



VARIANCE APPLICATION

Permit info: _____ VARFY2023-0001 (A) _____
Application Date: _____ 12/19/2022 _____ Rec'd by: _____ CW _____
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Sean Conner	Name: David Johnson
Company: The Land Group Inc	Company: Riverside Hospitality LLC
Address: 462 E Shore Dr	Address: 2900 W Chinden Blvd
City: Eagle	City: Garden City
State: ID Zip: 83703	State: Idaho Zip: 83714
Tel.: 208 939 4041	Tel.: 208 371 9107
E-mail: sean@thelandgroupinc.com	E-mail: david@davidljohnson.net

PROPERTY AND VARIANCE REQUEST INFORMATION

Site address: 2900 W Chinden Blvd Garden City Idaho 83714

Subdivision Name: Riverside Hotel	Lot:	Block: 38-41
Tax Parcel Number: R2734571990	Zoning: C1	Total Acres: 12.95
Existing Use: Hotel	Floodplain: <u>yes</u> no	
Proposed Use: Pedestrian Bridge	Surrounding Uses:	

Description of the requested variance:

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

How is the property deprived, by a provision of this Title, of rights and privileges enjoyed legally by other properties in the vicinity and under the applicable zoning district because of the unique size, shape, topography or location of the subject property (a finding of undue hardship)?

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

How does the need for a variance not result from the actions of the applicant or property owner?

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

How will granting a variance not unreasonably diminish either the health, safety or welfare of the community or neighborhood?

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

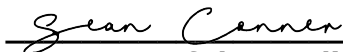
Why is a variance the only reasonable alternative to overcome the undue hardship?

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

Why is a variance the minimum relief necessary to allow reasonable use of the subject property?

See attached variance request letter "LM 221201 Bridge Setback Variance Request 11515.20"

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



Signature of the Applicant

12-10-21-2022

(date)

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

- ☒ Compliance Statement and Statement of Intent
- ☒ Affidavit of Legal Interest
- ☒ Neighborhood Map
- ☒ Site Plan
- ☒ Approved Addresses
- ☒ Waiver Request of Application Materials



PLEASE CHECK THE FOLLOWING:

INFORMATION FOR COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☐ Should include purpose, scope, and intent of project
- ☐ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community
- ☐ Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 1/2" x 11" size minimum
 - ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelope

INFORMATION REQUIRED ON SITE PLAN:

- ☐ 24" x 36" size minimum
- ☐ Scale not less than 1" = 20'), legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."



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APPLICANT	PROPERTY OWNER
Name: Sean Conner	Name: Maryilyn J Oakes
Company: The Land Group Inc	Company: Oregon Trail Landmark LLC
Address: 462 E Shore Dr	Address: 24524 Playhouse Road
City: Eagle	City: Keystone
State: ID Zip: 83703	State: SD Zip: 57751
Tel.: 208 939 4041	Tel.: 888-564-5634
E-mail: sean@thelandgroupinc.com	E-mail: mail@buffalorock.net

PROPERTY AND VARIANCE REQUEST INFORMATION

Site address: 2288 N Garden St, Garden City, ID 83706

Subdivision Name: 3N 2E 04	Lot:	Block:
Tax Parcel Number: S1004336415	Zoning: C-2	Total Acres: 1.44
Existing Use: Commerical	Floodplain: yes no	
Proposed Use: Pedestrian Bridge	Surrounding Uses:	

Description of the requested variance:

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Signature of the Applicant (date) Signature of the Owner (date)

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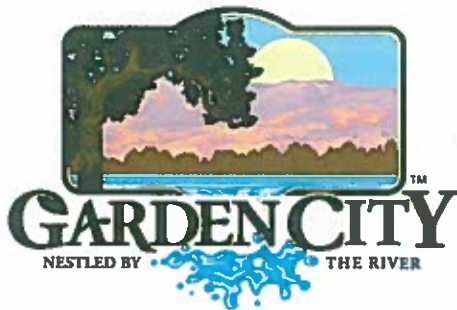
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6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, RIVERSTONE HOSPITALITY, LLC 2900 CHANDLER BOULEVARD
Name (must be primary owner as noted in Ada County Assessor's records) Address

GARDEN CITY IDAHO 83714
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission

to THE LAND GROUP, INC.
Name (applicant) Project Address
to submit the accompanying application pertaining to that property.

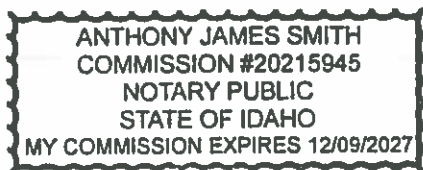
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 14TH day of JULY, 2022

[Signature]
Signature (must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written



[Signature]
Notary Public for Idaho

Residing at: 1116 S. VISTA AVE BOISE ID 83705

My Commission expires 12.09.2027



December 19, 2022

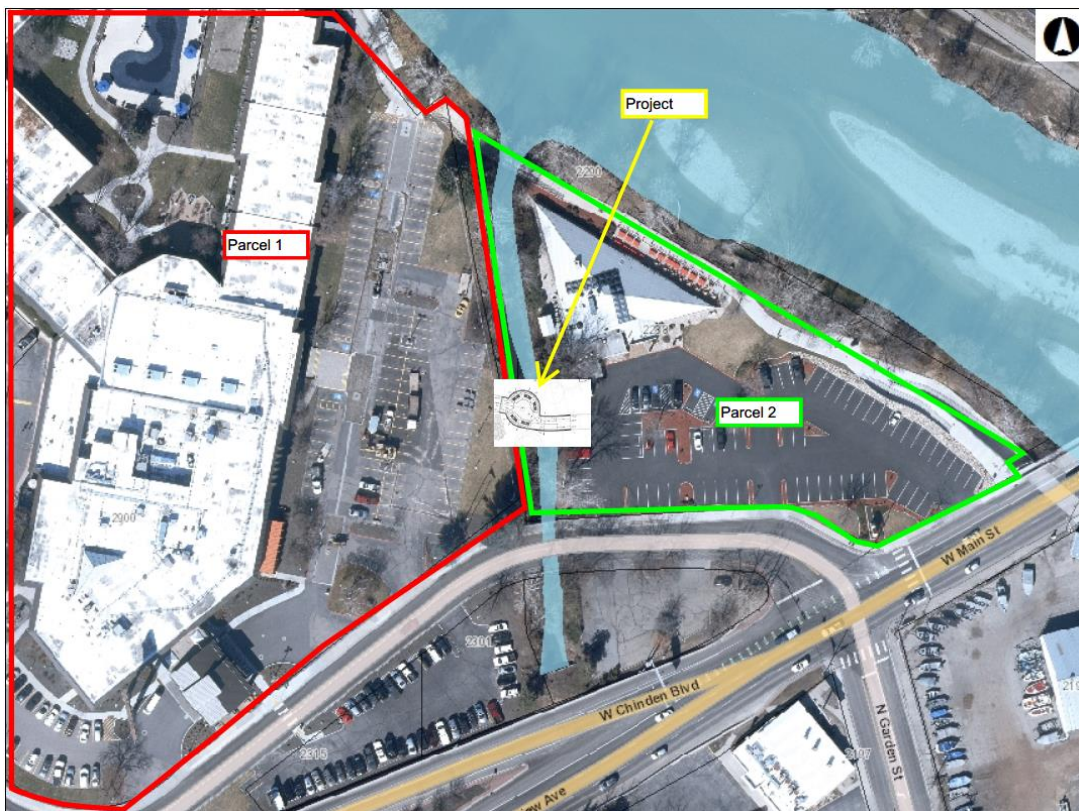
Planning and Zoning Commission
Garden City
6015 Glenwood St
Garden City, ID 83714

RE: Narrative in Support of Variance for Pedestrian Bridge

Dear Planning and Zoning Commission,

This narrative serves as a compliance statement in support of a variance application from interior side setbacks for the construction of an elevated pedestrian pathway between two lots (the “**Project**”). The City has approved the pedestrian pathway design through the design review process in application DSRFY2022-0025.

The Project will provide pedestrian connectivity between two separate parcels that are separated by a Settlers Irrigation District slough (the “**Canal**”). The western parcel is commonly known as 2900 W Chinden Blvd. and is in the City’s C-1 zoning district (“**Parcel 1**”). The eastern parcel is commonly known as 2288 N Garden Street and is zoned in the City’s C-2 zoning district (“**Parcel 2**” and together with Parcel 1, the “**Parcels**”). Parcel 1, Parcel 2, and the approximate location of the Project are shown in *Figure 1* below. *Figure 2* below shows a rendering of the Project. This variance request is unique because



both Parcels are seeking the same setback variance for their mutual benefit and the owners of the Parcels are unanimously in favor of granting a variance.

The interior side yard setback for both Parcel 1 and Parcel 2 is 5'.¹ This application seeks a variance for the Project to be constructed entirely within the 5' setback on both Parcels. A variance allows for the modification of otherwise required zoning setbacks², when the following five findings can be satisfied, which they are in this case:

1. **The subject property is deprived, by provision of this title, of rights and privileges enjoyed legally by other properties in the vicinity and under the applicable zoning district because of the unique size, shape, topography or location of the subject property (a finding of undue hardship).**

The Parcels at issue are unique in shape and location. Specifically, the entire length of the contiguous boundary between the Parcels is separated by the Canal. The shape of the Parcels and length of the Canal, deprive the Parcels of the right to pedestrian connectivity, a right and privilege commonly enjoyed (an often required) by other properties in the vicinity with commercial zoning. Pedestrian connectivity created by the Project in this case also allows for business clustering, a well-known design concept legally enjoyed by other properties in the vicinity that creates commercial success by locating complementary businesses in close walkable proximity. Strict enforcement of the applicable side setbacks in this instance creates an undue hardship and prevents the Parcels from being used in a manner that is common of other property in the area with the same or similar zoning.

2. **The need for the variance is not the result of actions of the applicant or property owner.**

The location of the Canal bisecting the Parcels and the unique shapes of the Parcels create the need for the setback variance. These features are not the result of the applicant's actions, instead they are a feature of the location and shape of the property as the applicant found the property.

3. **The variance will not unreasonably diminish either the health, safety or welfare of the community neighborhood.**

The Project that will result from the variance improves health, safety and welfare of the community neighborhood by improving pedestrian infrastructure and providing additional safe pedestrian connections through the City. The Project will also provide additional options in lieu of the Greenbelt that will reduce local traffic on the Greenbelt and increase safety. As a component of the Project there will be extensive revegetation efforts in the area of the Canal, which will reduce erosion and sedimentation, and

¹ See Garden City Code at Table 8-2B-2.

² See Garden City Code § 8-6B-9(A)-(B).

promote ecosystem health. *Additionally, both Parcels consent to the variance from the side setback that otherwise benefits their property. No one impacted by this variance objects.*

4. The variance is the only reasonable alternative to overcome the undue hardship.

There are no other reasonable alternatives to create direct pedestrian connectivity between Parcel 1 and Parcel 2.

5. The variance is the minimum relief necessary to allow reasonable use of the subject property.

This application seeks a variance from the applicable setbacks solely for the width of the Project – approximately 20' in width. Otherwise, all other applicable setbacks will remain operative.



Please let us know if you need any additional information on this variance request. Thank you for your consideration.

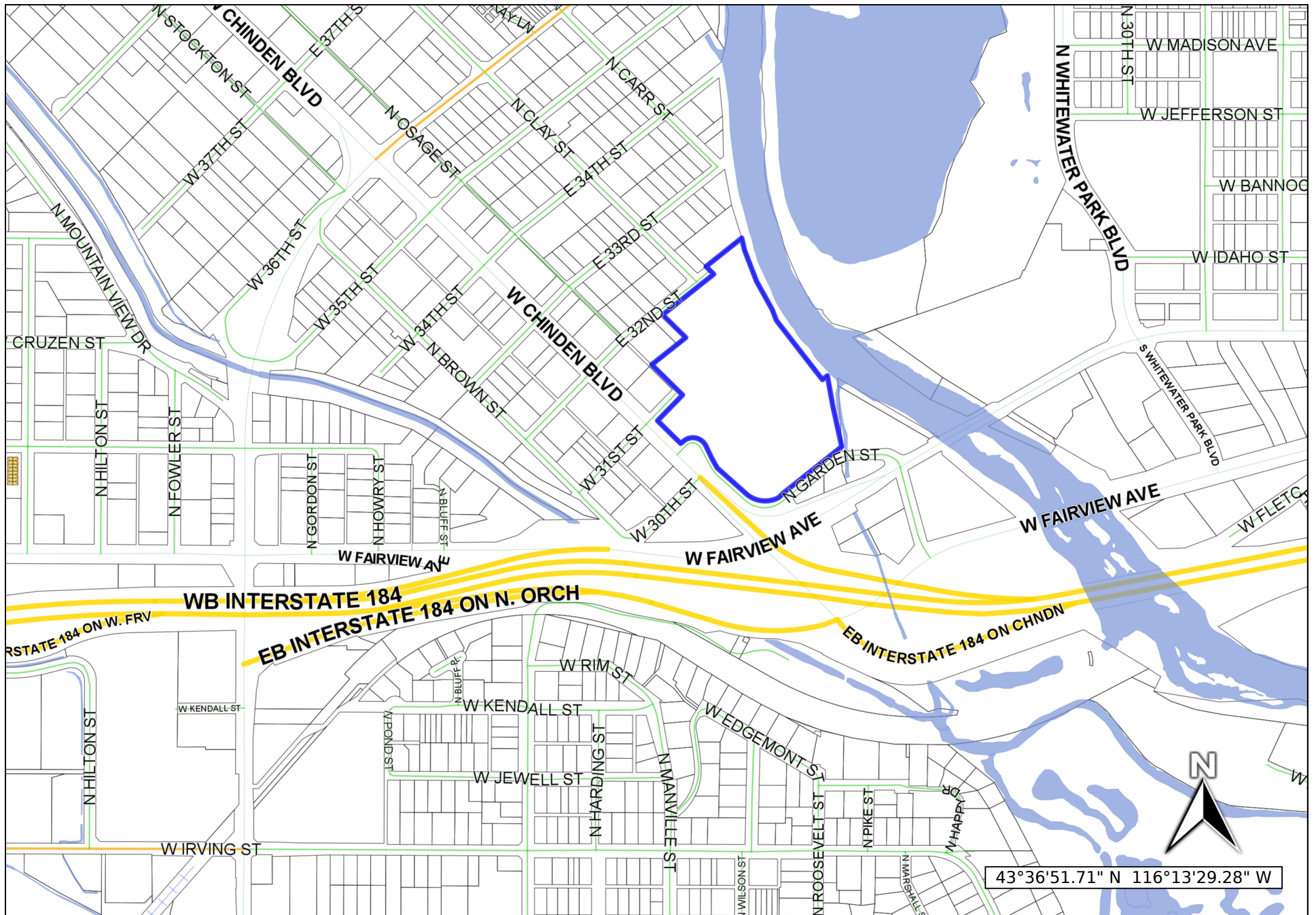
Sincerely,

Sean Conner

Sean Conner, Principal
The Land Group, Inc.

Vicinity Map

2900 W. Chinden Blvd. Garden City



RIVERSIDE HOTEL RIVER EDDY PEDESTRIAN BRIDGE 2288 NORTH GARDEN STREET, GARDEN CITY

General Notes:

1. TECHNICAL SPECIFICATIONS ARE AN INTEGRAL PART OF THESE DRAWINGS. UPON SUBMITTAL OF A BID PRICE BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE TECHNICAL SPECIFICATIONS AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED THEREIN.
2. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS AND SPECIFICATIONS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID DOCUMENTS, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.
4. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
5. THE CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585 OR 811
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, OR EXISTING STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
7. ALL MATERIALS AND FINISHES SHALL BE AS PER DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE SEVERAL WEEK ORDER LEAD TIME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY AND ALL ORDERING LEAD TIMES, AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ALLOWED. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF A SPECIFIED MATERIAL IS NOT AVAILABLE.
8. ALL EXISTING CONDITIONS AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
10. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPMC AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.
11. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.
12. ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
13. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES.
15. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNER'S REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNER'S REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
16. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
17. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
18. IF ANY ARCHAEOLOGICAL, CULTURAL OR HISTORICAL RESOURCES, OR ARTIFACTS OR OTHER FEATURES ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION ANYWHERE ON THE PROJECT SITE, WORK SHALL BE SUSPENDED IN THAT LOCATION UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST ASSESSES THE SIGNIFICANCE OF THE DISCOVERY. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY FINDS. IN CONSULTATION WITH THE ARCHAEOLOGIST AND THE GOVERNING AGENCY, APPROPRIATE MEASURES FOR PRESERVATION SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF WORK.
19. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
20. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF GARDEN CITY'S APPROVED EROSION AND SEDIMENT CONTROL PLAN (ESCP) FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE ESCP REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO COMPLY WITH THE CITY OF GARDEN CITY'S ORDINANCE FOR CONTROL FOR EROSION FROM THIS CONSTRUCTION SITE. THE ESCP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE ESCP IS TERMINATED.
21. ALL CONSTRUCTION, MATERIALS, APPURTENANCES AND TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE 2017 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), UNLESS SPECIFICALLY MODIFIED BY THESE CONSTRUCTION DOCUMENTS.
22. THE CONTRACTOR, ALL APPLICABLE SUB-CONTRACTORS, DEVELOPER/OWNER, UTILITY COMPANY REPRESENTATIVES, A GARDEN CITY DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE AND AN ADA COUNTY HIGHWAY DISTRICT REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
23. THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY OF THE IMPROVEMENTS SHOWN HEREON LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
24. CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE PROJECT ENGINEER, THE ADA COUNTY HIGHWAY DISTRICT AND/OR THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS. INSPECTION BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS WILL BE FOR DEPARTMENT PURPOSES ONLY TO SPOT CHECK WORK COMPLIANCE WITH THE CITY'S REQUIREMENTS. IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
25. ANY WATERS CREATED BY DEWATERING SHALL NOT BE PERMITTED TO DIRECTLY DISCHARGE TO ANY EXISTING SURFACE WATER FACILITY. PRIOR TO DISCHARGING TO WATERS OF THE STATE OF IDAHO, THE CONTRACTOR SHALL SECURE A SHORT-TERM ACTIVITY EXEMPTION FROM THE APPLICABLE REGIONAL OFFICE OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
26. HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPMC SECTION 405 AND ISPMC DRAWING NO. 407.
27. ANY EXISTING UNCONTROLLED FILL WILL BE EXCAVATED AND REPLACED WITH STRUCTURAL FILL IN ANY BUILDING OR PAVEMENT AREAS.

Grading & Drainage Notes:

1. GENERAL NOTES ARE MADE A PART OF THE GRADING & DRAINAGE NOTES BY THIS REFERENCE. ALL CONTRACTORS AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO SAID NOTES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THESE PLANS AND THE PROJECT SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS ON SITE AT ALL TIMES. ONLY THESE PLANS SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY NON APPROVED SET OF PLANS ON THE JOB SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
4. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
5. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED ON THIS PLAN AND NOTIFY DESIGN ENGINEER WHEN ELEVATIONS DO NOT MATCH PLANS.
6. WASTE SOIL SHALL BE HAULED TO AN OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.
7. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS, DRAINAGE STRUCTURES, CURB CUTS, AND DRAINAGE WINDOWS.
9. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) CROSS SLOPE UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL COORDINATE CONNECTION OF ALL ROOF DRAINAGE DOWN SPOUTS AND BUILDING PLUMBING.
11. ALL CHANGES REQUIRE APPROVAL BY THE DESIGN ENGINEER AND LANDSCAPE ARCHITECT.
12. ALL DRAINAGE CONVEYANCE AND INFILTRATION FACILITIES MUST BE INSPECTED BY THE DESIGN ENGINEER OR HIS/HER QUALIFIED REPRESENTATIVE. PROVIDE INSPECTION REQUEST A MINIMUM OF 48 HOURS IN ADVANCE.
13. ALL STORM DRAINAGE PIPING SHALL BE ADS N-12 (HDPE) DRAINAGE PIPE (SOLID WALL AND PERFORATED) OR ASTM 3034, SDR 35 PVC AS SHOWN ON THE PLANS.
14. ALL NON GRATED STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
15. CONCRETE COLLARS SHALL BE POURED AT ALL STORM DRAINAGE INLETS AND MANHOLES. COLLARS SHALL BE PLACED IN ACCORDANCE WITH ISPMC SD-616.
16. PIPE TRENCH SHALL CONFORM TO DIVISION 300 OF THE LATEST EDITION OF THE ISPMC AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPMC.
17. PIPE LENGTHS SHOWN ARE NOT EXACT. ACTUAL INSTALLATION LENGTHS MAY VARY SLIGHTLY. LENGTHS ARE SHOWN FOR GENERAL INFORMATION ONLY.
18. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS, ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.
19. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONCRETE AND DEBRIS FROM LANDSCAPE PLANTER AREAS PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.
20. ALL PROPOSED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED.
21. CARE SHALL BE TAKEN TO PREVENT DIRT AND OTHER SUPERFLUOUS MATERIALS FROM ENTERING STORM DRAINAGE FACILITIES DURING CONSTRUCTION.

Drainage Notes:

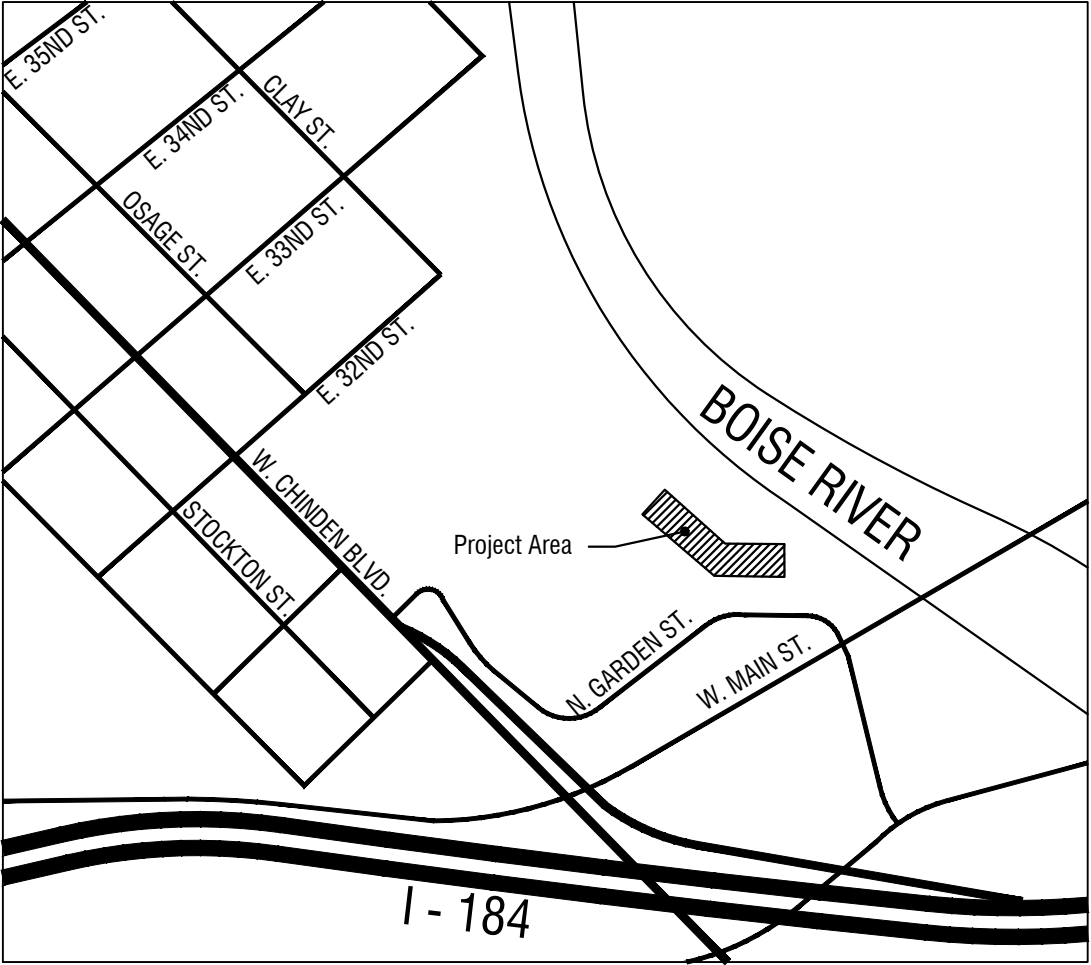
1. ALL INSPECTIONS SHALL REQUIRE A 24-HOUR NOTICE PRIOR TO THE REQUESTED INSPECTION TIME. CALL THE INSPECTION HOT LINE AT 472-2920.
2. PRIOR TO ANY EARTHWORK A 24-HOUR NOTICE TO BEGIN CONSTRUCTION IS REQUIRED. CALL INSPECTION HOT LINE AT 472-2920.
3. DRAINAGE INSPECTIONS SHALL BE CONDUCTED AT ANY GIVEN TIME OR UPON REQUEST, DURING CONSTRUCTION, VERIFYING COMPLIANCE WITH THE CITY REQUIREMENTS AND CONSTRUCTION ACTIVITIES ARE FOLLOWED AS PER THE APPROVED PLANS.
4. ALL DRAINAGE CONSTRUCTION OBSERVATIONS MUST BE PERFORMED BY THE APPLICANT'S DESIGN ENGINEER.
 - 4.1. SUBMIT TO THE GARDEN CITY ENVIRONMENTAL DIVISION THE FOLLOWING DOCUMENTATION PRIOR TO THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY:
 - 4.1.1. THE DESIGN ENGINEER'S DRAINAGE CONSTRUCTION OBSERVATION REPORTS.
 - 4.1.2. A SIGNED, WRITTEN STATEMENT FROM THE DESIGN ENGINEER THAT ALL DRAINAGE STRUCTURES AND APPURTENANCES WERE CONSTRUCTED IN ACCORDANCE TO THE APPROVED PLANS.
 5. THE DRAINAGE SYSTEM AND ANY FILTER FABRIC SHALL NOT BE COVERED PRIOR TO INSPECTION. CALL THE INSPECTION HOT LINE AT 472-2920.
 6. THE SIZE AND LOCATION OF THE DRAINAGE SYSTEM SHALL CORRESPOND WITH THE APPROVED DRAINAGE SYSTEM PLAN AND SHALL BE INSPECTED.
 7. FINAL INSPECTION OF THE STORM DRAINAGE SYSTEM SHALL BE CONDUCTED FOLLOWING THE PAVING AND FINAL LANDSCAPING.
 8. ALL DRAINAGE CONVEYANCE ACCESS POINTS SHALL BE STENCILED OR MARKED WITH IDENTIFYING STATEMENT FOR THE PUBLIC "DO NOT DUMP" - SYSTEM DRAINS TO "GROUNDWATER" OR "RIVER", WHICHEVER IS RELEVANT TO THE SYSTEM DISPOSAL DESIGN.
 9. TRAFFIC RATED MANHOLE LIDS SHALL BE USED.
 10. ALL PARKING LOT GRADES SHALL BE AT LEAST 1% FOR ASPHALTIC-CONCRETE AND 0.4% FOR CONCRETE.

Garden City Standard Notes:

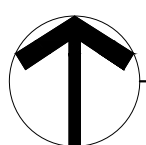
1. COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS FOR PROTECTION FROM EROSION BY STORM WATER IS REQUIRED FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE EPA REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO PREPARE, FILE AND COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. THE RP IS RESPONSIBLE TO FILE A NOTICE OF INTENT (NOI) TO CONSTRUCT WITH EPA. EPA MUST OFFICIALLY ACCEPT THE NOI PRIOR TO BEGINNING ANY SITE DISTURBANCE ACTIVITIES. THE SWPPP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE RP IS REQUIRED TO PREPARE AND SUBMIT A NOTICE OF TERMINATION OF THE SWPPP WITH EPA.

-OR, FOR SITES UNDER ONE ACRE-
2. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF GARDEN CITY'S APPROVED EROSION AND SEDIMENT CONTROL PLAN (ESCP) FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE ESCP REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO COMPLY WITH THE CITY OF GARDEN CITY'S ORDINANCE FOR CONTROL FOR EROSION FROM THIS CONSTRUCTION SITE. THE ESCP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE ESCP IS TERMINATED.
3. ALL CONSTRUCTION, MATERIALS, APPURTENANCES AND TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE 2012 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), UNLESS SPECIFICALLY MODIFIED BY THESE CONSTRUCTION DOCUMENTS.
4. THE CONTRACTOR, ALL APPLICABLE SUB-CONTRACTORS, DEVELOPER/OWNER, UTILITY COMPANY REPRESENTATIVES, A GARDEN CITY DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE AND AN ADA COUNTY HIGHWAY DISTRICT REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY OF THE IMPROVEMENTS SHOWN HEREON LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
6. CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE PROJECT ENGINEER, THE ADA COUNTY HIGHWAY DISTRICT AND/OR THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS. INSPECTION BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS WILL BE FOR DEPARTMENT PURPOSES ONLY TO SPOT CHECK WORK COMPLIANCE WITH THE CITY'S REQUIREMENTS. IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. ANY DEVIATIONS, OMISSIONS OR ERRORS SHALL BE PRESENTED TO THE PROJECT ENGINEER FOR RESOLUTION. ANY CHANGES TO THE PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO IMPLEMENTATION OF THE CHANGE. SAID CHANGE MAY ALSO NEED TO BE SUBMITTED TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FOR APPROVAL.
8. THE CONTRACTOR SHALL CONTACT DIGLINE (811) AND OTHER APPROPRIATE UTILITY PROVIDERS FOR UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
9. ANY WATERS CREATED BY DEWATERING SHALL NOT BE PERMITTED TO DIRECTLY DISCHARGE TO ANY EXISTING SURFACE WATER FACILITY. PRIOR TO DISCHARGING TO WATERS OF THE STATE OF IDAHO, THE CONTRACTOR SHALL SECURE A SHORT-TERM ACTIVITY EXEMPTION FROM THE APPLICABLE REGIONAL OFFICE OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
10. HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPMC SECTION 405 AND ISPMC SD-407.

Vicinity Map:



File location: c:\301115\Draws\ 015154.dwg, 11/15/21 4:17:08, mwendy.06@idm.com
User: mwendy, Project: Riverside Hotel, 11/22/21 4:03:52 PM



Demolition Plan

Horizontal Scale: 1" = 10'



Demolition Notes:

1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING DEMOLITION.
3. ALL REQUIRED INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL CALL 811 or (800) 342-1585, OR OTHER UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY EXCAVATION TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED. ANY DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR.
5. DEMOLITION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, RULES, REGULATIONS, ETC. REMOVE DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER. DO NOT ALLOW THE ACCUMULATION OF DEBRIS TO DELAY PROGRESS OF THE WORK.
6. ERECT AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND GUARDS TO PROTECT THE PUBLIC AND ADJACENT PROPERTY FROM DAMAGE.
7. WATER AREA AFFECTED BY WORK TO PREVENT AIRBORNE DUST AND DIRT.
8. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATORS AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVES. RESTORE DEMOLISHED OR DAMAGED WORK TO ORIGINAL CONDITION OR BETTER AT NO ADDITIONAL COST TO THE OWNER. PRESERVE AND PROTECT ADJACENT AREAS FROM DAMAGE CAUSED BY DEMOLITION OPERATIONS.
9. ANY DAMAGE WHICH OCCURS OUTSIDE CONSTRUCTION LIMITS DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR.

Demolition Legend:

- | | | | |
|--|---|--|--|
| | REMOVE AND DISPOSE ASPHALT CONCRETE PAVING OFF-SITE. | | REMOVE AND DISPOSE OF LANDSCAPE AND IRRIGATION EQUIPMENT OFF-SITE. |
| | REMOVE AND DISPOSE CONCRETE HARDSCAPE OFF-SITE. | | RETAIN AND PROTECT EXISTING TREE, INSTALL PROTECTIVE FENCE AROUND TREE |
| | SAW CUT - PROVIDE NEAT SAW CUT LINE OF ASPHALT AND CONCRETE | | REMOVE AND DISPOSE OF EXISTING TREE, GRIND STUMP 18" BELOW EXISTING GRADE MIN. |
| | | | REMOVE AND DISPOSE EXISTING CONCRETE CURB, STRUCTURE, OR PAVEMENT MARKING |

Demolition Keynotes:

1. OBLITERATE EXISTING PAVEMENT MARKINGS.
2. REMOVE AND DISPOSE EXISTING CONCRETE CURB.
3. REMOVE AND DISPOSE EXISTING STEEL FENCE TO NEAREST POST.
4. REMOVE AND DISPOSE EXISTING NO PARKING SIGN FOR RELOCATION. SEE SHEET C2.01 FOR MORE INFORMATION.
5. REMOVE AND DISPOSE EXISTING LUMINAIRE FOUNDATION AND RELATED APPURTENANCES. REMOVE AND SALVAGE EXISTING LUMINAIRE FOR RELOCATION. SEE SHEET C2.01 FOR MORE INFORMATION.
6. REMOVE AND DISPOSE EXISTING SITE LIGHTING STRUCTURE AND ALL RELATED APPURTENANCES, INCLUDING FOUNDATION.
7. REMOVE AND DISPOSE EXISTING STORM DRAIN VALLEY GUTTER AND INLET. PRESERVE AND PROTECT EXISTING UNDERGROUND PIPES AND SEEPAGE BED TO REMAIN.
8. REMOVE AND SALVAGE EXISTING MONITORING WELL COVER AND FRAME. SEE SHEET C3.01 FOR MORE INFORMATION.

Preservation Keynotes:

1. PRESERVE AND PROTECT EXISTING ASPHALT CONCRETE PAVEMENT TO REMAIN.
2. PRESERVE AND PROTECT EXISTING CONCRETE CURB TO REMAIN.
3. PRESERVE AND PROTECT EXISTING ELECTRICAL UTILITY STRUCTURE TO REMAIN.
4. PRESERVE AND PROTECT EXISTING WATER UTILITY TO REMAIN.
5. PRESERVE AND PROTECT EXISTING STORM DRAIN INLET AND PIPING TO REMAIN.
6. PRESERVE AND PROTECT EXISTING UNDERGROUND STORM DRAIN SEEPAGE BED TO REMAIN.
7. PRESERVE AND PROTECT EXISTING CONCRETE SIDEWALK TO REMAIN.
8. PRESERVE AND PROTECT EXISTING CONCRETE VALLEY GUTTER TO REMAIN.
9. PRESERVE AND PROTECT EXISTING MONITORING WELL TO REMAIN.

