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City Council

Garden City

Edgemere Subdivision: Planned Unit Development Narrative Updated Per P&Z Comments

April 13, 2026

### **Edgemere Subdivision**

The developer would like to begin by acknowledging and thanking the City Council for granting reconsideration of this application. We understand that this was not required, and we are appreciative of the opportunity to return with a revised plan. The intent of this submittal is to respond directly to the concerns that were raised during the previous hearing and to continue working toward a project that can be supported.

Since the City Council hearing, the developer has taken additional time to review the comments provided by Council, staff, and the Planning and Zoning Commission. The revised layout reflects a continued effort to address those concerns while working within the constraints of a small and uniquely configured infill site.

### **Reduction in Density**

One of the primary changes to the project came after the Planning and Zoning meeting and included the reduction in the total number of residential units from nine (9) to eight (8). This change was made in direct response to feedback received during the Planning and Zoning hearing.

Reducing the number of units has allowed for additional flexibility in the layout of the site. This includes increased open space and additional room to address parking and landscaping concerns. The developer views this as a meaningful adjustment intended to better align the project with the expectations expressed during prior hearings.

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P.O. Box 8525

Boise, Idaho

83707

## **Parking and Garage Improvements**

The revised plan includes several changes intended to address the concerns raised related to parking and maneuverability within the site.

Each unit now includes a garage that is forty feet (40') in depth, allowing for two parking stalls in tandem, each meeting the City's dimensional standards. This change removes the need for the previously requested garage dimensional deviation.

In addition, four (4) full-size guest parking stalls have been added to the site. These stalls meet the City's minimum dimensional requirements and were included specifically to address concerns regarding guest parking availability.

Concerns were also raised at the City Council hearing regarding the use of the driveways for parking and the potential for vehicles to overhang into the drive aisle. While the driveways meet dimensional criteria for compact parking, the developer understands the concern regarding potential obstruction.

To address this, the developer is proposing that the driveways not be utilized as parking spaces at all. This could be implemented through recorded CC&Rs and/or site-specific measures such as curb markings. The intent is to ensure that the internal drive remains clear and fully functional for residents, guests, and emergency access.

## **Fire Department Coordination**

Following the City Council hearing, the applicant coordinated directly with the Fire Department to discuss potential modifications to improve site functionality and safety.

Based on that coordination, the Fire Department indicated that the proposed configuration would be acceptable provided that a minimum fifteen foot (15') separation is maintained between the buildings and the edge of the travel way, and that the buildings are equipped with fire sprinkler systems.

The developer is proposing to incorporate fire sprinkler systems into the project and has maintained the required building separation. These adjustments were made to further support safe access and emergency response within the site.

## **Open Space**

The configuration of open space was a significant point of discussion during prior hearings. The developer has worked to revise these areas to improve their usability and better align with the dimensional expectations of the code.

Based on coordination with City staff, the revised plan provides two primary common open space areas measuring approximately 1,955 square feet combined. While this remains slightly below the ten percent (10%) threshold identified in code, the developer has focused on increasing the width and functionality of these spaces so that they can serve as usable areas for residents.

The developer understands that the numeric standard is an important consideration. At the same time, given the physical constraints of the site, the intent has been to create open space areas that are functional and meaningful, rather than fragmented or purely circulation-based. The applicant remains open to additional adjustments if there are opportunities to further improve these areas.

### **Landscaping and Screening**

The revised plan includes an increase in perimeter landscaping consistent with Garden City Code requirements. The development now provides a six foot (6') wide vegetative buffer at maturity along the perimeter. The landscape plan details Degroot's Spire Thuja Arborvitae Trees (seen below) as proposed landscaping buffer plants. These landscaping trees provide a privacy between the existing home units.

Degroot's Spire Thuja Arborvitae Tree



Additional screening elements have also been incorporated to better address mechanical equipment. HVAC and other service elements will be screened with built features to reduce visibility from pedestrian areas and improve the overall appearance of the site.



The developer is also proposing to incorporate an additional amenity within the common open space areas in the form of a water feature, such as a small fountain or similar element. While the exact design is still being evaluated, the intent is to provide a visual focal point and enhance the overall experience of the shared space for residents. Given the constraints of the site and the limited ability to meet the full open space requirement, the developer would like to supplement the space with features that improve usability and create a more inviting environment. This type of amenity is intended to provide added value to the development and contribute positively to the character of the common open space areas.



## **Access and Circulation**

The project is now proposed to utilize a common drive rather than a private street. The applicant understands that this requires approval through the Planned Unit Development process to allow more than four units to take access from the drive.

## **Trash Collection**

The applicant has coordinated with Republic Services regarding trash collection. Based on their review, they do not anticipate issues with servicing the site. The anticipated operation would involve the collection vehicle utilizing the hammerhead configuration to maneuver appropriately and access carts as needed.

## **Pedestrian Connectivity and Additional Features**

All units are now connected by a continuous pedestrian pathway system that links each front entry to the internal open space areas and the surrounding site.

A bike rack capable of accommodating nine (9) bicycles has also been added to the project.

These elements are intended to improve usability of the site and provide additional amenities for residents.

## **Waiver Requests**

Pursuant to Garden City Code 8-6B-7, the Applicant has reviewed the previously requested waivers and has revised the request based on the updated site plan.

### **a) Vehicular parking space dimensions**

This waiver is no longer requested. The revised design includes garages that meet the City's dimensional requirements for tandem parking as well as code compliant guest parking.

### **b) Perimeter landscaping buffer width and screening**

This waiver is still requested. While the site does not provide the full ten-foot (10') buffer in all locations, the revised plan increases the landscaped area along the frontage of the buildings. There is now over six feet (6') of space between the property line and the sidewalk in these areas, which allows for additional landscaping to be installed. The intent is to enhance screening and improve the overall streetscape character.

### **c) Street tree placement**

This waiver is still requested. The Applicant has worked to incorporate trees throughout the site where feasible and remains open to coordinating with staff on final placement.

**d) Common open space dimensions**

This waiver is still requested. The revised plan increases both the size and usability of the open space areas. While certain dimensional standards may not be fully met, the design has been adjusted to provide more functional and accessible open space for residents.

**e) More than four (4) units accessed from a common drive**

This waiver is still requested. The proposed common drive configuration has been designed to function effectively for the site and has been coordinated with the Fire Department and other service providers.

**Closing**

The applicant recognizes that this site presents a number of challenges due to its size, configuration, and surrounding conditions. The revised plan reflects continued effort to respond to the concerns raised by City Council and Planning and Zoning, while still working within those constraints.

This project reflects a balance between strict code application and the practical limitations of a unique infill site. The developer is committed to continuing to work with the City to refine the plan where possible and to move toward a project that can be supported.

The applicant respectfully requests City Council's consideration of the revised proposal.

Jadon Schneider P.E.

# Arboricultural Consulting Report

For

**Bill Tilman**

BT Development

For Service At

221 East 44<sup>th</sup> St  
Garden City, Idaho



November 11, 2024



550 Bedford Road, Bedford Hills NY  
phone: (914) 241-4999 • fax: (914) 244-9375  
email: consultinggroup@savatree.com

[savatree.com/consulting](http://savatree.com/consulting)

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## WHY DID SAVATREE PERFORM A TREE INVENTORY AND CONDITION ASSESSMENT?

You are concerned with obtaining an approved development application with Garden City and asked SavATree to provide a tree inventory and condition assessment at 221 East 44<sup>th</sup> Street, ID.

SavATree agreed to deploy a Consulting Arborist to visit the site, perform a tree inventory and condition assessment, and write a written report documenting our findings and recommendations.

## HOW DID SAVATREE CONDUCT THE INVENTORY?

We visited the site and the subject trees on November 5th, 2024.

We performed 360-degree visual observations of the crowns, trunks, and root flares of each of the trees. We measured tree diameters at the standard height of four-and-a-half feet above grade, known as DSH or DBH, with a standard diameter tape. We photographed the trees. There was no survey plan provided, just boundaries outlined per client conversation.

We consulted the ANSI A300 Tree Care Standards<sup>1</sup> We used Table 4.1 from the Guide for Plant Appraisal to inform our tree condition ratings<sup>2</sup>. The data collected consisted of:

- Species, common name.
- Trunk diameter.
- Condition – excellent, good, fair, poor, dead.
- Photos of trees using a cellular phone camera.
- Site and condition notes.

### Tree Condition

Tree condition was recorded using the criteria below:

- Excellent – A vigorous tree in near perfect health, with little to no dieback. Tree structure is ideal and without defect. The form (shape) is true to species.
- Good – The vigor is normal for the tree species with minor twig dieback. Defects are minor and easily corrected. The canopy may have minor asymmetry which could be due to pruning for clearance.
- Fair – The vigor is normal or reduced. There is an accumulation of dead branches. Defects are present in the canopy that may or may not be correctable. There may be an active disease infestation. The canopy has been reduced or is asymmetrical.
- Poor – The tree is in decline and not likely recover. Foliage quality and color is poor. Dead or missing branches comprise over 50 percent of the tree canopy. There may be serious structural deficiencies in the tree.
- Dead – Little to no indication of life.

<sup>1</sup> Tree Care Industry Association, Inc. 2023. ANSI A300 Tree Care Standards for trees, shrubs, palms, and other woody landscape plants. Manchester, NH. 152 pp.

