



DESIGN REVIEW

Permit info: DSRFY2023-0007

Application Date: 07/26/2023

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Andres Vasquez	Name: David Johnson
Company: CSHQA	Company: Riverside Hospitality, LLC
Address: 200 Broad St.	Address: 2900 Chinden Blvd.
City: Boise	City: Garden City
State: ID Zip: 83702	State: ID Zip: 83714
Tel.: 208 343-4635	Tel.: 208-371-9107
E-mail: andres.vasquez@cshqa.com	E-mail: david@davidjohnson.net

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 3100 W. Chinden Blvd.

Subdivision Name: Fairview Acres No 5	Lot: 1 to 3 inc	Block: 38
Tax Parcel Number: R2734541900	Zoning: C1	Total Acres: .51
Proposed Use: Bar and Distillery	Floodplain: Yes	No X

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 07/24/2023   7/24/2023
Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | N/A <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input checked="" type="checkbox"/> Schematic Drawing | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input checked="" type="checkbox"/> Topographic Survey | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input checked="" type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials N/A | |

PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8. No drive-through.
- N/A ☐ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
 - ☒ Driveways, access to public streets, parking with stalls, loading areas.
 - ☒ Sidewalks, bike and pedestrian paths.
 - ☒ Berms, walls, screens, hedges and fencing.
 - ☒ Location and width of easements, canals, ditches, drainage areas.
- N/A ☐ Location, dimensions and type of signs. Signs located on building, see exterior elevations.
- N/A ☐ Trash storage and mechanical equipment and screening. Utilizing existing Riverside Hotel trash facilities.
 - ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
 - ☒ Log depicting square footage of impervious surface, building and landscaping
 - ☒ Location and height of fences and exterior walls
 - ☒ Location and dimensions of outdoor storage areas
 - ☒ Location of utilities and outdoor serviced equipment and areas
 - ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☒ Scale the same as the site plan.
- ☒ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☒ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- N/A ☐ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☒ Log of square footage of landscaping materials corresponding to location
- ☒ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☒ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☒ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☒ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☒ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- N/A ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Scale not less than one inch equals twenty feet (1" = 20')
- ☒ Two foot (2') contours for the entire proposal site
- ☒ One foot (1') contours for details, including all planimetric features
- ☒ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☒ Existing easement and utility locations
- ☒ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☒ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☒ Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

****Required for developments of two or more buildings:***

N/A ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

****Required if irrigation canal/irrigation ditch runs through property or along property lines:***

☒ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

N/A ☐ Statement must include a list of the application materials to be waived and an explanation for the request.



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

July 18, 2023

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 3100 W Chinden Blvd

Fire hydrant serving this address: #2014

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

Andres Vasquez

From: Wee Boise <weeboise@gmail.com>
Sent: Monday, July 10, 2023 5:19 PM
To: Jeff Ward
Cc: jj@weeboise.com; Andres Vasquez
Subject: Re: Chinden Distillery - 3100 West Chinden

Thanks Jeff, I can confirm that from Fairview Acres Lateral Water Users Association's perspective, we have no problem with the solutions being proposed, or with the location of the building being close to the location of the pipe. As a property owner your client is assuming all risk associated with those choices if there are problems with the pipe at a later date, all the cost to repair that pipe will be the property owner's responsibility and not Fairview Acres. We are happy to continue to help to make sure that no problems arise, so that this can be a successful project.

Attn: Jason Jones
Wee Boise Inc.
208 E 33rd St
Garden City, Idaho 83714

Mobile: (208)9999-208
Office: (225)284-9102

On Jul 10, 2023, at 3:05 PM, Jeff Ward <jeff.ward@cshqa.com> wrote:

Mr. Jones,

Thank you for the multiple conversations we have had as this project has been developing over the past few months.

As we have discussed our design intent is to place the building close to the existing 24" lateral running east to west across the property. As part of the project most of the line crossing the property would be replaced with sewer class PVC piping, starting west of the access at vacated 31st to the existing junction box in the southwest corner of the property. Further investigation will determine if the connection to the existing pipe will be made with a new junction box or a coupler joint.

For Design Review submittal to Garden City, please confirm this intent is acceptable to the Fairview Acres Lateral Water Users Association and provide any additional pertinent information I may have missed. Thank you.

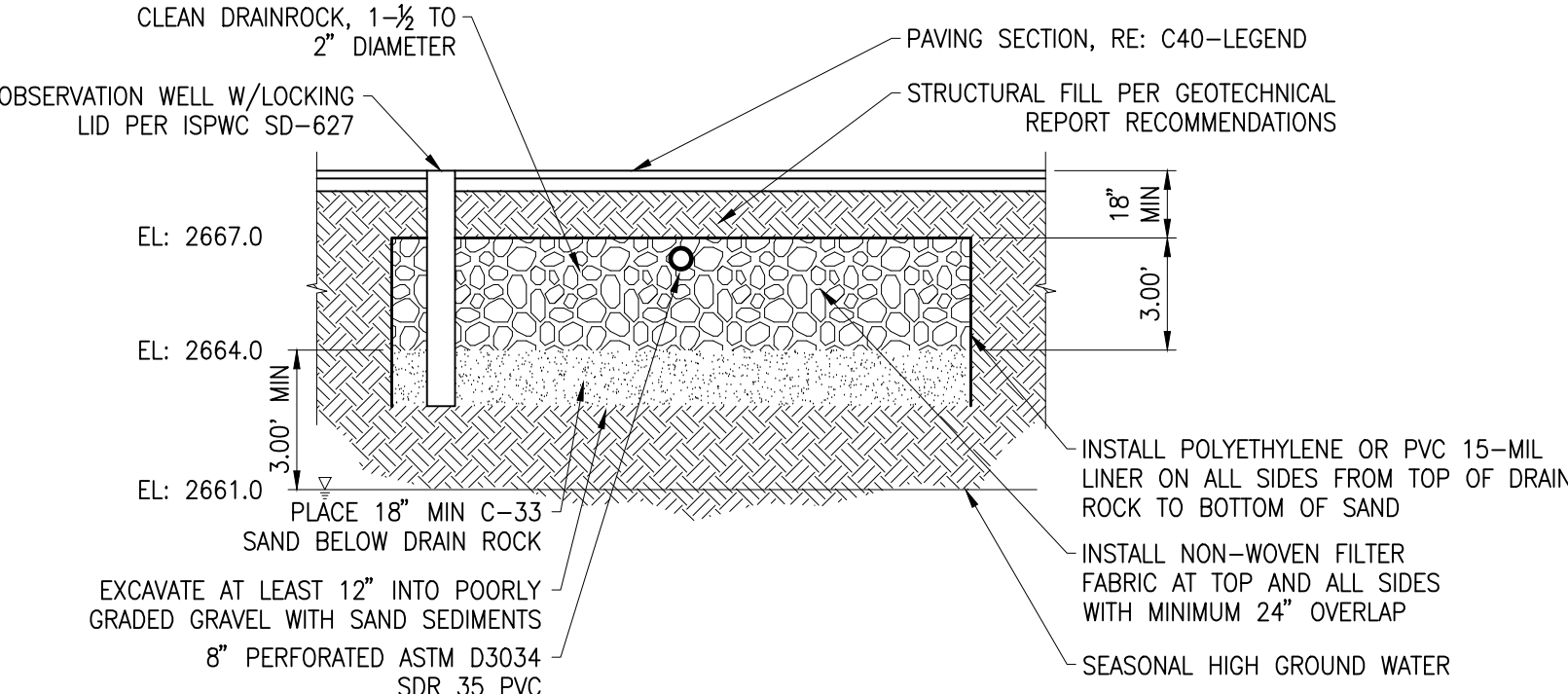
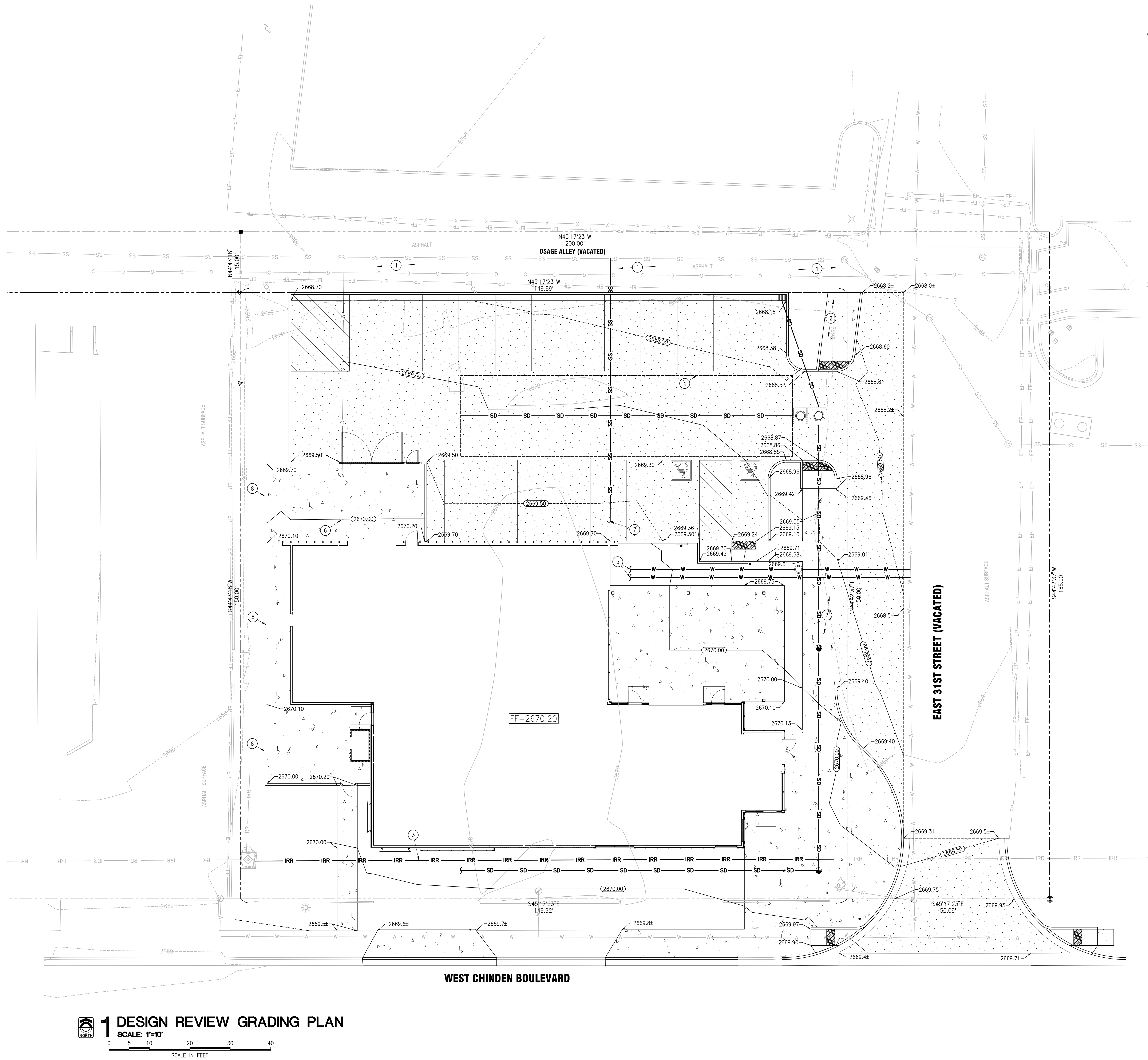
Jeff Ward PE | **CSHQA**

Land Development

200 Broad St • Boise, ID 83702 | T 208.343.4635 | D 208.429.4037 | C 208.859.7863

people who listen • design that speaks
an employee-owned company





- NOTES:
1. SEEPAGE BED TO BE PLACED 25' AWAY FROM ALL BUILDINGS.
 2. SEE GEOTECHNICAL REPORT FOR SOIL DEPTHS, SOIL TYPES, GROUNDWATER ELEVATIONS AND SPECIFIC REQUIREMENTS.
 3. OBSERVATION WELLS PER BOISE STORM WATER MANUAL FIGURE 3.13 REQUIRED, 1 PER EVERY 2000 SF.