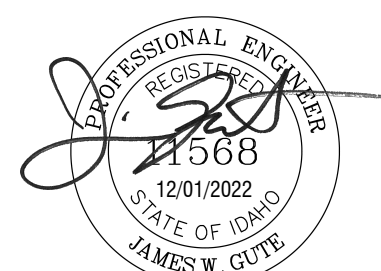


RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

Revisions
1. ADD #1 - 12/01/2022



Project No.: 115154
Date of Issuance: 06.28.2022
Project Milestone: Permit Drawings

Demolition Plan

C1.00



River Eddy ESC Plan

Horizontal Scale: 1" = 30'

Soil Stabilization

- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - WHERE STABILIZATION BY THE 14th DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

NOTE: ONE OF THE FOLLOWING TEMPORARY SOIL STABILIZATION PRACTICES SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS AND/OR WHERE SHOWN ON PLAN, UNLESS CONDITIONS AS LISTED ABOVE DICTATE OTHERWISE:

- MULCHING (BMP 52) - APPLY GRAVEL, STRAW, GRASS, COMPOST, WOOD CHIPS OR WOOD FIBERS TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION, **AND/OR**:
- GEOTEXTILE (BMP 53) - APPLY NONBIODEGRADABLE SYNTHETIC FABRIC TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION, **AND/OR**:
- MATting (BMP 54) - APPLY BIODEGRADABLE WOVEN OR JUTE FIBER MAT TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION.

PERMANENT SOIL STABILIZATION BMPs:
SEEDING, SODDING, AND PLANTING (BMP 32) - COORDINATE WITH THE APPROVED LANDSCAPE PLAN FOR LOCATIONS.

ESC General Notes:

- ALL STORM WATER WILL BE CONTAINED ON SITE.
- ALL BMP'S SHALL BE INSPECTED AT A MINIMUM ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF A STORM EVENT PRODUCING 0.25 INCHES OR GREATER - OR - ONCE EVERY SEVEN DAYS.

INSPECTION FREQUENCY MAY BE REDUCED TO ONCE EVERY MONTH IF:

 - THE ENTIRE SITE IS TEMPORARILY STABILIZED, OR
 - RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR
 - CONSTRUCTION IS OCCURRING DURING SEASONAL ARID PERIODS (MAY THROUGH SEPTEMBER) IN ARID AREAS AND SEMI-ARID AREAS.
- DEWATERING IS NOT EXPECTED FOR THIS SITE. ON-SITE ESC CONTRACTOR IS RESPONSIBLE FOR ALL NON-STORMWATER MANAGEMENT, IF REQUIRED.
- STREET SWEEPING WILL BE IMPLEMENTED ON AN AS-NEEDED BASIS AS DETERMINED BY THE ESC COORDINATOR.
- PROVIDE WASTE CONTAINERS FOR CONSTRUCTION MATERIALS IN WASTE STORAGE CONTAINMENT AREA. WASTE DISPOSAL DUMPSTERS MUST HAVE LIDS, OR PROVIDE COVER OR A SIMILARLY EFFECTIVE MEANS TO MINIMIZE THE DISCHARGE OF POLLUTANTS. KEEP WASTE CONTAINER LIDS CLOSED WHEN NOT IN USE AND AT THE END OF THE BUSINESS DAY. DISPOSE AT A FREQUENCY ACCORDING TO CONTAINER SIZE.
- COORDINATE WITH OWNER FOR WORKMAN PARKING AREA.
- ALL DROP INLETS, CATCH BASINS, AND CURB INLETS NOTED ON PLAN SHALL HAVE INLET PROTECTION PROVIDED. SEE THE DETAILS ON THIS SHEET AND MANUFACTURES GUIDELINES FOR INSTALLATION INSTRUCTIONS.
- LOCATE ALL PORTABLE RESTROOMS AS FAR FROM PUBLIC AND PRIVATE STORM DRAIN SYSTEMS AS POSSIBLE. ANCHOR TO PREVENT VANDALISM.

- SLURRY AND CUTTINGS FROM SAWCUTTING OF CONCRETE OR ASPHALT SHALL BE VACUUMED DURING CUTTING AND SURFACING OPERATIONS. SLURRY AND CUTTINGS SHALL NOT REMAIN ON PERMANENT CONCRETE OR ASPHALT PAVEMENT OVERNIGHT. SLURRY AND CUTTINGS SHALL NOT DRAIN TO ANY NATURAL OR CONSTRUCTED DRAINAGE CONVEYANCE. COLLECTED SLURRY AND CUTTINGS SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
- SEE LANDSCAPE, BANK RESTORATION AND MATERIALS PLANS FOR INFORMATION CONCERNING FINAL SOIL STABILIZATION MEASURES.
- ALL EXCESS MATERIALS SHALL BE HAULED OFF SITE AND DISPOSED OF AT AN APPROVED LOCATION. EXCESS MATERIAL MAY BE TEMPORARILY STORED ON SITE (IF APPROVED BY THE OWNER) AT A PRE-APPROVED LOCATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISPMVC.
- ALL GRADING, UTILITY, AND ROADWAY CONSTRUCTION SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 9:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 9:00 P.M. SATURDAY AND SUNDAY, UNLESS OTHERWISE APPROVED BY THE CONSTRUCTION MANAGER.
- ANY MODIFICATIONS TO THIS PLAN REQUIRE APPROVAL OF THE DESIGNER OR THE ON-SITE RESPONSIBLE PERSON.
- TOTAL DISTURBED AREA IS APPROXIMATELY 0.45 ACRES.
- UPON CONTRACT APPROVAL BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE PLAN DRAWINGS AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED HEREIN.

Contact Information:

OWNER/DEVELOPER:	RIVERSIDE HOSPITALITY, LLC. PO BOX 8506 BOISE, IDAHO 83707 DAVID JOHNSON 208.371.9107
PRIMARY CONTACT: PHONE:	
CONTRACTOR: PRIMARY CONTACT: PHONE:	TBD
ESC RESPONSIBLE PERSON: RESPONSIBLE PERSON: LICENSE NO: EXPIRATION: PHONE:	TBD
PLAN PREPARER:	ROGER COLLINS THE LAND GROUP, INC. 462 E. SHORE DR., STE. 100 EAGLE, IDAHO 83616 PHONE: 208.939.4041
PROJECT ENGINEER:	THE LAND GROUP, INC. 462 E. SHORE DR., STE. 100 EAGLE, IDAHO 83616 PRIMARY CONTACT: JIM GUTE, PE PHONE: 208.939.4041

ESC Legend:

	LIMITS OF DISTURBANCE
	PROPOSED GROUND CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS
	APPROXIMATE EXISTING GROUND CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS
	FIBER ROLL PER STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #64. SEE DETAILS ON SHEET C1.55.
	CIRCULAR DROP INLET PROTECTION TYPE III PER BMP #13. SEE SHEET C1.70 FOR DETAILS
	DROP INLET PROTECTION PER BMP #13. SEE THIS SHEET FOR DETAILS
	PORTABLE RESTROOM PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #50.
	CONCRETE WASHOUT PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #49.
	MATERIALS STORAGE AND PARKING AREAS PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #37.
	PROVIDE STABILIZED ENTRANCE PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #40. THIS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. PROVIDE SWEEPING DAILY OR AS NEEDED TO REMOVE ANY TRACKING OF MUD AND/OR DIRT ONTO EXISTING ASPHALT. SEE DETAIL 1/C155.
	LANDSCAPE STABILIZATION AREAS PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #32. COORDINATE WITH LANDSCAPE AND BANK RESTORATION SHEETS.
	ASPHALT STABILIZATION AREAS, COORDINATE WITH SHEET C2.00.

ESC Posting Requirements:

ALL CONSTRUCTION PROJECTS WHICH HOLD AN EROSION CONTROL PERMIT SHALL DISPLAY A SIGN AT THE MAIN ENTRANCE OF THE PROPERTY INDICATING THE FOLLOWING:

- ADDRESS OF THE PROPERTY, IF ONE HAS BEEN ASSIGNED, OR A LOT OR BLOCK NUMBER,
- THE ESC PERMIT NUMBER,
- THE RESPONSIBLE PERSON'S NAME AND PHONE NUMBER,
- THE STORMWATER POLLUTION HOTLINE PHONE NUMBER

ESC AND ANY WAIVER DOCUMENTS MUST BE MADE AVAILABLE UPON REQUEST BY EPA, A STATE, TRIBAL, OR OTHER LOCAL APPROVING AGENCY.



RIVER EDDY - PEDESTRIAN BRIDGE Riverside Hotel

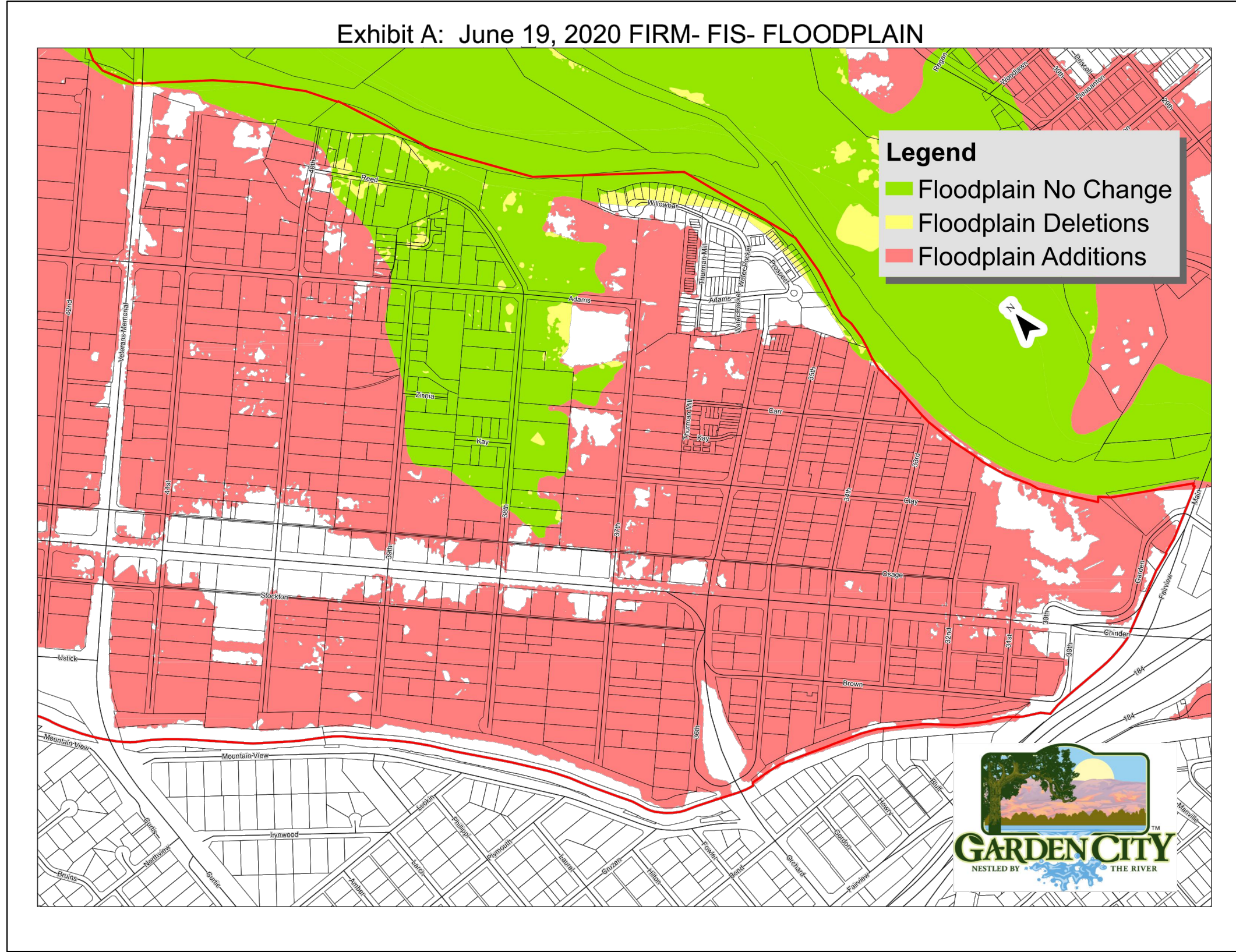
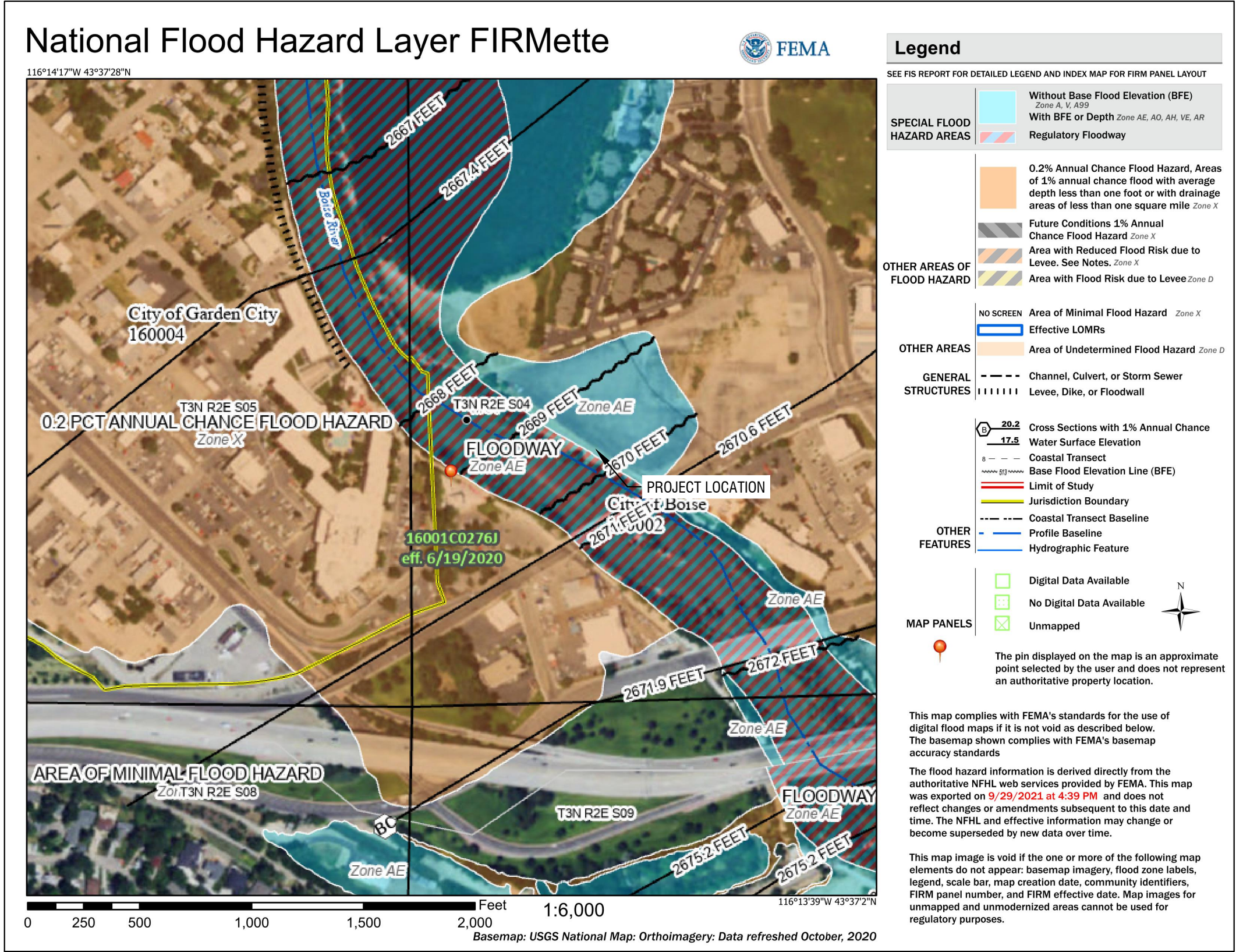
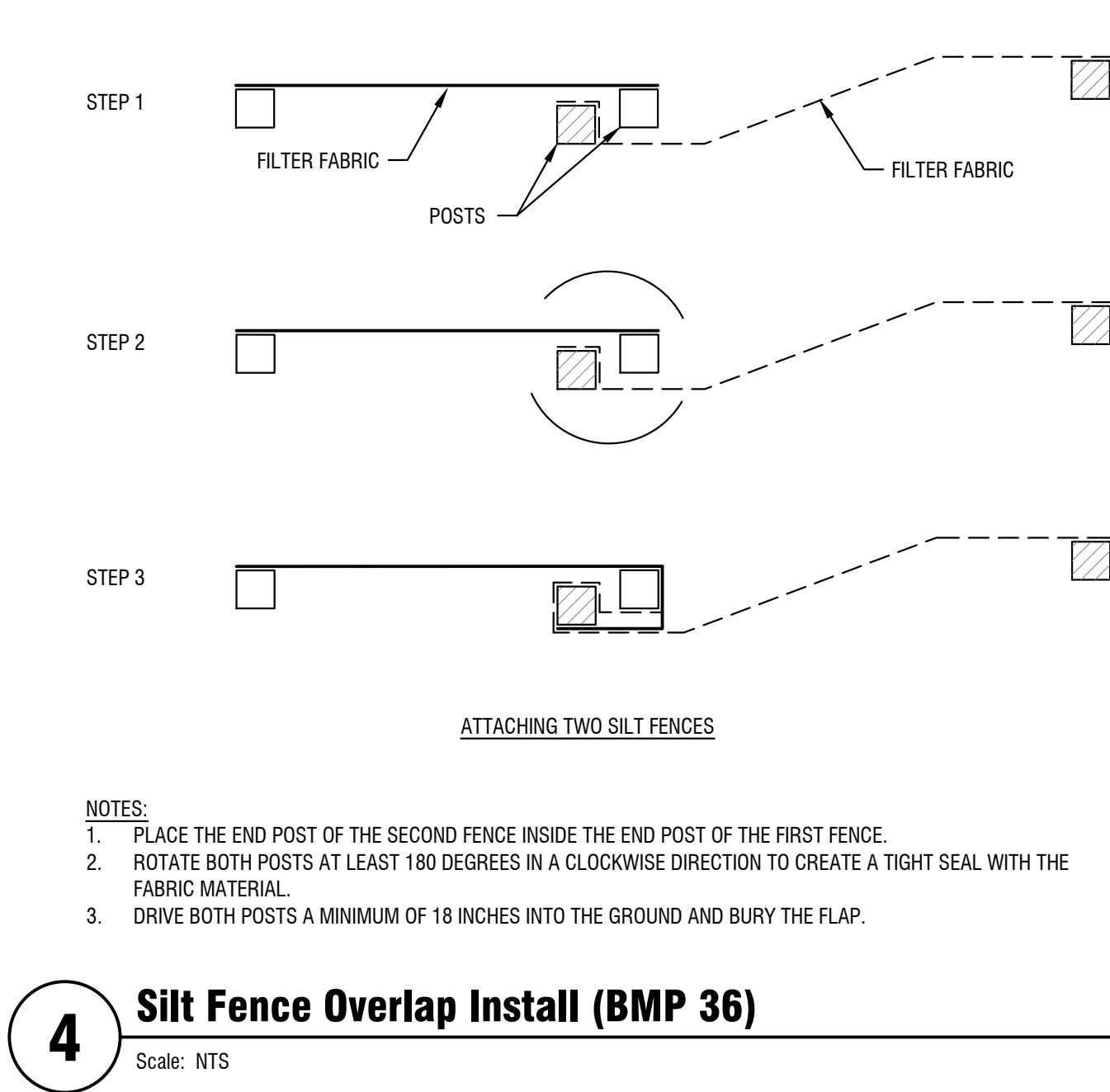
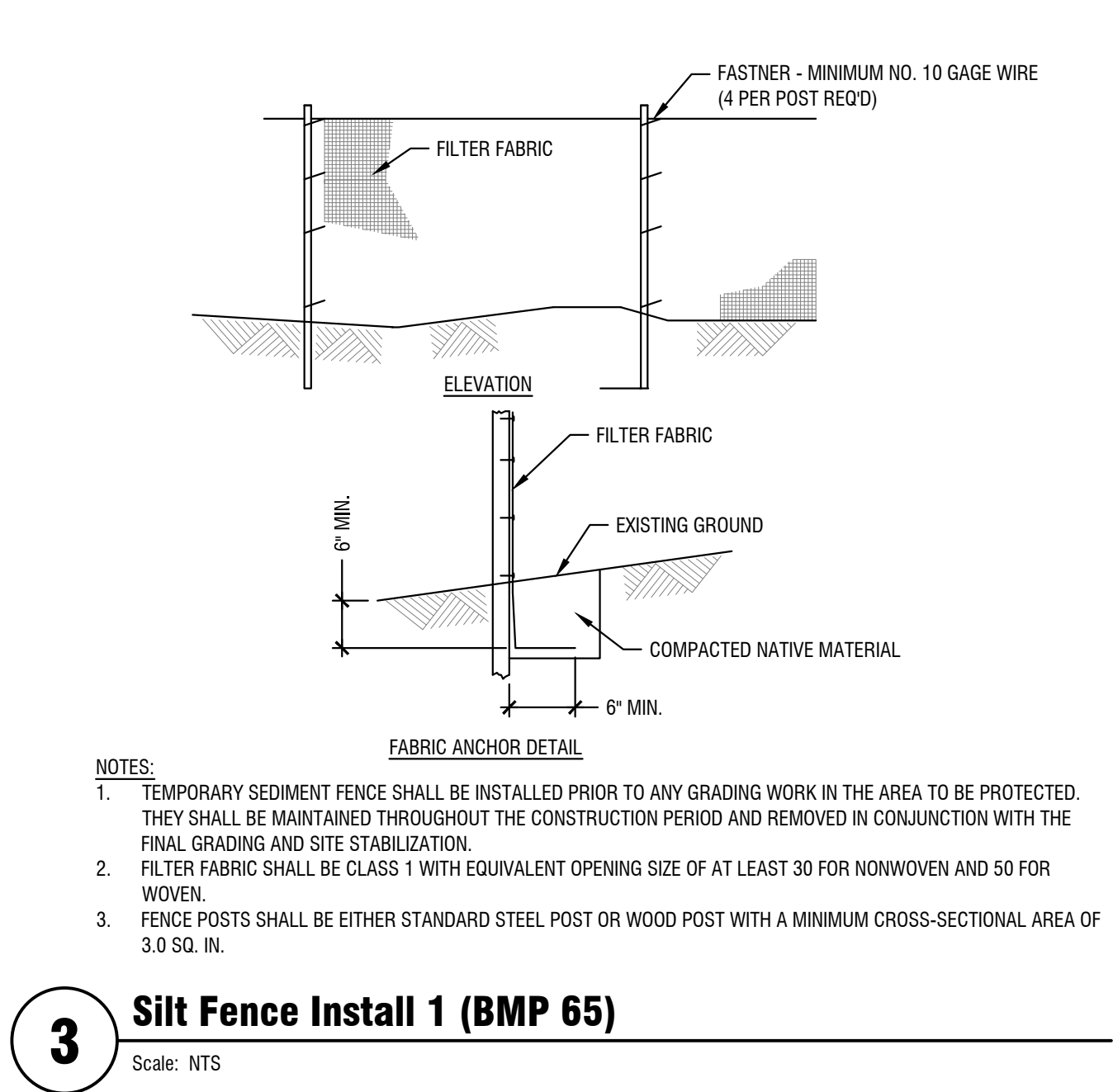
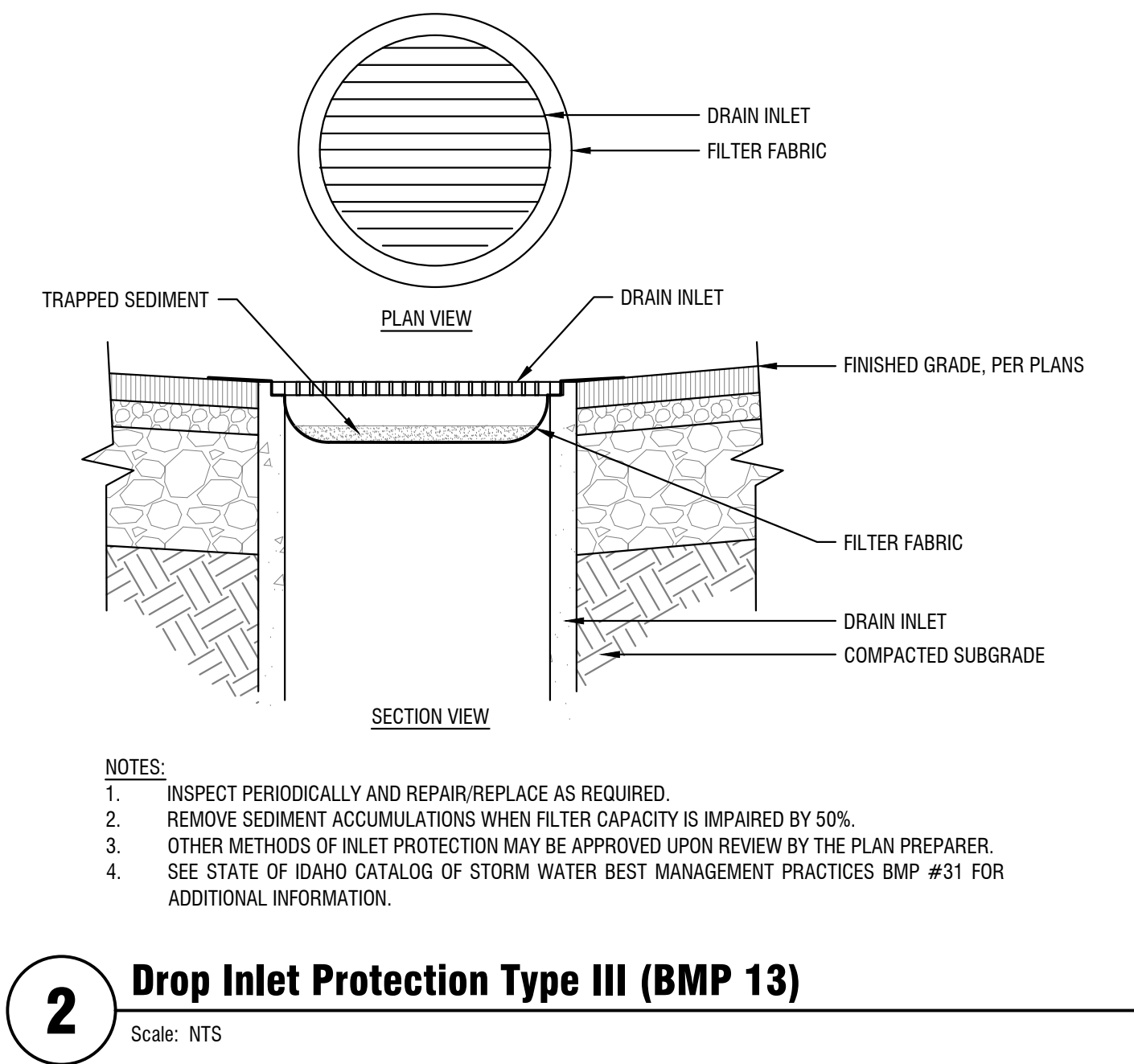
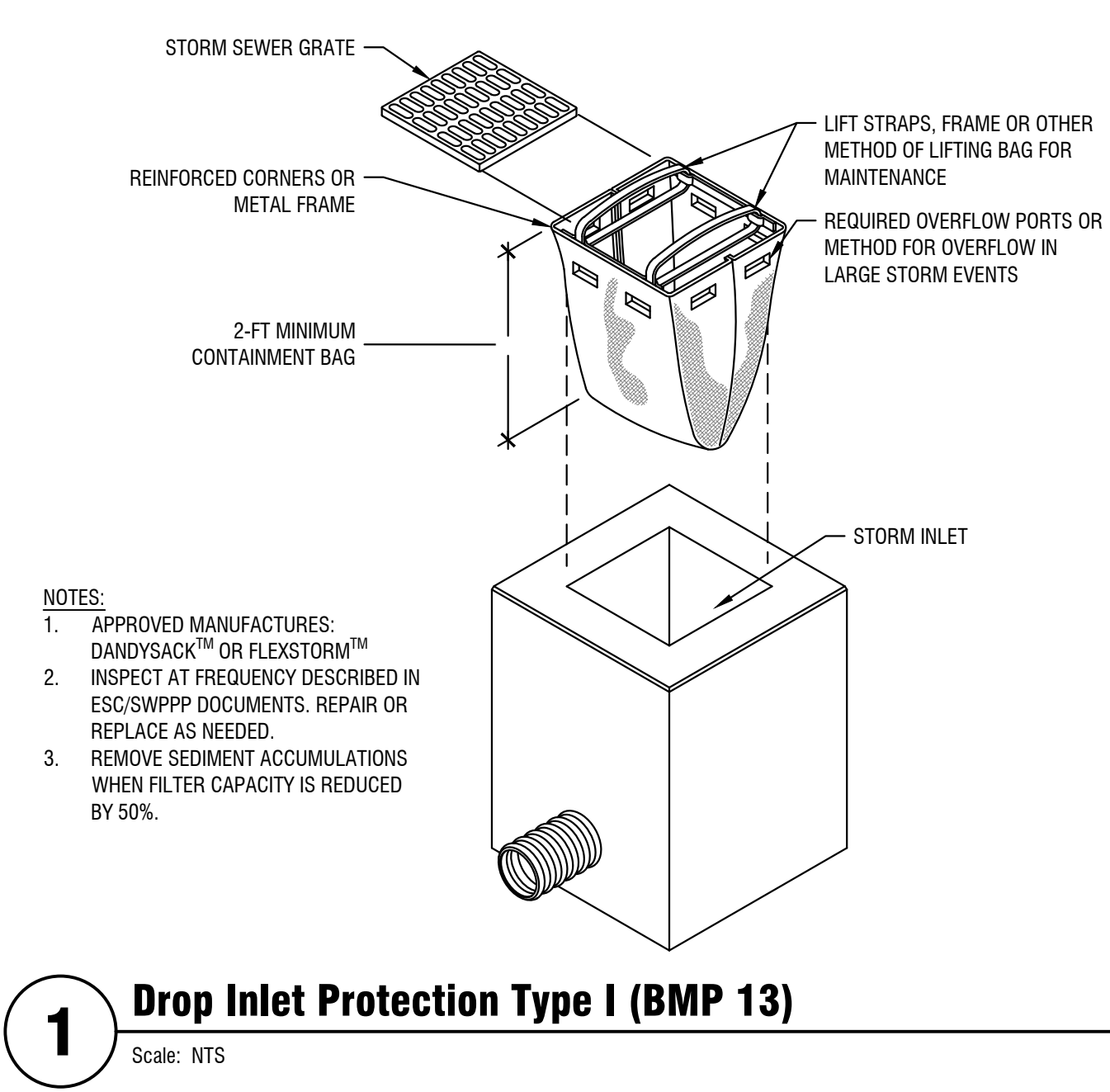
2900 W. CHINDEN BOULEVARD
Boise, ID 83714

Revisions
1. ADD #1 - 12/01/2022

Project No.: 115154
Date of Issuance: 12/1/2022
Project Milestone: Permit Drawings

River Eddy ESC Plan

C1.50



RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

Revisions	
1.	ADD #1 - 12/01/2022

Project No.:	115154
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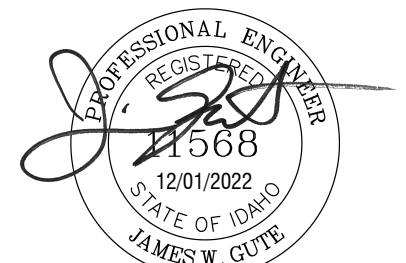
River Eddy ESC Details

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RIVER EDDY - PEDESTRIAN BRIDGE
Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

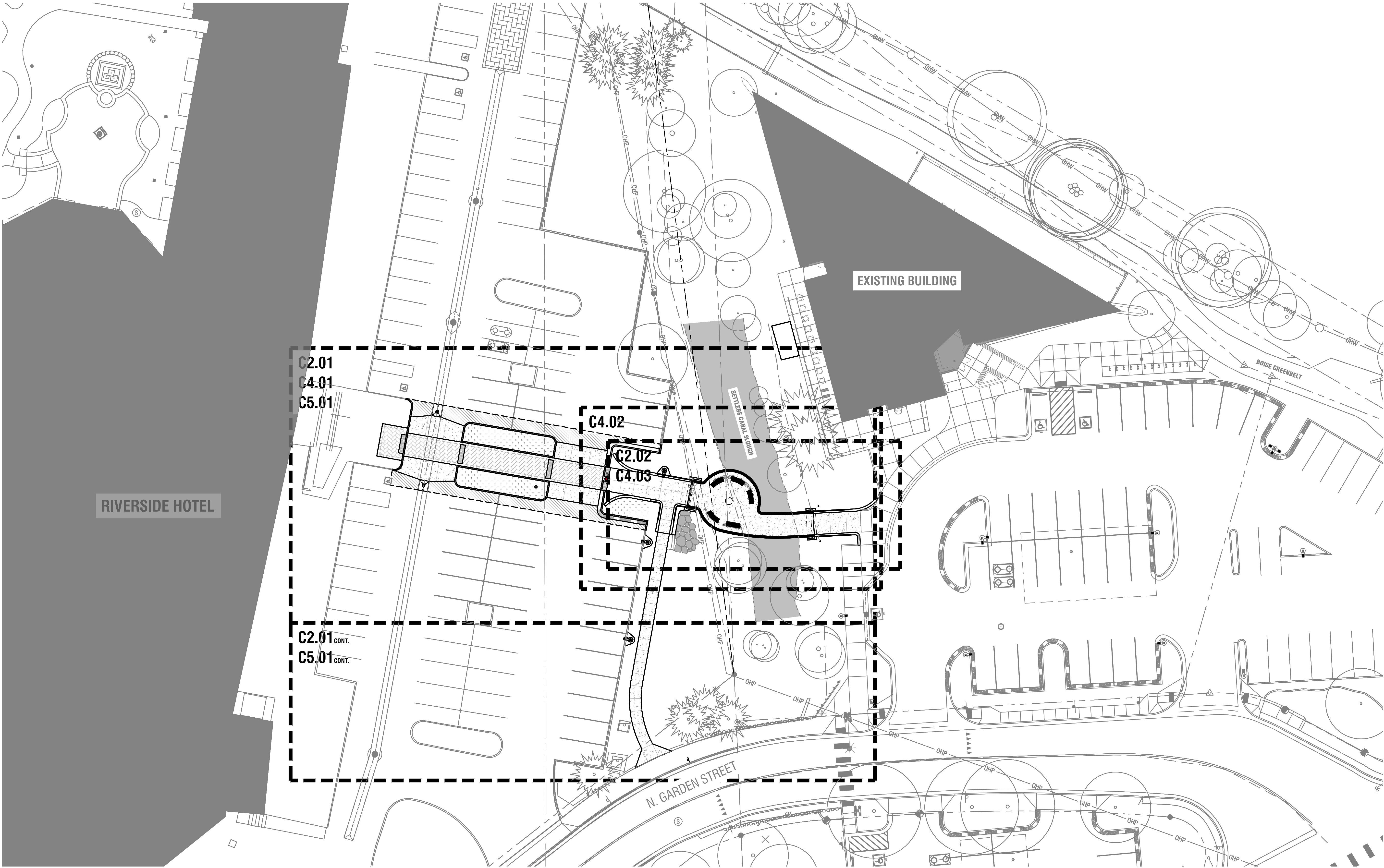
Revisions	
1.	ADD #1 - 12/01/2022



Project No.:	115154
Date of Issuance:	06.28.2022
Project Milestone:	Permit Drawings

