

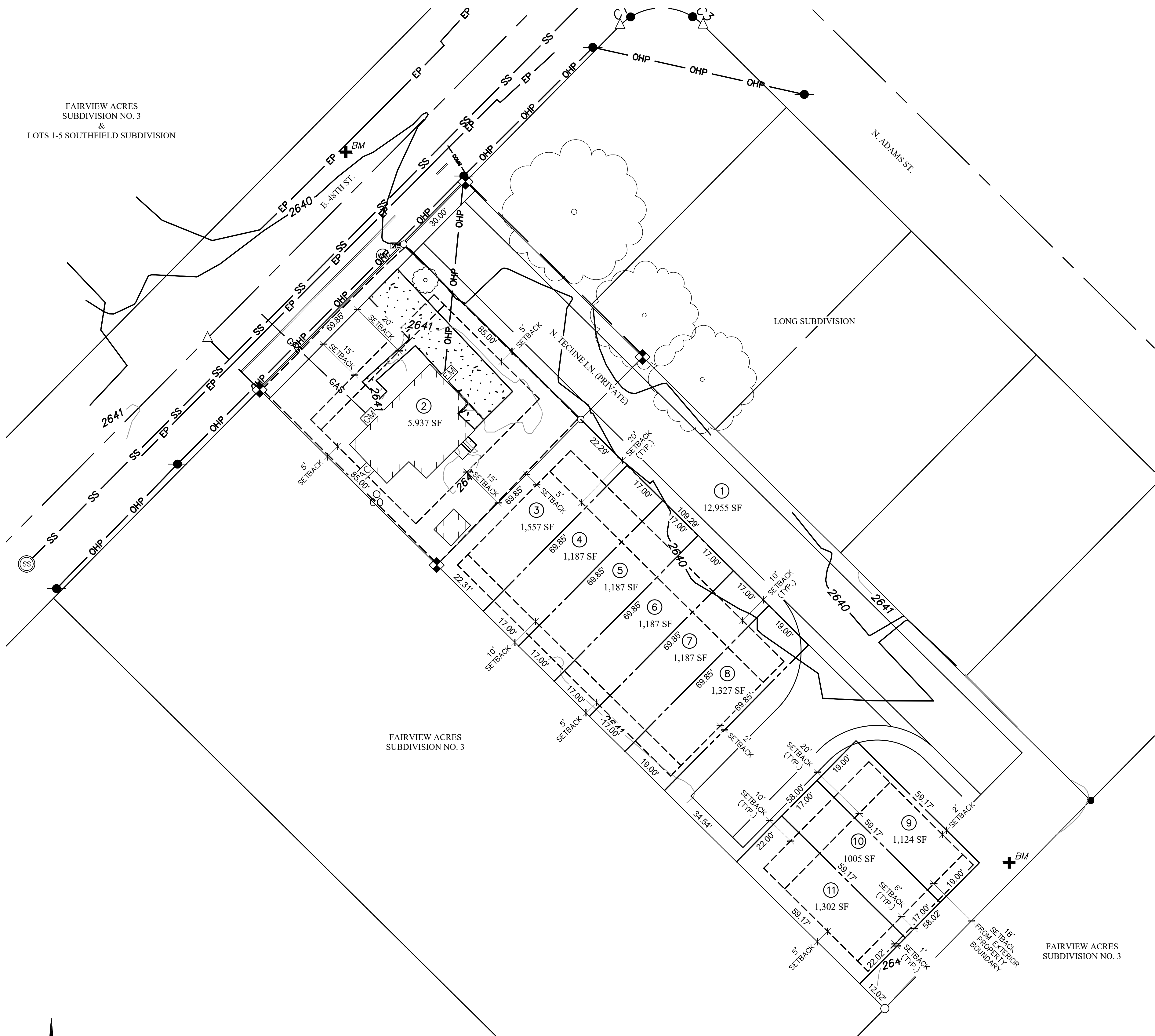
Z:_REP Projects\2023\23054_Zhanna Development - Vero\CA0\Sheets\Preliminary Plots.dwg plotted by: user on Wed, September 18, 2024 at 11:49 AM

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ZHANNA SUBDIVISION

LOT 19, BLOCK 25, FAIRVIEW ACRES SUBDIVISION No.3,
BOOK 11 OF PLATS, PAGE 617, ADA COUNTY RECORDS.
LYING WITHIN THE SW 1/4 OF THE NE 1/4 OF SECTION 31, T.4N., R.2E., B.M.

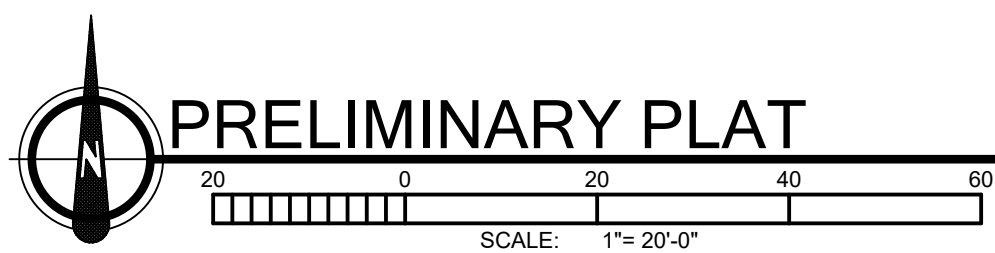
GARDEN CITY — COUNTY OF ADA — STATE OF IDAHO
SEPTEMBER 2024



FAIRVIEW ACRES
SUBDIVISION NO. 3
&
LOTS 1-5 SOUTHFIELD SUBDIVISION

FAIRVIEW ACRES
SUBDIVISION NO. 3

FAIRVIEW ACRES
SUBDIVISION NO. 3



ZONING AND SETBACKS

EXISTING ZONING DESIGNATION:	-	R-3
PROPOSED ZONING DESIGNATION:	-	R-3
MINIMUM LOT SIZE:	-	1,005 S.F.
PROPOSED TOWNHOMES (LOTS 3-11)		
SETBACKS: FRONT (LIVING)	-	10 FEET*
FRONT (GARAGE)	-	20 FEET*
STREETSIDE	-	5 FEET
SIDE (EXTERIOR)	-	5 FEET
SIDE (INTERIOR)	-	0 FEET, 2 FEET FOR END UNITS
REAR (EXTERIOR, LIVING)	-	10 FEET
REAR (EXTERIOR, BALCONY)	-	5 FEET
REAR (INTERIOR, LIVING)	-	6 FEET
REAR (INTERIOR, BALCONY)	-	1 FOOT
EXISTING HOME (LOT 2)		
SETBACKS: FRONT (LIVING)	-	15 FEET*
FRONT (GARAGE)	-	20 FEET*
SIDE	-	5 FEET
STREET SIDE	-	5 FEET*
REAR	-	15 FEET

*SETBACKS MEASURED FROM BACK OF WALK

GENERAL SITE NOTES

PROPERTY SIZE:	29,964.9 S.F. ± 0.688 ACRES ±
PROPOSED USE:	10 SINGLE FAMILY RESIDENTIAL LOTS (1 EXISTING, 9 PROPOSED), AND 1 COMMON LOT
SITE ADDRESS:	313 E. 48TH ST., GARDEN CITY, ID 83714
PARCEL ID NO:	R2734523465 & R2734523470

NOTES

- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
- MINIMUM BUILDING SETBACKS DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE GARDEN CITY ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY PUD.
- DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE GARDEN CITY ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY PUD.
- LOTS 2-11 WITHIN THIS SUBDIVISION ARE SINGLE-FAMILY RESIDENTIAL LOTS.
- LOT 1 IS SUBJECT TO A SHARED DRIVEWAY EASEMENT, AS SHOWN HEREON.
- NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- ALL LOTS ARE SUBJECT TO A PUBLIC UTILITY EASEMENT ALONG THE SUBDIVISION BOUNDARY AND INTERIOR LOT LINES.
- ALL LOTS IN THE SUBDIVISION ARE SUBJECT TO RESTRICTIVE COVENANTS, ORIGINALLY RECORDED AS INSTRUMENT NUMBER TOGETHER WITH ANY FURTHER RECORDED AMENDMENTS THERETO.
- PER IDAHO CODE 31-3805, ITS PROVISIONS THAT APPLY TO IRRIGATION WATER CONCERNING IRRIGATION RIGHTS, TRANSFER AND DISCLOSURE, THE PROPERTY LYING WITHIN THE BOUNDARIES OF THIS PLAT IS IN IRRIGATION DISTRICT. THE OWNER/DEVELOPER AND IRRIGATION DISTRICT WILL BE PROVIDING IRRIGATION WATER TO THE LOTS OF THIS SUBDIVISION.