<sup>2</sup> Council of Tree & Landscape Appraisers. 2019. Guide for Plant Appraisal, 10<sup>th</sup> Edition, 2<sup>nd</sup> Printing. International Society of Arboriculture. Atlanta, GA. 181 pp.

## WHAT DID SAVATREE FIND?

We collected data on 15 trees (Figure 1).



Figure 1. Subject property and trees with identifying tree numbers.

Tree #1 is a 27" DBH Walnut, English (*Juglans regia*) in fair condition.

Trees #2 through #12 range between 6" to 10" DBH Juniper (*Juniperus* sp.) in poor condition.

Tree #13 is an 18" DBH Spruce, Colorado (*Picea pungens*) in good condition.

Tree #14 is a 15" DBH Spruce, Colorado (*Picea pungens*) in good condition.

Tree# 15 is a 15" DBH Maple, Norway (*Acer platanoides*), in fair condition.

## WHAT DOES SAVATREE RECOMMEND BASED ON OUR FINDINGS?

Tree removal permits, if needed, should be pursued for Trees #1 through #15.



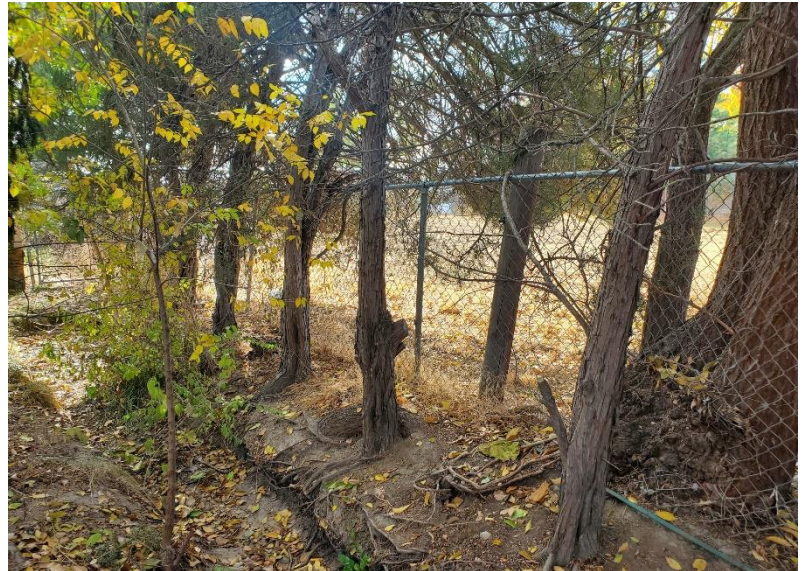
**Tyler Mathieson**  
**ISA Certified Arborist UT4449A**  
**Tree Risk Assessment Qualified**

Email: [tmathieson@savatree.com](mailto:tmathieson@savatree.com)

APPENDIX



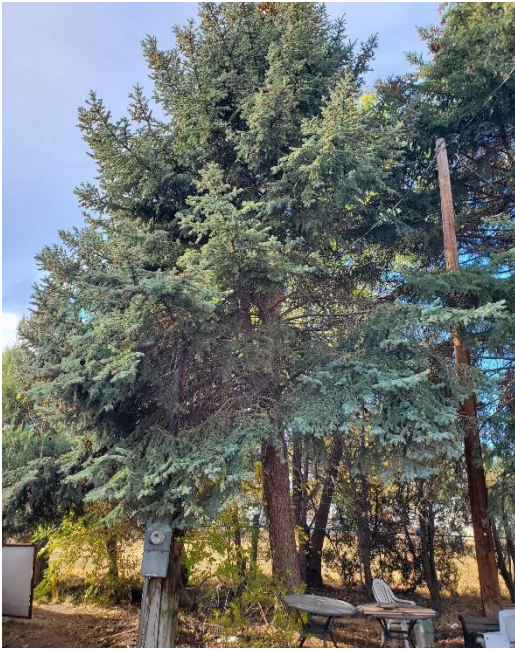
Tree #1 English Walnut



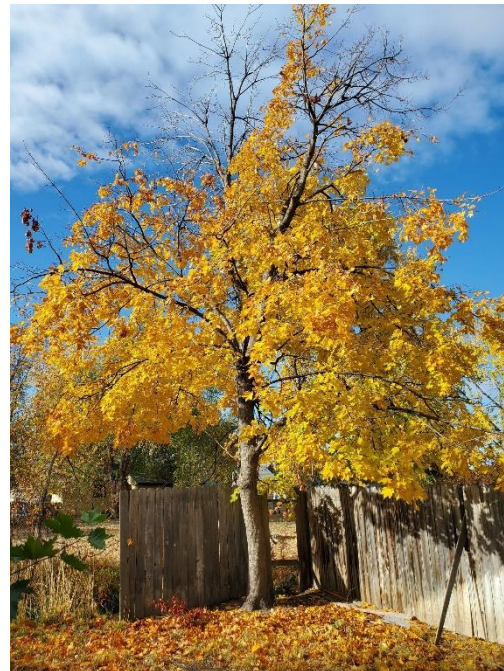
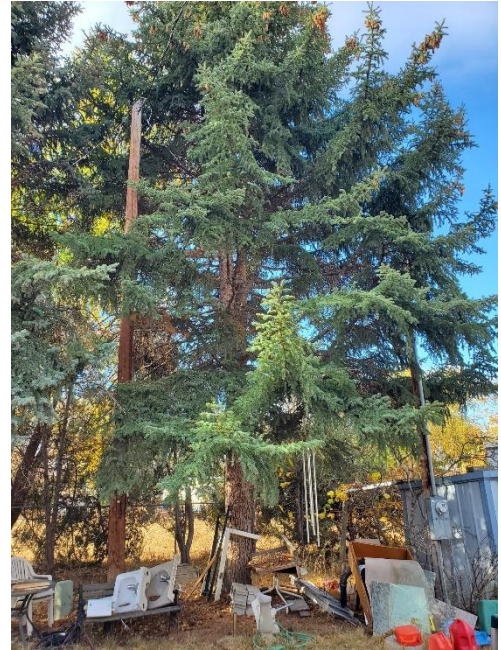
#2 through #6 Junipers



#7 through #12 Junipers



#13 Spruce (left)  
#14 Spruce (right)



#15 Norway Maple

Table 1 – Tree Inventory Data

Report #	DBH	Botanical Name	Common Name	Tree Grade (Good, Fair, Poor, Dead)	Arborist Notes
1	27	Juglans regia	English Walnut	Fair	Mature tree showing signs of stress. A large dead section observed on the southwestern stem of this tree. Branch dieback southwest side of tree > 12" in diameter. Multi-stem tree aggregate DBH 27
2	8	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
3	7	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
4	10	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
5	7	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.

6	9	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
7	11	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
8	8	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
9	7	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
10	9	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
11	7	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.
12	9	Juniperus sp.	Juniper	Poor	Very limited soil volume on the north side of tree due to irrigation ditch. Mature tree showing signs of stress. Branch dieback north side of tree ~ 4" and leaning trunk from overcrowded canopies.

13	12	Picea pungens	Colorado Spruce	Good	This mature tree is in good health but exhibits poor structure. Poor branch attachments were observed. Multiple co-dominant stems in upper canopy may increase likelihood of failure.
14	18	Picea pungens.	Colorado Spruce	Good	This mature tree is in good health but exhibits poor structure. Poor branch attachments were observed. Multiple co-dominant stems in upper canopy may increase likelihood of failure.
15	19	Acer platanoides	Norway Maple	Fair	Mature tree showing signs of stress. A large dead section observed on the southwestern stem of this tree. Branch tip dieback southwest side of tree > 4" in.



Jadon Schneider <jadon@bronzebowland.com>

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## SUBFY2024-0006 219 E 44th St - Boise Fire Comments

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**Mike Bisagno** <MBisagno@cityofboise.org>  
To: Bill Tilman <marketprobill@gmail.com>  
Cc: Jadon Schneider <jadon@bronzebowland.com>

Tue, Feb 24, 2026 at 3:54 PM

Bill,

We will still need the 15' driveways because we are still going to bring our ladder truck down this drive. We just won't have room to move any fire engines by the truck due to the decrease in width to 20'.

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**From:** Bill Tilman <marketprobill@gmail.com>  
**Sent:** Tuesday, February 24, 2026 11:24 AM  
**To:** Mike Bisagno <MBisagno@cityofboise.org>  
**Cc:** Jadon Schneider <jadon@bronzebowland.com>  
**Subject:** Re: [External] Re: SUBFY2024-0006 219 E 44th St - Boise Fire Comments

**Caution:** This email came from outside the city. Use caution before clicking on links, opening attachments, or responding.

Hey Mike,

Would we still need the 15' driveways?

Bill Tilman

208.353.4169

Designated Broker/Owner

**FLX Real Estate, LLC**

(Sent from my iPhone)

On Feb 24, 2026, at 11:21 AM, Mike Bisagno <MBisagno@cityofboise.org> wrote:

We can allow for the road width to be narrowed to 20' from 26' with the addition of fire sprinklers in the units. This approval is based on the floor plans that are attached. Any changes in building height or stories will require a review by me for approval.

Mike Bisagno

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**From:** Jadon Schneider <[jadon@bronzebowland.com](mailto:jadon@bronzebowland.com)>

**Sent:** Tuesday, February 24, 2026 10:04 AM

**To:** Mike Bisagno <[MBisagno@cityofboise.org](mailto:MBisagno@cityofboise.org)>

**Cc:** Bill Tilman <[marketprobill@gmail.com](mailto:marketprobill@gmail.com)>

**Subject:** [External] Re: SUBFY2024-0006 219 E 44th St - Boise Fire Comments

**Caution:** This email came from outside the city. Use caution before clicking on links, opening attachments, or responding.

