

CSW CIVIL SITE WORKS
 PO BOX 6059
 BOISE, ID 83707
 cgraham@csengineering.com
 (208) 946-3874

REV. NO.	DESCRIPTION	DATE

DESIGNED: C. GRAHAM
 DRAWN: C. GRAHAM
 CHECKED: C. GRAHAM
 APPROVED: C. GRAHAM

FILE NAME: 25005-C-SITE PLAN PP.DWG

PREPARED FOR:
 SOUL34 LLC
 BOISE, ID

SHAVASANA URBAN LIVING SUBDIVISION
 PLANNED UNIT DEVELOPMENT
 CONCEPTUAL SITE/ENGINEERING PLAN

CSW PROJECT NO. 25005
 DRAWING DATE 08/25/2025

SP1.0

1

2

3

4

5

6

A

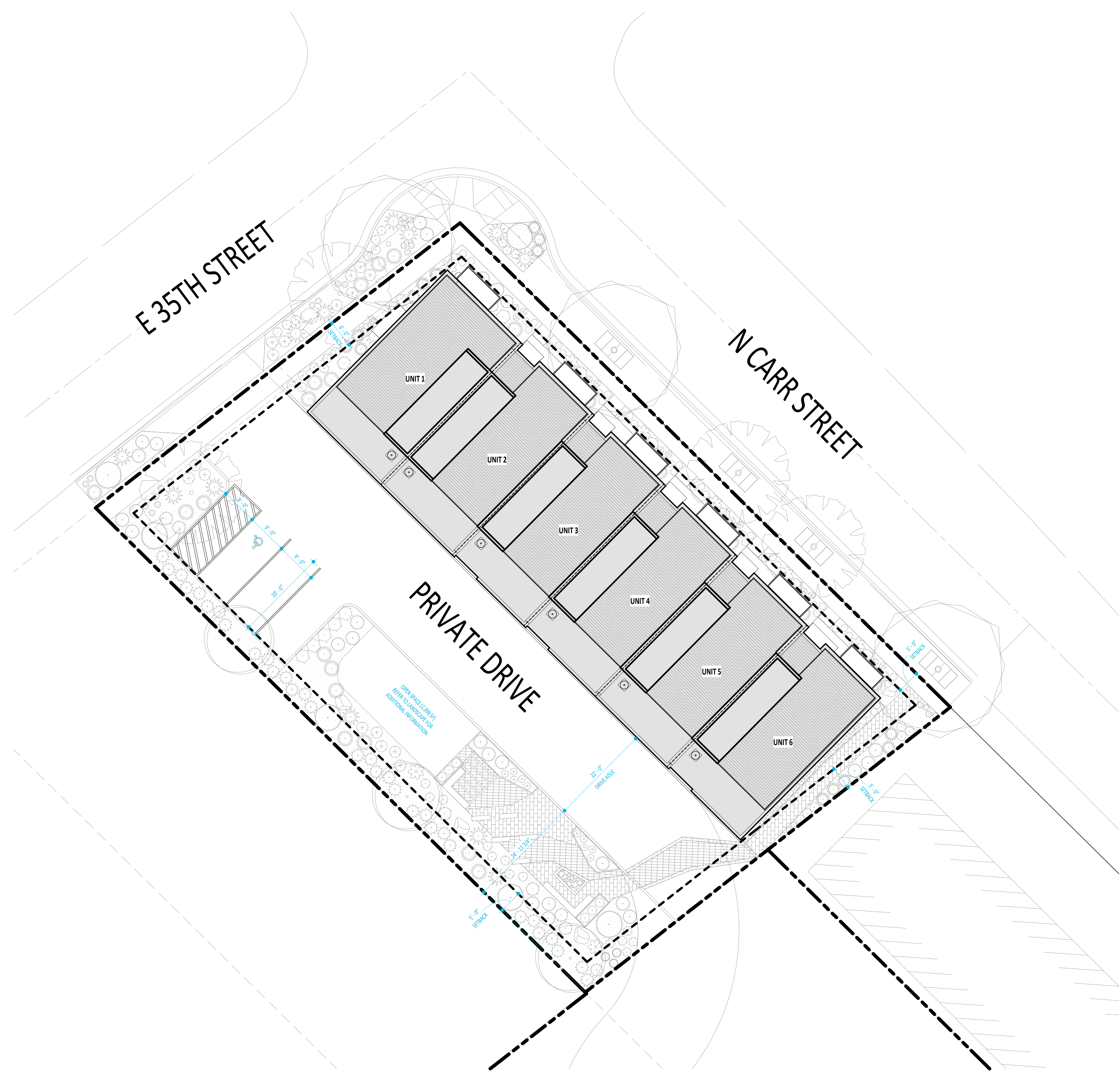
B

C

D

E

STAMP:



PROJECT :
SoUL - TOWNHOMES
213 & 215 E 35TH ST.

REVISIONS : △

PROJECT NO: 24-038
DATE: 6/13/2025
CHECKED BY: Checker
DRAWN BY: Author

SHEET NAME :
COMPOSITE SITE PLAN

DRAWING SET (STATUS)

SHEET NO :

