



DESIGN REVIEW

Permit info: _____

Application Date: _____ Rec'd by: _____

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

▪ www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Cathy Sewell	Name: Diana Witt
Company: Platform Architecture Design	Company: No Park Units LLC
Address: 280 N. 8th, Suite 118	Address: 311 Village Dr. PMB 3144
City: Boise	City: Tamarack
State: Idaho Zip: 83705	State: Idaho Zip: 83615
Tel.: 208 891 9082	Tel.: 208 309 1611
E-mail: csewell@platformarch.com	E-mail: diana@wittproperties.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: TBD Alworth

Subdivision Name: Bradley Park No.1	Lot: Portion Lot 2	Block: 2
Tax Parcel Number: TBD	Zoning: C-2	Total Acres: .57
Proposed Use: 3-Unit Live/Work	Floodplain:	Yes <input checked="" type="radio"/> No <input type="radio"/>

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

See Compliance Statement/Letter of Intent

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

See Compliance Statement/Letter of Intent

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

See Compliance Statement/Letter of Intent

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

See Compliance Statement/Letter of Intent

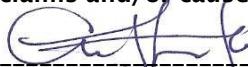
Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

See Compliance Statement/Letter of Intent

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

See Compliance Statement/Letter of Intent

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



11 Sept 2023

Signature of the Applicant

(date)



9/11/23

(date)

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

<input checked="" type="checkbox"/> Compliance Statement and Statement of Intent	<input checked="" type="checkbox"/> Affidavit of Legal Interest
<input checked="" type="checkbox"/> Neighborhood Map	<input type="checkbox"/> Sustainability Checklist * <i>if applicable</i>
<input checked="" type="checkbox"/> Site Plan	
<input checked="" type="checkbox"/> Landscape Plan	
<input checked="" type="checkbox"/> Schematic Drawing	
<input type="checkbox"/> Lighting Plan Waiver Request Item	
<input checked="" type="checkbox"/> Topographic Survey	
<input checked="" type="checkbox"/> Grading Plan	
<input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request	
<input checked="" type="checkbox"/> Ada County Approved Addresses	
<input checked="" type="checkbox"/> Waiver Request of Application Materials	



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN: Waiver Request

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.

11 September 2023

Garden City Planning Division
6015 N. Glenwood St.
Garden City, Idaho 83714

Re: **Design Review Application**
N. Alworth St.– 3-Unit Live/Work

STATEMENT OF INTENT

Platform is pleased to submit the above referenced project to Garden City for Design Review approval of the proposed 3-unit Live/Work building with site related improvements. Concurrent with this application is a Minor Land Division request (MLDFY2023-0002) to create the new buildable parcel associated with the application. The property is located in a C-2 zone within the Light Industrial Bradley Technology District Future Land Use Designation area. Currently the 1.37 acre parcel (R1055420091) is improved with an existing single story ~19,800 sq.ft. building and site related improvements.. The land division will create a new parcel (Parcel B) of approximately 24,809 sq.ft. for the proposed 10,590 sq. ft. 3-unit industrial live/work project. The existing parcel (Parcel A) will be 35,634 sq.ft. and maintain the existing building and improvements.

The proposed live/work project will create a new building prototype in the developing area. It will provide basic, good-quality housing with flexible workspace. Specific tenants/residents have not been identified, though it is anticipated the proposed uses will be allowed within the C-2 zone, support the goals and vision of the Light Industrial Bradley Technology District and bring additional housing opportunities to this area of Garden City and Ada County.

The building is designed for durability and flexibility, and moves beyond the industrial vocabulary of its immediate surroundings. The two-story pre-engineered steel building will 'house' the live/work uses and references the character of the light-industrial neighbors, the ground floor front space can be used for retail, office or creative industries workshops, activating the public domain and providing interest at the street level. The second floor residential use engages the street via the 'front porch'; which also provides a deep overhang and weather protection for the ground floor entries. The front façade is articulated with a perforated steel screen system – this provides visual interest at the street level and privacy for the residential uses. A large public art installation is proposed on the west side of the building/parking area. The site layout maintains the existing egress, parking and vehicular circulation that currently exists. A generous setback from N. Alworth St. (due to existing sewer easement and Ada County owned property) affords the project landscaping opportunities to create a 'front yard' and buffer for the residents. The side yard of the property is developed as a 'back yard' with gardening opportunities, dog run and sitting areas. The building's white form brightens its neutral surroundings and provides a backdrop to the proposed landscaping and park-like setting.

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Response:

- The proposed Project is located on the south side of N. Alworth St. A sidewalk connection from N. Alworth St. is separated from the vehicular traffic and provides safe access to the site.
- The nearest transit stop is less than half-mile away located at W. Chinden Blvd. and N. Kent Lane and accessed via the sidewalk along N. Alworth St. and N. Kent St.

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Response:

- Garden City parking and parking lot standards have been met. There is at least (1) tree for every (5) parking stalls. Bicycle parking is located adjacent to the building; up front for the commercial uses; in the back and covered for the residential uses.
- Vehicle parking is located on the west and south sides of the building away from N.Alworth St. and screened with landscaping and/or behind the building. No parking space is located more than 100 ft from a shade tree.

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Response:

- The project is located within the Light Industrial Bradley Technology District and will encourage the continued industrial and technology uses in the neighborhood. The Live/Work use will allow for a residential use and supports the Comprehensive Plan by providing a variety of housing type.
- The project is not located along an arterial corridor and therefore the concern of node and/or strip commercial is not applicable. Being part of the Light Industrial Bradley Technology District supports does support the concept of nodes rather than strip commercial.
- The proposed use and proximity to the Boise River, Greenbelt system and services helps promotes a place where people can work and live.
- The project is exempt from the sustainability checklist as it is associated with an existing/Previously developed site, located within 1/4 mile of an R-3 zone having a density of 35 units per acre; and is within 1/4 mile walking distance to basic services such as restaurant, personal services and professional services.

Landscape: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Response:

- Approximately 15% of the site is landscaped.
- Only a portion of the property/parcel has street frontage Required trees are provided along this area.
- No trees will be removed from the site.
- All landscape areas will be served by a pressurized irrigation system
- All landscaping plant material is appropriate for our climate.

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

Response:

- The building is placed as much towards N. Alworth St. as allowed given the sewer easement which extends 22'-6" into the site. The building/use is located within an industrial area rather than an urban setting. The overall design, use of materials maintains the industrial character of the area with specific design elements intended to provide visual interest along the pedestrian/public view areas.

- The floor to area ratio is .42
- The building is designed to fit within the overall character of the Light Industrial Bradley Technology District and adjacent properties. The public and residential functions of the building are located towards N. Alworth St. The N. Alworth façade incorporates a deep overhang/balcony. A perforated steel screen system provide visual interest and privacy for the residential uses.
- The outdoor services areas are located in the rear of the building.

8-6B-3C DESIGN REVIEW COMMITTEE:

Required Findings: In order to approve a design review application and based on the standards set forth in chapter 4, article C of this title, the design review committee shall make the following findings:

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?

Response: The proposed Live/Work project advances the 'urban form' within the industrial district through the orientation towards the street, pedestrian uses pushed towards the street/landscaped areas and overall mass and material selections fits within the adjacent properties.

2. How does the design maximize and minimize the effects of parking and vehicular circulation?

Response: Separate vehicular and pedestrian routes are incorporated to minimize conflicts.

3. What are the building materials?

Response: Building materials consist of prefinished metal ribbed siding and roof, aluminum storefront, metal screen system.

4. What are the existing notable site features and how does the site respect them?

Response: The site is bare ground with no notable site features. It is however oriented with views to the foothills and Boise River. The building and second floor residential balcony are oriented to take advantage of this opportunity.

5. Is the building consistent with the adopted streetscape?

Response: There is not adopted streetscape along this section of N. Alworth St.

We believe the proposed 3-unit industrial live/work project meets the intent and objectives of the Garden City Development Code and Comprehensive Plan by adding desirable live-work uses and create diversity within this part of Garden City and future development area around the Expo Idaho site as an urban center for the city.

We respectfully request your approval of the Design Review applications. Please contact me with any questions or additional information required in this regard.

Sincerely,



Catherine M. Sewell, AIA, LEED AP

cc: Diana Witt

P L A T F O R M
ARCHITECTURE.DESIGN

280 n. 8th suite 118. boise, idaho 83702 • phone 208.891.9082 • email:platform@platformmarch.com

11 September 2023

Garden City Planning Division
6015 N. Glenwood St.
Garden City, Idaho 83714

**Re: Waiver Request
Design Review Application
New Industrial Live/Work**

Dear Design Review Staff,

We request a waiver from the following Design Review application requirements:

1. Lighting Plan:

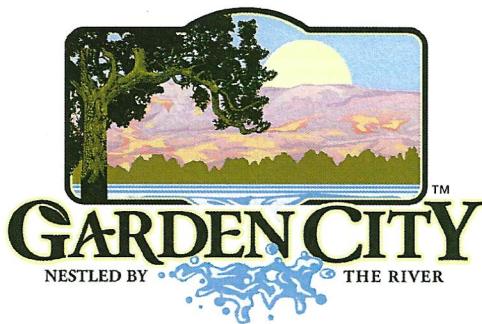
Lighting design has yet to be determined. Electrical engineering consulting services have not been retained for the project during the entitlement approval phase. A complete exterior lighting plan compliant with section 8-4A-4 of the Development Code will be included as part of the construction documents.

Sincerely,



Catherine M. Sewell, AIA, LEED AP

cc: Diana Witt



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS

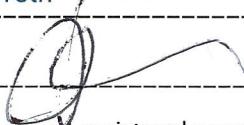
County of Ada)

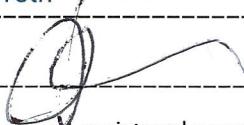
I, Diana Witt, Managing Member of No Park Units LLC 311 Village Dr, PMB 3144
Name Tamarack Address of Owner ID, 83615
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)
City Tamarack State and Zip ID, 83615

Being first duly sworn upon oath, depose and say:

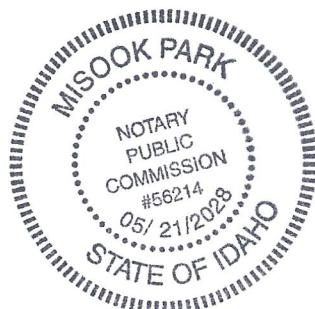
1. That I am the record owner of the property described on the attached, and I grant my permission to Catherine Sewell,
Name of Applicant to submit the accompanying application pertaining to 5260 N. Sawyer Avenue,
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 18th day of May June, 2023


Diana Witt, Managing Member of No Park Units LLC

Signature  Printed Name
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

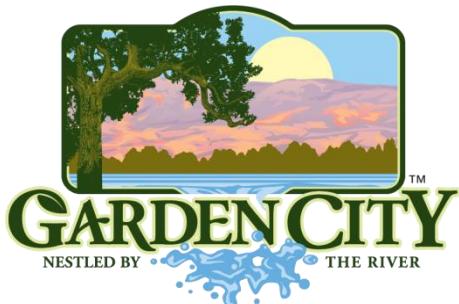
Subscribed and sworn to before me the day and year first above written.