Overall Plan

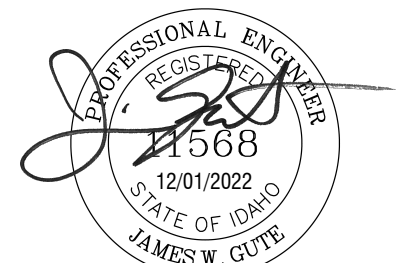
C2.00



Overall Plan

Horizontal Scale: 1" = 20'

Revisions	
1.	ADD #1 - 12/01/2022



Project No.:	115154
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Sheet Notes:

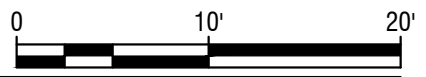
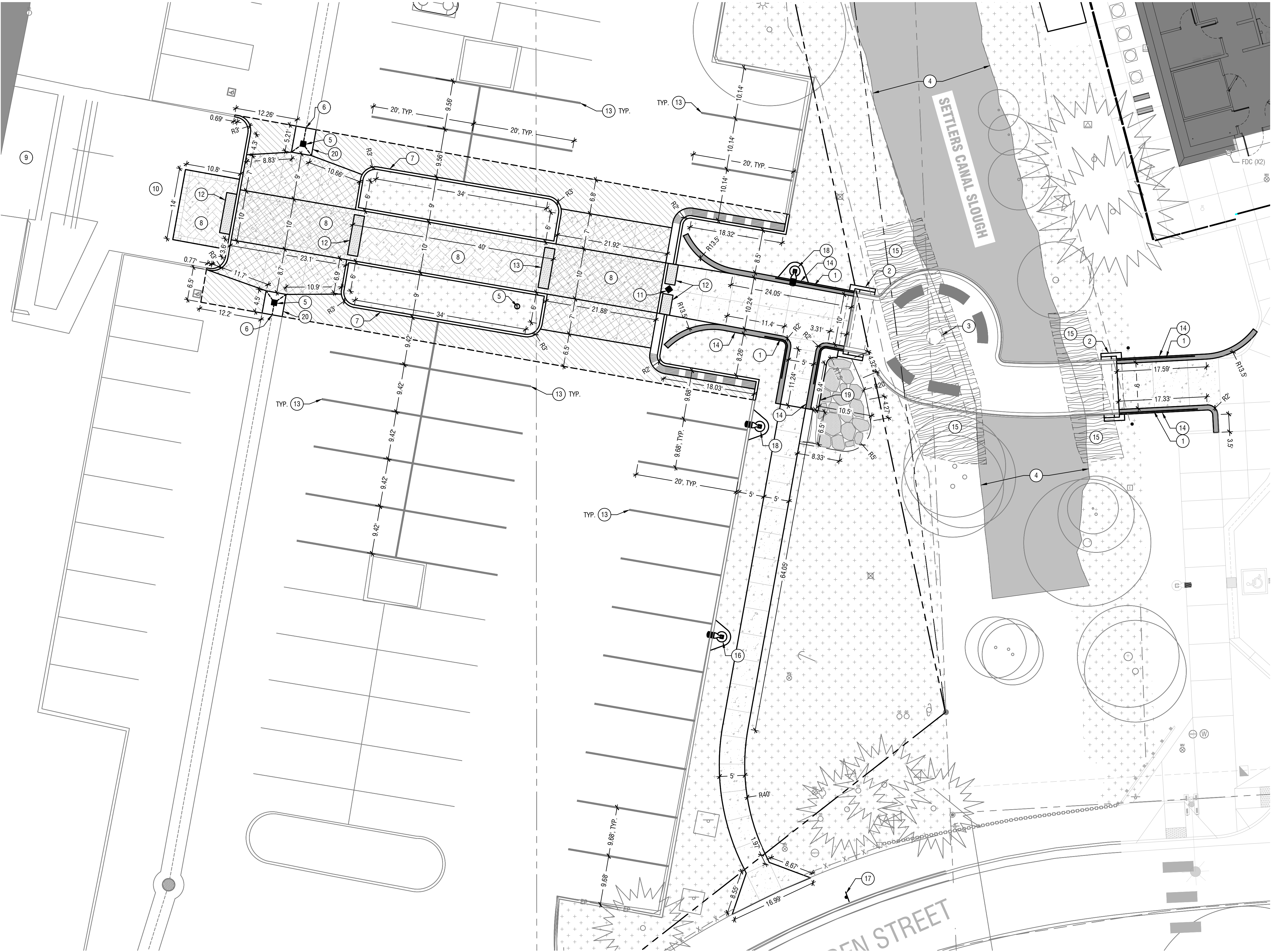
- CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION NOTES ON SHEET C0.00.
- CONTRACTOR TO VERIFY LISTED DIMENSIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS, CENTER OF WHEEL STOP OR CENTER OF POST.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE JOINTS AS SHOWN ON PLANS. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- ALL WALKS AND FLATWORK SHALL BE ESTABLISHED IN THE FIELD FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL LAY OUT THE AREA OR FORM WORK FOR REVIEW BY THE OWNER'S REPRESENTATIVE. AFTER REVIEW AND NECESSARY MODIFICATIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL PROCEED WITH CONSTRUCTION. IF APPROVAL IS NOT OBTAINED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ANY UNAUTHORIZED FIELD ADJUSTMENTS.
- TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

- | | | | |
|--|---|--|--|
| | ASPHALT PAVING - SEE DETAIL 6/C2.50. | | HEAVY DUTY CONCRETE FLATWORK - SEE DETAIL 2/C2.50. |
| | LANDSCAPE AREAS. REFER TO LANDSCAPE SHEET L1.00 FOR MORE INFORMATION. | | BRUSH MATTRESS EROSION PROTECTION - SEE C2.52. |
| | STANDARD CONCRETE FLATWORK - SEE DETAIL 1/C2.50. | | |
- BRIDGE APPROACH WALL - SEE DETAIL 7/C2.50
- 6" VERTICAL CURB (NO GUTTER) PER ISPPWC SD-701A.
- REVERSE CURB AND GUTTER - SEE DETAIL 5/C2.50.

Keynotes:

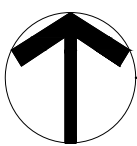
- # CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.
- INSTALL SITE GUARDRAIL PER PROFILES ON SHEETS C4.04 - C4.07 & DETAIL 7/C2.50.
 - CONCRETE ABUTMENT, SEE SHEET C2.51 FOR MORE INFORMATION.
 - BRIDGE PIER, SHOWN APPROX., SEE STRUCTURAL FOR MORE INFORMATION.
 - ORDINARY HIGH WATER MARK (OHWM, SHOWN APPROX.)
 - STORM DRAIN UTILITY STRUCTURE, SEE SHEET C5.01 FOR MORE INFORMATION.
 - MATCH EXISTING VALLEY GUTTER.
 - INSTALL VERTICAL CURB (NO GUTTER) PER ISPPWC SD-701B.
 - INSTALL HEAVY-DUTY PATTERNED CONCRETE FLATWORK PER DETAIL 2/C2.50. SUBMIT PATTERN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - EXISTING BUILDING ENTRY.
 - EXISTING CONCRETE PATIO.
 - INSTALL RELIANCE FOUNDRY BOLLARD POST MODEL R-7912 REMOVABLE BOLLARD WITH RECEIVER AND LID, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL DETECTABLE WARNING DEVICE PER ISPPWC SD-712.
 - 4" WHITE ASPHALT MARKINGS PER ISPPWC SECTION 1104.
 - INSTALL BRIDGE APPROACH WALL PER DETAIL 7/C2.50.
 - INSTALL BRUSH MATTRESS EROSION PROTECTION, SEE SHEET C2.52, EXTEND 10' BEYOND BRIDGE DECK BOTH SIDES. CONTRACTOR SHALL BLEND INTO LANDSCAPE PER SHEET L1.00.
 - INSTALL SALVAGED LUMINAIRE WITH NEW FOUNDATION PER ISPPWC SD-1117. SEE ELECTRICAL FOR MORE INFORMATION.
 - INSTALL SALVAGED NO PARKING SIGN PER ISPPWC SD-1130.
 - INSTALL LIGHT FIXTURE WITH FOUNDATION PER ISPPWC SD-1117. SEE ELECTRICAL FOR MORE INFORMATION.
 - INSTALL SANDSTONE MONOLITH SEAT WALL PER DETAIL 7/C2.51.
 - INSTALL VALLEY GUTTER PER ISPPWC SD-708. MATCH EXISTING GUTTER FLOWLINE, ENSURE SMOOTH TRANSITION AND DRAINAGE TO STORM DRAIN INLET.



Site Layout & Materials

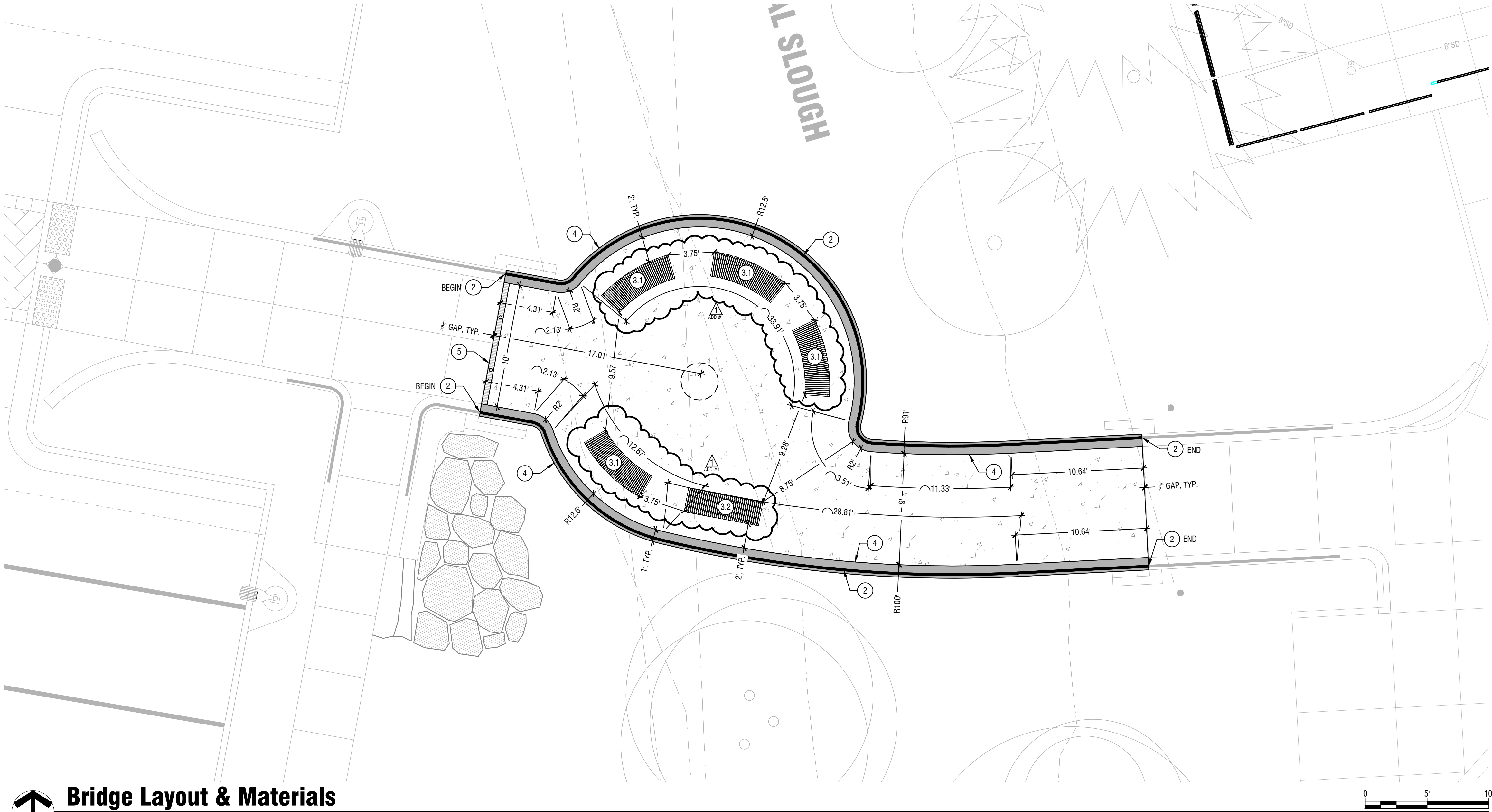
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User: jwguite
Title: Bridge Layout & Materials
Date: 11/15/22
Time: 11:54:42 AM



Bridge Layout & Materials

Horizontal Scale: 1" = 5'



Sheet Notes:

- CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION NOTES ON SHEET C0.00.
- CONTRACTOR TO VERIFY LISTED DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS, CENTER OF WHEEL STOP OR CENTER OF POST.
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- SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

- | | | | |
|--|--|--|--|
| | GFRP BRIDGE WALL - SEE DETAIL 5/C2.50. | | CONCRETE DECK - SEE STRUCTURAL FOR MORE INFORMATION. |
|--|--|--|--|

Keynotes:

- CONCRETE DECK OVERLAY - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- GUARDRAIL PER DETAILS 4 & 5/C2.51.
- INSTALL ANOVA INFINITY BENCH PER DETAIL 6/C2.51.
 - CURVED SURFACE MOUNTED BENCH. ANOVA INFINITY 2' CURVED 1230 BENCH, THERMORY, MODEL # INF24C1230T.
 - LINEAR SURFACE MOUNTED BENCH. ANOVA INFINITY 2' X 6' LINEAR BENCH, THERMORY, MODEL # INF24L6T.
- GFRP BRIDGE WALL PER DETAIL 5/C2.51.
- TRENCH DRAIN - SEE SHEET C5.01 & STRUCTURAL FOR MORE INFORMATION.

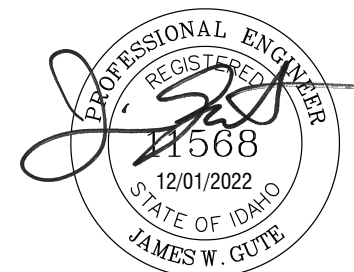


RIVER EDDY - PEDESTRIAN BRIDGE Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

Revisions

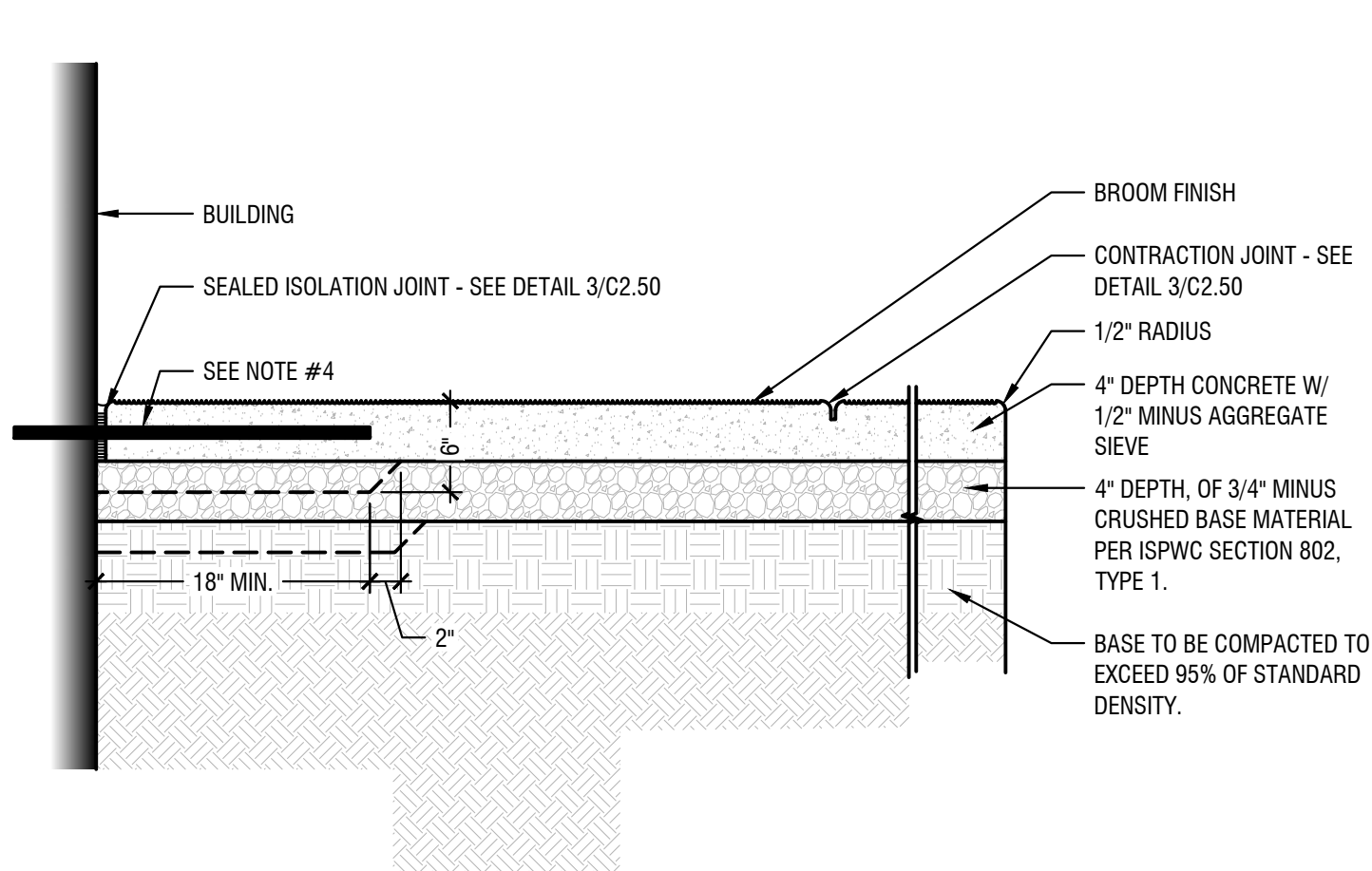
- ADD #1 - 12/01/2022



Project No.: 115154
Date of Issuance: 06.28.2022
Project Milestone: Permit Drawings

Bridge Layout & Materials

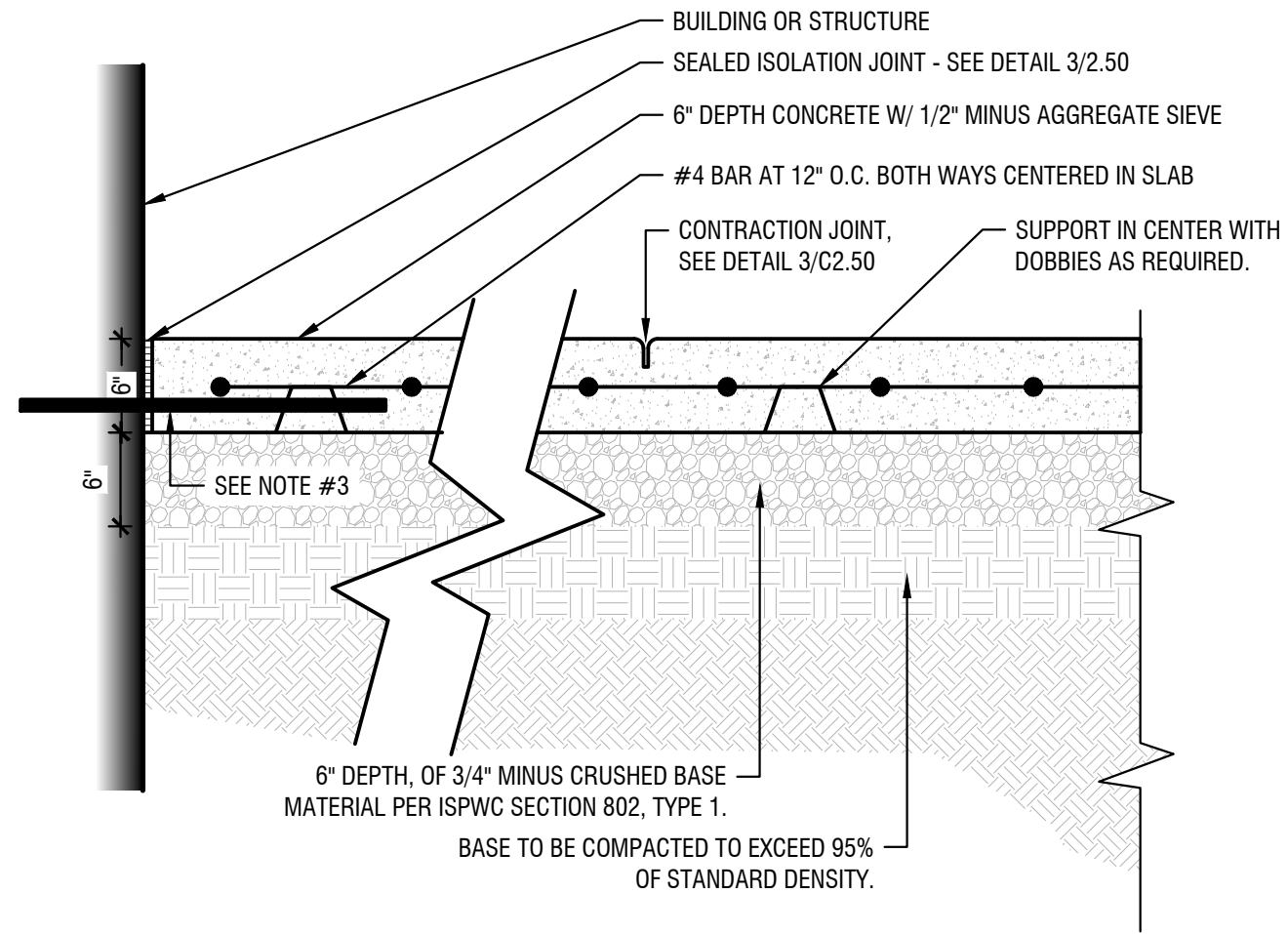
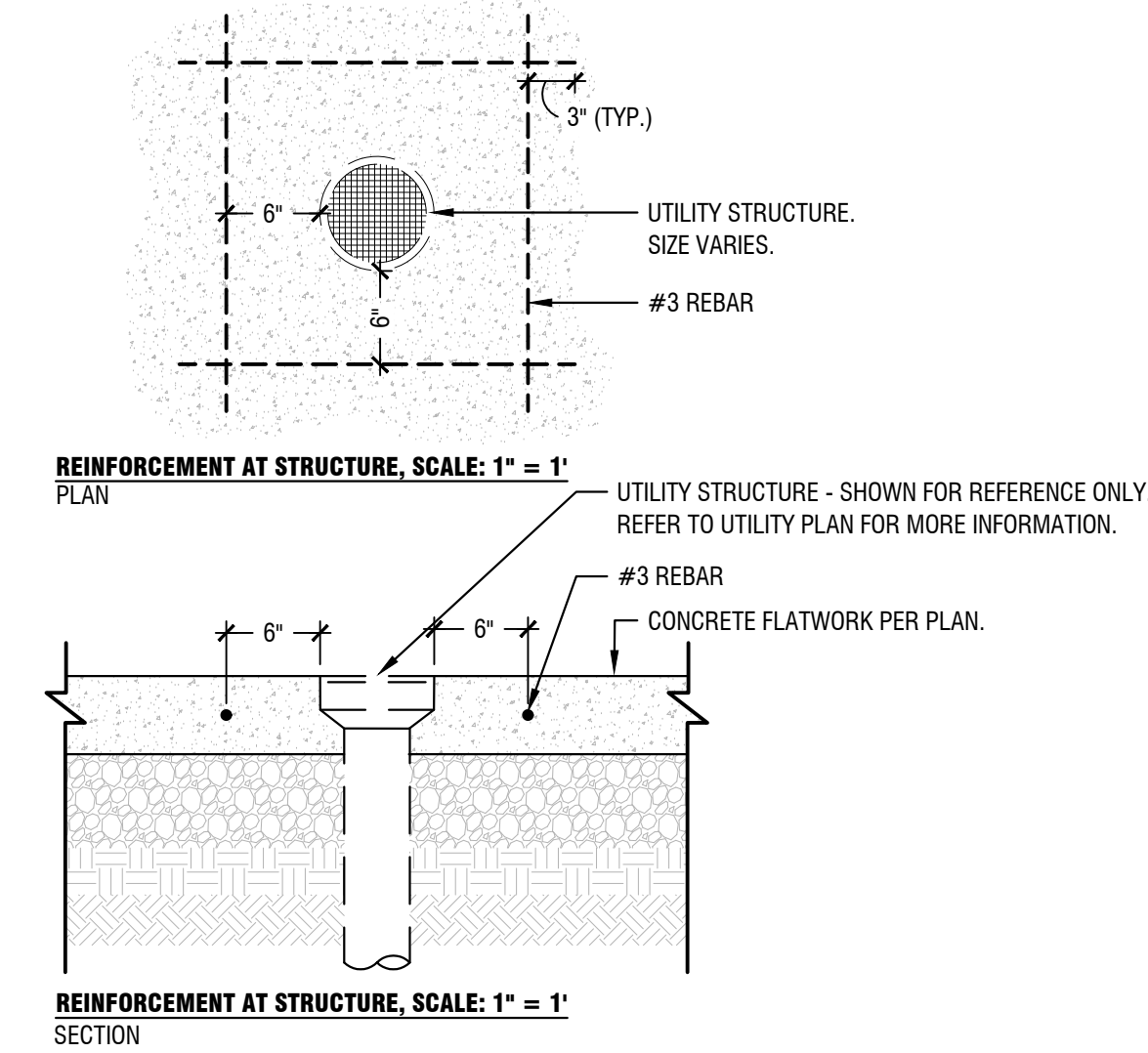
C2.02



- NOTES:
- JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.
 - CONCRETE FLATWORK PER ISPMC DIVISION 703, CLASS 4000B PER SECTION 703. CONCRETE MIX SHALL INCLUDE MICRO-FIBER.
 - THICKEN CONCRETE TO 6-INCH DEPTH MINIMUM TO ACCEPT PLAIN BAR AT DOORWAYS.
 - 24" LONG #4 PLAIN BAR EMBEDDED 6" INTO STEM WALL AT 18" O.C. AT ALL DOORS. DRILL STEM WALL FOR TIGHT FIT, NO EPOXY.

1 Standard Concrete Flatwork

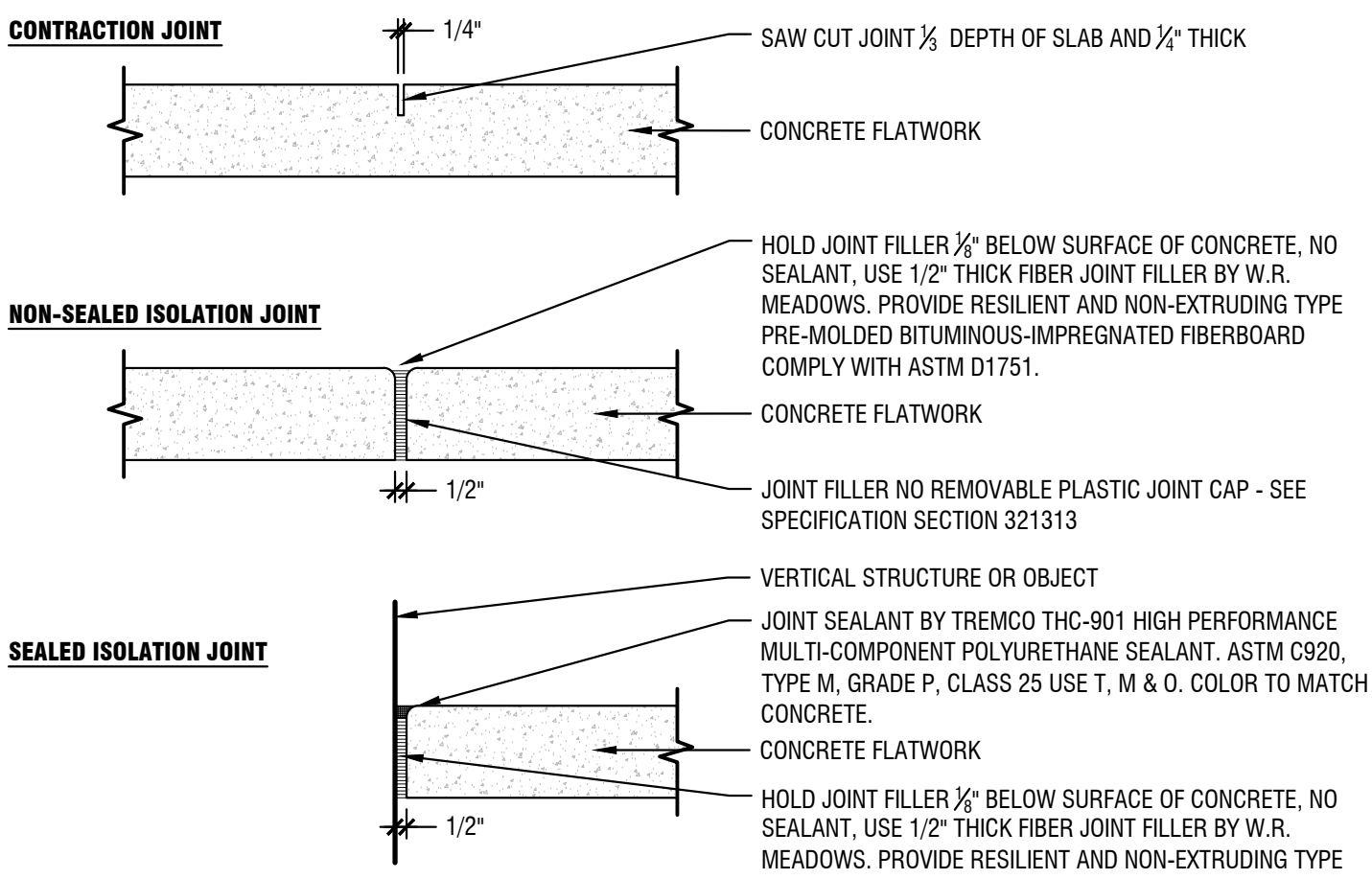
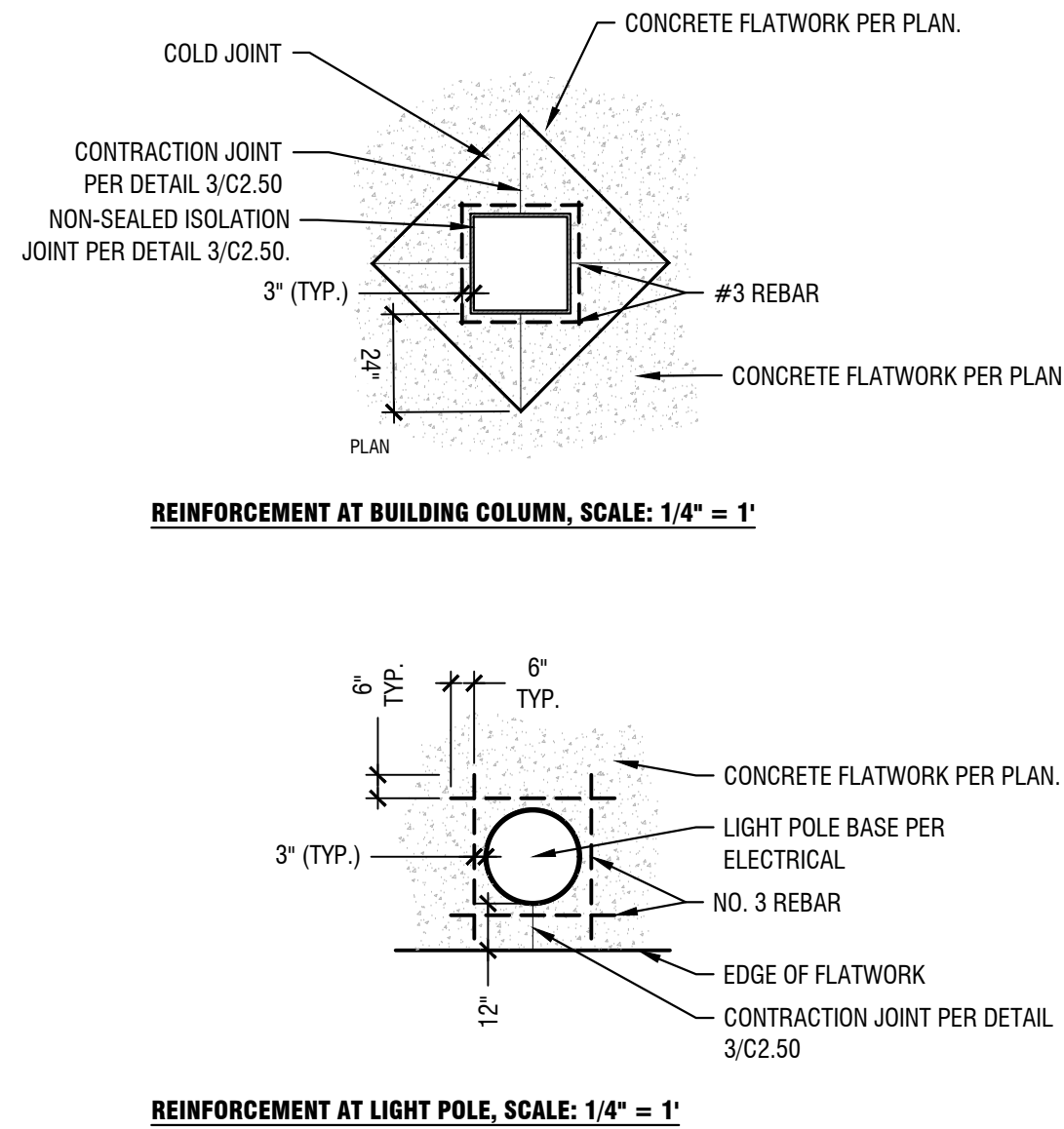
Scale: 1" = 1'



- NOTES:
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 - CONCRETE FLATWORK PER ISPMC DIVISION 703, CLASS 4000B PER SECTION 703. CONCRETE MIX SHALL INCLUDE MICRO-FIBER.
 - THICKEN CONCRETE TO 6-INCH DEPTH MINIMUM TO ACCEPT PLAIN BAR AT DOORWAYS.
 - 24" LONG #4 PLAIN BAR EMBEDDED 6" INTO STEM WALL AT 18" O.C. AT ALL DOORS. DRILL STEM WALL FOR TIGHT FIT, NO EPOXY.