Hi Mike,

Unfortunately, Garden City denied our application for this subdivision and asked if we could make some revisions to the plan. Ideally, they would like more open space around the back of the units.

We were proposing buildings that were ≈39' tall to the top of the roof with a 26' wide access road and a 15' setback from the edge of the road to the building as required by the fire code.

However, if we were to keep the buildings >30' tall, is it possible to reduce the fire access road width from 26' down to 20' or reduce the building setbacks from 15' down to 5' (or reduce the width of the road AND the setback) if we propose fire sprinklers in the buildings? The goal would be to move the buildings closer to the road so that we could add more open space along the pathway of the site. If you've seen anything like this in the past or have any other suggestions on how we might work around this please let me know.

Thanks for your time!

Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Mon, Oct 21, 2024 at 2:59 PM Jadon Schneider <[jadon@bronzebowland.com](mailto:jadon@bronzebowland.com)> wrote:

Received, thank you.

Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Mon, Oct 21, 2024 at 2:39 PM Mike Bisagno <[MBisagno@cityofboise.org](mailto:MBisagno@cityofboise.org)> wrote:

Boise Fire comments are attached.



Mike Bisagno

*Division Chief - Fire Marshal*

*Boise Fire Department*

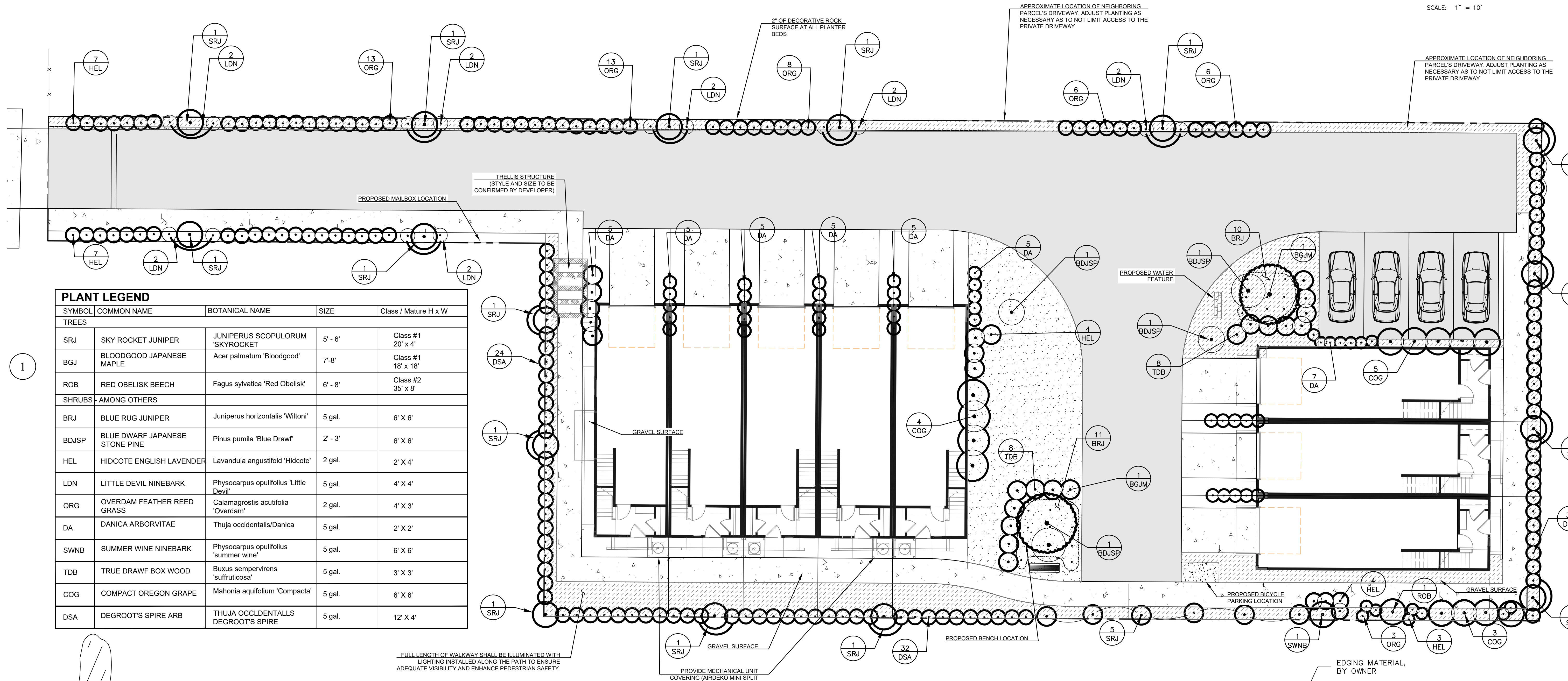
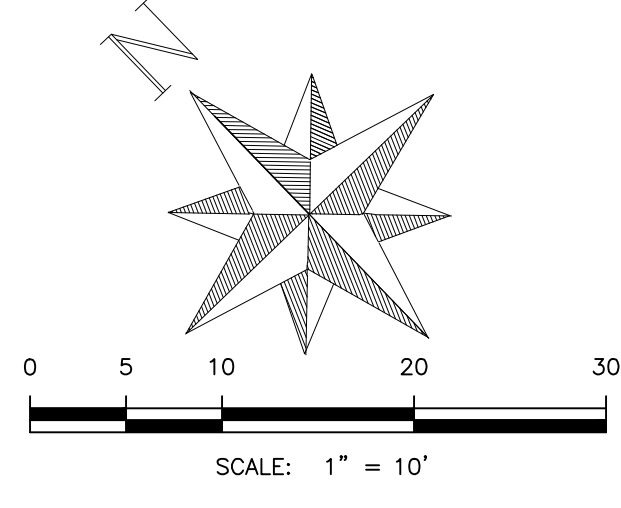
Office: (208)570-6573

[mbisagno@cityofboise.org](mailto:mbisagno@cityofboise.org)

*Creating a city for everyone.*

DEVELOPER  
**BT DEVELOPMENT LLC.**  
 4640 N ADAMS STREET  
 GARDEN CITY, ID 83714  
 CONTACT: BILL TILLMAN  
 PHONE: (208) 353-4169

SURVEYOR  
**NVS MERIDIAN, ID**  
 CONTACT: SEAN P. SULLIVAN  
 PHONE: (208) 275-8735



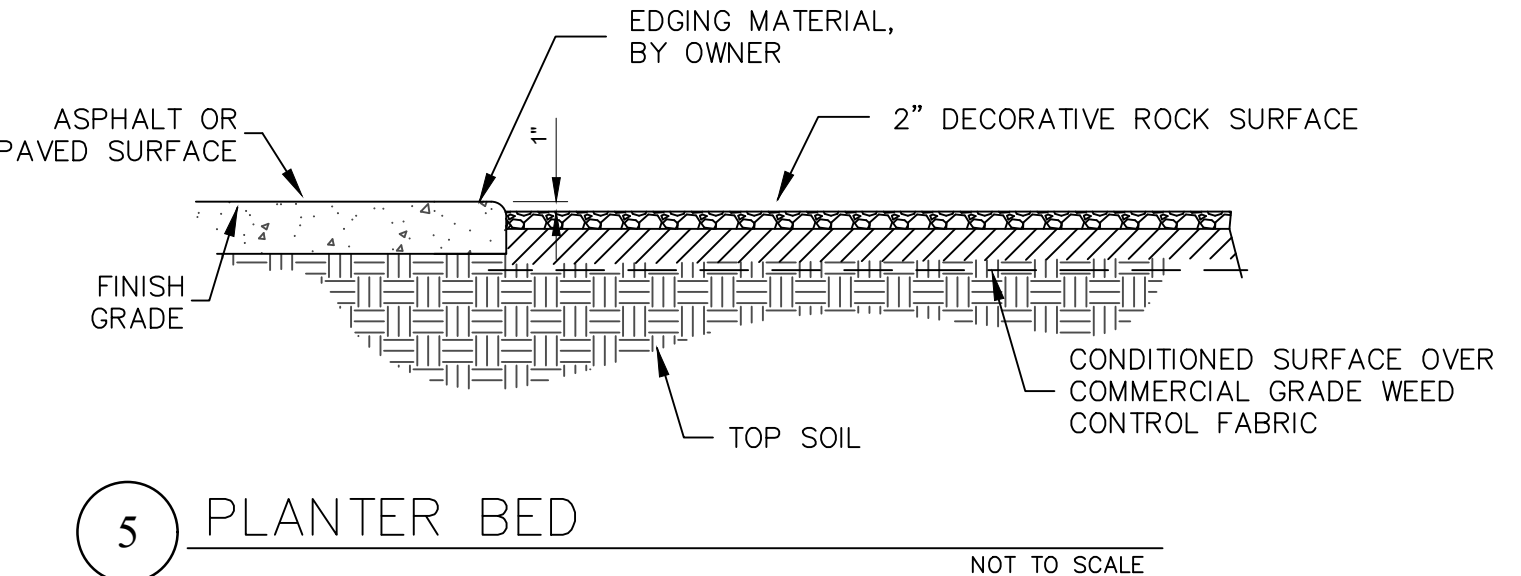
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	Class / Mature H x W
<b>TREES</b>				
SRJ	SKY ROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'	5' - 6'	Class #1 20' x 4'
BGJ	BLOODGOOD JAPANESE MAPLE	Acer palmatum 'Bloodgood'	7'-8'	Class #1 18' x 18'
ROB	RED OBELISK BEECH	Fagus sylvatica 'Red Obelisk'	6' - 8'	Class #2 35' x 8'
<b>SHRUBS - AMONG OTHERS</b>				
BRJ	BLUE RUG JUNIPER	Juniperus horizontalis 'Wilton'	5 gal.	6' X 6'
BDJSP	BLUE DWARF JAPANESE STONE PINE	Pinus pumila 'Blue Dwarf'	2' - 3'	6' X 6'
HEL	HIDCOTE ENGLISH LAVENDER	Lavandula angustifolia 'Hidcote'	2 gal.	2' X 4'
LDN	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Little Devil'	5 gal.	4' X 4'
ORG	OVERDAM FEATHER REED GRASS	Calamagrostis acutifolia 'Overdam'	2 gal.	4' X 3'
DA	DANICA ARBORVITAE	Thuja occidentalis/Danica	5 gal.	2' X 2'
SWNB	SUMMER WINE NINEBARK	Physocarpus opulifolius 'summer wine'	5 gal.	6' X 6'
TDB	TRUE DRAWF BOX WOOD	Buxus sempervirens 'suffruticosa'	5 gal.	3' X 3'
COG	COMPACT OREGON GRAPE	Mahonia aquifolium 'Compacta'	5 gal.	6' X 6'
DSA	DEGROOT'S SPIRE ARB	THUJA OCCIDENTALLS DEGROOT'S SPIRE	5 gal.	12' X 4'