A101

1

2

3

4

5

6

A

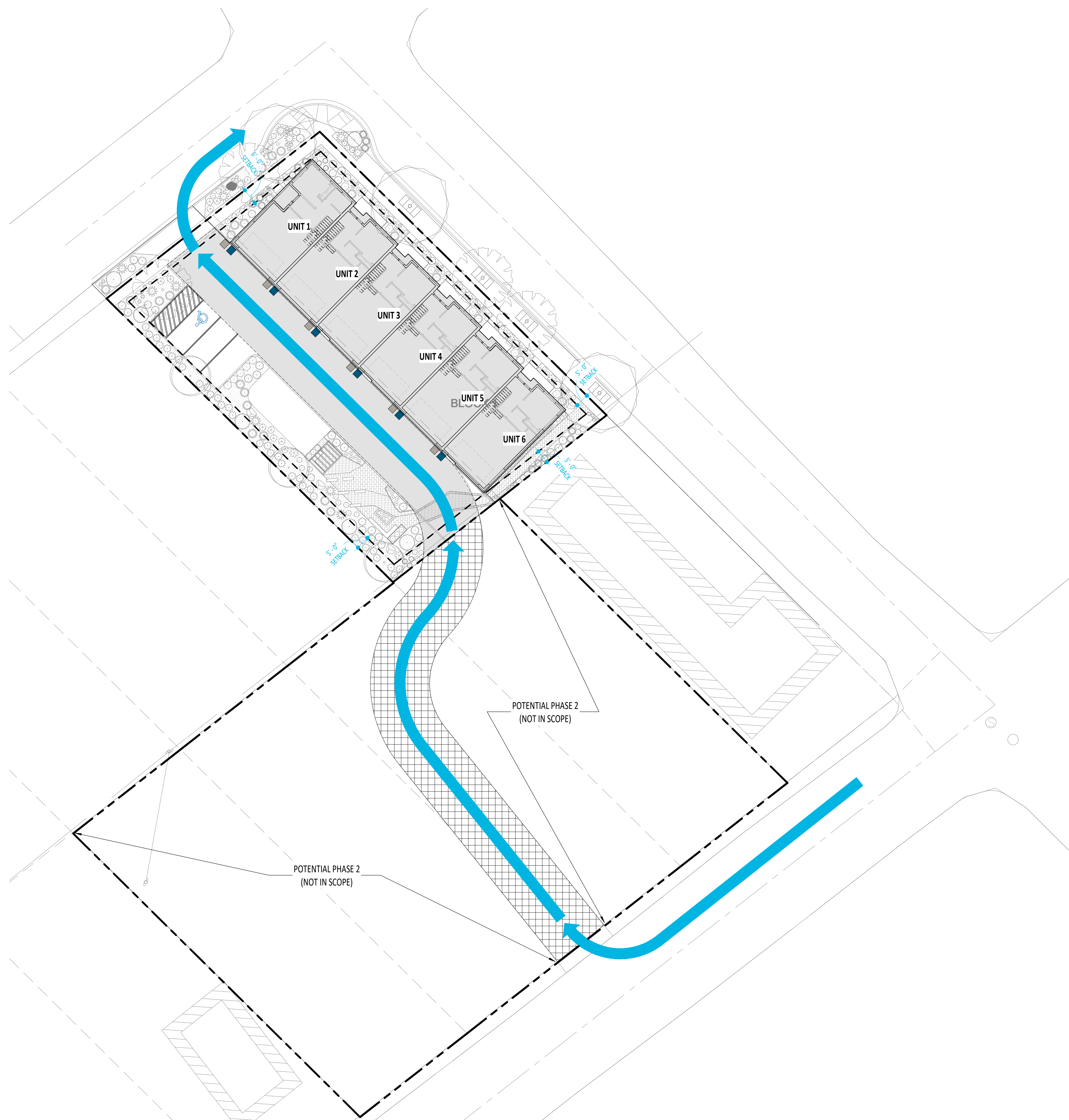
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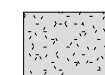
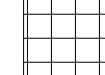


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STAMP:



LEGEND

-  PROPOSED PRIVATE DRIVE
-  PROPOSED TEMPORARY GRAVEL TRASH ACCESS DRIVE
-  95 GAL CURBSIDE CARTS
1 SOLID WASTE CART PER UNIT
1 RECYCLING CART PER UNIT
-  PROPOSED TRASH PICKUP ROUTE

PROJECT:
SoUL - TOWNHOMES
213 & 215 E 35TH ST.

REVISIONS: △

PROJECT NO: 24-038
DATE: 6/13/2025
CHECKED BY: Checker
DRAWN BY: Author

SHEET NAME:
**SITE PLAN - TRASH ACCESS
DIAGRAM**

DRAWING SET (STATUS)

SHEET NO:

A102

STAMP:

NOT FOR CONSTRUCTION

PROJECT:
SOUL - TOWNHOMES
213 & 215 E 35TH ST.