2 SEEPAGE BED SECTION

SCALE: NOT TO SCALE

DESIGN REVIEW NOTES

- A. THE PROPOSED GRADING AND DRAINAGE REQUIRES CROSS DRAINAGE WITH THE ADJACENT VACATED 31ST PARCEL, BUT GREATLY REDUCES THE CONTRIBUTING AREA SHEET FLOWING TO THE THIS PARCEL IN THE EXISTING CONDITION.
- B. THE FINAL CONDITION OF ALL AREA DISTURBED BY THIS PROJECT WILL BE BUILDING, PAVING, OR LANDSCAPED.
- C. THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK OR RAMP SHALL NOT EXCEED 2.0%.
- D. PROPERTY IS LOCATED IN ZONE X/MIN HAZARD.

LEGEND:

- MODERATE DUTY PAVEMENT: 3" AC ON 4" CRUSHED AB ON 10" STRUCTURAL SB ON PREPARED SUBGRADE, RE: GEOTECHNICAL REPORT
- 50.31 EDGE OF PAVEMENT/CONCRETE (UNLESS OTHERWISE NOTED)

SHEET NOTES:

1. VACATED OSAGE ALLEY TO BE MODIFIED TO A PEDESTRIAN CORRIDOR BY OTHERS. THIS PROJECT WILL COORDINATE WITH THAT PROJECT FOR CONTINUITY.
2. 8' WIDE SIDEWALK TO CONNECT CHINDEN SIDEWALK TO PEDESTRIAN CORRIDOR.
3. 24" FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION GRAVITY IRRIGATION LINE TO BE REPLACED WITH SDR 35 PVC. NO EASEMENT IS ASSOCIATED WITH THIS LINE.
4. 82'x20' SEEPAGE BED, RE: C40-2 AFTER SAND AND GREASE TRAP.
5. NEW DOMESTIC AND FIRE SERVICES.
6. APPROXIMATE LOCATION OF GAS METER, SERVICE LINE BY INTERMOUNTAIN GAS.
7. NEW SANITARY SEWER SERVICE COORDINATE WITH PLUMBING FOR EXACT LOCATION OF CONNECTION AFTER GREASE INTERCEPTOR. SERVICE SHALL BE SLEAVED IN ANWA C-900 DR18 PVC THROUGH AND 10' BEYOND EDGES OF SEEPAGE BED. SEAL ENDS OF PIPE SLEEVE WITH EXPANDING POLYURETHANE FOAM.
8. THICKENED EDGE SIDEWALK TO ALLOW GROUND ON WEST SIDE TO BE UP TO 18" BELOW TOP OF SIDEWALK ELEVATION. LANDSCAPED AREA BETWEEN SIDEWALK AND PROPERTY LINE TO BE ESSENTIALLY LEVEL.

1 DESIGN REVIEW GRADING PLAN

SCALE: 1"=10'

SCALE IN FEET

PRELIMINARY
NOT FOR
CONSTRUCTION

JODY T. WARD, P.E.

GARDEN CITY, IDAHO

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHQA

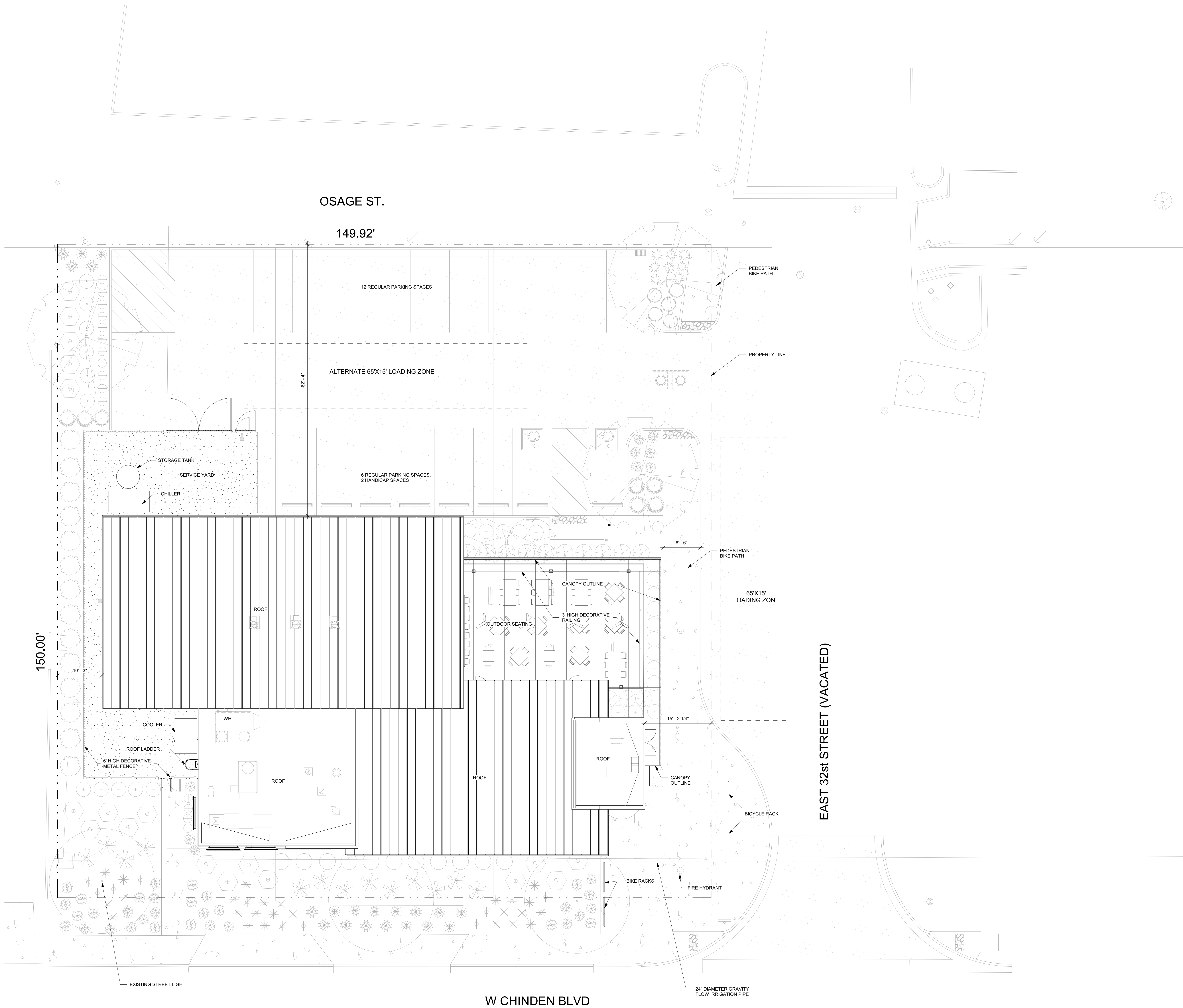
PROJECT	DATE
00000	00-00-20
DRAWN	CHECKED
JTW	JTW

REVISED

DESIGN
REVIEW
GRADING PLAN

SHEET

C40
ORIGINAL SHEET SIZE
36" x 48"



LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- WALL TYPE, RE: A21 FOR WALL TYPES WITH VARIABLE HEIGHT, SEE TOP OF WALL ELEVATION
- SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE
- INTERIOR ELEVATIONS SEE DWG. #1 @ SHT. 151, 152, 153

GENERAL NOTES:

SHEET NOTES:



1 SITE PLAN
1/8" = 1'-0"

BUILDING SQUARE FOOTAGE:

DINING: ASSEMBLY UNCONCENTRATED
KITCHEN, COMMERCIAL:
OUTSIDE PATIO:
F-1 DISTILLERY SPACE:

TOTAL:

1,466 SF.
1,279 SF.
1,277 SF.
3,020 SF.
7,002 SF.

SITE SQUARE FOOTAGE:

BUILDING:
LANDSCAPING:
IMPERVIOUS SURFACE:

TOTAL:

7,002 SF.
5,006 SF.
10,500 SF.
22,508 SF.

