



**PROJECT INFORMATION**  
**LANDSCAPE REQUIREMENTS**

TOTAL PROPERTY SIZE (+) 29,959 S.F. - .6877 ACRES

ZONING DISTRICT: R-3

LOT IMPROVEMENTS AREA= 21,472 S.F.

BUILDING COVERAGE: 6,850 S.F.

HARDSCAPE COVERAGE: 11,058 S.F.

LANDSCAPE COVERAGE (TOTAL SITE): 12,051 S.F.

LANDSCAPE MATERIAL CONTAINER SIZES:

- SHADE TREES: 2' CAL. MIN.
- ORNAMENTAL TREES: 2' CAL. MIN.
- EVERGREEN TREES: 6' HGT.
- WOODY SHRUBS: 2 GAL.

GENERAL LANDSCAPE REQUIREMENTS (8-41-3):  
REQUIRED LANDSCAPE AREA (5%): 1,498 S.F.  
PROVIDED LANDSCAPE AREA (8.25%): 2,473 S.F.

1 TREE PER 1,000 SQUARE FEET OF LANDSCAPE AREA AND 1 SHRUB PER 150 SQUARE FEET.

REQUIRED TREES: 30

PROVIDED TREES: 54

REQUIRED SHRUBS: 200

PROVIDED SHRUBS: 235

REQUIRED NUMBER OF TREE SPECIES: 5

PROPOSED NUMBER OF SPECIES: 9

PERIMETER LANDSCAPE REQUIREMENTS (8-41-5):

NORTHEAST PROPERTY BOUNDARY (R-3):

300 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

5' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 20

PROPOSED TREES: 15 (ADJACENT PROPERTY HAS (3) LARGE DECIDUOUS TREES THAT OVERHANG PROPERTY AND WOULD IMPACT GROWTH OF NEW TREES ALONG NORTHEAST BUFFER IF PLANTED BENEATH DRIP LINE)

SOUTHEAST PROPERTY BOUNDARY (R-3):

99.95 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

19' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 7

PROPOSED TREES: 7

SOUTHWEST PROPERTY BOUNDARY (R-3):

300 LIN. FT.

10' WIDE LANDSCAPE BUFFER REQUIRED

5' & 10' WIDE LANDSCAPE BUFFER REQUIRED

1 TREE PER 15 LIN. FT.

REQUIRED TREES: 20

PROPOSED TREES: 20

NORTHWEST PROPERTY BOUNDARY (N. 48TH STREET):

99.95 LIN. FT. (90 LIN. FT. OF DRIVEWAY ACCESS)

10' WIDE LANDSCAPE BUFFER REQUIRED

20' WIDE LANDSCAPE BUFFER PROVIDED

1 CLASS III OR CLASS II TREE PER FRONTAGE AND 1 ADDITIONAL CLASS I TREE FOR EVERY 50 LIN. FT. OF ROAD FRONTAGE

REQUIRED CLASS III AND II: 1

REQUIRED CLASS I: 2

PROPOSED CLASS III AND II: 1

PROPOSED CLASS I: 2

**LANDSCAPE NOTES:**

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH MAY AFFECT OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.

2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.

3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT WORKINGS.

4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.

5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.

6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.

7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERLAP AND BE NUMBERED AND CALL OUT SYMBOL NUMBERS.

8. ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 3" MINUS BARK MULCH OVER TOPSOIL AS SPECIFIED. SUBMIT SAMPLE FOR APPROVAL.

9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SPECIES AND SIZE AT NO COST TO THE OWNER.

10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION TO ADJACENT SURFACES AND ENSURE PROPER DRAINAGE IN ACCORDANCE WITH THE SITE CIVIL GRADING PLAN.

11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTOTILL ORGANIC MATTER A MIN. OF 6" DEEP.

12. FERTILIZE TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.

13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF/GRASS AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF/GRASS AREAS.

14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIBLLE, NATURE LOAM, CLEAN AND FREE OF DISEASE, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ON SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:

A) PRODUCE APPROVED IMPORTED TOPSOIL, OR

B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.

15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIBLLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEous OR TOXIC MATTER HARMFUL TO PLANT GROWTH.

A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS AS FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.

B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6.

16. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.

17. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAINS, SEWERS, OR UTILITY LINES.

18. STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEMS.

19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

**IRRIGATION NOTES:**

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE SHALL BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM.
5. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - PRECISE INDIVIDUAL STATION TIMING
  - ADJUSTABLE EMISSION RATES
  - APPROXIMATE EMISSION RATES IN PRECIPITATION RATES
  - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
  - POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVE WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
  - INDIVIDUAL VALVE WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
  - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING
  - SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVER SPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS)
  - PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.

**WEED ABATEMENT NOTES:**

1. ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDED.
2. CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH 'ROUND-UP' (CONTACT HERBICIDE) OR APPROVED EQUIPMENT.
3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
5. APPLY SECOND APPLICATION OF 'ROUND-UP' TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMITY WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
6. IF ANOTHER HERBICIDE IS USED, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. IF ANOTHER HERBICIDE IS USED, CONTRACTOR SHALL NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
7. AT THE TIME OF PLANTING AND HYDROSEEDED, ALL PLANTING AREAS SHALL BE WEED FREE.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	PLANTING SIZE	MATURITY SIZE	CLASS
<b>CONIFEROUS TREES</b>						
	PC5	1	Colorado Blue Spruce <i>Picea pungens 'Glauca'</i>	6' Ht.	45' H x 25' W	
	PH	3	Hoop's Colorado Spruce <i>Picea pungens 'Hoopsii'</i>	6' Ht.	40' H x 15' W	
	PO	5	Oregon Green Austrian Pine <i>Pinus nigra 'Oregon Green'</i>	6' Ht.	20' H x 15' W	

**DECIDUOUS TREES**

	AB	3	Bowhall Red Maple <i>Acer rubrum 'Bowhall'</i>	2' Cal.	40' H x 15' W	Class II
	LS	6	Slender Silhouette Sweetgum <i>Liquidambar styraciflua 'Slender Silhouette'</i>	2' Cal. B&B	60' H x 8' W	Class II
	OC	16	Crimson Spire Oak <i>Quercus robur x alba 'Crimschmidt'</i>	2' Cal. B&B	45' H x 15' W	Class III
	TR	12	Redmond American Linden <i>Tilia americana x euchlora 'Redmond'</i>	2' Cal. B&B	35' H x 25' W	Class II

