



## DESIGN REVIEW

Permit info: DSRFY2023-0007

Application Date: 07/26/2023 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921  
▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
Name: Andres Vasquez	Name: David Johnson
Company: CSHQA	Company: Riverside Hospitality, LLC
Address: 200 Broad St.	Address: 2900 Chinden Blvd.
City: Boise	City: Garden City
State: ID Zip: 83702	State: ID Zip: 83714
Tel.: 208 343-4635	Tel.: 208-371-9107
E-mail: andres.vasquez@cshqa.com	E-mail: david@davidjohnson.net

### PROPERTY AND DESIGN INFORMATION

This application is a request to:  Construct New  Addition  Subdivision

Site Address: 3100 W. Chinden Blvd.

Subdivision Name: Fairview Acres No 5	Lot: 1 to 3 inc	Block: 38
Tax Parcel Number: R2734541900	Zoning: C1	Total Acres: .51
Proposed Use: Bar and Distillery	Floodplain: Yes	No <input checked="" type="checkbox"/>

### OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

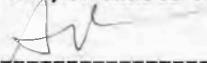
**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 07/24/2023

Signature of the Applicant

(date)

 BADER, Soltani, L.P.

7/24/2023

Signature of the Owner

(date)

#### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED  
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                     | <input checked="" type="checkbox"/> Affidavit of Legal Interest  |
| <input checked="" type="checkbox"/> Neighborhood Map   | <input type="checkbox"/> Sustainability Checklist *if applicable |
| <input checked="" type="checkbox"/> Site Plan  |  |
| <input checked="" type="checkbox"/> Landscape Plan   |  |
| <input checked="" type="checkbox"/> Schematic Drawing  |  |
| <input checked="" type="checkbox"/> Lighting Plan  |  |
| <input checked="" type="checkbox"/> Topographic Survey   |  |
| <input checked="" type="checkbox"/> Grading Plan   |  |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request |  |
| <input checked="" type="checkbox"/> Ada County Approved Addresses                                    |  |
| <input type="checkbox"/> Waiver Request of Application Materials                                     | N/A  |

## PLEASE CHECK THE FOLLOWING:

### INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A  For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8. No drive-through.
- N/A  The site plan shall demonstrate safe vehicular access as required in 8-4E-4
  - Driveways, access to public streets, parking with stalls, loading areas.
  - Sidewalks, bike and pedestrian paths.
  - Berms, walls, screens, hedges and fencing.
  - Location and width of easements, canals, ditches, drainage areas.
- N/A  Location, dimensions and type of signs. Signs located on building, see exterior elevations.
- N/A  Trash storage and mechanical equipment and screening. Utilizing existing Riverside Hotel trash facilities.
  - Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
  - Log depicting square footage of impervious surface, building and landscaping
  - Location and height of fences and exterior walls
  - Location and dimensions of outdoor storage areas
  - Location of utilities and outdoor serviced equipment and areas
  - Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
  - Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
  - Size, location and species of existing vegetation labeled to remain or to be removed.
  - All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- N/A  Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
  - Log of square footage of landscaping materials corresponding to location
  - Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- N/A  If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

**\*Required for developments of two or more buildings:**

- N/A Location, elevations, and materials of proposed signage

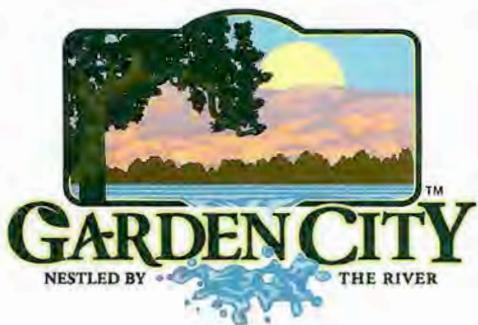
**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

**\*Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- N/A Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street Garden City, Idaho 83714  
Phone 208 - 472-2921 Fax 208 - 472-2926  
www.gardencityidaho.org

## Affidavit of Legal Interest

State of Idaho )  
                  )SS

County of Ada )

I, RIVERSIDE HOSPITALITY, LLC, 2900 CHINLE BLVD

Name RIVERSIDE HOSPITALITY, LLC Address of Owner

(must be primary owner as noted in Ada County Assessor's records.  
If the primary owner is a business write the business name)

GARDEN CITY

City

IDAHO 83714

State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to CSHTRA 200 BROAD STREET, BOISE, ID 83702  
Name of Applicant
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 20<sup>th</sup> day of July, 2023

Signature

DAVE JOHNSON

Printed Name

(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Notary Public for Idaho

Zoe Grant  
Commission Number: 20230008  
Notary Public  
State of Idaho  
My Commission Expires: 01/19/2029

Residing at: 1775 W STATE ST BOISE ID 83702

My Commission expires 01/19/2029



## CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714  
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais  
Boise Fire Department  
333 Mark Stall Place  
Boise, Idaho 83704-0644

July 18, 2023

Subject: Ability to Provide Fire Flows

### **Fire Flow Information:**

Address fire flow requested for: 3100 W Chinden Blvd

Fire hydrant serving this address: #2014

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

### **Sprinkler System Design Information:**

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

*Chad Vaughn*

Garden City Public Works Water Division

cc:  
Applicant  
File

## Andres Vasquez

---

**From:** Wee Boise <weeboise@gmail.com>  
**Sent:** Monday, July 10, 2023 5:19 PM  
**To:** Jeff Ward  
**Cc:** jj@weeboise.com; Andres Vasquez  
**Subject:** Re: Chinden Distillery - 3100 West Chinden

Thanks Jeff, I can confirm that from Fairview Acres Lateral Water Users Association's perspective, we have no problem with the solutions being proposed, or with the location of the building being close to the location of the pipe. As a property owner your client is assuming all risk associated with those choices if there are problems with the pipe at a later date, all the cost to repair that pipe will be the property owner's responsibility and not Fairview Acres. We are happy to continue to help to make sure that no problems arise, so that this can be a successful project.

Attn: Jason Jones  
Wee Boise Inc.  
208 E 33rd St  
Garden City, Idaho 83714

Mobile: (208)9999-208  
Office: (225)284-9102

On Jul 10, 2023, at 3:05 PM, Jeff Ward <jeff.ward@cshqa.com> wrote:

Mr. Jones,

Thank you for the multiple conversations we have had as this project has been developing over the past few months.

As we have discussed our design intent is to place the building close to the existing 24" lateral running east to west across the property. As part of the project most of the line crossing the property would be replaced with sewer class PVC piping, starting west of the access at vacated 31<sup>st</sup> to the existing junction box in the southwest corner of the property. Further investigation will determine if the connection to the existing pipe will be made with a new junction box or a coupler joint.

For Design Review submittal to Garden City, please confirm this intent is acceptable to the Fairview Acres Lateral Water Users Association and provide any additional pertinent information I may have missed. Thank you.

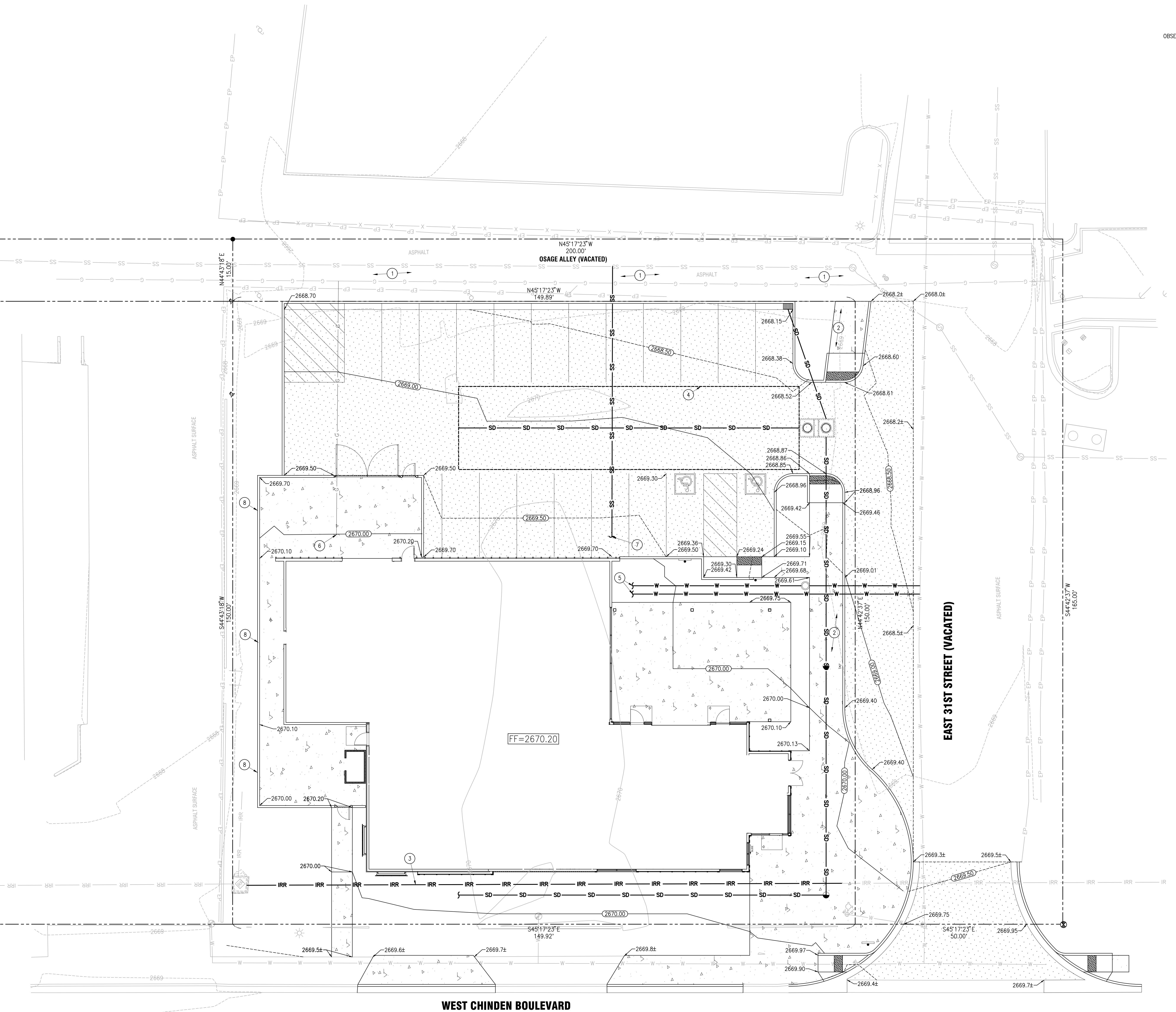
**Jeff Ward PE | CSHQA**

Land Development

200 Broad St • Boise, ID 83702 | T 208.343.4635 | D 208.429.4037 | C 208.859.7863

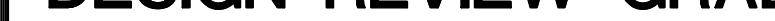
people who listen • design that speaks  
an employee-owned company