LEGEND

	BOUNDARY LINE
	PARCEL LINE
	ORIGINAL PLATTED LOT LINE
	CENTERLINE
	PROPOSED LOT LINE
	PROPOSED SETBACK LINE
	BUILDING
	FOUND 5/8" IRON PIN, WITH PLASTIC CAP, AS NOTED
	FOUND 1/2" IRON PIN, WITH PLASTIC CAP, AS NOTED
	FOUND DISTURBED 1/2" IRON PIN, REMOVED AND REPLACED WITH 5/8" IRON PIN WITH 2" ALUMINUM CAP, PLS 11463
	CALCULATED POINT
	ORIGINAL PLATTED LOT NUMBER
	TO BE SET 1/2" IRON PIN
	PROPOSED LOT NUMBER



ACCURATE
SURVEYING & MAPPING

1520 W. Washington St.
Boise, Idaho 83702
(208) 488-4227

www accuratesurveyors.com

Nathan J. Dang,
P.L.S. 11463



OWNER

ZVNH FAMILY TRUST
NICK HANSEN
PO BOX 140838
GARDEN CITY, ID 83714

WILLIAM DEMBI
313 E. 48TH ST.
GARDEN CITY, ID 83714

APPLICANT

RODNEY EVANS + PARTNERS, LLC
1450 W. BANNOCK ST.
BOISE, ID 83702

SURVEYOR

NATHAN DANG
ACCURATE SURVEYING AND MAPPING
1520 W. WASHINGTON ST.
BOISE, ID 83702
(208) 488-4227

LANDSCAPE ARCHITECT

BEN SEMPLE
RODNEY EVANS + PARTNERS, LLC
1450 W. BANNOCK ST.
BOISE, ID 83702
(208) 514-3300

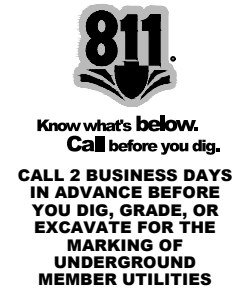
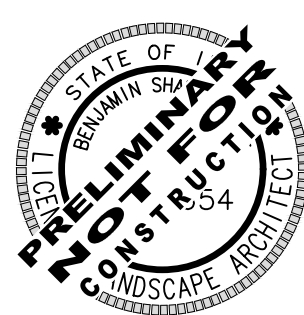
BASIS OF BEARING

N 45° 18' 17" W BETWEEN FOUND
MONUMENTS ALONG THE
CENTERLINE OF W. ADAMS STREET
AS SHOWN ON R3.

REFERENCES

R1 = FAIRVIEW ACRES SUB. No. 2,
BOOK 11 OF PLATS, PAGE 617
R2 = LONG SUB., BOOK 53 OF PLATS,
PAGE 4584
R3 = RECORD OF SURVEY No. 11595
R4 = RECORD OF SURVEY No. 101116
R5 = RECORD OF SURVEY No. 9398

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NO.	REVISION/ISSUE	DATE



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ZHANNA SUBDIVISION
313 E. 48TH ST.
GARDEN CITY, IDAHO 83714
SUBDIVISION

PRELIMINARY PLAT

PROJECT	23054	SHEET
DATE	9/18/24	PP01
DRAWN BY	BSS	CHECKED BY
	BSS	

AGENCY REVIEW

Z:_REP Projects\2023\23054_Zhanna Development - Vero\CAO\Sheets\23054_Site_Landscape.dwg plotted by user on Wed, September 18, 2024 at 11:50 AM

PROJECT INFORMATION
LANDSCAPE REQUIREMENTS

TOTAL PROPERTY SIZE (±)= 29,959 S.F. - .6877 ACRES
ZONING DISTRICT= R-3
LOT IMPROVEMENTS AREA= 21,472 S.F.
BUILDING COVERAGE: 8,850 S.F.
HARDSCAPE COVERAGE: 11,058 S.F.
LANDSCAPE COVERAGE (TOTAL SITE): 12,051 S.F.

LANDSCAPE MATERIAL CONTAINER SIZES:

- SHADE TREES: 2" CAL. MIN.
- ORNAMENTAL TREES: 2" CAL. MIN.
- EVERGREEN TREES: 6" HGT.
- WOODY SHRUBS: 2 GAL.

GENERAL LANDSCAPE REQUIREMENTS (8-41-3):

REQUIRED LANDSCAPE AREA (5%): 1,498 S.F.
PROVIDED LANDSCAPE AREA (8.25%): 2,473 S.F.

1 TREE PER 1,000 SQUARE FEET OF LANDSCAPE AREA AND 1 SHRUB PER 150 SQUARE FEET.

REQUIRED TREES: 30

PROVIDED TREES: 54

REQUIRED SHRUBS: 200

PROVIDED SHRUBS: 235

REQUIRED NUMBER OF TREE SPECIES: 5

PROPOSED NUMBER OF SPECIES: 9

PERIMETER LANDSCAPE REQUIREMENTS (8-41-5):

NORTHEAST PROPERTY BOUNDARY (R-3):

300 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

5' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 20

PROPOSED TREES: 15 (ADJACENT PROPERTY HAS (3) LARGE DECIDUOUS TREES THAT OVERHANG PROPERTY AND WOULD IMPACT GROWTH OF NEW TREES ALONG NORTHEAST BUFFER IF PLANTED BENEATH DRIP LINE)

SOUTHEAST PROPERTY BOUNDARY (R-3):

99.85 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

19' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 7

PROPOSED TREES: 7

SOUTHWEST PROPERTY BOUNDARY (R-3):

300 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

5' & 10' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 20

PROPOSED TREES: 20

NORTHWEST PROPERTY BOUNDARY (N. 48TH STREET):

99.85 LIN. FT. (30 LIN. FT. OF DRIVEWAY ACCESS)

10' WIDE LANDSCAPE BUFFER REQUIRED

20' WIDE LANDSCAPE BUFFER PROVIDED

1 CLASS III OR CLASS II TREE PER FRONTAGE AND 1 ADDITIONAL CLASS I TREE FOR EVERY 50 LIN. FT. OF ROAD FRONTAGE

REQUIRED CLASS III AND II: 1

REQUIRED CLASS I: 2

PROPOSED CLASS III AND II: 1

PROPOSED CLASS I: 2

LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 3" MINUS BARK MULCH OVER TOPSOIL AS SPECIFIED. SUBMIT SAMPLE FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE CIVIL GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH:
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH: 5.5 TO 7.6.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - PRECISE INDIVIDUAL STATION TIMING
 - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVE WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
- INDIVIDUAL VALVE WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVER SPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.

WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF "ROUND-UP" TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	PLANTING SIZE	MATURITY SIZE	CLASS
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CONIFEROUS TREES

	PC5	1	Colorado Blue Spruce <i>Picea pungens</i> 'Glauca'	6" Ht.	45" H x 25" W	
	PH	3	Hoop's Colorado Spruce <i>Picea pungens</i> 'Hoopsii'	6" Ht.	40" H x 15" W	
	PO	5	Oregon Green Austrian Pine <i>Pinus nigra</i> 'Oregon Green'	6" Ht.	20" H x 15" W	

DECIDUOUS TREES

	AB	3	Bowhall Red Maple <i>Acer rubrum</i> 'Bowhall'	2" Cal.	40" H x 15" W	Class II
	LS	6	Slender Silhouette Sweetgum <i>Liquidambar styraciflua</i> 'Slender Silhouette'	2" Cal. B&B	60" H x 8" W	Class II
	QC	16	Crimson Spire Oak <i>Quercus robur</i> x <i>alba</i> 'Crimschmidt' TM	2" Cal. B&B	45" H x 15" W	Class III
	TR	12	Redmond American Linden <i>Tilia americana</i> x <i>euchlora</i> 'Redmond'	2" Cal. B&B	35" H x 25" W	Class II

FLOWERING TREES

	MI	6	Indian Magic Crabapple <i>Malus</i> x <i>Indian Magic</i> '	2" Cal. B&B	15" H x 15" W	Class I
	MS	2	Spring Snow Crabapple <i>Malus</i> x <i>Spring Snow</i> '	2" Cal. B&B	25" H x 20" W	Class I

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	PLANTING SIZE	MATURITY SIZE	NOTES
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SHRUBS

	JB	20	Blue Arrow Juniper <i>Juniperus scopulorum</i> 'Blue Arrow'	6" Ht.	10" H x 2" W	
	LM	33	Munstead English Lavender <i>Lavandula angustifolia</i> 'Munstead'	1 gal.	1.5" H x 1.5" W	
	PD2	6	Dwarf Snowflake Mockorange <i>Philadelphus</i> x <i>virginalis</i> 'Dwarf Snowflake'	5 gal.	4" H x 4" W	
	PS4	8	Summer Wine Ninebark <i>Physocarpus opulifolius</i> 'Seward' TM	2 gal.	5" H x 5" W	
	RR	24	Fine Line Fern Leaf Buckthorn <i>Rhamnus frangula</i> 'Ron Williams'	5 gal.	6" H x 3" W	
	RG2	25	Gro-Low Fragrant Sumac <i>Rhus aromatica</i> 'Gro-Low'	2 gal.	2" H x 6" W	

ORNAMENTAL GRASSES

	CK2	26	Karl Foerster Feather Reed Grass <i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster'	1 gal.	6" H x 2" W	
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PERENNIALS

	EK	20	Kim's Knee High Coneflower <i>Echinacea purpurea</i> 'Kim's Knee High'	1 gal.	2" H x 2" W	
	HA2	26	Chicago Apache Daylily <i>Hemerocallis</i> x <i>'Chicago Apache'</i>	1 gal.	2" H x 2" W	
	HF	17	Fire and Ice Hosta <i>Hosta</i> x <i>'Fire and Ice'</i>	1 gal.	1.5" H x 2" W	
	RB	30	Goldsturm Black-Eyed Susan <i>Rudbeckia fulgida</i> <i>sullivantii</i> 'Goldsturm'	1 gal.	2" H x 2" W	

SYMBOL	QTY	COMMON / BOTANICAL NAME	SIZE	NOTES
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GROUND COVERS

	1,454 sf	Existing Planter Bed	---	
	1,223 sf	Existing Planter	---	
	2,211 sf	Existing Turf Sod	---	
		RTF Sod	---	
		Rhizomatous Tall Fescue	---	

MULCH

	6,042 sf	1" minus Small Bark Mulch	---	
		Bark Mulch	---	

CALLOUT NOTES

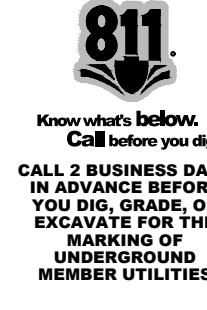
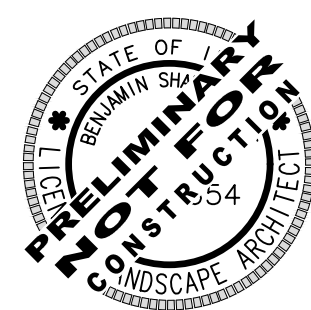
- VISION TRIANGLE
- PROPOSED TURF AREA
- PROPOSED 6'-0" TALL PRIVACY FENCE. MATERIAL AND COLOR TO BE DETERMINED BY OWNER.
- NO TREES PROPOSED WITHIN DRIP LINE OF ADJACENT PROPERTY DECIDUOUS TREES
- RETAIN AND PROTECT EXISTING STRUCTURE
- RETAIN AND PROTECT EXISTING CONCRETE FLATWORK
- RETAIN AND PROTECT EXISTING LANDSCAPE
- EXISTING TREE TO BE REMOVED
- EXISTING SHRUB TO BE REMOVED
- PROPOSED BENCH