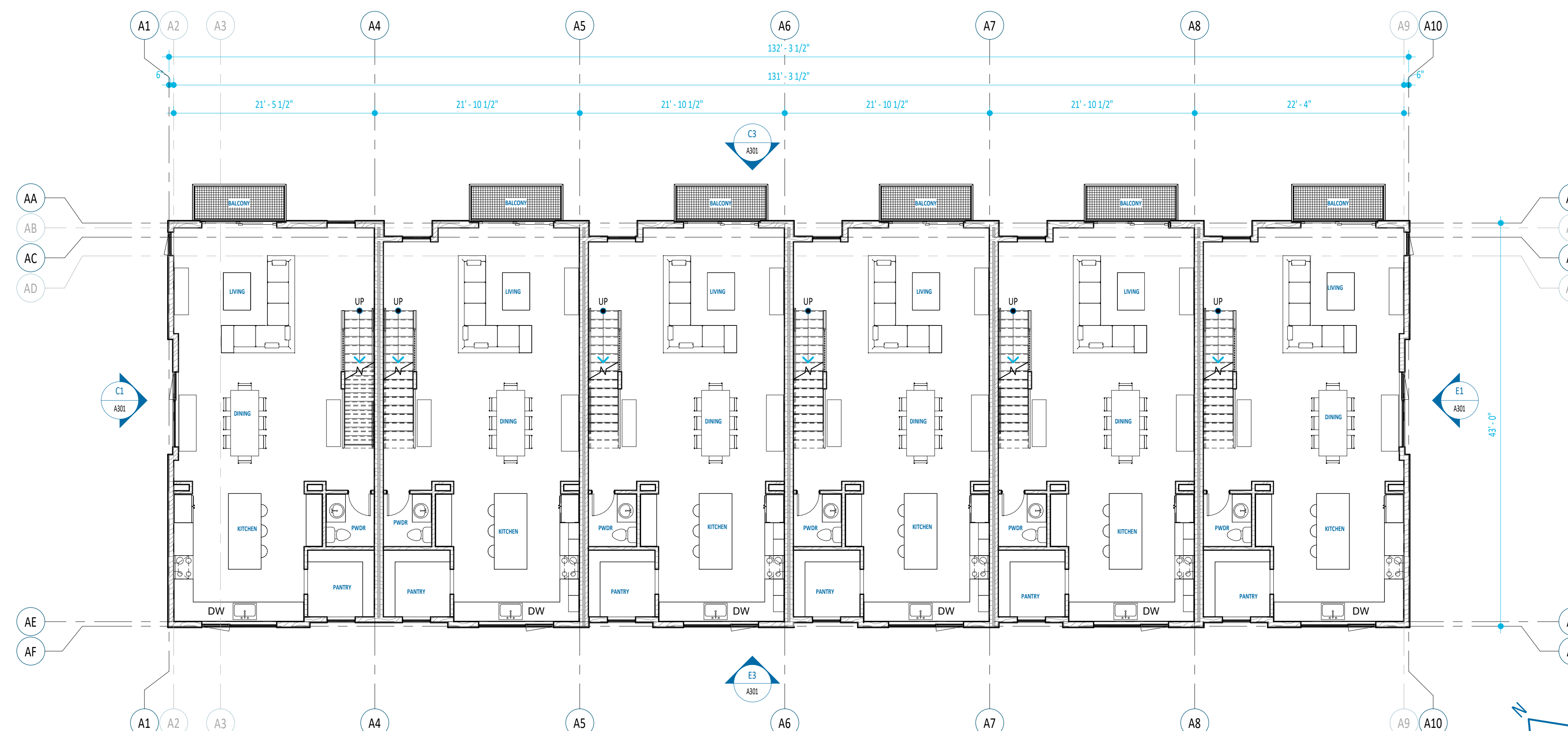
REVISIONS: △

PROJECT NO: 24-038
DATE: 6/13/2025
CHECKED BY: IM
DRAWN BY: AA

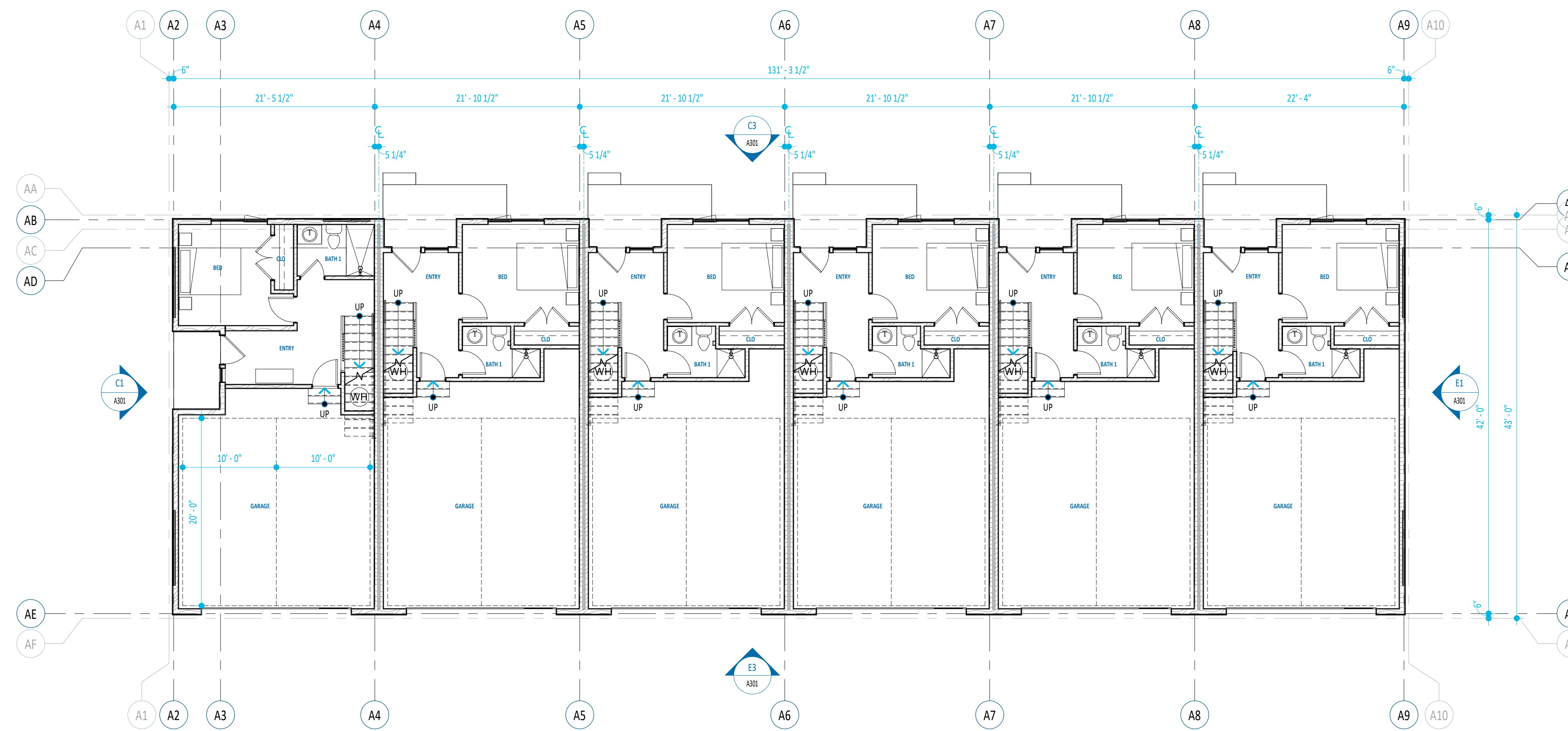
SHEET NAME:
LEVEL 1 & 2 - COMPOSITE FLOOR PLAN

SHEET NO:

A201



C3 LEVEL 2-COMPOSITE FLOOR PLAN
1/8" = 1'-0"



E3 LEVEL 1-COMPOSITE FLOOR PLAN
1/8" = 1'-0"

DRAWING SET (STATUS)

STAMP:

NOT FOR CONSTRUCTION

PROJECT:
SoUL - TOWNHOMES
213 & 215 E 35TH ST.