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: (208) 343-4635 • FAX: 208-343-1838
WWW.CSHOA.COM
GARDEN CITY, IDAHO
200 BROAD STREET
BOISE, ID 83702
PHONE: (208) 343-4635
(208) 343-4635
http://www.csha.com

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN
DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker

REVISED

SHEET TITLE

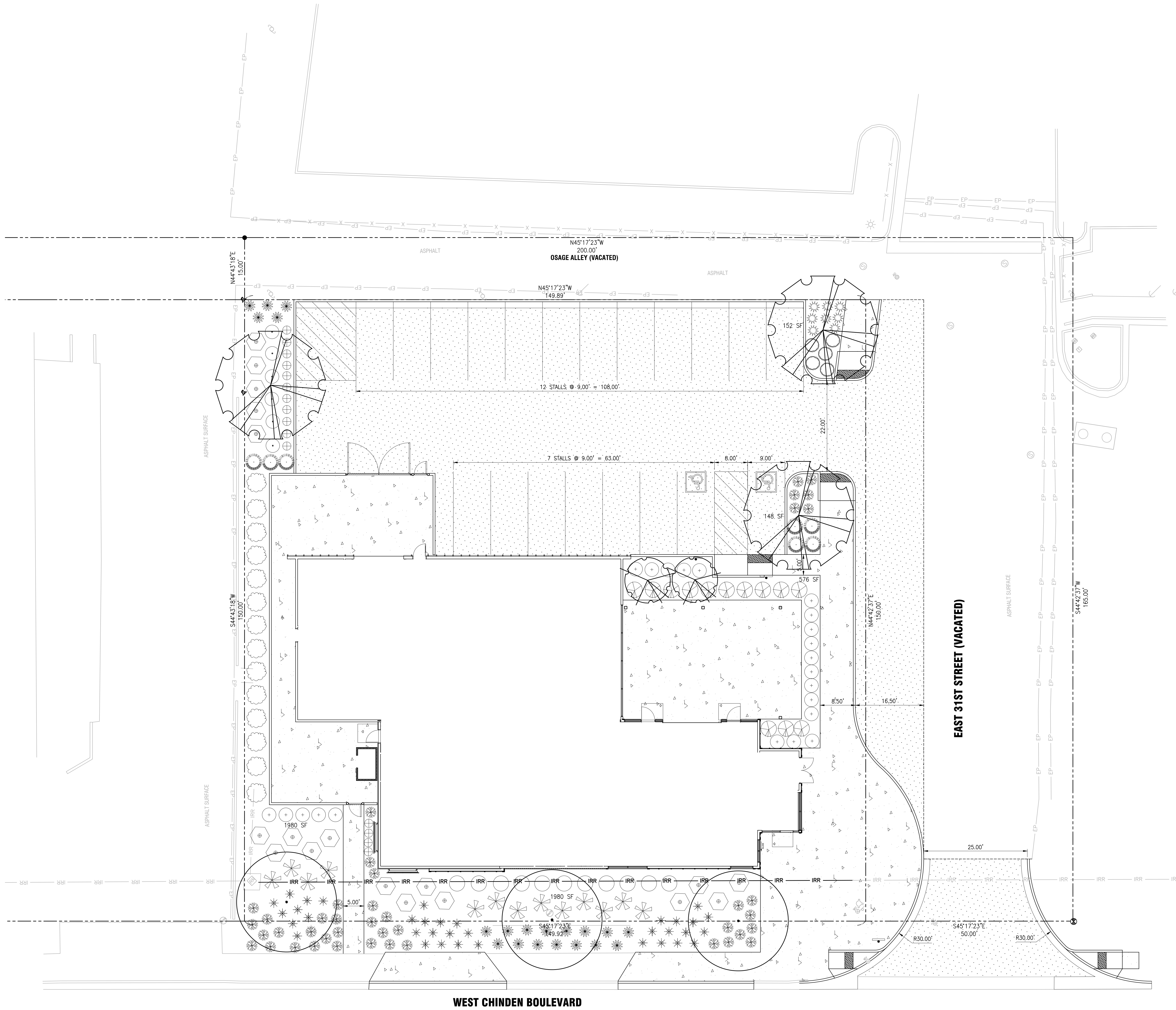
ARCH. SITE
PLAN

SHEET

AS10

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY



1 DESIGN REVIEW LANDSCAPE PLAN
SCALE: 1"=10'
0 5 10 20 30 40
SCALE IN FEET

PLANT SCHEDULE				
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	QTY
TREES				
	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'	2" caliper	3
	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold'	2" caliper	3
	Kindred Spirit Oak	Quercus x waresi 'Nodder'	2" caliper	2
SHRUBS				
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	QTY
	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gallon	22
	Blanketflower	Gallardia aristata	1 gallon	5
	Goldfinger Potentilla	Potentilla fruticosa 'Goldfinger'	2 gallon	5
	Lavender	Lavandula angustifolia	2 gallon	11
	Golden Sword Yucca	Yucca filamentosa 'Golden Sword'	2 gallon	18
	Black Eyed Susan	Rudbeckia hirta	1 gallon	35
	Common Yarrow	Achillea millefolium	1 gallon	8
	Autumn Joy Sedum	Sedum telephium 'Autumn Joy'	1 gallon	15
	Red Yucca	Hesperaloe parviflora	2 gallon	7
	Ribbon Grass	Phalaris arundinacea	1 gallon	13
	Variegated Boxleaf Euonymus	Euonymus japonicus 'Microphyllus variegatus'	2 gallon	13
	Firecracker Penstemon	Penstemon eatonii	1 gallon	38
	Golden Current	Ribes aureum	2 gallon	14
	Blue Fescue	Festuca glauca ovina 'Elijah Blue'	1 gallon	20

- GENERAL NOTES:**
- A. ALL PLANTING BEDS SHALL RECEIVE A 3" DEPTH OF INORGANIC MULCH.
- B. THE SITE WILL BE MAINTAINED THROUGHOUT THE YEAR BY PROFESSIONAL LANDSCAPE MAINTENANCE CREW. SUCH MAINTENANCE SHALL INCLUDE BUT WILL NOT BE LIMITED TO WEEKLY MOWING AND TRIMMING OF THE TURF, REGULAR FERTILIZATION, ANNUAL TREE AND SHRUB PRUNING, WEEDING AND TRASH OR DEBRIS REMOVAL.
- C. FINISH GRADES FOR LANDSCAPE AREAS TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. SLOPES FOR TURF AREAS SHALL NOT EXCEED 4:1.
- D. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSESRYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- E. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.
- F. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PROVIDED ON ALL PLANS. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOO, EROSION, AND DRIP LINE QUANTITIES.
- G. THIS DESIGN AS SHOWN IS INTENDED TO BE PERMANENTLY IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM COMPOSED LOW-VOLUME DRIP LINE. THE SYSTEM SHALL BE CONTROLLED WITH AN PROGRAMMABLE IRRIGATION CONTROLLER, CAPABLE OF ADJUSTING FOR CLIMATIC VARIANCES. WHERE POTABLE WATER IS REQUIRED, ONE POINT OF CONNECTION SHALL BE MADE AND FITTED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER.

LEGEND:

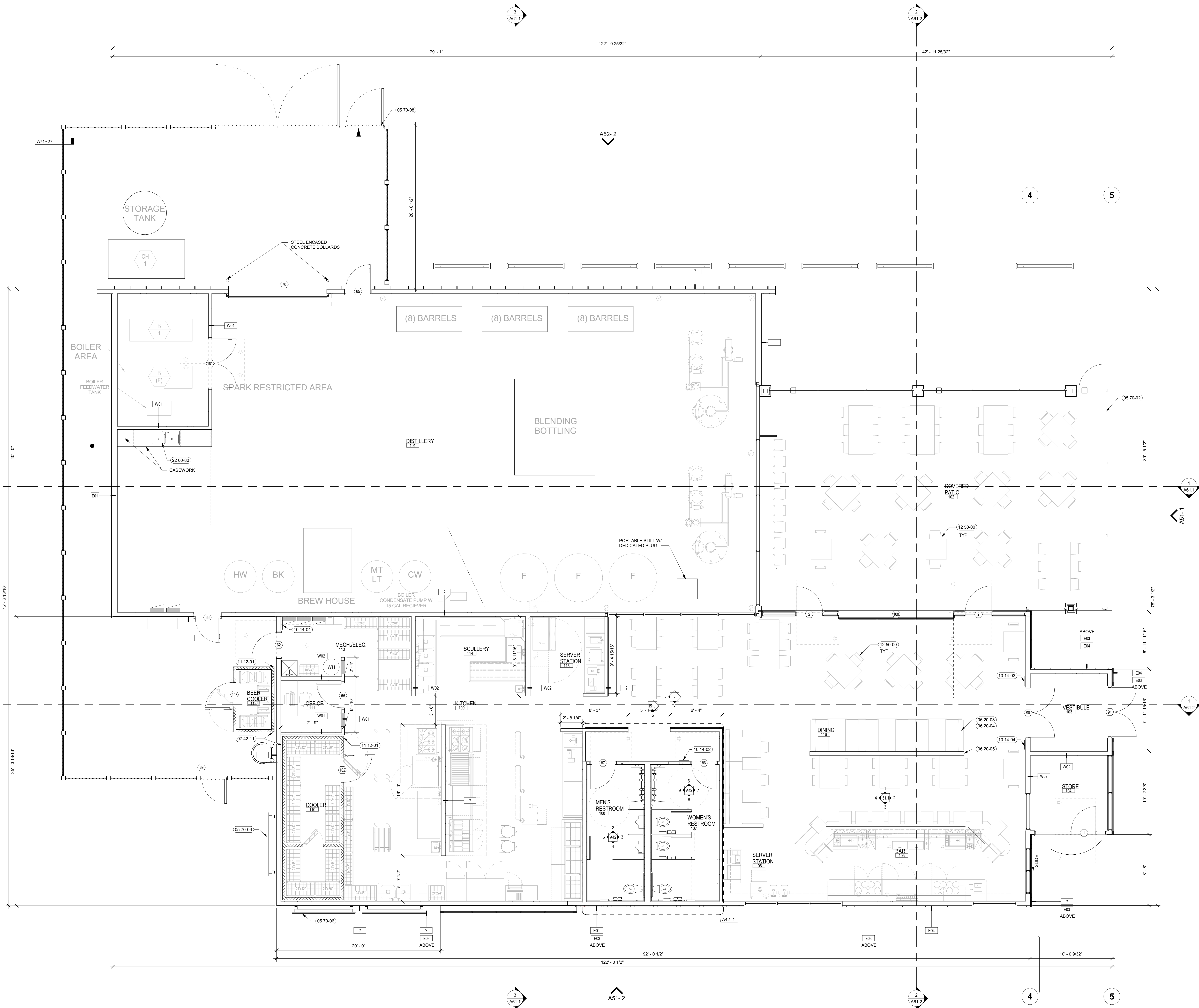
- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- DOOR NUMBER, RE: A82 DOOR SCHEDULE
- WINDOW TYPE, RE: A82 WINDOW TYPES
- WALL TYPE, RE: A21 FOR WALL TYPES WITH VARIABLE HEIGHT, SEE TOP OF WALL ELEVATION
- SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE
- INTERIOR ELEVATIONS
SEE DWG. #1 @ SHY. 151, 152, 153

GENERAL NOTES:

- A. FINISH FLOOR ELEVATION (100.00) IS FOR REFERENCE ONLY. SEE SEPARATE BOUND CIVIL SET FOR ACTUAL FLOOR ELEVATION.
- B. ALL WALL DIMENSIONS ARE TO FACE OF STUD AND/OR NOMINAL FACE OF MASONRY.
- C. PROVIDE BLOCKING WHERE REQUIRED FOR FIXTURE INSTALLATION. COORDINATE WITH FIXTURE INSTALLER FOR MOUNTING HEIGHTS.
- D. BRACE WALLS THAT DO NOT EXTEND TO STRUCTURE WITH 3/8" METAL STUD DIAGONAL BRACE AT 48" O.C. ANCHOR TO BOTTOM FLUTE OF ROOF DECKING AND AT TOP TRACK OF PARTITION WALL. BRACES TO BE CONCEALED WHENEVER POSSIBLE.
- E. PROVIDE 5/8" GYP. BD. AT EXISTING EXTERIOR STUD FRAMED WALLS, FINISH.
- F. THE HINGE SIDE OF ALL DOOR FRAMES SHALL BE MOUNTED 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- G. RE: I-SERIES FOR FURNITURE PLANS.
- H. CONTRACTOR SHALL PROVIDE BLOCKING OR BACKING FOR ALL WALL MOUNTED AND RECESSED ACCESSORIES AND EQUIPMENT. ASSURE THAT ALL REQUIRED BACKING IS INSTALLED IN WALLS PRIOR TO INSTALLING DRYWALL. THIS INCLUDES BACKING FOR WALL-MOUNTED DOORSTOPS.
- I. THE HINGE SIDE OF ALL DOOR FRAMES SHALL BE MOUNTED 4" MIN. FROM ADJACENT PERPENDICULAR WALL U.N.O.
- J. SINKS AND FITTING SHOWN WITHIN MILLWORK ARE INDICATED ON PLUMBING PLANS.
- K. CONTRACTOR SHALL FIELD MEASURE ALL AREAS TO RECEIVE MILLWORK PRIOR TO FABRICATION OF MILLWORK.
- L. VERIFY ALL PLUMBING FIXTURES WITH PLUMBING DRAWINGS.

