

September 7, 2023

Via E-mail: building@gardencityidaho.org

Ms. Hanna Veal
Development Services Department
City of Garden City
6015 Glenwood Street
Garden City, ID 83714

Re: Chinden Distillery and Bar
3100 West Chinden Boulevard
Garden City, Idaho
Project No. 22037.000/Design Review No. DSRFY2023-0007

Dear Ms. Veal:

Please see below for our responses to the Design Review Report and Decision received on August 28, 2023, for the above-referenced project:

AGENCY COMMENT

Republic Services

1. **Agency Comment:** "Not enough information about trash enclosures. If the service yard will be used, then another plan need be found."

Response: See the attached revised site plan indicating trash enclosure location and additional trash enclosure design information.

CODE AND POLICY REVIEW

8-4A-3 Fences and Walls

2. **Plan Review Comment:** "Design and functionality discussion is encouraged."

Response: Design for the decorative fence will be similar to existing fencing on The Riverside Hotel site. See image below.



8-4A-5 Outdoor Service and Equipment Areas

3. **Plan Review Comment:** "There does not appear to be a clear, and direct pathway from Bardenay to the trash enclosure they intend to utilize. There was no lighting plan submitted showing that the intended pathway is clearly lit for safe travel."

Response: See the attached trash enclosure design information.

8-4C-3 Design Provisions for Nonresidential Structures

4. **Plan Review Comment:** "Objective 1: First floor facades visible from a public street should include surfaces in windows, showcases, displays, or pedestrian access elements for a minimum of 15% of the façade. Details of glazing percentage were not provided. Additional glazing may be required to meet minimum code standards. A large part of the glazing provided along Chinden frontage is near the roofline, not at street level."

Response: See attached calculation documenting the 15 percent glazing compliance. All glass is located on the first floor. The zoning ordinance does not say the windows need to be at pedestrian level. South facing windows will cause high heat gain and glare and the owner does not want more than the minimum.

Plan Review Comment: "Objective 1: No blank walls should front a public street. The western façade, while not directly facing a public street, is visible from both W. Chinden Blvd. and 32nd Street. This façade appears to be blank, there is however a plant trellis along the wall closest to W. Chinden."

Response: The west elevation is not blank. It has a substantial strip of landscaping in front of a 6 foot high decorative fence and the building form above the decorative fence has a variety of finish materials and interesting roof lines. The building wall steps back at the kitchen and has screen walls to block the view of mechanical equipment. We don't agree with changing the west elevation or adding glazing.

Plan Review Comment: "Objective 3: Buildings shall be designed and constructed of quality materials. Code discourages metal siding as a primary building material. The proposal contains metal paneled siding."

Response: In addition to stucco and board and batten siding, three different types of metal siding are used with variations in scale, texture and color to give interest to the building.

Plan Review Comment: "Objective 6: The site development should support and be consistent with the adopted streetscape. The existing curb cuts along W. Chinden will be required to be removed/filled in."

Response: Chinden curb cuts will be re-curbed and are shown to be re-curbed on the plans.

8-4D-3 Parking Design and Improvement Standards

5. **Plan Review Comment:** "Osage has been vacated by ACHD. This section of Osage, however, is still identified as a public pedestrian and bicycle pathway system. The design of the parking area shall minimize the trespass of lights. It is also not apparent if the parking lot is installing curb or other separations between Osage and the parking stalls."

Response: See the attached draft design for the Osage Street parcel including zoning required landscaping to screen distillery-bar parking.

8-4G Sustainable Development Provisions

6. **Plan Review Comment:** "The development is required to provide 18 points."

Response: The development is proposing a total of 18 points, including the following:

- A.1 (4 points) – The project is located within 1/4 mile walking distance of a public transit stop.
- A.4 (1 point) – Employees are provided a no cost membership in a car share or vanpool program.
- A.5 (1 point) – Incentives are provided for employees who carpool or use alternative transportation to get to work.
- A.6 (2 points) – Bike parking is provided that exceeds the standard set forth in Section 8-4D-5.
- A.7 (4 points) – Pedestrian pathway or bike trails are dedicated for public use.

Ms. Hanna Veal
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- B.1 (1 point) – A dedicated area for collection and storage of recyclables is provided.
- D.3 (2 points) – A drip irrigation system is used.
- E.3 (1 point) – A stormwater infiltration and retention system is provided on the site.
- F.3 (2 points) – The development footprint is located in the footprint of previous impervious surface area.

8-4I-4 Landscaping Provisions for Specific Uses

7. **Plan Review Comment:** “Discrepancies between what the applicant stated and what the plans show. Plans show 4,836sqft of landscaping, vs. what was stated at 5,006sqft.”

Response: We will confirm the landscaped area, excluding areas for setback or perimeter landscaping, and revise the calculations. One additional tree will be added to West Chinden Boulevard frontage.

8-4I-6 Parking Lot Landscaping Provisions

8. **Plan Review Comment:** “Internal shade trees shall be provided at a minimum ratio of one tree planted for every five (5) parking spaces supplied.”

Response: One additional tree will be added to the plans.

This concludes our response to the Design Review Report and Decision comments. If you have questions or require additional information, please let us know. We appreciate your assistance in this process.

Sincerely,

CSHQA, INC.



David A. Blenker
Project Manager

DB:tc

Attachments

September 7, 2023

Via E-mail: planning@gardencityidaho.org

Mr. Derek Hurd
Development Services Department
City of Garden City
6015 Glenwood Street
Garden City, ID 83714

Re: Chinden Distillery and Bar
3100 West Chinden Boulevard
Garden City, Idaho
Project No. 22037.000/Design Review No. DSRFY2023-0007

Dear Mr. Hurd:

Please see below for our responses to the design review consultation comments dated August 16, 2023, for the above-referenced project:

1. **Design Review Comment:** “Building does not address Chinden.”

Response: This comment is not specific enough to respond to but may relate to other comments below that do have a detailed response.

2. **Design Review Comment:** “Is 31st street vacated as well as Osage? Provide ACHD documentation for vacations.”

Response: Yes, both streets have been vacated and the documentation to support this is attached.

3. **Design Review Comment:** “If 31st isn’t vacated, ACHD isn’t likely to allow the bulb out.”

Response: Refer to the response to Item 2 above.

4. **Design Review Comment:** “Vacated parcels should be developed as part of this newly acquired property. Curb/gutter/detached sidewalk on both sides. Street trees both sides of both streets.”

Response: The vacated street parcels are owned by The Riverside Hotel property owner. Parcels included in this development are also owned by The Riverside Hotel property owner. The Riverside Hotel property owner is going through a multi-year strategy to upgrade and redevelop all of its property and parking lots. This project includes improvements to the west side of the vacated 31st Street parcel, however, the Riverside Hotel property owner is not upgrading the east side of the 31st Street parcel at this time. Refer to responses related to Osage Street in Comments Nos. 5 and 6 below.

5. **Design Review Comment:** "Osage street seems to be active traffic and open to the public still. Site plan does not show perimeter landscaping at Osage including street trees. If Osage is to be developed as a landscaped pedestrian and bike path, this application needs to propose that plan."

Response: See the attached draft design for the Osage Street parcel including zoning-required landscaping to screen distillery-bar parking. This design will be submitted as a separate development application.

6. **Design Review Comment:** "Visually screen parking areas from Osage. Check setback of parking from 31st."

Response: See the attached draft design for the Osage Street parcel including zoning-required landscaping to screen distillery-bar parking.

7. **Design Review Comment:** "If the corner of Chinden and 31st is a "plaza", note and show plaza amenities."

Response: See the attached updated site plan with the following noted amenities: bicycle racks, benches, decorative paving and 100 square feet or more of landscaping.

8. **Design Review Comment:** "Texture change for sidewalk crossing of drive aisle."

Response: A texture change for the sidewalk crossing of the drive aisle has been added to the design.

9. **Design Review Comment:** "15% glazing on west elevation. Blank Walls."

Response: The west elevation is facing the adjacent property and there is nothing in the design guidelines that requires glazing on side walls of buildings adjacent to other properties. Functions within the building's west elevation are kitchen and distillery production areas - windows and are not desirable in this location. The west elevation will have direct sunlight and glare through windows both of which are undesirable. It is not energy efficient or good sustainable design practice to put windows in walls purely for an exterior aesthetic effect when they service no functional purpose. In addition, we would prefer to put windows where people spend more time enjoying the view or natural light that windows provide. The west elevation is not flat and blank. It has a substantial strip of landscaping in front of a 6 foot high decorative fence and the building form above the decorative fence has a variety of finish materials and interesting roof lines. The building wall steps back at the kitchen and has screen walls to block the view of mechanical equipment. We disagree with changing the west elevation or adding glazing.

10. **Design Review Comment:** "North elevation. Why not showcase production through pedestrian scale windows at the blank walls?"

Response: The space outside the north wall is a parking lot. There are not people in this area to enjoy the view into the distillery. There will also be storage of materials along the inside of the north wall of the distillery that will block view of the production space and distillery equipment. It is critically important to layout the production area with function as the highest priority and this creates limited opportunities for visual alignment. We are maximizing view of the distillery space from the covered patio, bar and dining areas where the most people will be present to enjoy the view of the space. We do not plan to add any windows to the north wall of the building where it abuts the parking lot.