**3 LANDSCAPE NOTES (FOR GENERAL REF. ONLY)**  
 (CONSULT AND ADJUST THIS CRITERIA WITH THE OWNER AS DESIRED AND APPROVED)

GENERAL NOTES:  
 - THE LANDSCAPE CONTRACTOR SHALL INCLUDE THE SPRINKLER CONTRACT "SUB TIER" IN THEIR BID. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE LOCATIONS AND GENERAL INSTALLATION OF ALL SPRINKLER PARTS WORK PROPERLY WITH ALL PLANT LOCATIONS.  
 1. TOPSOIL  
 A. TOPSOIL IS REQUIRED IN ALL LANDSCAPE AREAS. IMPORT TOPSOIL AS REQUIRED. EXCAVATE AS REQUIRED TO ALLOW FOR INSTALL OF THIS MATERIAL. ENSURE THAT THE TOPSOIL IS A STANDARD LOAM WITH pH VALUES TYPICAL FOR TREASURE VALLEY. ALL SOIL TO BE FREE OF ROCKS OR DEBRIS.  
 2. INSTALLATION OF COMPOST  
 SPREAD 1" OF COMMERCIAL GRADE COMPOST AT ALL PLANTER BEDS. ROTOTILL TO 6" DEEP.  
 3. GRADING AND DRAINAGE  
 FOLLOW GRADING DEFINED BY THE CIVIL ENGINEERING DRAWINGS. IN ALL CASES, ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ENSURE THAT ALL SOIL IS SETTLED THOROUGHLY. ALLOW FOR NO PUDDLING OR LOW SPOTS.  
 4. PLANT MATERIAL AND PLANTING INSTALLATION  
 ALL PLANT MATERIAL MUST MEET REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK"  
 FOLLOW SPECIFIC INSTRUCTIONS IN DETAILS. CONTRACTOR SHALL ADJUST PLANT LOCATIONS AS IS REQUIRED TO EVENLY FILL PLANTERS AND AVOID CONFLICTS WITH EXISTING STRUCTURES. ENSURE AVERAGE MATURE WIDTH OF PLANT WILL REMAIN IN PLANTER WHEN ESTABLISHING LOCATIONS.  
 5. FINISH TOPSOIL GRADE  
 FOLLOWING INSTALLATION OF SPRINKLERS AND PLANT MATERIALS AND BEFORE INSTALLATION OF THE PLANTER BED COVERING, ENSURE THAT ALL SOIL IS SETTLED THOROUGHLY AND ALL FINAL SURFACES ARE RAKED SMOOTH WITH NO UNDULATIONS OR POCKETS FOR WATER ACCUMULATION.  
 6. INSTALLATION OF DECORATIVE ROCK, 1/2" RAINBOW ROCK PEBBLES (CONFIRM WITH OWNER) OVER WEED FABRIC; 2" OF DECORATIVE ROCK OVER A COMMERCIAL GRADE WEED FABRIC. CONSULT OWNER TO CONFIRM IF ANOTHER TYPE OF COVER IS DESIRED.  
 7. INITIAL ESTABLISHMENT OF WATERING TIME AND TRANSFER OF WATER MANAGEMENT  
 IT IS THE INSTALLING LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE SPRINKLER CONTRACTOR ON INITIAL WATERING TIMES FOR ALL PLANTER AREAS AS SOON AS THEY ARE INSTALLED. CONTRACTOR SHALL MONITOR WATER MANAGEMENT THROUGH MAINTENANCE PERIOD. ESTABLISH AN AGREEMENT WITH THE OWNER'S WATER MANAGER AS TO NOTIFICATION TO THE INSTALLING CONTRACTOR OF ANY PLANTS THAT ARE DOING POORLY DURING WARRANTY YEAR, ONCE MAINTENANCE IS TRANSFERRED TO THE OWNER'S MAINTENANCE COMPANY, SO PREVENTATIVE ACTION MAY BE TAKEN.  
 PROJECT MAINTENANCE  
 MAINTAIN ENTIRE PROJECT THROUGH DATE OF SUBSTANTIAL COMPLETION (COORDINATE THAT DATE WITH GENERAL CONTRACTOR).  
 MAINTENANCE OBJECTIVES:  
 A. ENSURE ALL PLANTS ARE BEING WATERED PROPERLY. RESET ANY PLANTS THAT ARE LEANING.  
 B. REMOVE ANY WEEDS AND DEBRIS THAT HAS ACCUMULATED IN ANY OF THE LANDSCAPE AREA.  
 TRANSFER OF LANDSCAPE MAINTENANCE TO OWNER  
 AFTER SUBSTANTIAL COMPLETION, IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER OR HIS REPRESENTATIVE AND TRANSFER THE MAINTENANCE OF THE LANDSCAPE TO THEM. INCLUDE AN ENTIRE EXPLANATION OF WHAT HAS BEEN DONE UP TO THAT TIME AND WHAT NEEDS IMMEDIATE ATTENTION. WALK THROUGH THE ENTIRE PROJECT WITH THE OWNER AND INSPECT FOR ACCEPTABILITY.  
 PLANT MATERIAL WARRANTY:  
 ALL TREES AND SHRUBS SHALL HAVE A ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION. ONE REPLACEMENT ONLY FOR ANY TREE OR SHRUB THAT DIES. ESTABLISH THESE DATES WITH OWNER AND GENERAL CONTRACTOR.  
 METHOD OF IRRIGATION:  
 AUTOMATIC CONTROLLED SPRINKLER SYSTEM. REFER TO PRESSURE IRRIGATION PLAN

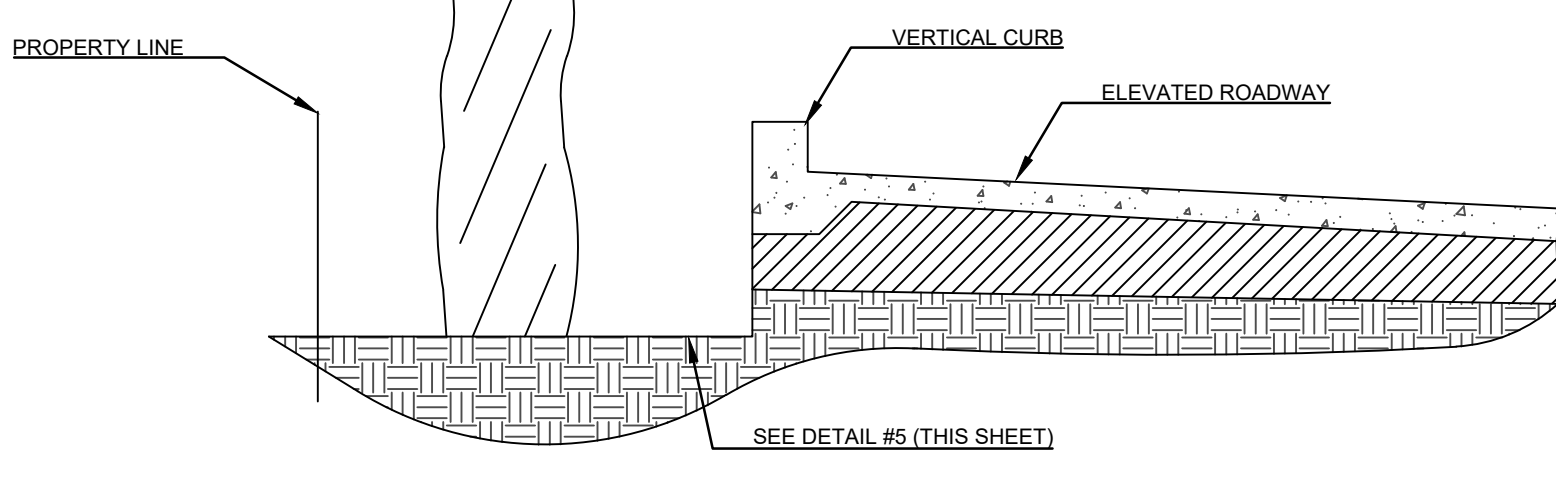
**4 SPRINKLER NOTES (FOR REFERENCE ONLY. MODIFY PER OWNER / CONTRACTOR AGREEMENT)**