CALLOUT NUMBERS REFER TO NUMBERED NOTES BELOW

LANDSCAPE LEGEND

	PLANTS TO BE INSTALLED
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	CUT EDGE AS DETAILED
	PROPERTY LINE (VERIFY)
	QUANTITY
	PLANT IDENTIFICATION KEY

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NO.	REVISION/ISSUE	DATE

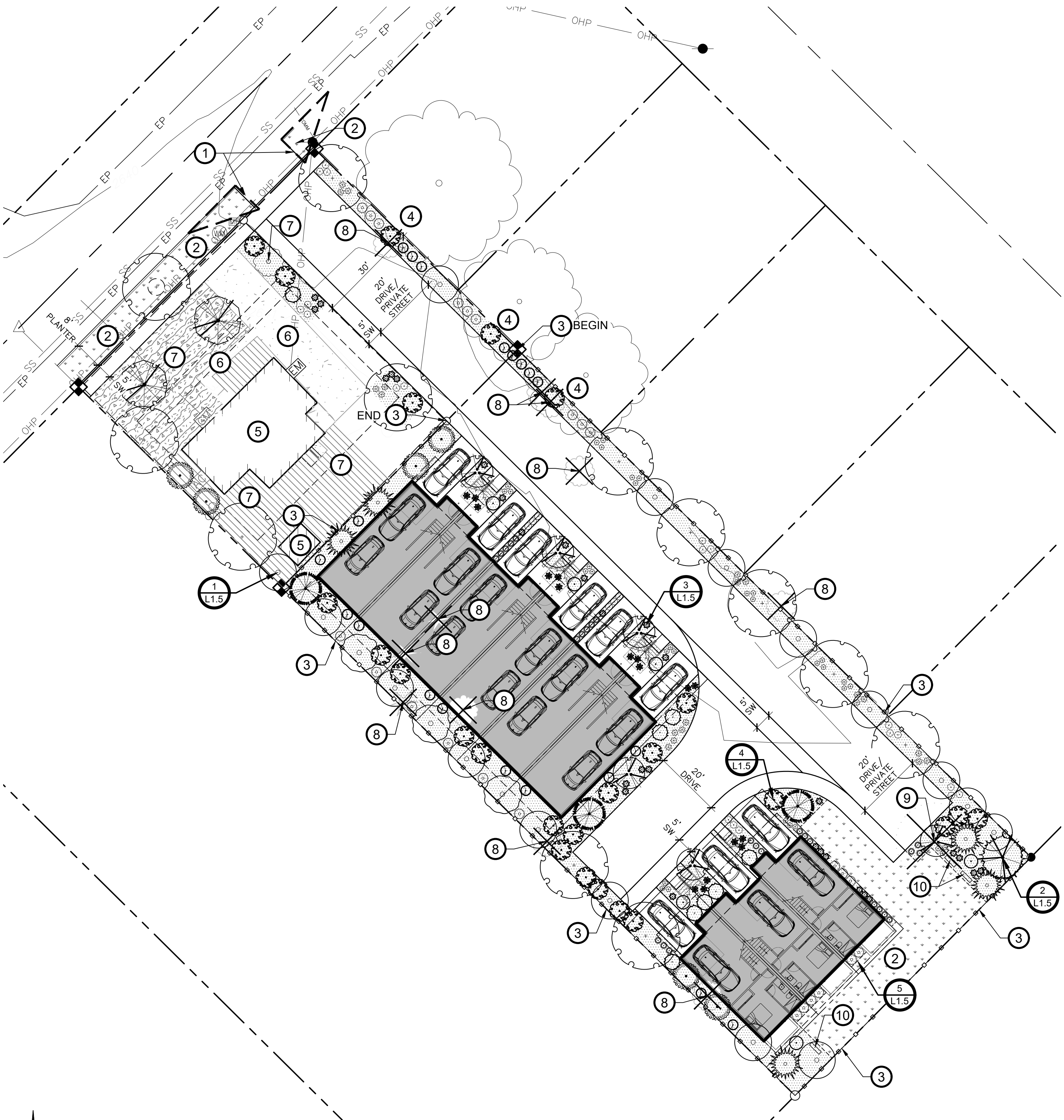


ZHANNA DEVELOPMENT
313 E. 48TH STREET
GARDEN CITY, ID 83714
COMMERCIAL DEVELOPEMENT

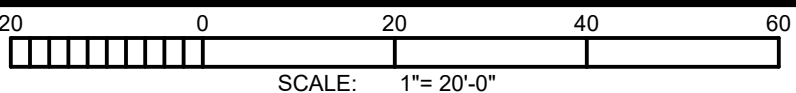
PRELIMINARY SITE AND LANDSCAPE PLAN

PROJECT	23054	SHEET	
DATE	9/18/24		L1.0
DRAWN BY	LP	CHECKED BY	BSS

AGENCY REVIEW

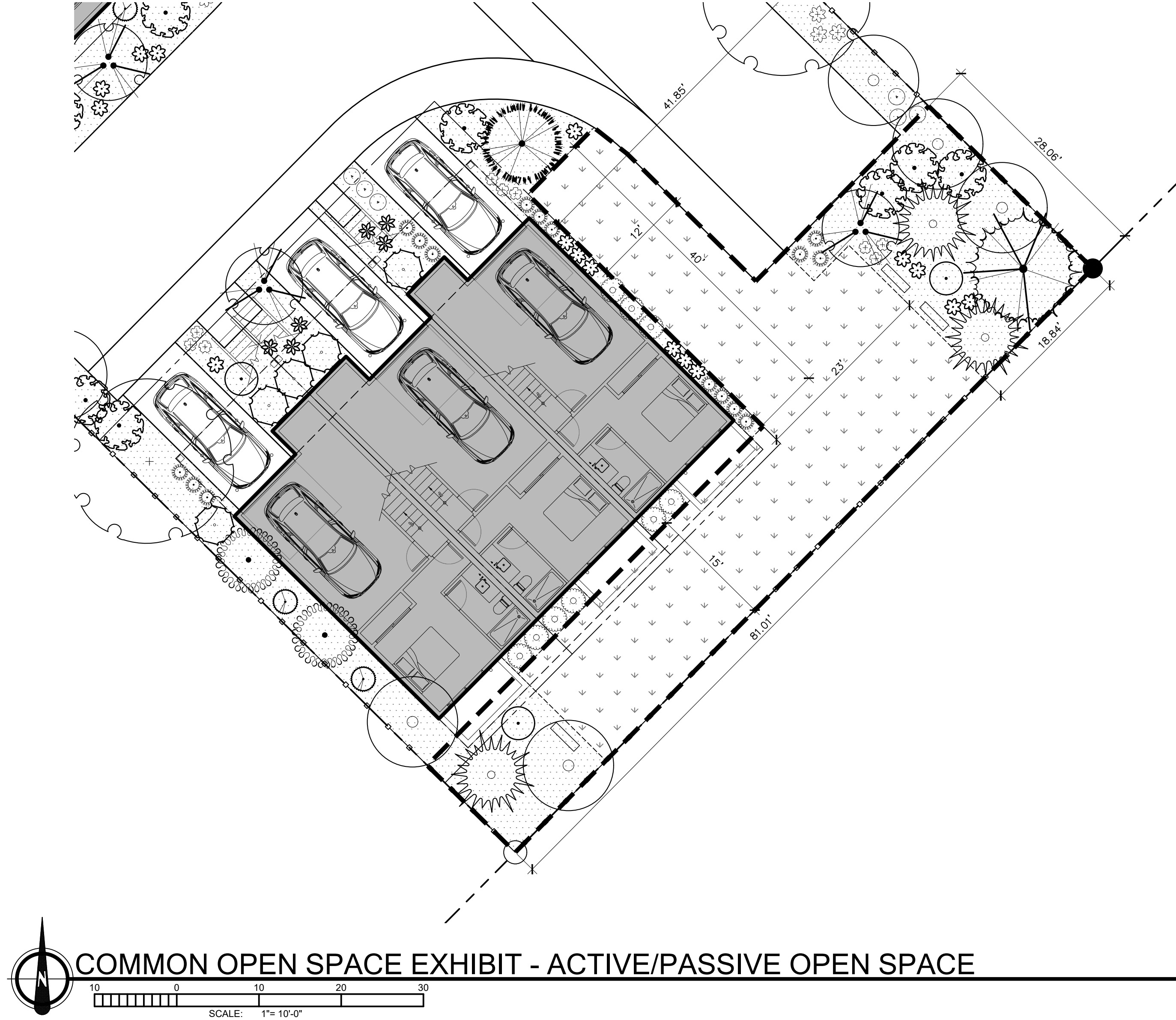
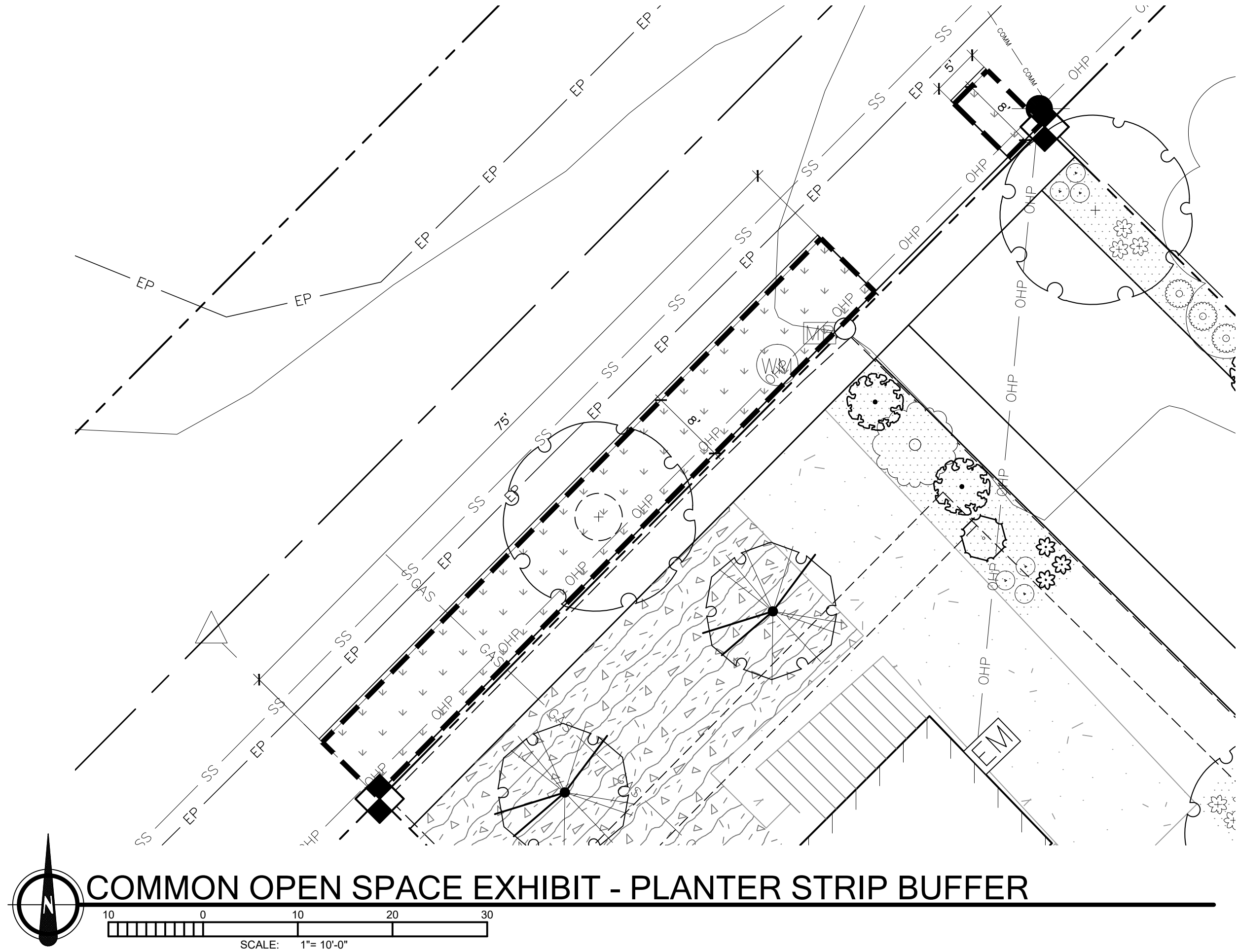