2 Heavy Duty Concrete Flatwork

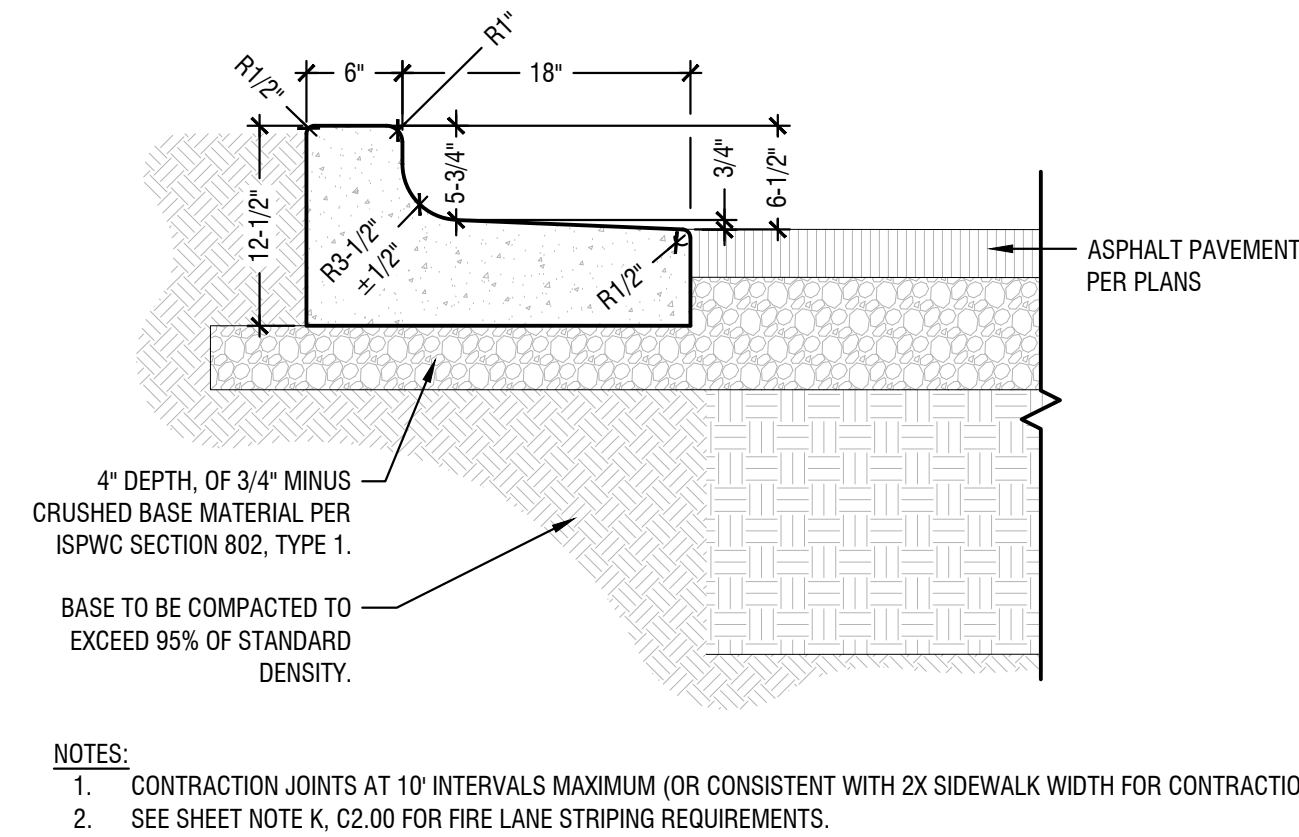
Scale: 1" = 1'



- NOTES:
- SEE LAYOUT PLANS FOR JOINT PATTERN AND LOCATION.
 - USE ISOLATION JOINTS AT ALL LOCATIONS WHERE DIFFERENTIAL MOVEMENT BETWEEN THE PAVEMENT AND A STRUCTURE MAY OCCUR.
 - PROVIDE ISOLATION JOINT AT ALL ELECTRICAL FIXTURE BASES AND UTILITY STRUCTURES UNLESS NOTED OTHERWISE.
 - JOINT SEALANT TO ONLY BE INSTALLED ADJACENT TO BUILDING.

3 Concrete Control Joints

Scale: 1-1/2" = 1'



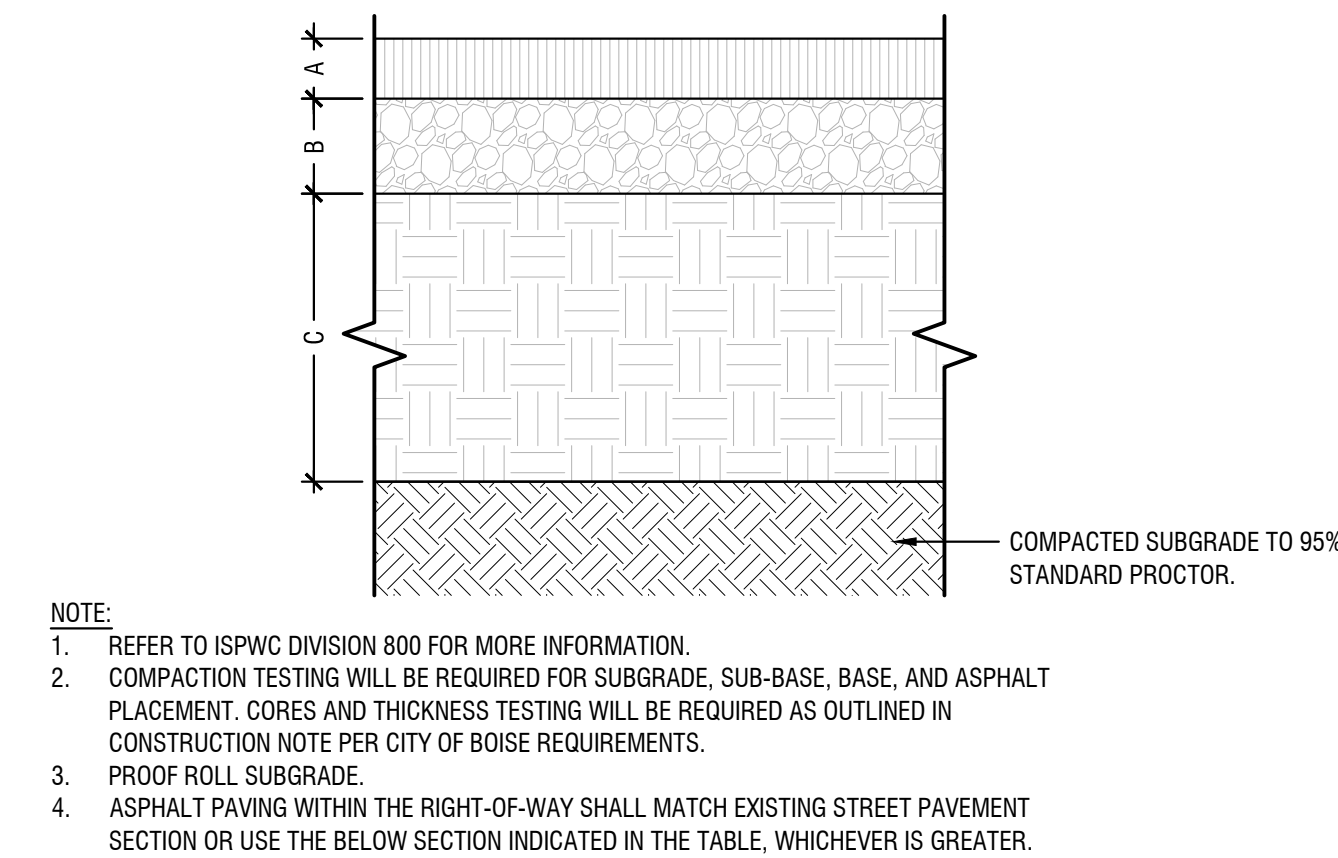
- NOTES:
- CONTRACTION JOINTS AT 10' INTERVALS MAXIMUM (OR CONSISTENT WITH 2X SIDEWALK WIDTH FOR CONTRACTION JOINTS).
 - SEE SHEET NOTE K, C2.00 FOR FIRE LANE STRIPING REQUIREMENTS.

5 Reverse Pan Curb and Gutter

Scale: 1" = 1'

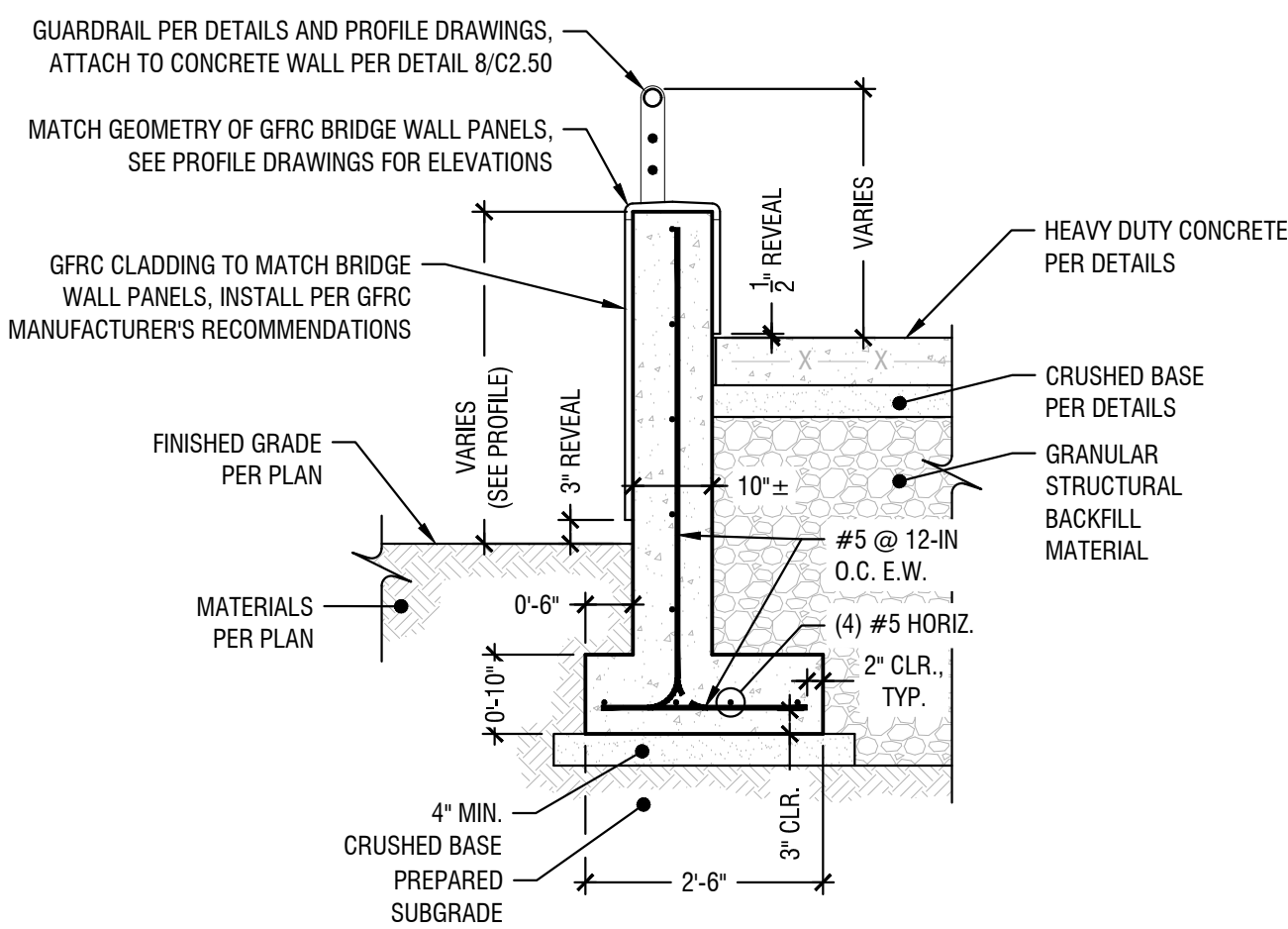
4 Flatwork Reinforcement

Scale: NTS



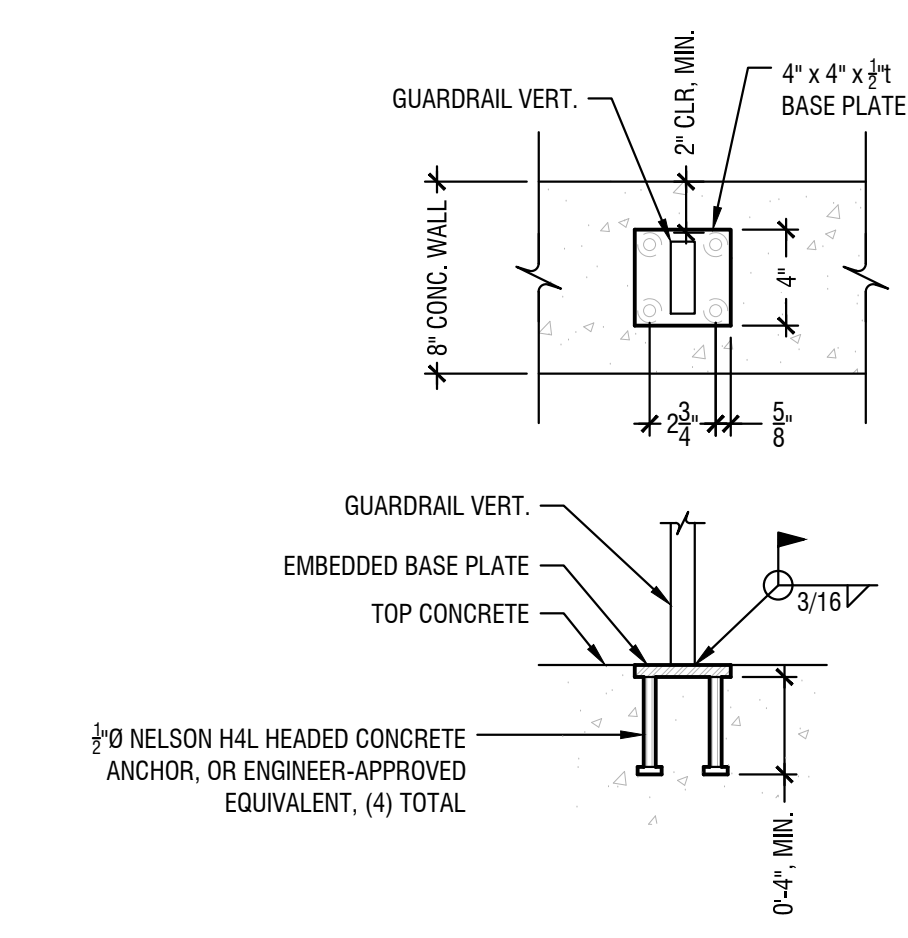
- NOTE:
- REFER TO ISPMC DIVISION 800 FOR MORE INFORMATION.
 - COMPACTION TESTING WILL BE REQUIRED FOR SUBGRADE, SUB-BASE, BASE, AND ASPHALT PLACEMENT. CORES AND THICKNESS TESTING WILL BE REQUIRED AS OUTLINED IN CONSTRUCTION NOTE PER CITY OF BOISE REQUIREMENTS.
 - PROOF ROLL SUBGRADE.
 - ASPHALT PAVING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING STREET PAVEMENT SECTION OR USE THE BELOW SECTION INDICATED IN THE TABLE, WHICHEVER IS GREATER.

PAVEMENT SECTION TABLE			
PAVEMENT SECTION	A	B	C
ASPHALT PAVING	2.5 INCHES OF: CLASS III	4 INCHES OF: ¾" BASE COMPACT TO 95% OF ASTM D698	12 INCHES OF: 6-INCH MINUS PIT RUN



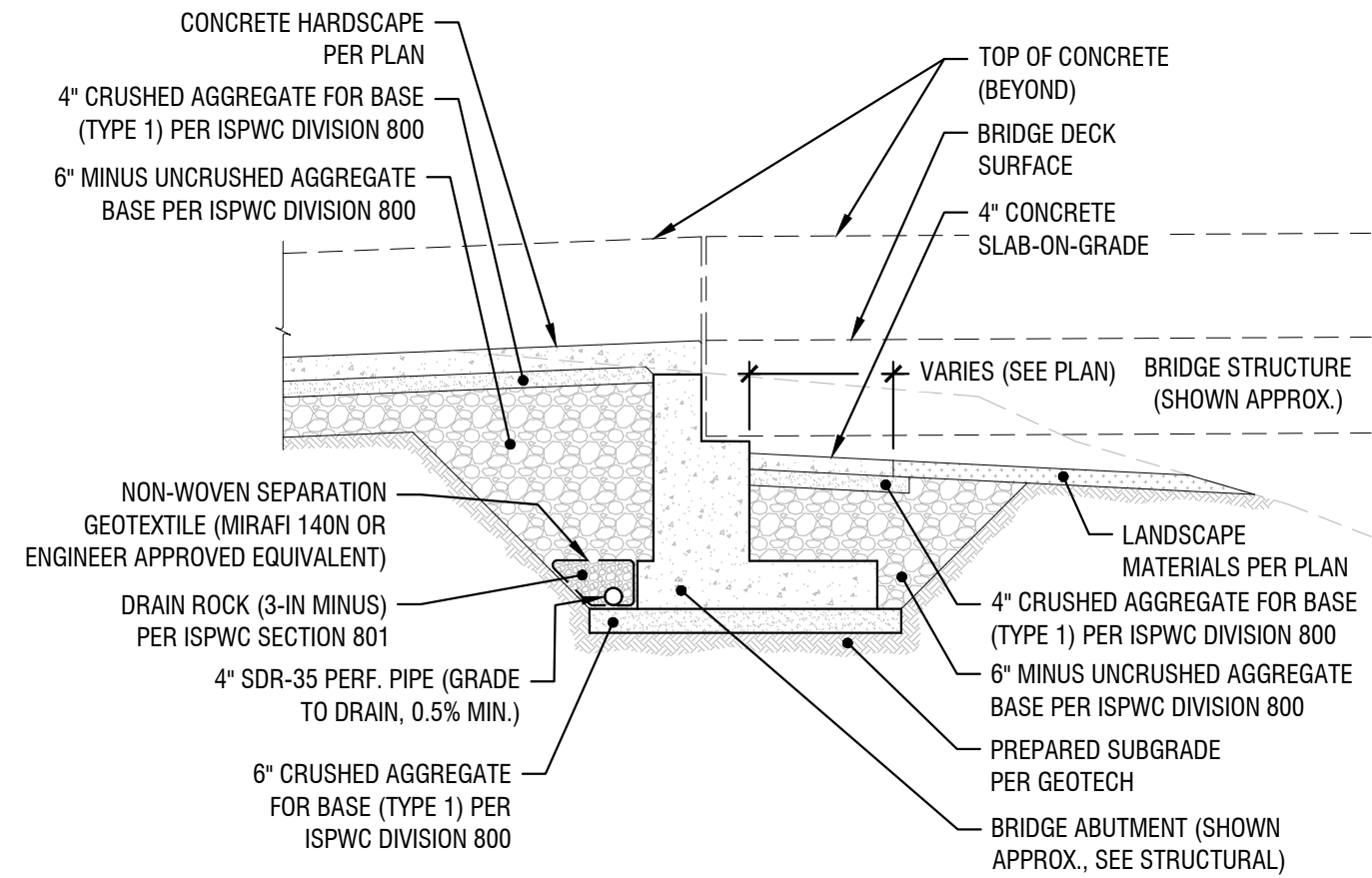
7 Bridge Approach Wall Detail

Scale: NTS



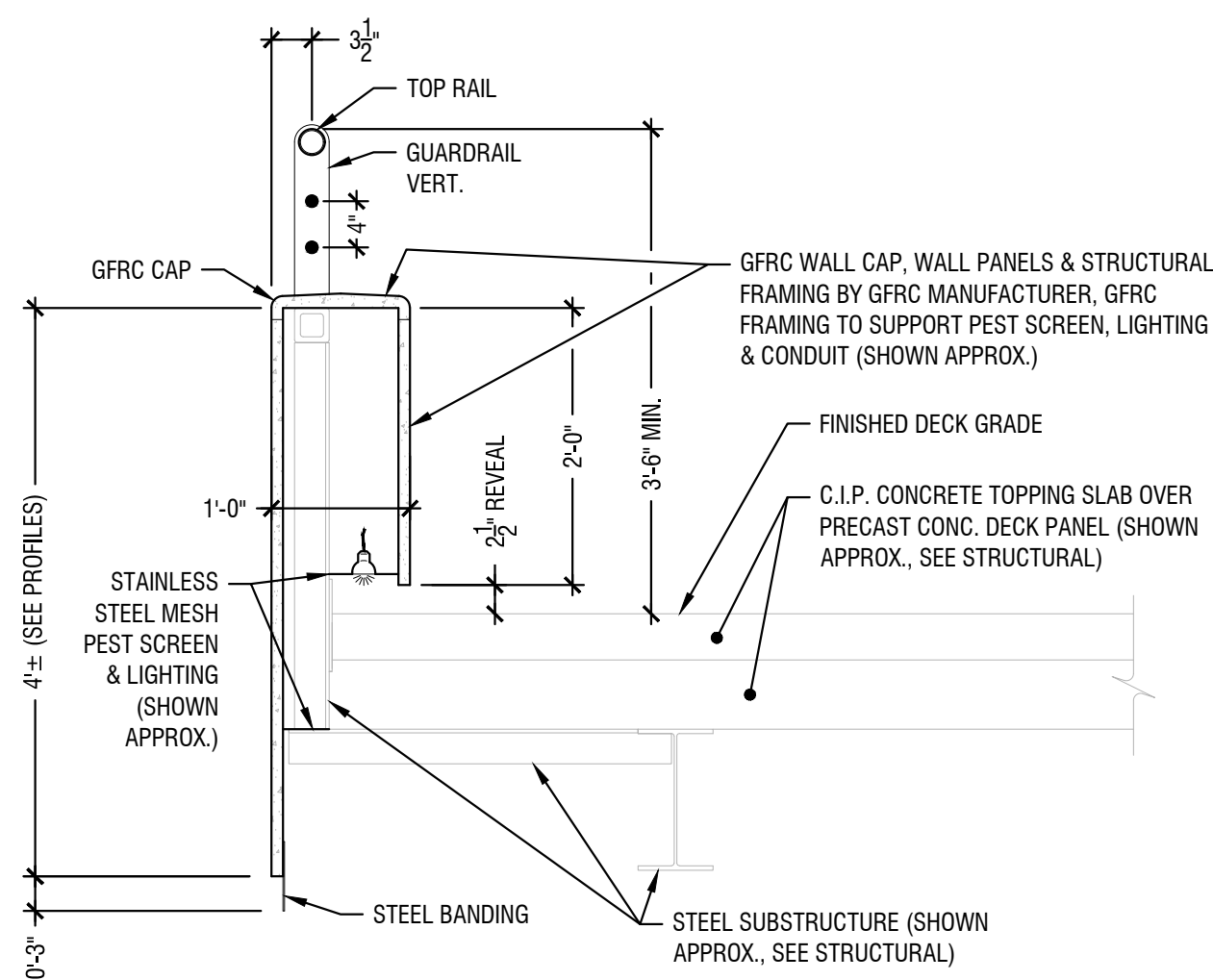
8 Embedded Base Plate

Scale: NTS



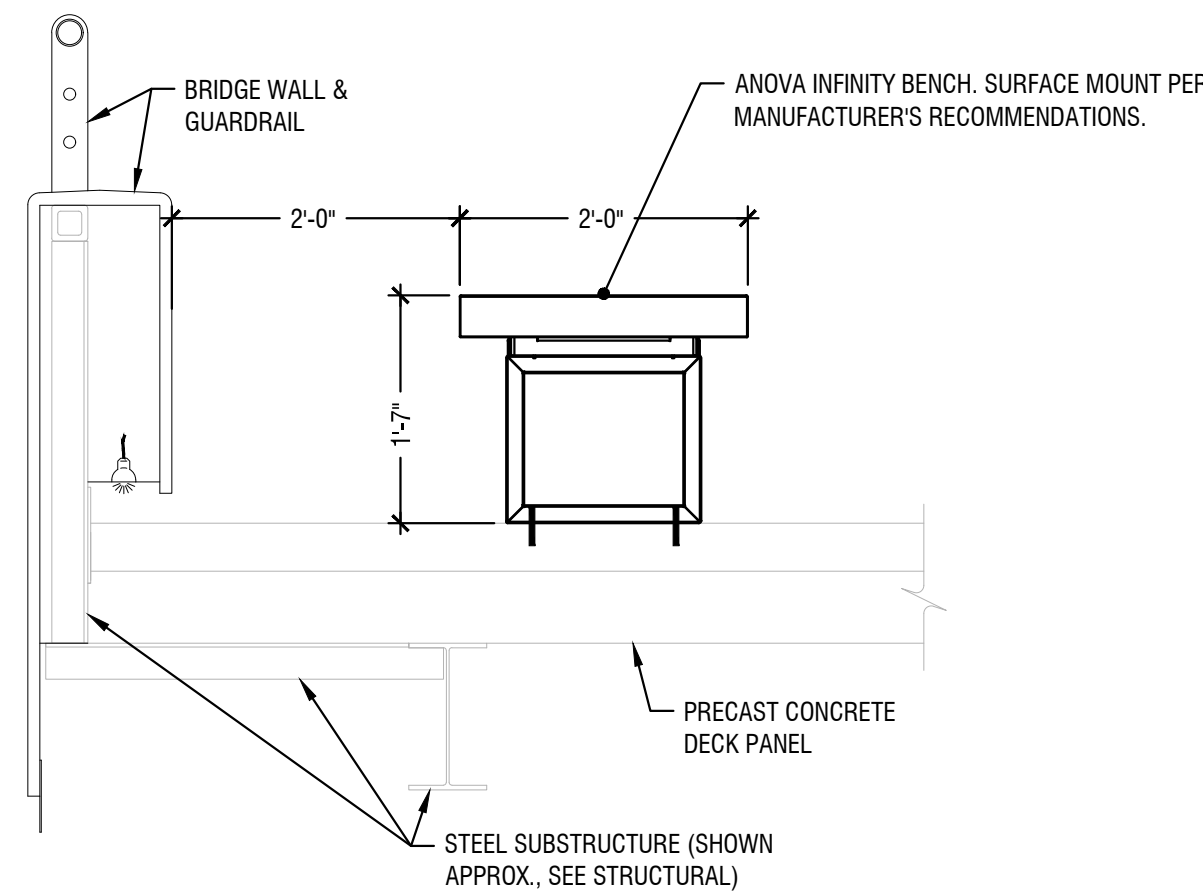
2 Detail - West Bridge Abutment Plan

Scale: NTS



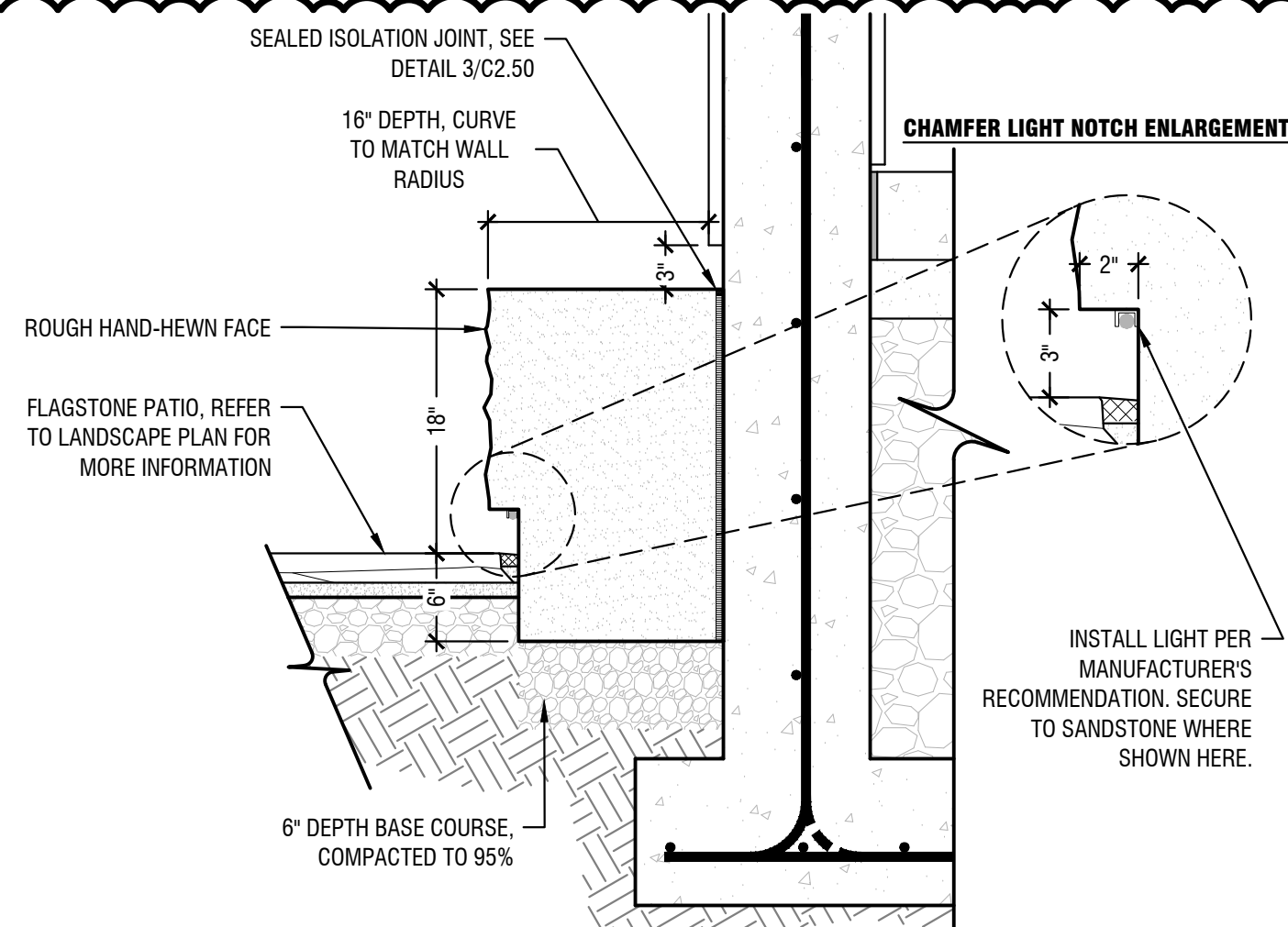
2 Typical Section - Bridge Abutment

Scale: NTS



Bridge Wall - Typical Section

Scale: NTS



Bridge Wall - Typical Section

Scale: 1" = 1'

Bench Detail

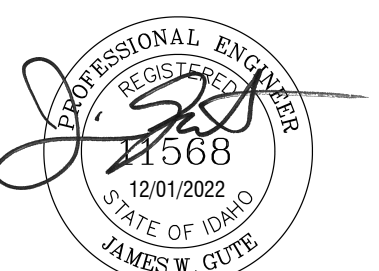
Scale: NTS

► NOTES:

1. SANDSTONE BENCH SHALL HAVE SMOOTH SAWCUT TOP, BOTTOM AND UNEXPOSED SIDES. ROUGH HAND-HEWN BOULDER FACE. SUBMIT PHOTOS AND DIMENSIONS OF BOULDER TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE STARTING ANY WORK.
2. BENCHES SHALL BE CURVED TO MATCH RADIUS OF BRIDGE RAMP. GAP BETWEEN SANDSTONE PAVEMENT STONES AND SANDSTONE MONOLITH SHALL NOT EXCEED $\frac{1}{8}$ ". GAP BETWEEN EACH SANDSTONE BLOCK SHALL NOT EXCEED $\frac{1}{8}$ ".

Revisions

ADD #1 - 12/01/2022



Project No.:	115154
Date of Issuance:	06.28.2022
Project Milestone:	Permit Drawings

Bridge Details

C2.51

GENERAL REVEGETATION NOTES:

DESCRIPTION OF WORK

1. REVEGETATION INVOLVES SALVAGING AND TRANSPLANTING "CLUMP" WILLOWS ENCOUNTERED DURING CONSTRUCTION AND SEEDING ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

REVEGETATION SEQUENCE

1. STOCKPILE TOPSOIL WHENEVER ENCOUNTERED THROUGHTOUT CONSTRUCTION
2. USE 4-6" OF TOPSOIL FOR FINAL GRADE IN FILL AREAS.
3. RETAIN LARGE TREES AND RIPARIAN VEGETATION WHERE AVAILABLE.
4. CONSTRUCT INSTREAM WORK, FLOODPLAIN GRADING, AND TRANSPLANT WILLOWS.
5. GRADE ESKER AREA AND TOP DRESS WITH STOCKPILED TOPSOIL.
6. RECLAIM CONSTRUCTION ACCESS ROUTES TO PRE-EXISTING GRADES.
7. DORMANT SEED ALL TRANSPLANTED AND DISTURBED AREAS.