1. GENERAL NOTES  
 A. THE LANDSCAPE SPRINKLER SYSTEM IS "BIDDER DESIGN" IN ASSOCIATION WITH CRITERIA DEFINED IN THESE NOTES AND DRAWINGS.  
 B. THE FOLLOWING INFORMATION IS FOR BIDDER TO COORDINATE OR DETERMINE:  
 1.) POINT OF CONNECTION TO THE WATER SOURCE. COORDINATE WITH OWNER.  
 2.) AUTOMATIC CONTROLLER LOCATION  
 3.) HEAD LOCATIONS  
 4.) SLEEVE LOCATIONS  
 5.) CONTRACTOR SHALL NOTE ANY FACTORS THAT WILL AFFECT BID PRICE BEFORE DOING ANY WORK WHERE A PRICE CHANGE WOULD BE REQUIRED.  
 2. DESIGN FACTORS:  
 A. COORDINATE THE WATER SOURCE.  
 B. INCLUDE PROPER DRAINAGE OF BACKFLOW PREVENTER, MAINLINE AND LATERALS.  
 C. PROVIDE ONE GATE VALVE WHICH TURNS THE SYSTEM ON/OFF, SEPARATE FROM THE BACKFLOW PREVENTER.  
 D. MAINLINE DEPTH: 18" (ALLOW FOR NO ROCKS NEXT TO MAINLINE) LATERAL DEPTH: 8"  
 E. PROVIDE ISOLATION VALVES AT ALL BRANCHES IN MAINLINE.  
 F. DO NOT EXCEED 6.0 PSI LOSS THROUGH ANY CIRCUIT CONTROL VALVE.  
 G. DO NOT EXCEED 5.0 FEET PER SECOND FLOW IN ANY MAIN OR CIRCUIT LINE.  
 H. USE COMMERCIAL GRADE 1/4 GAUGE U.F. WIRE FROM THE CONTROLLER TO THE CIRCUIT VALVES.  
 I. INSTALL ALL VALVES IN VALVE BOXES WITH LIDS. ACCEPTABLE MANUFACTURER: BROOKS OR EQUAL.  
 J. PROVIDE SLEEVES UNDER ALL CURBS, SIDEWALKS AND PAVED SURFACES. PLACE MAINLINE, LATERALS, AND WIRING IN SLEEVES AS APPROPRIATE. ALLOW 2" OF FREE SPACE - MAKING FOR EASE OF REMOVAL OF LINES.  
 K. HYDROSTATIC TEST MAINLINE AND VALVES. THEY SHALL HOLD 100 PSI FOR 10 MINUTES WITH A MAXIMUM LOSS OF 5 PSI. REPAIR ANY PIPE OR VALVE WHICH DOES NOT COMPLY.  
 L. FLUSH ALL LINES BEFORE APPLICATION OF NOZZLES.  
 M. CONNECT ALL HEADS TO LATERAL LINES USING FLEX TUBING AND SPIRAL BARB FITTINGS.  
 N. OBTAIN ALL NECESSARY PERMITS, COMPLY WITH PERTINENT UNIFORM PLUMBING CODE REQUIREMENTS.  
 O. COORDINATE WITH ALL OTHER TRADES.  
 P. PROVIDE OWNER WITH AN AS-BUILT DRAWING SHOWING ACTUAL LOCATIONS OF:  
 - P.O.C.  
 - BACKFLOW PREVENTER  
 - AUTOMATIC CONTROLLER  
 - MAINLINE ROUTING (DIMENSIONS AND SLEEVES AT HARD SURFACE CROSSINGS)  
 - VALVE BANKS  
 - LATERAL ROUTING (INDICATE WHICH VALVE RELATES TO WHICH CIRCUIT)  
 - HEAD LOCATIONS  
 3. HOSE BIBBS (HOSE CONNECTION POINTS FOR OWNER TO HAND WATER THE LANDSCAPE)  
 A. DYNAMIC WATER AVAILABILITY: CONFIRM AVAILABLE PSI AND GPM.  
 PSI = POUNDS PER SQUARE INCH  
 GPM = GALLONS PER MINUTE  
 B. IN ALL INSTANCES, SPRAY (NOT INFLUENCED BY WIND) IS TO FALL WITHIN THE LANDSCAPE BOUNDARIES. DO NOT THROW WATER ON BUILDINGS, WALKS OR DRIVES. IT IS UNDERSTOOD THAT MINOR OVER SPRAY WILL OCCUR. MINIMIZE AS MUCH AS POSSIBLE.  
 C. WINTERIZE THE SYSTEM THE FIRST YEAR FOLLOWING INSTALLATION AT NO ADDITIONAL COST.  
 D. CONTRACTOR SHALL INCLUDE ALL INSTANTANEOUS PARTS, NOT SPECIFICALLY DEFINED AS ARE REQUIRED TO INSTALL A PROPERLY OPERATING SPRINKLER SYSTEM AS PART OF BASE BID.  
 4. SYSTEM WARRANTIES  
 WARRANTY ENTIRE SYSTEM FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. PARTS AND LABOR.



**5 PLANTER BED**  
 NOT TO SCALE

**2 SKYROCKET JUNIPER DETAIL**  
 NOT TO SCALE



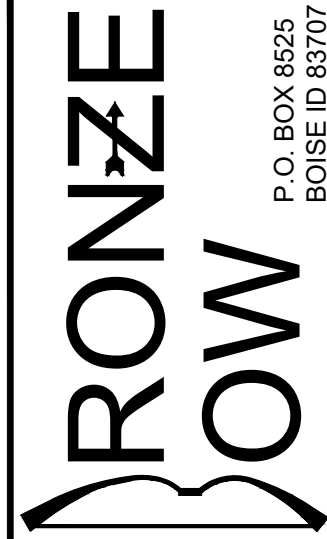
EDGEEMERE SUBDIVISION  
**LANDSCAPE PLAN**

219 E 44TH STREET  
 GARDEN CITY, IDAHO

DEVELOPER: BT DEVELOPMENT  
 11061 W WAGON PASS ST  
 BOISE, ID 83709-2387  
 BILL TILLMAN: (208) 971-3990

**Harvest Design, P.C.**  
 Landscape Architects  
 Paul W. Norberg  
 (Registered Landscape Architect)  
 paul@harvestdesign.tv Phone (208) 853-1440  
 HARVEST DESIGN PROJECT NO.  
 DWN BY: JS CHECKED BY: PWN  
 This drawing released for:  
 CITY OF GARDEN CITY DESIGN REVIEW / ONLY