SHEET NOTES:

- 05 70-02 DECORATIVE METAL RAILING, RE: A73_
- 05 70-06 DECORATIVE METAL TRELLIS
- 05 70-08 DECORATIVE METAL FENCE
- 06 20-03 BUILT-IN BENCH SEATING, RE: A71-4
- 06 20-04 RAISED FLOORING, RE: A71-5
- 06 20-05 PARTIAL HEIGHT WALL, RE: A71-2,3,6
- 07 42-11 2 MIN. CLEAR AIR SPACE AT WALK-IN COOLER/FREEZER
- 10 14-02 RESTROOM PANEL SIGN BY CONTRACTOR, RE: A71-10,11
- 10 14-03 DINING ROOM OCCUPANCY SIGN BY CONTRACTOR, RE: A71-12
- 10 14-04 TACTILE EXIT SIGN BY CONTRACTOR, RE: A71-29,30
- 11 12-01 WALK-IN COOLER / FREEZER BY OTHERS, PROVIDE S.S METAL CLOSURE TO ADJACENT WALLS, A71-29,30
- 12 50-00 FURNITURE BY OWNER
- 22 00-80 PLUMBING FIXTURES, RE: AXX.



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

CITY USE ONLY



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"


MATERIALS & FINISH SCHEDULE:

X	MATERIAL	#	FINISH/COLOR
A	CENTRIA "STYLE-RIB" METAL PANEL		CENTRIA 857 RUST
B	CENTRIA "ENCONLAP 3/4" METAL PANEL		CENTRIA 861 CRYSTAL ZINC
C	HARE BOARD AND BATTEN SIDING		PAINTED GRAY
D	EI'S PANEL SIDING		INTEGRAL GRAY - GREEN SAND FINISH
E	STANDING SEAM METAL ROOF/SIDING		CENTRIA 854 MEDIUM MAPLE
F	WOOD TRIM		STAINED
G	STOREFRONT		BLACK
H	METAL FASCIA/COPING		BLACK
I	SOFFIT/SIDING		DARK KNOTTY PINE
J	GLAZING		CLEAR
M	GLULAM BEAM		STAINED
L	HOLLOW METAL DOOR		-
K	SPANDREL GLAZING		BLACK

LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- (05) DOOR NUMBER, RE: A82 DOOR SCHEDULE
- (A) WINDOW TYPE, RE: A82 WINDOW TYPES
- (00 00-01) SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- A. PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECT'S APPROVAL.
- B. FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- C. THE REFERENCE ELEVATION MARKED WITH  REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/ CIVIL FOR ACTUAL FLOOR ELEVATION.
- D. ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURSING, ETC.
- E. LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF _____.
- F. ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- G. COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-02 DECORATIVE METAL RAILING, RE: A73-
05 70-06 DECORATIVE METAL TRELLIS
11 12-01 WALK-IN COOLER / FREEZER BY OTHERS, PROVIDE S.S METAL CLOSURE TO ADJACENT WALLS, A71-29.30

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: 208-343-4635 • FAX: 208-343-8838
WWW.CSHOA.COM

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

GARDEN CITY, IDAHO

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN
DEVELOPMENT

PROJECT	22037	DATE	07-14-23
DRAWN	Author	CHECKED	Checker

REVISED

SHEET TITLE

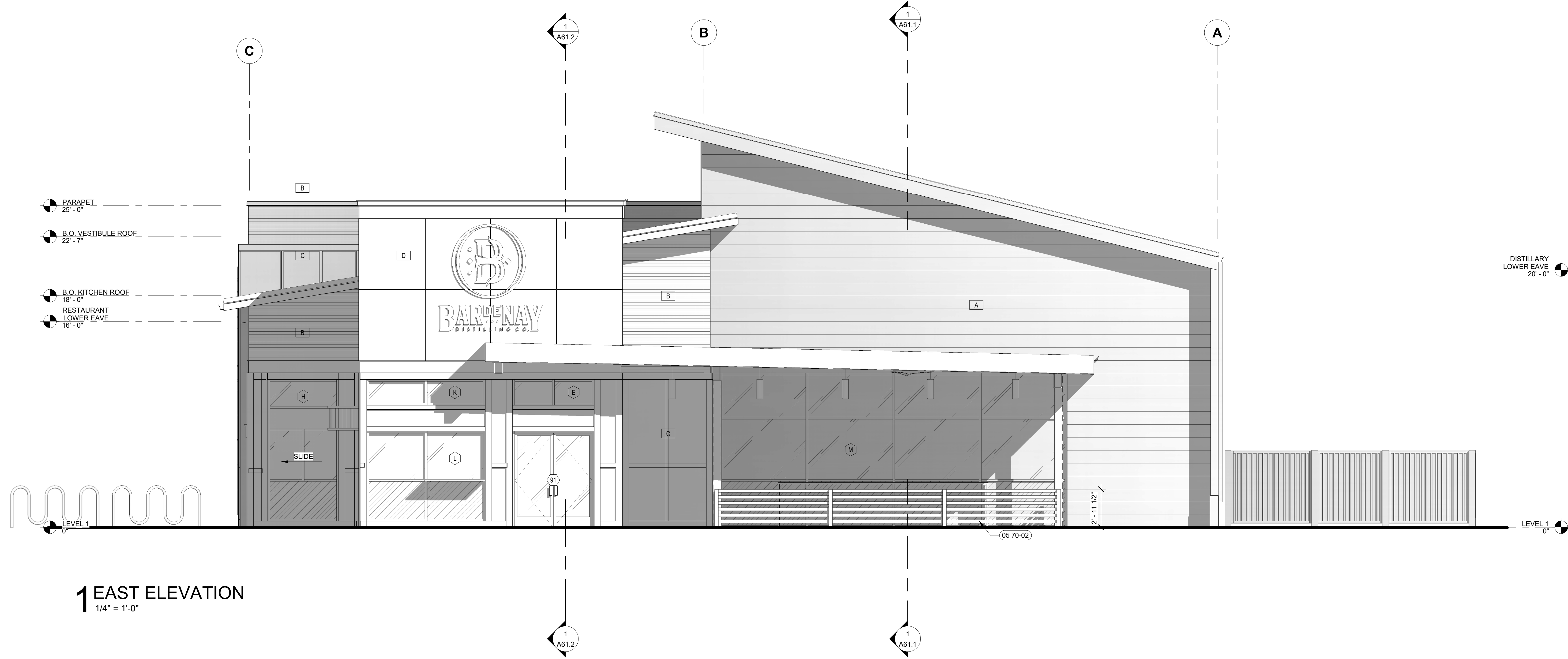
EXTERIOR
ELEVATIONS

SHEET

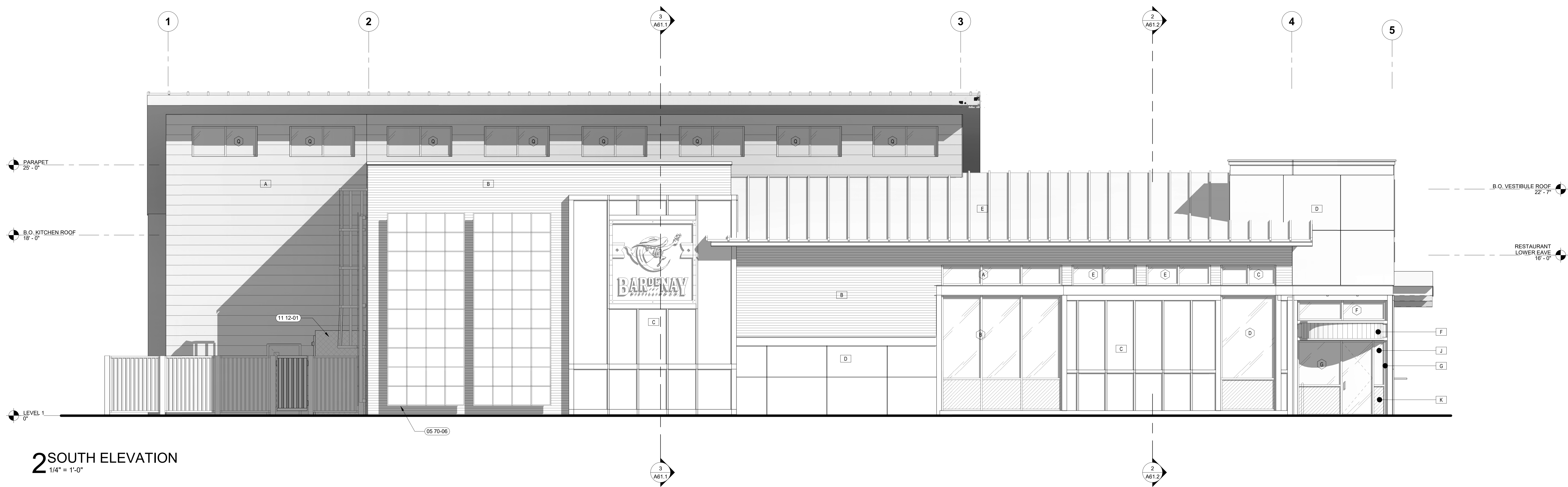
A51

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

MATERIALS & FINISH SCHEDULE:

X	MATERIAL	#	FINISH/COLOR
A	CENTRIA "STYLE-RIB" METAL PANEL		CENTRIA 857 RUST
B	CENTRIA "ENCONLAP 3/4" METAL PANEL		CENTRIA 861 CRYSTAL ZINC
C	HARE BOARD AND BATTEN SIDING		PAINTED GRAY
D	EI'S PANEL SIDING		INTEGRAL GRAY - GREEN SAND FINISH
E	STANDING SEAM METAL ROOF/SIDING		CENTRIA 854 MEDIUM MAPLE
F	WOOD TRIM		STAINED
G	STOREFRONT		BLACK
H	METAL FASCIA/COPING		BLACK
I	SOFFIT/SIDING		DARK KNOTTY PINE
J	GLAZING		CLEAR
M	GLULAM BEAM		STAINED
L	HOLLOW METAL DOOR		-
K	SPANDREL GLAZING		BLACK

LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- (05) DOOR NUMBER, RE: A82 DOOR SCHEDULE
- (A) WINDOW TYPE, RE: A82 WINDOW TYPES
- (00 00-01) SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- A. PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECT'S APPROVAL.
- B. FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- C. THE REFERENCE ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/ CIVIL FOR ACTUAL FLOOR ELEVATION.
- D. ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURSING, ETC.
- E. LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF _____.
- F. ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- G. COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-02 DECORATIVE METAL RAILING, RE: A73-
05 70-06 DECORATIVE METAL TRELLIS
11 12-01 WALK-IN COOLER / FREEZER BY OTHERS, PROVIDE S.S METAL CLOSURE TO ADJACENT WALLS, A71-29.30

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: (208) 343-4635 • FAX: (208) 343-8838
WWW.CSHOA.COM

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.
BOISE, ID 83702
PHONE: (208) 343-4635 • FAX: (208) 343-8838
WWW.CSHOA.COM

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN
DEVELOPMENT

PROJECT
22037

DATE
07-14-23

DRAWN
Author

CHECKED
Checker

REVISED

SHEET TITLE

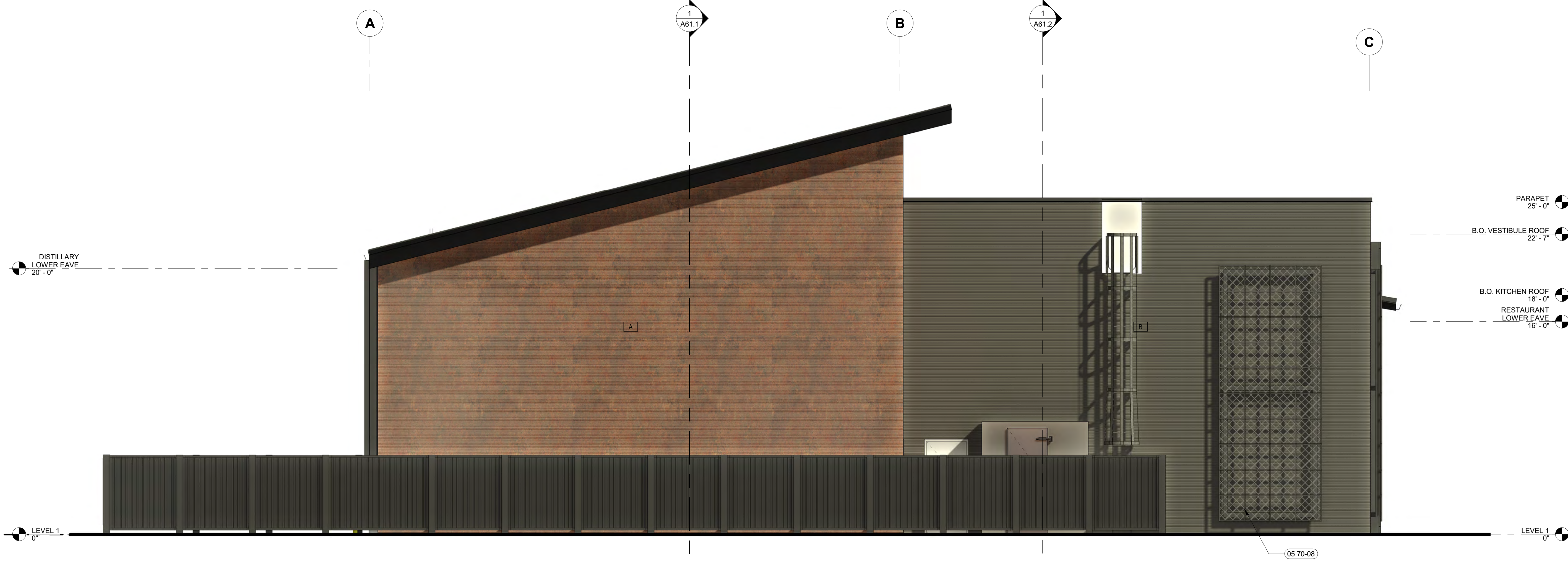
EXTERIOR
ELEVATIONS

SHEET

A51

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY



1 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"


MATERIALS & FINISH SCHEDULE:

X	MATERIAL	#	FINISH/COLOR
A	CENTRIA "STYLE-RIB" METAL PANEL	CENTRIA 857 RUST	
B	CENTRIA "ENCONLAP 3/4" METAL PANEL	CENTRIA 861 CRYSTAL ZINC	
C	HARE BOARD AND BATTEN SIDING	PAINTED GRAY	
D	EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH	
E	STANDING SEAM METAL ROOF/SIDING	CENTRIA 854 MEDIUM MAPLE	
F	WOOD TRIM	STAINED	
G	STOREFRONT	BLACK	
H	METAL FASCIA/COPING	BLACK	
I	SOFFIT/SIDING	DARK KNOTTY PINE	
J	GLAZING	CLEAR	
M	GLULAM BEAM	STAINED	
L	HOLLOW METAL DOOR	-	
K	SPANDREL GLAZING	BLACK	

LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- (101) DOOR NUMBER, RE: A82 DOOR SCHEDULE
- (A) WINDOW TYPE, RE: A82 WINDOW TYPES
- (00 00-01) SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- A. PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECT'S APPROVAL.
- B. FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- C. THE REFERENCE ELEVATION MARKED WITH  REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CW/ CIVIL FOR ACTUAL FLOOR ELEVATION.
- D. ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURSING, ETC.
- E. LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF _____.
- F. ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- G. COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-08 DECORATIVE METAL TRELLIS
- 05 70-08 DECORATIVE METAL FENCE

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: (208) 343-4635 • FAX: (208) 343-4638
WWW.CSHOA.COM

GARDEN CITY, IDAHO
200 BROAD STREET
BOISE, IDAHO 83702
PHONE: (208) 343-4635 • FAX: (208) 343-4638
WWW.CSHOA.COM

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN
DEVELOPMENT

PROJECT
22037
DATE
07-14-23
DRAWN
Author
CHECKED
Checker

REVISED

SHEET TITLE

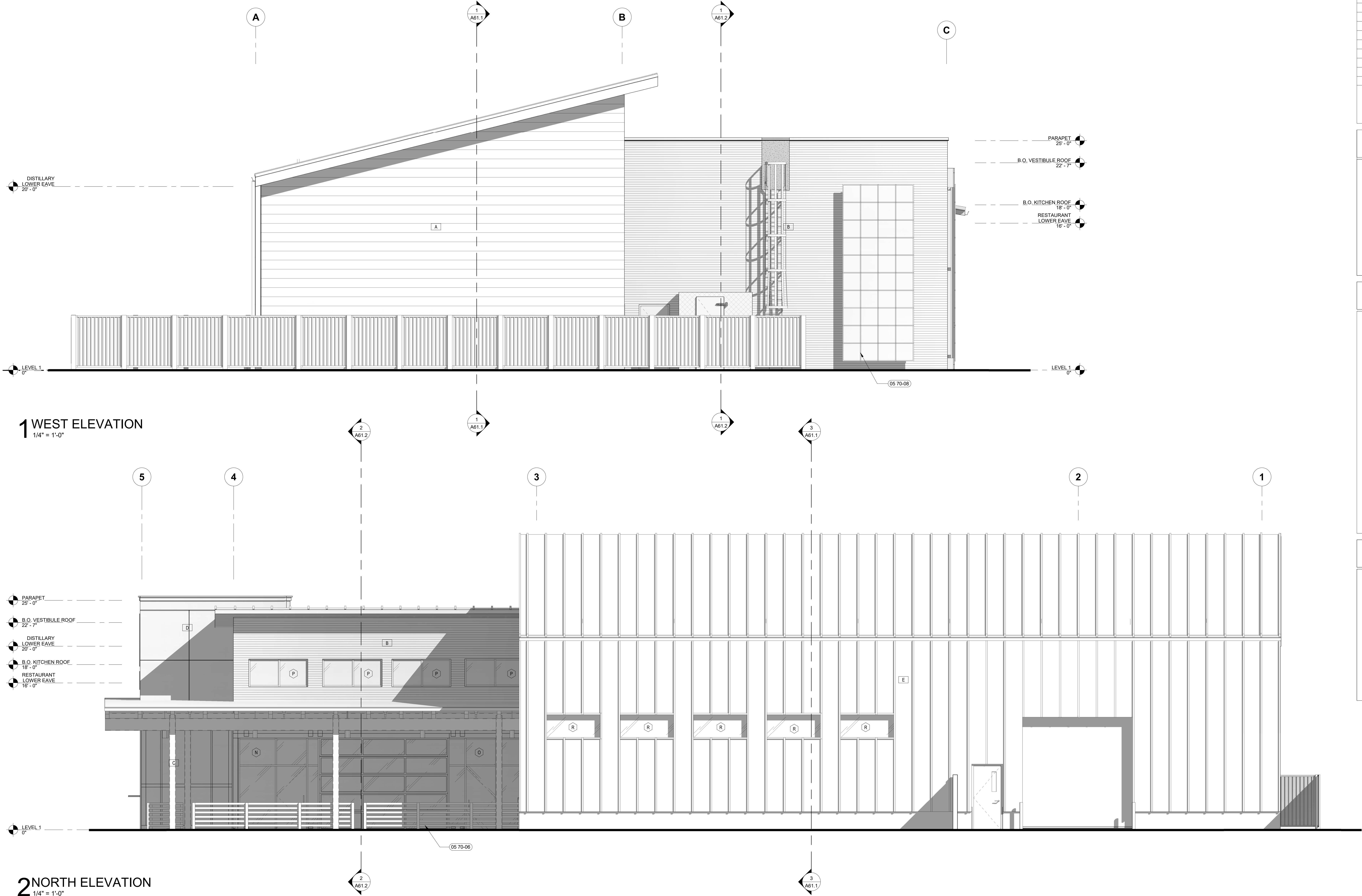
EXTERIOR
ELEVATIONS

SHEET

A52

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY



MATERIALS & FINISH SCHEDULE:

X	MATERIAL	#	FINISH/COLOR
A	CENTRIA "STYLE-RIB" METAL PANEL	CENTRIA 857 RUST	
B	CENTRIA "ENCONLAP 3/4" METAL PANEL	CENTRIA 861 CRYSTAL ZINC	
C	HARE BOARD AND BATTEN SIDING	PAINTED GRAY	
D	EIFS PANEL SIDING	INTEGRAL GRAY - GREEN SAND FINISH	
E	STANDING SEAM METAL ROOF/SIDING	CENTRIA 854 MEDIUM MAPLE	
F	WOOD TRIM	STAINED	
G	STOREFRONT	BLACK	
H	METAL FASCIA/COPING	BLACK	
I	SOFFIT/SIDING	DARK KNOTTY PINE	
J	GLAZING	CLEAR	
M	GLULAM BEAM	STAINED	
L	HOLLOW METAL DOOR	-	
K	SPANDREL GLAZING	BLACK	

LEGEND:

- SCREENED LINES INDICATE EXISTING ASSEMBLIES/SYSTEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- INDICATES ASSEMBLIES/SYSTEMS TO BE CONSTRUCTED
- (101) DOOR NUMBER, RE: A82 DOOR SCHEDULE
- (A) WINDOW TYPE, RE: A82 WINDOW TYPES
- (00 00-01) SHEET NOTE, RE: SHEET NOTES LIST ON CURRENT PAGE

GENERAL NOTES:

- A. PROVIDE MATERIAL SAMPLES FOR OWNER/ARCHITECT'S APPROVAL.
- B. FINISHES ARE ALSO REQUIRED AT PORTIONS OF UNDERSIDE, INSIDE FACE OF PARAPETS, AND SOFFITS EXPOSED TO PUBLIC VIEW.
- C. THE REFERENCE ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 0'-0". CIVIL FOR ACTUAL FLOOR ELEVATION.
- D. ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURSING, ETC.
- E. LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF _____.
- F. ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- G. COORDINATE LOCATION OF KNOXBOX WITH FIRE MARSHALL.