REVISIONS: △

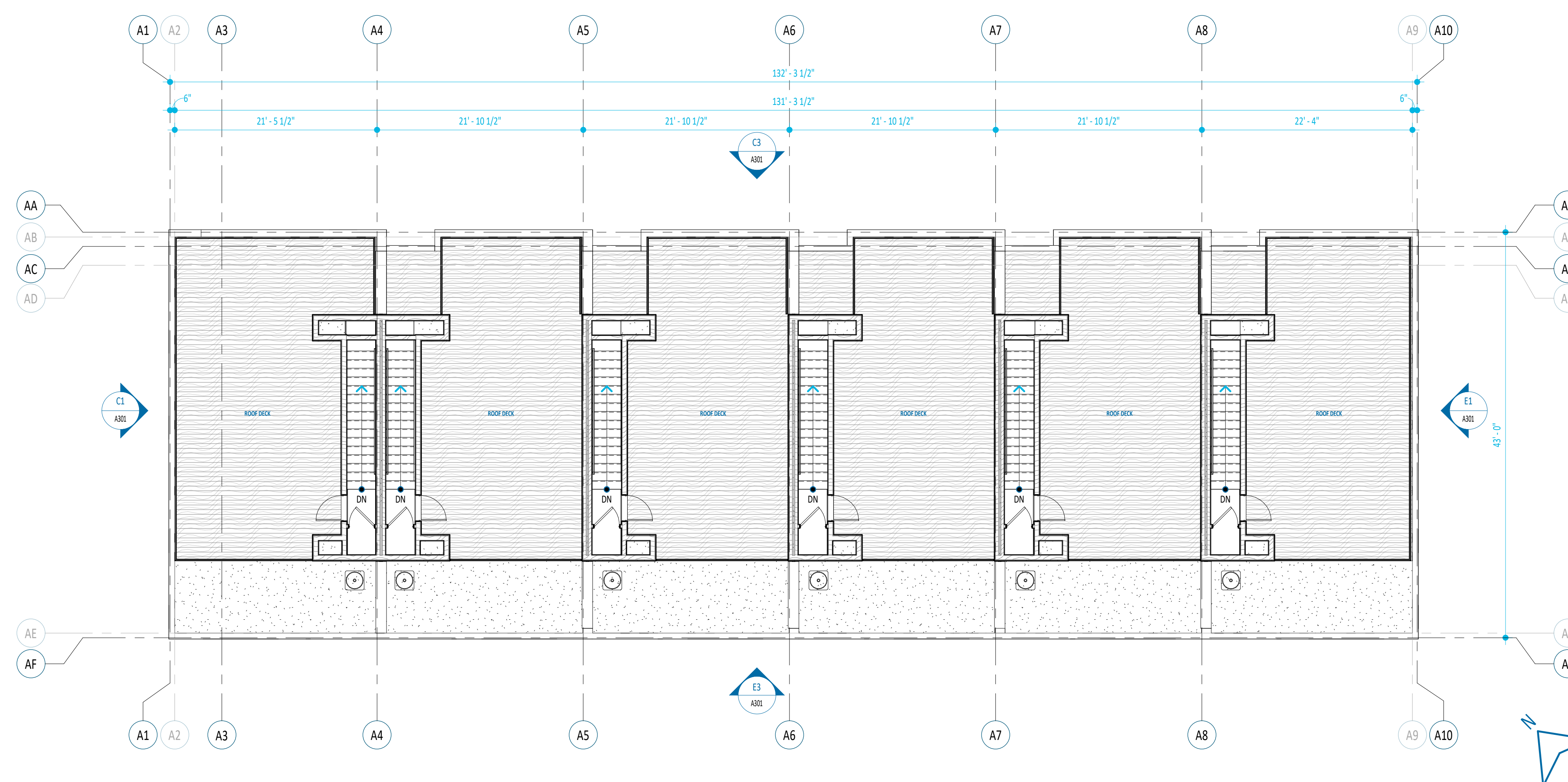
PROJECT NO: 24-038
DATE: 6/13/2025
CHECKED BY: Checker
DRAWN BY: Author