SHEET NUMBER  
**L1**  
 OF 1



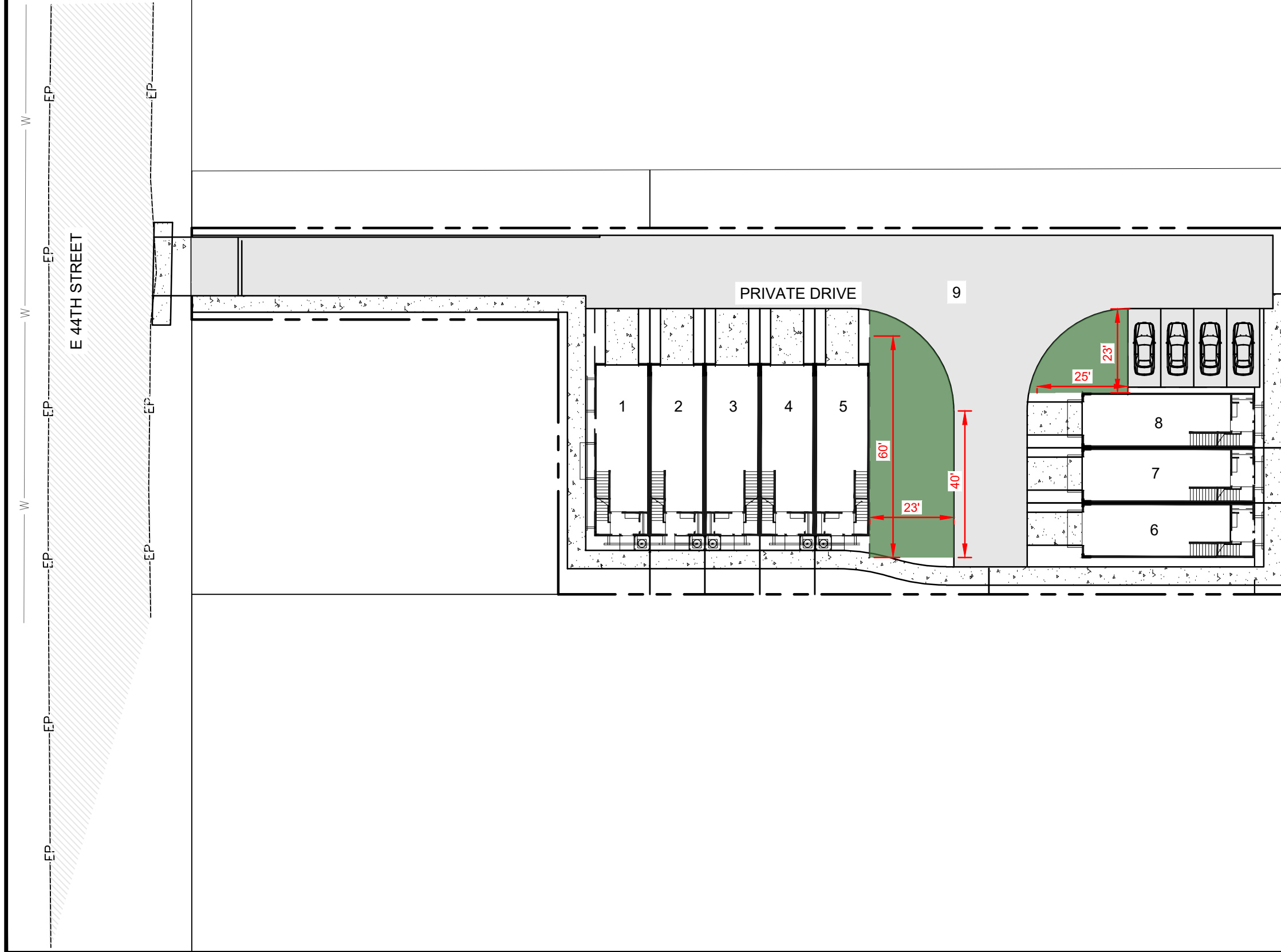
P.O. BOX 8525  
BOISE ID 83707

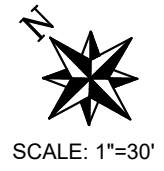
JADON@BRONZEBOWLAND.COM

# EDGEMERE SUBDIVISION

## OPEN SPACE (LANDSCAPING AREA) EXHIBIT

23004  
OCT. 2025



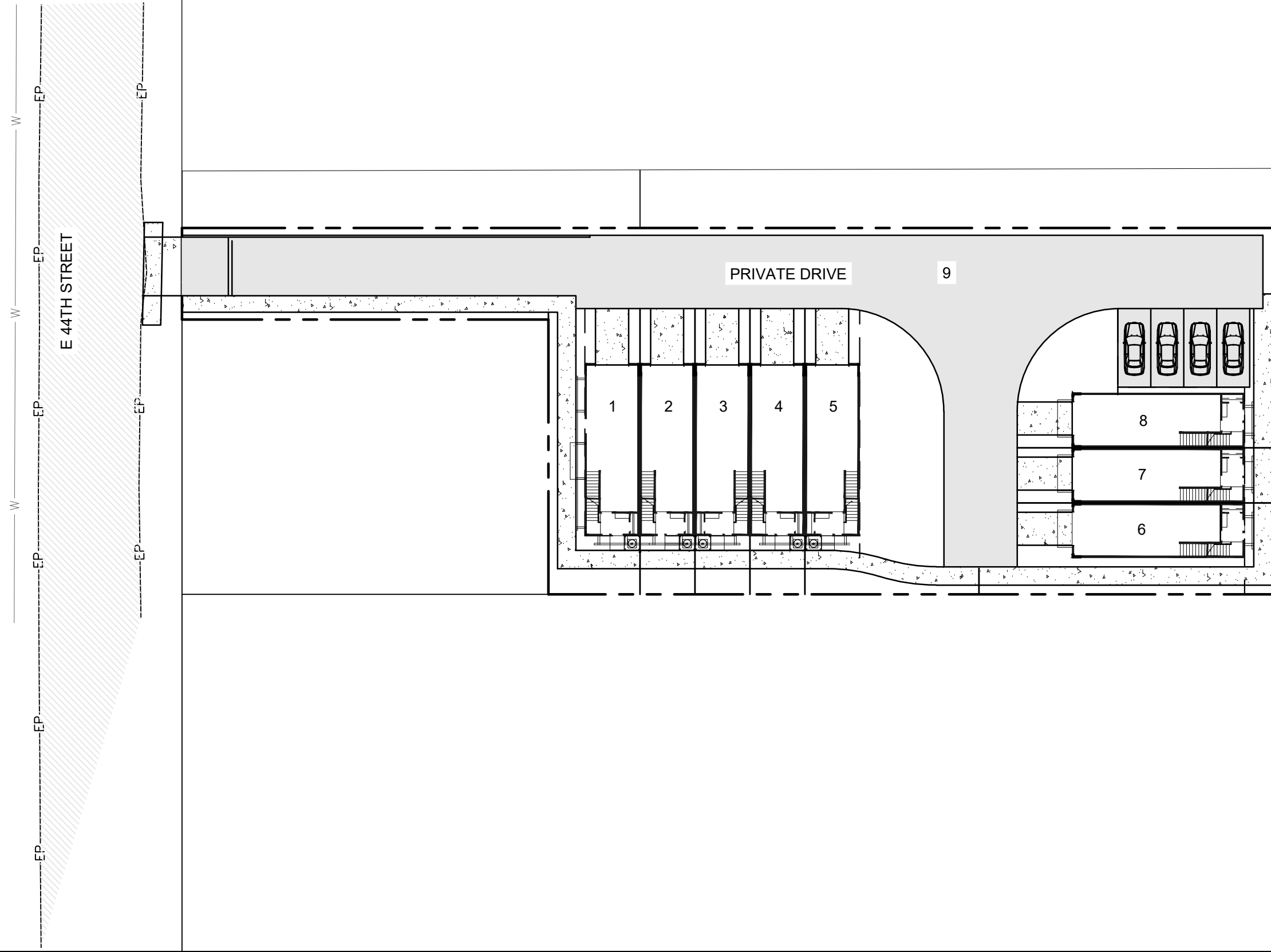


P.O. BOX 8525  
BOISE ID 83707  
JADON@BRONZEBOWLAND.COM

# EDGEMERE SUBDIVISION

## PARKING EXHIBIT

23004  
APRIL, 2026



**DEVELOPER**  
**BT DEVELOPMENT LLC.**  
 11061 W WAGON PASS ST  
 BOISE, ID 83709  
 CONTACT: BILL TILLMAN  
 PHONE: (208) 353-4169

**SURVEYOR**  
**QRS CONSULTING, LLC**  
 3380 AMERICANA TERRACE, SUITE 220  
 BOISE, ID 83706  
 CONTACT: SEAN SULLIVAN  
 PHONE: (208) 342-0091

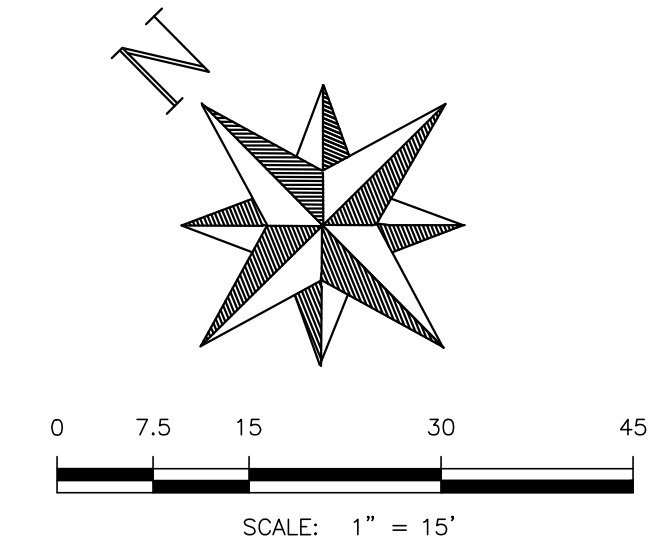
**ENGINEER**  
**KEITH SCHNEIDER**  
 EMAIL: STRONGWAY54@GMAIL.COM

**LEGEND**

---	SITE BOUNDARY
---	EXISTING CROSS ACCESS EASEMENT
---	CURB & GUTTER
---	RIGHT-OF-WAY
---	PROPOSED LOT LINES
---	5' WIDE ATTACHED SIDEWALK
---	PAVEMENT
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	EXISTING WATER MAIN
---	PROPOSED WATER SERVICE
---	PROPOSED WATER SERVICE
---	PROPOSED FIRE HYDRANT
---	EXISTING SEWER MAIN
---	PROPOSED SEWER SERVICE
---	PROPOSED STORMDRAIN
---	PROPOSED PERFORATED STORMDRAIN
---	PROPOSED SAND AND GREASE TRAP
---	PROPOSED STORMDRAIN CATCHBASIN
---	PERMEABLE PAVERS
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	ROAD CENTERLINE
---	PROPOSED LOT SETBACKS
---	PROPOSED STORM PIPE