11. Design Review Comment: “Where is the dumpster enclosure? Materials?”

Response: The dumpster enclosure is on The Riverside Hotel property. It is existing. Refer to the attached updated site plan and draft cross access agreement for the distillery-bar to use The Riverside Hotel dumpster.

12. Design Review Comment: “North caged service area fence specs/height.”

Response: The fence shall be (1) steel post and rail with corrugated steel infill panels, and (2) six feet high and painted.

13. Design Review Comment: “Detached sidewalk on 31st”

Response: 31st Street has been vacated. Refer to the above responses to Item Nos. 2, 4 and 6. Since it is no longer a street, the sidewalk will be designed in compliance with a sidewalk passing through a parking lot on a common property.

14. Design Review Comment: “Chinden roof mechanicals should be 100% invisible with parapet wall.”

Response: We will update the height of the parapet wall to screen equipment with the top of parapet equal to or greater than the tallest piece of equipment.

15. Design Review Comment a: “8-4C-3: First Floor facades 15% glazing.”

Response: See attached calculation documenting the 15 percent glazing compliance. The zoning ordinance does not say the windows need to be at pedestrian level. South facing windows will cause high heat gain and glare and the owner does not want more than the minimum.

Design Review Comment b: “No blank walls – Chinden facades feel blank, not pedestrian friendly or scaled. Needs more street level fenestration.”

Response: Facades on West Chinden Boulevard have a number of features including windows, green wall trellis features, branding artwork and a variety of finishes, textures and offset planes that make the Chinden facing elevation inviting and human-scaled as presented in the three-dimensional (3-D) views included in the submittal. There is also a larger setback that is required to accommodate the

existing 24 inch below grade irrigation pipe easement, therefore, we have a more substantial landscape design that helps break up the wall plan. Pedestrians will be far enough away from the wall that added fenestrations will not be beneficial to them.

Design Review Comment c.i: "Primary Entrance: The building closest to the street should have its primary entrance to the street and be clearly defined by the architectural design of the building."

Response: This building will attract many customers from The Riverside Hotel and the intent of the design is to orient the entry to both West Chinden Boulevard and The Riverside Hotel. Vacated 31st Street is designed to resemble a street frontage and serve as a primary entrance into the site for this and other buildings that will be built in the future. This design creates a street corner plaza and the building entry points face the plaza. Per the response to Comment No. 7 above, we will be adding amenities to enhance the plaza. The owner prefers not to move the building entrance.

Design Review Comment c.ii: "Primary Entrance: The primary entrance of all buildings should provide a covered pedestrian open space such as a building recess, an awning, canopy or marquee."

Response: The entry has a projecting roof line that serves as a canopy over the entrance.

Design Review Comment c.iii: "Primary Entrance: Pedestrian amenities should be provided at the entrance including a minimum of one hundred (100) square feet of landscaping, outdoor seating, plazas, courtyards, public art, fountains, special paving, bicycle racks, transit stop."

Response: Per the response to Comment No. 7 above, we will be adding amenities to enhance the plaza.

Design Review Comment d: "Building Orientation: Buildings should be oriented to a prominent feature, such as a corner location, a plaza, a street or the river. Buildings and site design should provide inviting entry orientation. Buildings should not turn their backs to the street. – Chinden blvd. is forgotten in this design."

Response: We disagree with the comment that "Chinden blvd. is forgotten in this design." We have landscaping, windows, wall trellis features, branding artwork and a variety of finishes, textures, offset planes and other features that make the Chinden facing elevation inviting and human scaled as presented in the 3-D views included in the submittal. This building will attract many customers from The Riverside Hotel and the intent of the design is to orient the entry to both West Chinden Boulevard and The Riverside Hotel. Vacated 31st Street is designed to resemble a street frontage and serve as a primary entrance into the site for this building and other buildings that will be built in the future. This design creates a street corner plaza and the building entry points face the plaza. Per our response to Comment No. 7 above, we will be adding amenities to enhance the plaza. The owner prefers not to move the building entrance.

16. Design Review Comment: "Discuss Chinden multi-use pathway size/location."

Response: We are willing to discuss the multi-use pathway size and location. We have had previous discussions on this topic with Garden City planning and zoning staff but no formal plan has been agreed to by the owner of this property, adjacent landowners or Garden City planning and zoning staff. Without a full commitment by all stakeholders, we can't move forward with a design for a multi-use pathway.

17. Design Review Comment: "Chinden curb cuts should be re-curbed."

Response: West Chinden Boulevard curb cuts will be re-curbed and are shown to be re-curbed on the plans.

18. Design Review Comment: "Chinden facing mechanicals should have architecturally integrated screening (walls & features, not fences)"

Response: We will design a screen wall (*matching exterior building walls*) to hide the walk-in cooler unit that is currently screened by a fence.

This concludes our response to the design review consultation comments. If you have questions or require additional information, please let us know. We appreciate your assistance in this process.

Sincerely,

CSHQA, INC.



David A. Blenker
Project Manager

DB:tc

Attachments

RESOLUTION NUMBER 2301

AUTHORIZING AN ABANDONMENT/VACATION OF PUBLIC RIGHT-OF-WAY BY AND BETWEEN THE ADA COUNTY HIGHWAY DISTRICT AND THE RIVERSIDE HOSPITALITY LLC. AND RIVER CITY ANNEX LLC, WITH OTHER CONSIDERATIONS BETWEEN THE PARTIES.

WHEREAS, by its Resolution Number 2301 adopted and approved at its regular meeting held on June 23, 2021, the Ada County Highway District Commission, in accordance with the requirements of *Idaho Code*, section 40-1309 and 40-203, found that Public Right of Way known as 31st Street and Osage Alley abutting the Riverside Hospitality LLC and River City Annex LLC adjacent properties, Garden City, Idaho Vacation to Riverside Hospitality LLC and River City Annex LLC, located in the Section 05, Township 3 North, Range 2 East of the Boise Meridian, Garden City, Ada County, Idaho. Riverside Hospitality LLC 31st Street Containing 0.189 acres (8,250 SF) and Osage Alley Containing 0.051 acres (2,250 SF). River City Annex LLC Containing 0.051 acres (2,242 SF) particularly described in Exhibit "A" s (hereinafter "subject public right-of-way") was no longer useful to ACHD and set a public hearing before the Commission for 12:00 PM, on June 23, 2021, at which time any person could appear to show cause why the subject public right-of-way should not be abandoned/vacated.

WHEREAS, in accordance with *Idaho Code*, sections 40-203 and 40-1309, the Commission does hereby make the following findings of fact and conclusions of law:

FINDINGS OF FACT:

1. Date of Application: *January 7, 2021*.
2. Upon the filing of a petition by the Petitioner for the abandonment/vacation of the subject public right-of-way, the following organizations and agencies were notified on April 21, 2021.
 - A. Ada County Highway District Staff members.
 - B. All appropriate local agencies and utilities were contacted, and comments requested.
3. On *May 19, 2021*, a public hearing date was set by the Board of Commissioners for *June 23, 2021*. *The hearing was opened and deferred until July 14, 2021*.
4. Following the filing of the petition for the abandonment/vacation of the subject public right-of-way parcel, property owners within 600 feet of the subject public right-of-way were notified by mail on *May 20, 2021*, of the time, date, and place of the public hearing.
5. In accordance with Idaho law, a Notice of Public Hearing was published in the Idaho Press Tribune a daily newspaper published in Canyon County, Idaho, on the *June 8th, 9th and 16th, 2021*, and an affidavit of publication was received by the Ada County Highway District and is on file in the office of the Right-of-Way Department.
6. Any and all comments received from the *April 21, 2021* notification of Ada County Highway District Staff members and all applicable local agencies are on file in the office of the Right-of-Way Department and are included within the Public Hearing staff memo dated *June 10, 2021*.
7. Any and all comments received from those property owners of real property within 600 feet of the subject public right-of-way are on file in the office of the Right-of-Way Department and are included within the Public Hearing staff memo of dated *July 6, 2021*.
8. The Vacated property is Riverside Hospitality LLC 31st Street Containing 0.189 acres (8,250 SF) and Osage Alley Containing 0.051 acres (2,250 SF) and River City Annex LLC Containing 0.051 acres (2,242 SF) more or less. At the public hearing on Wednesday, July 14, 2021, oral

RESOLUTION 2301 – AUTHORIZING AN ABANDONMENT/VACATION OF PUBLIC RIGHT-OF-WAY BY AND BETWEEN THE ADA COUNTY HIGHWAY DISTRICT AND RIVERSIDE HOSPITALITY LLC AND RIVER CITY ANNEX LLC, WITH OTHER CONSIDERATIONS BETWEEN THE PARTIES

and or written testimony was presented and at the conclusion of which President Kent Goldthorpe, closed the public hearing for testimony. After discussion, the Commission found the abandonment/vacation is in the public's best interest and voted to approve the abandonment/vacation to Riverside Hospitality LLC and River City Annex LLC.

CONCLUSIONS OF LAW:

It is the opinion of the Board of Commissioners of the Ada County Highway District, per President Kent Goldthorpe, Vice-President, Dave McKinney, Jim D. Hansen, Mary May and Alexis Pickering, Commissioners, that the subject public right-of-way is no longer needed by the Ada County Highway District and that it is the best interest of the traveling public, the adjacent property owners, and the Ada County Highway District that the abandonment/vacation of right-of-way known as 31st Street and Osage Alley abutting the Riverside Hospitality LLC and River City Annex LLC adjacent properties, Garden City, Idaho, Vacation to Riverside Hospitality LLC and River City Annex LLC, located in the Section 05, Township 3 North, Range 2 East of the Boise Meridian, Garden City, Ada County, Idaho. Riverside Hospitality LLC 31st Street Containing 0.189 acres (8,250 SF) and Osage Alley Containing 0.051 acres (2,250 SF). River City Annex LLC Containing 0.051 acres (2,242 SF) more or less. And more particularly described in Exhibit "A" s be approved and the subject public right-of-way be abandoned/Vacated.