PRELIMINARY SITE AND LANDSCAPE PLAN



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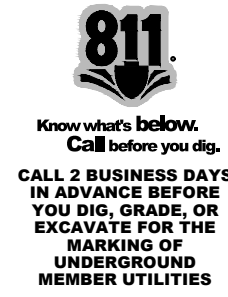
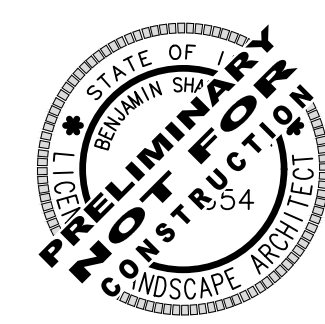


OPEN SPACE INFORMATION

TOTAL PROPERTY SIZE (±)= 29,959 S.F. - .6877 ACRES
ZONING DISTRICT= R-3
LOT IMPROVEMENTS AREA= 21,472 S.F.
BUILDING COVERAGE= 6,860 S.F.
HARDSCAPE COVERAGE= 11,058 S.F.
LANDSCAPE COVERAGE (TOTAL SITE)= 12,051 S.F.

OPEN SPACE STANDARDS FOR SINGLE-FAMILY, TOWNHOUSE, AND TWO-FAMILY DUPLEX DEVELOPMENTS REQUIREMENTS (8-4L-4):
REQUIRED OPEN SPACE AREA (10%): 2,996 S.F.
PROVIDED OPEN SPACE AREA (8.25%): 3,006 S.F.

NO.	REVISION/ISSUE	DATE



RODNEY EVANS + PARTNERS
LANDSCAPE ARCHITECTURE
+ LAND PLANNING
+ URBAN DESIGN
+ PROJECT MANAGEMENT

ZHANNA DEVELOPMENT
313 E. 48TH STREET
GARDEN CITY, ID 83714
COMMERCIAL DEVELOPEMENT

COMMON OPEN SPACE EXHIBIT

PROJECT	23054	SHEET
DATE	9/18/24	L1.1
DRAWN BY	LP	CHECKED BY
		BSS

AGENCY REVIEW



Scene 1

Asphalt Shingles:
Color - Charcoal

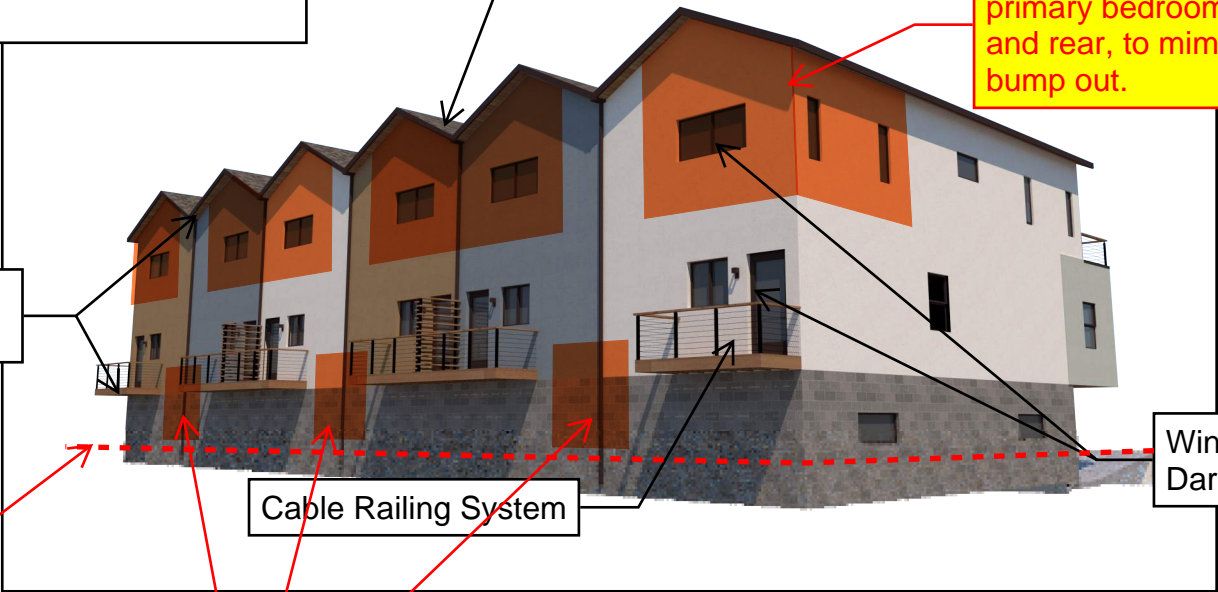
Accents and Soffit:
Cedar

Cable Railing System

Windows and Doors:
Dark Bronze

Asphalt Shingles:
Color - Charcoal

Add 1 or 2' bump out at
primary bedrooms, side
and rear, to mimic front
bump out.



Scene 2

Accents and Soffit:
Cedar

Cable Railing System

Windows and Doors:
Dark Bronze

Show grade in
revised rendering

Add trellis wall with
plant material
between decks.