SHEET NAME:
LEVEL 3 & ROOF DECK -
COMPOSITE FLOOR PLAN

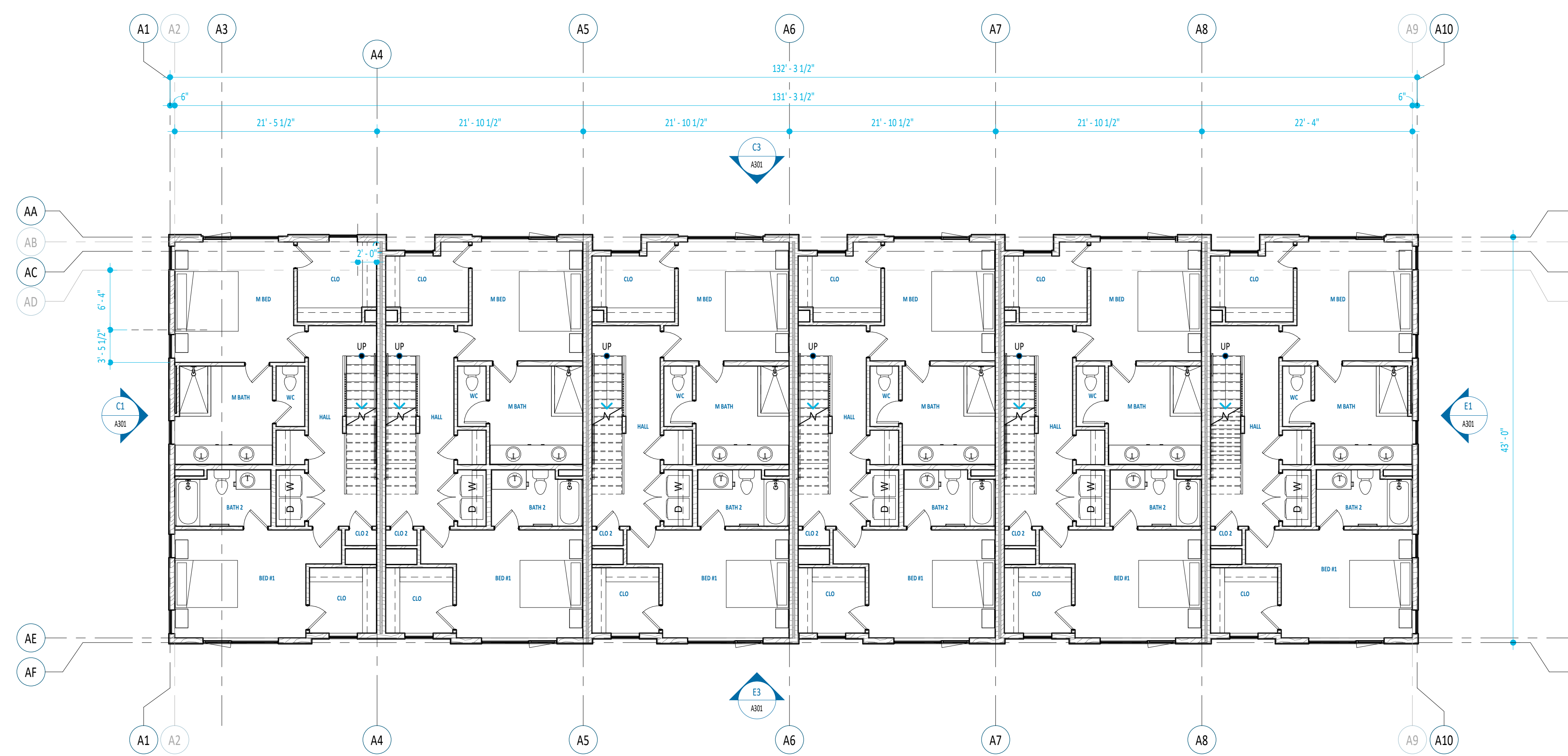
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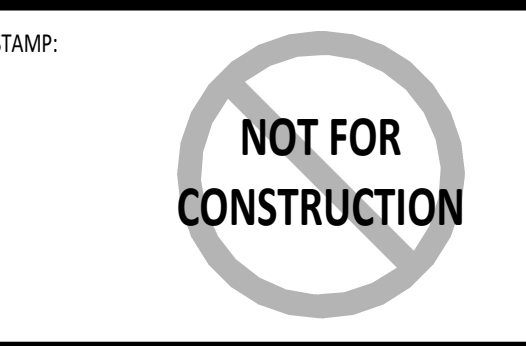
A202



C3 ROOF PLAN
1/8" = 1'-0"



E3 LEVEL 3-COMPOSITE FLOOR PLAN
1/8" = 1'-0"



PROJECT:
SOUL - TOWNHOMES
213 & 215 E 35TH ST.

REVISIONS: Δ

PROJECT NO: 24-038
DATE: 6/13/2025
CHECKED BY: Checker
DRAWN BY: Author

SHEET NAME:
CONCEPT BUILDING ELEVATIONS

SHEET NO:
A301

A

B

C



C1 Elevation 6 - a
1/8" = 1'-0"



C3 EXTERIOR ELEVATION-NORTH
1/8" = 1'-0"

- LEGEND**
- BOARD & BATT
COLOR TBD
 - EIFS SYSTEM (I1)
FINISH TBD, COLOR TBD
 - 1X6 SHIPLAP CEDAR SIDING
FINISH TBD, STAIN COLOR TBD
 - BLACK VINYL WINDOWS
BASIS OF DESIGN: VPI ENDURANCE
 - BLACK VINYL SLIDING DOOR
BASIS OF DESIGN: TBD
 - STEEL BOLT-ON BALCONY W/ STEEL GUARDRAIL
BLACK POWDER COAT FINISH
 - STEEL GUARDRAIL
BLACK POWDER COAT FINISH
 - STEEL PLATE AWNING
BLACK POWDER COAT FINISH
 - STEEL GARAGE OVERHEAD DOOR
FINISH TBD
 - ENTRANCE DOOR
FINISH TBD

D

E



E1 EXTERIOR ELEVATION-EAST
1/8" = 1'-0"



E3 EXTERIOR ELEVATION-SOUTH
1/8" = 1'-0"

DRAWING SET (STATUS)

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SHEET INDEX

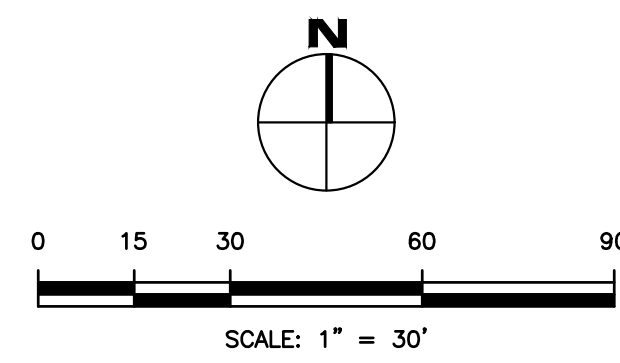
PUD1.0 SUBDIVISION MAP
 SP1.0 CONCEPTUAL SITE/ENGINEERING PLAN
 GRD1.0 CONCEPTUAL GRADING PLAN

LEGEND

--- SUBDIVISION BOUNDARY
 --- PUBLIC RIGHT-OF-WAY
 --- ROAD CENTERLINE
 --- PROPOSED LOT LINE
 --- PROPOSED SIDEWALK EASEMENT
 1 LOT NUMBER