NOW, THEREFORE, BE IT RESOLVED, pursuant to *Idaho Code* section 40-203 and 40-1309 that the proposed abandonment/vacation of the public right-of-way is hereby authorized, and ACHD staff is hereby directed to negotiate a value, and on such other terms and conditions as are appropriate, and that the President of the Commission and the Director be, and are hereby, authorized and directed to execute on behalf of the Ada County Highway District appropriate quitclaim deeds for the abandoned/vacated subject public right-of-way, subject to the following:

Retention of public and private utility easements, drainage easements, irrigation easements and/or other easements of record or not of record or in use upon or under said described public right-of-way and/or the provisions for the relocation or replacement of existing facilities.

Costs associated with relocation or replacement of existing easements and facilities shall be borne by the Petitioner with approval of the applicable utility or agency.

ADOPTED AND APPROVED by the Board of Commissioners of the Ada County Highway District at its regular meeting held on this 14 day of July 2021.

ADA COUNTY HIGHWAY DISTRICT
BOARD OF COMMISSIONERS:

By: Kent Goldthorpe
Kent Goldthorpe, President

By: Dave McKinney
Dave McKinney, Vice-President

By: absent
Jim D. Hansen, Commissioner

By: Mary May
Mary May, Commissioner

By: Alexis Pickering
Alexis Pickering, Commissioner

ATTEST:

Bruce S. Wong, Director
STATE OF IDAHO

County of Ada)

On this 14th day of July, 2021, before me, Stacey L. Spencer a notary public in and for said State, personally appeared Bruce S. Wong, Director, and President, Kent Goldthorpe, Vice-President, Dave McKinney, Commissioners, Jim D. Hansen, Mary May and Alexis Pickering, known to me to be the Board of Commissioners, respectively, of the Ada County Highway District and that they executed this instrument on behalf of said Highway District for the purposes therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.

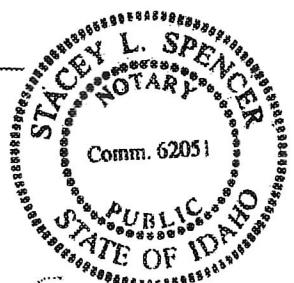
Notary Public for the State of Idaho

Residing at Boise, Idaho August 13, 2025

My Commission Expires: _____

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

RESOLUTION 2301 - AUTHORIZING AN ABANDONMENT/VACATION OF PUBLIC RIGHT-OF-WAY BY AND BETWEEN THE ADA COUNTY HIGHWAY DISTRICT AND RIVERSIDE HOSPITALITY LLC AND RIVER CITY ANNEX LLC, WITH OTHER CONSIDERATIONS BETWEEN THE PARTIES



February 26, 2020
Project No.: 115154

EXHIBIT "A"

ALLEY RIGHT-OF-WAY VACATION DESCRIPTION

The alley (Osage Alley) adjacent to Lot 31, 32, 33, and 34 of Block 38 of said Fairview Acres Subdivision No. 5. Bounded by a line extended from the east corner of Lot 32 to the south corner of Lot 31 of said Block 38, and a line extended from the north corner of Lot 34 to the west corner of Lot 31 of said Block 38 of said Fairview Acres Subdivision No. 5.

The above described parcel contains 2,242 square feet more or less.

Exhibit "B" is attached hereto and made a part thereof.

PREPARED BY:
The Land Group, Inc.

James R. Washburn



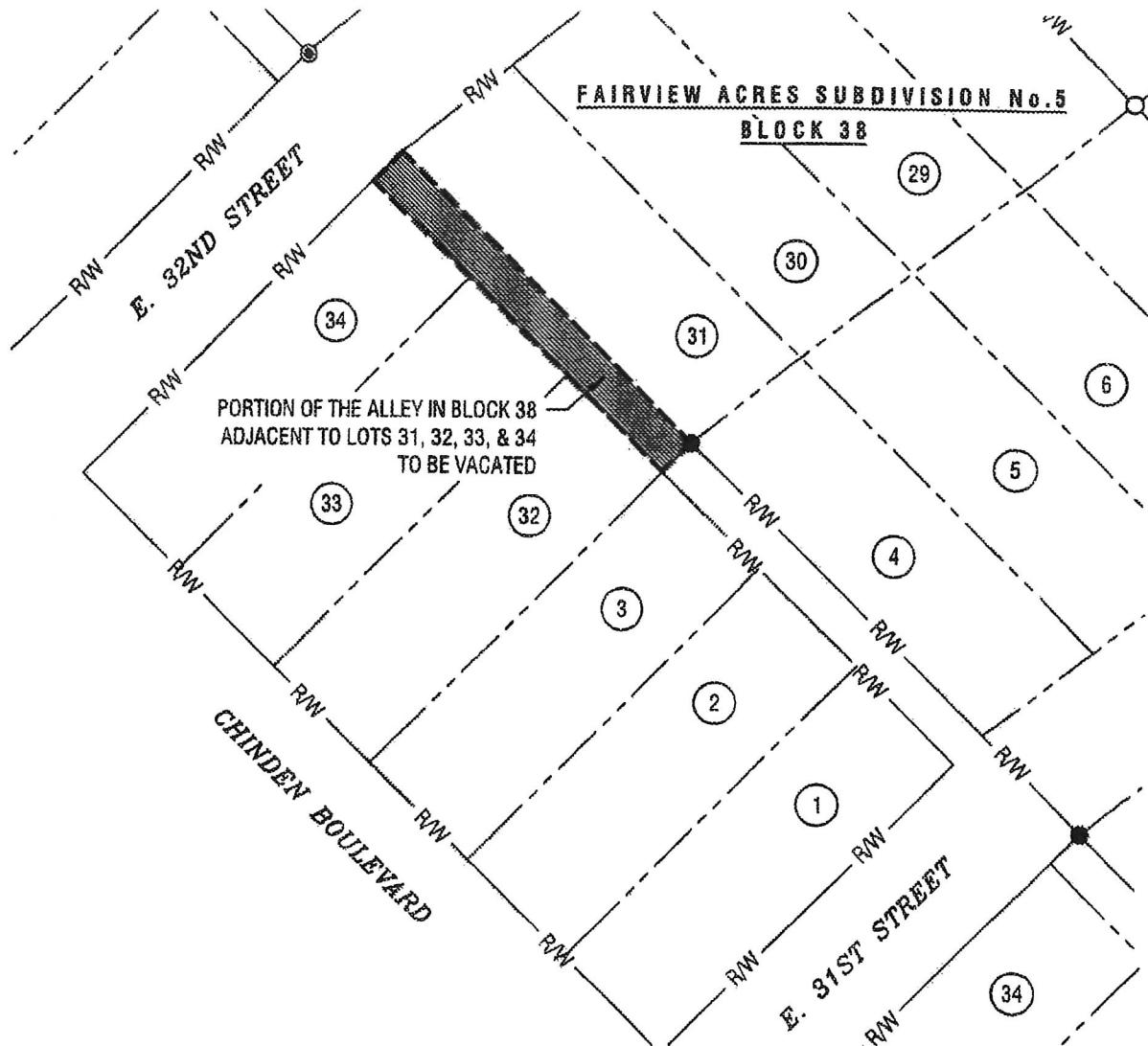


Exhibit "B"

Horizontal Scale: 1" = 60'

0 60' 120'

Project No.: 115154
Date of Issuance: 02/26/2020



LEGAL DESCRIPTION

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October 10, 2019
Project No.: 115154

EXHIBIT "A"

RIVERSIDE HOTEL
31st STREET AND OSAGE ALLEY RIGHT-OF-WAY VACATION DESCRIPTION

A public right-of-way vacation being a portion of East 31st Street and a portion of the alley right-of-way located in Block 38 of Fairview Acres Subdivision No. 5, as same is shown on the Plat thereof recorded in Book 11 of Plats at Page 619 of Ada County Records, all being located in the Southeast Quarter of the Southeast Quarter of Section 5, Township 3 North, Range 2 East, Boise Meridian, City of Garden City, Ada County, Idaho, being more particularly described as follows:

31st Street Right-of-Way Vacation:

East 31st Street of said Fairview Acres Subdivision No. 5 bounded by the northerly right-of-way line of West Chinden Boulevard (formerly called U.S. 20-30 Highway) on the west, and the easterly right-of-way line of the Alley running through Block 38 and Block 40 of said Fairview Acres Subdivision No. 5.

The above described parcel contains 8,250 square feet more or less.

Osage Alley Right-of-Way Vacation:

The alley (Osage Alley) adjacent to all of Lot 4 and Lots 1, 2 and 3 of Block 38 of said Fairview Acres Subdivision No. 5. Bounded by a line extended from the northwest corner of Lot 3 to the southwest corner of Lot 4 of said Block 38, and a line extended from the northeast corner of Lot 1 to the southeast corner of Lot 4 of said Block 38 of said Fairview Acres Subdivision No. 5.