EQUIPMENT

1. PRESSURE WASH TO REMOVE DIRT, GREASE, OIL, FUEL, VEGETATION AND WEED SEEDS BEFORE BRINGING EQUIPMENT ONSITE TO LIMIT INTRODUCTION OF NOXIOUS WEEDS.

CONSTRUCTION RECOMMENDATIONS

1. MINIMIZE SOIL DISTURBANCE ALONG ALL ACCESS ROUTES.
2. WORK AREAS SHALL BE STRIPPED OF EXISTING TOPSOIL/VEGETATION PRIOR TO GRADING OR STRUCTURE INSTALLATION. PREVIOUSLY STRIPPED TOPSOIL/VEGETATION SHALL BE USED TO TOP DRESS EACH WORK AREA AT COMPLETION.
3. FINISH GRADES SHALL INCLUDE TOPSOIL/VEGETATION TOP DRESSING.
4. PREPARE ALL AREAS DISTUBED BY CONSTRUCTION ACTIVITIES AND SEED ACCORDING TO SEEDING SPECIFICATIONS.
5. LEFTOVER WOODY MATERIAL, WOOD, AND OTHER NATIVE ORGANICS MAY BE BROKEN AND BROADCAST OVER THE SEEDED AREA.

SEEDING

1. TOTAL ANTICIPATED SEEDING AREA IS 2.0 ACRES AND CONSISTS OF OVERSEEDING ANY SALVAGED SOD AREAS AND SEEDING ALL CONSTRUCTION ROUTES AND DISTURBED AREAS.
2. CONSTRUCTION ACCESS ROUTES AND DISTURBED AREAS:
 - a. WHEREEVER POSSIBLE, PREP SEED BED BY REMOVING ALL STONES AND DIRT CLODS GREATER THAN 2" AND RAKING IN A SMOOTH SEED BED CONSISTING OF LOOSE SOIL NO LESS THAN 2" DEEP. ALL SEEDED AREAS SHALL BE HAND SEEDED OR ATV SEEDED USING THE FOLLOWING STEPS:
 - i. BROADCAST SEED EVENLY ACROSS THE AREA TO BE SEEDED AT A RATE OF 13.5 POUNDS PER ACRE.
 - ii. RAKE/HARROW SEED INTO THE SEED BED.
 - iii. ROLL SEEDED AREAS WITH A HAND ROLLER OR CULTIPACKER.

WILLOW TRANSPLANTS

1. SALVAGE ALL "CLUMP" WILLOWS WITH THEIR ROOTBALLS ENCOUNTERED IN DISTURBED AREAS DURING CONSTRUCTION (REFER TO DETAIL).
2. TRANSPLANT SALVAGED WILLOWS AT THE TOP OF BANK ON THE OUTSIDE BENDS OF THE NEW SIDE CHANNEL.
3. TO PLANT, EXCAVATE A HOLE APPROXIMATELY TWICE THE SIZE OF THE ROOTBALL, PLACE WILLOW TRANSPLANT IN THE HOLE TAKING CARE NOT TO DAMAGE ROOTS. BACKFILL WITH NATIVE FILL UNIFORMLY AROUND ROOTBALL TO MAXIMIZE ROOT TO SOIL CONTACT AND ELIMINATE ALL AIR POCKETS.
4. TRIM SHOOTS TO APPROXIMATELY 2 FEET IN LENGTH AFTER INSTALLATION (IF APPLICABLE).

BRUSH LAYER

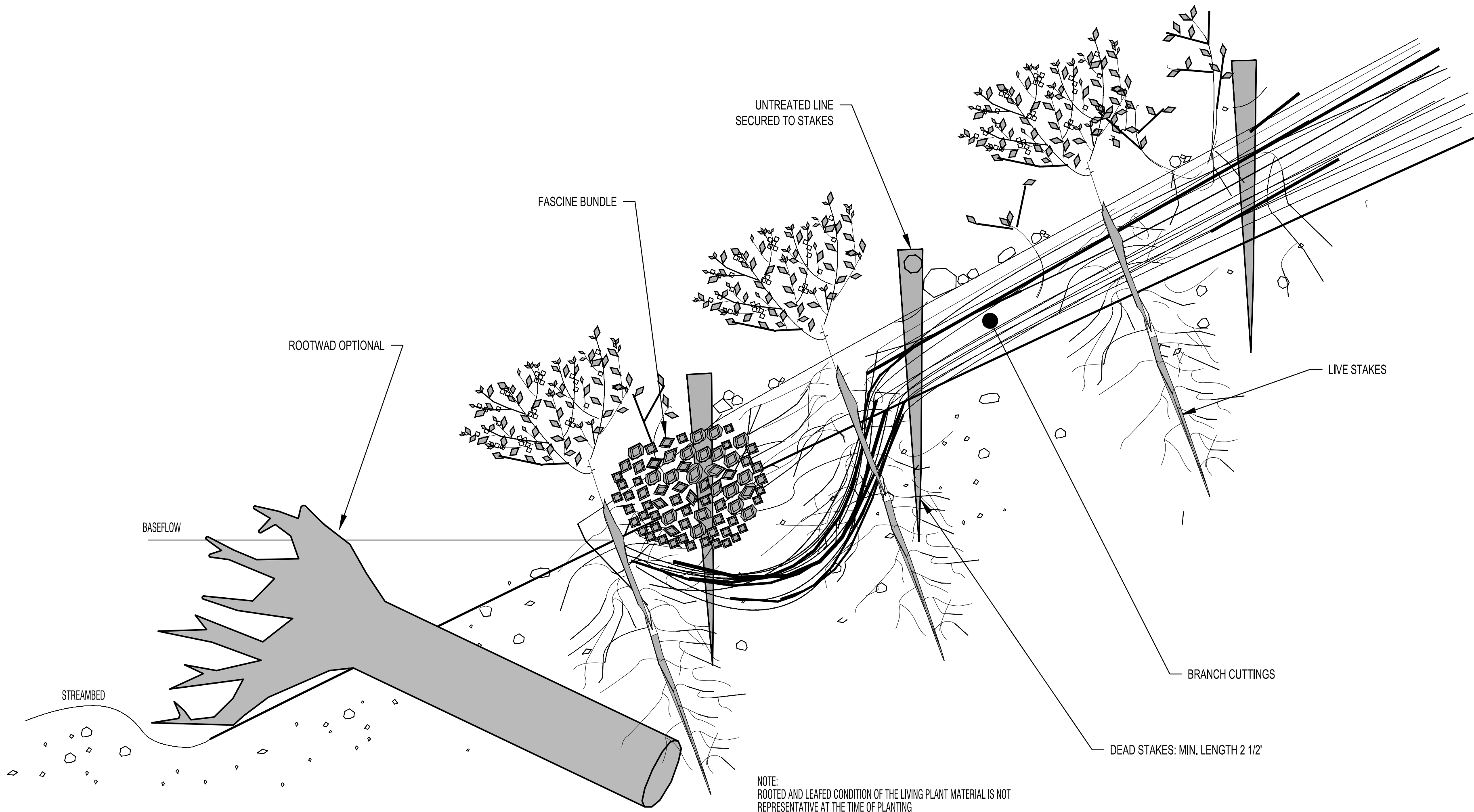
1. BRUSH LAYER TRENCH ALONG 1/4 OF ALL NEW SIDE CHANNEL BANKS, FOCUS ON OUTER BEND AT DIRECTION OF ENGINEER/PROJECT MANAGER.

ALL SPOILS MATERIAL TO BE LOST ONSITE. TOP 6" TO BE TOPSOIL.

BRUSH MATTRESS

PROJECT ELEMENTS:

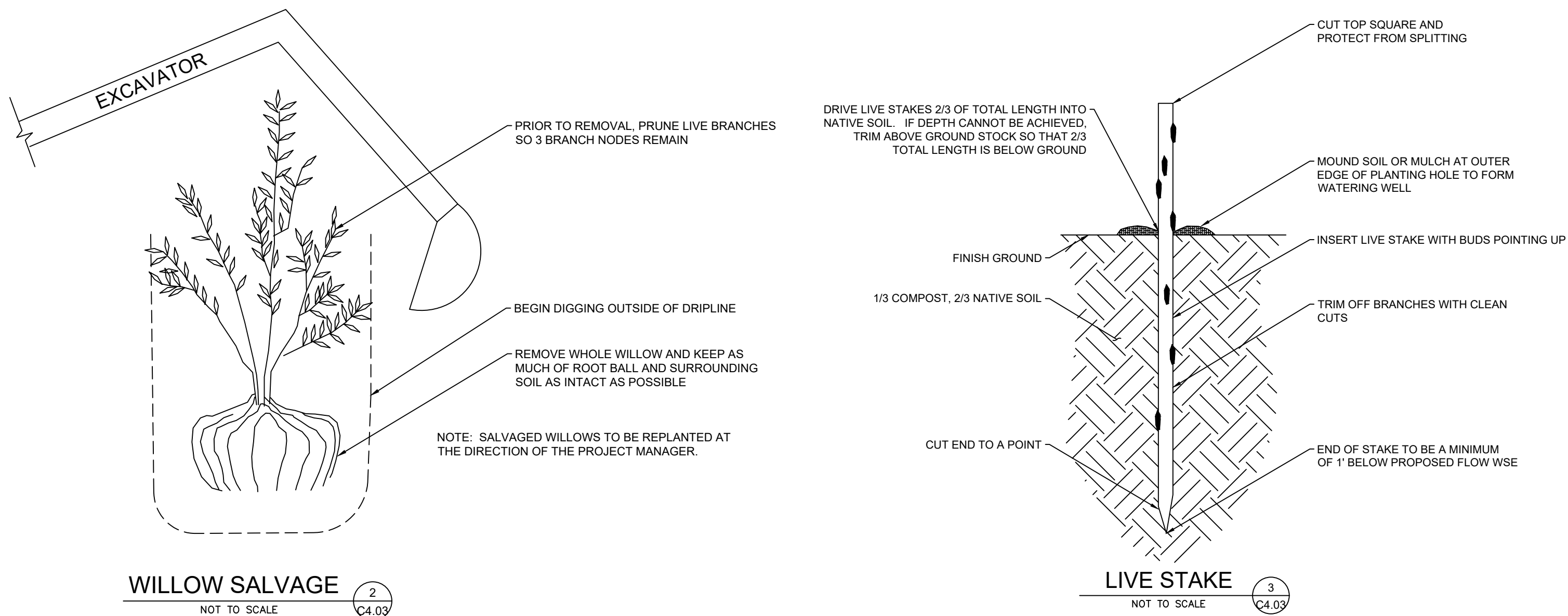
1. A BRUSH MATTRESS IS A LAYER OF DORMANT BRANCHES LAID ON AND SECURED TO A BANK SURFACE. IT OFFERS IMMEDIATE BANK COVERAGE. THIS TECHNIQUE IS ALSO EFFECTIVE ON LAKESHORES. TYPICALLY, IT IS COMBINED WITH A TOE STABILIZING TECHNIQUE SUCH AS ROCK, ROOT WADS, LIVE SILTATION, FASCINES, COCONUT FIBER LOGS, OR TREE REVETMENTS. IN THIS EXAMPLE, A FASCINE WILL BE USED WITH THE MATTRESS.
2. RESTORES RIPARIAN VEGETATION AND STREAMSIDE HABITAT RAPIDLY.
3. REQUIRES GOOD SOIL TO STEM CONTACT. IT WILL NOT GROW IF ALL OF ITS BRANCHES ARE EXPOSED.
4. ALLOWS INSTALLATION IN COMBINATION WITH LIVE STAKES AND ROOTED STOCK ON THE BANK.
5. FORMS AN IMMEDIATE, PROTECTIVE COVER OVER THE STREAMBANK.
6. CAPTURES SEDIMENT DURING FLOOD CONDITIONS.
7. ENHANCES CONDITIONS FOR COLONIZATION OF NATIVE VEGETATION.
8. CAN BE INCORPORATED WITH SECURED ROOTWAD TOE (OPTIONAL FOR ADDITIONAL SEDIMENT CATCH AND FISH REFUGIA).



BRUSH MATTRESS SECTION DETAIL

NOT TO SCALE

1
C4.03



WILLOW SALVAGE

NOT TO SCALE

2
C4.03

LIVE STAKE

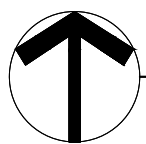
NOT TO SCALE

3
C4.03

SITE RESTORATION AND REVEGETATION NOTES:

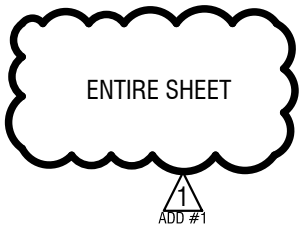
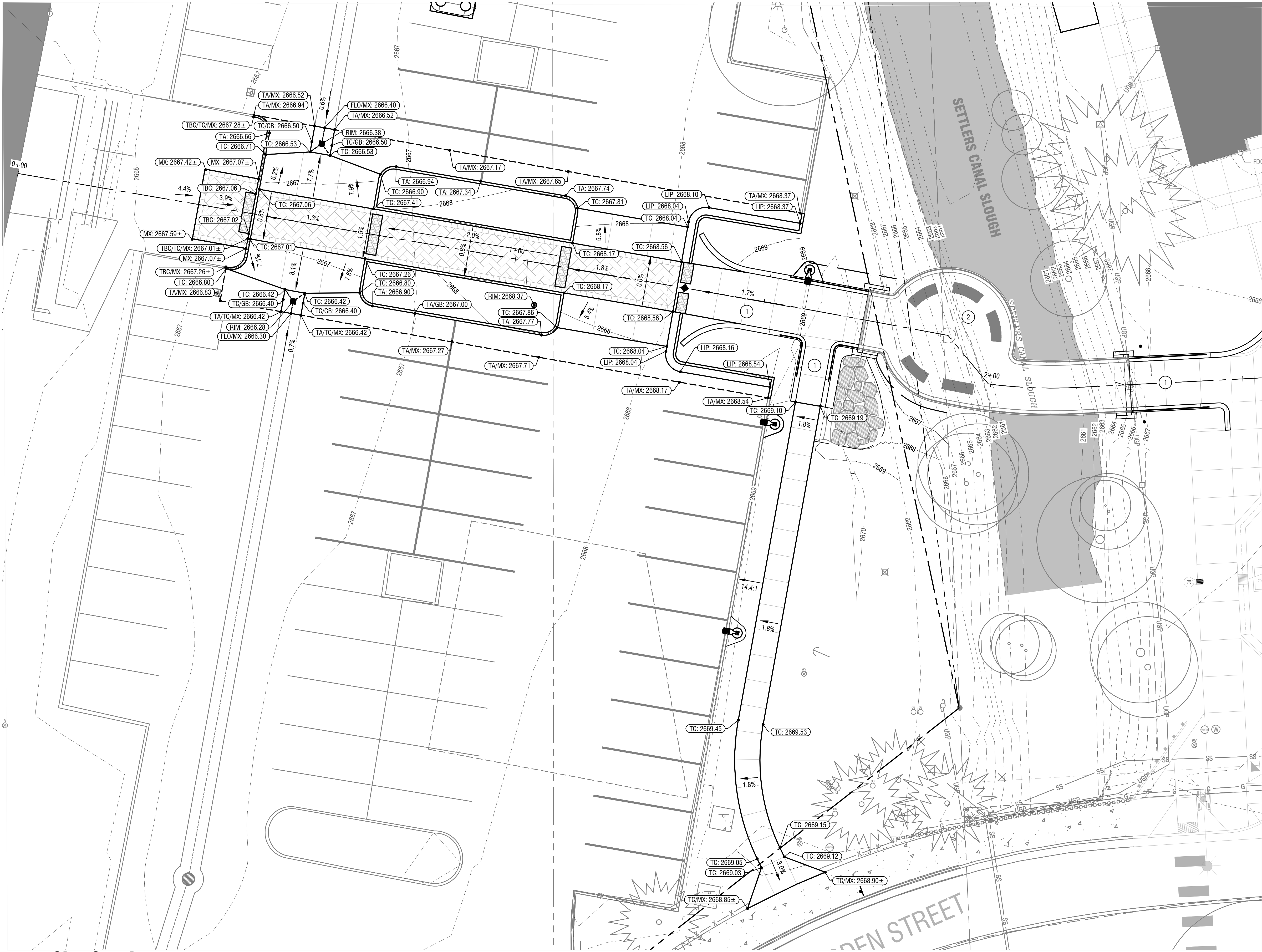
1. SOD AND GRASS MATS TO BE SALVAGED WHERE CHANNEL CUTS ARE MADE, KEPT IN MOIST CONDITIONS PER THE SPECIFICATIONS, AND REUSED ON SITE FOR BANK REPAIR.
2. ALL STREAMBANKS, SOILS AND VEGETATION WILL BE CLEANED UP AND RESTORED AS NECESSARY USING STOCKPILED LARGE WOOD, TOPSOIL, AND NATIVE PLANT MATERIALS.
3. ALL PROJECT RELATED WASTE TO BE REMOVED.
4. ALL TEMPORARY ACCESS ROADS, CROSSINGS, AND STAGING AREAS WILL BE OBLITERATED. IF NECESSARY FOR REVEGETATION AND INFILTRATION, COMPACTED AREAS OF SOIL WILL BE LOOSENEED.
5. ALL DISTURBED AREAS WILL BE REHABILITATED IN A MANNER THAT RESULTS IN SIMILAR OR IMPROVED CONDITIONS RELATIVE TO PRE-PROJECT CONDITIONS.
6. UPON COMPLETION OF EARTHWORK, CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES TO ESTABLISH STABLE CONDITIONS THAT CAN PERSIST THROUGH REVEGETATION.
7. REPLANTING/SALVAGE OF DISRUPTED WILLOWS IS CONTRACTOR'S RESPONSIBILITY.
8. CONTRACTOR TO HARVEST SOD WHERE EXCAVATION OCCURS TO REPLACE ON DISTURBED BANKS. SOD SHALL BE CARED FOR ACCORDING TO SPECIFICATIONS.
9. CONTRACTOR TO SALVAGE AND RE-USE SOD AT ALL EXCAVATED AREAS FOR FINAL BANK REPAIR.
10. CONTRACTOR TO SALVAGE AND REPLANT ALL LARGE WILLOWS IN DISTURBED AREA.
11. CONTRACTOR TO SALVAGE TOP SOIL/ORGANICS AND STOCKPILE FOR TOP 6" OF FINISHED GRADE AS SEED BED ON ALL DISTURBED AREAS. CONTRACTOR TO PERFORM SEEDBED PREP AND SPREAD OWNER SUPPLIED SEED MIX.

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Plot Time: 1:02:04 PM



Site Grading

Horizontal Scale: 1" = 10'



Sheet Notes:

- A. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
- B. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.
- C. ADD 2600 FEET TO ALL SPOT ELEVATIONS FOR ACTUAL ELEVATION.
- D. BUILDING FINISH FLOOR ELEVATION REFERS TO ARCHITECTURAL ELEVATION 100'-0".
- E. SPOT ELEVATIONS INDICATE LIP OF GUTTER UNLESS NOTED OTHERWISE AS FOLLOWS:
- E.A. FF = FINISH FLOOR
E.B. FL = FLOW LINE
E.C. MX = MATCH EXISTING
E.D. RIM = RIM OF STRUCTURE
E.E. TA = TOP OF ASPHALT
E.F. TBC = TOP BACK OF CURB
E.G. TC = TOP OF CONCRETE
E.H. FG = FINISH GRADE
E.I. TOP = TOP OF EXISTING CONCRETE PAD
- F. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNIFORMLY TRANSITION TO REVEAL 2" OF STEM WALL UNLESS INDICATED OTHERWISE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION ADJACENT TO THE BUILDING.
- G. ASPHALT REPAIR ASSOCIATED WITH PROPOSED WET AND DRY UTILITY TRENCHING AND INSTALLATION WITHIN EXISTING ASPHALT AREAS SHALL MATCH EXISTING GRADES, SLOPES AND MAINTAIN EXISTING DRAINAGE PATTERNS.

Keynotes:

1. SEE SHEET C4.02 FOR BRIDGE APPROACH GRADING.
2. SEE SHEET C4.03 FOR BRIDGE STRUCTURE GRADING.



RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

Revisions

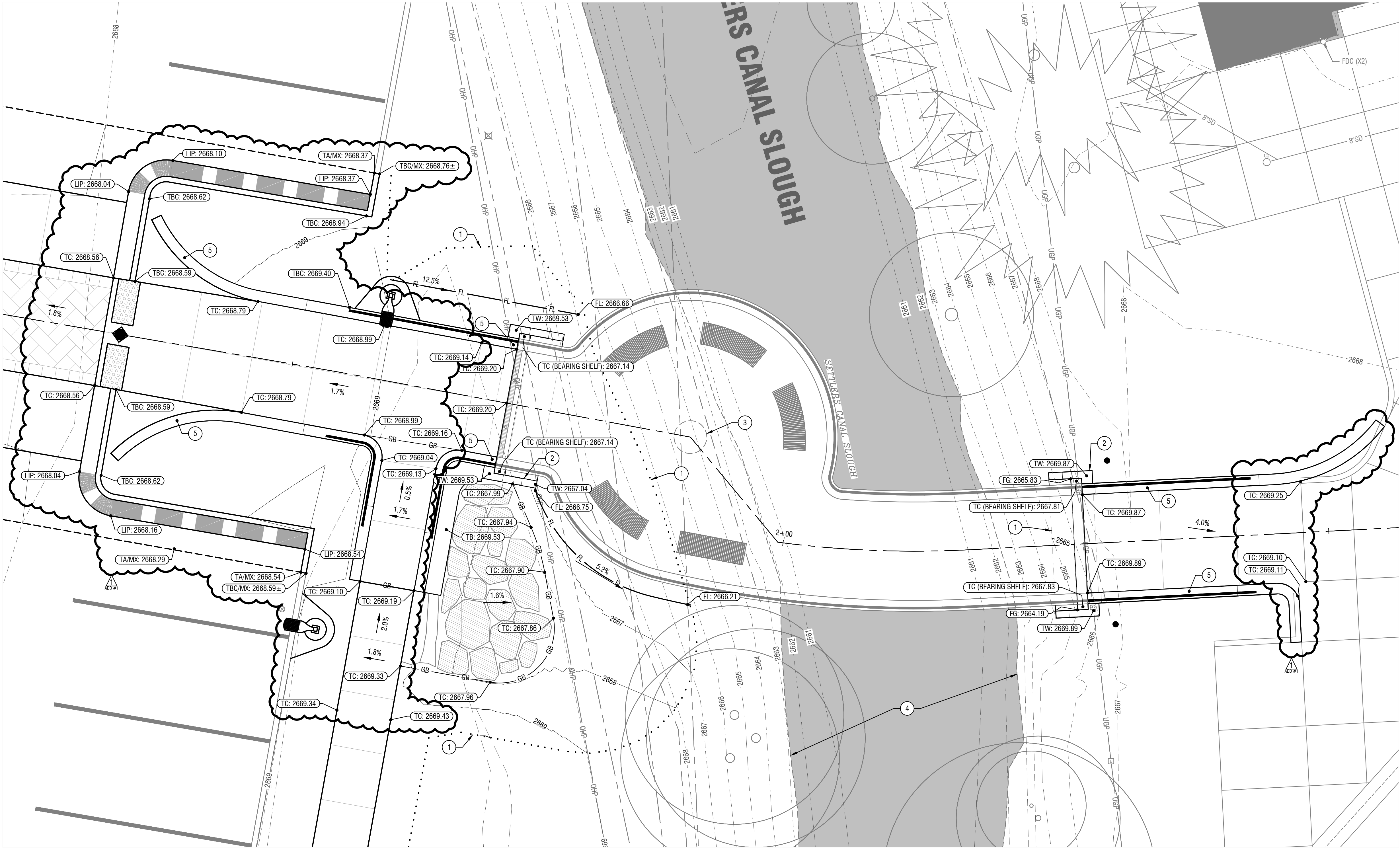
1. ADD #1 - 12/01/2022



Project No.: 115154
Date of Issuance: 06.28.2022
Project Milestone: Permit Drawings

Site Grading

C4.01



Bridge Approach Grading

Horizontal Scale: 1" = 5'

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- A. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
 - B. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.
 - C. ADD 2600 FEET TO ALL SPOT ELEVATIONS FOR ACTUAL ELEVATION.
 - D. BUILDING FINISH FLOOR ELEVATION REFERS TO ARCHITECTURAL ELEVATION 100'-0".
 - E. SPOT ELEVATIONS INDICATE LIP OF GUTTER UNLESS NOTED OTHERWISE AS FOLLOWS:
 - E.A. FF = FINISH FLOOR
 - E.B. FL=FLOW LINE
 - E.C. MX = MATCH EXISTING
 - E.D. RIM = RIM OF STRUCTURE
 - E.E. TA = TOP OF ASPHALT
 - E.F. TBC = TOP BACK OF CURB
 - E.G. TC = TOP OF CONCRETE
 - E.H. FG = FINISH GRADE
 - E.I. TCP = TOP OF EXISTING CONCRETE PAD
 - E.J. TW = TOP OF WALL
 - E.K. TB = TOP OF BENCH
 - F. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNIFORMLY TRANSITION TO REVEAL 2" OF STEM WALL UNLESS INDICATED OTHERWISE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION ADJACENT TO THE BUILDING.
 - G. ASPHALT REPAIR ASSOCIATED WITH PROPOSED WET AND DRY UTILITY TRENCHING AND INSTALLATION WITHIN EXISTING ASPHALT AREAS SHALL MATCH EXISTING GRADES, SLOPES AND MAINTAIN EXISTING DRAINAGE PATTERNS.

- Keynotes:**
- 1. LIMIT OF SITE GRADING, FEATHER TO MATCH EXISTING (SHOWN APPROX.)
 - 2. CONCRETE ABUTMENT, SEE SHEET C2.51 FOR MORE INFORMATION.
 - 3. BRIDGE PIER, SHOWN APPROX., SEE STRUCTURAL FOR MORE INFORMATION.
 - 4. ORDINARY HIGH WATER (OHWM, SHOWN APPROX.).
 - 5. PLEASE REFER TO SHEETS C4.04 - C4.07 FOR TOP ELEVATIONS AND VERTICAL CURVE INFORMATION OF APPROACH WALLS & GUARDRAIL.

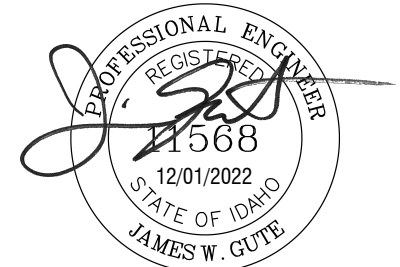


RIVER EDDY - PEDESTRIAN BRIDGE

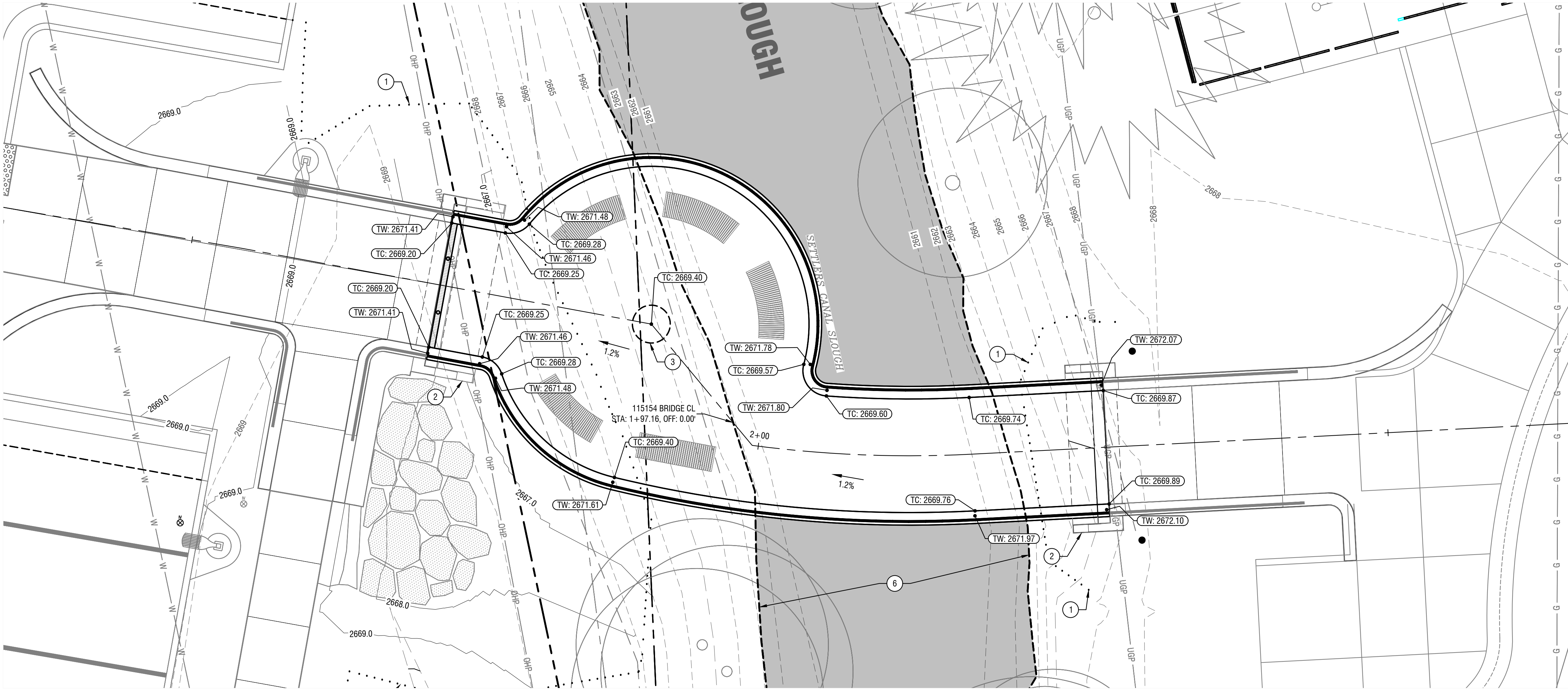
Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise, ID 83714

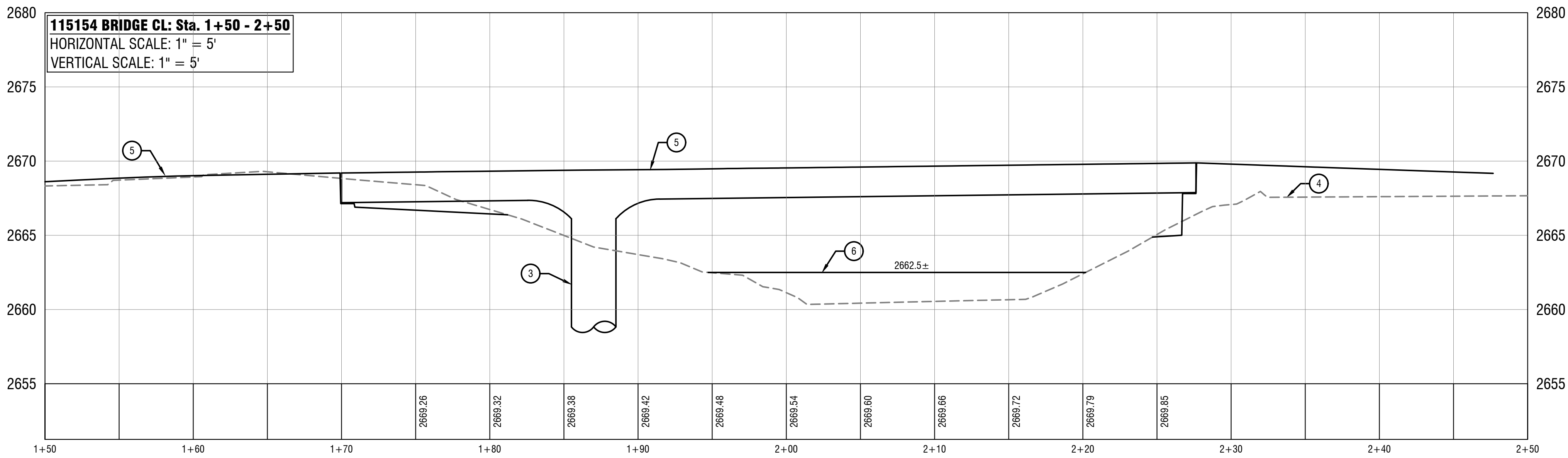
Revisions	
1.	ADD #1 - 12/01/2022



Project No.: 115154
Date of Issuance: 06.28.2022
Project Milestone: Permit Drawings



Bridge Structure Grading
Horizontal Scale: 1" = 5'



1 Bridge Structure Grading - Profile
Scale: 1" = 5'

- Sheet Notes:**
- A. EXISTING CONTOURS ARE AT A 1-FT INTERVAL.
 - B. PROPOSED CONTOURS ARE AT 0.1-FT INTERVAL.
 - C. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.
 - D. BUILDING FINISH FLOOR ELEVATION REFERS TO ARCHITECTURAL ELEVATION 100'-0".
 - E. SPOT ELEVATIONS INDICATE LIP OF GUTTER UNLESS NOTED OTHERWISE AS FOLLOWS:
 - E.A. FF = FINISH FLOOR
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 - E.C. MX = MATCH EXISTING
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 - E.E. TA = TOP OF ASPHALT
 - E.F. TBC = TOP BACK OF CURB
 - E.G. TC = TOP OF CONCRETE
 - E.H. FG = FINISH GRADE
 - E.I. TOP = TOP OF EXISTING CONCRETE PAD
 - F. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNIFORMLY TRANSITION TO REVEAL 2" OF STEM WALL UNLESS INDICATED OTHERWISE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION ADJACENT TO THE BUILDING.
 - G. ASPHALT REPAIR ASSOCIATED WITH PROPOSED WET AND DRY UTILITY TRENCHING AND INSTALLATION WITHIN EXISTING ASPHALT AREAS SHALL MATCH EXISTING GRADES, SLOPES AND MAINTAIN EXISTING DRAINAGE PATTERNS.