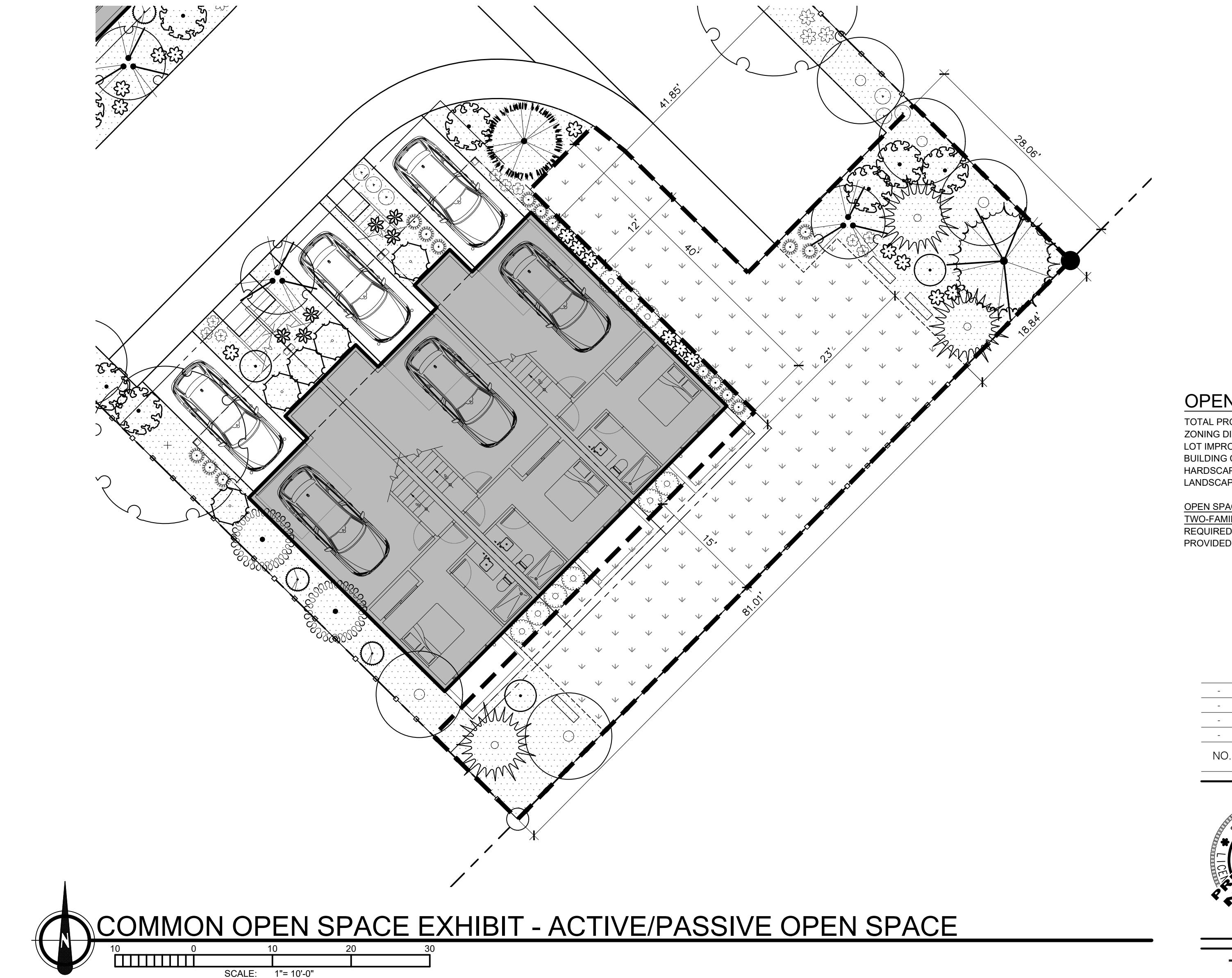
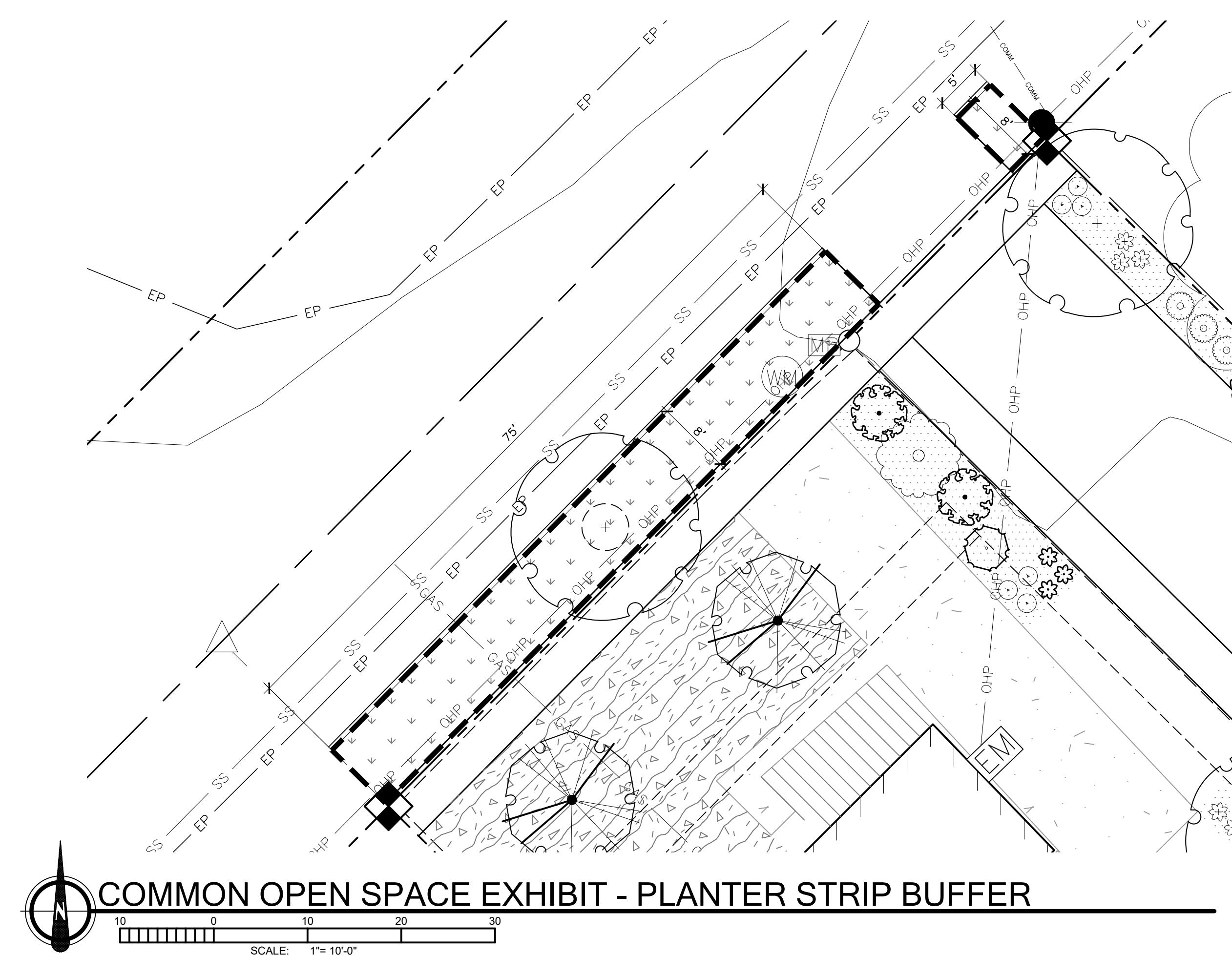
**FLOWERING TREES**

	MI	6	Indian Magic Crabapple <i>Malus x 'Indian Magic'</i>	2' Cal. B&B	15' H x 15' W	Class I
	MS	2	Spring Snow Crabapple <i>Malus x 'Spring Snow'</i>	2' Cal. B&B	25' H x 20' W	Class I

**SYMBOL**

**SHRUBS**

	JB	20	Blue Arrow Juniper <i>Juniperus scopulorum 'Blue Arrow'</i>	6' Ht.	10' H x 2' W	
	LM	33	Munstead English Lavender <i>Lavandula angustifolia 'Munstead'</i>	1 gal.	1.5' H x 1.5' W	
	PD2	6	Dwarf Snowflake Mockorange <i>Philadelphus x 'Dwarf Snowflake'</i>	5 gal.	4' H x 4' W	
	PS					