SHEET NOTES:

- 05 70-08 DECORATIVE METAL TRELLIS
- 05 70-08 DECORATIVE METAL FENCE

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: 208.343.4635 • FAX: 208.343.4638
WWW.CSHOA.COM

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: 208.343.4635 • FAX: 208.343.4638
WWW.CSHOA.COM

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.
CSHOA

DESIGN
DEVELOPMENT

PROJECT
22037

DATE
07-14-23

DRAWN
Author

CHECKED
Checker

REVISED

SHEET TITLE

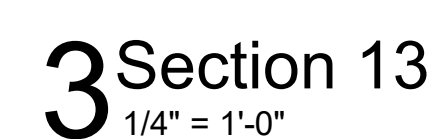
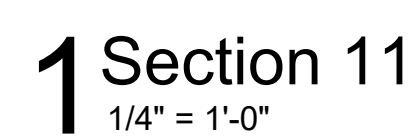
EXTERIOR
ELEVATIONS

SHEET

A52

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY



SHEET NOTES:

03-30-02	CONCRETE SLAB ON GRADE W/ CONTROL JOINTS, RE: FINISH
03-30-07	CONCRETE FOUNDATION AND/OR FOOTING, RE: STRUCTURAL
05-12-02	STRUCTURAL STEEL COLUMN, RE: STRUCTURAL DRAWINGS.
05-70-02	DECORATIVE METAL RAILING, RE: A73-__
05-70-08	DECORATIVE METAL FENCE
06-18-01	EXPOSED GLU-LAM, RE: STRUCTURAL
07-30-41	STEANDING-SEAM METAL ROOF PANELS OVER RIGID INSULATION
07-54-23	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING
08-33-02	OVERHEAD COILING DOOR
08-41-01	ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
10-14	SIGNAGE

PRELIMINARY
NOT FOR
CONSTRUCTION

[illegible]

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN Author	CHECKED Checker
REVISED	

REVISÉ

SHEET TITLE

BUILDING SECTIONS

SHEET

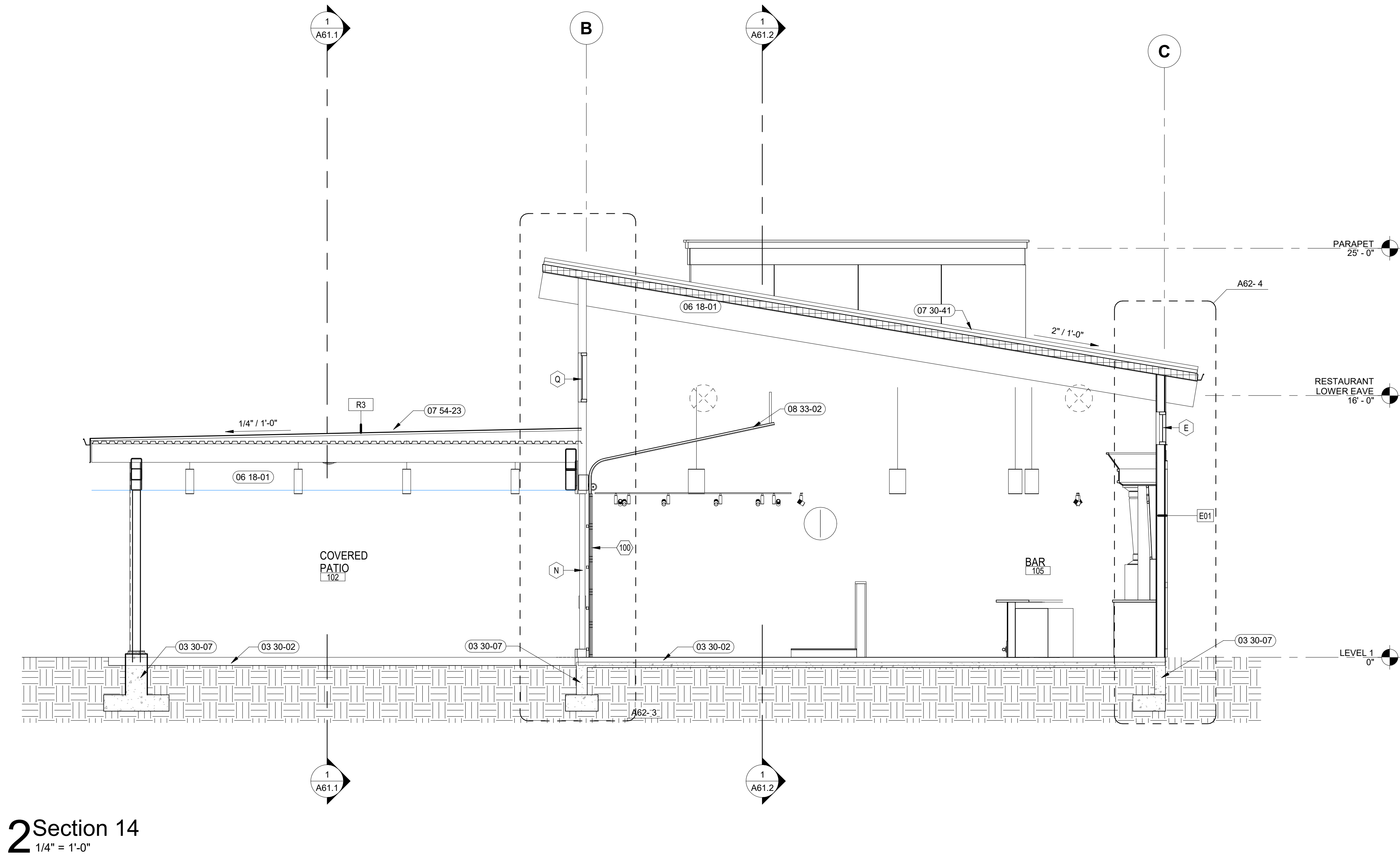
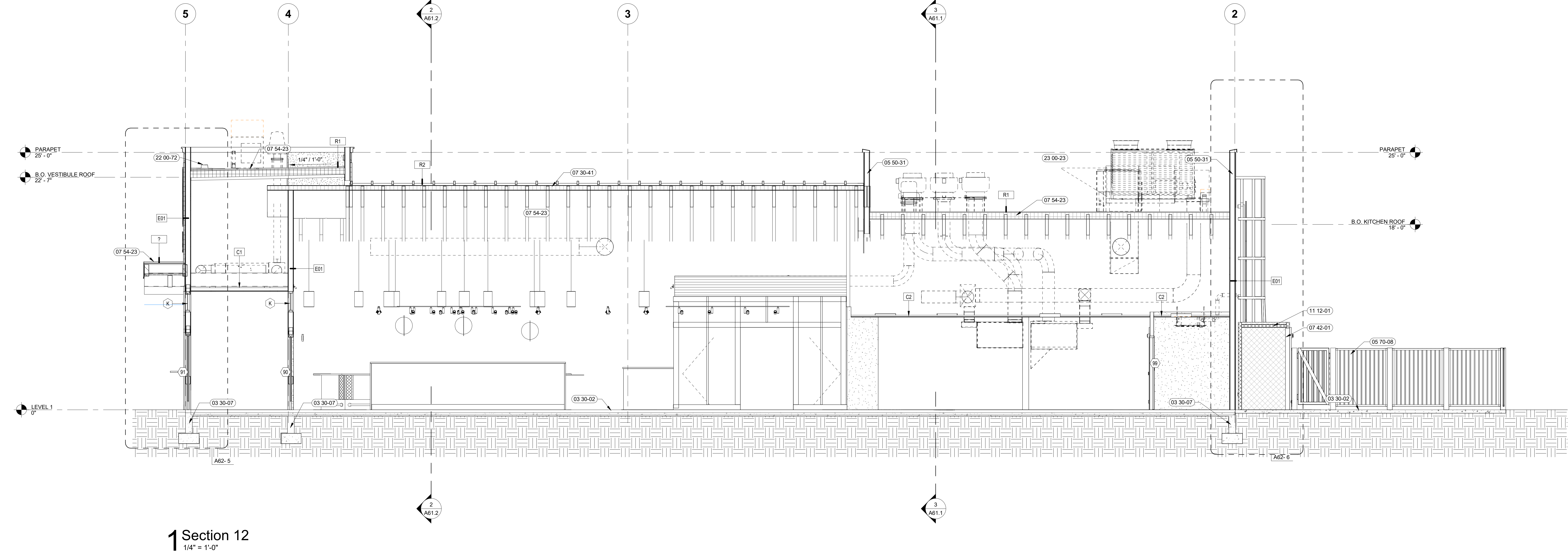
A61.1

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY

7/20/2023 4:42:55 PM

7/26/2023 2:23:21 PM



##

SHEET NOTES:

- 03 30-02 CONCRETE SLAB ON GRADE W/ CONTROL JOINTS, RE: FINISH
03 30-07 CONCRETE FOUNDATION AND/OR FOOTING, RE: STRUCTURAL
05 50-31 EQUIPMENT SCREEN WALL, C/W STRUCTURAL DRAWINGS
05 70-06 DECORATIVE METAL FENCE
07 30-41 STANDING-SEAM METAL ROOF PANELS OVER RIGID INSULATION
07 42-01 COOLER/FREEZER BOX AND DOOR PROVIDED BY OWNER INSTALLED BY CONTRACTOR
07 54-23 THERMOPLASTIC POLYOLEFIN (TPO) ROOFING
08 33-02 OVERHEAD COILING DOOR
11 12-01 WALK-IN COOLER/ FREEZER BY OTHERS, PROVIDE S.S METAL CLOSURE TO ADJACENT WALLS, A71-29.30
22 00-72 ROOF DRAIN & OVERFLOW, C/W PLUMBING DRAWINGS