SW 6249
Storm Cloud
FULL DETAILS ▾

SW 6206
Oyster Bay
FULL DETAILS ▾

SW 6138
Artifact
FULL DETAILS ▾

SW 7028
Incredible White
FULL DETAILS ▾



CHARCOAL



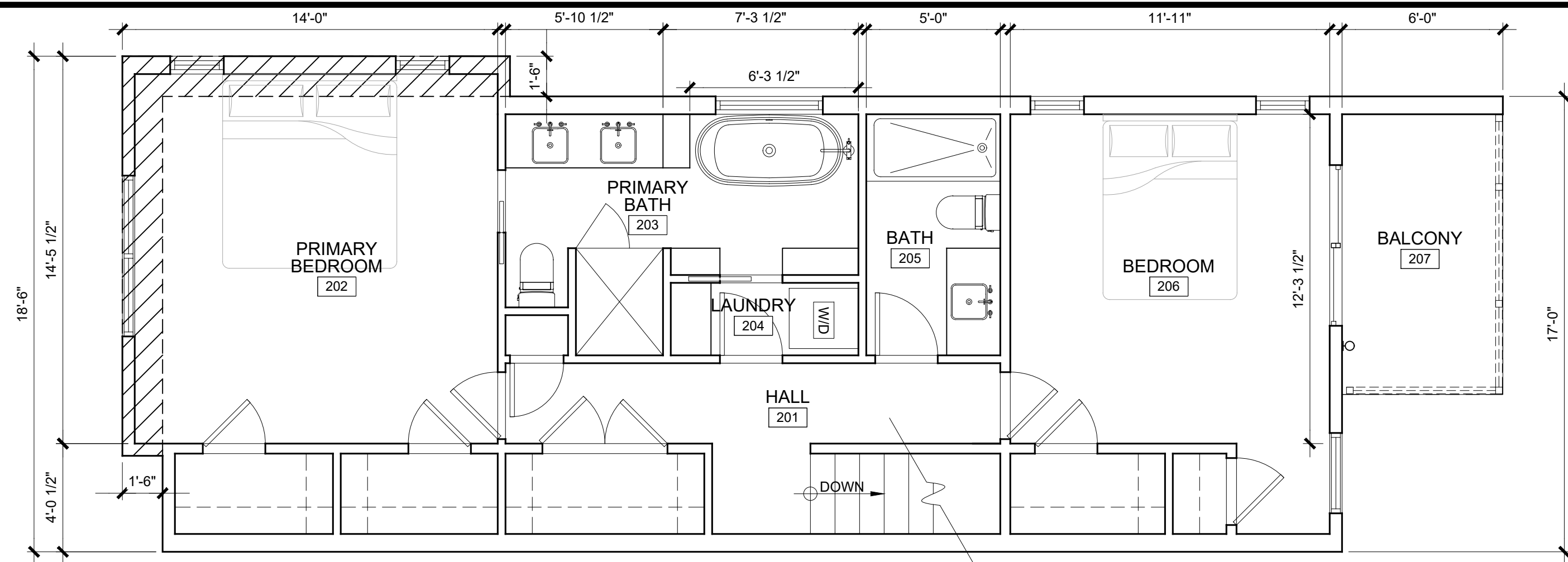
EBONY



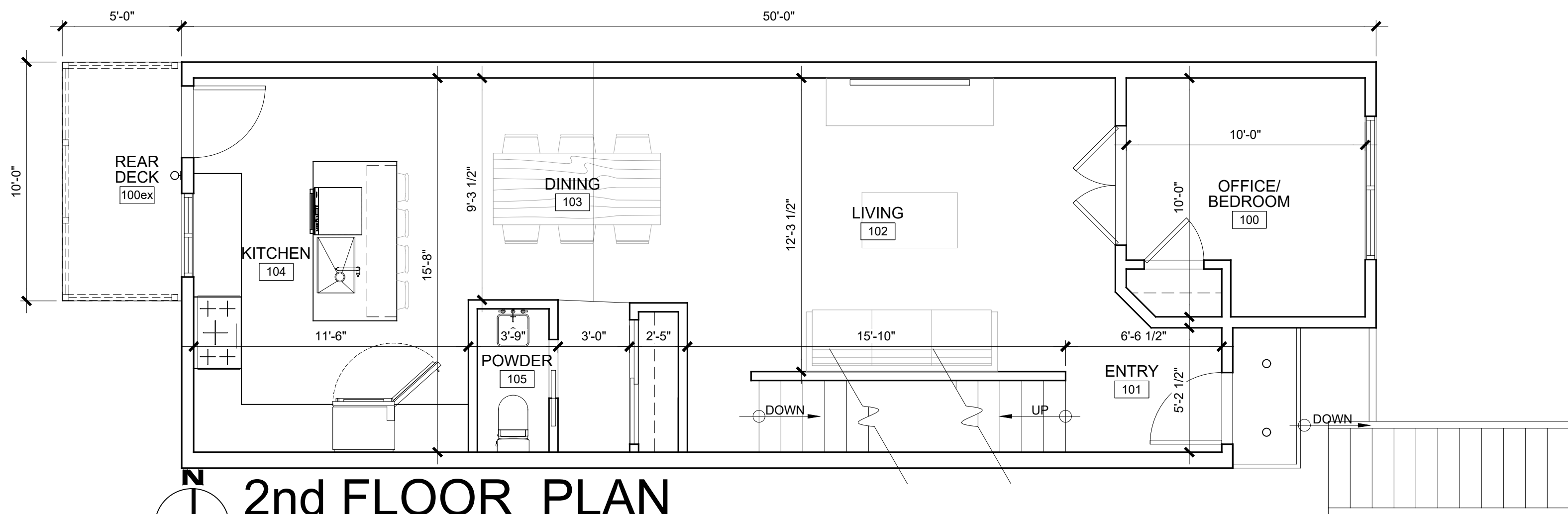
GREY

Stucco:

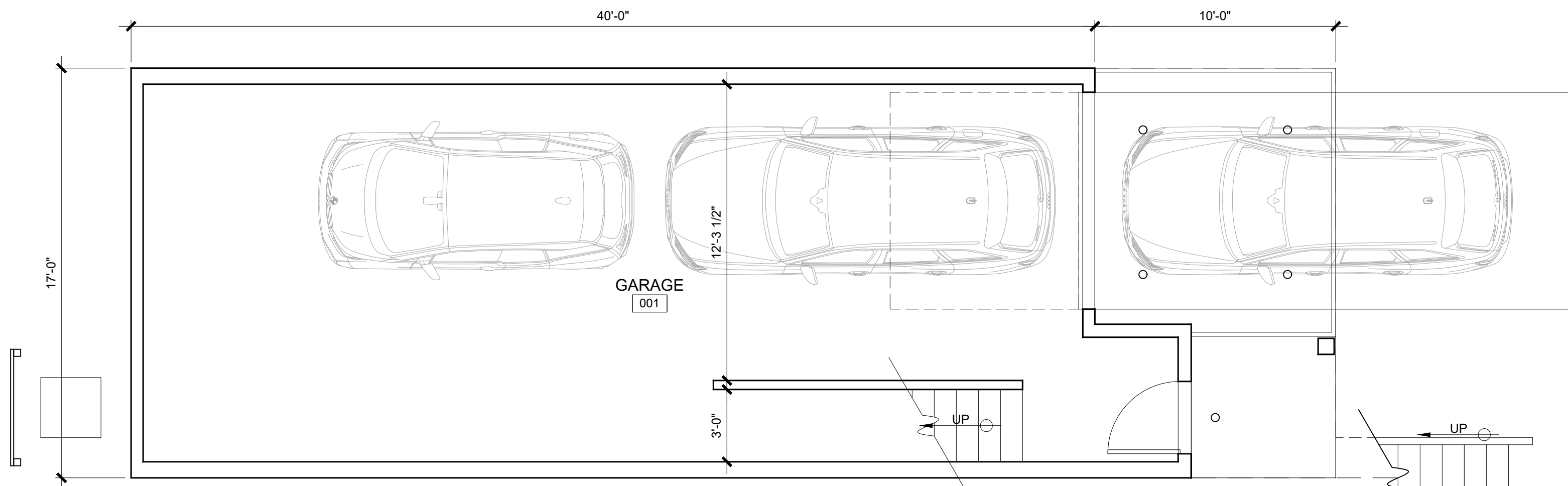
Ground Face Concrete Block:
Basalite: 3 Color
Charcoal, Ebony and Gray



3rd FLOOR PLAN
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



1st Floor Plan
SCALE: 1/4" = 1'-0"

AREA:
1st Floor - 653 SQ.FT. (Garage)
2nd Floor - 698 SQ.FT.
3rd Floor - 711 SQ.FT.

NOT FOR
CONSTRUCTION

313 E. 48th Street Development
LARGE UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:	
△	DATE: DESCRIPTION:

PROJECT: 240103
DATE: 09.02.2024

DESIGN REVIEW

FLOOR PLAN
LARGE
-PLAN A

A211-A



ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

LEGEND:

	STUCCO:	3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING:	ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR:	CLEAR COAT AND SEAL
	CMU:	GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM:	SHERWIN WILLIAMS SW 7048 URBANE BRONZE

KEYNOTES:

- 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
- HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
- ROOF. SEE LEGEND ON THIS SHEET
- CMU. SEE LEGEND AND RENDERINGS
- CEDAR SIDING. SEE LEGEND AND RENDERINGS
- CEDAR COLUMN. CLEAR COAT
- ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
- LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
- DOOR. DARK BRONZE. SEE PLANS
- WINDOW. DARK BRONZE. SEE PLANS
- GARAGE DOOR. PAINT TRIM COLOR. SEE LEGEND
- CEDAR RAILING CAP. SEE RENDERINGS
- CABLE RAIL SYSTEM
- STAIRS. SEE PLAN
- TRELLIS SCREEN WALL
- CONDENSER UNIT LOCATION

313 E. 48th Street Development

LARGE UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:	
△	DATE: DESCRIPTION:

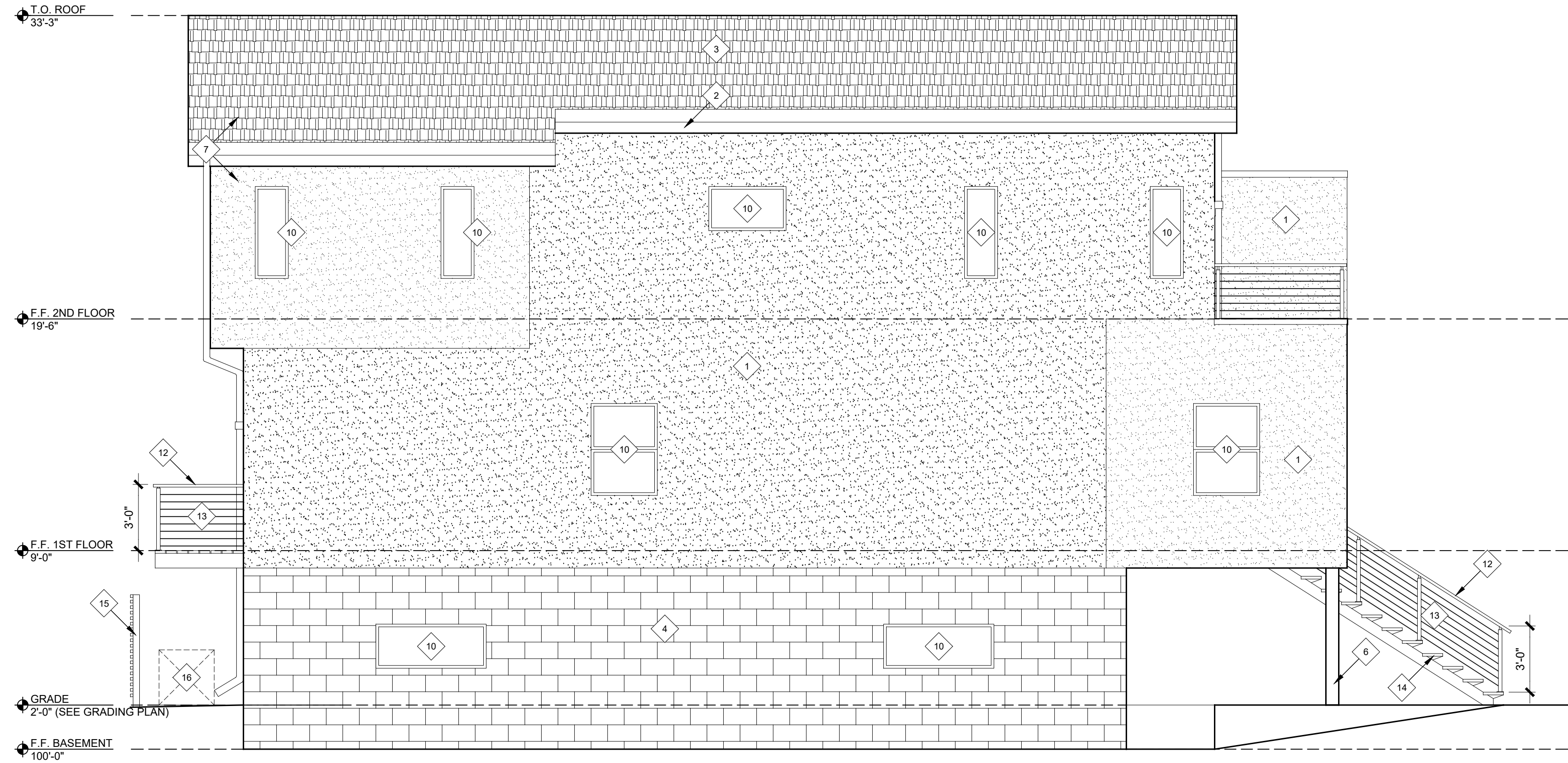
PROJECT: 240103
DATE: 09.02.2024

DESIGN REVIEW

ELEVATIONS
FRONT

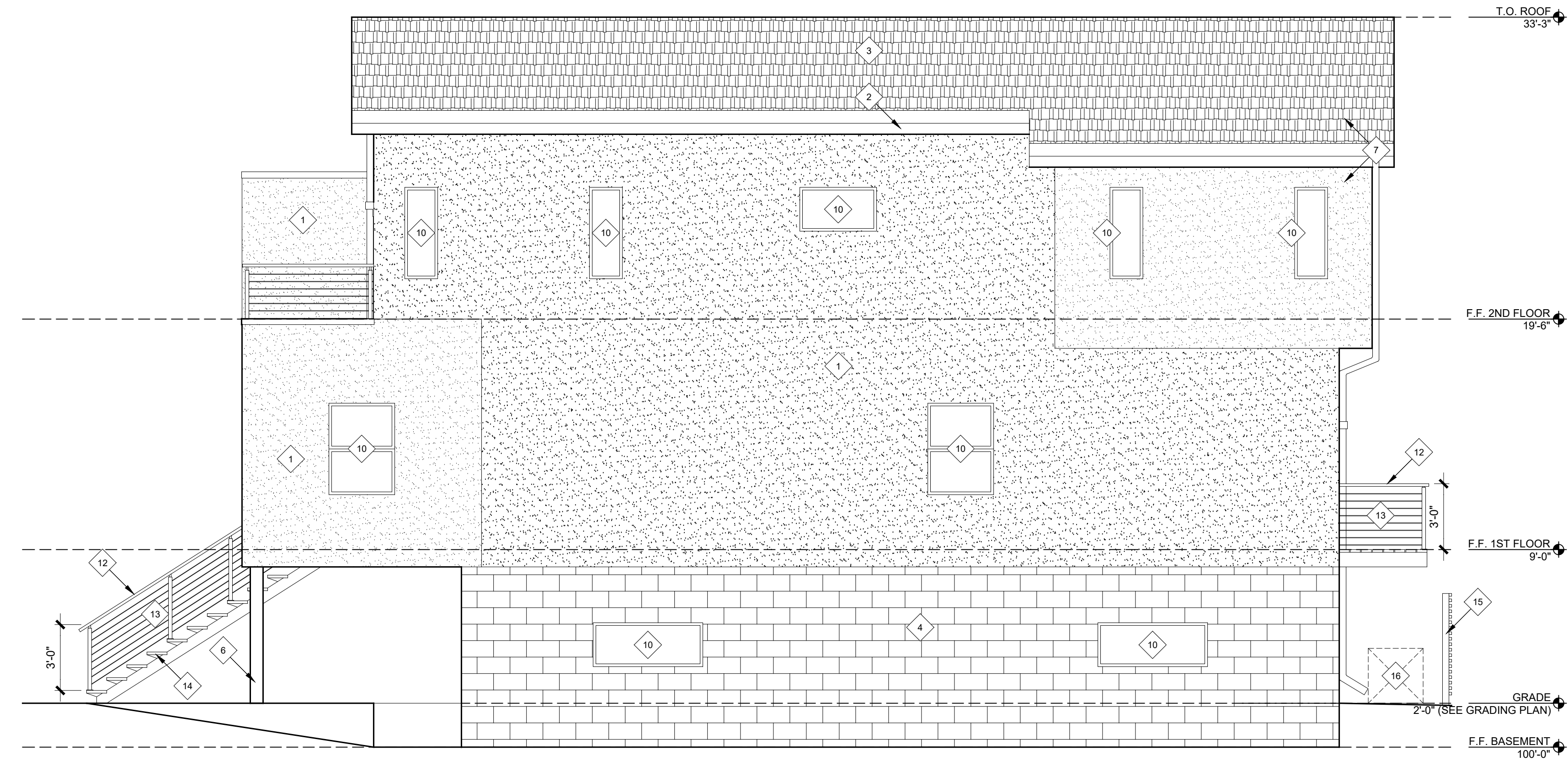
A311

NOT FOR
CONSTRUCTION



ELEVATION - SIDE (SOUTHEAST)

SCALE: 1/4" = 1'-0"



ELEVATION - SIDE (NORTHWEST)

SCALE: 1/4" = 1'-0"

LEGEND:

	STUCCO:	3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING:	ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR:	CLEAR COAT AND SEAL
	CMU:	GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM:	SHERWIN WILLIAMS SW 7048 URBANE BRONZE

KEYNOTES:

- 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
- HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
- ROOF. SEE LEGEND ON THIS SHEET
- CMU. SEE LEGEND AND RENDERINGS
- NOT USED
- CEDAR COLUMN. CLEAR COAT
- ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
- NOT USED
- NOT USED
- WINDOW, DARK BRONZE. SEE PLANS
- NOT USED
- CEDAR RAILING CAP. SEE RENDERINGS
- CABLE RAIL SYSTEM
- STAIRS. SEE PLAN
- TRELLIS SCREEN WALL
- CONDENSER UNIT LOCATION

313 E. 48th Street Development

LARGE UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:

△ DATE: DESCRIPTION:

PROJECT: 240103
DATE: 09.02.2024

DESIGN REVIEW

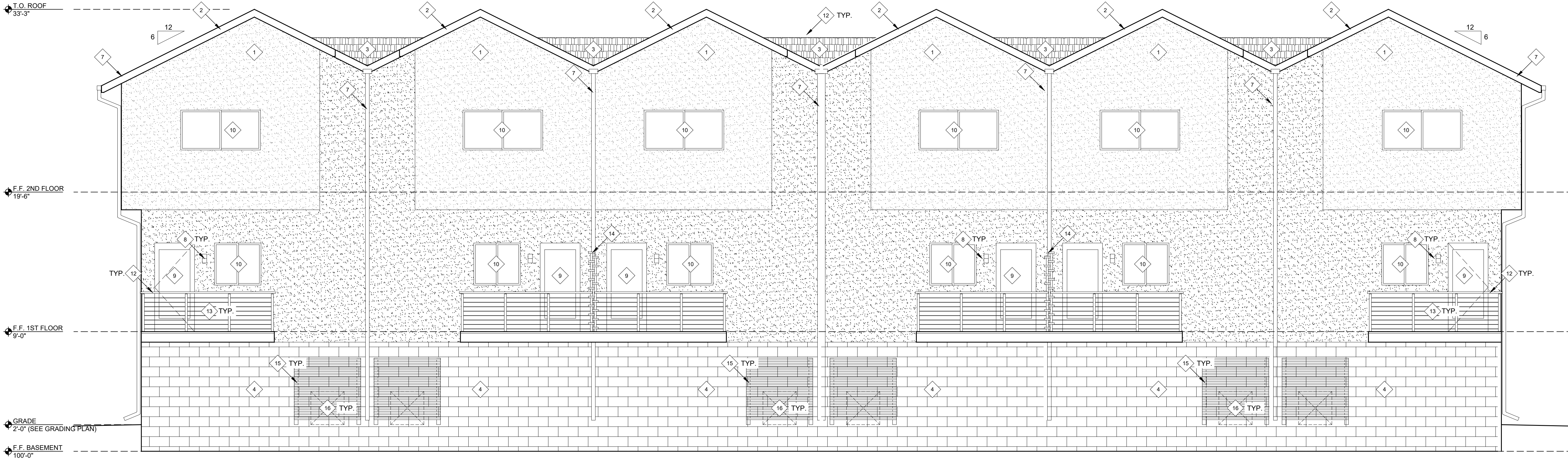
ELEVATIONS
SIDE

A312

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BGAD
Brian Garrett Architecture and Design, PLLC
info@bga-d.com 208.830.7030



ELEVATION - BACK

SCALE: 1/4" = 1'-0"

LEGEND:

	STUCCO:	3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING:	ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR:	CLEAR COAT AND SEAL
	CMU:	GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM:	SHERWIN WILLIAMS SW 7048 URBANE BRONZE

KEYNOTES:

- 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
- HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
- ROOF. SEE LEGEND ON THIS SHEET
- CMU. SEE LEGEND AND RENDERINGS
- NOT USED
- NOT USED
- ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
- LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
- DOOR. DARK BRONZE. SEE PLANS
- WINDOW. DARK BRONZE. SEE PLANS
- NOT USED
- CEDAR RAILING CAP. SEE RENDERINGS
- CABLE RAIL SYSTEM
- DECORATIVE CEDAR PRIVACY SCREEN. SEE RENDERINGS
- TRELLIS SCREEN WALL
- CONDENSER UNIT LOCATION

313 E. 48th Street Development
LARGE UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:	
△ DATE:	DESCRIPTION:

PROJECT: 240103
DATE: 09.02.2024

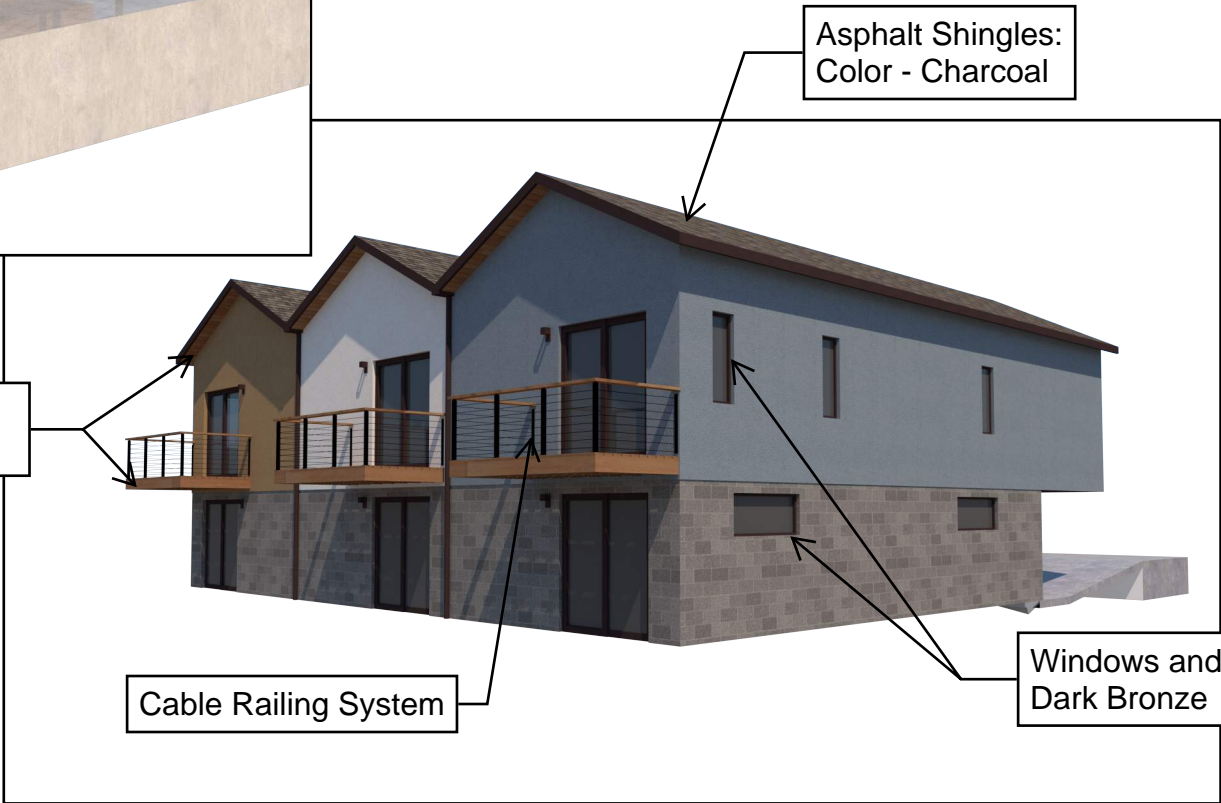
DESIGN REVIEW

ELEVATIONS
BACK

NOT FOR
CONSTRUCTION



Scene 1



Scene 2

SW 6249

Storm Cloud

FULL DETAILS ▾

SW 6206

Oyster Bay

FULL DETAILS ▾

SW 6138

Artifact

FULL DETAILS ▾

SW 7028

Incredible White

FULL DETAILS ▾

CHARCOAL

EBONY

GREY

Stucco:

Ground Face Concrete Block:
Basalite: 3 Color
Charcoal, Ebony and Gray

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KEYNOTES:

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD;
NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL
EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS
AND/OR WITH AWC1 LEVEL 5.
- UNLESS NOTED OTHERWISE ALL EXTERIOR WALLS ARE
DIMENSIONED TO FACE OF SHEATHING (OR STUD).
- UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS
ARE DIMENSIONED TO FACE OF DRYWALL.
- UNLESS DIMENSIONED OTHERWISE INTERIOR DOORS
SHALL BE LOCATED 4" FROM ADJACENT PARTITION.
- CONFIRM ALL EQUIPMENT SIZES AND LOCATIONS WITH
OWNER BEFORE PURCHASE OR INSTALLATION.

LEGEND:

313 E. 48th Street Development

SMALL UNITS

313 E. 48th Street
Garden City, ID 83714

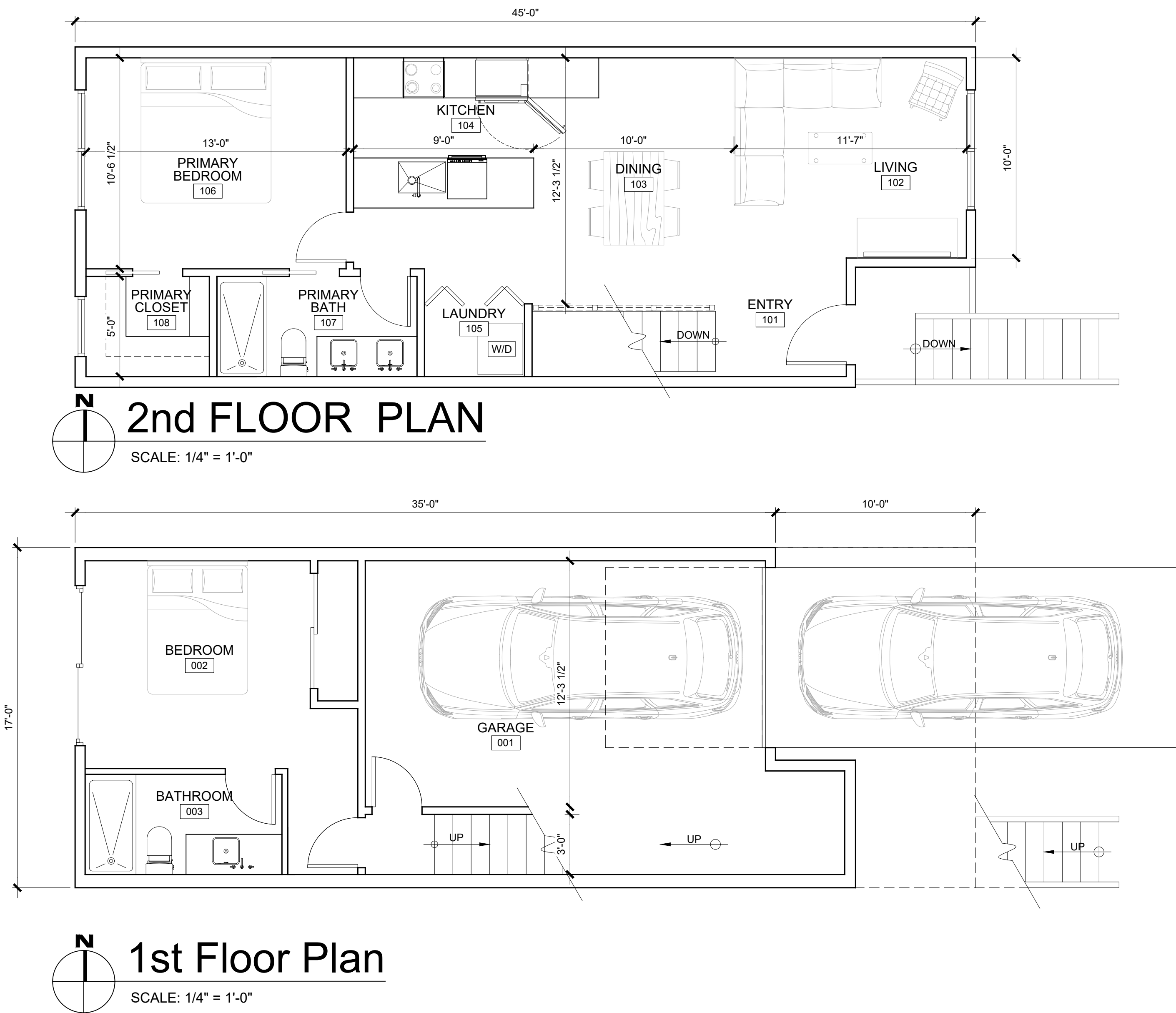
REVISIONS:

△ DATE: DESCRIPTION:

PROJECT: 240103
DATE: 06.24.2024

DESIGN REVIEW

FLOOR PLAN



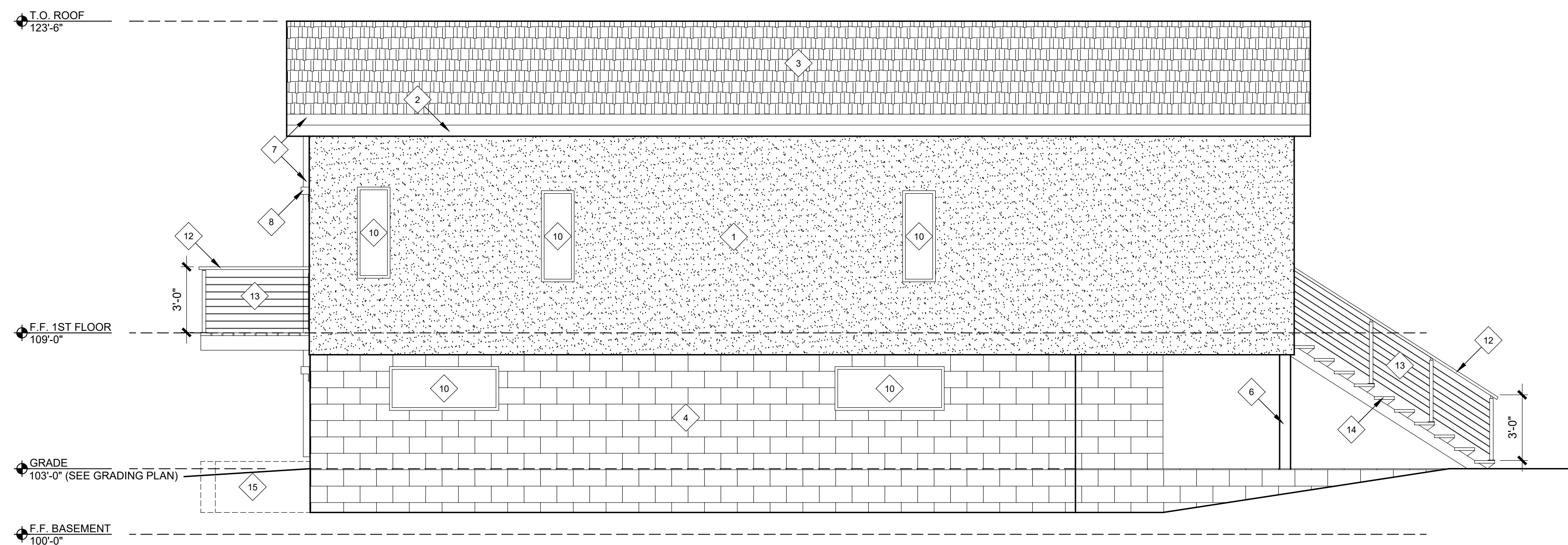
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ELEVATION - FRONT

SCALE: 1/4" = 1'-0"



ELEVATION - SIDE (NORTHEAST)

SCALE: 1/4" = 1'-0"

LEGEND:

	STUCCO:	3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING:	ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR:	CLEAR COAT AND SEAL
	CMU:	GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM:	SHERWIN WILLIAMS SW 7048 URBANE BRONZE

KEYNOTES:

- 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
- HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
- ROOF. SEE LEGEND ON THIS SHEET
- CMU. SEE LEGEND AND RENDERINGS
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- CEDAR COLUMN. CLEAR COAT
- ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
- LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
- DOOR. DARK BRONZE. SEE PLANS
- WINDOW. DARK BRONZE. SEE PLANS
- GARAGE DOOR. PAINT TRIM COLOR. SEE LEGEND
- CEDAR RAILING CAP. SEE RENDERINGS
- CABLE RAIL SYSTEM
- STAIRS. SEE PLAN
- REAR PATIO. SEE PLANS AND SITE PLAN

313 E. 48th Street Development

SMALL UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:

△ DATE: DESCRIPTION:

PROJECT: 240103
DATE: 09.03.2024

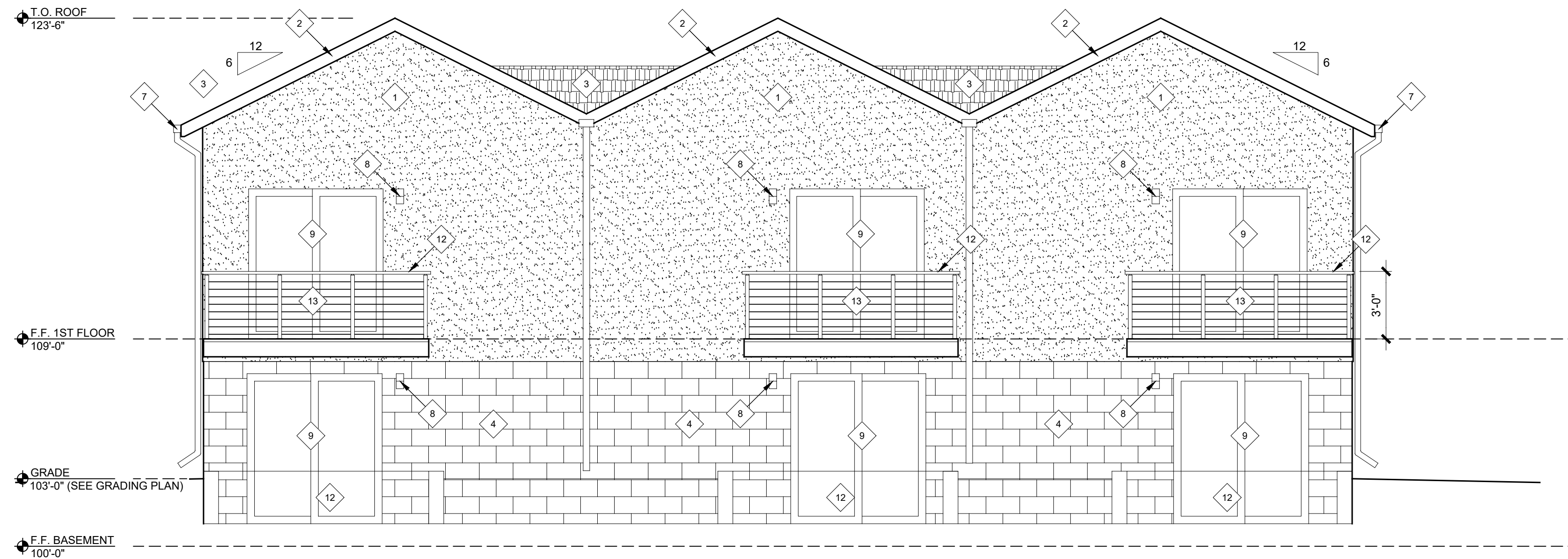
DESIGN REVIEW

ELEVATIONS
FRONT + SIDE

A314

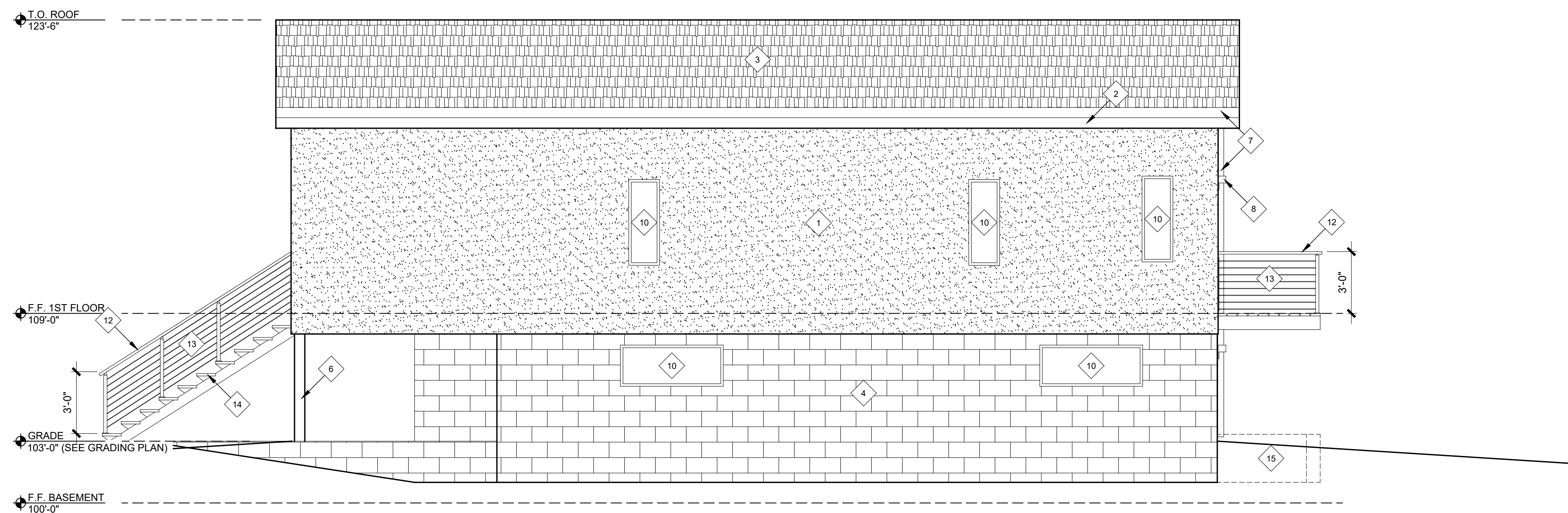
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ELEVATION - REAR

SCALE: 1/4" = 1'-0"



ELEVATION - SIDE (SOUTHWEST)

SCALE: 1/4" = 1'-0"

LEGEND:

	STUCCO:	3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING:	ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR:	CLEAR COAT AND SEAL
	CMU:	GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
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- CEDAR COLUMN. CLEAR COAT
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- DOOR. DARK BRONZE. SEE PLANS
- WINDOW. DARK BRONZE. SEE PLANS
- NOT USED
- CEDAR RAILING CAP. SEE RENDERINGS
- CABLE RAIL SYSTEM
- STAIRS. SEE PLAN
- REAR PATIO. SEE PLANS AND SITE PLAN

313 E. 48th Street Development

SMALL UNITS
313 E. 48th Street
Garden City, ID 83714

REVISIONS:
△ DATE: DESCRIPTION:

PROJECT: 240103
DATE: 09.03.2024

DESIGN REVIEW

ELEVATIONS
BACK + SIDE

A315