Notary Public for Idaho

Residing at: Boise

My Commission expires 05/21/2028



CITY OF GARDEN CITY

6015 Glenwood Street ▪ Garden City, Idaho 83714
Phone 208/472-2900 ▪ Fax 208/472-2996

23 June 2023

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **5260 North Sawyer Avenue**
Tax Parcel R1055420091
Water and Sanitary Sewer Ability to Serve
ATSFY2023-0013

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 30 May 2023 (fire hydrant 3186) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

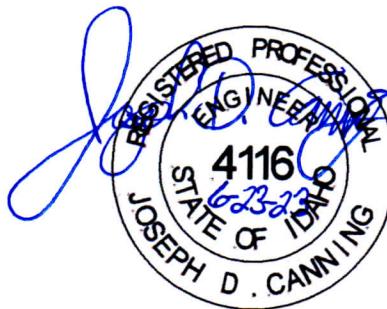
Please note that the Garden City sanitary sewer main line is located southwest of and along Sawyer Avenue and the city water main line is located northeast of and along Sawyer Avenue. Additionally, the city of Boise has a sanitary sewer interceptor line located along the northeast boundary of the subject property.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extensions, service connections or change of connection to the sewer system must verify location and available grade to the city sewer system. The applicant is responsible for such verification. New sewer connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated with Garden City Public Works. Design and installation is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

cc. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

May 30, 2023

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 5260 N Sawyer Ave

Fire hydrant serving this address: #3186

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



1 inch = 100 feet

New Address Effective: 8/16/2023



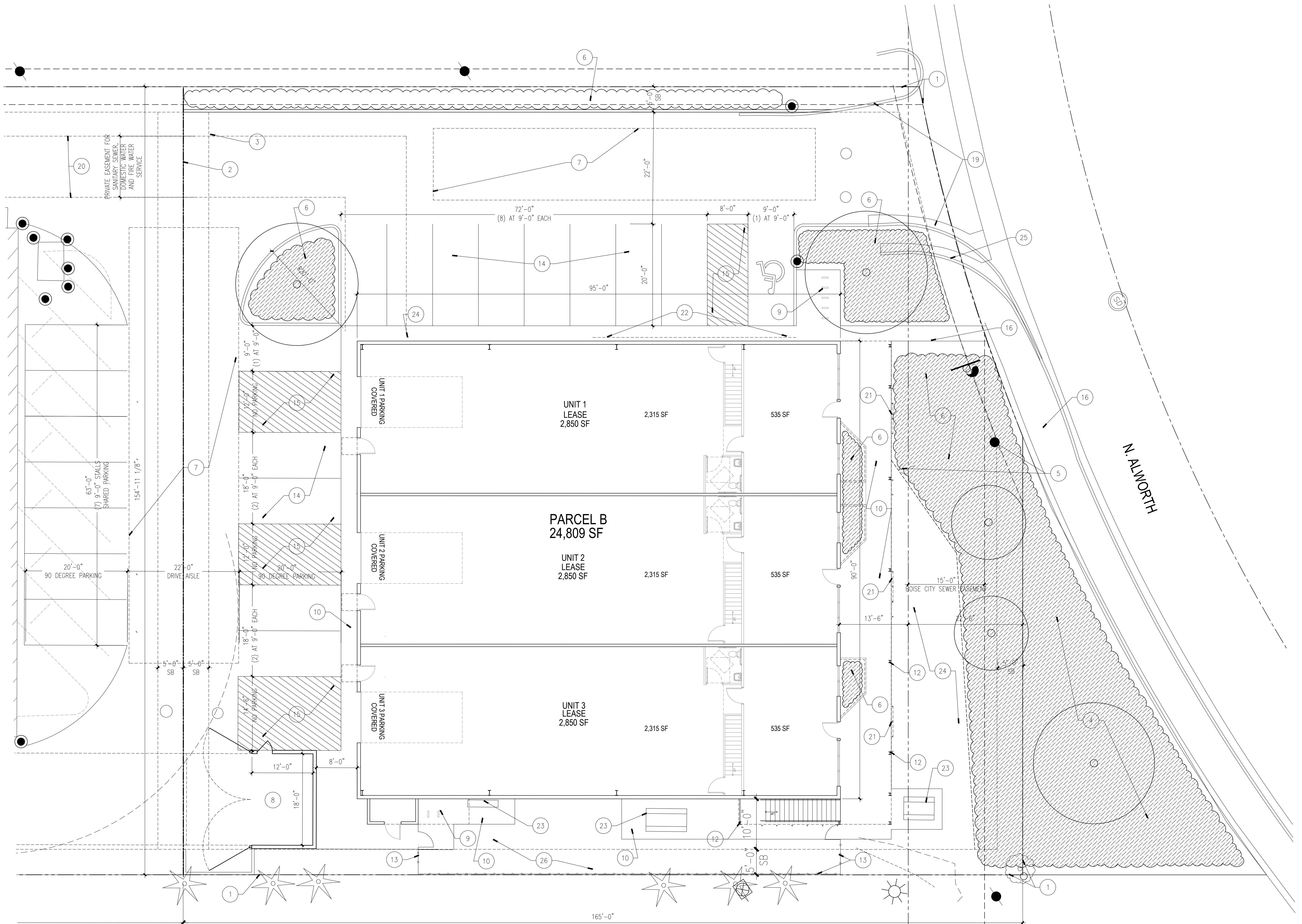
This map is made from data copyrighted by Ada County. Ada County shall not be liable for inaccuracies or misuse of this map. Maps bearing this disclaimer may be photocopied freely. However, use in any digital form requires the written permission of Ada County.

ADA COUNTY ASSESSOR
Land Records Division
Geographic Information Systems
190 E. Front Street, Ste. 107
Boise, ID 83702

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.





Architectural Site Plan

scale: 1:

SHEET NOTES

1. PROPERTY LINE.
2. PROPOSED LOT LINE ADJUSTMENT.
3. SETBACK LINE.
4. ADA COUNTY OWNED PARCEL. PROPOSED LICENSE AGREEMENT TO MAKE SITE IMPROVEMENTS.
5. EXISTING POWER POLE AND GUY WIRE.
6. LANDSCAPE AREA, RE: LANDSCAPE.
7. UNDERGROUND STORM DRAINAGE SYSTEM, RE: CIVIL.
8. TRASH/RECYCLING ENCLOSURE.
9. BIKE RACK AREA.
10. CONCRETE FLATWORK.
11. OUTLINE OF ROOF/BALCONY ABOVE.
12. STEEL COLUMN.
13. 6' HIGH FENCE.
14. PARKING AREA.
15. PAVEMENT MARKINGS (NO PARKING AREA)./
16. NEW PEDESTRIAN CONNECTION.
17. EXISTING SIDEWALK.
18. NEW TREE, RE: LANDSCAPE.
19. EXISTING DRIVEWAY APPROACH.
20. PROPOSED PRIVATE EASEMENT (WATER, SEWER, FIRE LINE SERVICE).
21. TENANT SIGNAGE AREA - ON VERTICAL SCREEN.
22. PROPOSED PUBLIC ART LOCATION.
23. SITE FURNITURE, RE: LANDSCAPE.
24. LAWN AREA, RE: LANDSCAPE.
25. REMOVE PORTION OF EXISTING DRIVEWAY APPROACH. RE: CIVIL.
26. DOG RUN/GARDEN AREA, RE: LANDSCAPE.

PLATFORM

ARCHITECTURE.DESIGN

280 n.8th, suite 118 boise, idaho 83702
t: 891.9082 platform@platformarch.com

ISSUE/REVISION

PLATFORM JOB NO. 22-09.01

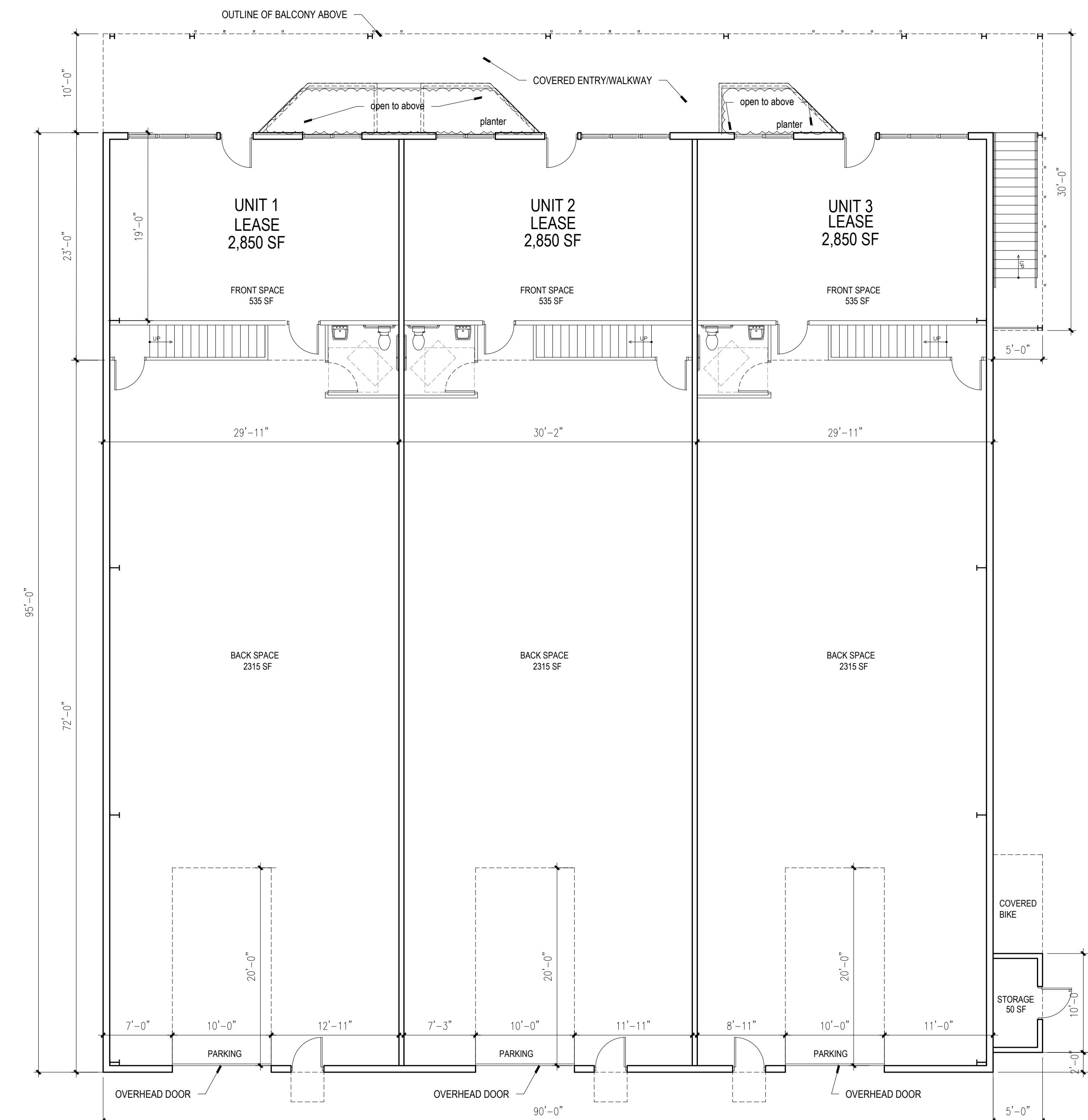
DATE	11 SEPTEMBER 2023
SCALE	AS INDICATED
DRAWN	CMS