The above described parcel contains 2,250 square feet more or less.

Exhibit "B" is attached hereto and made a part thereof.

PREPARED BY:
The Land Group, Inc.

James R. Washburn



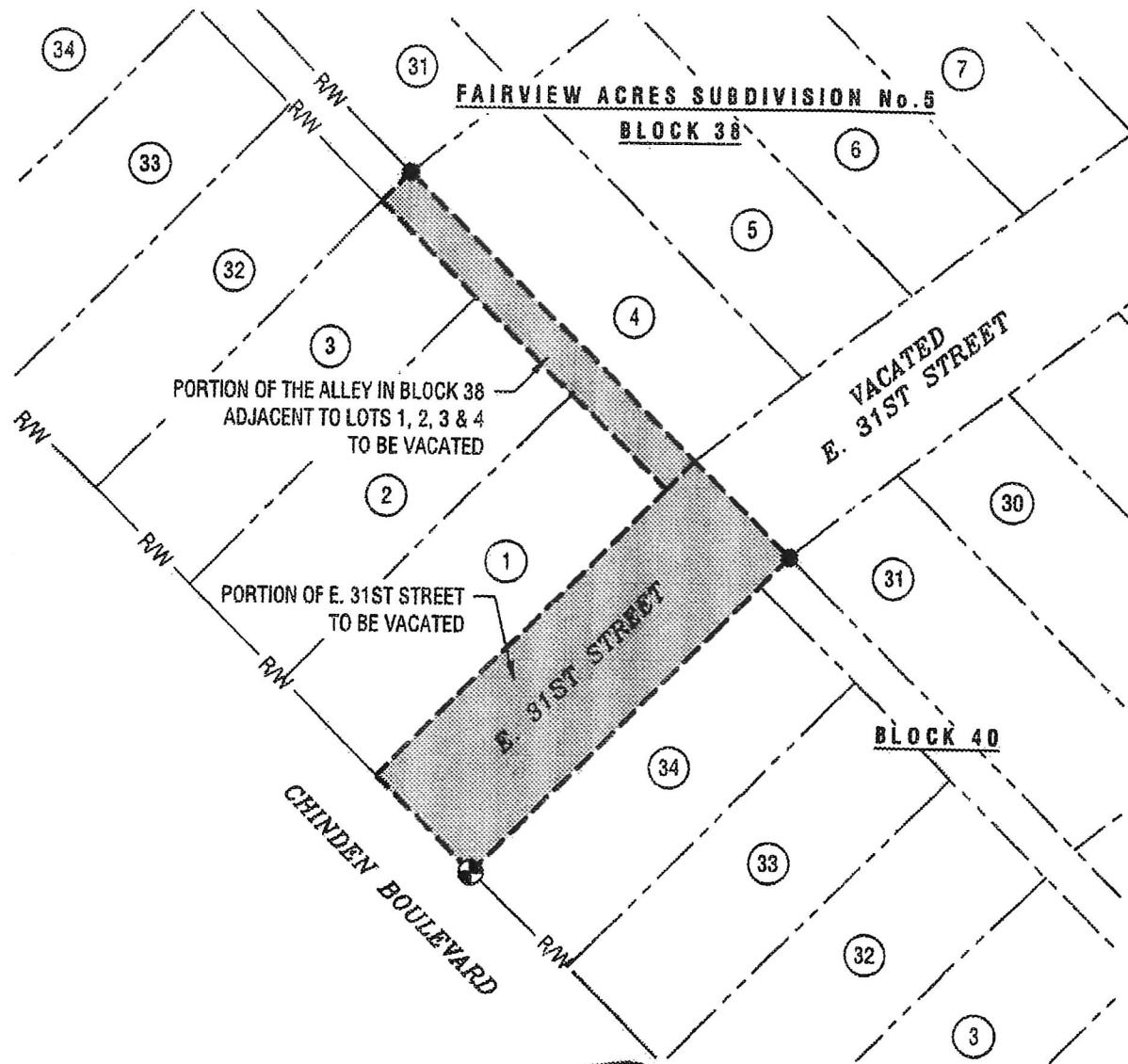


Exhibit "B"

Horizontal Scale: 1" = 60'

0 60' 120'
Project No.: 115154
Date of Issuance: 10/11/2019

Resolution No.: 2301
Township/Range/Section: T3N, R2E, Section 05

QUITCLAIM DEED CONVEYING PUBLIC RIGHT-OF-WAY

THIS INDENTURE, made this 14th day of July, 2021, ADA COUNTY HIGHWAY DISTRICT, a body politic and corporate of the State of Idaho, the "GRANTOR", and the RIVERSIDE HOSPITALITY LLC, the "GRANTEE";

W I T N E S S E T H:

FOR VALUE RECEIVED, GRANTOR does by these presents convey, remise, release and forever quitclaim unto GRANTEE all right, title and interest of GRANTOR in the real property situated in the COUNTY OF ADA, STATE OF IDAHO, as more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof (hereinafter the "Right-of-Way").

SUBJECT TO easements of record, statutory rights of utilities and districts to be in the public right-of-way which rights are being exercised in the Right-of-Way as of the date of this Indenture (for sewer, gas, water or similar pipelines and their appurtenances, for electrical and telephone lines and for irrigation and drainage ditches), and subject to licenses for telecommunications lines which are in place in the Right-of-Way as of the date of this Indenture. GRANTEE is responsible for costs of any relocation or replacement of such pipelines, lines and ditches. Pedestrian access will be maintained across this parcel for access to the Greenbelt.

TO HAVE AND TO HOLD the same unto the GRANTEE and to its successors and assigns forever.

The current address of GRANTEE is:

RIVERSIDE HOSPITALITY LLC
2900 W. Chinden Blvd.
Garden City, ID 83714

OR

P.O. Box 8506
Boise, ID 83707

IN WITNESS WHEREOF, this Quitclaim Deed has been duly executed by and on behalf of GRANTOR this 14th day of July, 2021.

ADA COUNTY HIGHWAY DISTRICT

By Kent Goldthorpe
Kent Goldthorpe, President

Attest:

Bruce S. Wong
Bruce S. Wong, Director
Paul Daigle, Chief of Staff

State of Idaho)
) ss.
County of Ada)

On this 14th day of July, in the year 2021, before me, a Notary Public in and for the State of Idaho, personally appeared Kent Goldthorpe, known or identified to me to be the President of the Board of Commissioners of the Ada County Highway District, and Bruce S. Wong, known or identified to me to be the Director of the Ada County Highway District, the persons who executed this instrument on behalf of said Highway District for the purposes therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above-written.

Stacey L. Spencer
Notary Public for the State of Idaho
Residing at Boise, Idaho
My Commission expires August 13, 2025





LEGAL DESCRIPTION

Page 1 OF 1

October 10, 2019
Project No.: 115154

EXHIBIT "A"

RIVERSIDE HOTEL 31st STREET AND OSAGE ALLEY RIGHT-OF-WAY VACATION DESCRIPTION

A public right-of-way vacation being a portion of East 31st Street and a portion of the alley right-of-way located in Block 38 of Fairview Acres Subdivision No. 5, as same is shown on the Plat thereof recorded in Book 11 of Plats at Page 619 of Ada County Records, all being located in the Southeast Quarter of the Southeast Quarter of Section 5, Township 3 North, Range 2 East, Boise Meridian, City of Garden City, Ada County, Idaho, being more particularly described as follows:

31st Street Right-of-Way Vacation:

East 31st Street of said Fairview Acres Subdivision No. 5 bounded by the northerly right-of-way line of West Chinden Boulevard (formerly called U.S. 20-30 Highway) on the west, and the easterly right-of-way line of the Alley running through Block 38 and Block 40 of said Fairview Acres Subdivision No. 5.

The above described parcel contains 8,250 square feet more or less.

Osage Alley Right-of-Way Vacation:

The alley (Osage Alley) adjacent to all of Lot 4 and Lots 1, 2 and 3 of Block 38 of said Fairview Acres Subdivision No. 5. Bounded by a line extended from the northwest corner of Lot 3 to the southwest corner of Lot 4 of said Block 38, and a line extended from the northeast corner of Lot 1 to the southeast corner of Lot 4 of said Block 38 of said Fairview Acres Subdivision No. 5.

The above described parcel contains 2,250 square feet more or less.

Exhibit "B" is attached hereto and made a part thereof.

PREPARED BY:
The Land Group, Inc.