**PLANNED UNIT DEVELOPMENT FOR
 SHAVASANA URBAN LIVING SUBDIVISION**

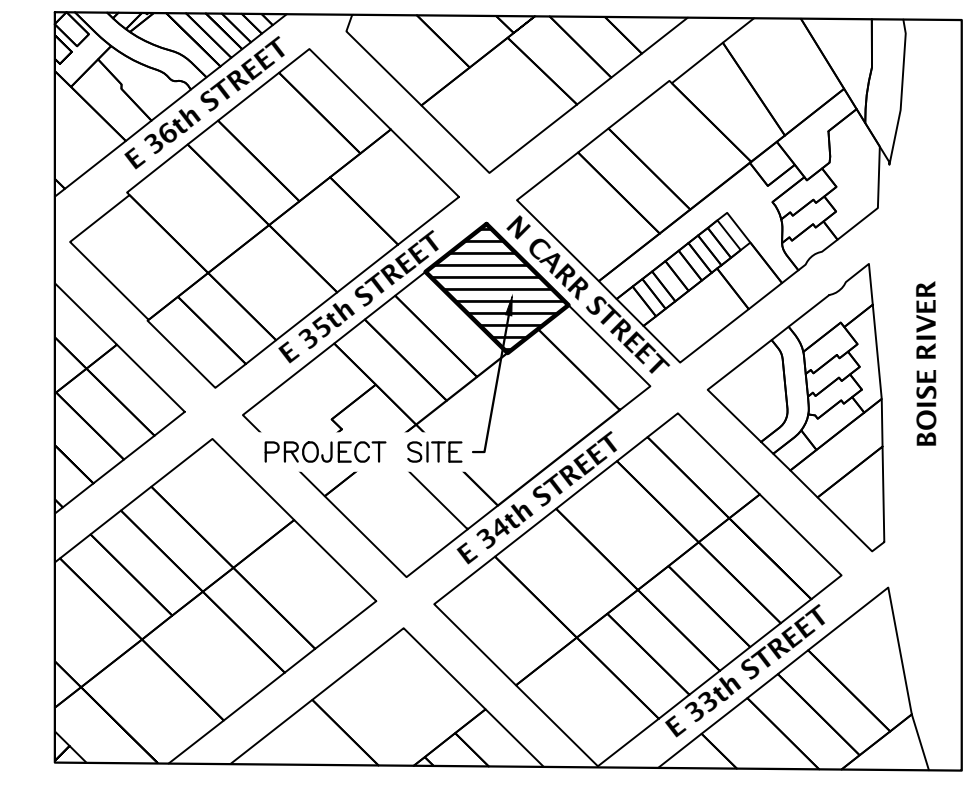
LOCATED IN THE NE 1/4 OF SECTION 5
 TOWNSHIP 3 NORTH, RANGE 2 EAST, BOISE MERIDIAN
 CITY OF GARDEN CITY, ADA COUNTY, IDAHO
 2025