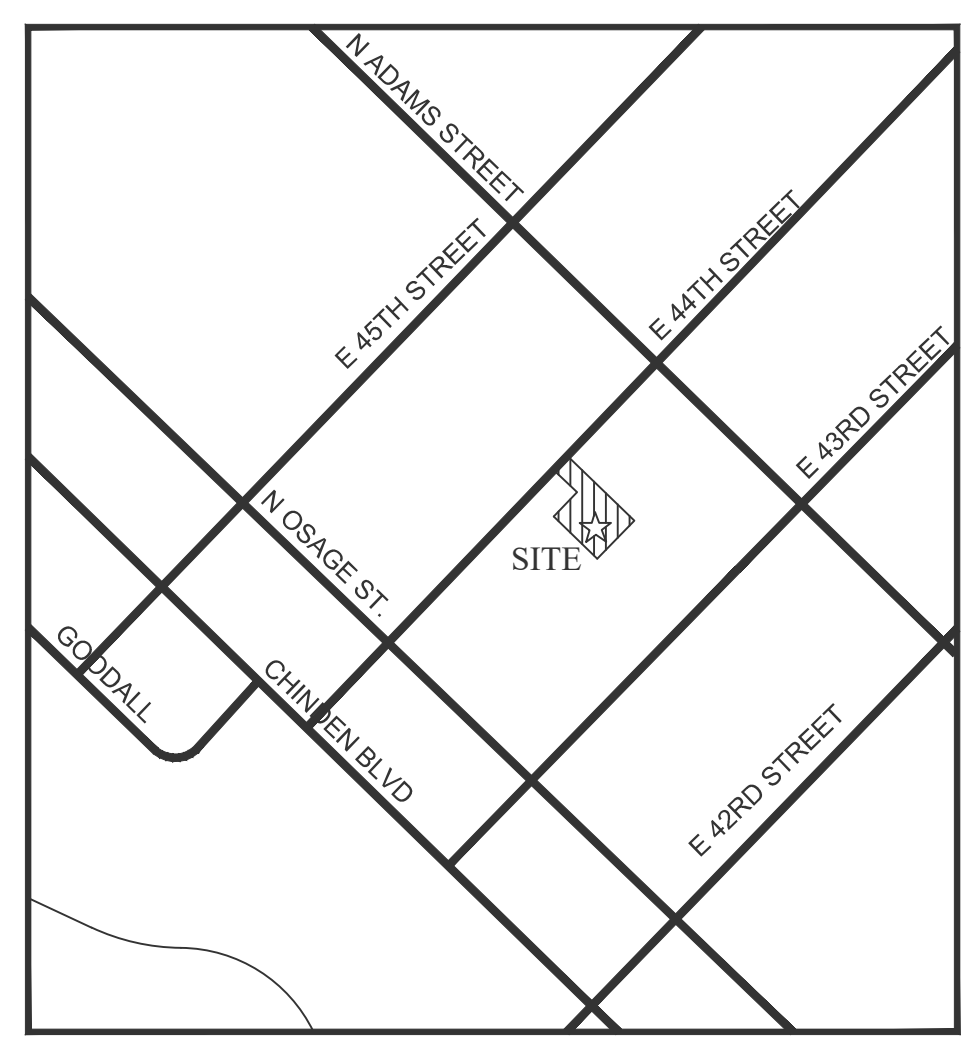
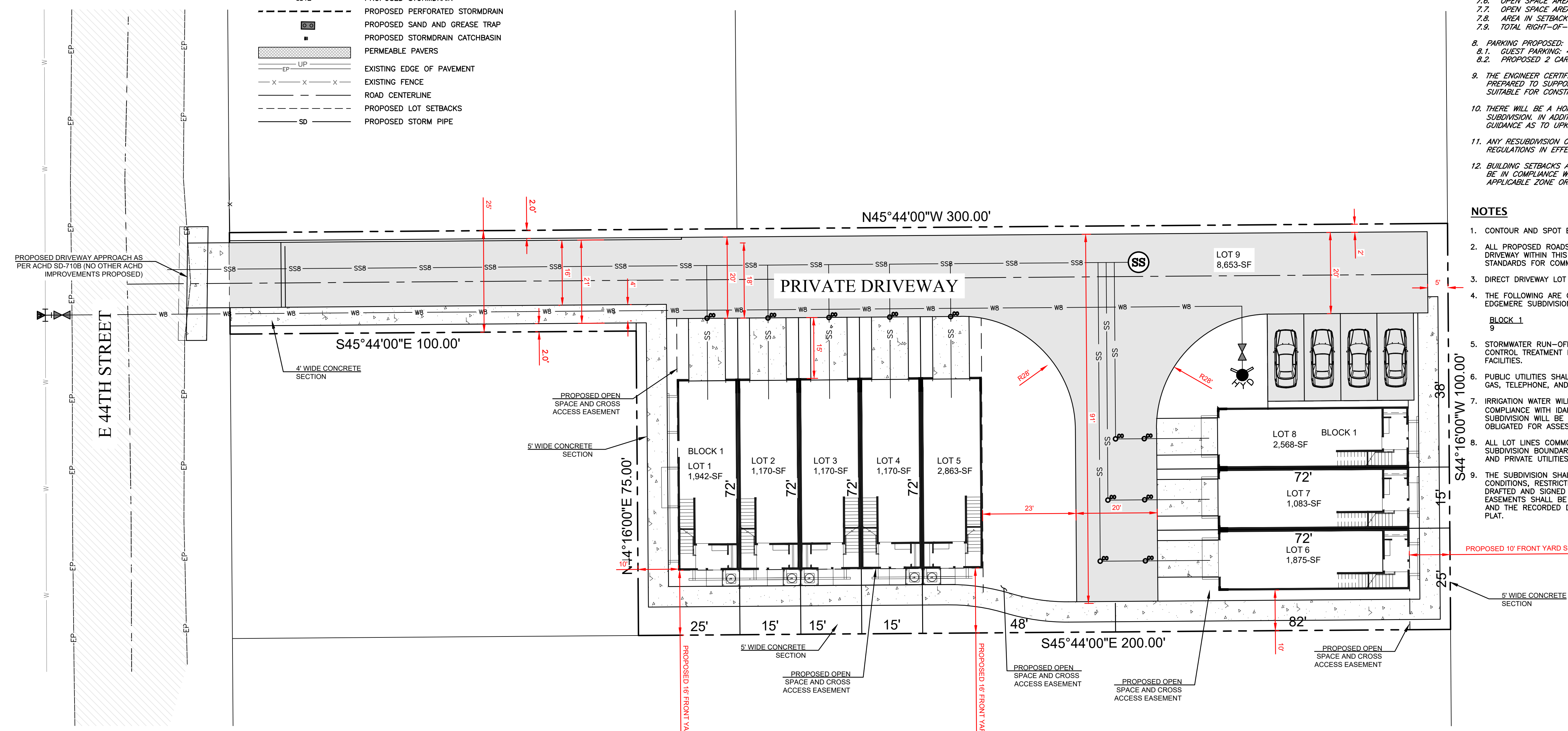
# PRELIMINARY PLAT FOR EDGEMERE SUBDIVISION

**219 E 44TH STREET GARDEN CITY ID,  
A PORTION OF LOT 23, BLOCK 3 FAIRVIEW ACRES SUB NO. 1  
APRIL 2026**



- SITE NOTES**
- TOTAL SITE AREA = ±0.52 ACRES
  - ADA COUNTY PARCEL #R2734500928
  - LAND USE ZONING = R-3 (MEDIUM DENSITY RESIDENTIAL - GARDEN CITY)
  - PROPOSED DENSITY: MAXIMUM/MINIMUM DENSITY = 35/14 DWELLING UNITS PER ACRE  
8 UNITS / 0.52 ACRES = 15 DWELLING UNITS PER ACRE
  - LOT SETBACKS PER CITY CODE
    - FRONT SETBACK - 20 FEET (5 FEET TO LIVING SPACE)
    - SIDE YARD SETBACK (INTERIOR) - 0 FEET (ATTACHED) 5 FEET (DETACHED)
    - SIDE YARD SETBACK (STREET) - 15 FEET
    - REAR SETBACK - 15 FEET
  - LOT SETBACKS REQUESTED BY THE DEVELOPER
    - FRONT SETBACK - 10 FEET (TO LIVING SPACE)
    - SIDE YARD SETBACK (INTERIOR) - 0 FEET (ATTACHED UNITS)
    - SIDE YARD SETBACK (EXTERIOR) - 5 FEET
    - SIDE YARD SETBACK (W) - 10 FEET (TO NEIGHBORING PROPERTY LINE)
    - REAR SETBACK (GARAGE TO PRIVATE DRIVE) - 15 FEET
  - AREA CALCULATIONS
    - MINIMUM LOT SIZE (RESIDENTIAL BUILDING LOTS) 1,083 SF
    - AVERAGE LOT SIZE (RESIDENTIAL BUILDING LOTS) 1,730 SF
    - TOTAL BUILDING COVERAGE = 5,410 SF (23% OF SITE)
    - PAVED AREA PROPOSED = 11,551 SF (50% OF SITE)
    - OPEN SPACE AREA REQUIRED = 10% OF SITE
    - OPEN SPACE AREA PROPOSED = 1,955 SF (8.6% OF SITE)
    - AREA IN SETBACKS AND AT END OF DRIVE = 2944 SF (13% OF SITE)
    - TOTAL RIGHT-OF-WAY DEDICATED TO ACHD = 0%
  - PARKING PROPOSED:
    - GUEST PARKING: 4 DEDICATED GUEST PARKING SPACES
    - PROPOSED 2 CAR GARAGE WITH TANDEM PARKING IN EACH UNIT
  - THE ENGINEER CERTIFIES THAT THE INFORMATION PROVIDED HAS BEEN PREPARED TO SUPPORT PRELIMINARY PLAT REVIEW AND APPROVAL AND IS NOT SUITABLE FOR CONSTRUCTION AT THIS STAGE.
  - THERE WILL BE A HOMEOWNER'S ASSOCIATION PROPOSED WITH THIS SUBDIVISION. IN ADDITION, CC&Rs WILL BE PROVIDED FOR THE LOTS TO PROVIDE GUIDANCE AS TO UPKEEP FOR THE COMMUNAL COMMON DRIVEWAY.
  - ANY RESUBDIVISION OF THE PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
  - BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE CITY OF GARDEN CITY STANDARDS FOR THE APPLICABLE ZONE OR AS APPROVED WITH THE PROPOSED VARIANCES.