# 1 DESIGN REVIEW GRADING PLAN

SCALE: 1'=10'



0 5 10 20 30 40

SCALE IN FEET

# DESIGN REVIEW NOTES

- PROPOSED GRADING AND DRAINAGE REQUIRES CROSS DRAINAGE WITH THE  
ENT VACATED 31ST PARCEL, BUT GREATLY REDUCES THE CONTRIBUTING  
SHEET FLOWING TO THE THIS PARCEL IN THE EXISTING CONDITION.

FINAL CONDITION OF ALL AREA DISTURBED BY THIS PROJECT WILL BE  
NG, PAVING, OR LANDSCAPED.

MAXIMUM CROSS SLOPE OF ANY SIDEWALK OR RAMP SHALL NOT EXCEED

ERTY IS LOCATED IN ZONE X/MIN HAZARD.

## LEGEND:

MODERATE DUTY PAVEMENT: 3" AC ON 4" CRUSHED AB ON 10"  
STRUCTURAL SB ON PREPARED SUBGRADE, RE: GEOTECHNICAL REPORT

**JEFF T. WARD, P.E.**

---

200 BROAD STREET  
BOISE, IDAHO 83702  
PHONE: 208-343-4635 • FAX: 208-343-1858

THESE DRAWINGS AND SPECIFICATIONS AS INSTALLED  
OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY  
THE ARCHITECT / ENGINEER WHETHER THE PROJECT  
WHICH THEY ARE MADE IS EXECUTED OR NOT. THESE  
DRAWINGS AND SPECIFICATIONS SHALL NOT BE  
ANY PERSON OR ENTITY ON OTHER PROJECTS. FEE  
SET OUT ON THE DRAWINGS SHALL NOT BE CHARGED  
FOR THIS SERVICE.

# 2 SEEPAGE BED SECTION

SCALE: NOT TO SCALE

## **SHEET NOTES:**

- 0 OSAGE ALLEY TO BE MODIFIED TO A PEDESTRIAN CORRIDOR BY OTHERS. PROJECT WILL COORDINATE WITH THAT PROJECT FOR CONTINUITY.

1 SIDEWALK TO CONNECT CHINDEN SIDEWALK TO PEDESTRIAN CORRIDOR.

2 REVIEW ACRES LATERAL WATER USERS ASSOCIATION GRAVITY IRRIGATION LINE. REPLACED WITH SDR 35 PVC. NO EASEMENT IS ASSOCIATED WITH THIS LINE.

3 SEEPAGE BED, RE: C40-2 AFTER SAND AND GREASE TRAP.

4 DOMESTIC AND FIRE SERVICES.

5 ESTIMATE LOCATION OF GAS METER, SERVICE LINE BY INTERMOUNTAIN GAS.

6 SANITARY SEWER SERVICE COORDINATE WITH PLUMBING FOR EXACT LOCATION CONNECTION AFTER GREASE INTERCEPTOR. SERVICE SHALL BE SLEEVED IN C-900 DR18 PVC THROUGH AND 10' BEYOND EDGES OF SEEPAGE BED. ENDS OF PIPE SLEEVE WITH EXPANDING POLYURETHANE FOAM.

7 NED EDGE SIDEWALK TO ALLOW GROUND ON WEST SIDE TO BE UP TO 18" TOP OF SIDEWALK ELEVATION. LANDSCAPED AREA BETWEEN SIDEWALK AND PROPERTY LINE TO BE ESSENTIALLY LEVEL.

CHINDEN BAR AND DISTILLERY  
3100 WEST CHINDEN BLVD.

# CHIN DEN B 3100 WEST CHINI CSHQ

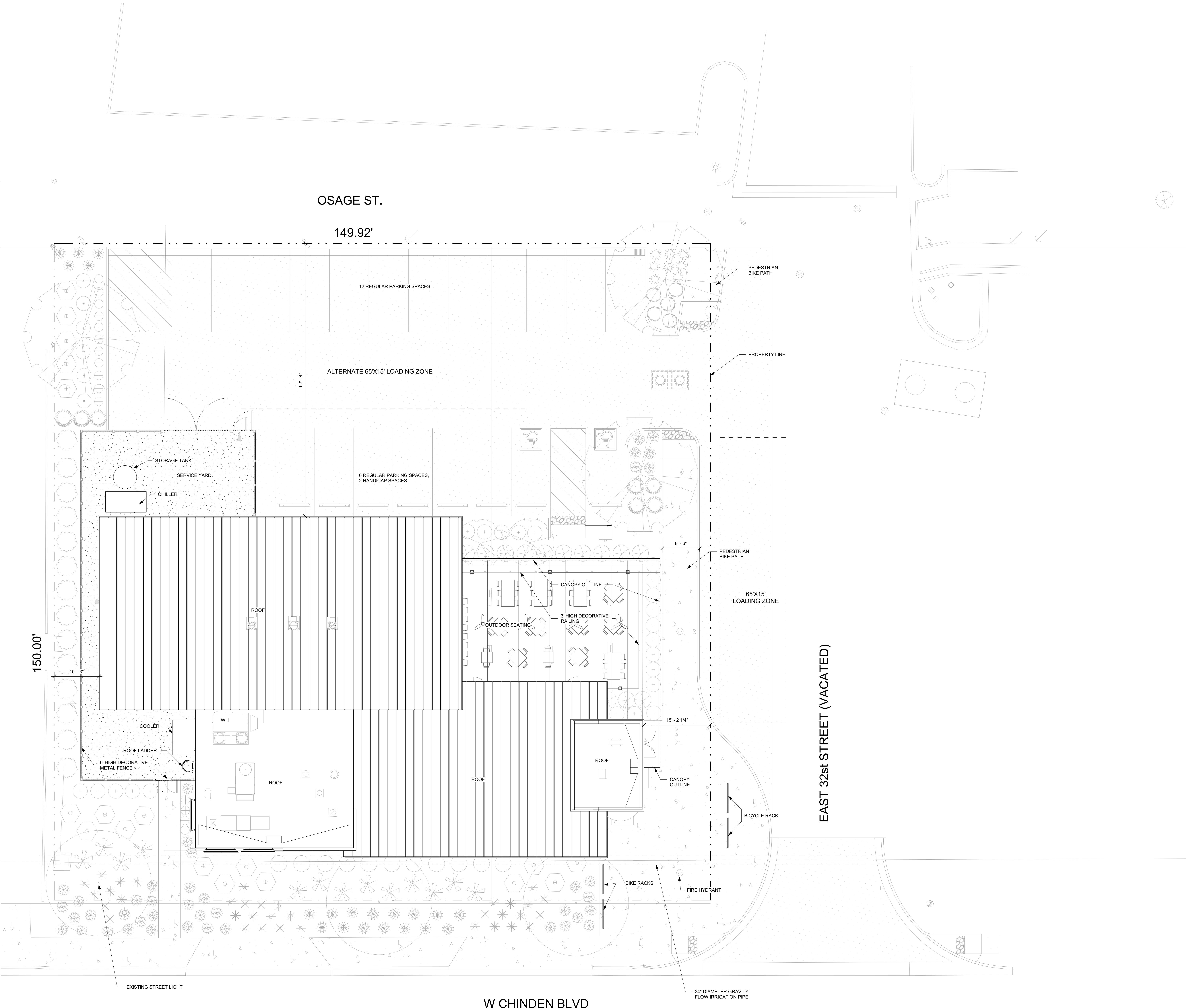
PROJECT 00000	DATE 00-00-20
DRAWN JTW	CHECKED JTW

HEET TITLE

# DESIGN REVIEW GRADING PLAN

# C40

**ORIGINAL SHEET SIZE  
36" x 48"**



1 SITE PLAN  
1/8" = 1'-0"

BUILDING SQUARE FOOTAGE:  
DINING: ASSUMED UNCONCENTRATED  
(FAST FOOD, CHICKEN, ETC.)  
KITCHEN, COMMERCIAL:  
OUTSIDE PATIO:  
F-1 DISTILLERY SPACE:  
TOTAL:

SITE SQUARE FOOTAGE:  
BUILDING:  
IMPERVIOUS SURFACE:  
TOTAL:  
1,466 SF.  
1,279 SF.  
1,277 SF.  
3,000 SF.  
7,002 SF.  
10,500 SF.  
22,508 SF.

LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED.
- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- WALL TYPE, RE: A21  
FOR WALL TYPES WITH VARIABLE HEIGHT,  
SEE TOP OF WALL ELEVATION
- 00-00-01 SHEET NOTE, RE: SHEET NOTES LIST  
ON CURRENT PAGE
- 1 1 1  
1 4 A21 1  
1 1 1  
INTERIOR ELEVATIONS  
SEE DIVG. #1 @ SHT. IS1, IS2, IS3

GENERAL NOTES:

CHINDEN BAR AND DISTILLERY  
3100 WEST CHINDEN BLVD.

CSHQ

DESIGN  
DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN Author CHECKED Checker  
REVISED

SHEET TITLE  
ARCH. SITE  
PLAN


AS10

ORIGINAL SHEET SIZE  
36" x 48"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

200 BROAD STREET • FAX: 208-345-858  
PHONE: 208-345-8581  
BOISE, ID 83702  
(208) 343-4635 • FAX: 208-343-1858  
http://www.cshtq.com







# 1 FLOOR PLAN - LEVEL 1

1/4" = 1'-0"

 NORTH

## LEGEND:

INES INDICATE EXISTING ASSEMBLIES/SYSTEMS  
ND BE PROTECTED DURING CONSTRUCTION.

ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

# GARDEN CITY, IDAHO

---

# CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

# DESIGN DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker

## SHEET TITLE

# A21

ORIGINAL SHEET SIZE  
36" x 48"



1 EAST ELEVATION  
1/4" = 1'-0"

MATERIALS & FINISH SCHEDULE:	
X MATERIAL	# FINISH/COLOR
A CENTRIA 'STYLE' RIB METAL PANEL	CENTRIA 857 RUST
B CENTRIA 'ENCALAP' 3/4" METAL PANEL	CENTRIA 861 CRYSTAL ZINC
C HARE BOARD AND BATTEN SIDING	PAINTED GRAY
D EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH
E STANDING SEAM METAL ROOF/SIDING	CENTRIA 854 MEDIUM MAPLE
F WOOD TRIM	STAINED
G STOREFRONT	BLACK
H METAL FASCIA/COPING	BLACK
I SOFFIT/SIDING	DARK KNOTTY PINE
J GLAZING	CLEAR
M GLULAM BEAM	STAINED
L HOLLOW METAL DOOR	-
K SPANDEREL GLAZING	BLACK

#### LEGEND:

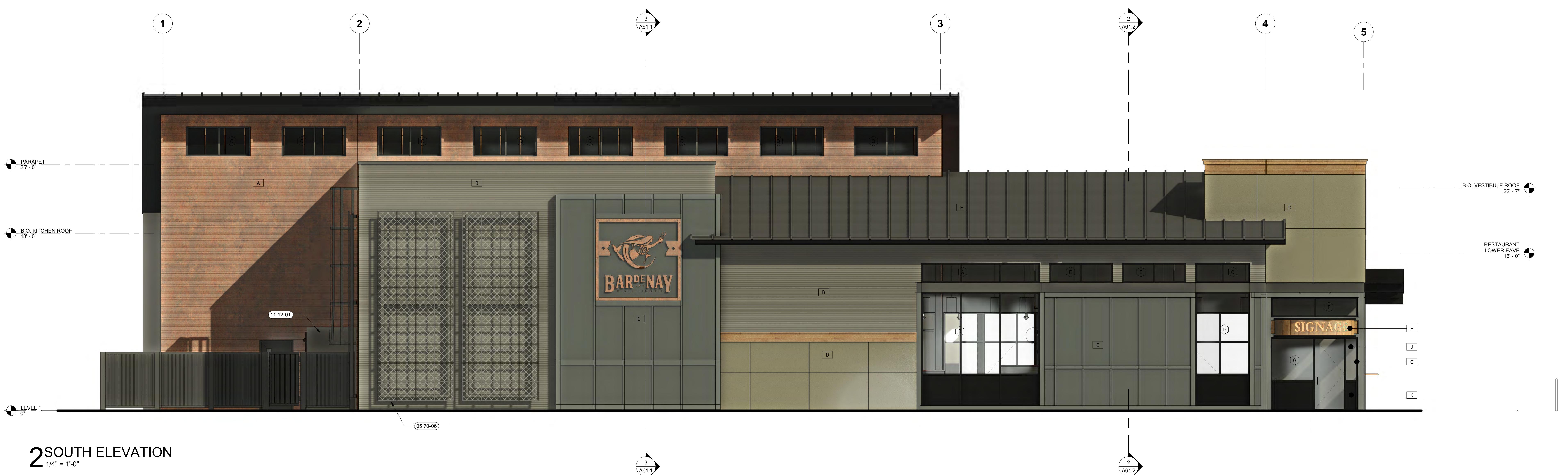
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- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- 00 00-01 SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

#### GENERAL NOTES:

- PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECTS APPROVAL.
- FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- THE REFERENCED ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/CIVIL FOR ACTUAL FLOOR ELEVATION.
- ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURING, ETC.
- LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF \_\_\_\_\_.
- ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

#### SHEET NOTES:

- 05 70-02 DECORATIVE METAL RAILING, RE: A73-  
05 70-06 DECORATIVE METAL RAILING, RE: A73-  
11 12-01 MILK COOLER / FREEZER BY OTHERS. PROVIDE S.S. METAL CLOSURE  
TO ADJACENT WALLS, A71-28.30



2 SOUTH ELEVATION  
1/4" = 1'-0"

#### CHINDEN BAR AND DISTILLERY 3100 WEST CHINDEN BLVD.

CSHQ

#### DESIGN DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker
REVISED	

#### EXTERIOR ELEVATIONS

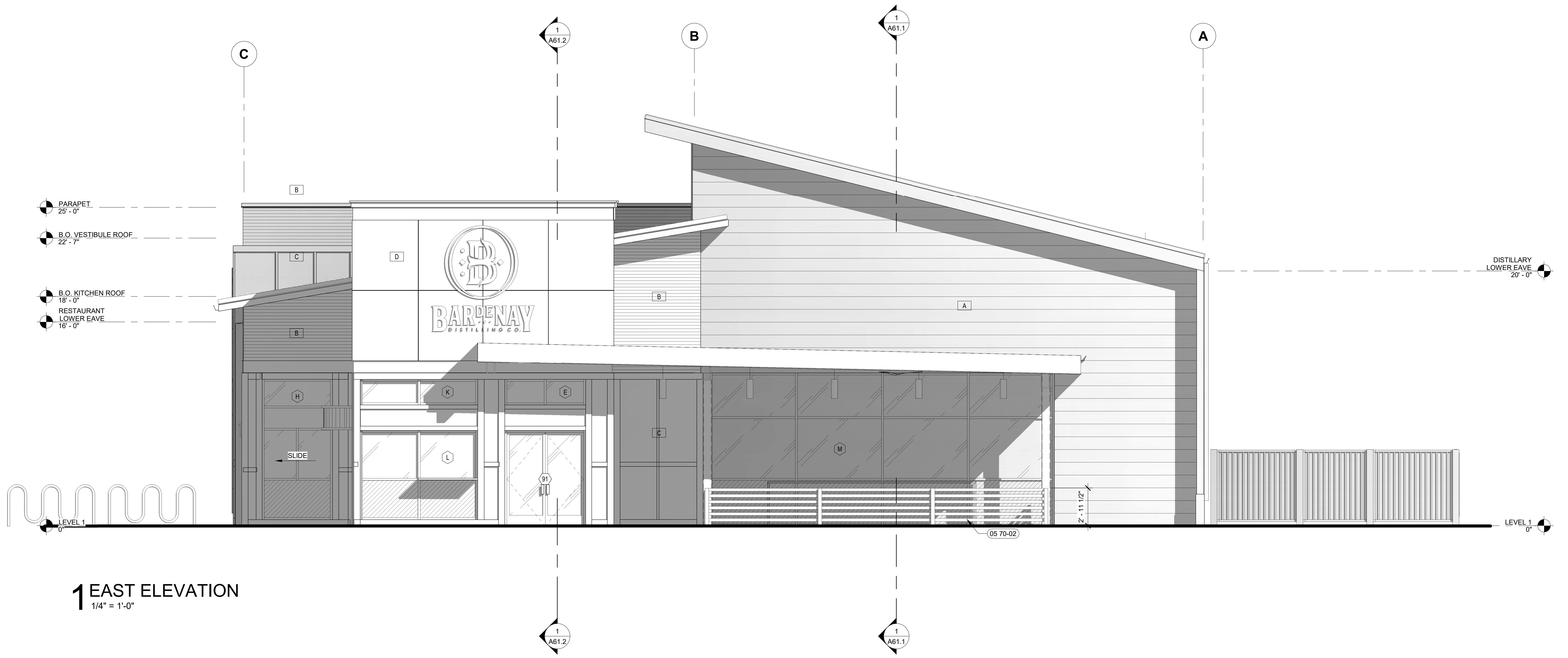
A51

ORIGINAL SHEET SIZE  
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PRELIMINARY  
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200 BROAD STREET  
PHONE: 208-343-8588  
FAX: 208-343-8588  
BOISE, ID 83702  
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http://www.cshtq.com

CITY USE ONLY



1 EAST ELEVATION  
1/4" = 1'-0"

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M GLULAM BEAM	STAINED
L HOLLOW METAL DOOR	-
K SPANDEREL GLAZING	BLACK

LEGEND:

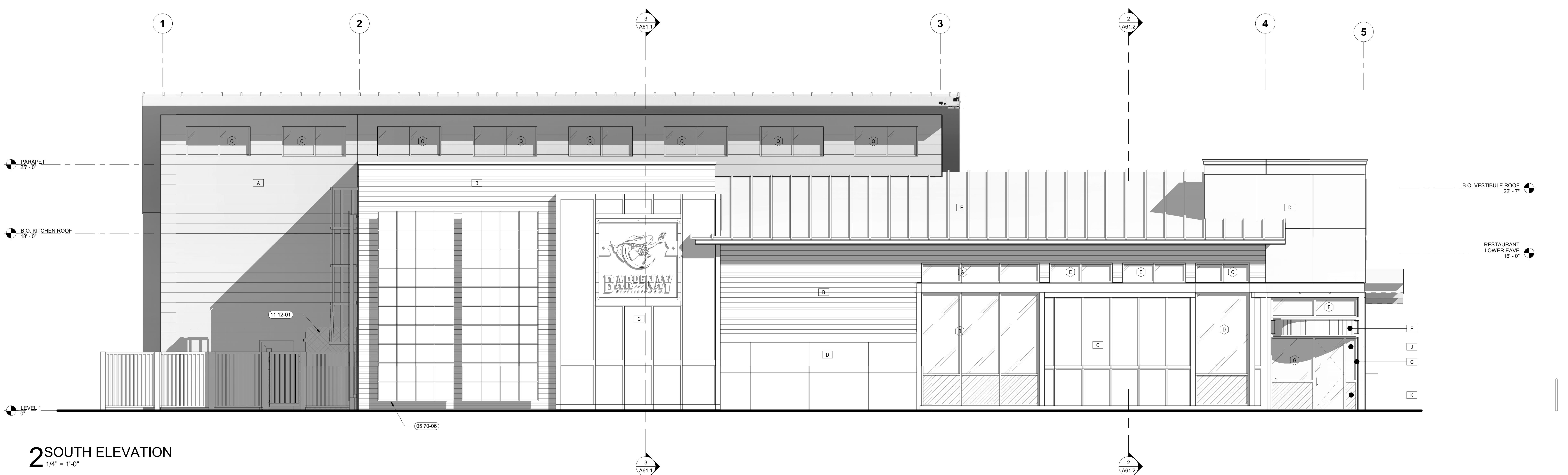
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- THE REFERENCED ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/CIVL FOR ACTUAL FLOOR ELEVATION.
- ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURING, ETC.
- LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF \_\_\_\_\_.
- ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-02 DECORATIVE METAL RAILING, RE: A73-  
05 70-06 DECORATIVE METAL RAILING, RE: A73-  
11 12-01 MILK COOLER / FREEZER BY OTHERS. PROVIDE S.S. METAL CLOSURE  
TO ADJACENT WALLS, A71-28.30



2 SOUTH ELEVATION  
1/4" = 1'-0"

CHINIDEN BAR AND DISTILLERY  
3100 WEST CHINIDEN BLVD.

CSHQ

DESIGN DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN BY CHECKED BY  
Author Checker

REVISED

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET

A51

ORIGINAL SHEET SIZE  
36" x 48"

PRELIMINARY NOT FOR CONSTRUCTION

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PHONE: 208-345-8588  
BOISE, ID 83702  
(208) 343-4633 • FAX: 208-343-1858  
http://www.cshtq.com

CITY USE ONLY

MATERIALS & FINISH SCHEDULE:

MATERIAL	FINISH/COLOR
A CENTRIA 'STYLE-RIB' METAL PANEL	CENTRIA 857 RUST
B CENTRIA 'ENCONLAP' 3/4" METAL PANEL	CENTRIA 861 CRYSTAL ZINC
C HARE BOARD AND BATTEN SIDING	PAINTED GRAY
D EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH
E STANDING SEAM METAL ROOF/SIDING	CENTRIA 854 MEDIUM MAPLE
F WOOD TRIM	STAINED
G STOREFRONT	BLACK
H METAL FASCIA/COPING	BLACK
I SOFFIT/SIDING	DARK KNOTTY PINE
J GLAZING	CLEAR
M GLULAM BEAM	STAINED
L HOLLOW METAL DOOR	-
K SPANDRAL GLAZING	BLACK

PRELIMINARY NOT FOR CONSTRUCTION

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http://www.cshtqa.com

(208) 343-4633 • (208) 343-1858

http://www.cshtqa.com

http://

MATERIALS & FINISH SCHEDULE:

MATERIAL	FINISH/COLOR
A CENTRIA 'STYLE-RIB' METAL PANEL	CENTRA 867 RUST
B CENTRIA 'ENCONLAP' 3/4" METAL PANEL	CENTRA 861 CRYSTAL ZINC
C HARE BOARD AND BATTEN SIDING	PAINTED GRAY
D EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH
E STANDING SEAM METAL ROOF/SIDING	CENTRA 854 MEDIUM MAPLE
F WOOD TRIM	STAINED
G STOREFRONT	BLACK
H METAL FASCIA/COPING	BLACK
I SOFFIT/SIDING	DARK KNOTTY PINE
J GLAZING	CLEAR
M GLULAM BEAM	STAINED
L HOLLOW METAL DOOR	-
K SPANDRAL GLAZING	BLACK

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GARDEN CITY, IDAHO

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FAX: 208-342-1858

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LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- 00 00-01 SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECT'S APPROVAL.
- FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- THE REFERENCE ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0", CW/CF FOR ACTUAL FLOOR ELEVATION.
- ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURING, ETC.
- LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF \_\_\_\_\_.
- ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-06 DECORATIVE METAL TRELLIS  
05 70-08 DECORATIVE METAL FENCE

CHINDEN BAR AND DISTILLERY  
3100 WEST CHINDEN BLVD.

CSHQ

DESIGN DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN CHECKED  
Author Checker

REVISED

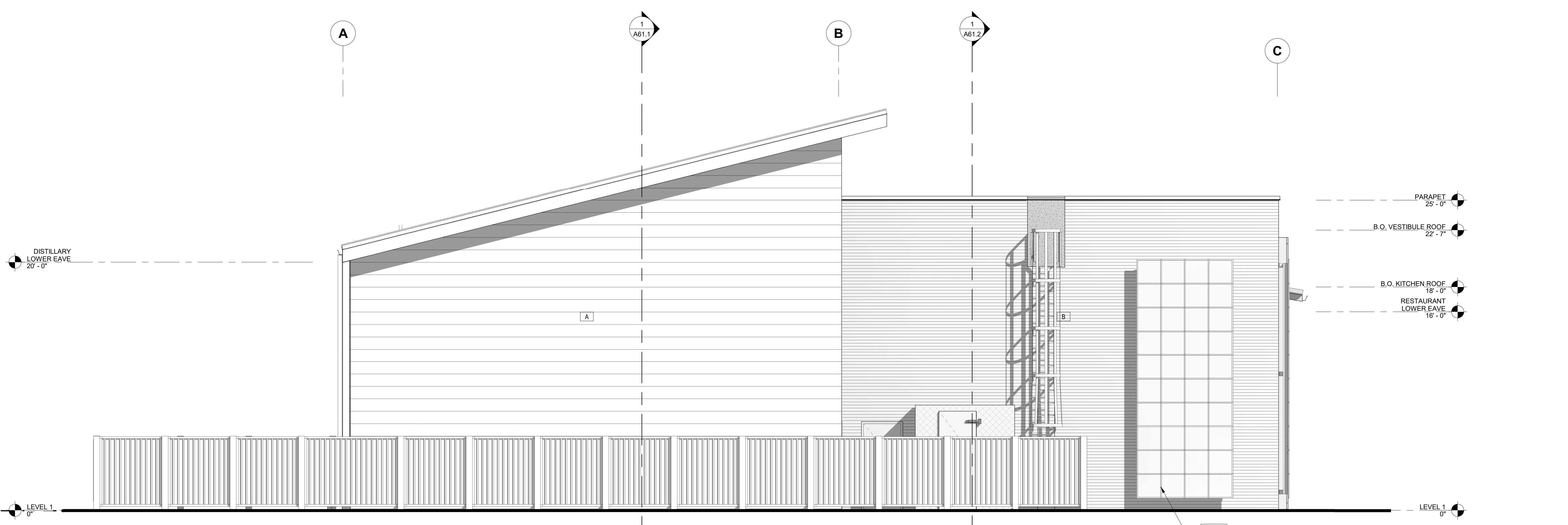
SHEET TITLE

EXTERIOR ELEVATIONS

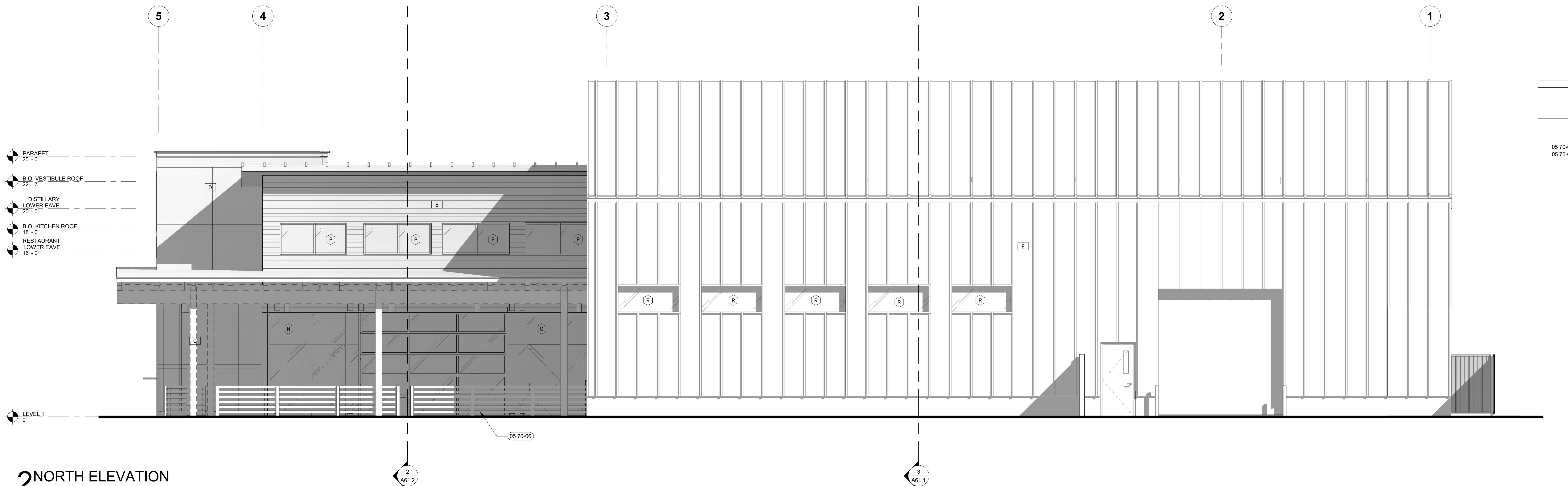
SHEET

A52

ORIGINAL SHEET SIZE  
36" x 48"