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ZHANNA DEVELOPMENT  
 313 E. 48TH STREET  
 GARDEN CITY, ID 83714  
 COMMERCIAL DEVELOPMENT

## COMMON OPEN SPACE EXHIBIT

PROJECT	23054	SHEET	
DATE	9/18/24		
DRAWN BY	LP	CHECKED BY	BSS

AGENCY REVIEW



Scene 1

SW 6249  
Storm Cloud  
FULL DETAILS ▾

SW 6206  
Oyster Bay  
FULL DETAILS ▾

SW 6138  
Artifact  
FULL DETAILS ▾

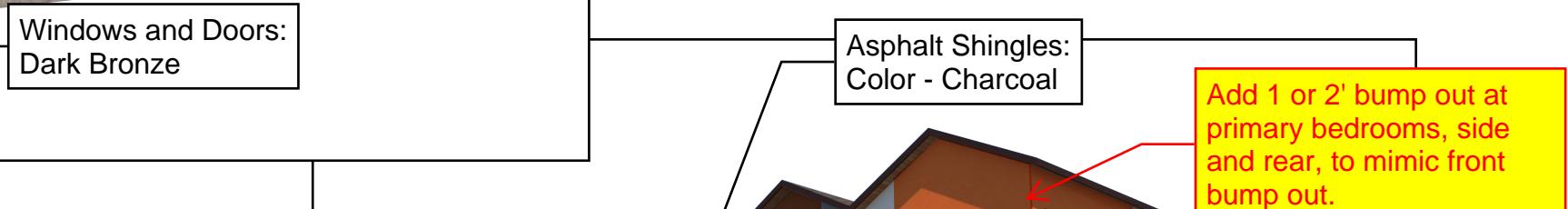
SW 7028  
Incredible White  
FULL DETAILS ▾



Stucco:

Ground Face Concrete Block:  
Basalite: 3 Color  
Charcoal, Ebony and Gray

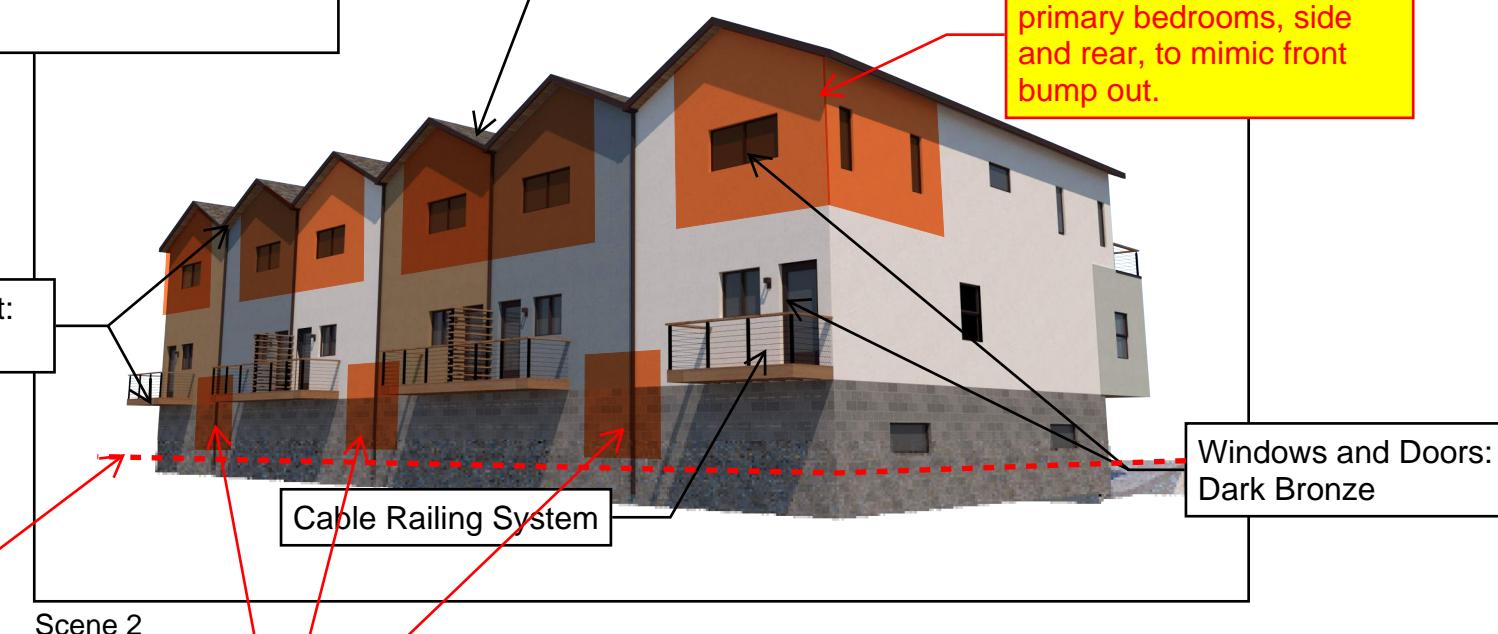
Zhanna Development - Row Houses - Large Units  
Garden City, Idaho  
PAGE 1 OF 1  
REVISION - 01



Accents and Soffit: Cedar

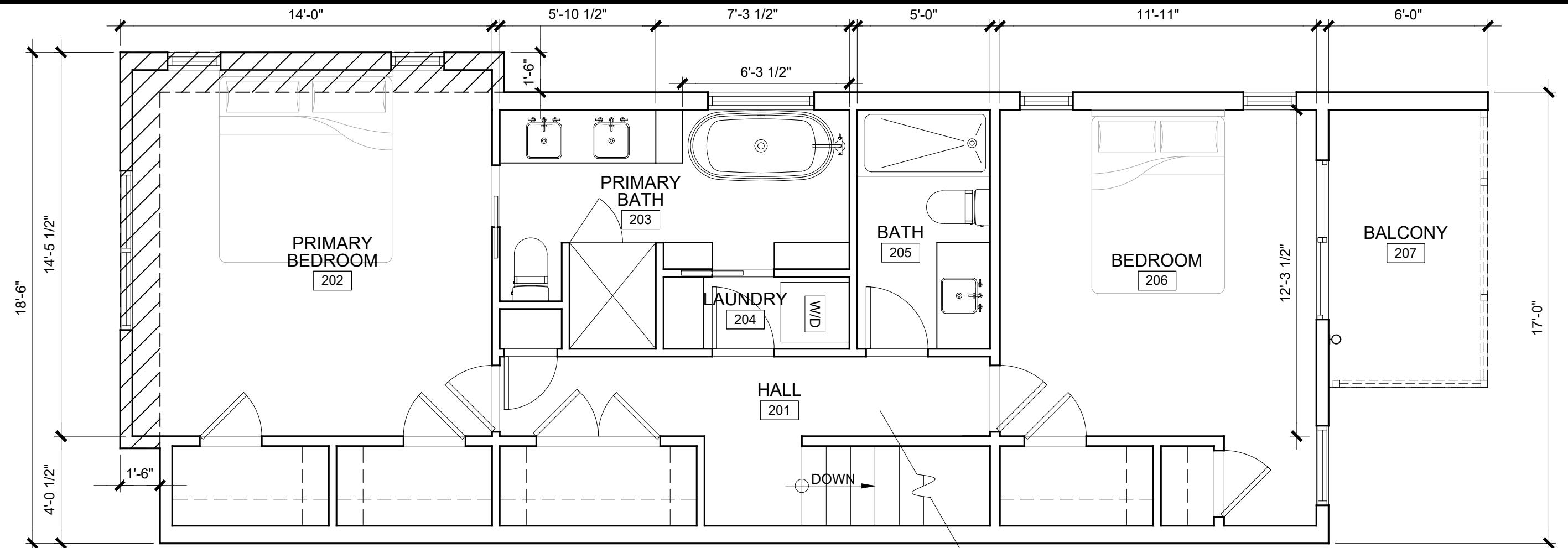
Show grade in revised rendering

Add trellis wall with plant material between decks.