APPLICANT
 IAN McLAUGHLIN
 PIVOT NORTH ARCHITECTURE
 116 S. 6th STREET
 BOISE, ID 83702
 (208) 690-3108

CIVIL ENGINEER
 CORINNE GRAHAM, PE
 CIVIL SITE WORKS LLC
 PO BOX 6059
 BOISE, ID 83707
 (208) 946-3874

SURVEYOR
 ERIC HOWARD, PLS
 JJ HOWARD LLC
 5983 W STATE STREET, STE D
 BOISE, ID 83703
 (208) 846-8937



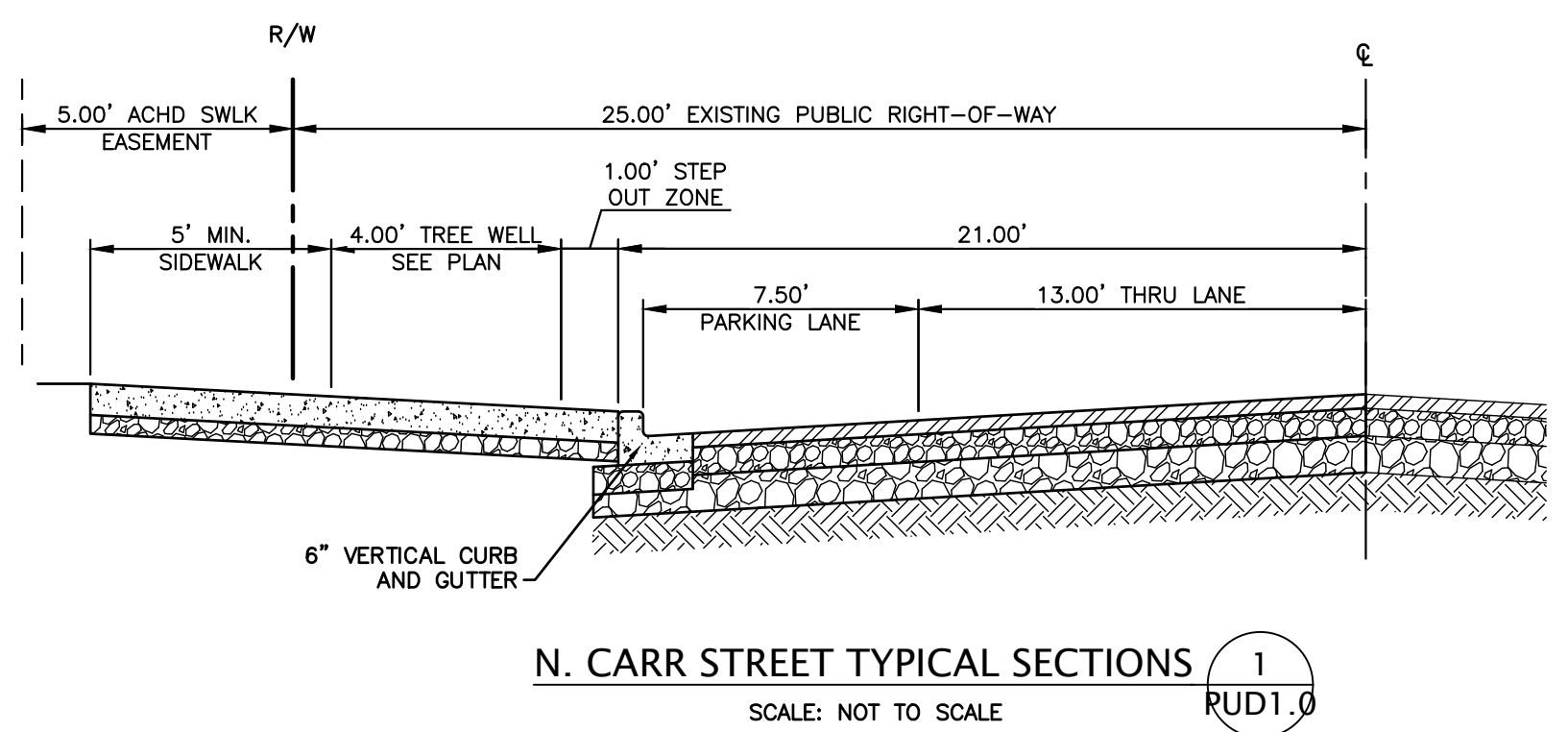
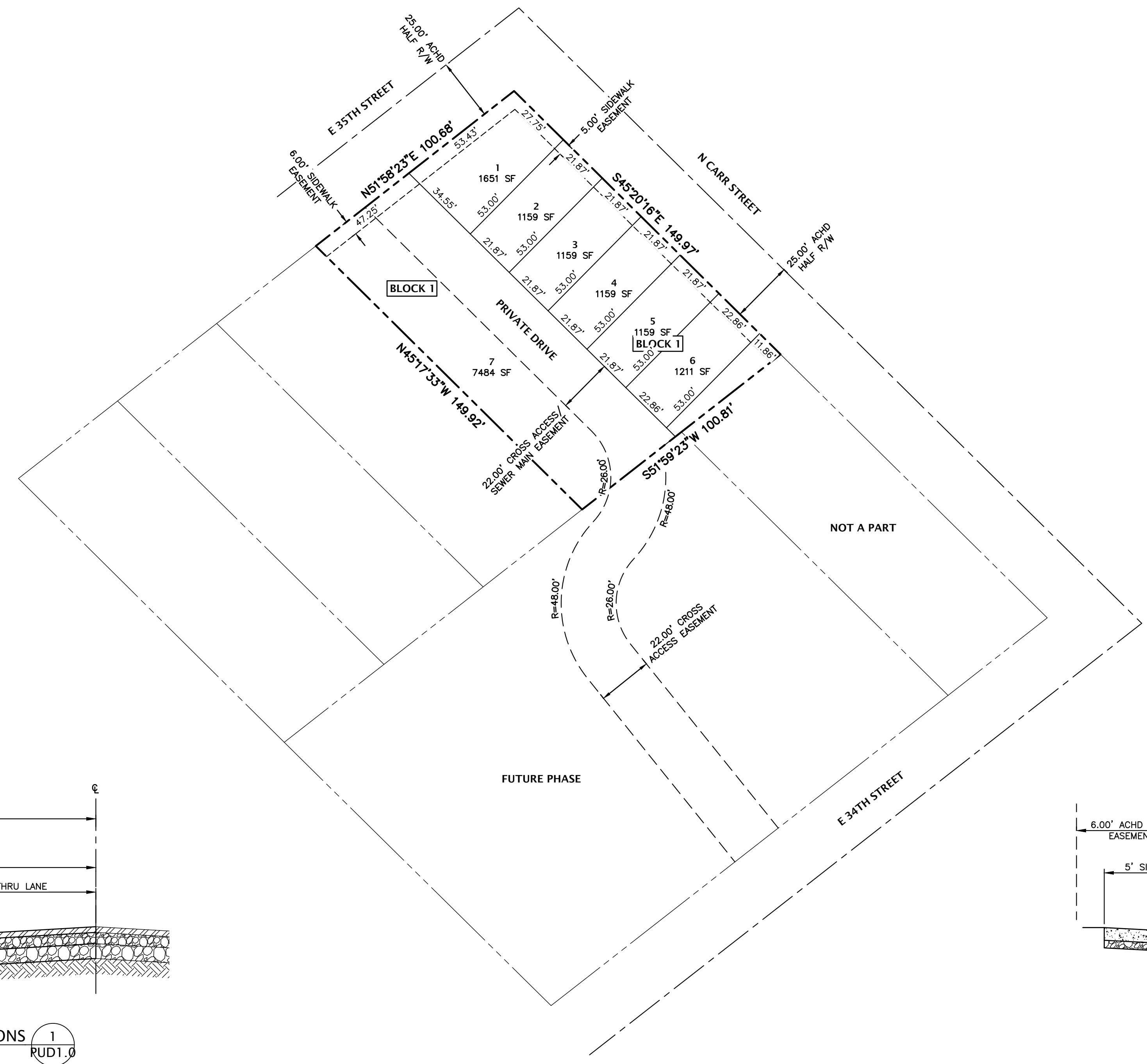
VICINITY MAP
 SCALE: 1"=250'