PRELIMINARY
NOT FOR
CONSTRUCTION

200 BROAD STREET
BOISE, IDAHO 83702
PHONE: (208) 343-4635 • FAX: 208-343-4638
WWW.CSHOA.COM
THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
COURTESY OF CSHOA

GARDEN CITY, IDAHO

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHOA

DESIGN
DEVELOPMENT

PROJECT	DATE
22037	07-14-23
DRAWN	CHECKED
Author	Checker

REVISED

SHEET TITLE

BUILDING
SECTIONS

SHEET

A61.2

ORIGINAL SHEET SIZE
36" x 48"

CITY USE ONLY

LIGHTING FIXTURE SCHEDULE							
<div>CONTRACTOR MAY PROVIDE FIXTURES EQUAL TO THOSE SPECIFIED. SUBSTITUTED FIXTURES MUST MATCH SPECIFIED FIXTURE IN PERFORMANCE (LUMENS AND WATTAGE), APPEARANCE, SIZE AND QUALITY.</div> <div>ALL FIXTURES SHALL BE SUBJECT TO REVIEW BY ENGINEER AT TIME OF LIGHTING FIXTURE SUBMITTAL. CONTRACTOR SHALL PROVIDE FIXTURES INDICATED ON SCHEDULE FOR ANY FIXTURES DEEMED NOT EQUAL BY ENGINEER.</div> <div>A. VERIFY MATERIALS AND FINISHES WITH OWNER PRIOR TO ORDERING. VERIFY MOUNTING HEIGHTS WITH FINISHED DECK, JOIST HEIGHTS, CEILING HEIGHTS PRIOR TO ORDERING AND ALLOW 2 WEEKS FOR DELIVERY.</div> <div>B. LIGHTING REPRESENTATIVE TO CONFIRM VERIFY ALL ACCESSORIES TO ENSURE THE CONTRACTOR HAS COMPLETE LIGHTING SYSTEMS.</div> <div>C. DOWN LIGHTS IN CEILING SOFFITS SHALL HAVE MOUNTING FRAMES WITH A LOWER HOUSING RING OR PROVISIONS TO ACCOMMODATE CEILINGS.</div> <div>D. COORDINATE LIGHT FIXTURES IN SOFFIT WITH FINISHING CONTRACTOR.</div> <div>E. LIGHTING REPRESENTATIVE AND ELECTRICAL CONTRACTOR TO VERIFY DIMMING SYSTEM, OCCUPANCY AND DAYLIGHT SENSOR COMPATIBILITY WITH LIGHT FIXTURE.</div>							
FIXTURE	DESCRIPTION	MANUFACTURER	PART NUMBER	ELECTRICAL DATA	COLOR TEMP.	LUMENS	MOUNTING
ZR1	2x2 FLAT PANEL	COLUMBIA LIGHTING	SRP22-30LW-G-EDJ	120 V/1-23 VA	3000K	3000	RECESSED
ZR1E	2X2 EMERGENCY FLAT PANEL	COLUMBIA LIGHTING	SRP22-30LW-G-EDU BATTERY	120 V/1-23 VA	3000K	3000	RECESSED
EM1	EMERGENCY BUG EYE		TBD	120 V/1-6 VA	DO NOT USE		WALL MOUNT
EX1	EXIT SIGN		TBD	120 V/1-1 VA	DO NOT USE		CEILING/WALL MOUNT
LP1	8' SUSPENDED LINEAR	UNO	UNOS1 OC BFA SPF48 1500 B3 30K9 UNV DM BLK	120 V/1-124 VA	3000K		SUSPENDED
LP1E	8' SUSPENDED LINEAR	UNO	UNOS1 OC BFA SPF48 1500 B3 30K9 UNV DM BLK BATTERY BACK UP	120 V/1-124 VA	3000K		SUSPENDED
P1	PENDANT	DELRAY	P1-K-W-W30-D	120 V/1-28 VA	3000K		SUSPENDED
P2	PENDANT		TBD	120 V/1-28 VA	3000K		SUSPENDED
PC1	EXTERIOR CYLINDER	PRESCOLITE	LTC-3RD-CMBLRMD-10L2230TD9WD-DMTW-VSBLBT-BL	120 V/1-18 VA	3000K		SUSPENDED
PL1	20' POLE LIGHT	KIM LIGHTING	ALT1-28W-85-3K9-3-UNV-BLT-NKWS16F-B2	120 V/1-165 VA	3000K	10000	POLE MOUNT
PL2	20' POLE LIGHT	KIM LIGHTING	ALT1-28W-85-3K9-3-UNV-BLT-NKWS16F	120 V/1-165 VA	3000K	10000	POLE MOUNT
RR1	6" RECESSED ROUND	PRESCOLITE	LTR-6RD-RFH-HL2SL-DMTWF-L-TR-6RW-T-HL2230TD9W	120 V/1-36 VA	3000K		RECESSED
RR1E	6" RECESSED ROUND EMERGENCY	PRESCOLITE	LTR-6RD-RFH-HL2SL-DMTWF-L-TR-6RW-T-HL2230TD9W W BATTERY BACKUP	120 V/1-36 VA	3000K		RECESSED
T1	TRACK LIGHT	BRUCK	250450-SV-13LM-30K-90-DA60-DIM10Z-SMT-8K FURNISH WITH CURRENT LIMITER		3000K		SUSPENDED
TL1	18" 5' TAPELIGHT	VIENNA	V-L90IP68CT30-180"	120 V/1-42 VA	3000K		SURFACE
TL2	3' TAPELIGHT	VIENNA	V-L90IP68CT30-3'	120 V/1-10 VA	3000K		SURFACE
TL3	17" 5' TAPELIGHT	VIENNA	V-L90IP68CT30-178"	120 V/1-58 VA	3000K		SURFACE
WP1	WET LISTED SCOFFCE	ULTRALIGHTS	LUZ AZUL 8601-18 BA-02	120 V/1-6 VA	3000K	1181	WALL MOUNT
WP2	WET LISTED SCOFFCE	ULTRALIGHTS	BAS/CS 17387 BA 02	120 V/1-17 VA	3000K	2362	WALL MOUNT
WP3	WET LISTED SCOFFCE	ARCHITECTURAL AREA LIGHTING	RN-D-2-10-3K9-AS-UNV-BLT-W	120 V/1-66 VA	3000K	2000	WALL MOUNT

LIGHTING CONTROL SCHEDULE									
ROOM NUMBER	AREA DESCRIPTION	CONTROL TYPE				PROGRAMMING			
		MANUAL ON/OFF SWITCH	MANUAL DIMMER/ON/OFF SWITCH	OCCUPANCY SENSOR	TIMED CONTROL	BUSINESS HOURS		AFTER-BUSINESS HOURS	
						ON	AUTO OFF	ON	AUTO OFF

PROJECT 22037	DATE 07-14-23
DRAWN LLM	CHECKED HLG

REVISED



CITY USE ONLY

ORIGINAL SHEET SIZE
36" x 48"

- A. REFER TO SHEET E02 FOR LIGHT FIXTURE SCHEDULE AND SHEET E00 FOR DEVICE AND SYMBOL SCHEDULE.
- B. ALL CONDUITS WITH CONDUIT CONDUCTORS SHALL HAVE A COPPER EQUIPMENT GROUNDING CONDUCTOR (EGC) IN ACCORDANCE WITH N.E.C. 250.
- C. MOUNTING METHODS INDICATED AND REFERRED TO ARE MINIMUM CODE REQUIREMENTS. COMPLY WITH LOCAL CODES FOR ADDITIONAL SEISMIC RESTRICTIONS.
- D. ALL LIGHTING CIRCUITS HOMERUNS ARE TO BE 3/4" CONDUIT MINIMUM WITH BRANCH CIRCUIT #10 AND GROUNDING CONDUIT #12 UNLESS OTHERWISE NOTED.
- E. ALL EMERGENCY LIGHTS AND EXIT LIGHTS SHALL BE CONNECTED FOR CONTINUOUS OPERATION. CONNECT TO UNWITTHED LIGHTING CIRCUIT.
- F. COORDINATE HOMERUN CIRCUIT NUMBERS WITH PANEL SCHEDULES. REF. SHEET E81-E84.
- G. FURNISH AND INSTALL JUNCTION BOXES, AND CONDUITS STUBBED TO ROOF STRUCTURE FOR CONTROL WIRING.
- H. LEAVE PROTECTIVE COVER ON LIGHTS UNTIL TURNOVER TO PROJECT AGENT DUST.

- A. REFER TO SHEET E02 FOR LIGHT FIXTURE SCHEDULE AND SHEET E00 FOR DEVICE AND SYMBOL SCHEDULE.
- B. ALL CONDUITS WITH CONDUIT CONDUCTORS SHALL HAVE A COPPER EQUIPMENT GROUNDING CONDUCTOR (EGC) IN ACCORDANCE WITH N.E.C. 250.
- C. MOUNTING METHODS INDICATED AND REFERRED TO ARE MINIMUM CODE REQUIREMENTS. COMPLY WITH LOCAL CODES FOR ADDITIONAL SEISMIC RESTRICTIONS.
- D. ALL LIGHTING CIRCUITS HOMERUNS ARE TO BE 3/4" CONDUIT MINIMUM WITH BRANCH CIRCUIT #10 AND GROUNDING CONDUIT #12 UNLESS OTHERWISE NOTED.
- E. ALL EMERGENCY LIGHTS AND EXIT LIGHTS SHALL BE CONNECTED FOR CONTINUOUS OPERATION. CONNECT TO UNWITTHED LIGHTING CIRCUIT.
- F. COORDINATE HOMERUN CIRCUIT NUMBERS WITH PANEL SCHEDULES. REF. SHEET E81-E84.
- G. FURNISH AND INSTALL JUNCTION BOXES, AND CONDUITS STUBBED TO ROOF STRUCTURE FOR CONTROL WIRING.
- H. LEAVE PROTECTIVE COVER ON LIGHTS UNTIL TURNOVER TO PROJECT AGENT DUST.



PRELIMINARY
NOT FOR
CONSTRUCTION

GARDEN CITY, IDAHO

200 BROAD STREET
BOISE, ID 83702
(208) 343-4635 • FAX (208) 343-1658
<http://www.cstnp.com>

JASON L. BRINSON, P.E.