Scene 2

NOT FOR  
CONSTRUCTION



313 E. 48th Street Development  
LARGE UNITS  
313 E. 48th Street  
Garden City, ID 83714

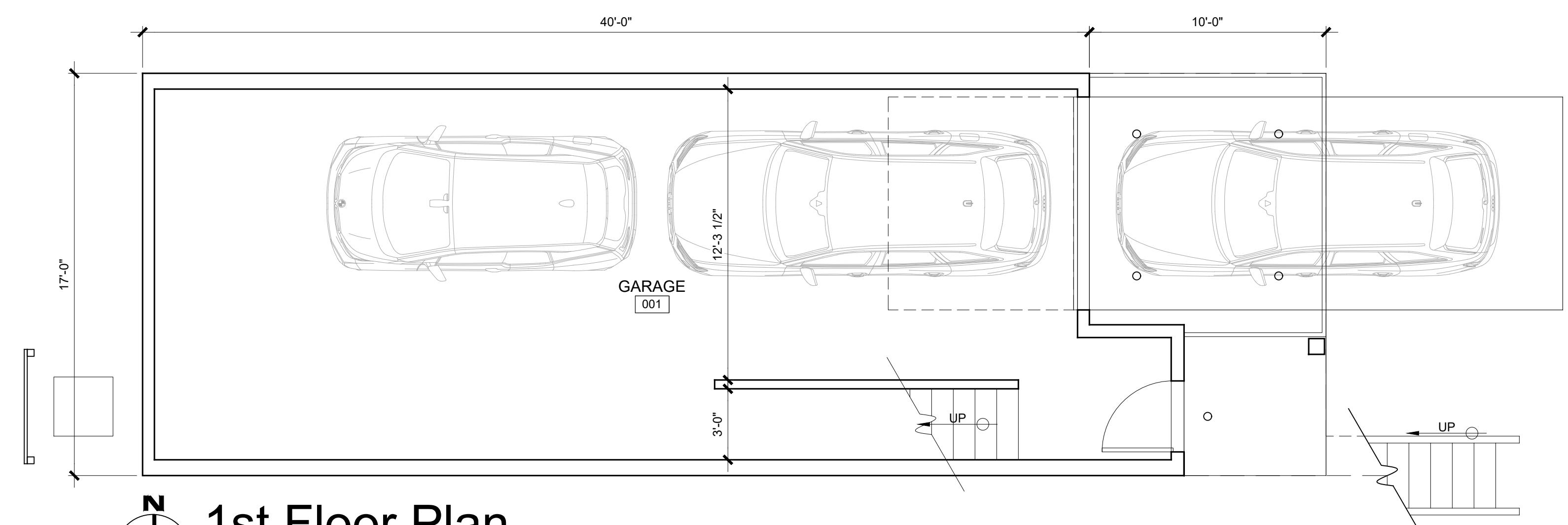
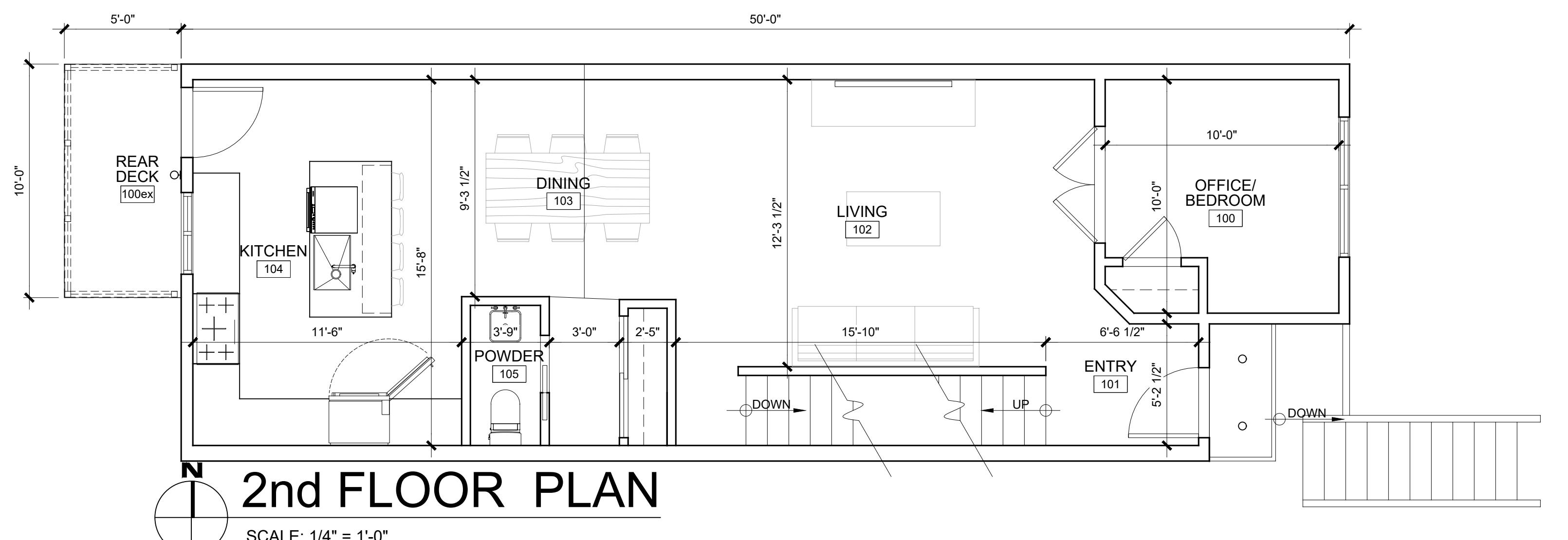
REVISIONS:  
DATE: DESCRIPTION:

PROJECT: 240103  
DATE: 09.02.2024

DESIGN REVIEW

FLOOR PLAN  
LARGE  
-PLAN A

A211-A



AREA:  
1st Floor - 653 SQ.FT. (Garage)  
2nd Floor - 698 SQ.FT.  
3rd Floor - 711 SQ.FT.