DESIGN REVIEW

No Park Units LLC

New Industrial Live/Work

5260 N. Sawyer/Alworth St. Garden City, ID



First Floor Plan

scale: 1/8"=1'

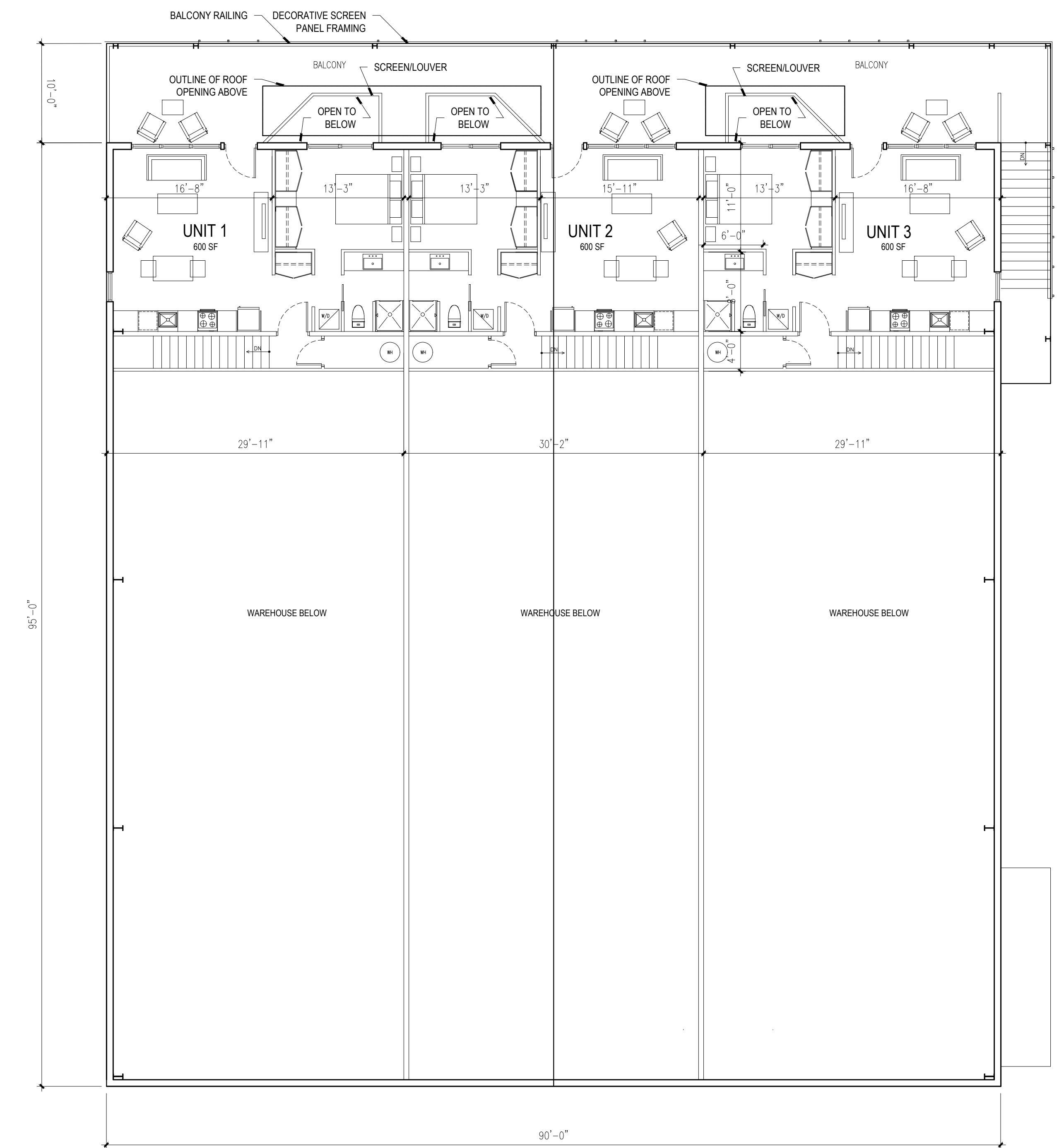
New Industrial IV No Park Units LLC

REVIEWS

5260 N. Sawyer/Alworth St. Garden City, ID

First Floor Plan

A2.1





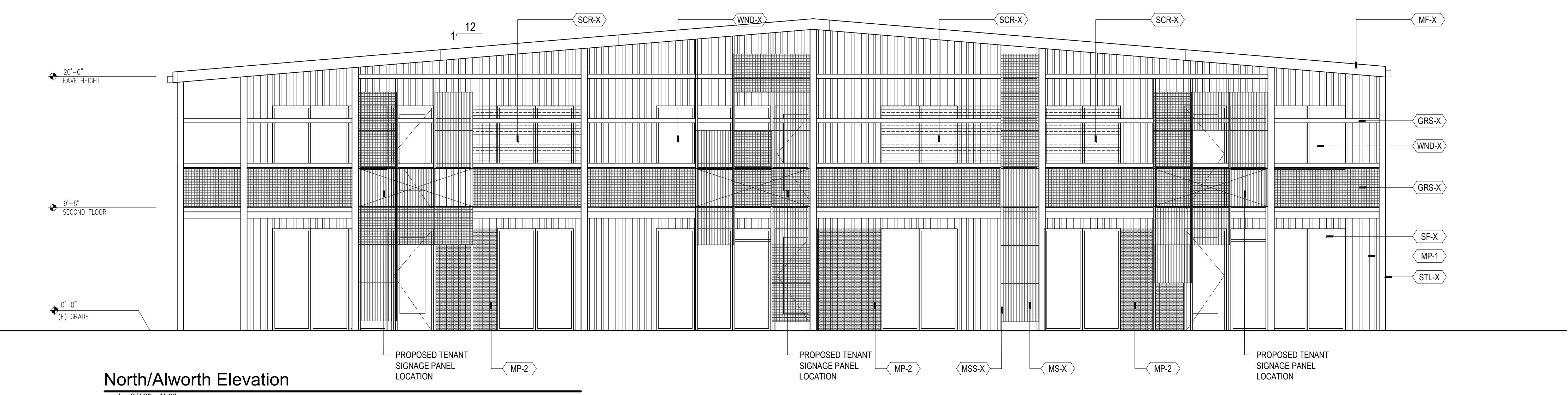
1 Perspective



2 Perspective

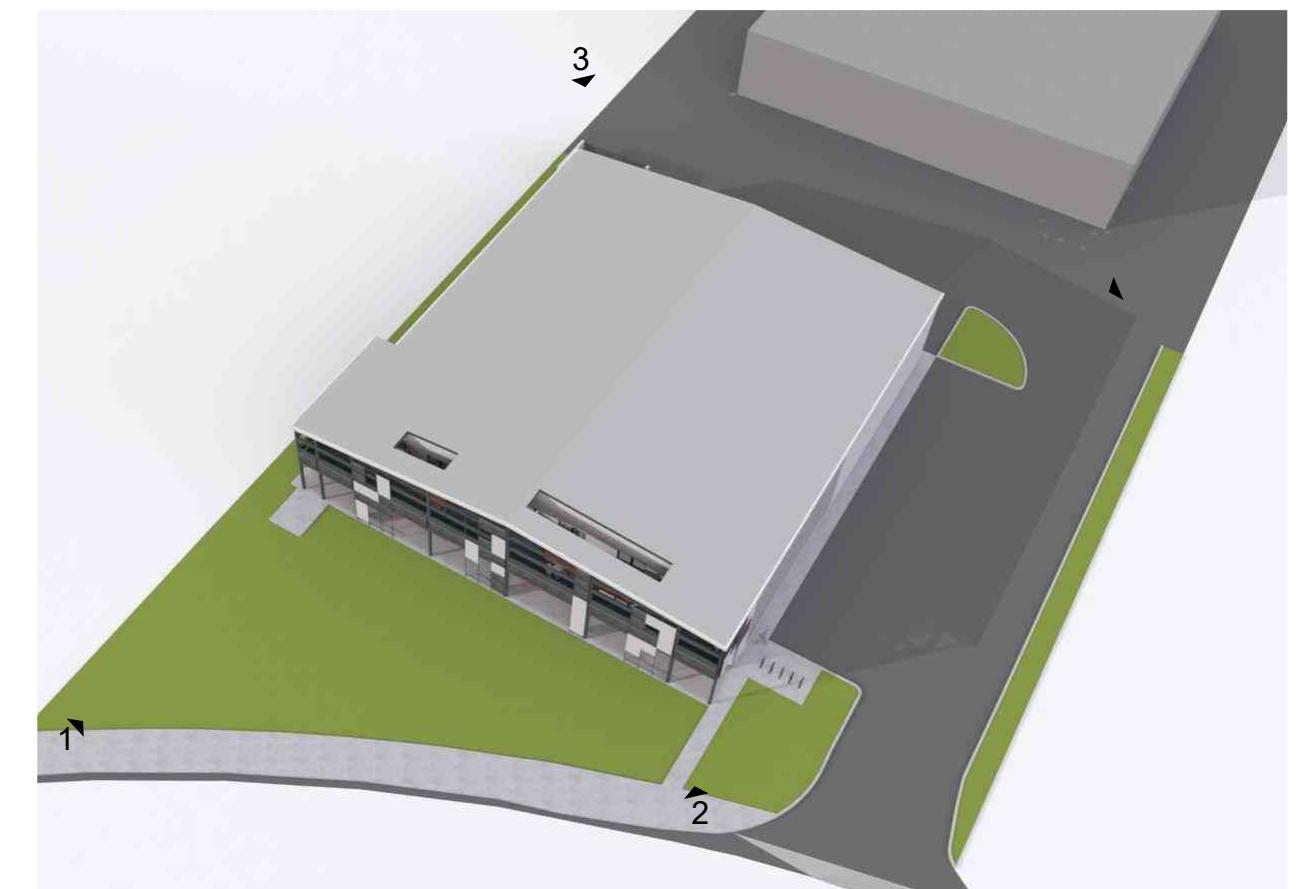
EXTERIOR MATERIALS

GRS-X	GUARDRAIL SYSTEM
HM-X	HOLLOW METAL - PAINTED
MR-X	METAL ROOF PANEL - PREFINISHED, RIBBED/STANDING SEAM
MF-X	METAL FLASHING
MS-1	METAL SCREEN SYSTEM - PERFORATED/MESH METAL
MS-2	METAL SCREEN SYSTEM - CORRUGATED/RIBBED METAL
MSS-X	METAL SCREEN SUPPORT STRUCTURE - PAINTED
MW-1	METAL WALL PANEL - PREFINISHED, CORRUGATED/RIBBED
MW-2	METAL WALL PANEL ACCENT - PREFINISHED, CORRUGATED/RIBBED
OVD-X	OVERHEAD DOOR - PAINTED
SBD-X	STEEL BOLLARD - PAINTED
SCR-X	SCREENLOUVER- PREFINISHED
SF-X	ALUMINUM STOREFRONT SYSTEM
STL-X	STEEL STRUCTURE - PAINTED
STLS-X	STEEL STAIR STRUCTURE - PAINTED
STA-X	STEEL AWNING - PAINTED
WND-X	WINDOW SYSTEM - PREFINISHED