James R. Washburn



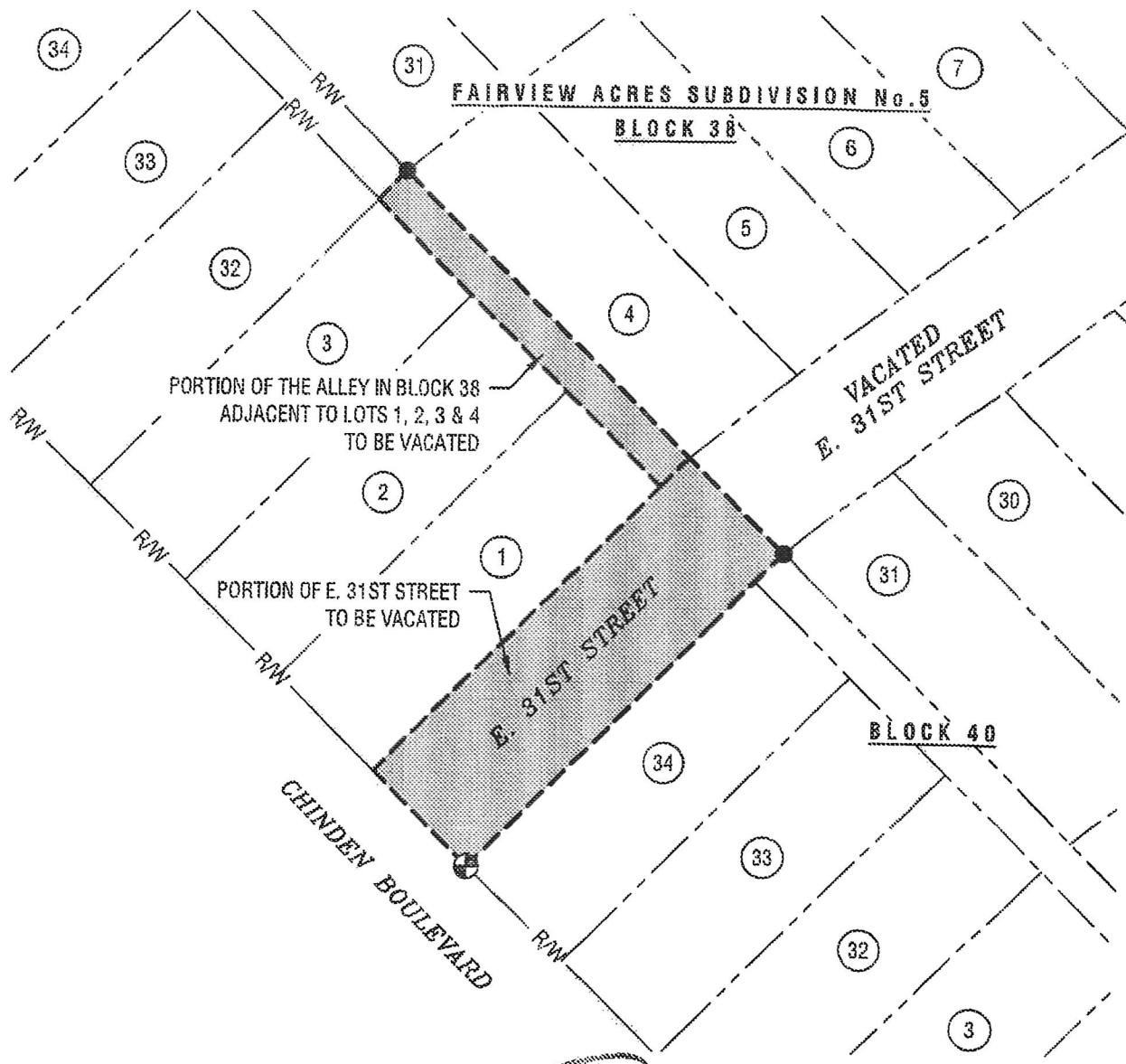


Exhibit "B"

Horizontal Scale: 1" = 60'

0 60' 120'

Project No.: 115154
Date of Issuance: 10/11/2019



ACHD Right-of-Way Vacation Riverside Hotel

1 of 1

Resolution No.: 2301
Township/Range/Section: T3N, R2E, Section 05

QUITCLAIM DEED CONVEYING PUBLIC RIGHT-OF-WAY

THIS INDENTURE, made this 14th day of July, 2021, ADA COUNTY HIGHWAY DISTRICT, a body politic and corporate of the State of Idaho, the "GRANTOR", and the RIVER CITY ANNEX LLC, the "GRANTEE";

WITNESSETH:

FOR VALUE RECEIVED, GRANTOR does by these presents convey, remise, release and forever quitclaim unto GRANTEE all right, title and interest of GRANTOR in the real property situated in the COUNTY OF ADA, STATE OF IDAHO, as more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof (hereinafter the "Right-of-Way").

SUBJECT TO easements of record, statutory rights of utilities and districts to be in the public right-of-way which rights are being exercised in the Right-of-Way as of the date of this Indenture (for sewer, gas, water or similar pipelines and their appurtenances, for electrical and telephone lines and for irrigation and drainage ditches), and subject to licenses for telecommunications lines which are in place in the Right-of-Way as of the date of this Indenture. GRANTEE is responsible for costs of any relocation or replacement of such pipelines, lines and ditches. Pedestrian access will be maintained across this parcel for access to the Greenbelt.

TO HAVE AND TO HOLD the same unto the GRANTEE and to its successors and assigns forever.

The current address of GRANTEE is:

RIVER CITY ANNEX LLC
2120 E. LANARK ST.
MERIDIAN, ID 83642

IN WITNESS WHEREOF, this Quitclaim Deed has been duly executed by and on behalf of GRANTOR this 14th day of July, 2021.

ADA COUNTY HIGHWAY DISTRICT

By Kent Goldthorpe
Kent Goldthorpe, President

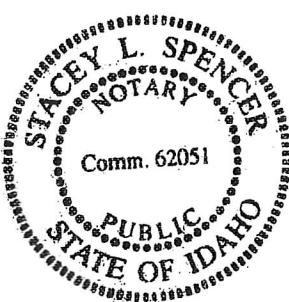
Attest:

Paul R. Day
Bruce S. Wong, Director
Paul Daigle, Chief of Staff

State of Idaho)
) ss.
County of Ada)

On this 14th day of July, in the year 2021, before me, Stacey L. Spencer, a Notary Public in and for the State of Idaho, personally appeared Kent Goldthorpe, known or identified to me to be the President of the Board of Commissioners of the Ada County Highway District, and Bruce S. Wong, known or identified to me to be the Director of the Ada County Highway District, the persons who executed this instrument on behalf of said Highway District for the purposes therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above-written.



Notary Public for the State of Idaho
Residing at Bonne, Idaho
My Commission expires August 13, 2025

February 26, 2020
Project No.: 115154

EXHIBIT "A"

ALLEY RIGHT-OF-WAY VACATION DESCRIPTION

The alley (Osage Alley) adjacent to Lot 31, 32, 33, and 34 of Block 38 of said Fairview Acres Subdivision No. 5. Bounded by a line extended from the east corner of Lot 32 to the south corner of Lot 31 of said Block 38, and a line extended from the north corner of Lot 34 to the west corner of Lot 31 of said Block 38 of said Fairview Acres Subdivision No. 5.

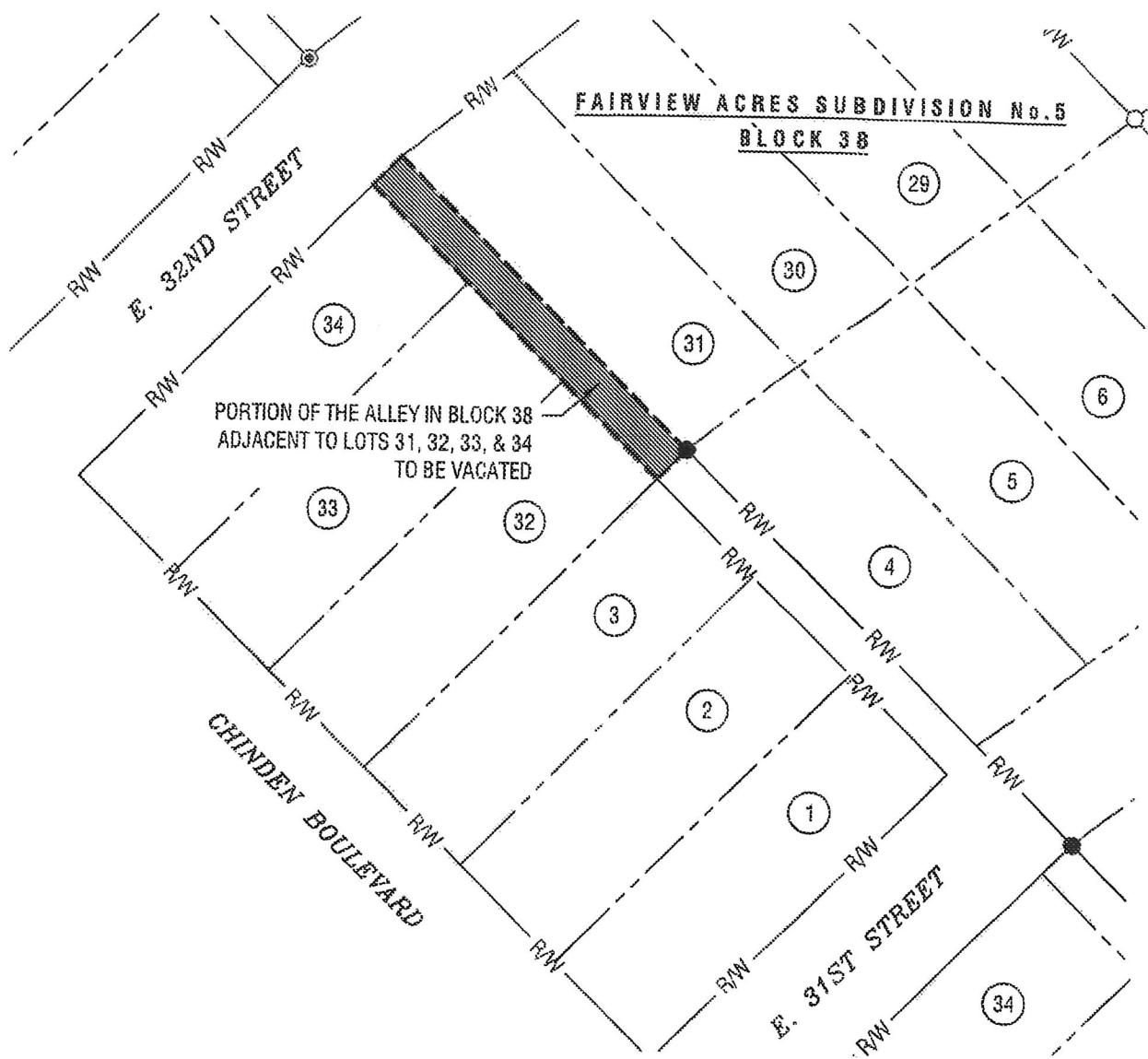
The above described parcel contains 2,242 square feet more or less.