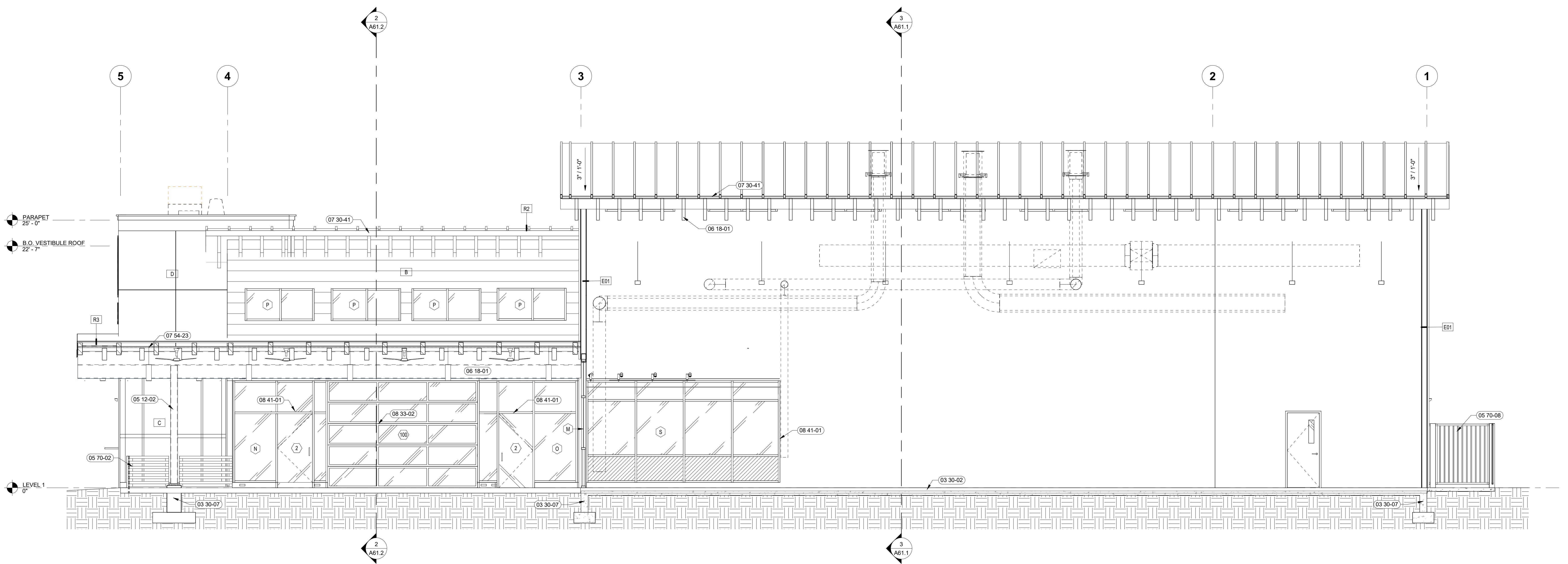


1 WEST ELEVATION



2 NORTH ELEVATION

CITY USE ONLY



1 Section 11  
1/4" = 1'-0"

SHEET NOTES:	
03 30-02 CONCRETE SLAB ON GRADE W/ CONTROL JOINTS, RE: FINISH 03 30-07 CONCRETE FOUNDATION AND/OR FOOTING, RE: STRUCTURAL 05 12-02 STRUCTURAL STEEL COLUMN, RE: STRUCTURAL DRAWINGS. 05 12-03 DECORATIVE METAL FENCING, RE: A73- 05 12-04 DECORATIVE METAL FENCE 06 70-08 EXPOSED GLULAM RE: STRUCTURE 06 15-01 STANDING-SEAM METAL ROOF PANELS OVER RIGID INSULATION 07 30-41 THERMOPLASTIC POLYOLEFIN (TPO) ROOFING 07 54-23 OVERHEAD COOLING DOORS 08 41-02 ALUMINUM-FRAMED ENTRANCE AND STOREFRONT 10 14 SIGNAGE	## ## ##

**CHINDEN BAR AND DISTILLERY**  
3100 WEST CHINDEN BLVD.

**CSHQ**

**DESIGN  
DEVELOPMENT**

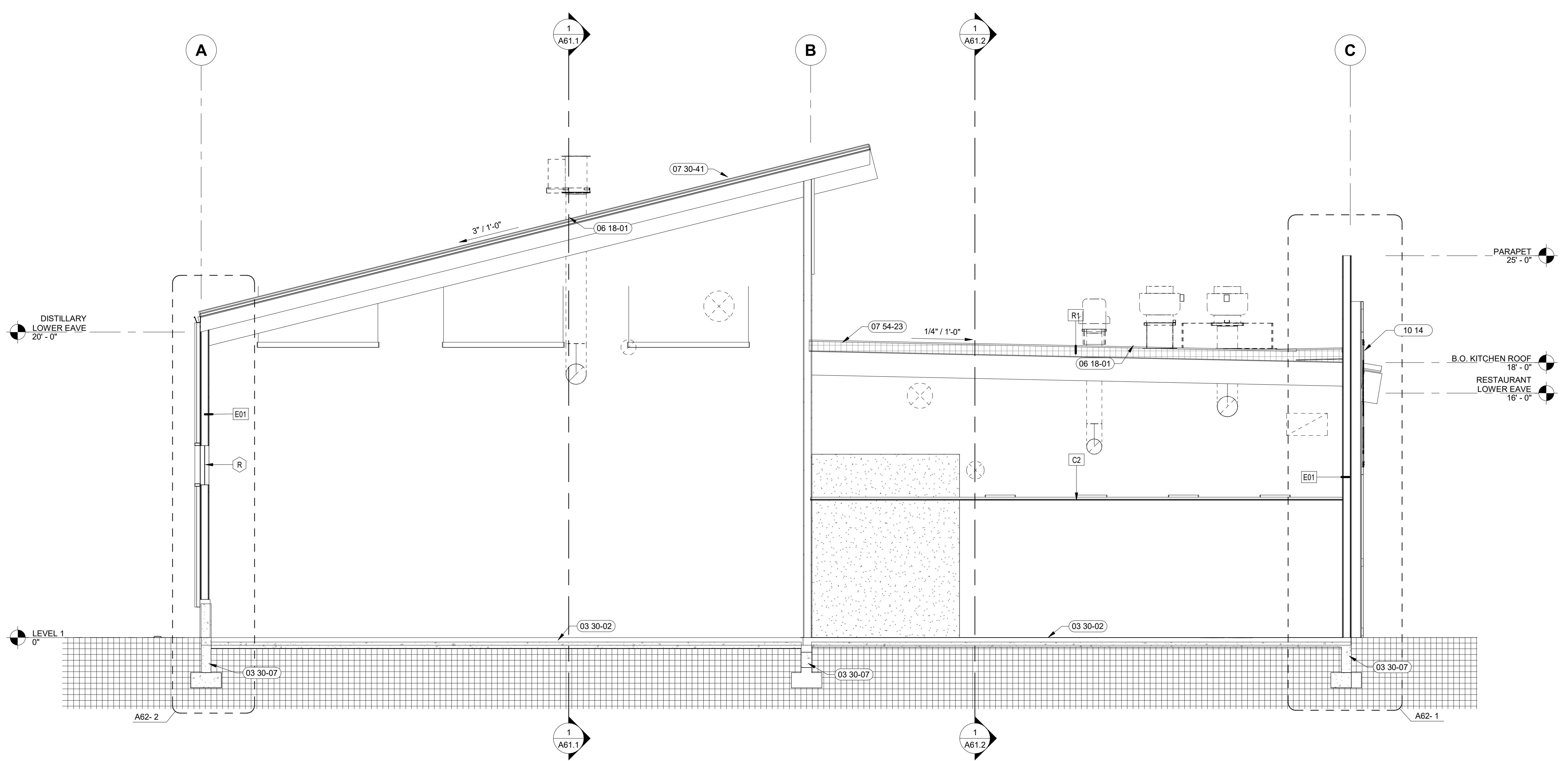
PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker
REVISED	

**BUILDING  
SECTIONS**

**SHEET**

**A61.1**

ORIGINAL SHEET SIZE  
36" x 48"



3 Section 13  
1/4" = 1'-0"

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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