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## ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

NOT FOR  
CONSTRUCTION

313 E. 48th Street Development  
LARGE UNITS  
313 E. 48th Street  
Garden City, ID 83714

### LEGEND:

	STUCCO: 3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING: ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR: CLEAR COAT AND SEAL
	CMU: GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM: SHERWIN WILLIAMS SW 7048 URBANE BRONZE

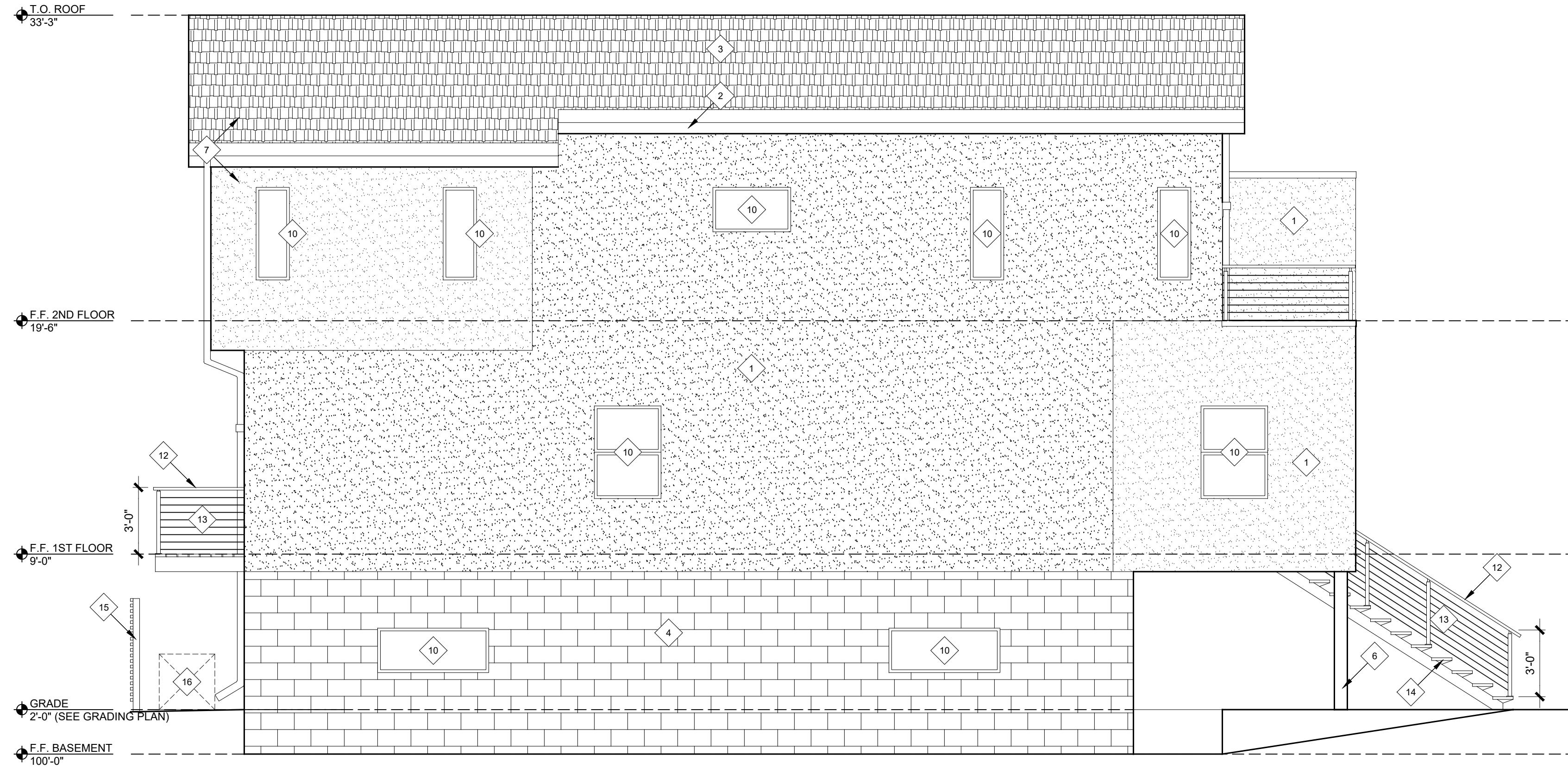
PROJECT: 240103  
DATE: 09.02.2024

### KEYNOTES:

1. 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
2. HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
3. ROOF. SEE LEGEND ON THIS SHEET
4. CMU. SEE LEGEND AND RENDERINGS
5. CEDAR SIDING. SEE LEGEND AND RENDERINGS
6. CEDAR COLUMN. CLEAR COAT
7. ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
8. LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
9. DOOR. DARK BRONZE. SEE PLANS
10. WINDOW. DARK BRONZE. SEE PLANS
11. GARAGE DOOR. PAINT - TRIM COLOR. SEE LEGEND
12. CEDAR RAILING. SEE RENDERINGS
13. CABLE RAIL SYSTEM
14. STAIRS. SEE PLAN
15. TRELLIS SCREEN WALL
16. CONDENSER UNIT LOCATION