Exhibit "B" is attached hereto and made a part thereof.

PREPARED BY:
The Land Group, Inc.

James R. Washburn





0 60' 120'

Project No.: 115154
Date of Issuance: 02/26/2020



Exhibit "B"

Horizontal Scale: 1" = 60'



ACHD Right-of-Way Vacation Stagecoach Property

1 of 1

DISPOSAL EASEMENT AGREEMENT

This Agreement is made this ____ day of August, 2023, by and between BR, LLC, an Idaho limited liability company (“BR”) and Riverside Hospitality, LLC, an Idaho limited liability company (“Riverside”).

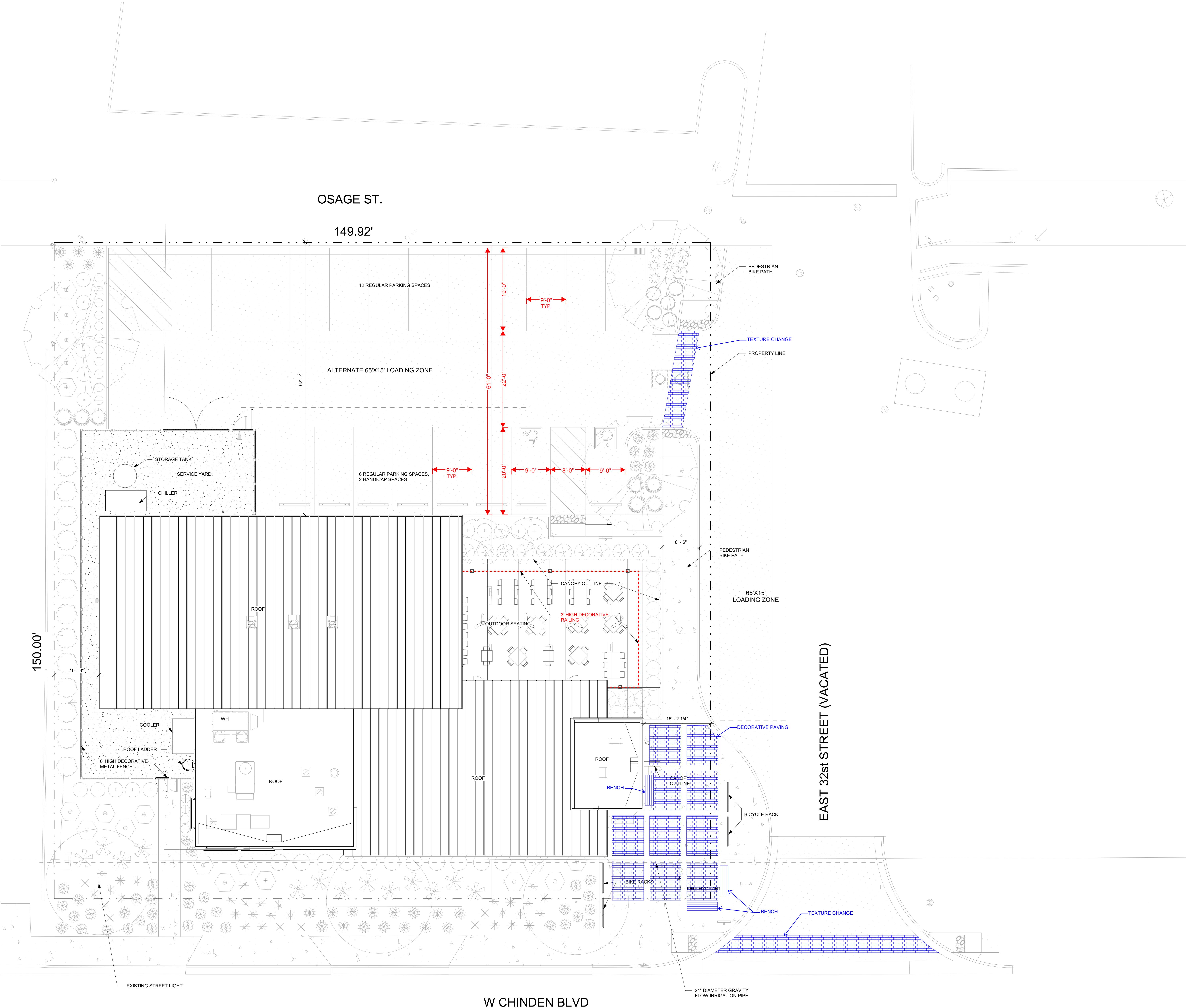
Riverside hereby grants to BR for the use of its premises a perpetual non-exclusive easement for the passage and accommodation on, over and across the parking driveway and sidewalks of Riverside to use and deposit trash and the trash receptacle located on the Riverside property.

BR, LLC.

By: Kevin Settles
Its: Manager

RIVERSIDE HOSPITALITY, LLC.

By: _____
Its: Manager





1 SITE PLAN

1/8" = 1'-0"

BUIDLING SQUARE FOOTAGE:
DINING: ASSEMBLY UNCONCENTRATED
(TABLE AND CHAIRS):
KITCHEN, COMMERCIAL:
OUTSIDE PATIO:
F-1 DISTILLERY SPACE:
TOTAL

<u>SITE SQUARE FOOTAGE:</u>	
,466 SF.	BUILDING:
	LANDSCAPING:
,279 SF.	IMPERVIOUS SURFACE:
,277 SF.	
,030 SF.	
,002 SF.	
	TOTAL:
	7,002 S
	5,006 S
	<u>10,500 S</u>
	22,508 S

LEGEND:

ED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS
AIN AND BE PROTECTED DURING CONSTRUCTION.

ES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED

NUMBER, RE: A82 DOOR SCHEDULE

/ TYPE, RE: A82 WINDOW TYPES

PE, RE: A21
LL TYPES WITH VARIABLE HEIGHT,
P OF WALL ELEVATION

NOTE, RE: SHEET NOTES LIST
RENT PAGE

R ELEVATIONS
G. #1 @ SHT. I51, I52, I53

GENERAL NOTES:

CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

DESIGN DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN	CHECKED

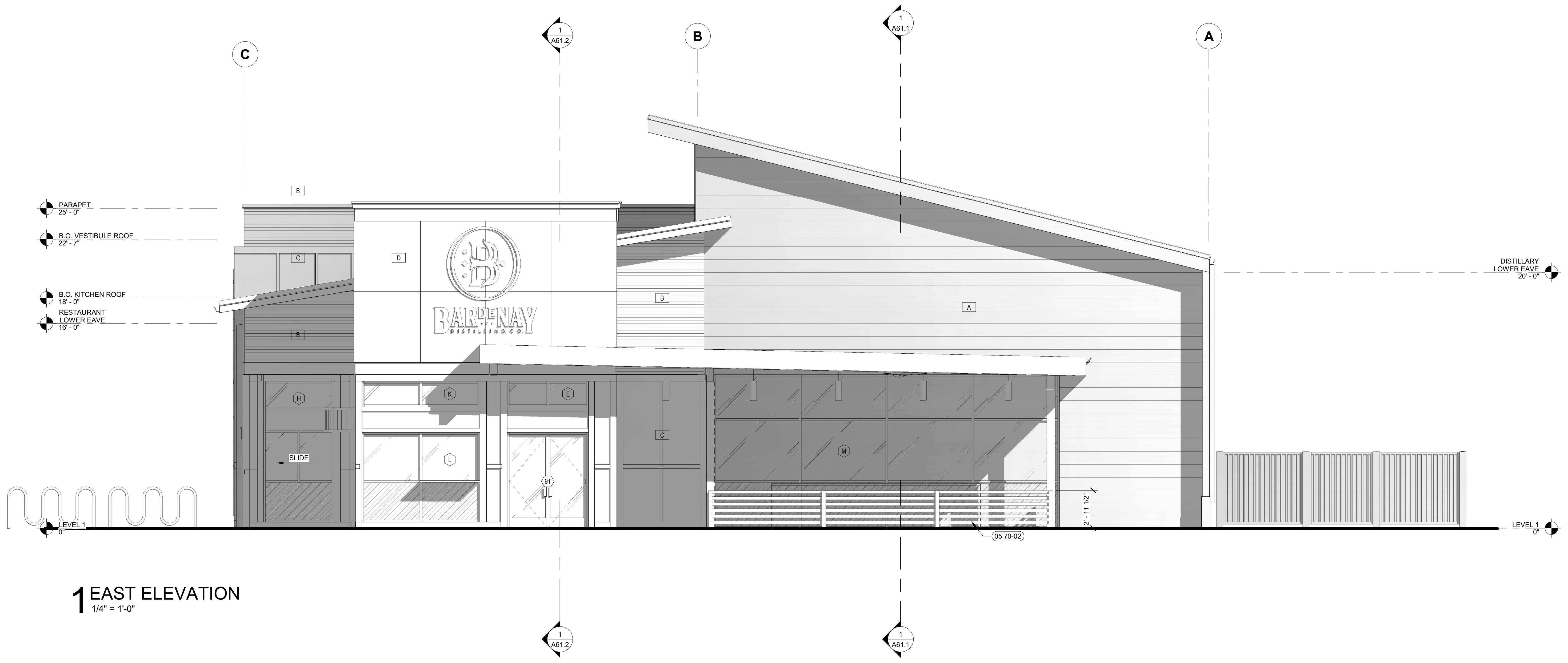
PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker

SHEET TITLE

ARCH. SITE PLAN

AS10

ORIGINAL SHEET SIZE
36" x 48"



MATERIALS & FINISH SCHEDULE:	
X MATERIAL	# FINISH/COLOR
A CENTRIA 'STYLE' RIB METAL PANEL	CENTRIA 857 RUST
B CENTRIA 'ENCONLAP' 3/4" METAL PANEL	CENTRIA 861 CRYSTAL ZINC
C HARE BOARD AND BATTEN SIDING	PAINTED GRAY
D EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH
E STANDING SEAM METAL ROOF/SIDING	CENTRIA 854 MEDIUM MAPLE
F WOOD TRIM	STAINED
G STOREFRONT	BLACK
H METAL FASCIA/COPING	BLACK
I SOFFIT/SIDING	DARK KNOTTY PINE
J GLAZING	CLEAR
M GULAM BEAM	STAINED
L HOLLOW METAL DOOR	-
K SPANDEREL GLAZING	BLACK

LEGEND:

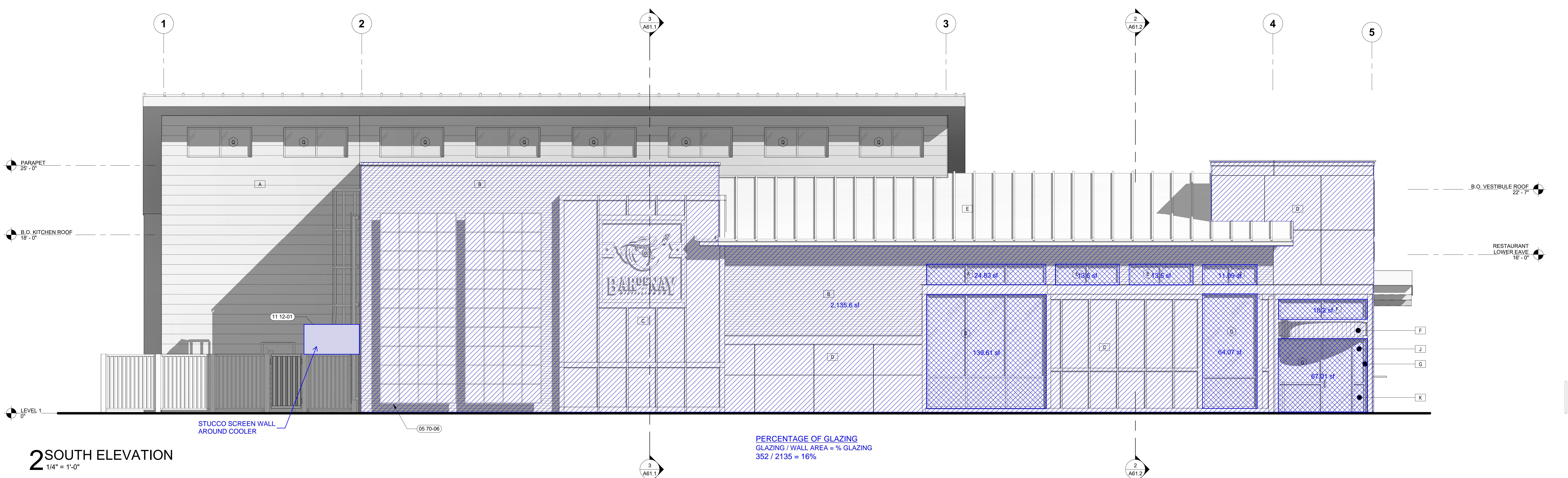
- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- 00 00-01 SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECTS APPROVAL.
- FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- THE REFERENCED ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/CIVIL FOR ACTUAL FLOOR ELEVATION.
- ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURING, ETC.
- LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF _____.
- ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

05 70-02 DECORATIVE METAL RAILING, RE: A73-
05 70-06 DECORATIVE METAL RAILING, RE: A73-
11 12-01 Walk-in COOLER / FREEZER BY OTHERS. PROVIDE S.S. METAL CLOSURE
TO ADJACENT WALLS, A71-28.30



CHINIDEN BAR AND DISTILLERY 3100 WEST CHINIDEN BLVD.

CSHQ

DESIGN DEVELOPMENT

PROJECT 22037 DATE 07-14-23
DRAWN Author CHECKED Author Checker

REVISED

EXTERIOR ELEVATIONS

SHEET

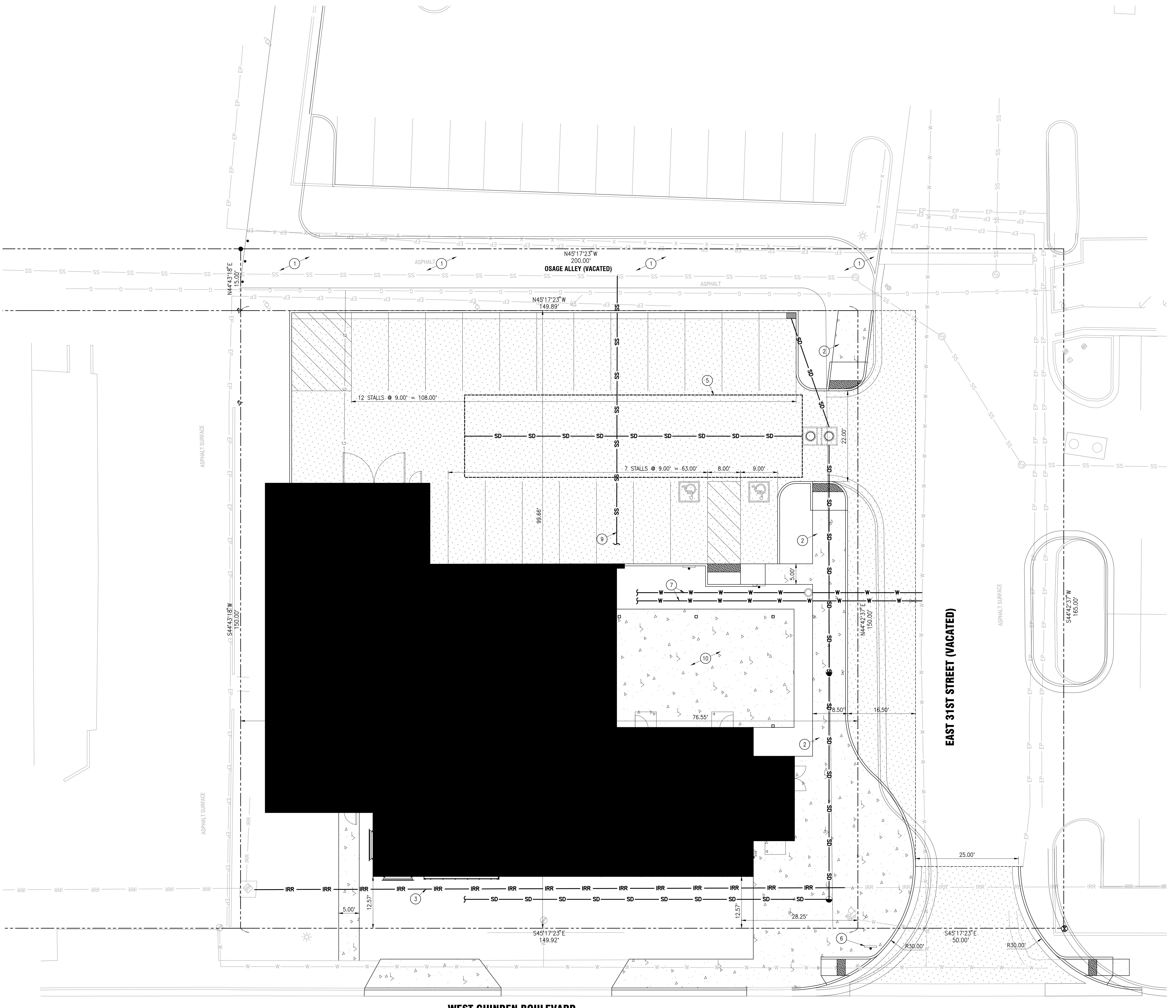
A51

ORIGINAL SHEET SIZE
36" x 48"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