North/Alworth Elevation

scale: 3/16" = 1'-0"

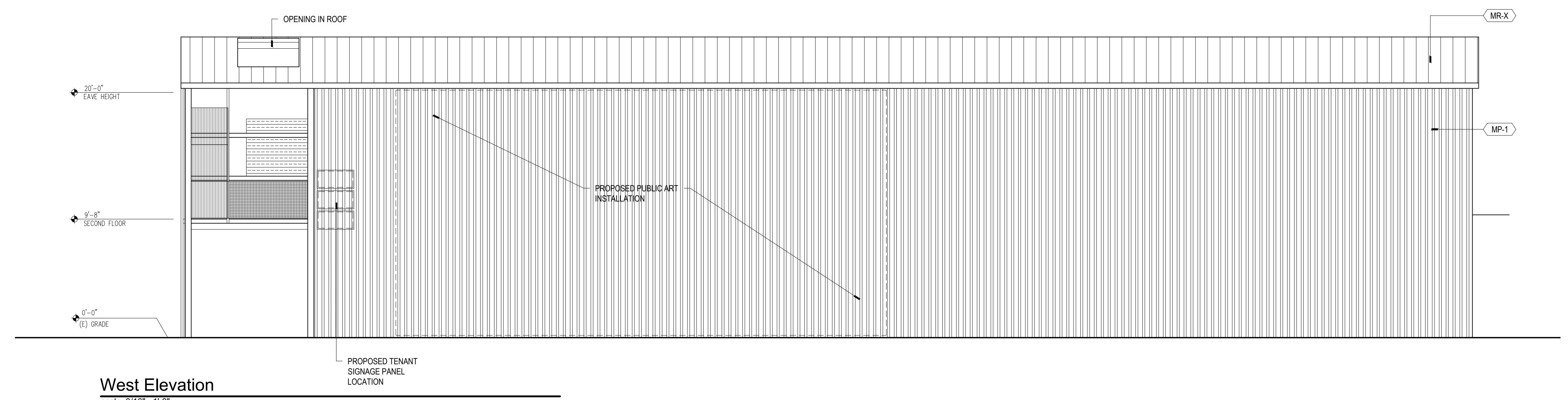


ISSUE/REVISION

PLATFORM JOB NO. 22-09-01

DATE 11 SEPTEMBER 2023
SCALE AS INDICATED
DRAWN CMS
CHECKED -

DESIGN REVIEW



West Elevation

scale: 3/16" = 1'-0"



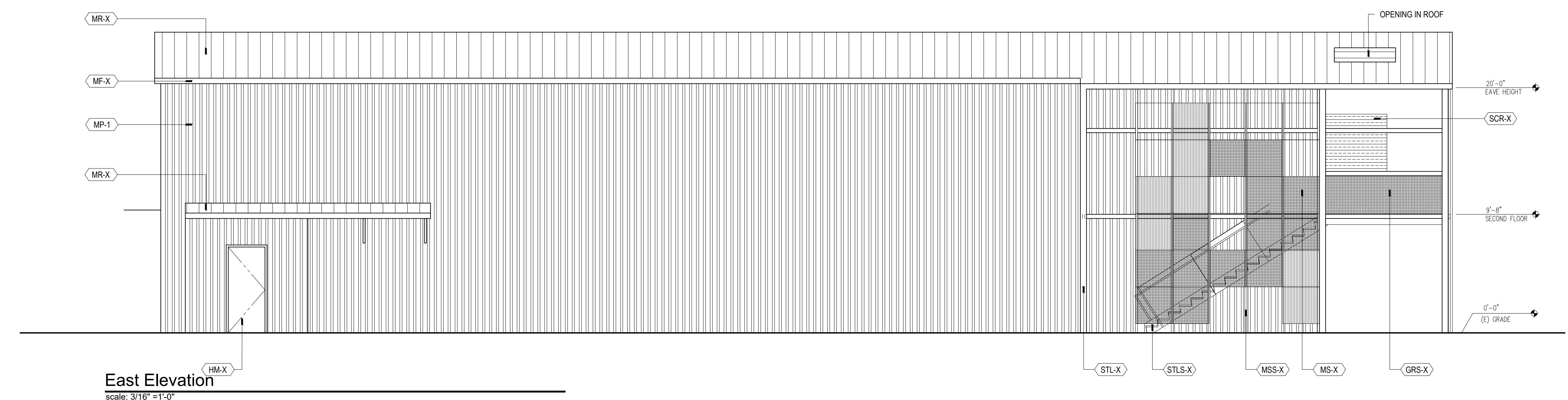
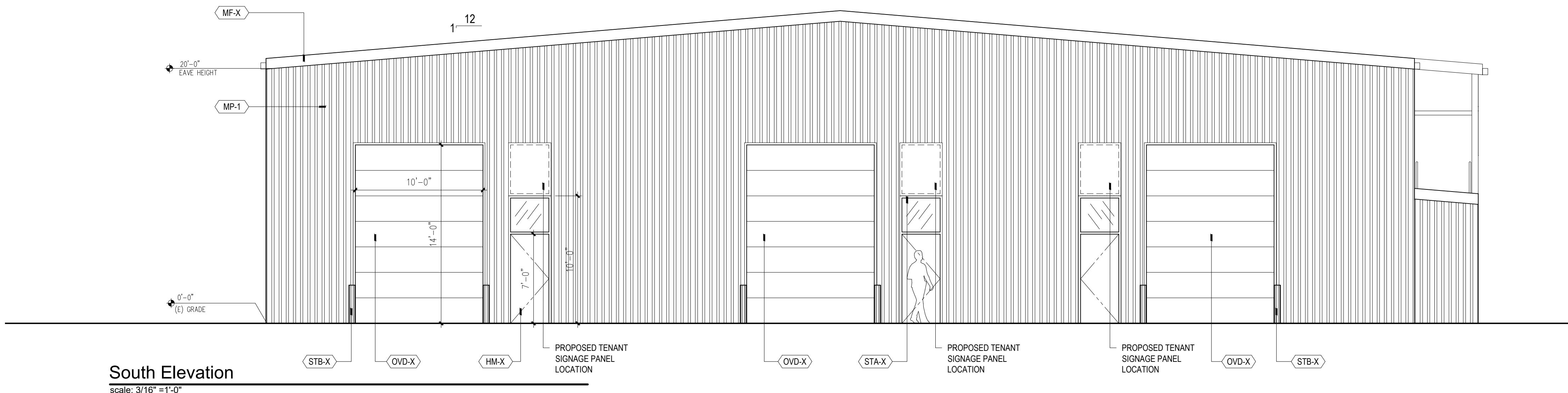
3 Perspective

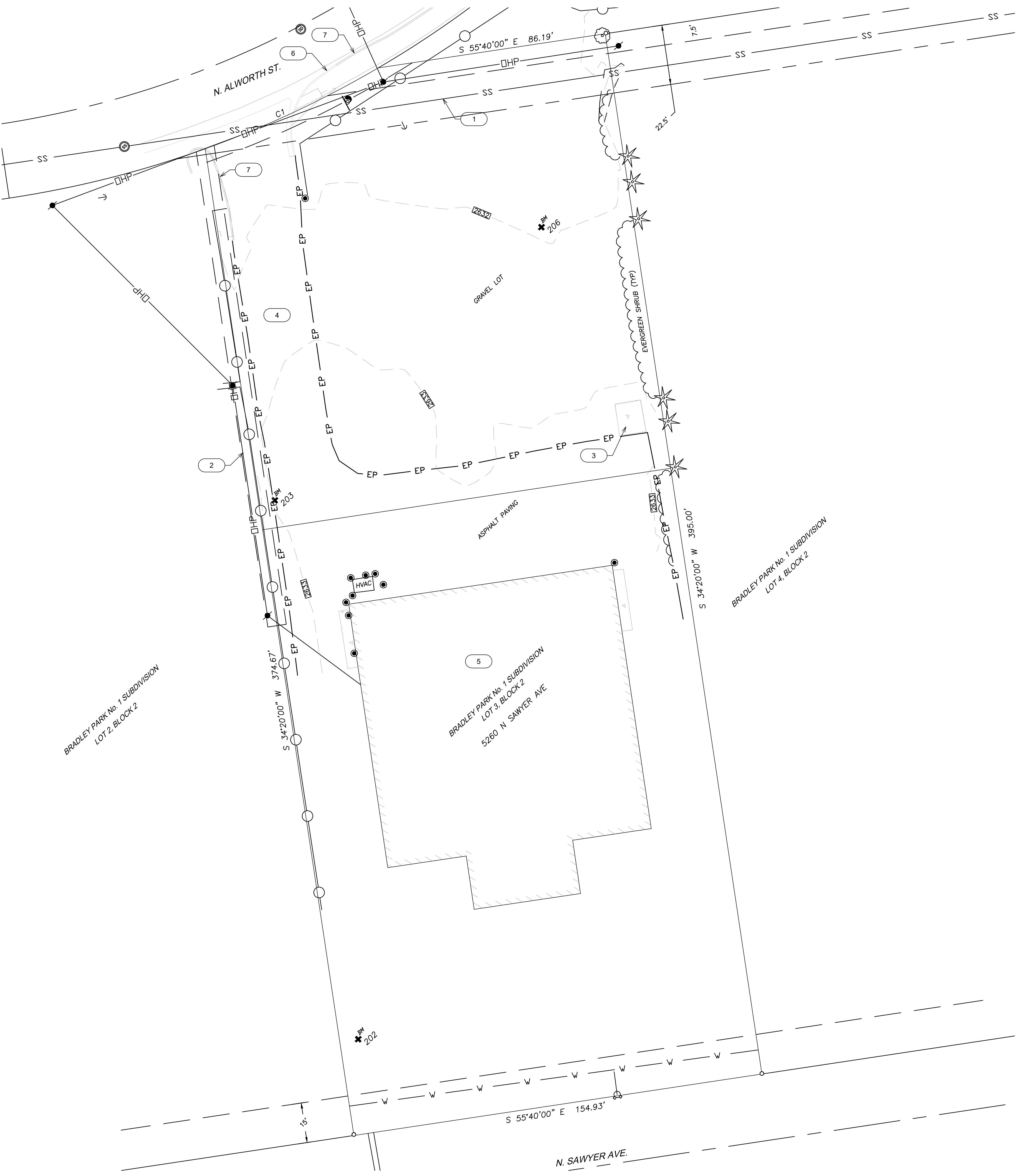


4 Perspective

EXTERIOR MATERIALS

GRS-X	GUARDRAIL SYSTEM
HM-X	HOLLOW METAL - PAINTED
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MSS-X	METAL SCREEN SUPPORT STRUCTURE - PAINTED
MW-1	METAL WALL PANEL - PREFINISHED, CORRUGATED/RIBBED
MW-2	METAL WALL PANEL ACCENT - PREFINISHED, CORRUGATED/RIBBED
OVD-X	OVERHEAD DOOR - PAINTED
SBD-X	STEEL BOLLARD - PAINTED
SCR-X	SCREENLOUVER- PREFINISHED
SF-X	ALUMINUM STOREFRONT SYSTEM
STL-X	STEEL STRUCTURE - PAINTED
STLS-X	STEEL STAIR STRUCTURE - PAINTED
STA-X	STEEL AWNING - PAINTED
WND-X	WINDOW SYSTEM - PREFINISHED





PLAT F O R M

ARCHITECTURE. DESIGN

Scales May be
Scales Shown
ze of 24" x 36".

tion is Drawn to the Fact That Drawing Scales May be
Changed During Reproduction Processes. Scales Shown
on are Based on a Full Scale Sheet Size of 24" x 36".