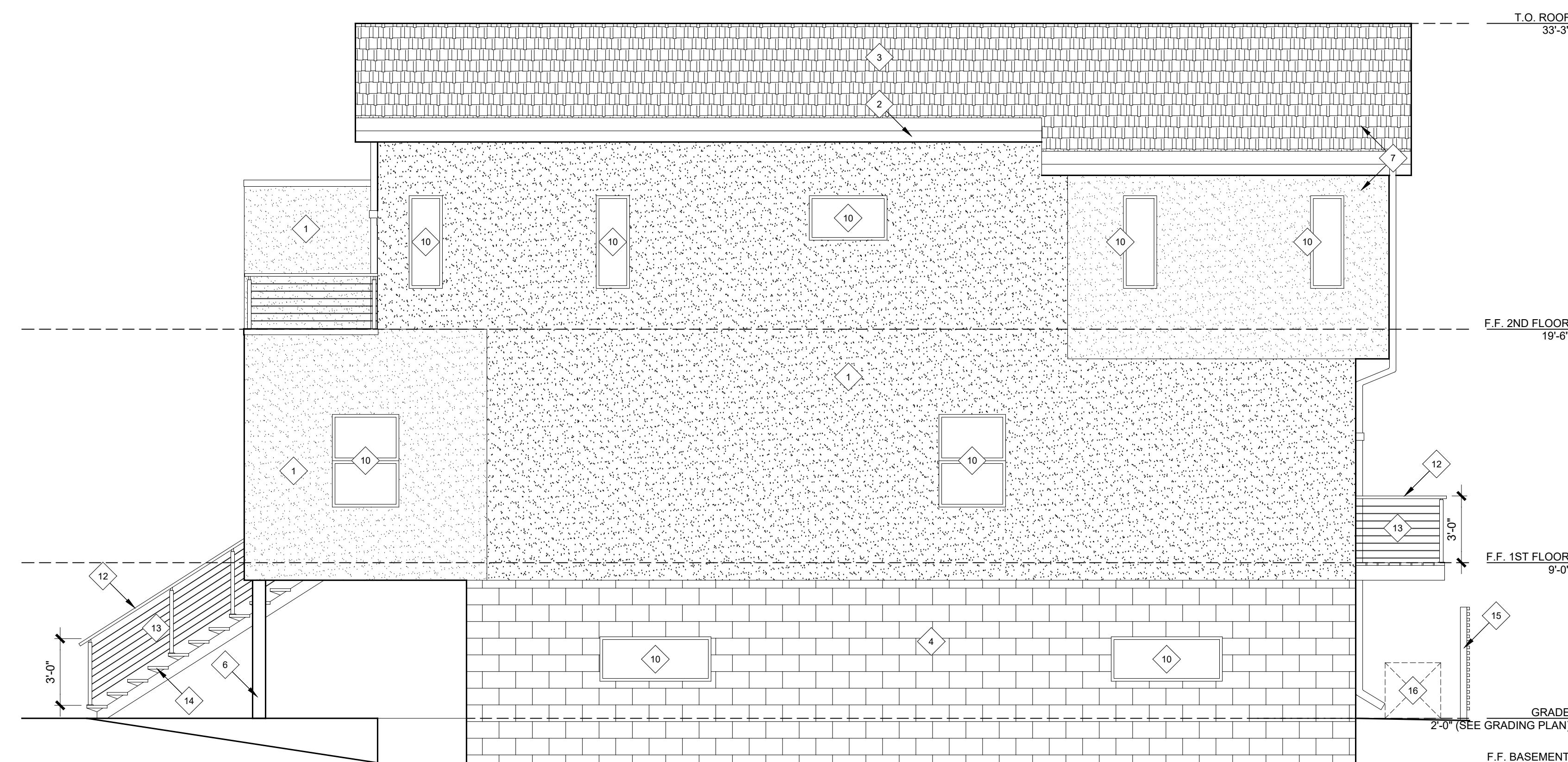
### DESIGN REVIEW

### ELEVATIONS FRONT



**ELEVATION - SIDE (SOUTHEAST)**

SCALE: 1/4" = 1'-0"



**ELEVATION - SIDE (NORTHWEST)**

SCALE: 1/4" = 1'-0"

**LEGEND:**

	STUCCO: 3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING: ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR: CLEAR COAT AND SEAL
	CMU: GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM: SHERWIN WILLIAMS SW 7048 URBANE BRONZE

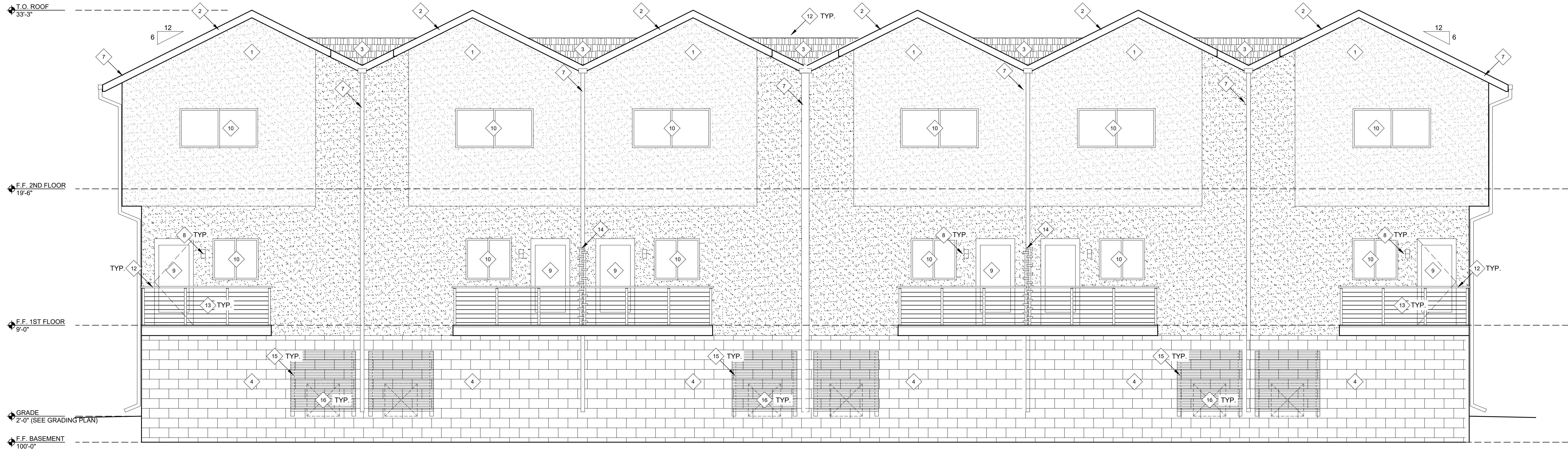
**KEYNOTES:**

1. 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
2. HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
3. ROOF. SEE LEGEND ON THIS SHEET
4. CMU. SEE LEGEND AND RENDERINGS
5. NOT USED
6. CEDAR COLUMN. CLEAR COAT
7. ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
8. NOT USED
9. NOT USED
10. WINDOW, DARK BRONZE. SEE PLANS
11. NOT USED
12. CEDAR RAILING CAP. SEE RENDERINGS
13. CABLE RAIL SYSTEM
14. STAIRS. SEE PLAN
15. TRELLIS SCREEN WALL
16. CONDENSER UNIT LOCATION

PROJECT: 240103  
DATE: 09.02.2024

**DESIGN REVIEW**

**ELEVATIONS  
SIDE**



## ELEVATION - BACK

SCALE: 1/4" = 1'-0"

### LEGEND:

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	ROOFING: ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR: CLEAR COAT AND SEAL
	CMU: GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM: SHERWIN WILLIAMS SW 7048 URBANE BRONZE

313 E. 48th Street Development  
LARGE UNITS  
313 E. 48th Street  
Garden City, ID 83714

PROJECT: 240103  
DATE: 09.02.2024

### DESIGN REVIEW

### KEYNOTES:

1. 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
2. HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
3. ROOF. SEE LEGEND ON THIS SHEET
4. CMU. SEE LEGEND AND RENDERINGS
5. NOT USED
6. NOT USED
7. ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
8. LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
9. DOOR. DARK BRONZE. SEE PLANS
10. WINDOW. DARK BRONZE. SEE PLANS
11. NOT USED
12. CEDAR RAILING CAP. SEE RENDERINGS
13. CABLE RAIL SYSTEM
14. DECORATIVE CEDAR PRIVACY SCREEN. SEE RENDERINGS
15. TRELLIS SCREEN WALL
16. CONDENSER UNIT LOCATION

### ELEVATIONS BACK



Scene 1

SW 6249  
Storm Cloud  
FULL DETAILS ▾

SW 6206  
Oyster Bay  
FULL DETAILS ▾

SW 6138  
Artifact  
FULL DETAILS ▾

SW 7028  
Incredible White  
FULL DETAILS ▾



Stucco:

Ground Face Concrete Block:  
Basalite: 3 Color  
Charcoal, Ebony and Gray

Zhanna Development - Row Houses - Small Units

Garden City, Idaho

PAGE 1 OF 1

REVISION - 01

Accents and Soffit:  
Cedar



Scene 2

◆ KEYNOTES:

NOT FOR  
CONSTRUCTION

313 E. 48th Street Development  
SMALL UNITS  
313 E. 48th Street  
Garden City, ID 83714

REVISIONS:  
DATE: DESCRIPTION:  
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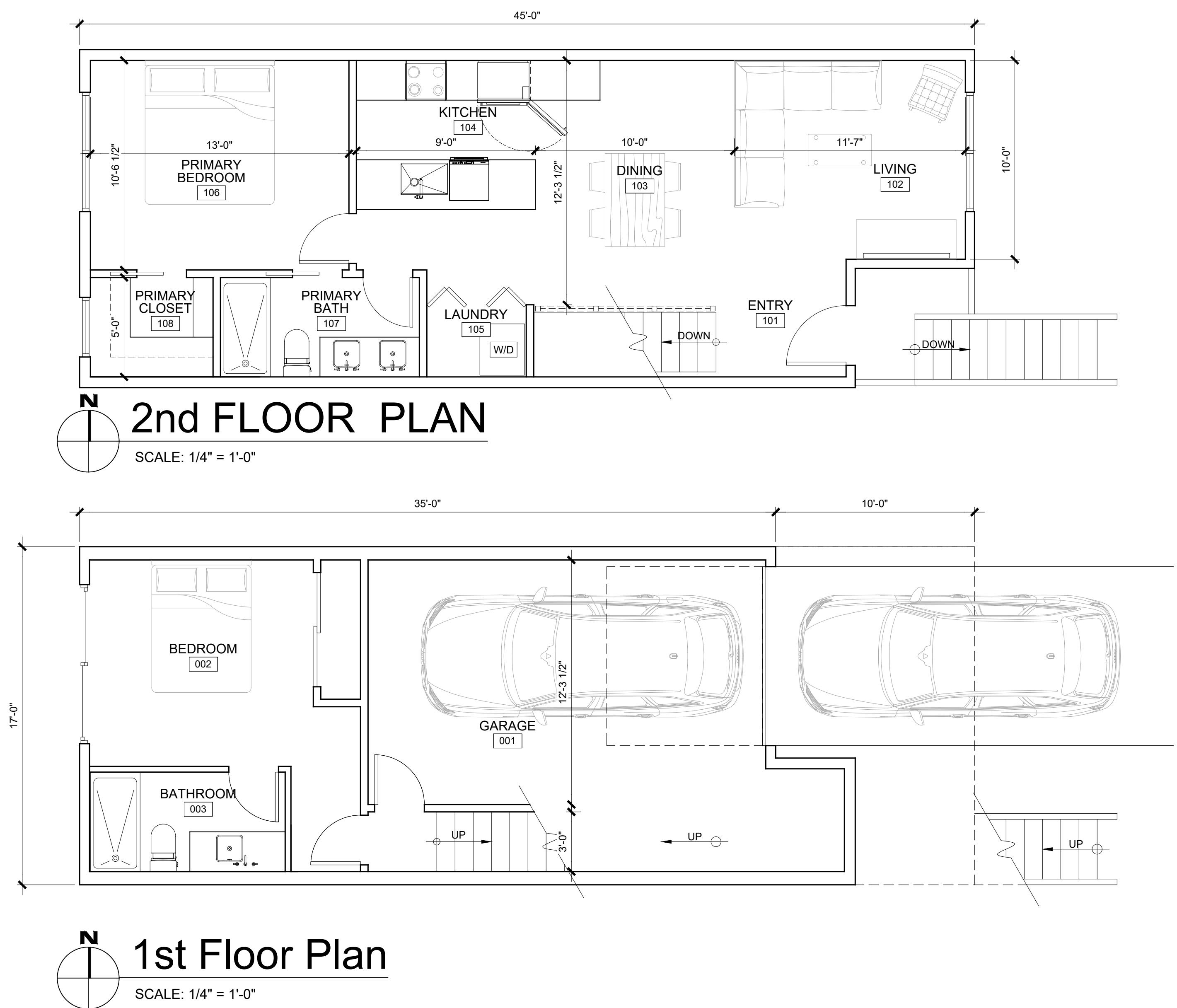
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DATE: 06.24.2024

DESIGN REVIEW  
FLOOR PLAN

**GENERAL NOTES:**

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD; NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS AND/OR WITH AWCI LEVEL 5.
- C. UNLESS NOTED OTHERWISE ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING (OR STUD).
- D. UNLESS NOTED OTHERWISE ALL INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF DRYWALL.
- E. UNLESS DIMENSIONED OTHERWISE INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.
- F. CONFIRM ALL EQUIPMENT SIZES AND LOCATIONS WITH OWNER BEFORE PURCHASE OR INSTALLATION.

**LEGEND:**

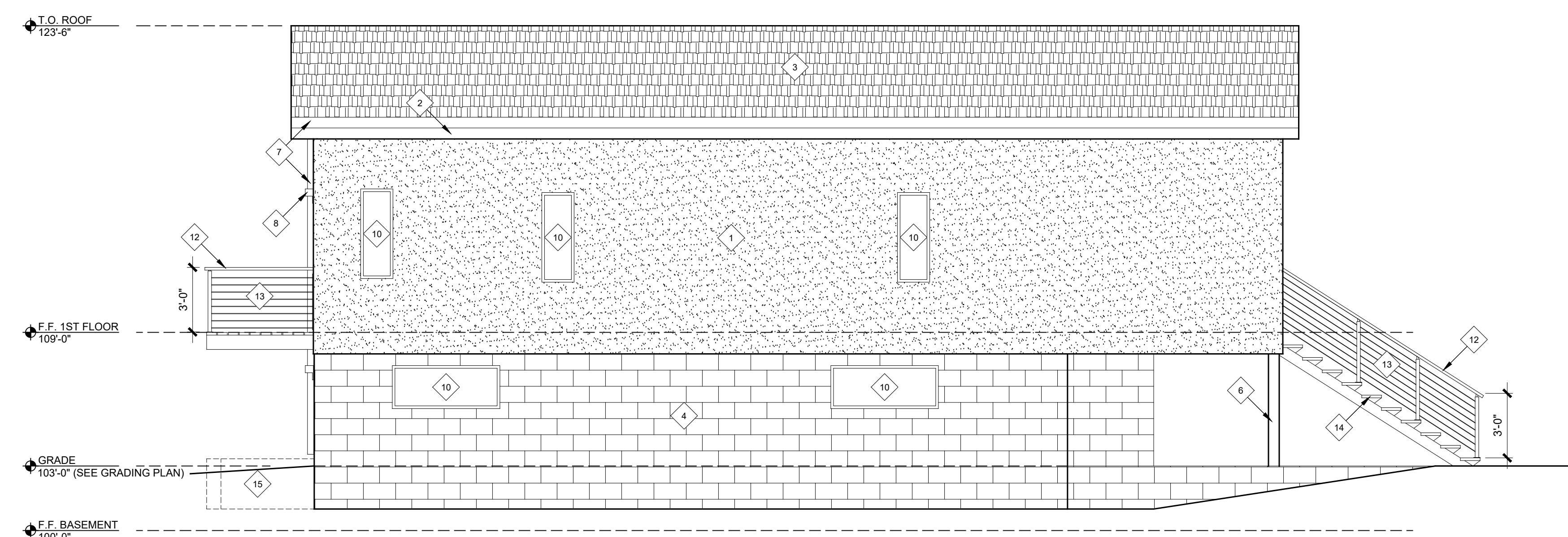


NOT FOR  
CONSTRUCTION



## ELEVATION - FRONT

SCALE: 1/4" = 1'-0"



## ELEVATION - SIDE (NORTHEAST)

SCALE: 1/4" = 1'-0"

## LEGEND:

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	CEDAR: CLEAR COAT AND SEAL
	CMU: GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
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12. CEDAR RAILING CAP. SEE RENDERINGS
13. CABLE RAIL SYSTEM
14. STAIRS. SEE PLAN
15. REAR PATIO. SEE PLANS AND SITE PLAN