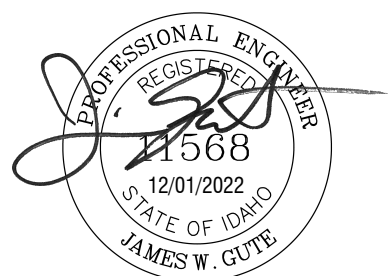
- Keynotes:**
- 1. LIMIT OF SITE GRADING, SEE SHEET C4.02 FOR MORE INFORMATION.
 - 2. CONCRETE ABUTMENT, SEE SHEET C2.51 FOR MORE INFORMATION.
 - 3. BRIDGE PIER, SHOWN APPROX., SEE STRUCTURAL FOR MORE INFORMATION.
 - 4. EXISTING GROUND AT CENTERLINE ALIGNMENT (SHOWN APPROX.)
 - 5. FINISHED GRADE AT CENTERLINE ALIGNMENT.
 - 6. ORDINARY HIGH WATER (SHOWN APPROX.)



RIVER EDDY - PEDESTRIAN BRIDGE
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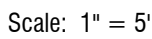
Revisions	
1.	ADD #1 - 12/01/2022



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Bridge Structure Grading

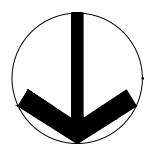
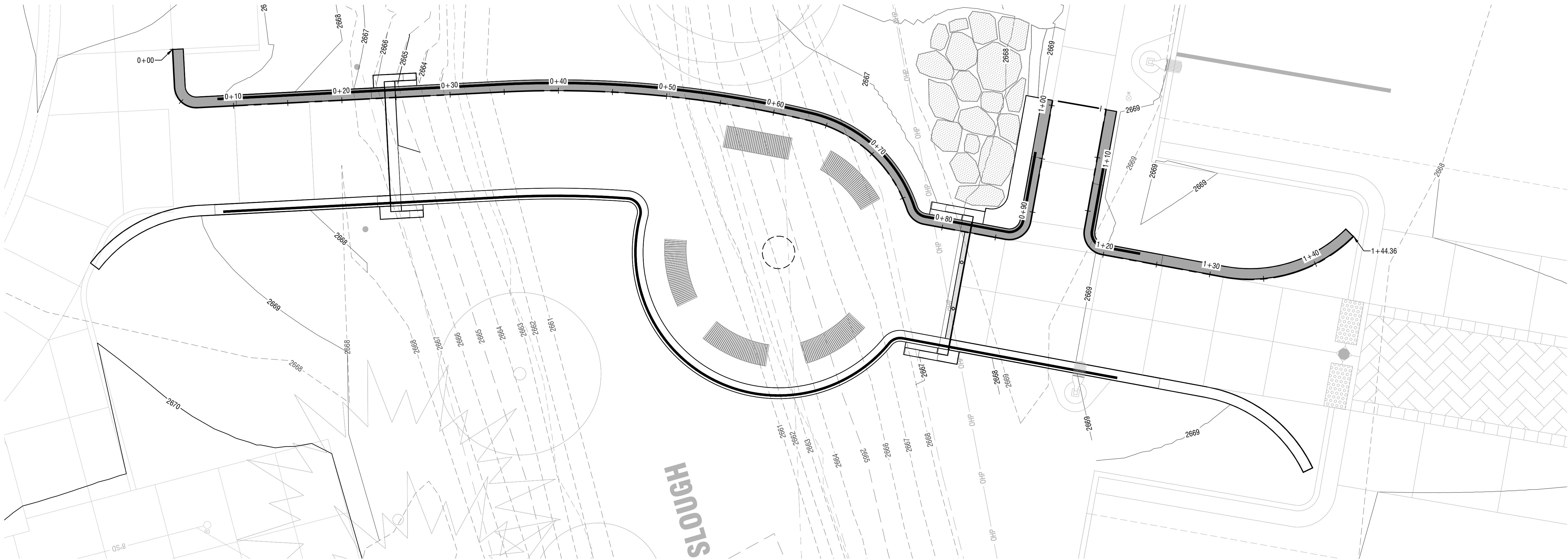
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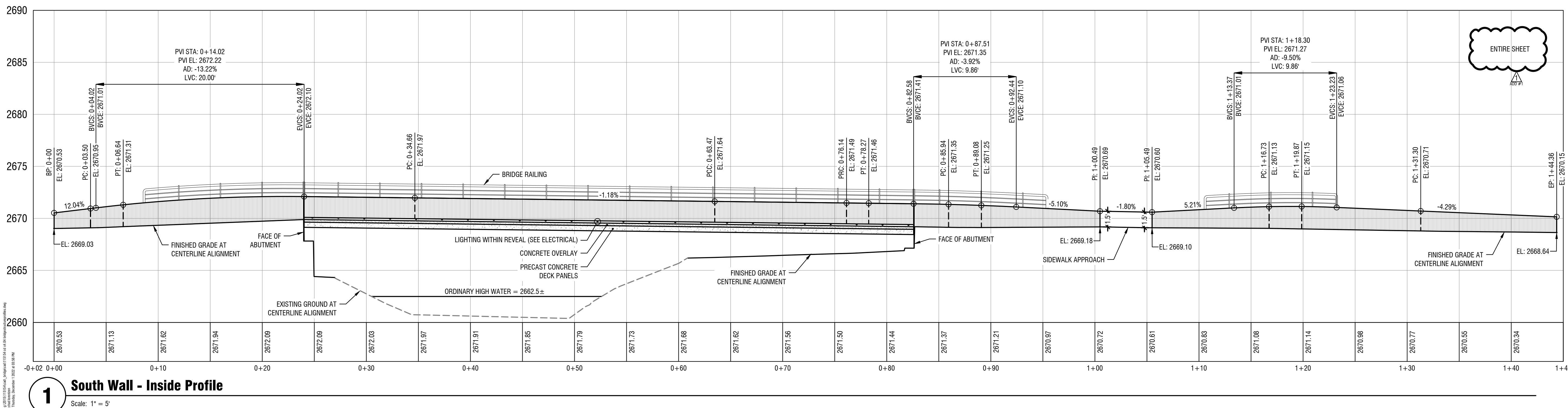
2900 W. CHINDEE
Boise, ID 83714





South Wall - Inside Profile

Horizontal Scale: 1" = 5'



1

South Wall - Inside Profile

Scale: 1" = 5'

RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

2900 W. CHINDEN BOULEVARD
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1. ADD #1 - 12/01/2022



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South Wall - Inside Profile

C4.07



- Sheet Notes:**
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 ISPMC.
 - B. ALL STORM DRAINAGE FACILITIES SHALL BE INSPECTED BY THE DESIGN ENGINEER. CONTACT THE LAND GROUP AT (208) 939-4041. 24 HOURS ADVANCE NOTICE IS REQUIRED.
 - C. ALL STORM DRAIN PIPE SHALL BE ASTM D 3034 SDR 35 PVC OR AASHTO M294 TYPE S HDPE, AS NOTED ON PLAN.
 - D. ENSURE POSITIVE DRAINAGE TO ALL DRAINAGE STRUCTURES WITH GRATED LIDS.
 - E. CONTRACTOR SHALL VERIFY ALL CONNECTION POINTS IN THE FIELD PRIOR TO INSTALLATION. CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES.

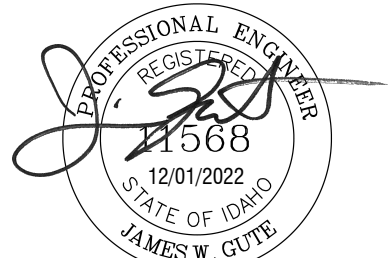
- Drainage Keynotes:**
- CONNECT TO PIPE STUB AT BACK OF ABUTMENT WALL w/ 3x4 REDUCER, TYP. SEE STRUCTURAL FOR CONTINUATION TO TRENCH DRAIN.
 - INSTALL 4x6 PVC WYE FITTING.
 - APPROX. LIMIT OF EXISTING STORM DRAIN SEEPAGE BED.
 - CONNECT TO SPRINGLINE EXISTING 12-IN PERFORATED HDPE STORM DRAIN PIPE IN EXISTING SEEPAGE BED WITH ADS "INSERT-A-TEE" OR ENGINEER-APPROVED EQUIVALENT, INFORM ENGINEER OF DISCREPANCIES.
 - RESTORE EXISTING DRAIN ROCK & REPAIR EXISTING SEEPAGE BED FABRIC PER FABRIC MANUFACTURER'S RECOMMENDATIONS. RESTORE EXISTING SEEPAGE BED MONITORING WELL IN LANDSCAPING PER ISPMC SD-627.
 - 12" STORM DRAIN PIPE: ASTM D 3034 PVC, SDR 35. CONNECT TO EXISTING STORM DRAIN PIPE WITH TRANSITION FITTINGS AS REQUIRED, MATCH EXISTING PIPE GRADES.
 - INSTALL 12"x12" SQUARE, LOW PROFILE SPIGOT ADAPTER AND 12"x12" SQUARE DUCTILE IRON GRATE (NDS 1222 & 1213), OR ENGINEER-APPROVED EQUIVALENT. CONNECT TO CROWN OF EXISTING 12-INCH STORM DRAIN PIPE WITH 8-INCH VERTICAL SCH. 40 PIPE AND "INSERT-A-TEE" OR ENGINEER-APPROVED EQUIVALENT. INFORM ENGINEER OF ANY DISCREPANCIES. INSTALL PER MANUFACTURER'S RECOMMENDATION.
 1. CROWN OF EXISTING PIPE = 2665.20' (APPROX.)
 2. CROWN OF EXISTING PIPE = 2665.12' (APPROX.)



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Drainage & Utility Plan

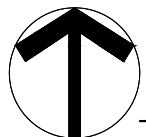
C5.01

Drainage & Utility Plan

Horizontal Scale: 1" = 10'

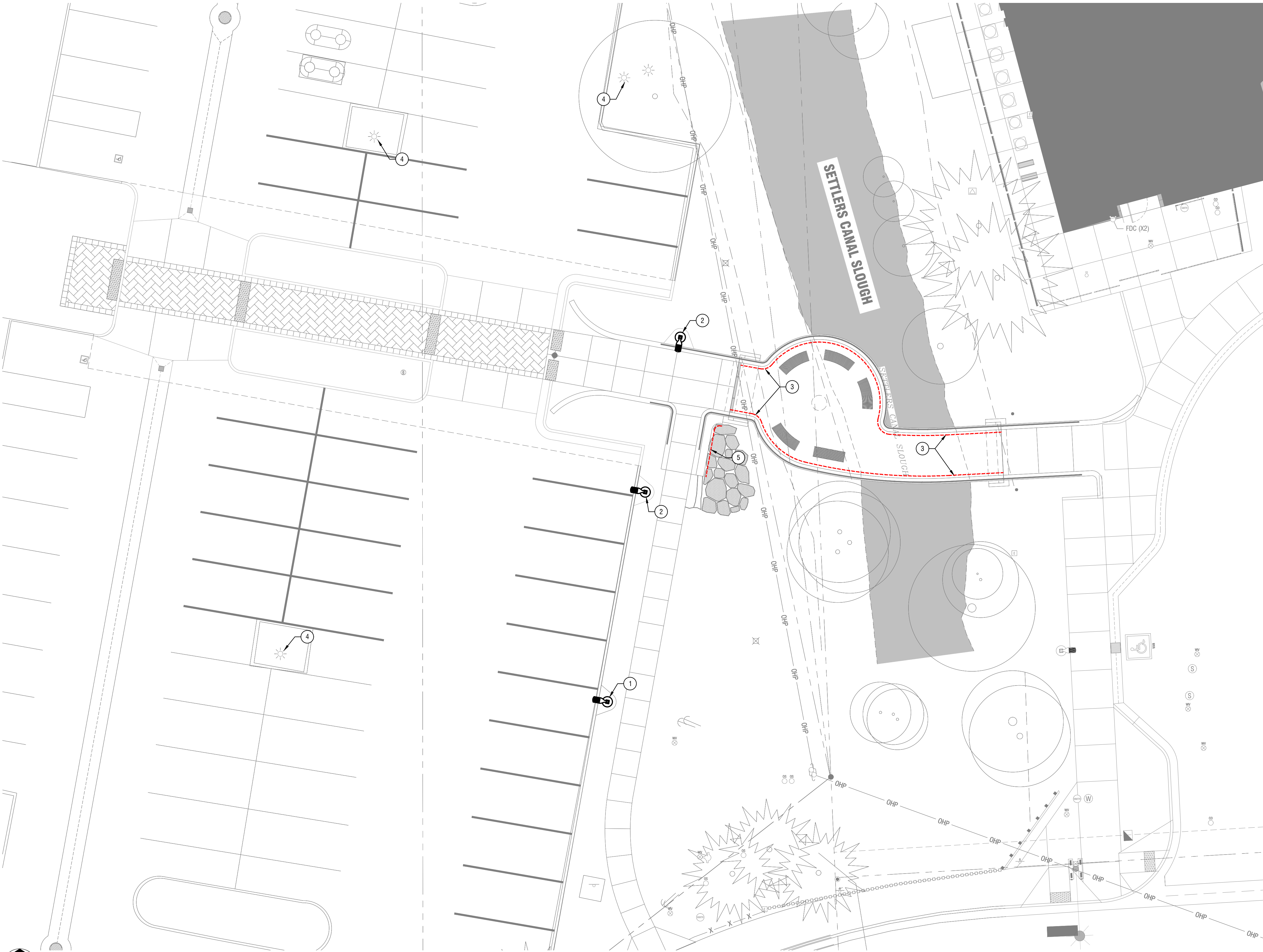
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Date: 06/28/2022
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Lighting Plan

Horizontal Scale: 1" = 10'



Lighting Notes:

1. CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION NOTES ON SHEET C6.00.
2. CONTRACTOR SHALL SUBMIT ALL LIGHT CUTSHEETS TO OWNER FOR REVIEW AND APPROVAL. INCLUDE FINISHES AND MOUNTING OPTIONS.
3. COORDINATE WORK AND PLACEMENT WITH OTHER DISCIPLINES TO ENSURE SLEEVING, POWER, ACCESS IS PROVIDED.
4. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LOW-VOLTAGE TRANSFORMER LOCATION, LINE VOLTAGE FIXTURE INSTALLATION, AND POWER ROUTING.

Lighting Schedule:

	PARKING LOT LUMINAIRE
	EVO FLEX 3 BY IN-LITE

Keynotes:

- # CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.
1. INSTALL SALVAGED LUMINAIRE WITH NEW FOUNDATION PER ISPWC SD-1117. SEE ELECTRICAL FOR MORE INFORMATION.
 2. INSTALL LUMINAIRE WITH NEW FOUNDATION PER ISPWC SD-1117. SEE ELECTRICAL FOR MORE INFORMATION.
 3. INSTALL BRIDGE ACCENT LIGHTING AT REVEAL PER DETAIL 6/C2.51. SEE ELECTRICAL PLAN FOR MORE INFORMATION.
 4. EXISTING LIGHTING STRUCTURE TO REMAIN.
 5. INSTALL SANDSTONE MONOLITH SEAT ACCENT LIGHTING AT REVEAL PER DETAIL 7/C2.51. SEE ELECTRICAL PLAN FOR MORE INFORMATION.



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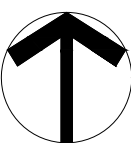


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Lighting Plan

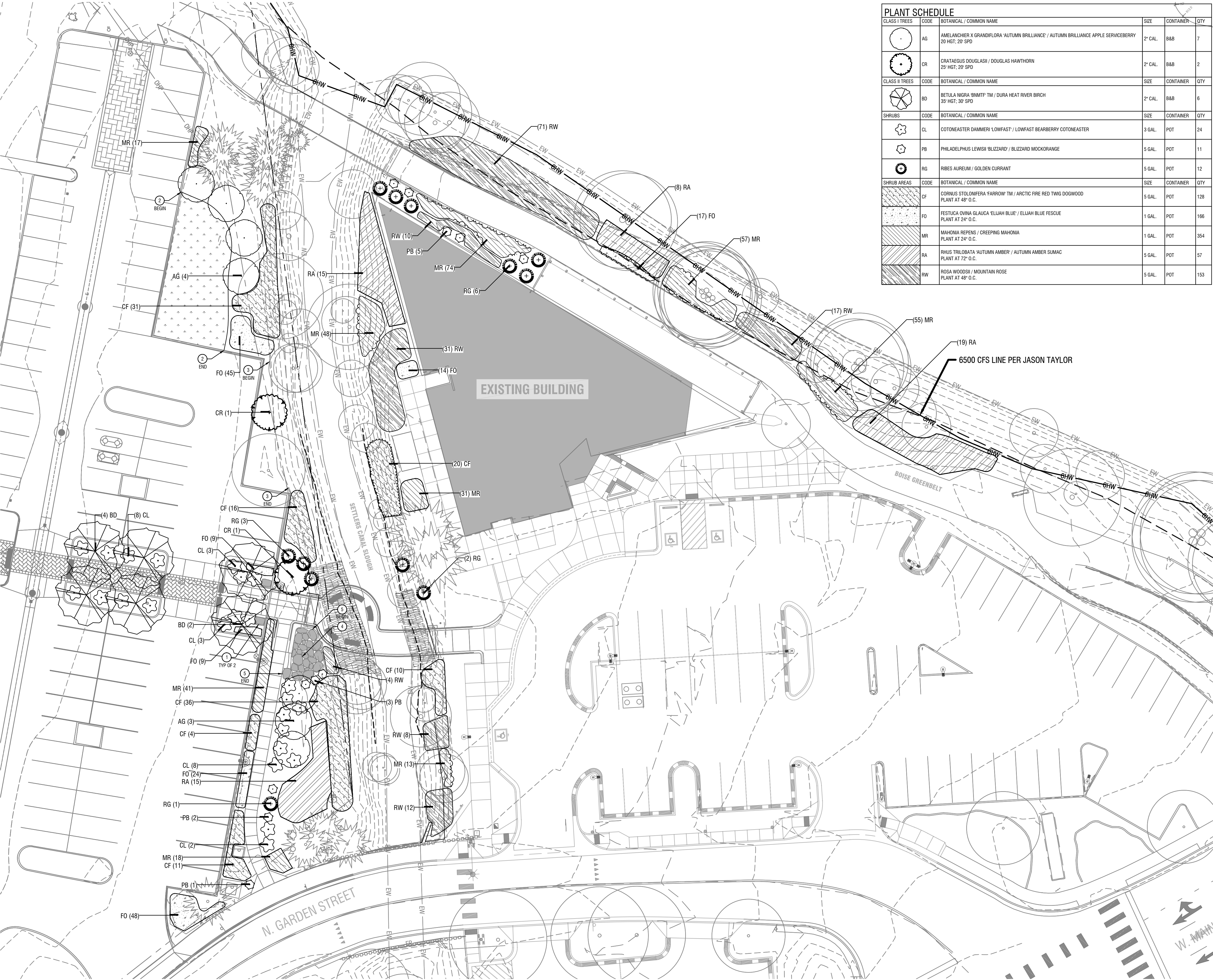
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Project: Riverside Hotel
Drawing: Landscape Plan
Date: 11/28/2022



Landscape Plan

Horizontal Scale: 1" = 20'



PLANT SCHEDULE					
CLASS I TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY 20 HGT, 20 SPD	2" CAL.	B&B	7
	CR	GRATAEGUS DOUGLASII / DOUGLAS HAWTHORN 25 HGT, 20 SPD	2" CAL.	B&B	2
CLASS II TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	BD	BETULA NIGRA 'NIMTF' TM / DURA HEAT RIVER BIRCH 35 HGT, 30 SPD	2" CAL.	B&B	6
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	CL	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	3 GAL.	POT	24
	PB	PHILADELPHUS LEWISII 'BLIZZARD' / BLIZZARD MOCKORANGE	5 GAL.	POT	11
	RG	RIBES AUREUM / GOLDEN CURRANT	5 GAL.	POT	12
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	CF	CORNUS STOLONIFERA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD PLANT AT 48" O.C.	5 GAL.	POT	128
	FO	FESTUCA OVINA GLAUCOA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE PLANT AT 24" O.C.	1 GAL.	POT	166
	MR	MAHONIA REPENS / CREEPING MAHONIA PLANT AT 24" O.C.	1 GAL.	POT	354
	RA	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC PLANT AT 72" O.C.	5 GAL.	POT	57
	RW	ROSA WOODSII / MOUNTAIN ROSE PLANT AT 48" O.C.	5 GAL.	POT	153

Sheet Notes:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE 4" OF BARK MULCH OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT SITE ELEMENTS SHALL BE:
 - 1-INCH BELOW TOP OF ADJACENT PAVEMENT, VALVE BOX, VAULT, ETC.
 - 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL. SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
- ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION. REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SURFACE.
- NEW TREE AND SHRUB PLANTING, SEE DETAILS 1 AND 2, SHEET L1.50. CONTRACTOR SHALL STAKE ALL TREES DEMONSTRATED NECESSARY, I.E., FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.

Material Legend:

- VEGETATIVE BANK RESTORATION: REFER TO SHEET C2.52 FOR ADDITIONAL INFORMATION
- TURF SOD, RED FESCUE
- FLAGSTONE PATIO: REFER TO DETAIL 6/L1.50 FOR ADDITIONAL INFORMATION

Keynotes:

- SANDSTONE MONOLITH, REFER TO DETAIL 5/L1.50
- PLANTER BED CUT EDGE, REFER TO DETAIL 3/L1.50
- RETAIN EXISTING SHRUB BED AND PLANT MATERIAL
- FLAGSTONE PATIO, REFER TO DETAIL 6/L1.50
- SANDSTONE BOULDER WALL, REFER TO DETAIL 7/L1.50

Landscape Calculations

- A.A. PARKING LOT/PERIMETER LANDSCAPE REQUIREMENTS:
A.A.A. REQUIRED: 0 TREES (EXEMPT PER GARDEN CITY CODE SECTION 8-4I-2-D)
A.A.B. PROVIDED: 6 TREES
- A.B. TREE MITIGATION CALCULATIONS
A.B.A. TOTAL CALIPER INCHES OF TREES TO BE REMOVED: 28 INCHES
A.B.B. TOTAL CALIPER INCHES PROVIDED: 30 INCHES (15 TREES @ 2" CAL)

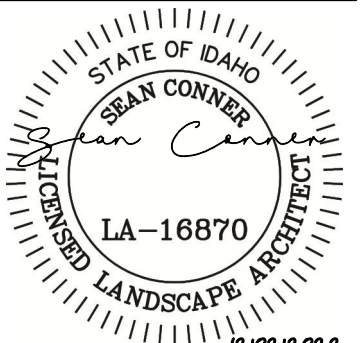


RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

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Revisions
1.



Project No.: 115154
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Landscape Plan

L1.00



Revisions

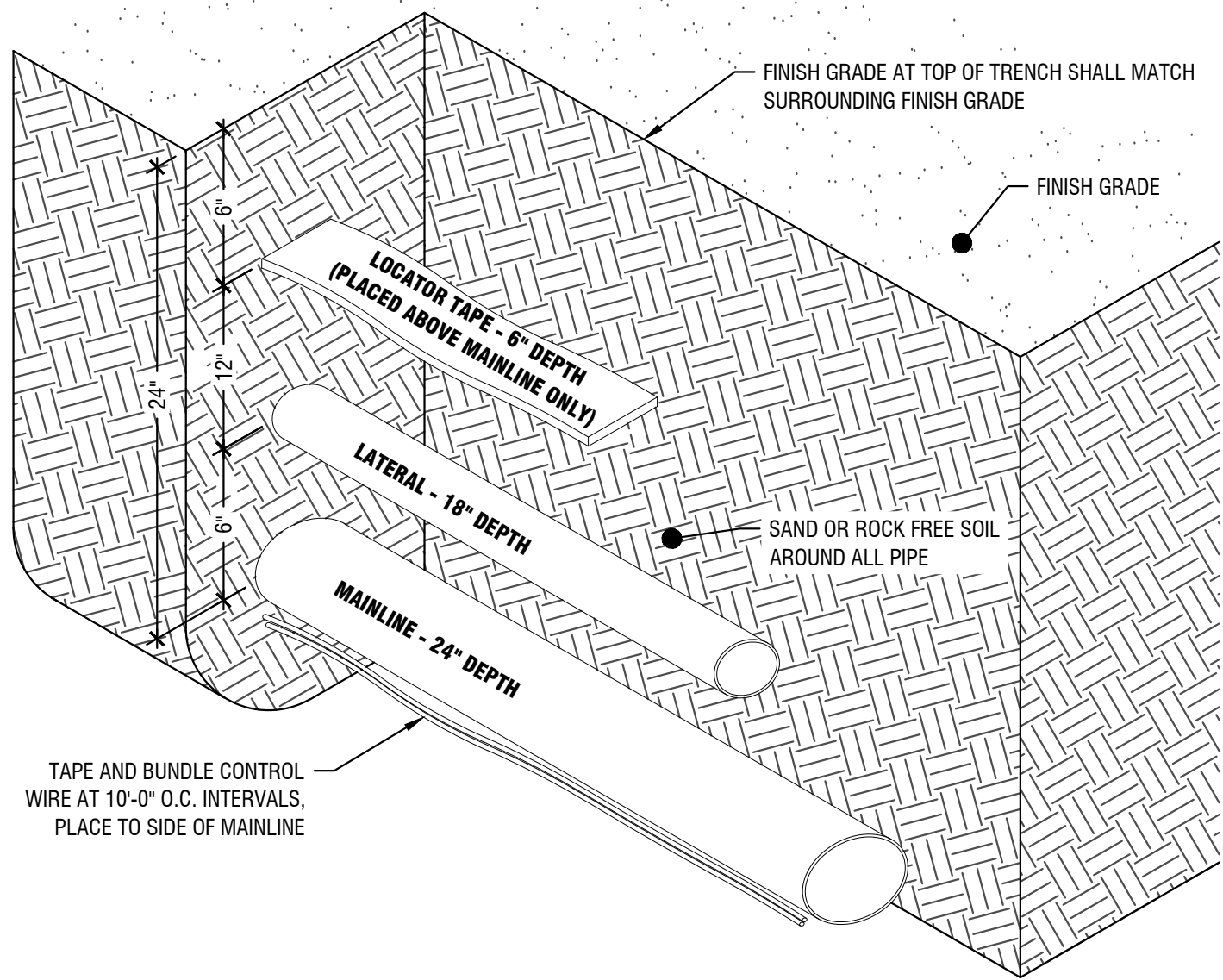
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L2.00

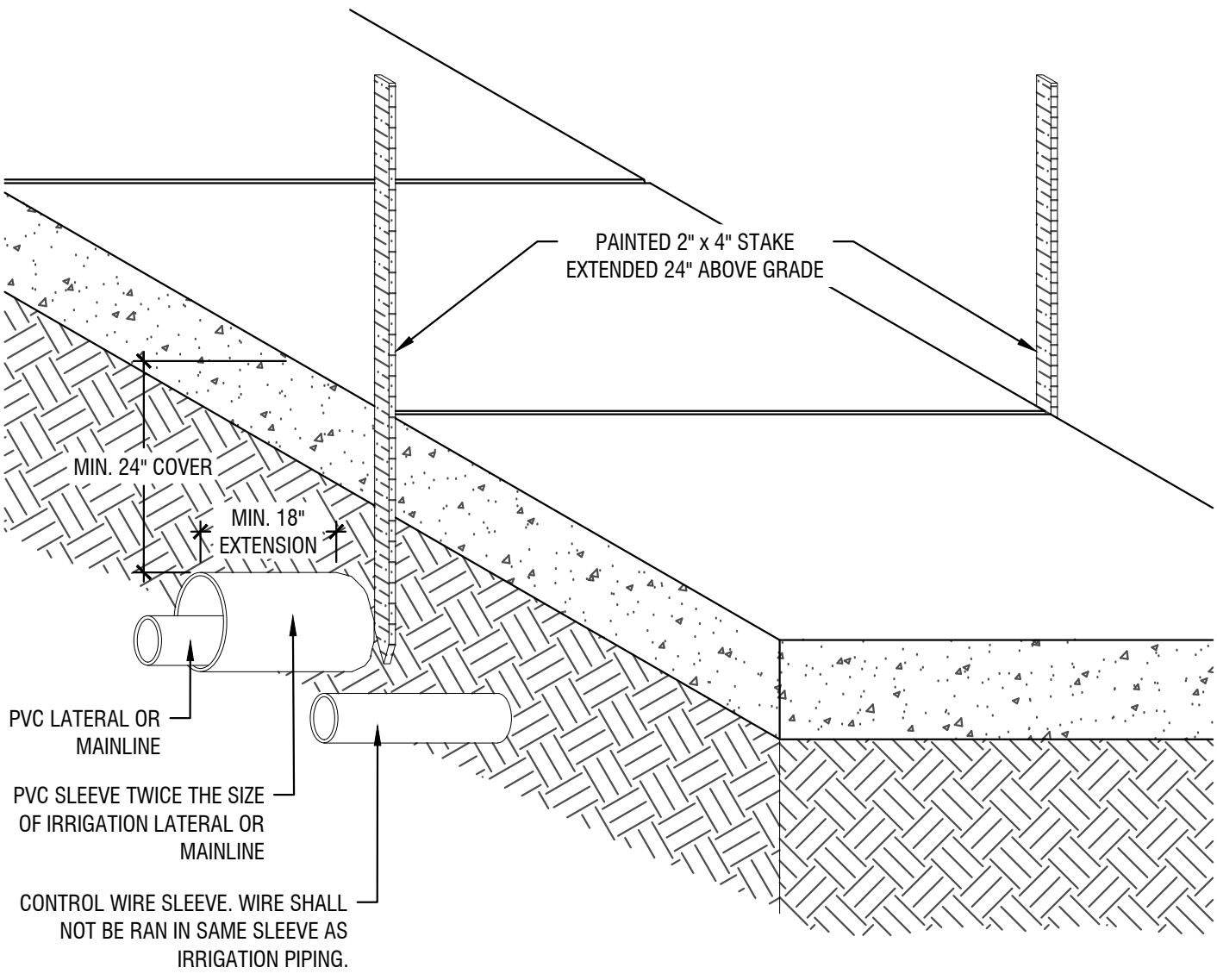


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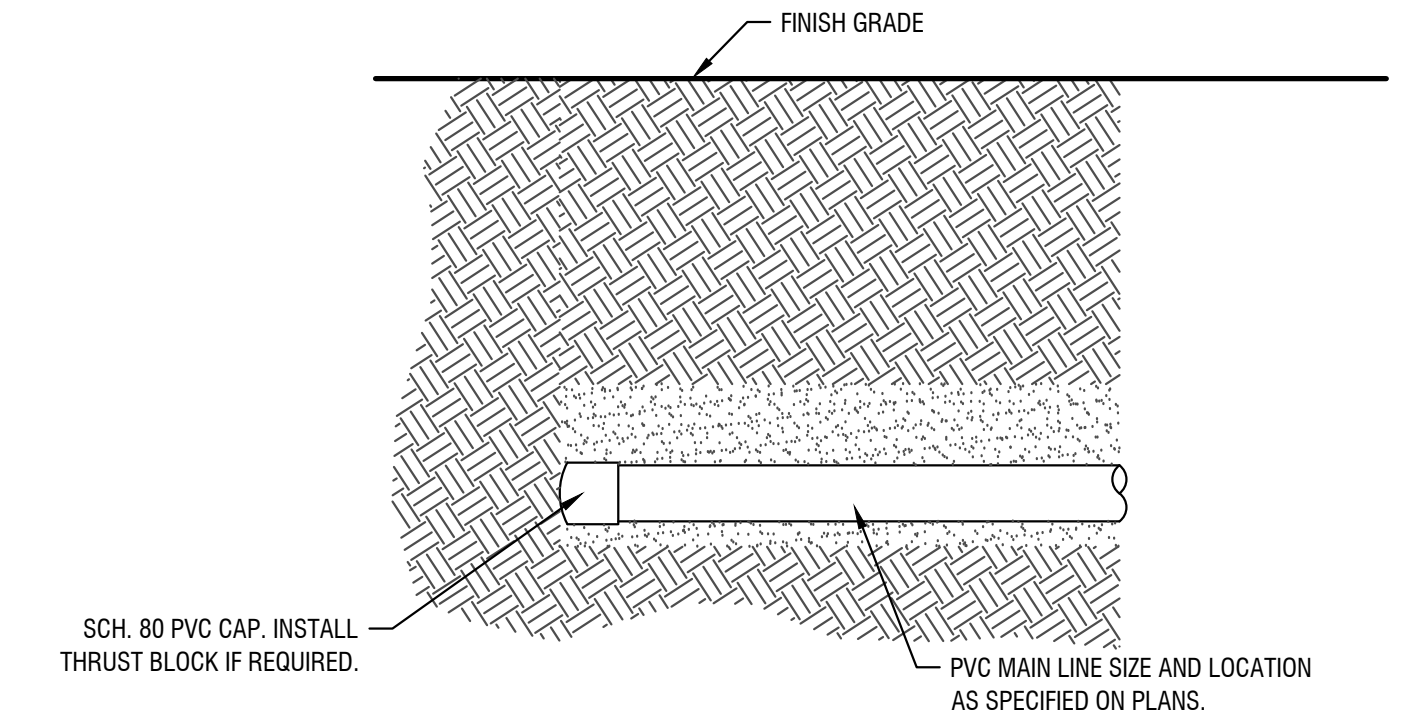
1 TRENCH SECTION

SCALE: NTS



2 SLEEVING SECTION

SCALE: NTS



3 MAIN LINE CAP

SCALE: NTS

DISTANCE CHART
REFER TO THE FOLLOWING TABLE THAT LISTS THE LENGTH (IN FEET) FOR EACH SIZE/TYPE FITTING WITHIN WHICH ALL JOINTS JUST BE RESTRAINED. ALL FITTINGS AND JOINT RESTRAINTS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS.

AS AN EXAMPLE, IF YOU ARE INSTALLING A 3" MAINLINE WITH A DIRECTIONAL CHANGE OF 90°, REFER TO CHART UNDER PIPE SIZE TO 3" AND UNDER BENDS 90 YOU WILL SEE THE DISTANCE OF 11". IF THERE IS ANY JOINT (VALVE, BELL, ETC.) YOU MUST INSTALL A JOINT RESTRAINT WITHIN 11" OF THE 90° MAINLINE DIRECTIONAL CHANGE.