200 BROAD STREET
BOISE, IDAHO
PHONE: 208-343-4635 • FAX: 208-343-1658

*THESE DRAWINGS AND ASSOCIATIONS ARE THE PROPERTY OF THE ARCHITECT. IT IS UNDERSTOOD THAT THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN OF THE PROJECT AS DESCRIBED IN THE CONTRACT. THESE DRAWINGS AND DESIGN INFORMATION ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CHINDEN BAR AND DISTILLERY
3100 WEST CHINDEN BLVD.

CSHQ

DESIGN DEVELOPMENT

PROJECT 22037	DATE 07-14-23
DRAWN LLM	CHECKED HLG

REVISÉ

SHEET TITLE

SITE ELECTRICAL PLAN

SHEET

ES10

ORIGINAL SHEET SIZE
36" x 48"



CSHQ&A



BARDENAY
DISTILLING CO.

CSHQA



CSHOA



CSHQ4



CSHQA



CSHQA



CSHQA



CSHOA



CSHOA



CSHQ4



CSHOA

COMPLIANCE STATEMENT AND STATEMENT OF INTENT

Chinden Distillery and Bar
3100 West Chinden Boulevard
Garden City, Idaho
Project No. 22037.000

DESIGN INTENT

We believe the design for the Chinden Distillery and Bar is compliant with design intent established in the development guidelines adopted by the City of Garden City. The proposed facility seeks to advance an urban setting along Chinden Boulevard by creating design interest while blending with adjacent properties and welcoming pedestrian traffic. The purpose and scope of the project is to provide an alternative drinking and dining venue, with a unique distillery component, that is accessible to the Boise River Greenbelt (*Greenbelt*) and compatible with the Riverside Hotel and Stagecoach Inn.

BIKE AND PEDESTRIAN

The proposed facility is located west of the Riverside Hotel and east of the Stagecoach Inn and is within cycling and walking distance of the Greenbelt and West Chinden Boulevard. A link to the Greenbelt is provided via East 32nd and Osage Streets. The owner of the Riverside Hotel property has vacated Osage Street and intends to develop it as a landscaped pedestrian and bike pathway. This project will include a pedestrian and bike pathway/sidewalk connection from Chinden Boulevard to Osage Street. The new plaza at the corner of Chinden Boulevard and 31st Street will include a large number of bike racks to accommodate the high number of bikes that are expected to travel to this site. The nearest public transit stop is located at the corner of Chinden Boulevard and East 36th Street providing safe and comfortable access to the facility.

PARKING AND PARKING LOT STANDARDS

Garden City parking and parking lot standards have been met. At least one (1) tree for every five (5) parking spaces has been provided. Bicycle parking is located adjacent to the building. Vehicle parking is located on the north side of the facility away from Chinden Boulevard giving the building more street presence. Parking is adequately screened from adjacent uses with landscaping and parking stalls are within 100 feet of a shade tree.

COMMUNITY INTERACTION

The proposed development is incorporated within the Riverside Hotel complex providing an additional unique drinking and dining experience for guests as well as others who frequent the Greenbelt and the community of Garden City at large. Being part of the Riverside Hotel complex supports the concept of nodes rather than strip commercial along Chinden Boulevard promoting a place where people want to be.

Compliance Statement and Statement of Intent

Chinden Distillery and Bar
3100 West Chinden Boulevard
Garden City, Idaho
Project No. 22037.000
Page 2 of 2

LANDSCAPING

More than 5 percent of the site is dedicated to landscaping. There is at least one (1) Class II or III tree provided for every 50 feet of street frontage. No trees are being removed from the site. Landscaping is compatible with local climate and will be watered with drip irrigation.

BUILDING DESIGN

The building is placed forward against Chinden Boulevard with parking in the back to strengthen the urban edge and screen parking from the street. An enlarged entry plaza and enhanced architectural form draw interest to the southeast corner of the property and main entrance to the building. Outdoor service and equipment areas are screened with a solid decorative fence. The building provides visual interest and a positive contribution to the overall urban fabric of the community by incorporating a variety of visually interesting materials accented on offset planes.

Request for Variance

This property has an existing 24-inch diameter irrigation utility main/easement running parallel to Chinden Boulevard and located several feet into the property. This easement requires the building to be set back an additional 7 feet beyond the required 5 foot front yard setback. Since this hardship limits the developable area of the site, we request a variance from Garden City Zoning Ordinance 8-4C-3.A.6. - Wall Plane which limits the length of exterior wall planes to no more than two and one-half ($2\frac{1}{2}$) times the height of the wall plane without a 6 foot⁺ offset in the wall plane. The building elevation facing Chinden Boulevard exceeds the allowable wall plane length-to-height ratio; however, we have mitigated this by providing changes in wall height, material, color, glazing and 12 inch[±] changes in wall plane surface. In addition, we have increased the building front yard setback from 5 feet to approximately 12 feet and added landscaping, trees and plant material to create more visual interest further mitigate the issue.





































Thank you for considering this request.

Topographic Survey
for
Riverside Hospitality LLC
Being Lots 1, 2 & 3 of Block 38
of Fairview Acres No. 5
Located in Government Lot 12 of Section 5
Township 3 North, Range 2 East, Boise Meridian
City of Garden City, Ada County, Idaho
2023

Vicinity Map:



Legend:

	FOUND ALUMINUM CAP MONUMENT		SIGN
	FOUND 5/8" REBAR, AS SHOWN		TEST PIT
	WATER VALVE		BOUNDARY LINE
	WATER METER		ADJACENT PROPERTY LINE
	FIRE HYDRANT		PROPERTY LINE
	AREA DRAIN		ROADWAY CENTERLINE
	SAND AND GREASE TRAP		EDGE OF PAVEMENT
	SANITARY SEWER MANHOLE		FENCE LINE
	PRESSURE IRRIGATION VALVE		SANITARY SEWER LINE
	IRRIGATION BOX		WATER LINE
	GAS METER		OVERHEAD POWER LINE
	POWER POLE		UNDERGROUND POWER LINE
	STREET LIGHT		UNDERGROUND TELEPHONE LINE
	ELECTRIC METER		GAS LINE
	ELECTRICAL JUNCTION BOX		CONCRETE AREA
	TELEPHONE RISER		CURB AND GUTTER
	BOLLARD		EXISTING BUILDING
			EXISTING GROUND CONTOUR

Referenced Survey Table:

- R1. PLAT OF FAIRVIEW ACRES No. 5, BOOK 11 OF PLATS AT PAGE 619, RECORDS OF ADA COUNTY.
- R2. RECORD OF SURVEY No. 12955, INSTRUMENT #2021-099730, RECORDS OF ADA COUNTY.
- R3. RECORD OF SURVEY No. 12917, INSTRUMENT #2021-087382, RECORDS OF ADA COUNTY.

Keynotes:

1. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
2. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND. EASEMENTS, ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
3. THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83). WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEMS METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.

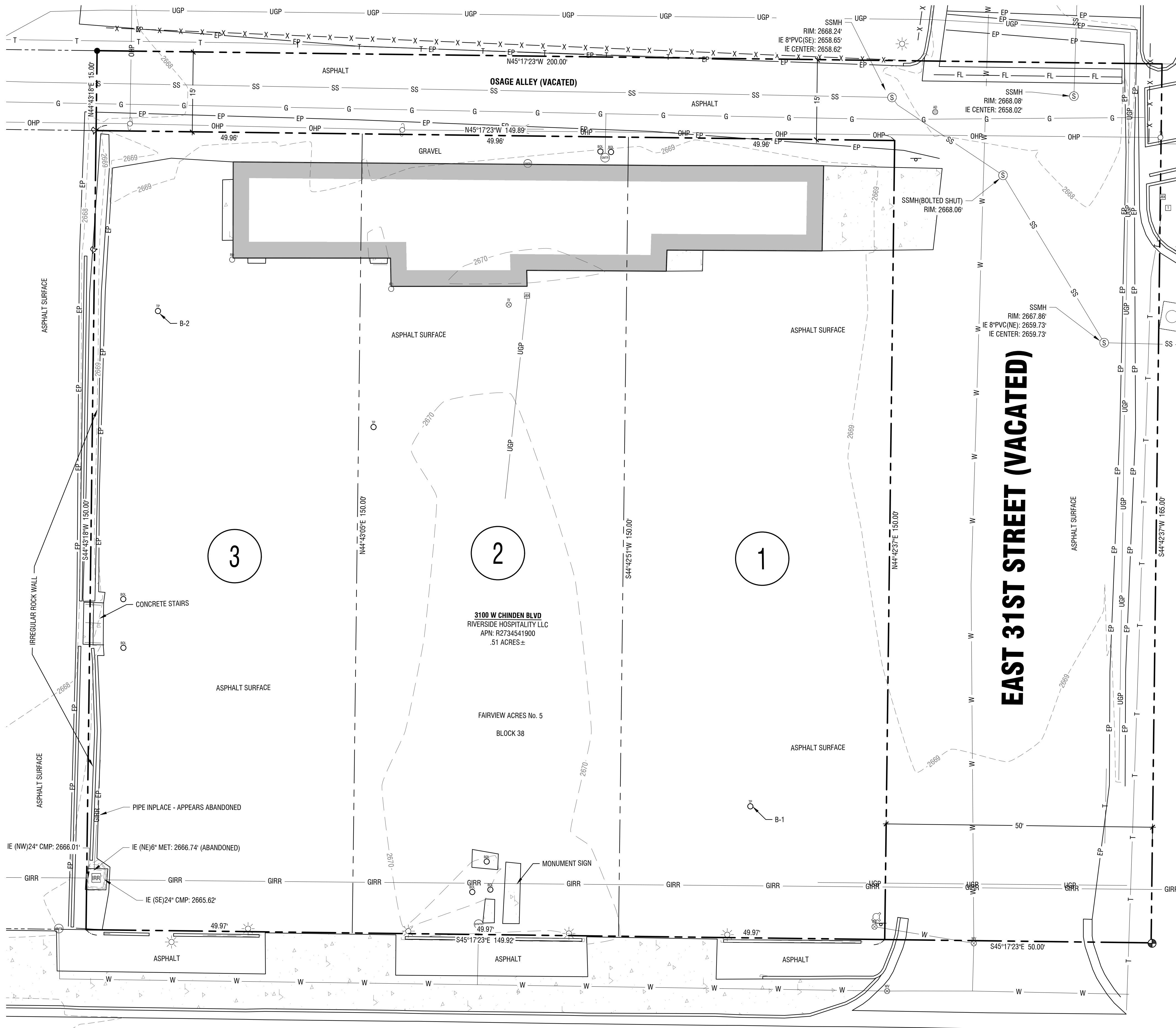
Topographic Survey
Riverside Hospitality LLC

3100 W Chinden Blvd
Garden City, Idaho 83714

Revisions	
1.	



Project No.: 115154
Date of Issuance: 2-14-2023
Project Milestone:



WEST CHINDEN BOULEVARD