Scale: 1" = 20'

MO NOTES

- PROTECT EXISTING SEWER.
- PROTECT EXISTING OVERHEAD POWER LINES
- PROTECT EXISTING TRASH ENCLOSURE
- REMOVE EXISTING PAVEMENT.
- PROTECT EXISTING BUILDING.
- REMOVE 40 LF OF EXISTING CURB.
- PROTECT EXISTING CURB.

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MLD 11 JULY 2023

PLATFORM JOB NO. 22-09.01

DATE 11 SEPTEMBER 2023
SCALE AS INDICATED
DRAWN
CHECKED -

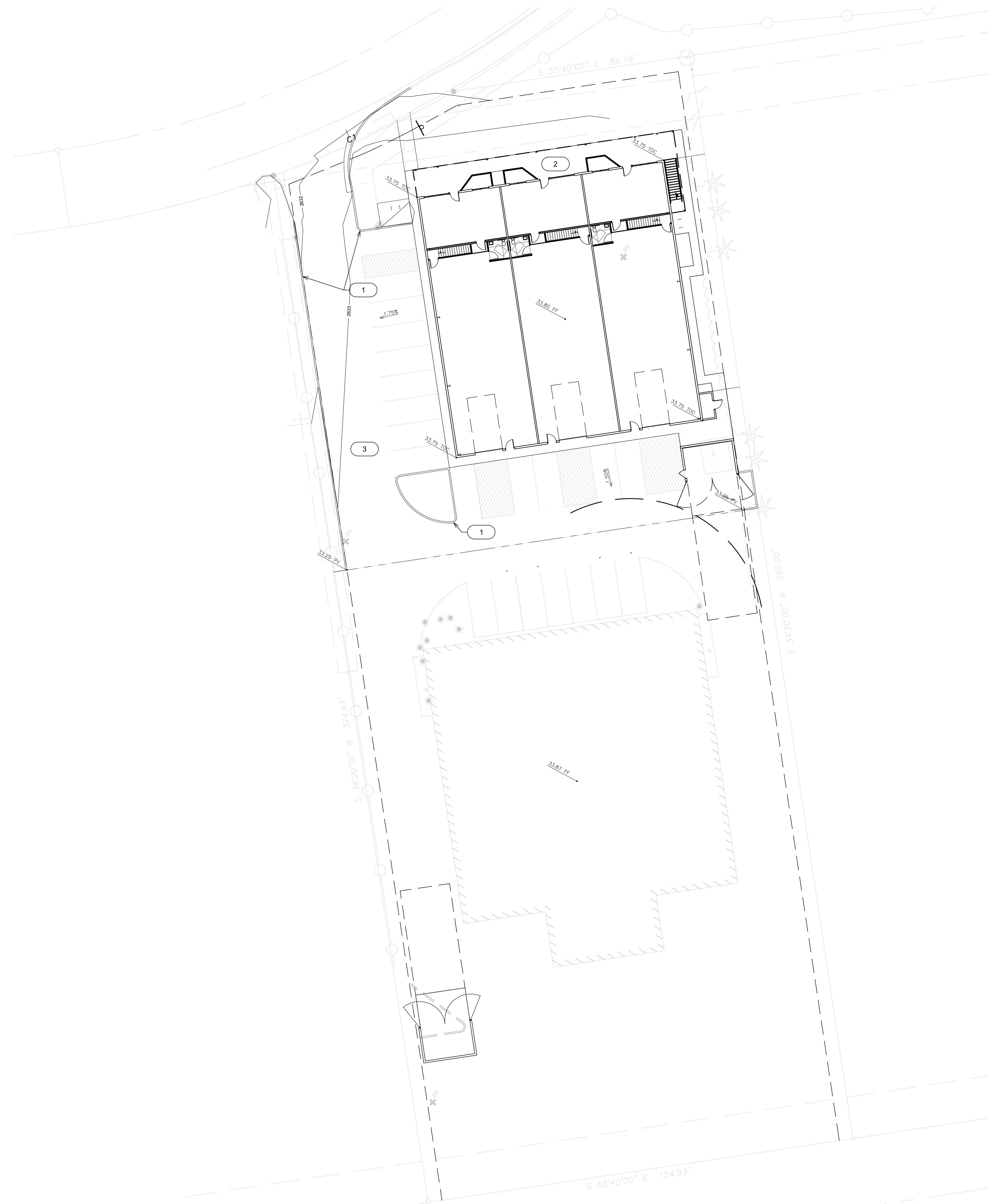
No Park Units LLC

New Industrial Live/Work

5260 N. Sawyer/Alworth St. Garden City

Demo Plan

C2.0



PLATFORM
ARCHITECTURE DESIGN

280 N 8th, Suite 118, Boise, Idaho 83702
t: 891.9082 pltfm@platformarch.com

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ESTVOLD
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208.833.6470 - www.ackerman-estvold.com
Mobile: 861.777.4444 | Email: 861.777.4444

Graphic Scale:
Attention is Drawn to the Fact That Drawing Scales May be
Altered During Reproduction Processes. Scales Shown
Hereon are Based on a Full Scale Sheet Size of 24" x 36".
Scale: 1" = 20'

GRADING NOTES

- 1 INSTALL 6" VERTICAL CURB
- 2 INSTALL SIDEWALK PER ISPWC SD-709
- 3 INSTALL LIGHT DUTY ASPHALT PAVEMENT PER GEOTECH.

ISSUE/REVISION
MLD 11 JULY 2023

PLATFORM JOB NO. 22-09.01

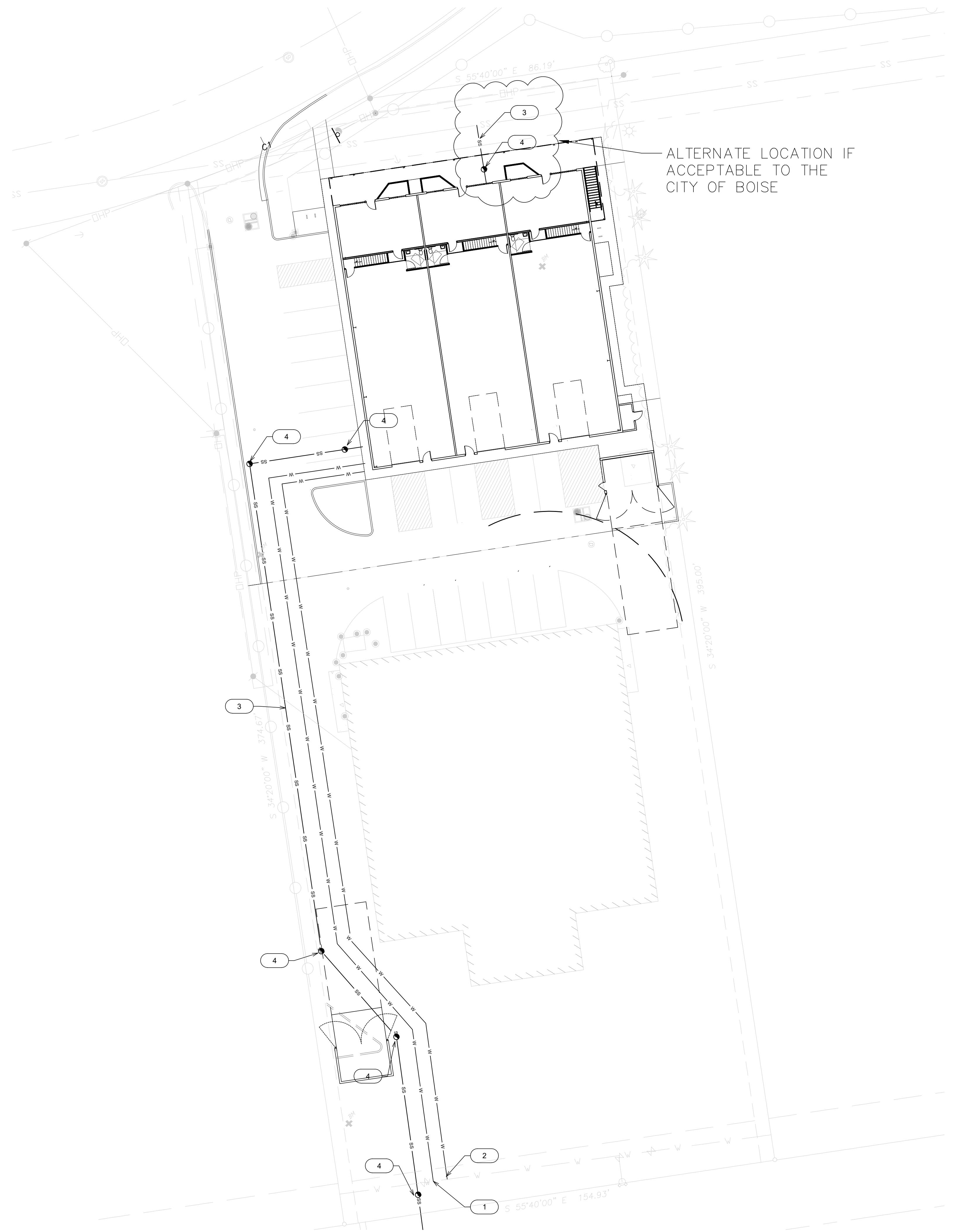
DATE 11 SEPTEMBER 2023
SCALE AS INDICATED
DRAWN CMS
CHECKED

DESIGN REVIEW

No Park Units LLC
New Industrial Live/Work
5260 N. Sawyer/Alsworth St. Garden City, ID

Improvement Plan

C3.0



A diagram of a magnetic dipole. It consists of a horizontal line with a circle containing a cross at its center. A vertical line extends upwards from the center of the circle, ending in a horizontal bar with a vertical arrow pointing upwards. Another vertical line extends downwards from the center of the circle, ending in a horizontal bar with a vertical arrow pointing downwards. Below the dipole, there is a scale bar with tick marks labeled 10, 5, 0, 10, and 20.