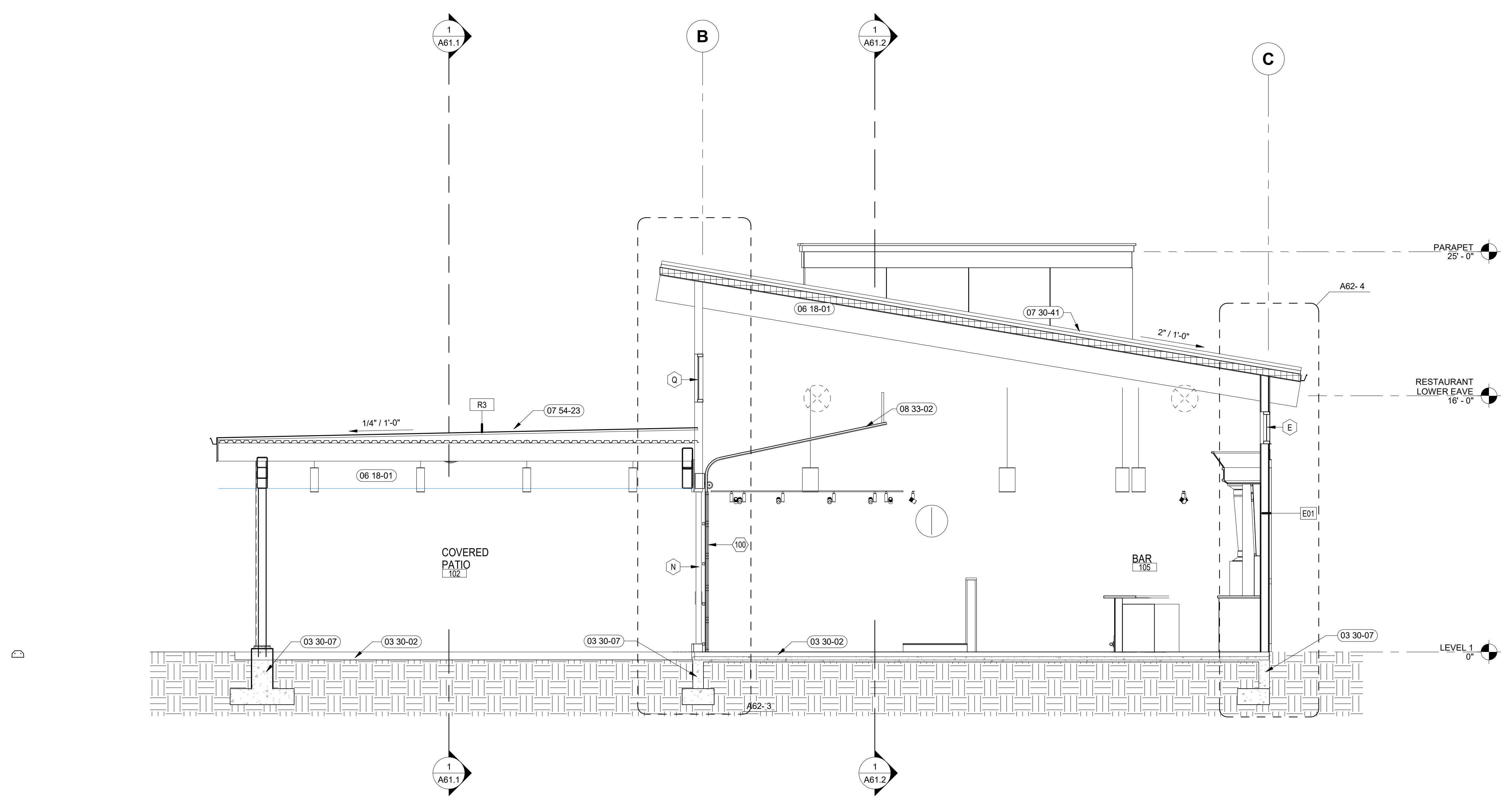
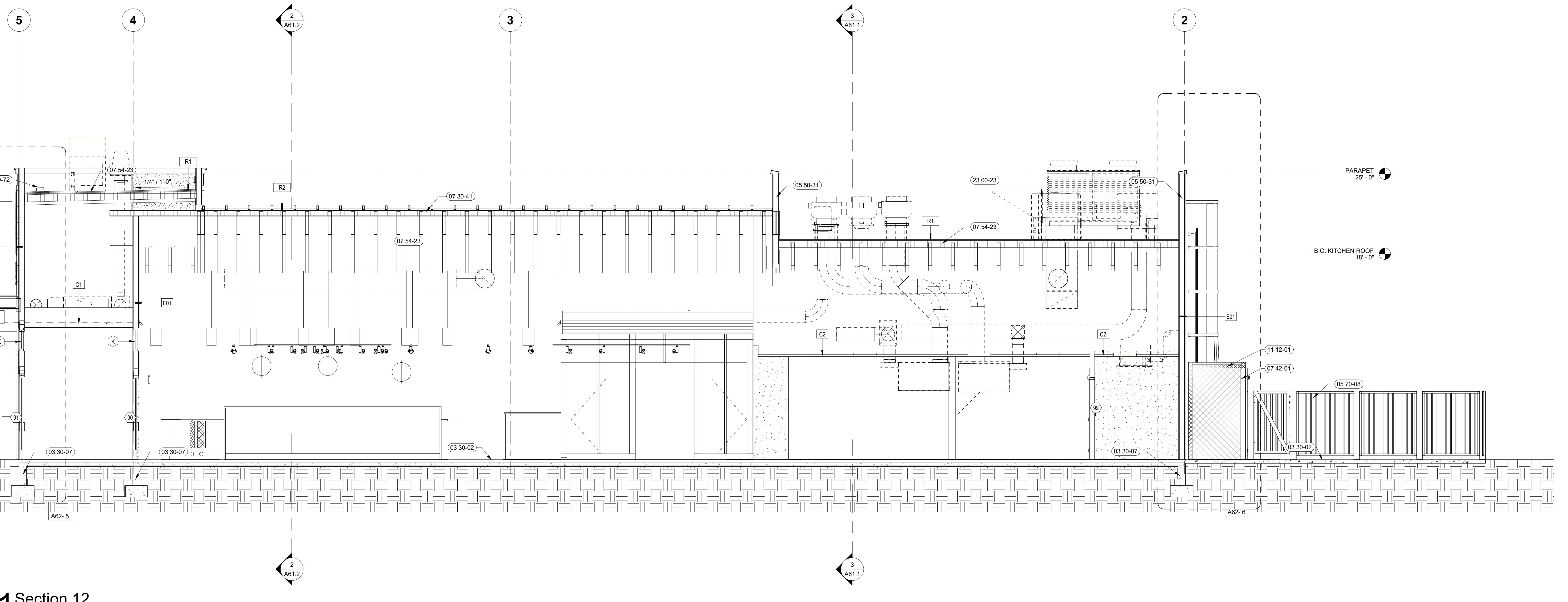
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## ## ##

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http://www.csqhq.com

## ## ##

7/20/2023 4:42:55 PM



SHEET NOTES:	
03 30-02 CONCRETE SLAB ON GRADE W/ CONTROL JOINTS, RE: FINISH 03 30-07 CONCRETE FOUNDATION AND ORN FOOTING, RE: STRUCTURAL 05 50-31 EQUIPMENT SCREEN WALL, CW STRUCTURAL DRAWINGS. 05 50-31 DECORATIVE METAL FENCE 05 50-41 STANDARD METAL ROOF PANELS OVER RIGID INSULATION 07 42-01 COOLER/FREEZER BOX AND DOOR PROVIDED BY OWNER INSTALLED BY CONTRACTOR 07 54-23 THERMOPLASTIC POLYOLEFIN (TPO) ROOFING 08 33-02 OVERHEAD COOLING DOOR 11 12-01 WALK-IN COOLER / FREEZER BY OTHERS, PROVIDE S.S. METAL CLOSURE TO ADJACENT WALLS, A7-29.30 22 00-72 ROOF DRAIN & OVERFLOW, CW/ PLUMBING DRAWINGS	## ## ##

## CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

**CSHQ**

### DESIGN DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN Author CHECKED Checker  
REVISED

SHEET TITLE

BUILDING SECTIONS

SHEET

**A61.2**

ORIGINAL SHEET SIZE  
36" x 48"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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LIGHTING FIXTURE SCHEDULE							
ITEM	DESCRIPTION	MANUFACTURER	PART NUMBER	ELECTRICAL DATA	COLOR TEMP.	LUMENS	MOUNTING
2R1	2x2 FLAT PANEL	COLUMBIA LIGHTING	SRP22-30LW-C-EDU	120 V/1-23 VA	3000K	3000	RECESSED
2R1E	2x2 EMERGENCY FLAT PANEL	COLUMBIA LIGHTING	SRP22-30LW-C-EDU BATTERY	120 V/1-23 VA	3000K	3000	RECESSED
EM1	EMERGENCY BUG EYE		TBD	120 V/1-6 VA	DO NOT USE		WALL MOUNT
EX1	EXIT SIGN		TBD	120 V/1-6 VA	DO NOT USE		CEILING/WALL MOUNT
LP1	8" SUSPENDED LINEAR	UNO	UNO1-OC-8FA-SPT48-1500 B3 30K UNV DM BLK	120 V/1-124 VA	3000K		SUSPENDED
LP1E	8" SUSPENDED LINEAR	UNO	UNO1-OC-8FA-SPT48-1500 B3 30K UNV DM BLK	120 V/1-124 VA	3000K		SUSPENDED
P1	PENDANT	DELRAY	P1 K W30 D	120 V/1-20 VA	3000K		SUSPENDED
P2	PENDANT	TRB	TRB	120 V/1-20 VA	3000K		SUSPENDED
PC1	EXTERIOR CYLINDER	PRESCOLITE	LTC-3RD-CMLBLRD-10L2230TD9W-DMLTW-VSBLBT-BL	120 V/1-15 VA	3000K		SUSPENDED
PL1	20" POLE LIGHT	KIM LIGHTING	ALT1-28W-85-3K-3-UNV-BLT-NKWS16F-BC	120 V/1-165 VA	3000K	10000	POLE MOUNT
PL2	20" POLE LIGHT	KIM LIGHTING	ALT1-28W-85-3K-3-UNV-BLT-NKWS16F	120 V/1-165 VA	3000K	10000	POLE MOUNT
RR1	6" RECESSED ROUND	PRESCOLITE	LTR-6RD-RFH-HL25L-DMLWF-LTR-6RW-T-HL2230TD9W	120 V/1-36 VA	3000K		RECESSED
RR1E	6" RECESSED ROUND EMERGENCY	PRESCOLITE	LTR-6RD-RFH-HL25L-DMLWF-LTR-6RW-T-HL2230TD9W	120 V/1-36 VA	3000K		RECESSED
T1	TRACK LIGHT	BRUCK	ZB450-SW1-BAL-30K-90-DASQ-DIM16Z-SMT-BK, FURNISH WITH CURRENT LIMITER	3000K			SUSPENDED
TL1	18.5" TAPE LIGHT	VIENNA	V-1809P66C-T30-18"	120 V/1-62 VA	3000K		SURFACE
TL2	18.5" TAPE LIGHT	VIENNA	V-1809P66C-T30	120 V/1-60 VA	3000K		SURFACE
TL3	17.5" TAPE LIGHT	VIENNA	V-1809P66C-T17.5"	120 V/1-58 VA	3000K		SURFACE
WP1	WET LISTED SCONCE	ULTRALIGHTS	Luz Azul 8801-18 BA-02	120 V/1-5 VA	3000K	1181	WALL MOUNT
WP2	WET LISTED SCONCE	ULTRALIGHTS	BASICS 17387 BA-02	120 V/1-17 VA	3000K	2362	WALL MOUNT
WP3	WET LISTED SCONCE	ARCHITECTURAL AREA LIGHTING	RN-D-2-10-3K-AS-UNV-BLT-W	120 V/1-66 VA	3000K	2000	WALL MOUNT

