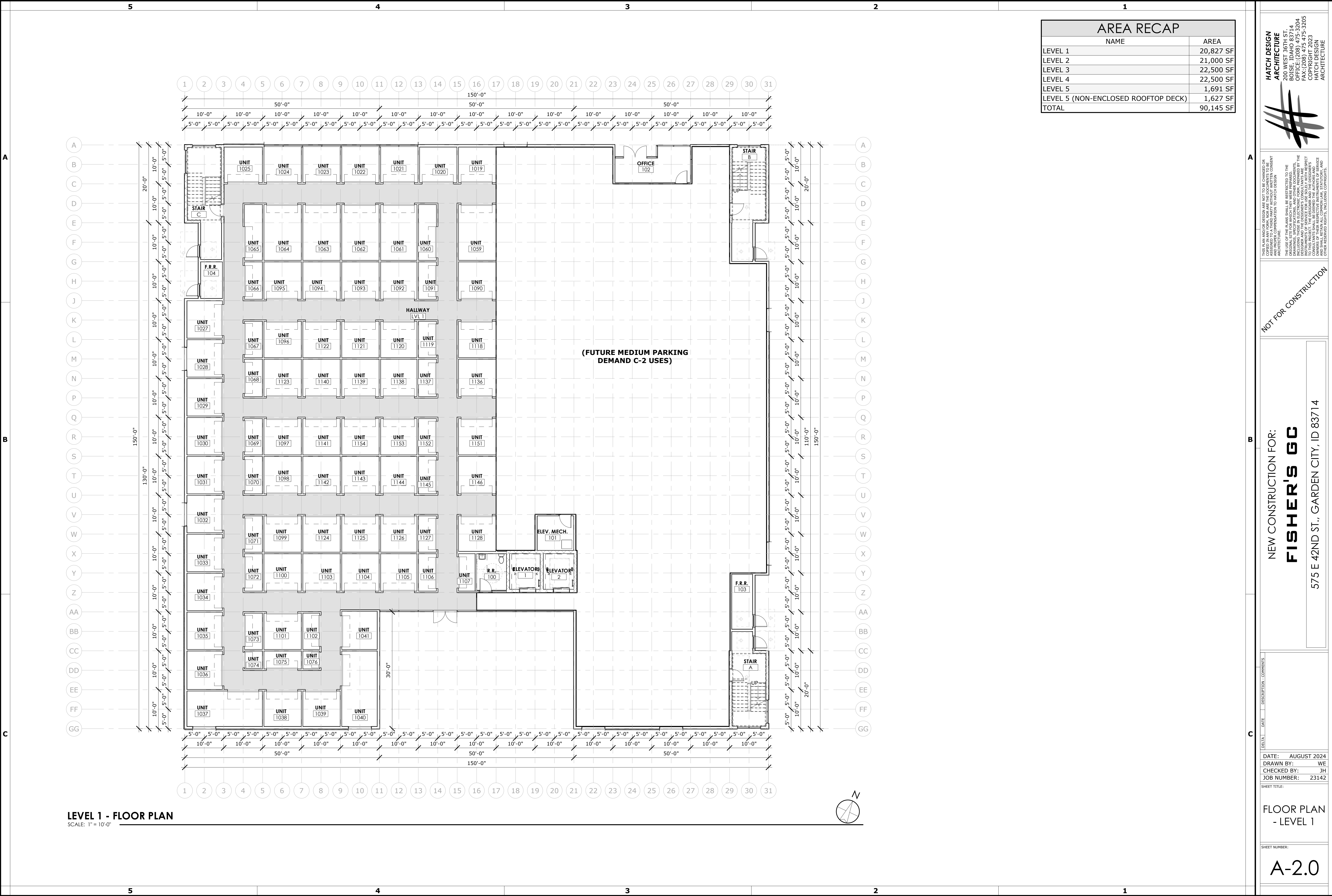
JOB NUMBER: 23142

SHEET TITLE:

LANDSCAPE
DETAILS

SHEET NUMBER:

L-1.2



LEVEL 1 - FLOOR PLAN

SCALE: 1" = 10'-0"

AREA RECAP	
NAME	AREA
LEVEL 1	20,827 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5	1,691 SF
LEVEL 5 (NON-ENCLOSED ROOFTOP DECK)	1,627 SF
TOTAL	90,145 SF

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NEW CONSTRUCTION FOR:
FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE	DESCRIPTION	COMMENTS
DATE:	AUGUST 2024	
DRAWN BY:	WE	
CHECKED BY:	JH	
JOB NUMBER:	23142	
SHEET TITLE:		

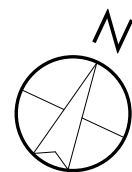
FLOOR PLAN
- LEVEL 1

SHEET NUMBER:

A-2.0

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SCALE: 1" = 10'-0"

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NEW CONSTRUCTION FOR:

CSIS

575 E 42ND ST., GARDEN CITY, ID 83714

DATE:	AUGUST 2024
DRAWN BY:	WE
CHECKED BY:	JH
JOB NUMBER:	23142
SHEET TITLE:	

FLOOR PLAN
- LEVEL 2

SHEET NUMBER:

A-2.1

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NEW CONSTRUCTION FOR:

CGS-REHSI

575 E 42ND ST., GARDEN CITY, ID 83714

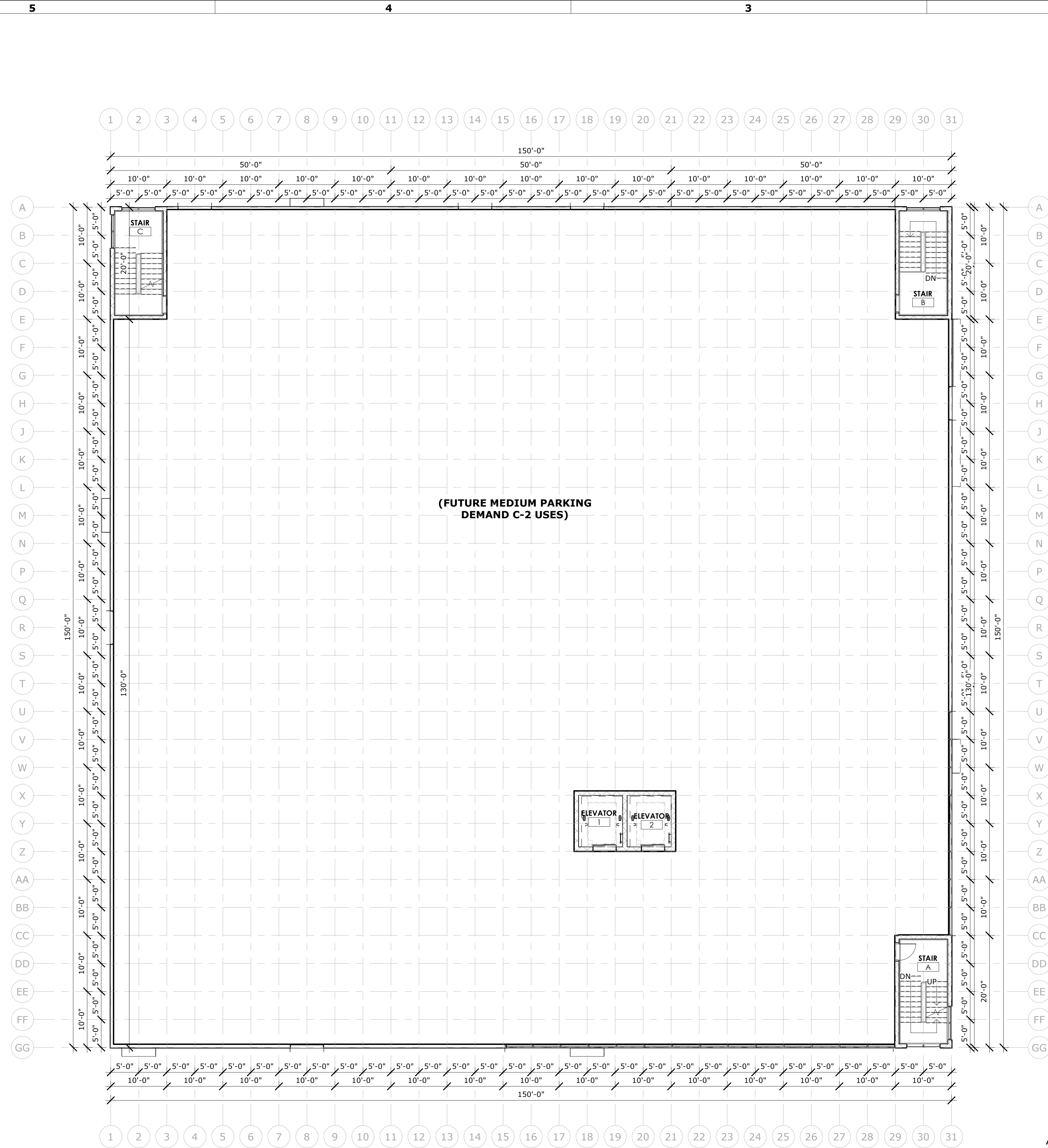
DATE:	AUGUST 2024
DRAWN BY:	WE
CHECKED BY:	JH
JOB NUMBER:	23142

SHEET TITLE

FLOOR PLAN
- LEVEL 3

SHEET NUMBER:

A-2.2



LEVEL 4 - FLOOR PLAN
SCALE: 1" = 10'-0"

AREA RECAP	
NAME	AREA
LEVEL 1	20,827 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5	1,691 SF
LEVEL 5 (NON-ENCLOSED ROOFTOP DECK)	1,627 SF
TOTAL	90,145 SF

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FISHER'S GC
575 E 42ND ST., GARDEN CITY, ID 83714

DATE	DESCRIPTION - COMMENTS
AUGUST 2024	
DRAWN BY: WE	
CHECKED BY: JH	
JOB NUMBER: 23142	
SHEET TITLE:	

FLOOR PLAN
- LEVEL 4

SHEET NUMBER:
A-2.3

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NEW CONSTRUCTION FOR:
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DELTA	DATE	DESCRIPTION - COMMENTS
DATE: AUGUST 2024		
DRAWN BY: WE		
CHECKED BY: JH		
JOB NUMBER: 23142		
SHEET TITLE:		

FLOOR PLAN
- LEVEL 5

SHEET NUMBER:

A-2.4