PLATFOR M

ARCHITECTURE. DESIGN

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LATFORM JOB NO. 22-09.01

DATE 11 SEPTEMBER 2023
CALE AS INDICATED
RAWN
CHECKED

DESIGN REVIEW

TY NOTES

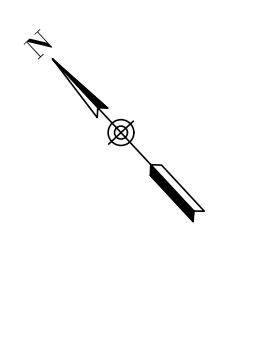
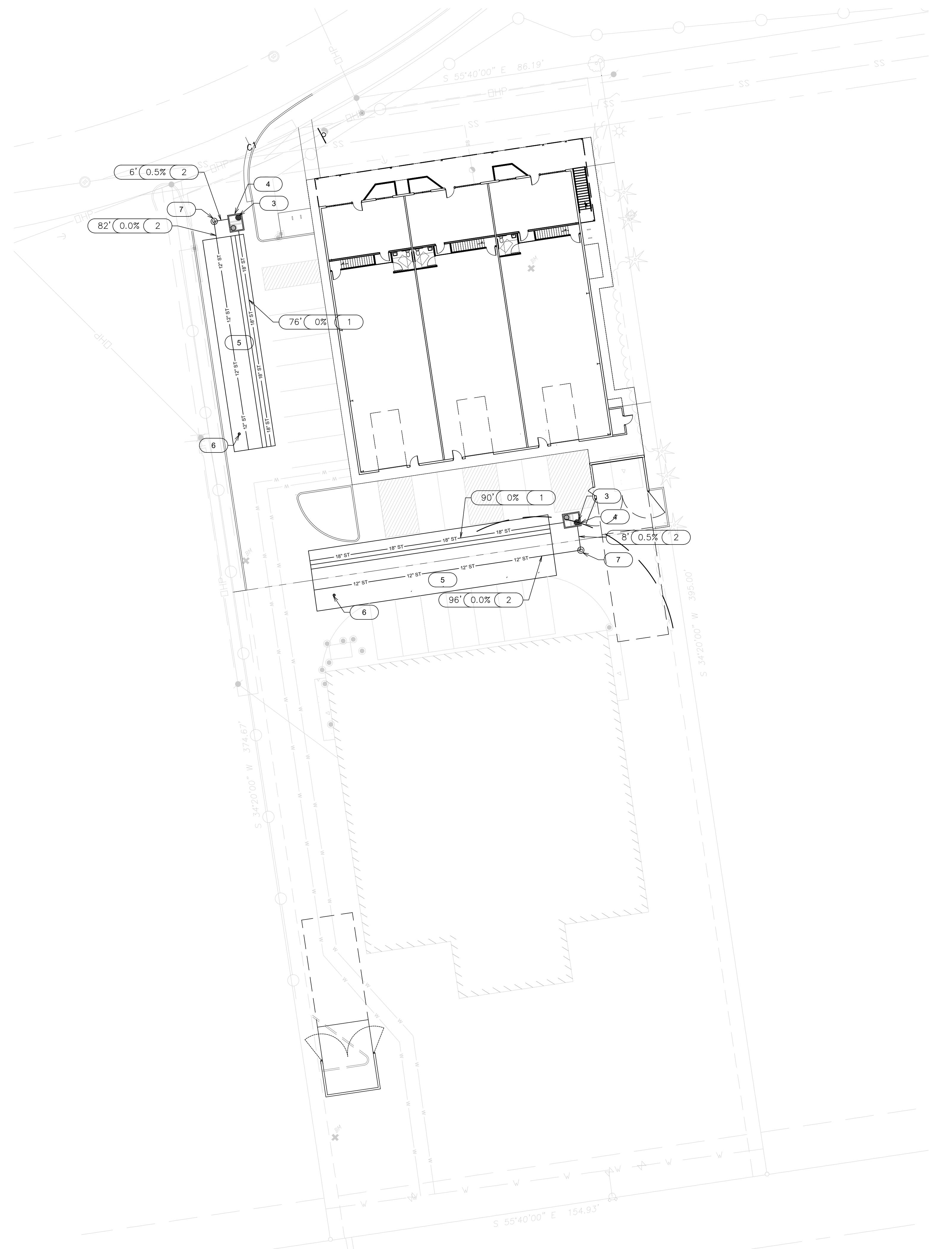
-)) INSTALL 2" DOMESTIC WATER SERVICE. COORDINATE WITH GARDEN CITY FOR CONNECTION TO MAIN.
-)) INSTALL 4" FIRE SERVICE WITH 4" GATE VALVE AT CONNECTION. COORDINATE WITH GARDEN CITY FOR CONNECTION TO MAIN.
-)) INSTALL 4" SANITARY SEWER SERVICE @ 2.0% MIN SLOPE.
-)) INSTALL 4" CLEANOUT PER ISPWC SD-506A

No Park Units LLC

5260 N. Sawtooth Way, Garden City, ID

Utilities Plan

C4.0



Graphic Scale:

Attention is Drawn to the Fact That Drawing Scales May be
Altered During Reproduction Processes. Scales Shown
Hereon are Based on a Full Scale Sheet Size of 24" x 36".

Scale: 1" = 20'

DRAINAGE NOTES

- 20' (0.5%) 1 INSTALL 18" SDR35 PVC STORM PIPE. LENGTH AND SLOPE AS SHOWN.
- 20' (0.5%) 2 INSTALL 12" SDR35 PVC STORM PIPE. LENGTH AND SLOPE AS SHOWN.
- 3 INSTALL MANHOLE FRAME WITH GRATED INLET.
- 4 INSTALL SAND AND GREASE TRAP PER DETAIL ON SHEET C6.0.
- 5 INSTALL SEEPAGE BED PER DETAIL ON SHEET C6.0.
- 6 INSTALL GROUNDWATER OBSERVATION WELL PER ISPWC SD-627.
- 7 INSTALL CATCH MANHOLE PER ISPWC SD-611.

No Park Units LLC

New Industrial Live/Work

5260 N. Sawyer/Alworth St. Garden City, ID

Drainage Plan

C5.0

PLATFORM
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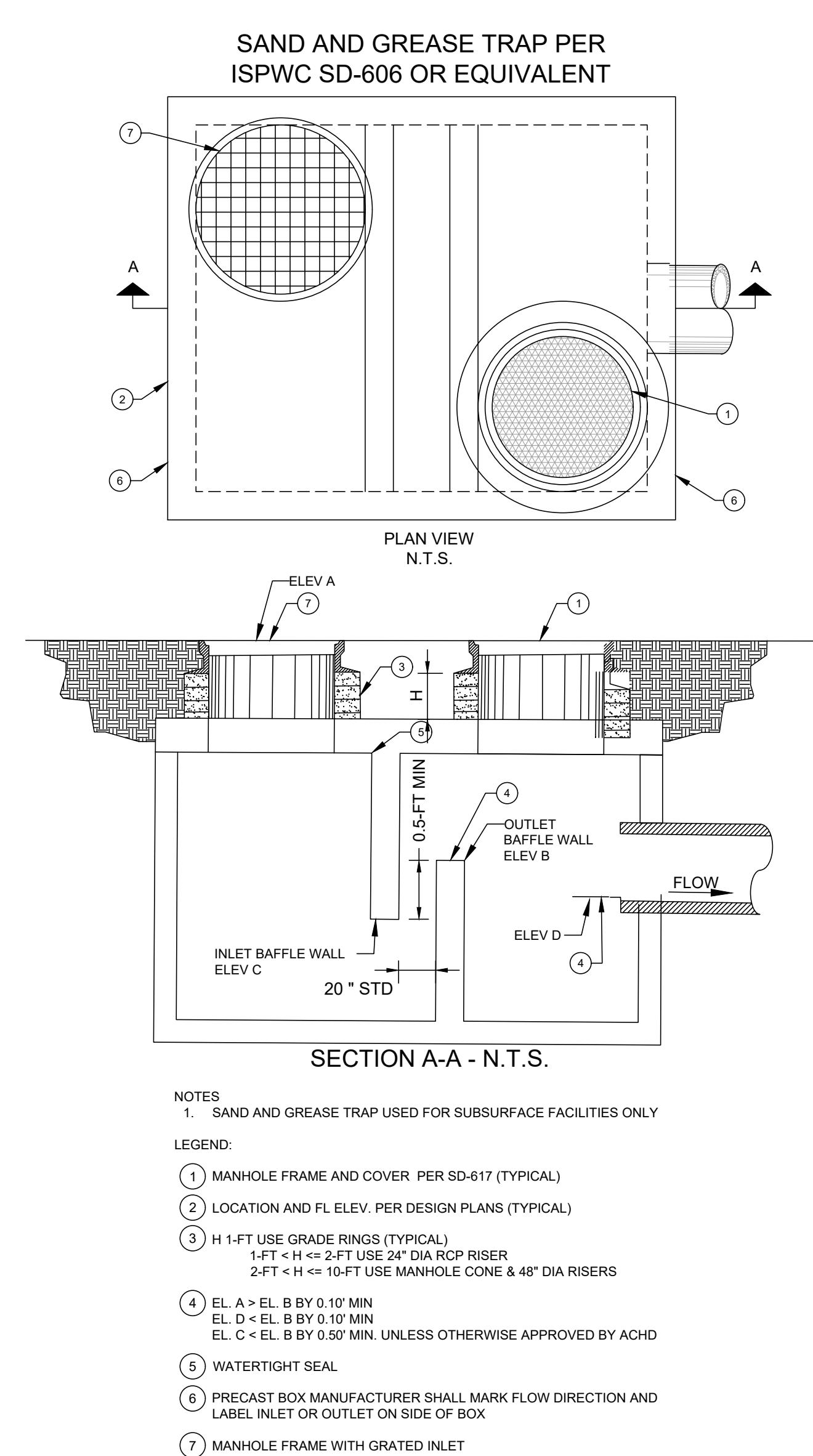
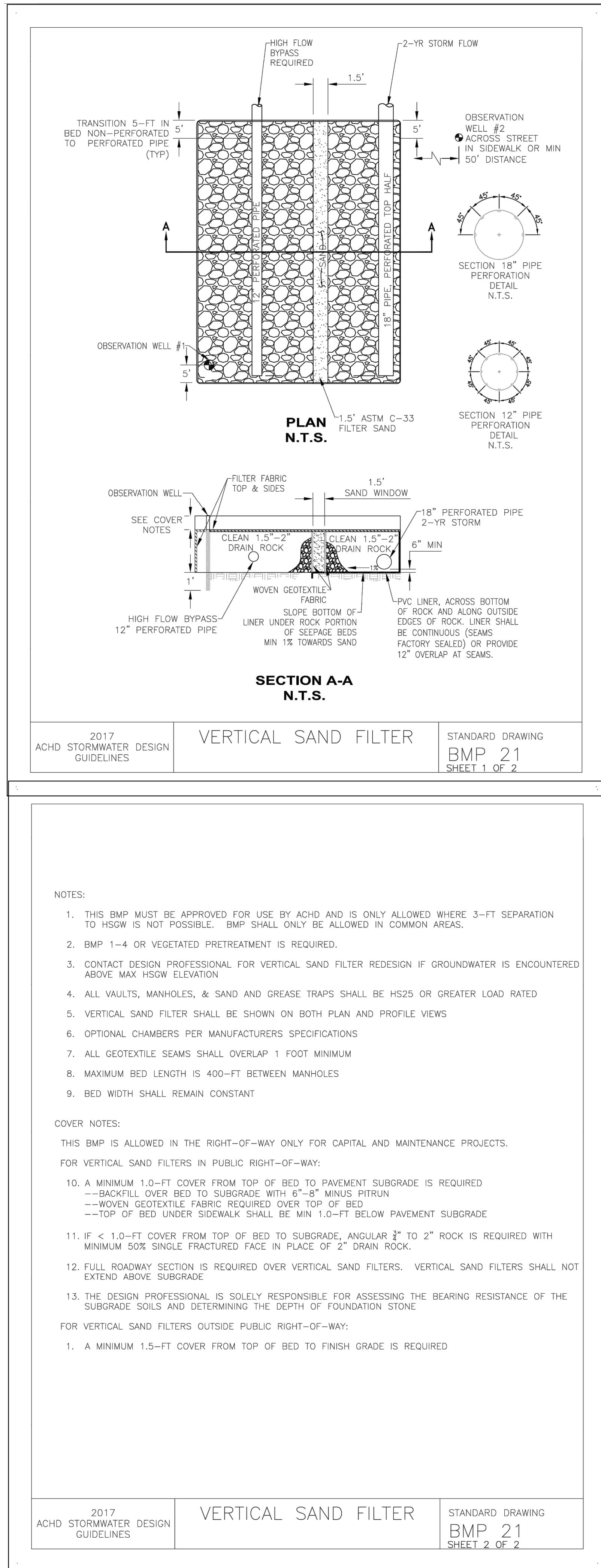
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SEEPAGE BED PER ACHD STD DWG BMP 21