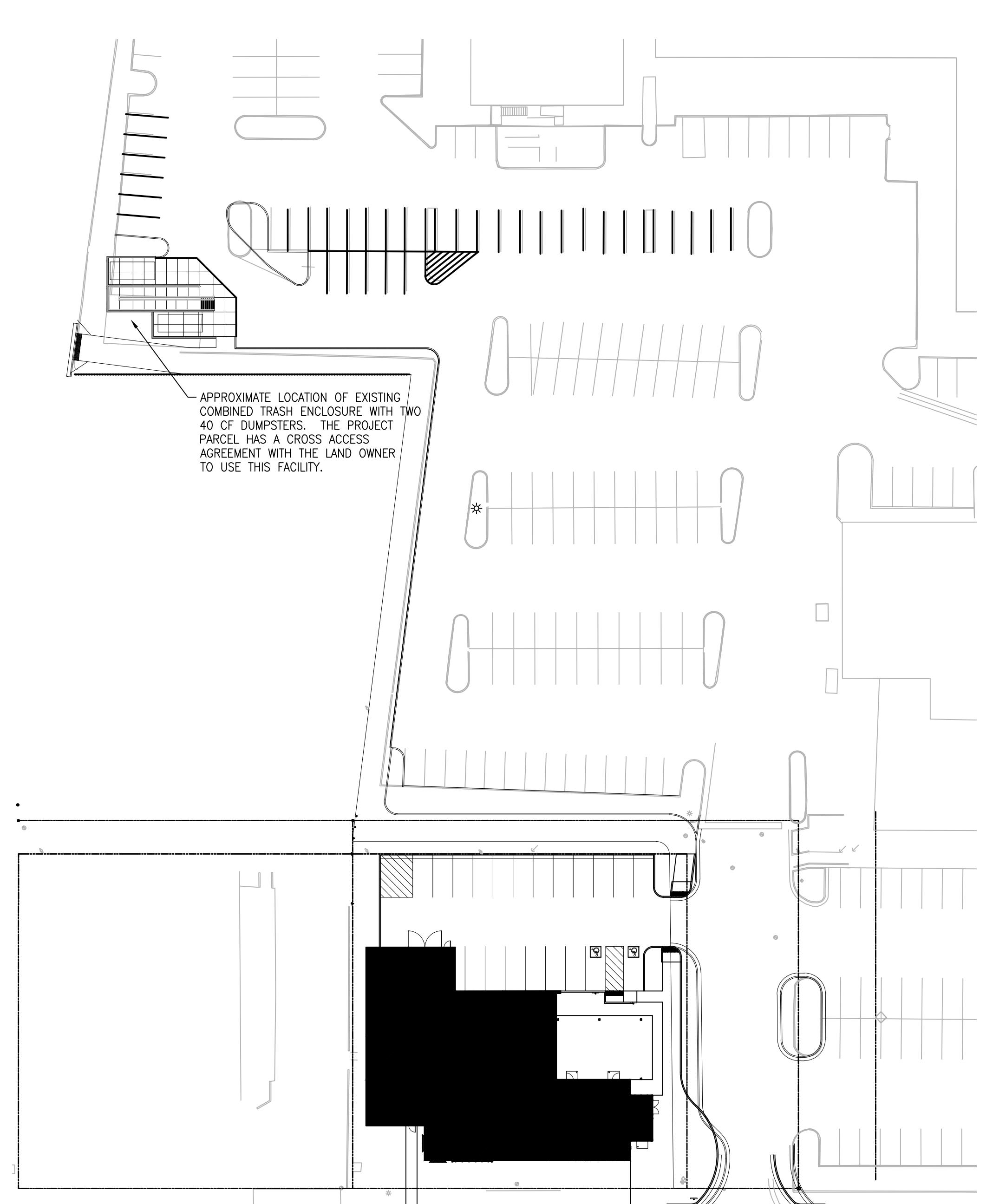
200 BROAD STREET • FAX: 208-345-1658
PHONE: 208-345-1658
BOISE, ID 83702
(208) 343-4633 • FAX: 208-343-1658
http://www.cshtq.com

7/26/2023 3:41:20 PM



1 DESIGN REVIEW SITE PLAN
SCALE: 1=10'

SCALE IN FEET



2 TRASH ENCLOSURE LOCATION PLAN
SCALE: 1=40'

DRSP

ORIGINAL SHEET SIZE
36" x 48"

LEGEND

ASPHALT CONCRETE PAVEMENT
PORTLAND CEMENT CONCRETE
RIGHT OF WAY/PROPERTY LINE
EDGE OF PAVEMENT
FENCE
SANITARY SEWER
WATER
STORM DRAIN
NATURAL GAS
BUILDING
CURB AND GUTTER
VERTICAL CURB
ACCESSIBLE PARKING SYMBOL
SIGN
BIKE RACK
LUMINAIRE
ELECTRICAL TRANSFORMER

PRELIMINARY
NOT FOR
CONSTRUCTION

LEFF L. WARD, P.L.

201 BROAD STREET ET
BOISE, ID 83702 • FAX: 208/342-4558
BORE ID: 83702
201 BROAD STREET
BORE (208) 343-4558 • FAX (208) 341-558
www.cshea.com

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CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHEA

PROJECT
00000 DATE
00-00-20
DRAWN
JTW CHECKED
JTW
REVISED

DESIGN
REVIEW
SITE PLAN

SHEET

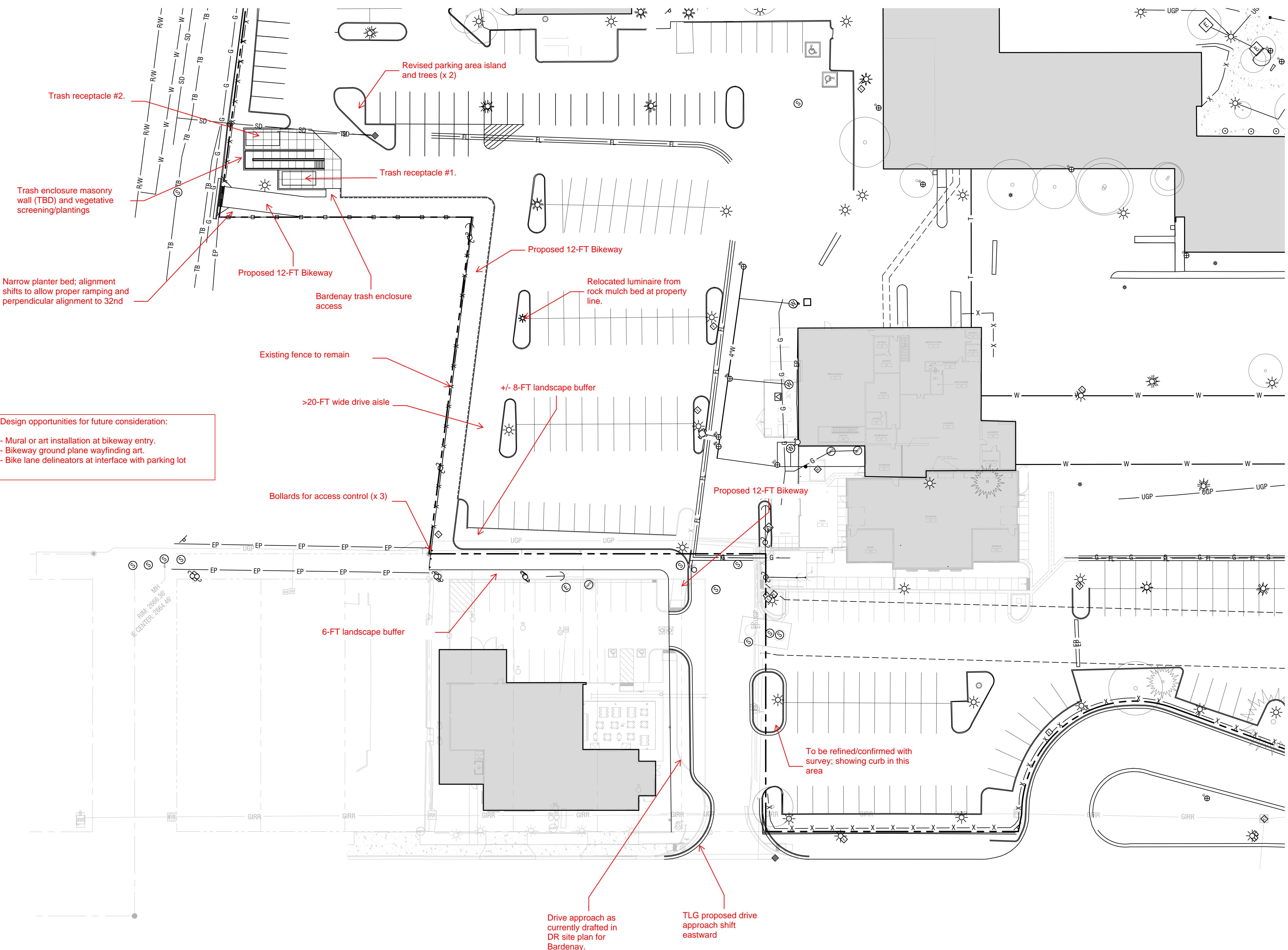
DRSP

ORIGINAL SHEET SIZE
36" x 48"

Greenbelt Bikeway Riverside Hotel

 2900 W Chinden Blvd
Garden City, ID 83714

Greenbelt Bikeway - 50% DR Coordination Exhibit



Sheet Notes:

1. INSERT SHEET NOTES HERE.

Keynotes:

1. INSERT SHEET KEYNOTES HERE


 Project No.: 115154.26
Date of issuance: 09.06.2023
Project Milestone: 50% DR

 Bikeway Coordination
Exhibit

EX-1