- NOTES**
- CONTOUR AND SPOT ELEVATION DATA IS REFERENCED TO NAVD '88 DATUM.
  - ALL PROPOSED ROADS ARE TO BE A COMMON DRIVEWAY. THE COMMON DRIVEWAY WITHIN THIS DEVELOPMENT SHALL CONFORM TO THE GARDEN CITY STANDARDS FOR COMMON DRIVEWAY CONSTRUCTION.
  - DIRECT DRIVEWAY LOT ACCESS TO E 44TH STREET IS PROHIBITED.
  - THE FOLLOWING ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE EDGEMERE SUBDIVISION HOMEOWNERS ASSOCIATION.  
BLOCK 1  
9
  - STORMWATER RUN-OFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
  - PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
  - IRRIGATION WATER WILL BE PROVIDED BY THE IRRIGATION DISTRICT IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM SAID CANAL COMPANY.
  - ALL LOT LINES COMMON TO PUBLIC STREET RIGHTS-OF-WAY AND THE SUBDIVISION BOUNDARY CONTAIN A 5.00 FOOT WIDE EASEMENT FOR PUBLIC AND PRIVATE UTILITIES AND LOT DRAINAGE.
  - THE SUBDIVISION SHALL CONFORM TO THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR EDGEMERE SUBDIVISION AS DRAFTED AND SIGNED BY THE DEVELOPER. ALL COMMON SPACES & EASEMENTS SHALL BE PROTECTED AND GOVERNED BY THE RECORDED CC&Rs AND THE RECORDED DOCUMENT INFORMATION SHALL BE SHOWN ON THE FINAL PLAT.



Vicinity Map  
NOT TO SCALE

**RONZE BOW**

**EDGEMERE SUBDIVISION  
SUBDIVISION MAP**

DESIGNED	JKS
DRAWN	JKS
CHECKED	KS
APPROVED	KS

NO.	PROJECT REVISIONS	DATE

**SHEET 1 OF 1**

DATE: APRIL 2026  
 BRONZE BOW PROJECT NO: 23004

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## Republic Service comment

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**Jadon Schneider** <jadon@bronzebowland.com>

Mon, Apr 6, 2026 at 3:55 PM

To: "McDannel, Konrad" <KMcDannel@republicservices.com>

Cc: "Pastoor, William" <WPastoor@republicservices.com>, Bill Tilman <marketprobill@gmail.com>

Got it. Thanks for your help and time!

Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Mon, Apr 6, 2026 at 3:37 PM McDannel, Konrad <KMcDannel@republicservices.com> wrote:

Hi Jadon,

That is a valid concern. The driver will need to use all 3 segments of the hammerhead to turn the truck around. With the claw on the right side, the driver might as well back down that way to grab the carts and then proceed forward.

Sincerely,

**Konrad McDannel**

Municipal Marketing Coordinator

11101 W Executive Dr

Boise, ID 83713

[e kmcdannel@republicservices.com](mailto:kmcdannel@republicservices.com)

[o 208-685-7712](tel:208-685-7712)

[w RepublicServices.com](http://RepublicServices.com)



Sustainability in Action

**From:** Jadon Schneider <jadon@bronzebowland.com>  
**Sent:** Monday, April 6, 2026 3:19 PM  
**To:** McDannel, Konrad <KMcDannel@republicservices.com>  
**Cc:** Pastoor, William <WPastoor@republicservices.com>; Bill Tilman <marketprobill@gmail.com>  
**Subject:** Re: Republic Service comment

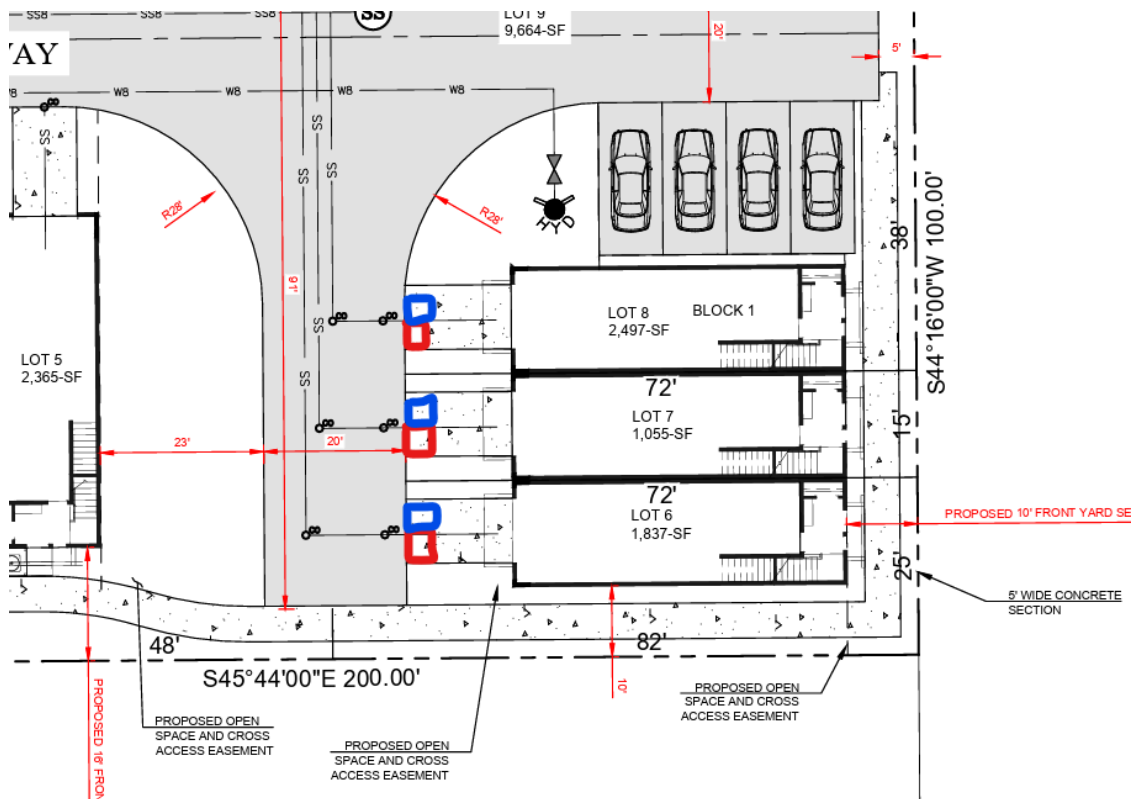
**This Message Is From an Untrusted Sender**

Report Suspicious

You have not previously corresponded with this sender.

Hi Konrad,

Okay, good to know! Just to clarify (a city council member had this specific question); Any concerns with lots 6 - 8 now that they are turned 90 degrees? The blue and red squares are where we had previously shown the trash carts at the end of the driveway but the concern raised at city council was "how would the truck pick up these carts if the arm is on the right/passenger side of the truck and the carts are on the left." (assuming that the truck was to drive directly into the turnaround area). Any concerns with this?



Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Mon, Apr 6, 2026 at 3:12 PM McDannel, Konrad <[KMcDannel@republicservices.com](mailto:KMcDannel@republicservices.com)> wrote:

Hi Jadon,

Thank you for running this new configuration by us. I'll jump in for Bill on this. I like this design better. The parking spots will not be in the way.

Sincerely,

**Konrad McDannel**

Municipal Marketing Coordinator

11101 W Executive Dr

Boise, ID 83713

**e** [kmcdannel@republicservices.com](mailto:kmcdannel@republicservices.com)

**o** 208-685-7712

**w** [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action

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**From:** Jadon Schneider <[jadon@bronzebowland.com](mailto:jadon@bronzebowland.com)>

**Sent:** Monday, April 6, 2026 2:54 PM

**To:** Pastoor, William <[WPastoor@republicservices.com](mailto:WPastoor@republicservices.com)>

**Cc:** McDannel, Konrad <[KMcDannel@republicservices.com](mailto:KMcDannel@republicservices.com)>; Bill Tilman <[marketprobill@gmail.com](mailto:marketprobill@gmail.com)>

**Subject:** Re: Republic Service comment

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**This Message Is From an Untrusted Sender**

Report Suspicious

You have not previously corresponded with this sender.

---

Hi Bill, I just wanted to follow up on this to see if you had a chance to review the updated site layout. Thanks for your time!

Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Wed, Apr 1, 2026 at 3:51 PM Jadon Schneider <[jadon@bronzebowland.com](mailto:jadon@bronzebowland.com)> wrote:

Hi Bill,

The developer would like to adjust the site from the original configuration to the attached. This site has 1 less unit, and we have added guest parking stalls. Is there any concern with the orientation of the buildings on the east end of the site where they are now facing the emergency turnaround? Is there something that we can do in that area so that the trash carts can still be picked up by the truck?

Warm regards,

**Jadon Schneider, P.E.**

**Bronze Bow Land**

Cell: (480) 232-2999

<https://www.bronzebowland.com/>

On Thu, Oct 10, 2024 at 11:40 AM Jadon Schneider <[jadon@bronzebowland.com](mailto:jadon@bronzebowland.com)> wrote:

Okay, that should work just fine for us. Thanks for taking the time to review it!