SEEPAGE BED TABLE									
BED NO.	2 YEAR WIDTH	100 YEAR WIDTH	LENGTH	ROCK DEPTH	TOP OF ROCK	PIPE INVERT 2 YEAR	PIPE INVERT 100 YEAR	BOTTOM OF ROCK	GROUNDWATER
BED #1	3'-0"	10'-0"	75'-0"	2'-0"	2631.50	2629.75	2630.00	2629.50	2629.00
BED #2	5'-0"	15'-0"	85'-0"	2'-0"	2631.50	2629.75	2630.00	2629.50	2629.00

PROJECT INFORMATION
LANDSCAPE REQUIREMENTS

TOTAL PROPERTY SIZE= 60,417 S.F. - 1.387 ACRES

ZONING DISTRICT= C-2

LOT TO LOT BUFFER AREA= 24,800 S.F.

BUILDING COVERAGE: 8,800 S.F.

Hardscape Coverage: 12,485 S.F.

Landscape Coverage: 3,724 S.F.

NUMBER OF PARKING STALLS PROVIDED: 14

13 STANDARD STALLS

0 COMPACT STALLS

1 ADA STALLS

TOTAL: 14 STALLS

NUMBER OF BICYCLE PARKING SPACES REQUIRED:

(1 STALL/20 REQUIRED STALLS) AND 1 STALL PER

COMMERCIAL TENANT = 4 BICYCLE STALLS

NUMBER OF BICYCLE PARKING SPACES PROVIDED: 2

PROPOSED TWO RACK (ONE RACK = 2 STALLS)

TOTAL NUMBER OF TREES: 4

TOTAL NUMBER OF TREE SPECIES: 3; 1 SPECIES REQUIRED

PROPOSED PARKING LOT TREES - 1

LANDSCAPE BUFFER REQUIREMENTS:

NORTH LANDSCAPE BUFFER (IN SWAYER AVE):

67 LINEAR FT.

5 FT. WIDE LANDSCAPE BUFFER PROVIDED

(5 FT. WIDE LANDSCAPE BUFFER REQUIRED)

REQUIRED TREES - 2

PROVIDED TREES - 2

SOUTH LANDSCAPE BUFFER (C-2):

0 LINEAR FT.

0 FT. WIDE LANDSCAPE BUFFER PROVIDED

(0 FT. WIDE LANDSCAPE BUFFER REQUIRED)

REQUIRED TREES - 0

PROVIDED TREES - 0

EAST LANDSCAPE BUFFER (C-2):

192 LINEAR FT.

0 FT. WIDE LANDSCAPE BUFFER PROVIDED

(0 FT. WIDE LANDSCAPE BUFFER REQUIRED)

REQUIRED TREES - 0

PROVIDED TREES - 0

WEST LANDSCAPE BUFFER (C-2):

173 LINEAR FT.

0 FT. WIDE LANDSCAPE BUFFER PROVIDED

(0 FT. WIDE LANDSCAPE BUFFER REQUIRED)

REQUIRED TREES - 0

PROVIDED TREES - 0

LOG OF LANDSCAPE AREA

AREA 1 (NORTHERN PARKING LOT ISLAND): 350 S.F.

AREA 2 (N. ALWORTH ST. FRONTAGE): 3,433 S.F.

AREA 3 (LARGE COVERED PLANTER): 108 S.F.

AREA 4 (SMALL COVERED PLANTER): 42 S.F.

AREA 5 (EASTERN PROPERTY LINE): 1,005 S.F.

AREA 6 (SOUTHERN PARKING LOT ISLAND): 217 S.F.

N. SAWYER AVENUE



RODNEY EVANS + PARTNERS
readpartners.com + 208-514-3300 + 1450 W. Bannock Street, Boise, Idaho 83702

PLATEFORM
ARCHITECTURE DESIGN

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t: 891.9082 platform@platformarch.com

ISSUE/REVISION
MLD
17 JULY 2023

PLATFORM JOB NO. 22-09.01

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SCALE AS INDICATED
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DESIGN REVIEW

No Park Units LLC
New Industrial Live/Work
5260 N. Sawyer/Alworth St. Garden City, ID

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LANDSCAPE PLAN

SCALE: 1"= 10'-0"

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**RECORD OF SURVEY-MINOR LAND DIVISION
FOR NO PARK UNITS, LLC**

RECORD OF SURVEY No. _____

W.C. *ILLEGIBLE*
FOUND 5/8" REBAR WITH CAP SET
FOR A 2" WITNESS CORNER PER
ROS 6784, ON SHEET 2 OF 13.

A PORTION OF LOT 3, BLOCK 2 OF BRADLEY PARK No. 1 SUBDIVISION, LOCATED IN A PORTION OF GOVERNMENT LOT 3
AND THE EAST 1/2 OF THE NW 1/4 OF SECTION 31 TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN
CITY OF GARDEN CITY, ADA COUNTY, IDAHO
2023

FOR AGENCY REVIEW ONLY - NOT FOR RECORDING

CERTIFICATE OF GARDEN CITY DEVELOPMENT SERVICES

THIS SIGNATURE CERTIFIES THE MINOR LAND DIVISION HAS BEEN REVIEWED AND APPROVED BY
THE CITY. THE PARCEL CREATED THROUGH THE MINOR LAND DIVISION APPLICATION
MLDFY20-_____ ARE RECOGNIZED AS LEGAL LOTS OF RECORD BY THE CITY.

GARDEN CITY DEVELOPMENT SERVICES

DATE

APPROVAL OF CITY ENGINEER

THIS I, THE UNDERSIGNED, CITY ENGINEER FOR THE CITY OF GARDEN CITY, ADA COUNTY,
IDAHO HEREBY APPROVE THIS MINOR LAND DIVISION.

GARDEN CITY ENGINEER

DATE

RECORD OF SURVEY No. 12808

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	388.00'	72.06'	71.96'	S 72°12'21" E	10°38'28"
C2	388.00'	76.29'	76.17'	S 61°15'08" E	11°15'58"
C3	360.00'	354.91'	340.71'	N 83°51'43" W	56°29'08"

LINE	BEARING	DISTANCE
L1	S 34°22'51" W	128.00'
L2	N 34°20'00" E	25.00'

PLS 10729

②

SIGNATURE OF OWNER

I THE UNDERSIGNED, DO HEREBY CERTIFY THAT I AM AN AUTHORIZED
AGENT FOR HILL TWO, LLC. THE OWNER OF THE REAL PROPERTY
SHOWN ON THIS SURVEY AND THAT SAID LIMITED LIABILITY COMPANY
INTENDS TO INCLUDE SAID REAL PROPERTY IN THIS PROPERTY LINE
ADJUSTMENT

DIANA WITT, MEMBER, NO PARK UNITS, LLC, A CALIFORNIA
LIMITED LIABILITY COMPANY

ACKNOWLEDGMENT

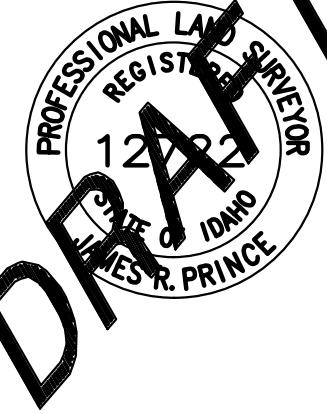
STATE OF _____ COUNTY OF _____ } SS

ON THIS _____ DAY OF _____, BEFORE ME, THE
UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF IDAHO,
PERSONALLY APPEARED DIANA WITT, KNOWN OR IDENTIFIED TO ME TO BE A
MEMBER OF NO PARK UNITS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY,
WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY
COMPANY, AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY
EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL THE DAY AND
YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC
RESIDING AT: _____
MY COMMISSION EXPIRES: _____

JAMES R. PRINCE, LS 12722



CERTIFICATE OF ADA COUNTY RECORDER

INSTRUMENT NO. _____

STATE OF IDAHO } SS
COUNTY OF ADA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED
FOR RECORD AT THE REQUEST OF PORTSIDE LAND SURVEYING, LLC. AT _____ MINUTES
PAST _____ O'CLOCK _____ .M., THIS _____ DAY OF _____, 2023.