ROOM NUMBER	AREA DESCRIPTION	LIGHTING CONTROL SCHEDULE				PROGRAMMING			
		CONTROL TYPE				BUSINESS HOURS		AFTER-BUSINESS HOURS	
		MANUAL ON/OFF SWITCH	MANUAL DIMMER ON/OFF SWITCH	OCCUPANCY SENSOR	TIMED CONTROL	ON	AUTO OFF	ON	AUTO OFF

## CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

**CSHQ**

DESIGN  
DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN LLM CHECKED HLG  
REVISED

SHEET TITLE

LIGHTING  
SCHEDULE

SHEET

**E01**

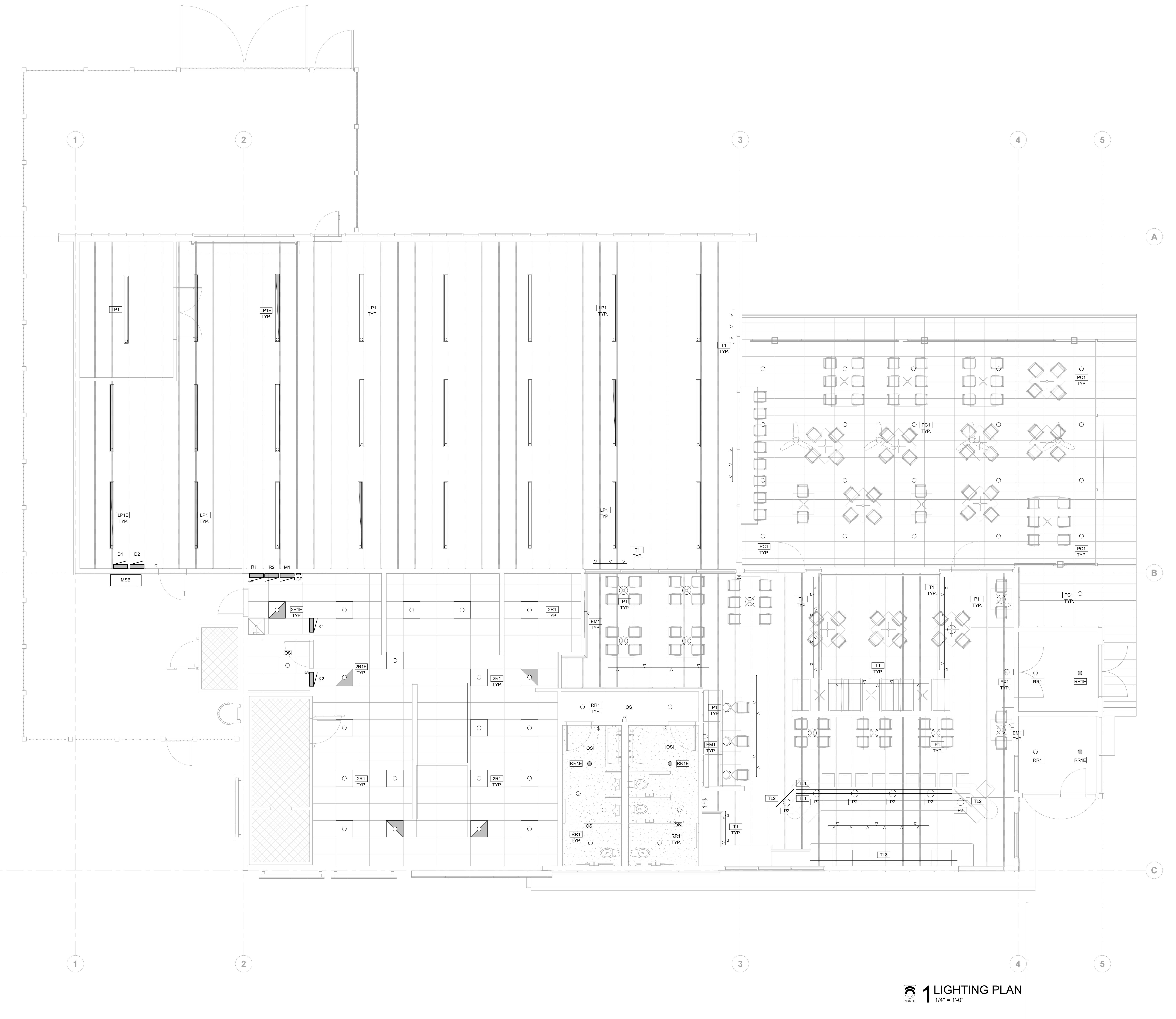
ORIGINAL SHEET SIZE  
36" x 48"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

JASON L. BRUNSON, P.E.

200 BROAD STREET  
BOISE, ID 83702  
(208) 343-4635 • FAX: (208) 343-1858  
http://www.cshq.com

CITY USE ONLY



GENERAL NOTES:

- A. REFER TO SHEET E01 FOR LIGHTING FIXTURE SCHEDULE AND LIGHTING CONTROL SCHEDULE. SEE SHEET E04 FOR DEVICE AND SYMBOL SCHEDULE.
- B. ALL CONDUITS WITH CIRCUIT CONDUCTORS SHALL HAVE A COPPER EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. 250.
- C. FURNISH AND INSTALL SAFETY WIRES AT ALL LIGHT FIXTURES INSTALLED IN A SUSPENDED CEILING.
- D. MOUNTING METHODS INDICATED AND REFERRED TO ARE MINIMUM CODE REQUIREMENTS. COMPLY WITH LOCAL CODES FOR ADDITIONAL SEISMIC RESTRAINTS.
- E. INSTALL HORIZONTAL SEISMIC BRACING WITH AIRCRAFT CABLING FOR SUSPENDED LIGHT FIXTURES AS REQUIRED BY CODE AND THE AUTHORITY HAVING JURISDICTION.
- F. ALL LIGHTING CIRCUITS HOMERUNS ARE TO BE 3/4" CONDUIT MINIMUM WITH BRANCH CIRCUIT #10 AND GROUNDING CONDUCTOR #10 UNLESS OTHERWISE NOTED.
- G. ALL EXIT LIGHTS AND THE EMERGENCY BATTERY OF EMERGENCY FIXTURES SHALL BE CONNECTED FOR CONTINUOUS OPERATION. CONNECT TO UNSWITCHED LIGHTING CIRCUIT.
- H. COORDINATE HOMERUN CIRCUIT NUMBERS WITH PANEL SCHEDULES. RE: SHEET E61.
- I. LEAVE PROTECTIVE COVER ON LIGHTS UNTIL TURNOVER TO PROTECT AGAINST DAMAGE.
- J. REVIEW LIGHTING REFLECTIVE CEILING PLAN AT TURNOVER AND IDENTIFY ANY MISSING OR NON WORKING FIXTURES. REPLACE LAMPS OR BALLAST PRIOR TO OPENING.
- K. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR FINAL LOCATION OF ALL CEILING MOUNTED ITEMS. REFER TO ARCHITECTURAL ELEVATIONS AND SECTION FOR MOUNTING HEIGHTS OF WALL OR COLUMN MOUNTED FIXTURES AND DEVICES.

CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

CSHQ

DESIGN  
DEVELOPMENT

PROJECT 22037 DATE 07-14-23  
DRAWN LLM CHECKED HLG  
REVISED

SHEET TITLE

LIGHTING  
PLAN

SHEET

E11

ORIGINAL SHEET SIZE  
36" x 48"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

JASON L. BRUNSON, P.E.