PIPE SIZE	BENDS					REDUCERS			DEAD END	
	11°	22°	45°	90°		1 STEP	2 STEP	3 STEP	BLIND	SERV. B.
2"	1'	1'	2'	6'		-	-	-	19'	6'
2.5"	1'	2'	4'	9'		4'	-	-	23'	10'
3"	2'	3'	6'	11'		8'	10'	-	30'	15'
4"	2'	4'	9'	20'		14'	20'	31'	45'	25'
6"	3'	6'	13'	29'		30'	40'	53'	63'	40'
8"	4'	8'	15'	38'		33'	55'	63'	75'	70'
10"	5'	9'	19'	45'		36'	56'	75'	96'	90'
12"	5'	10'	21'	53'		38'	60'	83'	112'	110'

INSTALLATION CHART

REFER TO THE TABLE TO THE RIGHT WHICH LISTS THE NUMBER OF BOLTS, SIZE, AND TORQUE FOR EACH BOLT IN REFERENCE TO THE SIZE OF PIPE WHICH IS BEING RESTRAINED.

AS AN EXAMPLE, IF YOU HAVE A 3" PIPE, YOU WILL NEED 2 BOLTS THAT ARE 3/8 X 2.5" AND TIGHTEN THEM WITH A TORQUE WRENCH TO 20 FT-LBS.

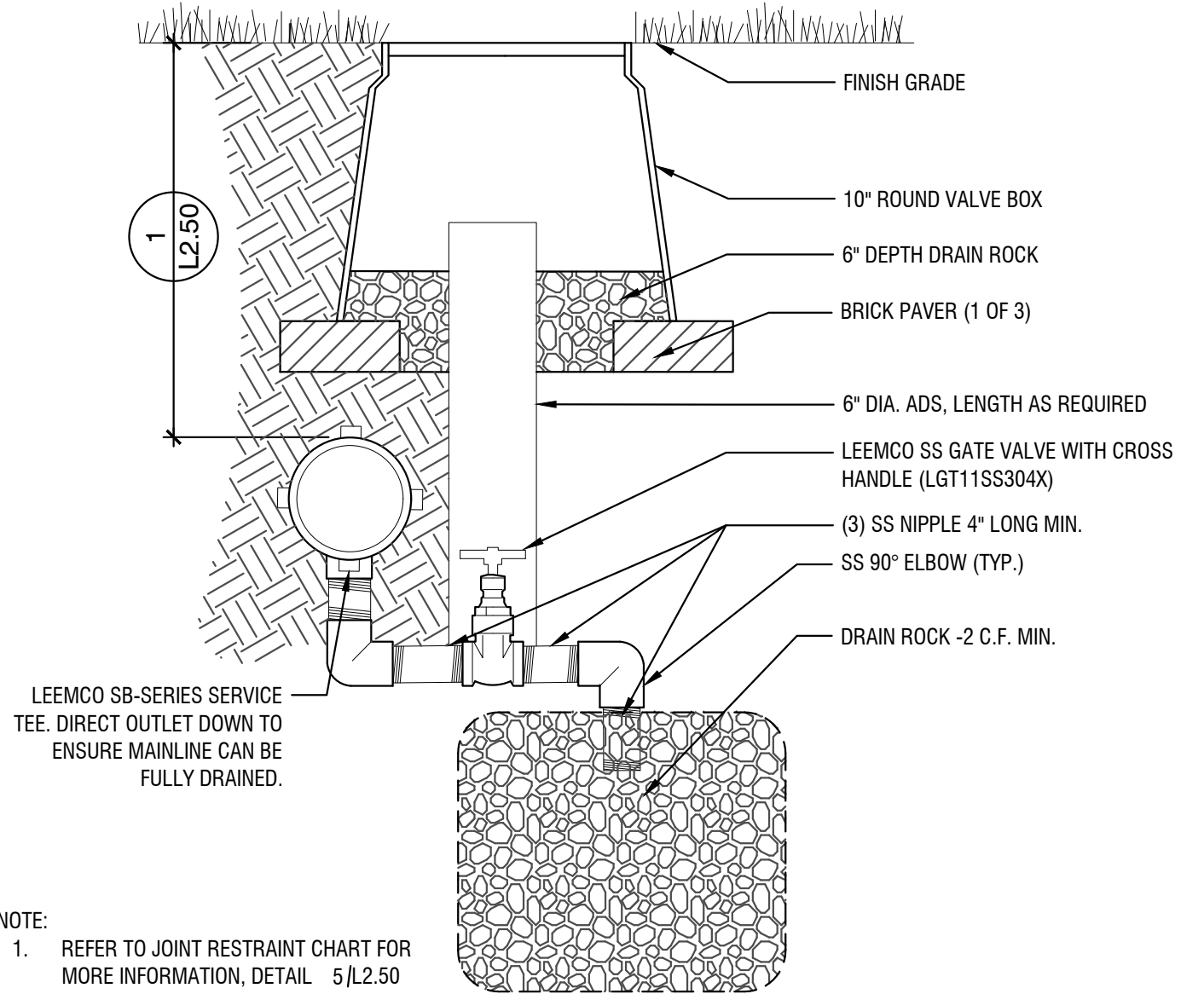
5 JOINT RESTRAINT CHART

SCALE: NTS

PIPE SIZE	NO. BOLTS	BOLT SIZE	TORQUE FT-LBS
2"	2	3/8" x 2-1/2"	20
2.5"	2	3/8" x 2-3/8"	20
3"	2	3/8" x 2-1/2"	20
4"	2	1/2" x 3"	50
6"	2	1/2" x 3-1/2"	50
8"	4	1/2" x 4"	50
10"	4	5/8" x 5-1/2"	100
12"	4	5/8" x 5-1/2"	100

4 MAINLINE ISOLATION VALVE

SCALE: NTS

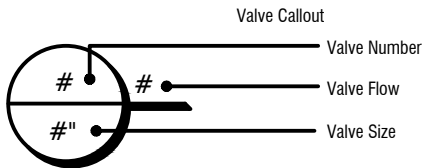


NOTE:
1. REFER TO JOINT RESTRAINT CHART FOR MORE INFORMATION, DETAIL 5/L2.50

6 MANUAL DRAIN VALVE

SCALE: NTS

IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL
	HUNTER MP CORNER PROS-06-PRS30-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. T= TURQUOISE ADJ ARC 45-105	30	8/L2.50
	HUNTER MP STRIP PROS-06-PRS30-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	30	8/L2.50
	HUNTER MP1000 PROS-06-PRS30-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	30	8/L2.50
	HUNTER MP2000 PROS-06-PRS30-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	30	8/L2.50
	HUNTER MP3000 PROS-06-PRS30-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	30	8/L2.50
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL	
	HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI, FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	9/L2.50	
	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	7/L2.50	
	SHUT OFF VALVE	4/L2.50	
	DRAIN VALVE	6/L2.50	
	CAP FOR FUTURE USE CAP AT THE MAINLINE OR LATERAL LINE FOR FUTURE USE. THE PRESSURE AND FLOW PROVIDED TO THAT LOCATION ARE INDICATED NEXT TO THE CAP SYMBOL.	3/L2.50	
	POINT OF CONNECTION		
	IRRIGATION LATERAL LINE- PVC SCHEDULE 40 PVC SCH. 40 PIPE SHALL BE USED WITH SOLVENT WELD SCH. 40 FITTINGS FROM 1/2" - 2-1/2" PIPE SIZES. ALL PIPE 3" AND ABOVE SHALL BE CLASS 200 WITH DUCTILE JOINT RESTRAIN FITTINGS BY LEECMCO.	1/L2.50	
	IRRIGATION MAINLINE- PVC CLASS 200 SDR 21 PVC CLASS 200 PIPE SHALL BE USED WITH DUCTILE IRON JOINT RESTRAIN FITTINGS BY LEECMCO FOR ALL PIPE SIZED 3" AND LARGER. ALL PIPE 2-1/2" AND BELOW SHALL BE SCH. 40 WITH SOLVENT WELD SCH. 40 FITTINGS.	1/L2.50	
	PIPE SLEEVE: PVC CLASS 200 SDR 21 PIPE SLEEVE SHALL BE TWICE THE SIZE OF DESIGNED PIPE DIAMETER FOR MAINLINE AND 4" FOR LATERAL LINES. INSTALL ADDITIONAL 2" SLEEVE AT ALL MAINLINE SLEEVES FOR CONTROL WIRES OR WHERE CONTROL WIRE LEAVES MAINLINE ROUTE.	2/L2.50	



Irrigation Notes:

- SYSTEM DESIGN BASED ON THE ASSUMPTION OF THE AVAILABILITY OF 25 G.P.M. AND 55 P.S.I.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, MECHANICAL, AND ELECTRICAL ENGINEERING SHEETS.
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION CONDUIT AND SLEEVES UNDER HARD SURFACES WITH RESPECTIVE CONTRACTORS.
- ALL SLEEVES TO BE INSTALLED AS PART OF IRRIGATION CONTRACT. APPROXIMATE LOCATION OF SLEEVES ARE SHOWN ON THE IRRIGATION PLAN. FIELD VERIFY LOCATION. ALL ENDS OF SLEEVES TO BE TAPED OR CAPPED AND MARKED WITH A 2"X 4" PAINTED STAKE EXTENDING TO 24" ABOVE GRADE. STAKES ARE NOT TO BE REMOVED UNTIL THE IRRIGATION SYSTEM IS COMPLETE. ALL SLEEVES SHALL EXTEND A MINIMUM OF 18" BEYOND BACK OF CURB OR EDGE OF PAVEMENT. PROVIDE COMPACTED BACKFILL.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- IRRIGATION CONTROLLER(S) ARE TO BE LOCATED AS SHOWN ON PLAN. CONTROLLERS SHALL BE WIRED TO POWER SUPPLY BY A LICENSED ELECTRICIAN PER LOCAL CODES. IRRIGATION CONTRACTOR TO PROVIDE ALL REQUIRED CONNECTIONS TO 24 VOLT IRRIGATION CONTROL WIRE INSIDE THE BUILDINGS THROUGH APPROPRIATE SIZED CONDUIT.
- IRRIGATED AREAS CONTAINING VEGETATION WHICH POTENTIALLY MAY IMPEDE PERFORMANCE OF A POP-UP SPRINKLER AND/OR ROTOR HEADS ARE TO BE REPLACED WITH A 12" HIGH POP-UP HEADS.
- ALL ELECTRICAL WORK TO MEET OR EXCEED N.E.C., STATE CODES, LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL 24 VOLT POWER WIRES SHALL BE #14 AWG COPPER. ALL ABOVE GROUND 120 VOLT AND 24 VOLT WIRE SHALL BE IN PVC CONDUIT. ALL 24 VOLT WIRES SHALL BE TAPED TOGETHER AT TEN FOOT (10'-0") INTERVALS.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- IRRIGATION CONTRACTOR SHALL PROVIDE AN AS-BUILT IRRIGATION PLAN UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
- THE ENTIRE SYSTEM SHALL BE GUARANTEED TO BE COMPLETE AND PERFECT IN EVERY DETAIL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE; REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE FREE OF EXPENSE TO THE OWNER.
- AS PART OF THIS CONTRACT, PERFORM AT NO EXTRA COST WINTERIZATION AND SPRING START UP OF THE SYSTEM DURING THE GUARANTEE PERIOD.
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER.
- IRRIGATION CONTRACTOR SHALL MAKE NECESSARY MINOR FIELD ADJUSTMENTS TO SPRINKLER NOZZLES, SPRINKLERS, PIPE, AND OTHER IRRIGATION EQUIPMENT LOCATIONS TO FIT THE AS-BUILT SITE. ADJUST HEAD AND PIPE LOCATIONS AS REQUIRED TO AVOID DAMAGING EXISTING TREE ROOTS. ADJUSTMENTS SHALL ENSURE HEAD TO HEAD COVERAGE.
- IRRIGATION PIPING LAYOUT IS SCHEMATIC. WHERE LINES ARE SHOWN BELOW PAVEMENT ADJACENT TO LANDSCAPE AREAS, THEY ARE TO BE LOCATED IN THE LANDSCAPE AREA UNLESS SHOWN WITH A SLEEVE SYMBOL.
- IRRIGATION MAINLINE SHALL BE SLEEVED UNDER ALL HARDSCAPE. SLEEVING MAY NOT BE SHOWN FOR MAINLINE FOR GRAPHICAL PURPOSES.
- LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL BASE AND EXISTING IRRIGATION ELEMENTS AND CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE NECESSARY ADJUSTMENTS.
- IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SCHEDULE A MEETING WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF IRRIGATION CONTROL SYSTEM TO DETERMINE PROCEDURES OF INSTALLATION OF IRRIGATION CONTROL SYSTEM.
- PIPE VELOCITIES SHALL NOT EXCEED 5 FT/SEC.
- AREAS WHERE FULL CIRCLE HEADS ARE REQUIRED, NON-REVERSING CIRCLE HEADS SHALL BE INSTALLED. PARTIAL CIRCLE HEADS WITH REVERSING DIRECTION ARE PROHIBITED FOR USE OF 360° ROTATION.
- PROVIDE AND INSTALL GROUNDING ALONG THE TWO WIRE PATH PER MANUFACTURERS RECOMMENDATIONS.
- REFER TO SHEET L1.00 FOR SITE WORK PHASING AND ALTERNATES, AND COORDINATION WITH WORK BY OTHERS.

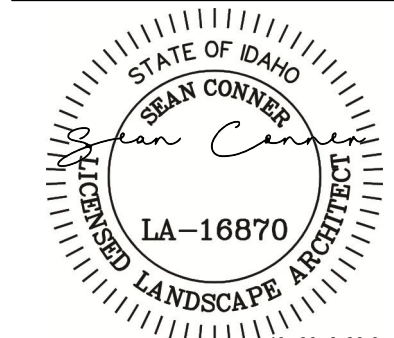


RIVER EDDY - PEDESTRIAN BRIDGE

Riverside Hotel

2900 W. CHINDEN BOULEVARD
Boise ID 83714

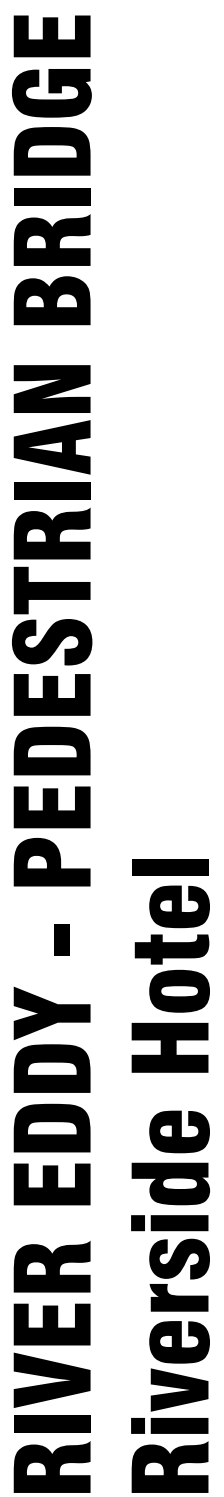
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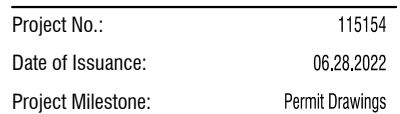
Project No.: 115154
Date of Issuance: 06.28.2022
Project Milestone: Permit Drawings

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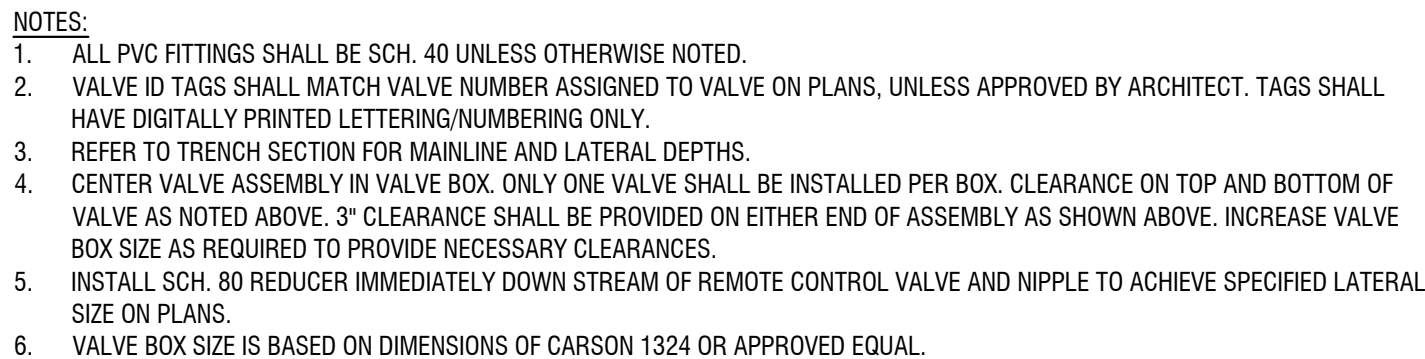
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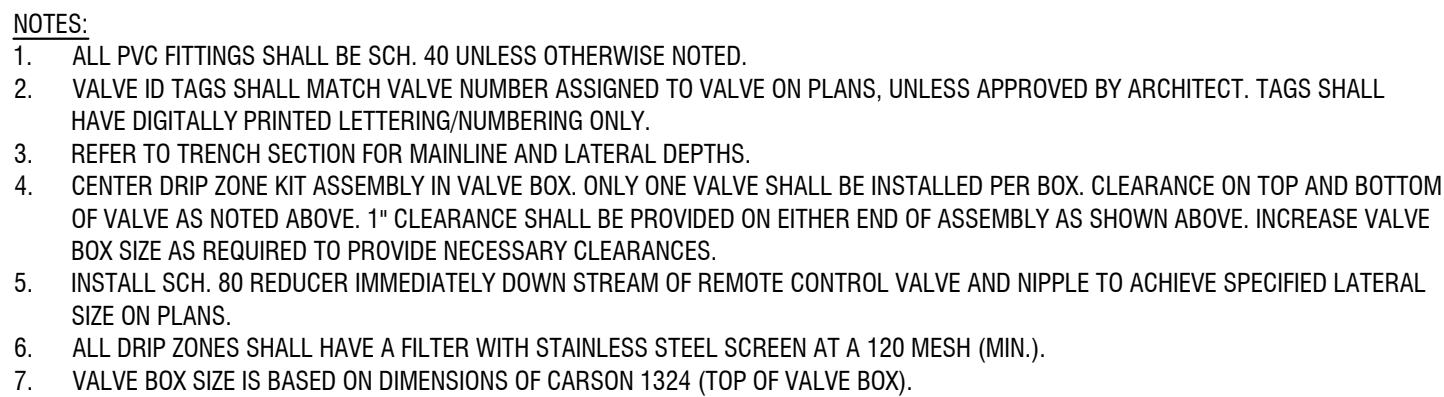
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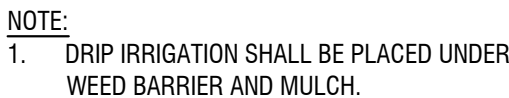
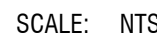
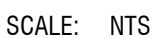
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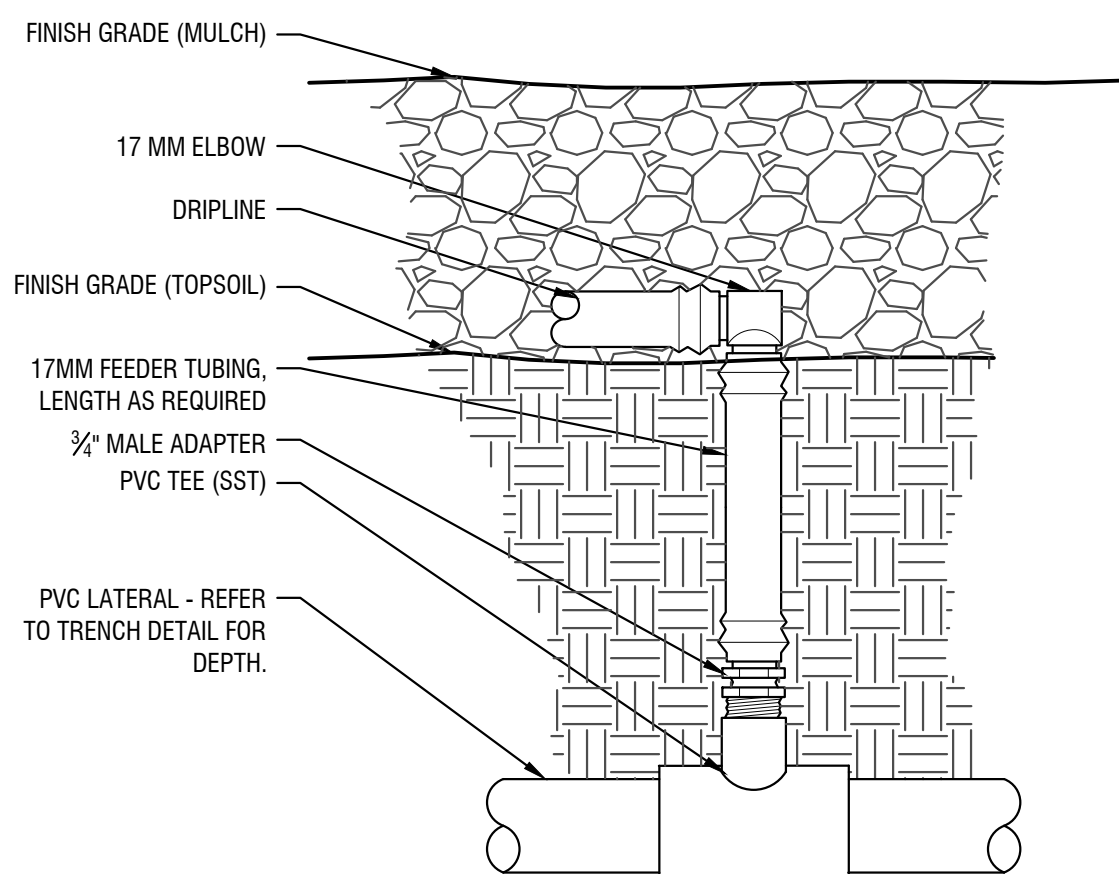
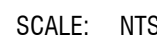
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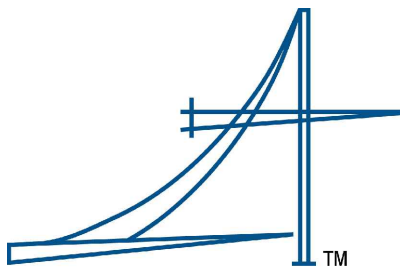


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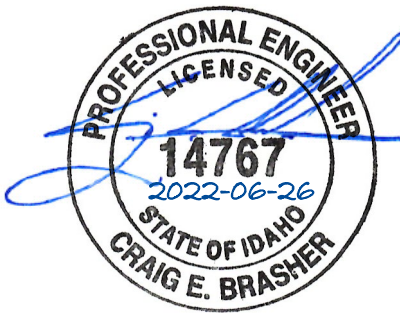


SCALE: NTS





Ally Structural Consulting, LLC
www.allystructural.com
208-949-5993
PROJECT: 21-041



Pedestrain Bridge
Riverside Hotel
2900 W Chinden Blvd
Garden, City 83714

GENERAL STRUCTURAL NOTES (G.S.N.)

GENERAL

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY. THESE STRUCTURAL DRAWINGS ARE INTENDED TO PRESENT SUFFICIENT DIMENSIONS TO INDICATE MAJOR PLAN SIZES AND TO LOCATE PRIMARY STRUCTURAL COMPONENTS. THE CONTRACTOR SHALL COORDINATE LOCATION OF SECONDARY ELEMENTS RELATED TO OTHER DISCIPLINES. USE DETAILS MARKED "TYPICAL" WHEREVER APPLICABLE. CHANGES, OMISSIONS OR SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. REFER TO SPECIFICATIONS FOR FURTHER REQUIREMENTS. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE (IBC), ASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, AND THE ASHTO LRFD GUIDE SPECIFICATIONS FOR THE DESIGN OF PEDESTRIAN BRIDGES. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

SHOP DRAWINGS

SHOP DRAWINGS ARE TO BE CHECKED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING FOR STRUCTURAL REVIEW. ANY REQUEST FOR MODIFICATION TO THE DRAWINGS MUST BE SUBMITTED IN WRITING. THIS MAY BE ACCOMPLISHED THROUGH THE SHOP DRAWINGS ONLY IF THE CHANGE IS CLEARLY REPRESENTED, CLOUDED AND NOTED AS BEING A REQUESTED CHANGE REQUIRING THE STRUCTURAL ENGINEER APPROVAL. CHANGES TO THE DRAWINGS BY WAY OF THE SHOP DRAWINGS THAT ARE NOT CLEARLY NOTED AS STATED ABOVE, DO NOT CONSTITUTE AN AUTHORIZED CHANGE EVEN THOUGH THE DRAWINGS HAVE BEEN STAMPED WITH THE STRUCTURAL ENGINEER REVIEW STAMP. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF DIMENSIONS AND DETAILS FOR EACH SUBCONTRACTOR.

SHOP DRAWINGS SHALL INCLUDE PLANS AND DETAILS AS NECESSARY TO INDICATE UNDERSTANDING OF THE CONTRACT DOCUMENTS. ENSURE ADEQUATE COPIES OF SHOP DRAWINGS ARE SUBMITTED FOR THE CONTRACTOR, ARCHITECT, AND STRUCTURAL ENGINEER TO RETAIN ONE COPY EACH FOR THEIR FILES.

SHOP DRAWINGS ARE REQUIRED FOR THE FOLLOWING:

- * CONCRETE REINFORCING
- * STRUCTURAL STEEL
- * PRECAST CONCRETE

INFORMATIONAL SUBMITTALS

SUBMITTALS ARE TO BE CHECKED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING FOR STRUCTURAL REVIEW. SUBMITTALS SHALL INCLUDE CURRENT PRODUCT ICC/IAMPO REPORTS WHERE APPLICABLE AND INDICATED LOCATIONS OF USAGE FOR THE PRODUCT. ENSURE ADEQUATE COPIES OF SUBMITTALS ARE SUBMITTED FOR THE CONTRACTOR, ARCHITECT, AND STRUCTURAL ENGINEER TO RETAIN ONE COPY EACH FOR THEIR FILES.

INFORMATIONAL SUBMITTALS ARE REQUIRED FOR THE FOLLOWING:

- * CONCRETE MIX DESIGN

PRODUCT AND MATERIAL SUBSTITUTIONS

PRODUCTS AND MATERIALS ARE TO BE AS SPECIFIED IN THE CONTRACT DOCUMENTS. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER AND ARCHITECT.

DESIGN LOADS

LIVE LOAD	100 PSF
GROUND SNOW LOAD, P_g	20 PSF
MINIMUM SNOW LOAD, P_m	25 PSF
SNOW EXPOSURE FACTOR, C_e	1.0
IMPORTANCE FACTOR (SNOW), I_s	1.0
THERMAL FACTOR, C_t	1.2
RISK CATEGORY PER IBC	II

FOUNDATION

DESIGN ALLOWABLE SOIL BEARING PRESSURE = 3,000 PSF PER THE GEOTECHNICAL REPORT BY ATLAS. BOTTOM OF ALL FOOTINGS TO BEAR ON COMPETENT, NATIVE, INORGANIC, UNDISTURBED SOIL 1'-0" MINIMUM BELOW EXISTING GRADE OR COMPACTED STRUCTURAL FILL; REFER TO THE GEOTECHNICAL REPORT FOR MORE INFORMATION. EXTEND ALL EXTERIOR FOOTINGS 24" MINIMUM BELOW FINISHED GRADE. NO FOOTING SHALL BEAR HIGHER THAN A 1 VERTICAL TO 1.5 HORIZONTAL SLOPE ABOVE ANY EXCAVATION, EXISTING OR PLANNED. THERE SHALL BE 95% COMPACTION (ASTM D1557 MODIFIED PROCTOR DENSITY) OF ALL BACKFILL SOIL UNDER SLABS ON GRADE.

CAST-IN-PLACE CONCRETE

FOUNDATION WALLS, PIERS, EXPOSED CONCRETE SLABS, & FOOTINGS:

- * ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 4500 PSI
- * MAXIMUM SLUMP: 4" +/- 1"
- * MAXIMUM W/C RATIO: 0.45
- * AIR ENTRAINMENT: 6% +/- 1%
- * MAXIMUM AGGREGATE SIZE: ¾"

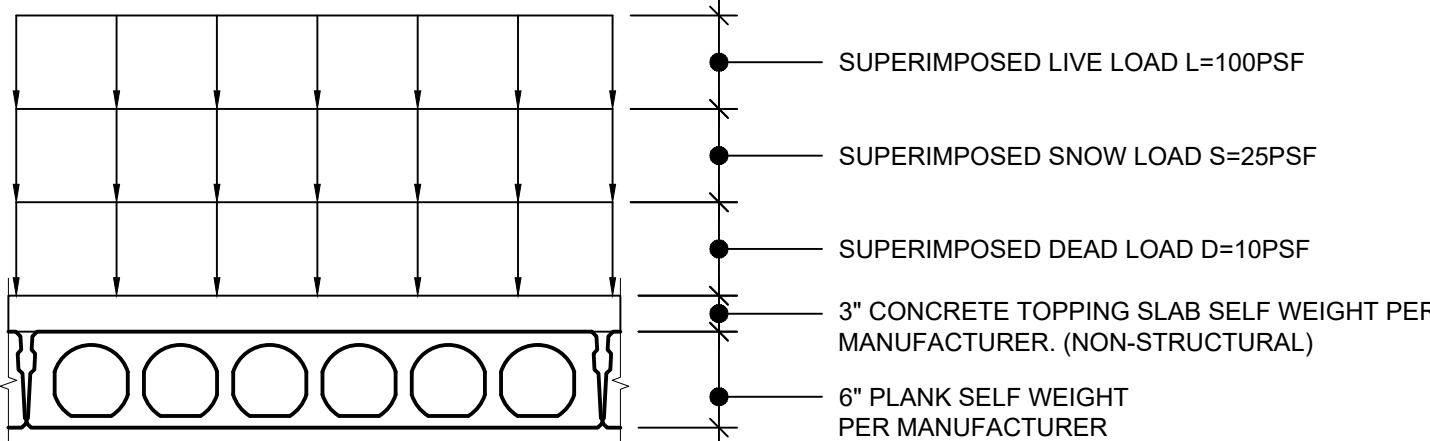
TOPPING SLABS:

- * ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 4500 PSI
- * MAXIMUM SLUMP: 4" +/- 1"
- * MAXIMUM W/C RATIO: 0.45
- * AIR ENTRAINMENT: 6% +/- 1%
- * MAXIMUM AGGREGATE SIZE: ¾"
- * FIBER-MESH REINFORCING: PER MFR.

CONSTRUCTION TO BE IN ACCORDANCE WITH ACI 318-14. REFER TO ACI 302.1R-04 FOR SLAB ON GRADE MIX DESIGN. LOCATION OF CONSTRUCTION OR POUR JOINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER IF DIFFERENT FROM THAT SHOWN ON PLANS.

PRESTRESSED CONCRETE PLANKS

CONCRETE IS TO ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS. PRE-TENSIONING STRANDS SHALL BE SEVEN WIRE, UNCOATED, STRESS RELIEVED, ASTM A416, GRADE 270. ALL EMBEDDED ITEMS SHALL BE SUPPLIED BY THE PRE-STRESS FABRICATOR. DESIGN FOR LOADS INDICATED BELOW IN ACCORDANCE WITH ACI 318-14 WITH LIVE LOAD DEFLECTION NOT TO EXCEED L/480. SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION. THE CALCULATIONS AND DRAWINGS SHALL BE STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IDAHO.



REINFORCING STEEL

WELDED WIRE REINFORCING: ASTM A82 AND A185.
DEFORMED BARS: ASTM A615, GRADE 40 FOR #3; GRADE 60 FOR #4 & LARGER; ASTM A706 FOR WELDED CONDITIONS.

LAP SPLICES (HORIZONTAL AND VERTICAL STEEL)

- * CONCRETE: 52-BAR DIA. FOR BEAMS, COLUMNS, RETAINING AND ABOVE-GRADE WALLS FOR #6 & SMALLER. 40-BAR DIA. OTHER, UNLESS NOTED OTHERWISE FOR #6 & SMALLER.

WELDED WIRE FABRIC SPLICES: WIRE SPACING + 2".

CONCRETE COVER:

UNLESS OTHERWISE NOTED ON THESE DRAWINGS, UTILIZE THE FOLLOWING CLEAR EMBEDMENT AT REINFORCING BARS VALUES FOR CAST-IN-PLACE, NON-PRE-STRESSED CONCRETE TYPICALLY:

CONCRETE CAST AGAINST SOIL = 3".
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER = 2"
SLAB ON GRADE = 1-1/2".

USE ONLY A706 STEEL FOR ALL WELDED REINFORCING. SECURELY TIE ALL REINFORCING IN PLACE WITH DOUBLE ANNEALED 16-GAUGE IRON WIRE OR APPROVED CLIPS. SUBMIT SHOP DRAWINGS OF REINFORCING STEEL FOR REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION.

GROUT AND EPOXY ADHESIVES

NON-SHRINK GROUT: "MASTERFLOW 928" AS MANUFACTURED BY BASF BUILDING SYSTEMS OR APPROVED EQUIVALENT.

EPOXYADHESIVES: FOR INSTALLATION IN CONCRETE:

SIMPSON "SET-3G"

STRUCTURAL AND MISC. STEEL

WIDE FLANGE SHAPES: ASTM A588, F_y = 50 KSI MINIMUM.

CHANNELS, ANGLES, PLATES AND BARS: ASTM A588, F_y = 50 KSI MINIMUM.

HOLLOW STRUCTURAL SHAPES (HSS): ASTM A588, F_y = 58 KSI (RECTANGULAR SECTIONS).

PIPE: ASTM A53 OR A501, F_y = 35 KSI MINIMUM.

BOLTS: ASTM A325 HIGH STRENGTH BOLTS (H.S.B.) UNLESS NOTED AS ASTM A307 MACHINE BOLTS (M.B.). WHERE HIGH STRENGTH BOLTS ARE USED, THEY SHALL BE INSTALLED WITH LOAD INDICATOR DEVICES (LOAD INDICTOR WASHERS OR SNAP-OFF HEADS). WHERE AN OVERSIZED OR SHORT SLOTTED HOLE OCCURS IN AN OUTER PLY OF ANY CONNECTION, A HARDENED WASHER SHALL BE USED.