313 E. 48th Street Development  
SMALL UNITS  
313 E. 48th Street  
Garden City, ID 83714

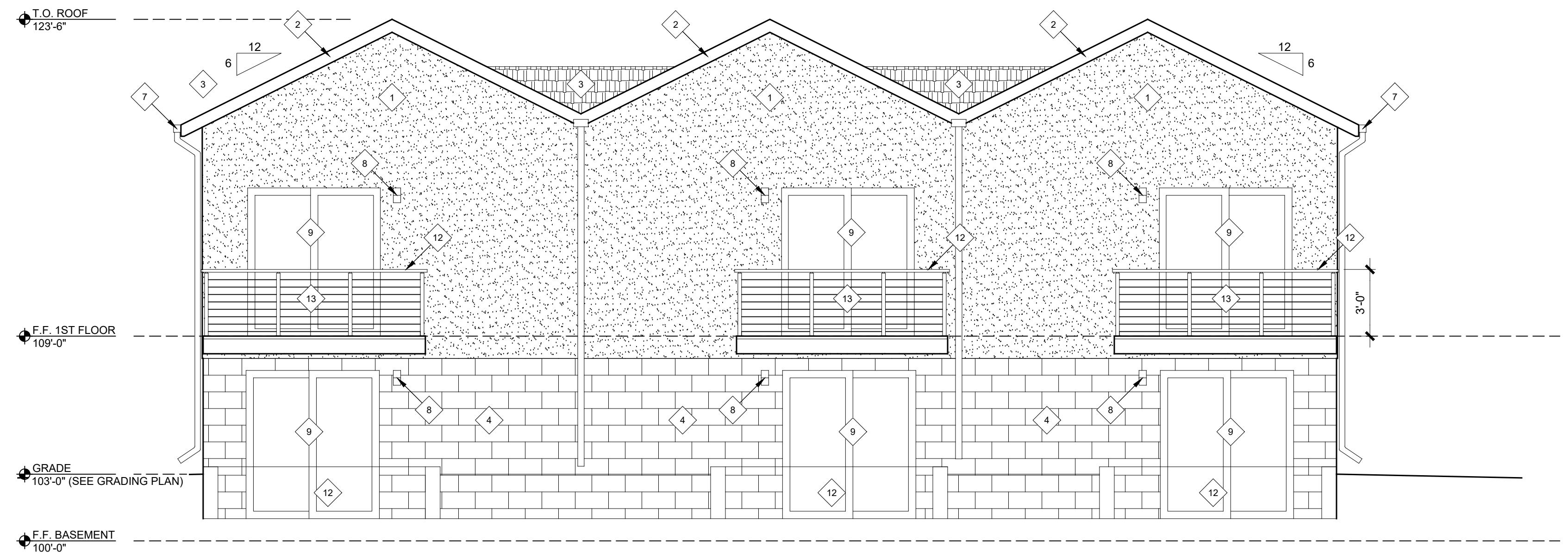
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PROJECT: 240103  
DATE: 09.03.2024

DESIGN REVIEW

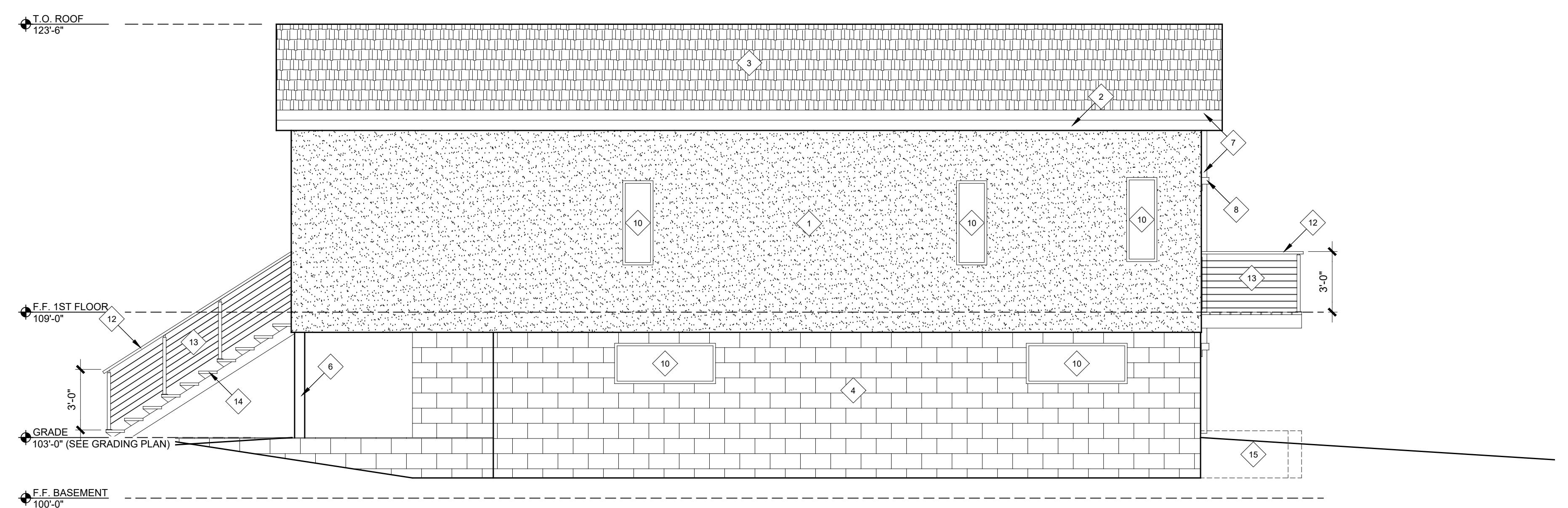
ELEVATIONS  
FRONT + SIDE

NOT FOR  
CONSTRUCTION



## ELEVATION - REAR

SCALE: 1/4" = 1'-0"



## ELEVATION - SIDE (SOUTHWEST)

SCALE: 1/4" = 1'-0"

## LEGEND:

	STUCCO: 3 COAT STUCCO SYSTEM COLOR: SEE RENDERINGS
	ROOFING: ASPHALT SHINGLES COLOR: CHARCOAL
	CEDAR: CLEAR COAT AND SEAL
	CMU: GROUND FACE CONCRETE BLOCK: BASALITE: 3 COLOR. SEE RENDERINGS
	TRIM: SHERWIN WILLIAMS SW 7048 URBANE BRONZE

## KEYNOTES:

1. 3 COAT STUCCO SYSTEM. SEE LEGEND AND RENDERINGS
2. HARDIE BOARD FASCIA. PAINT - TRIM COLOR. SEE RENDERINGS
3. ROOF. SEE LEGEND ON THIS SHEET
4. CMU. SEE LEGEND AND RENDERINGS
5. NOT USED
6. CEDAR COLUMN. CLEAR COAT
7. ASC BOX GUTTER AND DOWNSPOUT - COLOR, DARK BRONZE
8. LIGHT FIXTURE. DARK BRONZE. SEE ELECTRICAL DRAWINGS.
9. DOOR. DARK BRONZE. SEE PLANS
10. WINDOW. DARK BRONZE. SEE PLANS
11. NOT USED
12. CEDAR RAILING CAP. SEE RENDERINGS
13. CABLE RAIL SYSTEM
14. STAIRS. SEE PLAN
15. REAR PATIO. SEE PLANS AND SITE PLAN

313 E. 48th Street Development  
SMALL UNITS  
313 E. 48th Street  
Garden City, ID 83714

PROJECT: 240103  
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DESIGN REVIEW

ELEVATIONS  
BACK + SIDE