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PHONE: 208-345-8588  
BOISE, ID 83702  
http://www.csqhp.com

7/21/2023 8:30:31 AM

## GENERAL NOTES:

- A. REFER TO SHEET E02 FOR LIGHT FIXTURE SCHEDULE AND SHEET E00 FOR DEVICE AND SYMBOL SCHEDULE.  
 B. ALL CONDUITS WITH CIRCUIT CONDUCTORS SHALL HAVE A COPPER EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. 250.  
 C. MOUNTING METHODS INDICATED AND REFERRED TO ARE MINIMUM CODE REQUIREMENTS. COMPLY WITH LOCAL CODES FOR ADDITIONAL SEISMIC RESTRAINTS.  
 D. ALL LIGHTING CIRCUITS HOMERUNS ARE TO BE 3/4" CONDUIT MINIMUM WITH BRANCH CIRCUIT #10 AND GROUNDING CONDUCTOR #12 UNLESS OTHERWISE NOTED.  
 E. ALL EMERGENCY UNITS AND EXIT LIGHTS SHALL BE CONNECTED FOR CONTINUOUS OPERATION. CONNECT TO UNSWITCHED LIGHTING CIRCUIT.  
 F. COORDINATE HOMERUN CIRCUIT NUMBERS WITH PANEL SCHEDULES RE. SHEET E81-E84.  
 G. FURNISH AND INSTALL JUNCTION BOXES, AND CONDUIT STUBBED TO ROOF STRUCTURE FOR CONTROL WIRING.  
 H. LEAVE PROTECTIVE COVER ON LIGHTS UNTIL TURNOVER TO PROTECT AGAINST DUST.

## CHINDEN BAR AND DISTILLERY

3100 WEST CHINDEN BLVD.

CSHQ

SITE  
ELECTRICAL  
PLAN

ES10

ORIGINAL SHEET SIZE  
36" x 48"PRELIMINARY  
NOT FOR  
CONSTRUCTION

JASON L. BRONSON, P.E.

200 BROAD STREET • SUITE 340-355 • BOISE, ID 83702

PHONE: 208.343.8588

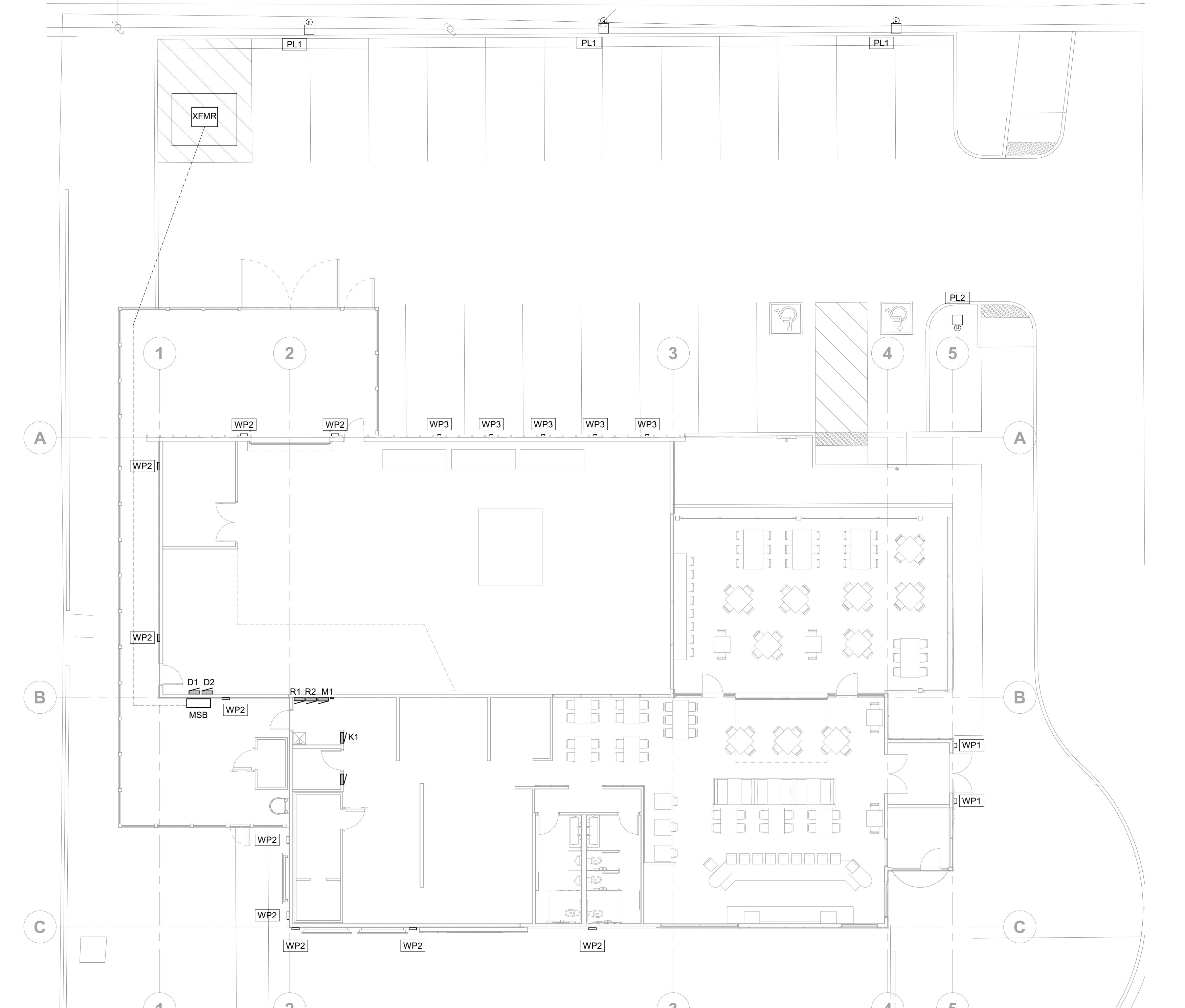
FAX: 208.343.8588

http://www.csqpc.com

TELEPHONE: 208.343.8588

FAX: 208.343.8588

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## SHEET NOTES:

DESIGN  
DEVELOPMENT

PROJECT	DATE
22037	07-14-23
DRAWN	CHECKED
LLM	HLG

REVISED

CITY USE ONLY

SHEET

ES10

ORIGINAL SHEET SIZE  
36" x 48"



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA



CSHOA

**COMPLIANCE STATEMENT AND STATEMENT OF INTENT**

**Chinden Distillery and Bar  
3100 West Chinden Boulevard  
Garden City, Idaho  
Project No. 22037.000**

**DESIGN INTENT**

We believe the design for the Chinden Distillery and Bar is compliant with design intent established in the development guidelines adopted by the City of Garden City. The proposed facility seeks to advance an urban setting along Chinden Boulevard by creating design interest while blending with adjacent properties and welcoming pedestrian traffic. The purpose and scope of the project is to provide an alternative drinking and dining venue, with a unique distillery component, that is accessible to the Boise River Greenbelt (*Greenbelt*) and compatible with the Riverside Hotel and Stagecoach Inn.

**BIKE AND PEDESTRIAN**

The proposed facility is located west of the Riverside Hotel and east of the Stagecoach Inn and is within cycling and walking distance of the Greenbelt and West Chinden Boulevard. A link to the Greenbelt is provided via East 32<sup>nd</sup> and Osage Streets. The owner of the Riverside Hotel property has vacated Osage Street and intends to develop it as a landscaped pedestrian and bike pathway. This project will include a pedestrian and bike pathway/sidewalk connection from Chinden Boulevard to Osage Street. The new plaza at the corner of Chinden Boulevard and 31<sup>st</sup> Street will include a large number of bike racks to accommodate the high number of bikes that are expected to travel to this site. The nearest public transit stop is located at the corner of Chinden Boulevard and East 36<sup>th</sup> Street providing safe and comfortable access to the facility.

**PARKING AND PARKING LOT STANDARDS**

Garden City parking and parking lot standards have been met. At least one (1) tree for every five (5) parking spaces has been provided. Bicycle parking is located adjacent to the building. Vehicle parking is located on the north side of the facility away from Chinden Boulevard giving the building more street presence. Parking is adequately screened from adjacent uses with landscaping and parking stalls are within 100 feet of a shade tree.

**COMMUNITY INTERACTION**

The proposed development is incorporated within the Riverside Hotel complex providing an additional unique drinking and dining experience for guests as well as others who frequent the Greenbelt and the community of Garden City at large. Being part of the Riverside Hotel complex supports the concept of nodes rather than strip commercial along Chinden Boulevard promoting a place where people want to be.

**Compliance Statement and Statement of Intent**

Chinden Distillery and Bar  
3100 West Chinden Boulevard  
Garden City, Idaho  
Project No. 22037.000  
Page 2 of 2

**LANDSCAPING**

More than 5 percent of the site is dedicated to landscaping. There is at least one (1) Class II or III tree provided for every 50 feet of street frontage. No trees are being removed from the site. Landscaping is compatible with local climate and will be watered with drip irrigation.

**BUILDING DESIGN**

The building is placed forward against Chinden Boulevard with parking in the back to strengthen the urban edge and screen parking from the street. An enlarged entry plaza and enhanced architectural form draw interest to the southeast corner of the property and main entrance to the building. Outdoor service and equipment areas are screened with a solid decorative fence. The building provides visual interest and a positive contribution to the overall urban fabric of the community by incorporating a variety of visually interesting materials accented on offset planes.

*Request for Variance*

This property has an existing 24-inch diameter irrigation utility main/easement running parallel to Chinden Boulevard and located several feet into the property. This easement requires the building to be set back an additional 7 feet beyond the required 5 foot front yard setback. Since this hardship limits the developable area of the site, we request a variance from Garden City Zoning Ordinance 8-4C-3.A.6. - Wall Plane which limits the length of exterior wall planes to no more than two and one-half (2½) times the height of the wall plane without a 6 foot<sup>+</sup> offset in the wall plane. The building elevation facing Chinden Boulevard exceeds the allowable wall plane length-to-height ratio; however, we have mitigated this by providing changes in wall height, material, color, glazing and 12 inch<sup>+</sup> changes in wall plane surface. In addition, we have increased the building front yard setback from 5 feet to approximately 12 feet and added landscaping, trees and plant material to create more visual interest further mitigate the issue.

Thank you for considering this request.