ANCHOR BOLTS (A.B.): ASTM F1554, GRADE 36 KSI EXCEPT 105KSI AT HUB BASE PLATE. PROVIDE DOUBLE NUT FOR LEVELING AT HUB AND BEAM BASE PLATES.

EPOXY ANCHORS: CARBON STEEL THREADED ANCHOR RODS CONFORMING TO ASTM A307 GRADE C, OR ASTM A193 GRADE B7; OR STAINLESS STEEL THREADED ANCHOR RODS CONFORMING TO ASTM F593, ALLOY GROUP 1, TYPE 304, CONDITION CW. INSTALL RODS USING APPROPRIATE EPOXY ADHESIVE FOR THE BASE MATERIAL ACCORDING TO THE "GROUT AND EPOXY ADHESIVE" SECTION ABOVE.

DEFORMED BAR ANCHORS (D.B.A.): ASTM A496, F_y = 70 KSI, ATTACHED WITH NELSON STUD GUN OR ASTM A706, F_y = 60 KSI END WELDED WITH 3/16" FILLET ALL-AROUND.

POWDER DRIVEN FASTENERS (PDF): FOR ATTACHMENT TO CONCRETE AND STRUCTURAL STEEL, 0.157"Ø SIMPSON "PDPA" (ESR 2138) OR APPROVED EQUIVALENT.

WELDING ELECTRODES OR WIRES: AWS A5.1 OR A5.5, E70XX; AWS A5.18, E70S-X; AWS A5.20, E7XT-X.

ERECTION AND FABRICATION: IN ACCORDANCE WITH AISC "SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". WELDING SHALL CONFORM TO AWS "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION". ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS. ALL COLUMNS AND BEAMS TO BE FROM UN-SPLICED LENGTHS UNLESS NOTED OTHERWISE ON THE DRAWINGS. SUBMIT SHOP DRAWINGS SHOWING SIZES, DIMENSIONS AND REQUIRED CONNECTION DETAILS FOR REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION.

FIELD WELDS: WELDING OF STRUCTURAL STEEL SHALL BE PERFORMED IN THE SHOP WHENEVER PRACTICAL. AN EFFORT HAS BEEN MADE TO INDICATE WELDS THAT CAN BE OR SHOULD BE FIELD WELDED. IT IS, HOWEVER, THE FABRICATORS RESPONSIBILITY TO DECIDE WHERE AND HOW THE WELDING IS TO BE ACCOMPLISHED TO ACHIEVE THE INTENDED RESULT.

COMPLETE JOINT PENTRATION WELD (C.J.P.): PROVIDE BACKER BARS, RUN OFF TABS, AND ACCESS HOLES PER AWS D1.1. BACKER BARS SHALL BE REMOVED AFTER WELDING. THE ROOT WELD BACK GOUGED AND REPAIRED IF NECESSARY AND REINFORCED WITH A FILLET. RUN OFF TABS SHALL BE REMOVED AFTER WELDING WITH THE FLANGE EDGE GROUND SMOOTH.

DEFERRED SUBMITTAL ITEMS

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW. DEFERRED SUBMITTAL ITEMS INCLUDE:

- * PRECAST CONCRETE

THESE ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN: 1) REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN BY THE ARCHITECT AND STRUCTURAL ENGINEER, AND 2) APPROVED BY THE BUILDING OFFICIAL.

SPECIAL STRUCTURAL INSPECTIONS

THE OWNER SHALL EMPLOY A SPECIAL INSPECTION SERVICE TO PERFORM INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF THE 2018 INTERNATIONAL BUILDING CODE. INSPECTION REPORTS FOR THE ITEMS LISTED IN THE SPECIAL INSPECTION TABLES SHALL BE FURNISHED TO THE STRUCTURAL ENGINEER OF RECORD IN A TIMELY MANNER. INSPECTION REPORTS SHALL INDICATE THAT WORK INSPECTED WAS DONE IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES THAT ARE NOT CORRECTED SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK. A FINAL REPORT DOCUMENTING THE REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED TO THE OWNER AND STRUCTURAL ENGINEER OF RECORD.

TABLE 2
1705.3 CONCRETE CONSTRUCTION

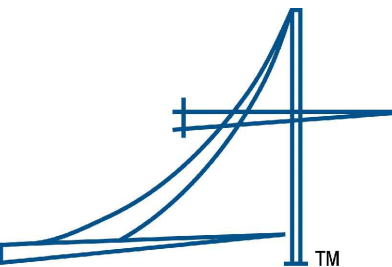
<u>YES</u>	<u>NO</u>	<u>MATERIAL/ACTIVITY</u>	<u>CONTINUOUS</u>	<u>PERIODIC</u>
X		1. INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS, AND PLACEMENT.		X
X		2. INSPECTION OF REIFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1705.2.2 ITEM 2B.		
	X	3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED PER SECTION 1908.5 OR WHERE STRENGTH DESIGN IS USED.		X
X		4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.		X
X		5. VERIFY USE OF REQUIRED DESIGN MIX		X
X		6. AT THE TIME OF FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	
	X	7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECH-NIQUES.	X	
X		8. INSPECTION FOR MAINTENANCE OF SPECI ED CURING TEMPERATURE AND TECHNIQUES.		X
X		9. INSPECTION OF PRESTRESSED CONCRETE:		
X		A. APPLICATION OF PRESTRESSING FORCES	X	
X		B. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM	X	
X		10. ERECTION OF PRECAST CONCRETE MEMBERS.		X
	X	11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUC-TURAL SLABS.		X
X		12. INSPECTION OF FORMWORK FOR SHAPE, LINES, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.		X

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Date PlottedSunday, June 25 2002 at 04:48 PM

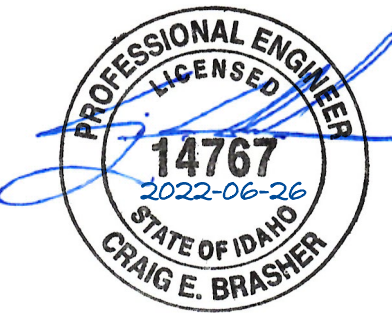
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Last Printed: 10/12/2021 10:10:10 AM

TABLE 3 1705.2.1 STRUCTURAL STEEL				
YES	NO	MATERIAL/ACTIVITY	CONTINUOUS	PERIODIC
WELDING: (AISC360) TABLE C-N5.4-1 INSPECTION TASKS PRIOR TO WELDING				
X		1. WELDING PROCEDURE SPECIFICATIONS WPSs AVAILABLE	X	
X		2. MANUFACTURER CERTIFICATION FOR WELDING CONSUMABLES AVAILABLE	X	
X		3. MATERIAL IDENTIFICATION (TYPE/GRADE)		X
X		4. WELDER IDENTIFICATION SYSTEM		X
X		5. FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY)		X
		A. JOINT PREPARATION		
		B. DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL)		
		C. CLEANLINESS (CONDITION OF STEEL SURFACE)		
		D. TACKING (TACK WELD QUALITY AND LOCATION)		
		E. BACKING TYPE AND T (IF APPLICABLE)		
X		6. CONFIGURATION AND FINISH OF ACCESS HOLES		X
X		7. FIT-UP FOR FILLET WELDS		X
		A. DIMENSIONS (ALIGNMENT, GAPS AT ROOT)		
		B. CLEANLINESS (CONDITION OF STEEL SURFACES)		
		C. TACKING (TACK WELD QUALITY AND LOCATION)		
X		8. CHECK WELDING EQUIPMENT		X
WELDING: (AISC360) TABLE C-N5.4-2 INSPECTION TASKS DURING WELDING				
X		1. USE OF QUALIFIED WELDERS		X
X		2. CONTROL AND HANDLING OF WELDING CONSUMABLES		X
		A. PACKAGING		
		B. EXPOSURE CONTROL		
X		3. NO WELDING OVER CRACKED TACK WELDS		X
X		4. ENVIRONMENTAL CONDITIONS		X
		A. WIND SPEED WITHIN LIMITS		
		B. PRECIPITATION AND TEMPERATURE		
X		5. WPS FOLLOWED		X
		A. SETTING ON WELDING EQUIPMENT		
		B. TRAVEL SPEED		
		C. SELECTED WELDING MATERIALS		
		D. SHIELDING GAS TYPE/ OW RATE		
		E. PREHEAT APPLIED		
		F. INTERPASS TEMPERATURE MAINTAINED (MIN/MAX)		
		G. PROPER POSITION (F, V, H, OH)		

X		6. WELDING TECHNIQUES		X
		A. INTERPASS AND FINAL CLEANING		
		B. EACH PASS WITHIN PROFILE LIMITATIONS		
		C. EACH PASS MEETS QUALITY REQUIREMENTS		
WELDING: (AISC360) TABLE C-N5.4-3 INSPECTION TASKS AFTER WELDING				
X		1. WELDS CLEANED		X
X		2. SIZE, LENGTH AND LOCATION OF WELDS	X	
X		3. WELDS MEET VISUAL ACCEPTANCE CRITERIA	X	
		A. CRACK PROHIBITION		
		B. WELD/BASE-METAL FUSION		
		C. CRATER CROSS SECTION		
		D. WELD PROFILES		
		E. WELD SIZE		
		F. UNDERCUT		
		G. POROSITY		
X		4. ARC STRIKES	X	
	X	5. K-AREA	X	
X		6. BACKING REMOVED AND WELD TABS REMOVED IF REQUIRED	X	
X		7. REPAIR ACTIVITIES	X	
X		8. DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT MEMBER	X	
BOLTING: (AISC360) TABLE C-N5.6-1 INSPECTION TASKS PRIOR TO BOLTING				
X		1. MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	X	
X		2. FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS		X
X		3. PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS TO BE EXCLUDED FROM SHEAR PLANE)		X
X		4. PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL		X
X		5. CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS		X
X		6. PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED	X	
X		7. PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS AND OTHER FASTENER COMPONENTS		X
BOLTING: (AISC360) TABLE C-N5.6-2 INSPECTION TASKS DURING BOLTING				
X		1. FASTENER ASSEMBLIES OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED		X
	X	2. JOINT BROUGHT TO SNUG TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION		X
X		3. FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING		X
	X	4. FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH A METHOD APPROVED BY RSCE AND PROGRESSING SYSTEMATICALLY FROM MOST RIGID POINT TOWARD FREE EDGES		X
BOLTING: (AISC360) TABLE C-N5.6-3 INSPECTION TASKS AFTER BOLTING				
X		1. DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	X	



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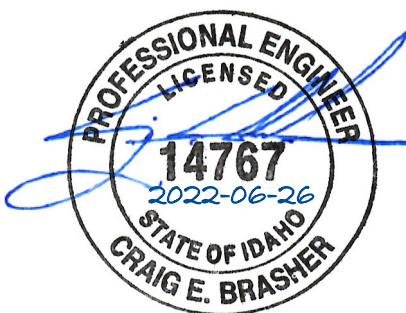
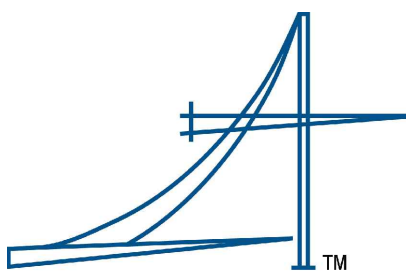
Pedestrain Bridge
Riverside Hotel
2900 W Chinden Blvd
Garden, City 83714

Revisions	
1.	

Project No.: 115154.18
Date of Issuance: 10/12/2021
Project Milestone: 100% DD

Special Inspections

S1.3



**Pedestrian Bridge
Riverside Hotel**
2900 W Chinden Blvd
Garden, City 83714

Revisions
1.

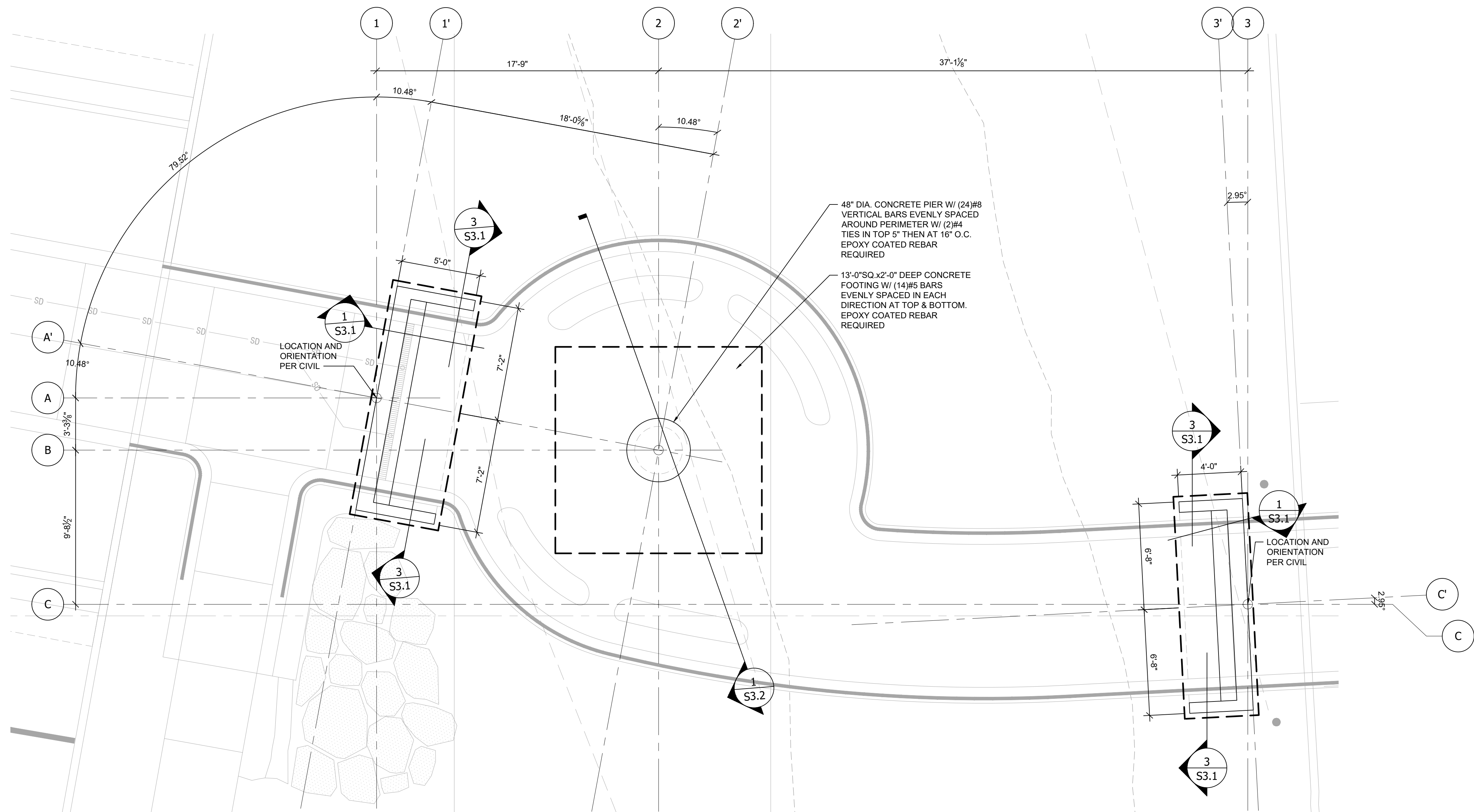
Project No.:	115154.18
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Project Milestone:	100% DD

Structural Plan

S2.1

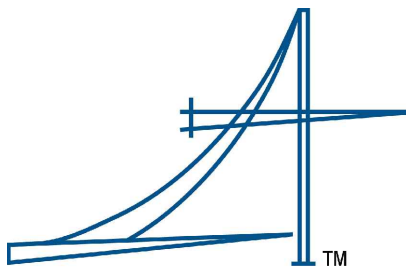
PLAN NOTES

- FOR GENERAL STRUCTURAL NOTES SEE S1.1

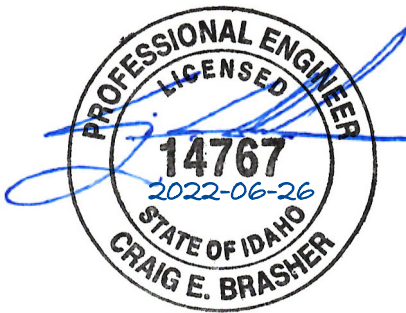


1 FOUNDATION PLAN

Scale: 1/4"=1'-0"



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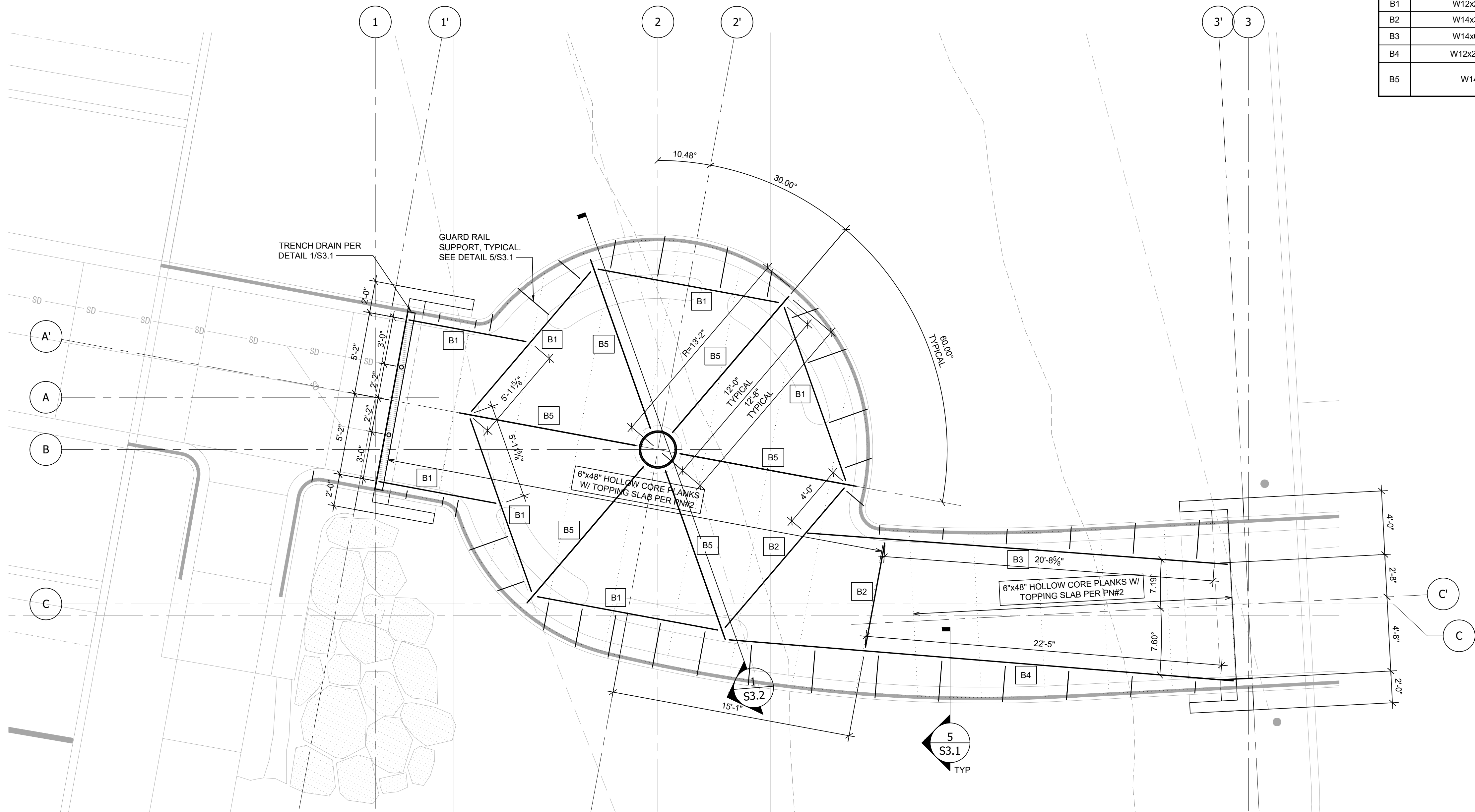


PLAN NOTES

- FOR GENERAL STRUCTURAL NOTES SEE S1.1
- 3" TOPPING SLAB W/ D5xD5 13x13 W.W.R. AT MID DEPTH ATOP WATER PROOF MEMBRANE. SEE DETAIL 5/S3.1. PROVIDE A SLAB JOINT DRAWING FOR REVIEW WITH JOINTS COORDINATED WITH PLANK EDGES.

BEAM SCHEDULE

MARK	SIZE & TYPE	NOTES
B1	W12x26 STEEL	TYPICAL PERIMETER BEAM
B2	W14x34 STEEL	AT LONG SPAN BEAMS
B3	W14x68 STEEL	CAMBER = $\frac{5}{8}"$
B4	W12x210 STEEL	CAMBER = $\frac{5}{8}"$
B5	W14x14-30	BUILT-UP, TAPERED GIRDER SEE DETAIL 9/S3.1



1 FRAMING PLAN

Scale: 1/4"=1'-0"

THE LAND GROUP
115154.18
10/12/2021
100% DD

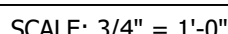
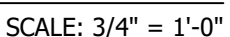
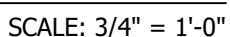
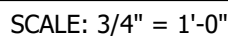
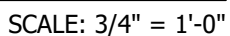
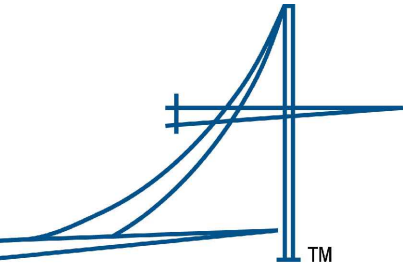
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Revisions
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Project Milestone: 100% DD

Structural Plan

S2.2



**2900 W Chinden Blvd
Garden, City 83714**

Project No.:	115154.18
Date of Issuance:	10/12/2021
Project Milestone:	100% DD

Structural Details

S3.1

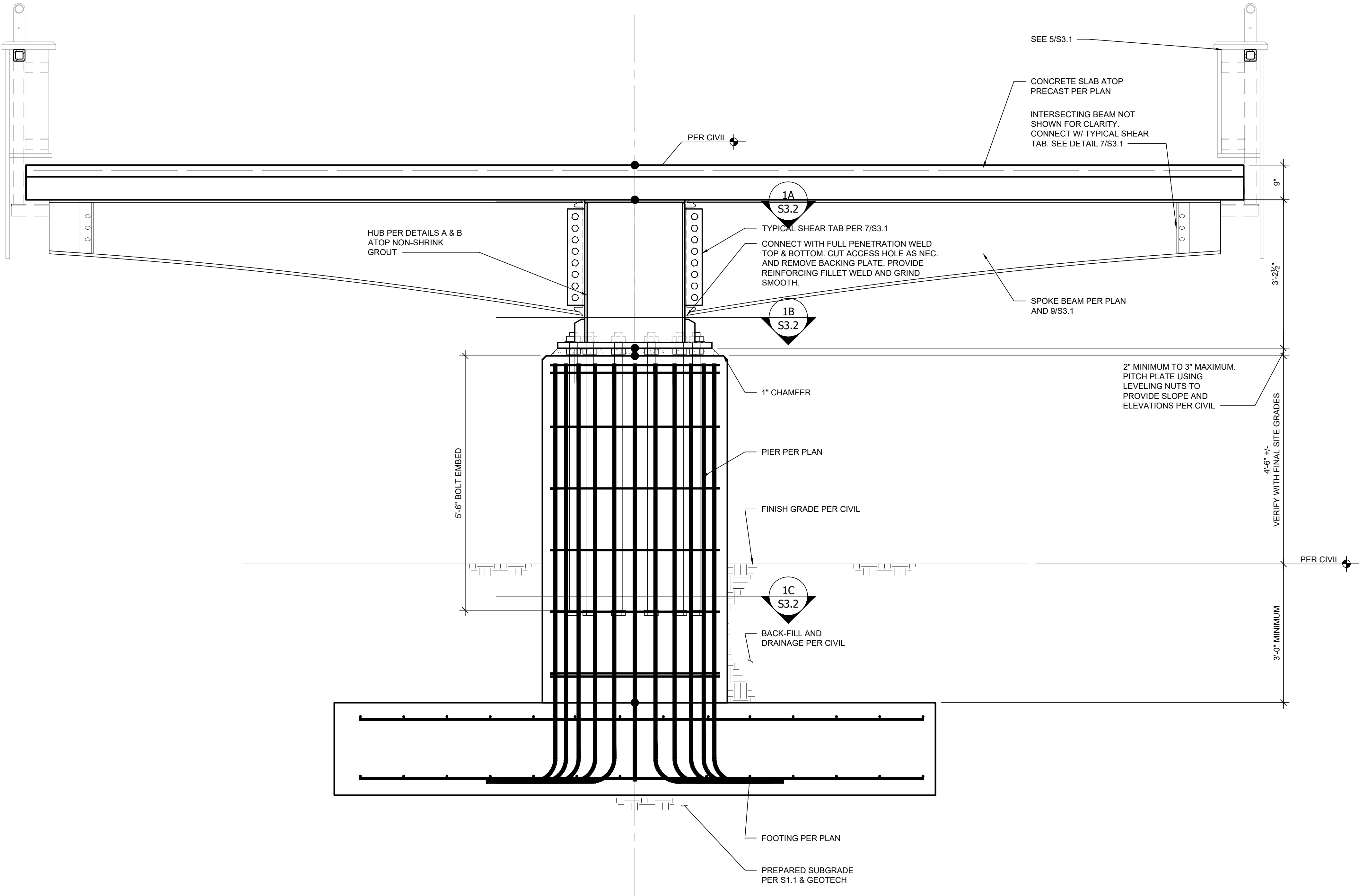
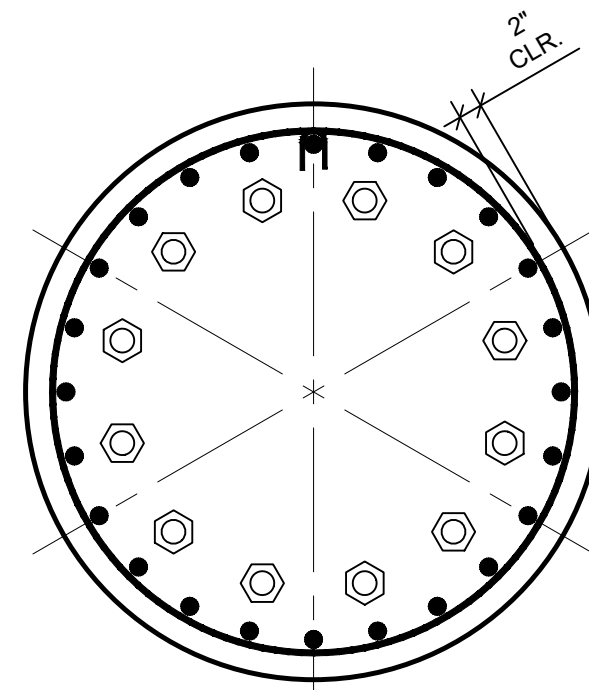
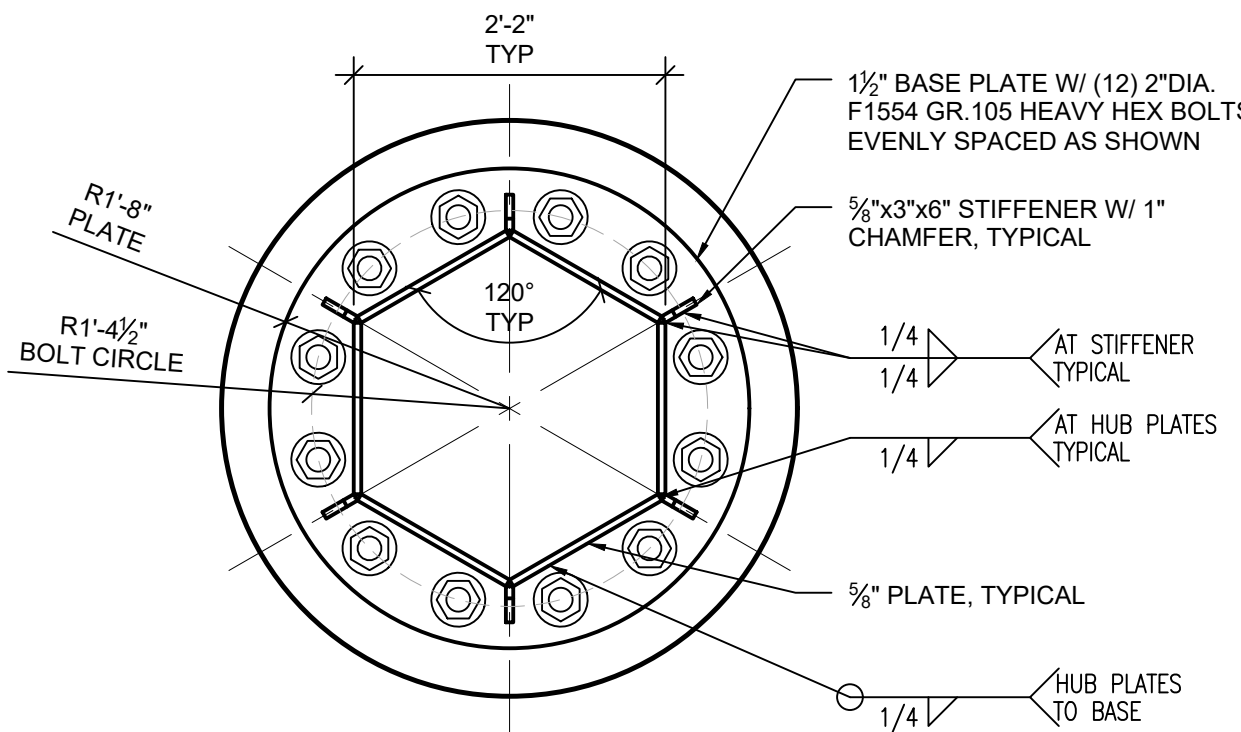
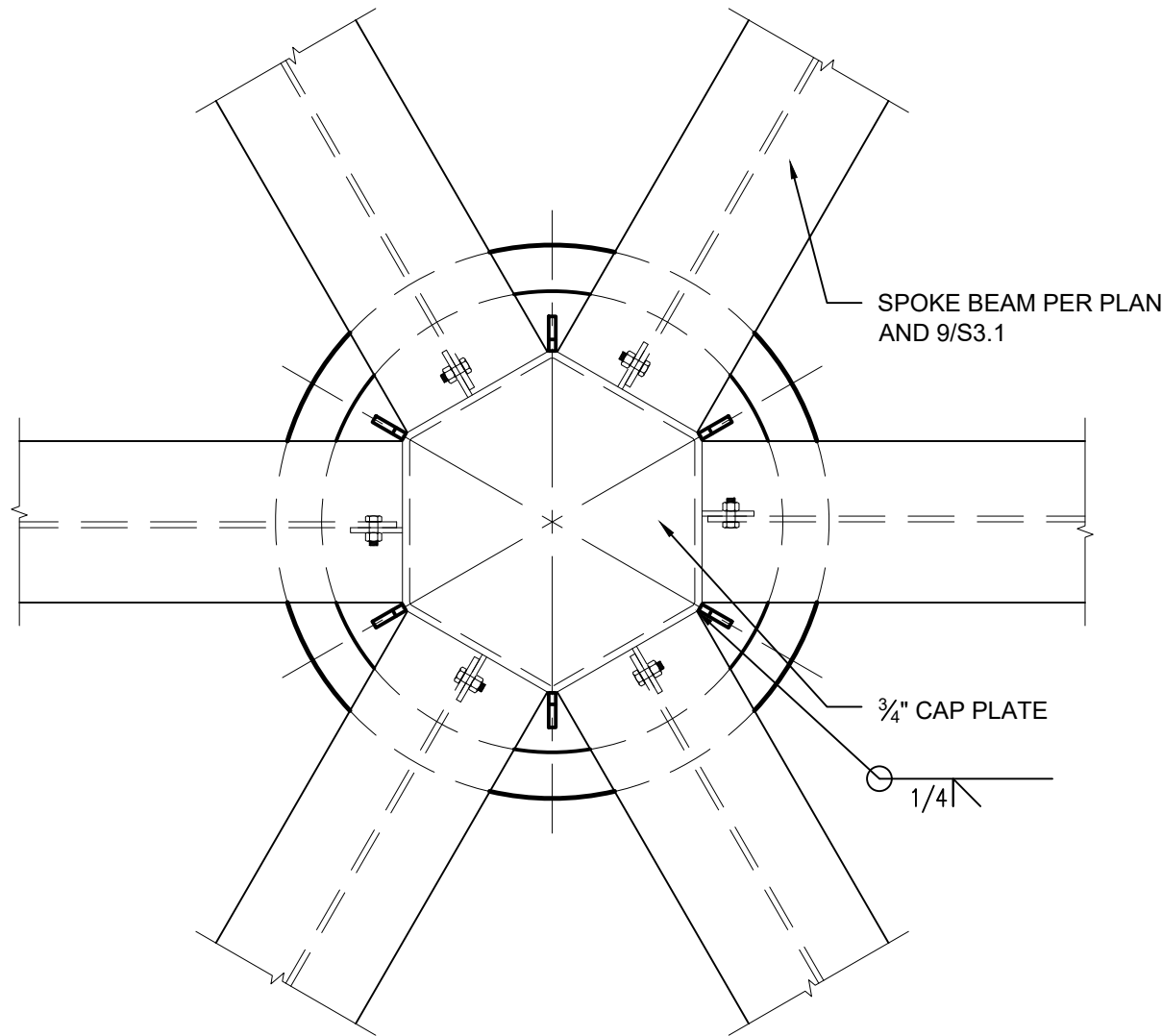
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1.	

Project No.: 115154.18
Date of Issuance: 10/12/2021
Project Milestone: 100% DD

Structural Details

S3.2



NOTE: REINFORCING BAR SHALL BE EPOXY COATED

1 SECTION AT HUB

SCALE: 3/4" = 1'-0"