EX-OFFICIO RECORDER

DEPUTY

Fee _____

PORTSIDE LAND SURVEYING

3626 W. HILL ROAD, BOISE, ID 83703

PHONE: (208) 484-6666

REFERENCES

RECORDS OF ADA COUNTY

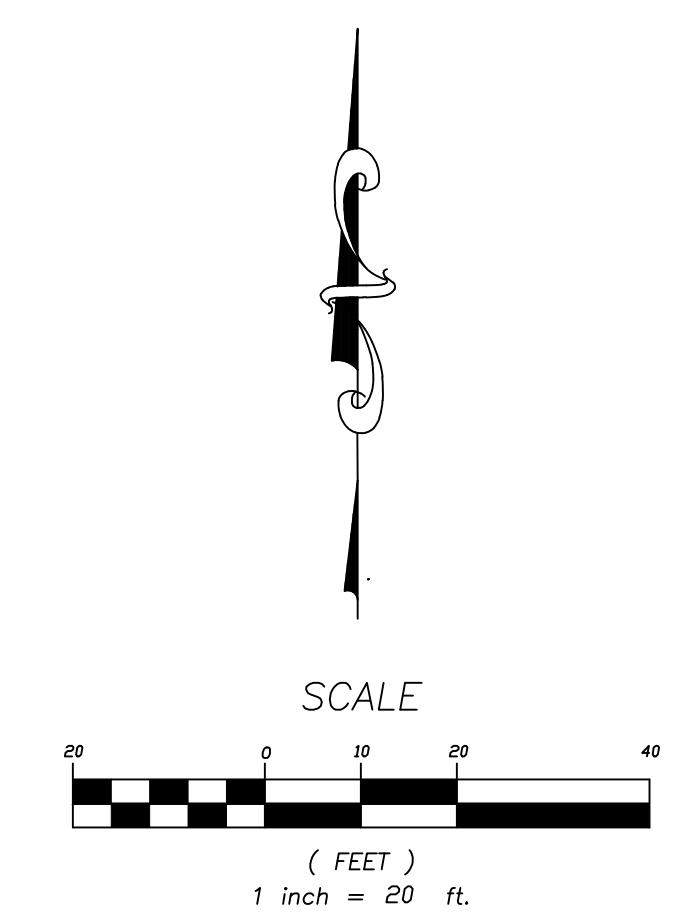
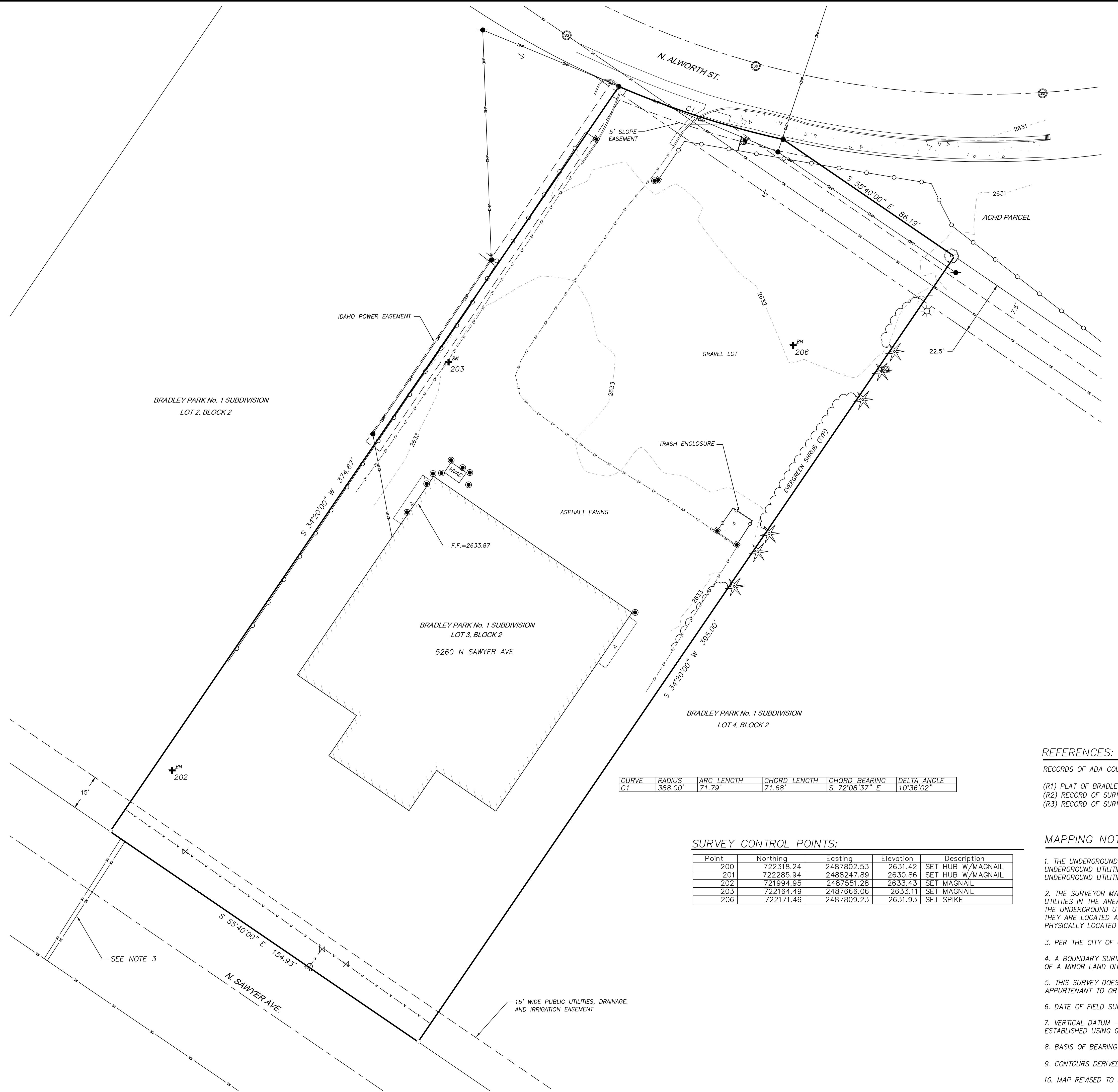
- (R1) PLAT OF BRADLEY PARK No. 1 SUBDIVISION, BOOK 56, PAGE 5199
- (R2) RECORD OF SURVEY No. 6784
- (R3) RECORD OF SURVEY No. 12808
- (R4) RIGHT-OF-WAY DEED, INST. No. 103022039
- (R5) PERMANENT SLOPE EASEMENT AGREEMENT, INST. No. 103022040
- (R6) GRANT OF EASEMENT (BOISE CITY SEWER), INST. No. 886339
- (R7) WARRANTY DEED, INSTRUMENT No. 2021-176224

NOTES

- 1. ALL EXISTING BUILDINGS ARE ACCURATELY DEPICTED AND ARE TO REMAIN.
- 2. THIS PROPERTY IS CURRENTLY ZONED C-2.
- 3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, AND
RESERVATIONS APPURTENANT TO OR ENCUMBERING THE SUBJECT PROPERTY.
- 4. ALL FOUND MONUMENTS FIELD LOCATED IN JUNE 2022.
- 5. PORTSIDE LAND SURVEYING, LLC ASSUMES NO LIABILITY FOR CURRENT OR FUTURE
COMPLIANCE WITH APPLICABLE PLANNING AND ZONING ORDINANCES AND/OR RESTRICTIONS.

SURVEYOR NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AID IN THE MINOR LAND DIVISION PROCESS WITH
THE CITY OF GARDEN CITY. MONUMENT THE BOUNDARY CORNERS OF THE SUBJECT
PARCEL. THE EXTERIOR BOUNDARY OF THE TWO PARCELS WAS DETERMINED HOLDING THE
FOUND MONUMENTS SHOWN IN RELATION TO THE REFERENCED DOCUMENTS. WARRANTY
DEED, INSTRUMENT No. 2021-176224, IS THE DEED OF RECORD FOR THE PARCEL
BOUNDARY.



LEGEND

—————	RECORD BOUNDARY LINE
—————	CENTER LINE
—————	UTILITY EASEMENT AS NOTED
—————	CITY OF BOISE SANITARY SEWER EASEMENT
—————	CHAIN LINK FENCE LINE
— EP — EP — EP — EP —	EDGE OF ASPHALT PAVING
— W — W — W —	WATER LINE
————— SS —————	SANITARY SEWER LINE
————— OHP —————	OVERHEAD POWER LINE
○	FOUND 1/2" REBAR
+ ^{BM} 100	SURVEY CONTROL POINT
❖	FIRE HYDRANT
☒	WATER VALVE
☒	IRRIGATION VALVE BOX
●	BOLLARD
/ss	SANITARY SEWER MANHOLE
sd	STORM DRAIN MANHOLE
■■■	CATCH BASIN
●	2" PVC MARKER PIPE, YELLOW
●	POWER POLE
←	POWER POLE GUY WIRE ANCHOR
—○—	SIGN
□	GATE POST
★	EVERGREEN TREE LINE
●○●	DECIDUOUS TREE
CONCRETE SURFACE	

REFERENCE;

RECORDS OF ADA COUNTY

(R1) PLAT OF BRADLEY PARK No. 1 SUBDIVISION, BOOK 56, PAGE 5198
(R2) RECORD OF SURVEY No. 6784
(R3) RECORD OF SURVEY No. 16226

SURVEY CONTROL POINTS

Point	Northing	Easting	Elevation	Description
200	722318.24	2487802.53	2631.42	SET HUB W/MAGNAIL
201	722285.94	2488247.89	2630.86	SET HUB W/MAGNAIL
202	721994.95	2487551.28	2633.43	SET MAGNAIL
203	722164.49	2487666.06	2633.11	SET MAGNAIL
206	722171.46	2487809.23	2631.93	SFT SPIKE

MAPPING NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. ALIGNMENT OF UNDERGROUND UTILITIES IS ASSUMED FROM SURFACE FEATURES AND UTILITY LOCATE PAINT. VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES.
3. PER THE CITY OF GARDEN CITY THE SITE IS SERVED BY A PRIVATE 6" LINE FOR SANITARY SEWER.
4. A BOUNDARY SURVEY WAS PERFORMED AND A SEPARATE RECORD OF SURVEY WILL BE RECORDED AS PART OF A MINOR LAND DIVISION APPLICATION WITH THE GARDEN CITY.
5. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, AND RESERVATIONS APPURTEnant TO OR ENCUMBERING THE SUBJECT PROPERTY.
6. DATE OF FIELD SURVEY – JUNE, 2022. PLOT DATE – JULY 31, 2022.
7. VERTICAL DATUM – ELEVATIONS ARE ON THE NAVD 88 VERTICAL DATUM. THE VERTICAL DATUM WAS ESTABLISHED USING GPS STATIC METHODS AND THE NGS OPUS PROCESSING SERVICE.
8. BASIS OF BEARING – PLAT OF BRADLEY PARK No. 1 SUBDIVISION, RECORDS OF ADA COUNTY.
9. CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS. 1' CONTOUR INTERVAL.
10. MAP REVISED TO SHOW GUY WIRE ANCHOR IN MAP LEGEND ON AUGUST 14, 2022.

REVISED TOPOGRAPHIC MAP
ON A PORTION OF 5260 N. SAWYER AVENUE
LOT 3, BLOCK 2 OF BRADLEY PARK No. 1 SUBDIVISION

**SURVEY
SHEET**