LOT SUMMARY		
	NUMBER	AREA (AC)
SINGLE FAMILY RESIDENTIAL	6	0.17
COMMON LOTS	1	0.17
TOTAL	7	±0.34

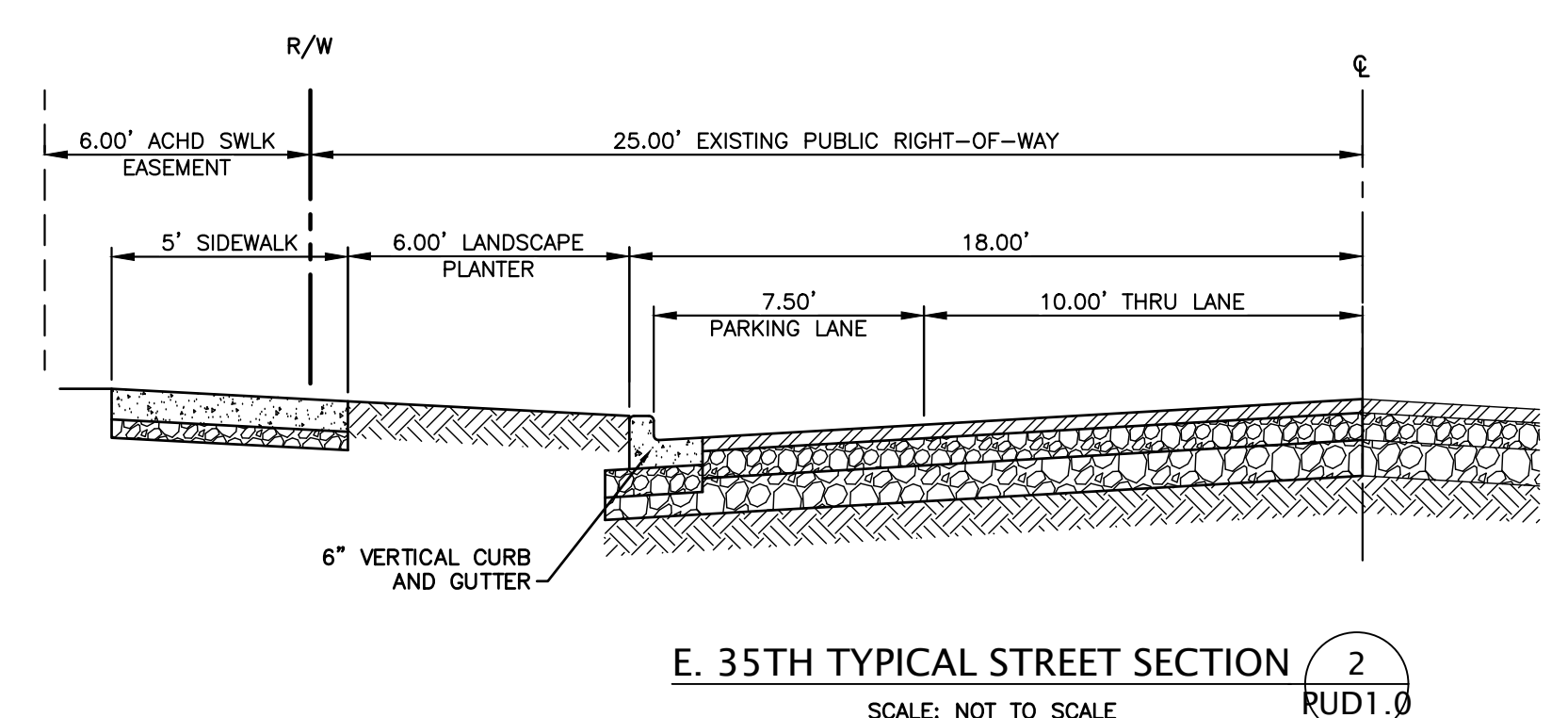
SITE DATA
 ADA COUNTY PARCEL #R2734540770/0790
 SITE AREA = ±0.34 ACRES
 CURRENT LAND USE ZONE: C-2 (GENERAL COMMERCIAL)
 PROPOSED LAND USE ZONE: C-2

SETBACKS	C-2 ZONE SETBACKS	PROPOSED SETBACKS
SUBDIVISION BOUNDARY	5 FEET	5 FEET
INTERIOR LOT LINES	5 FEET	0 FEET

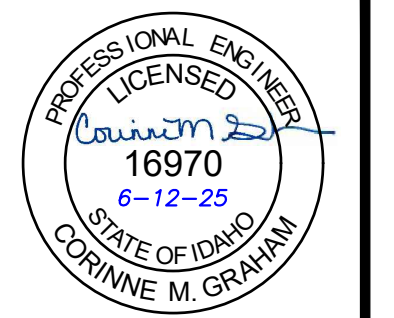
- NOTES**
- LOT 7 BLOCK 1 IS A COMMON LOT TO BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNER'S ASSOCIATION AND SHALL CONTAIN A PERPETUAL INGRESS/EGRESS EASEMENT.
 - LOT 7 CONTAINS A GARDEN CITY SANITARY SEWER MAIN EASEMENT AS SHOWN HEREON.



N. CARR STREET TYPICAL SECTIONS 1
 SCALE: NOT TO SCALE
 PUD1.0



E. 35TH TYPICAL STREET SECTION 2
 SCALE: NOT TO SCALE
 PUD1.0



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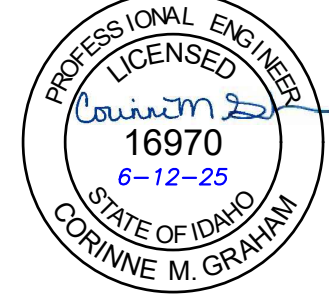
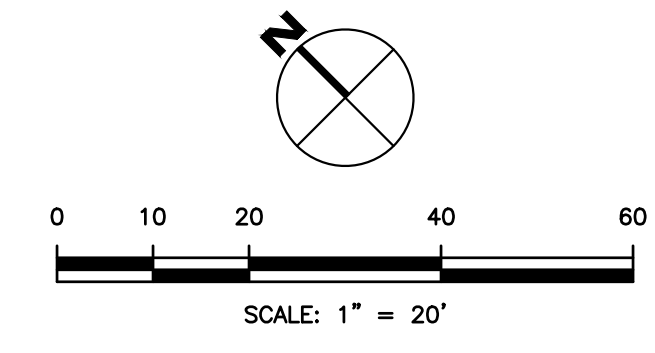
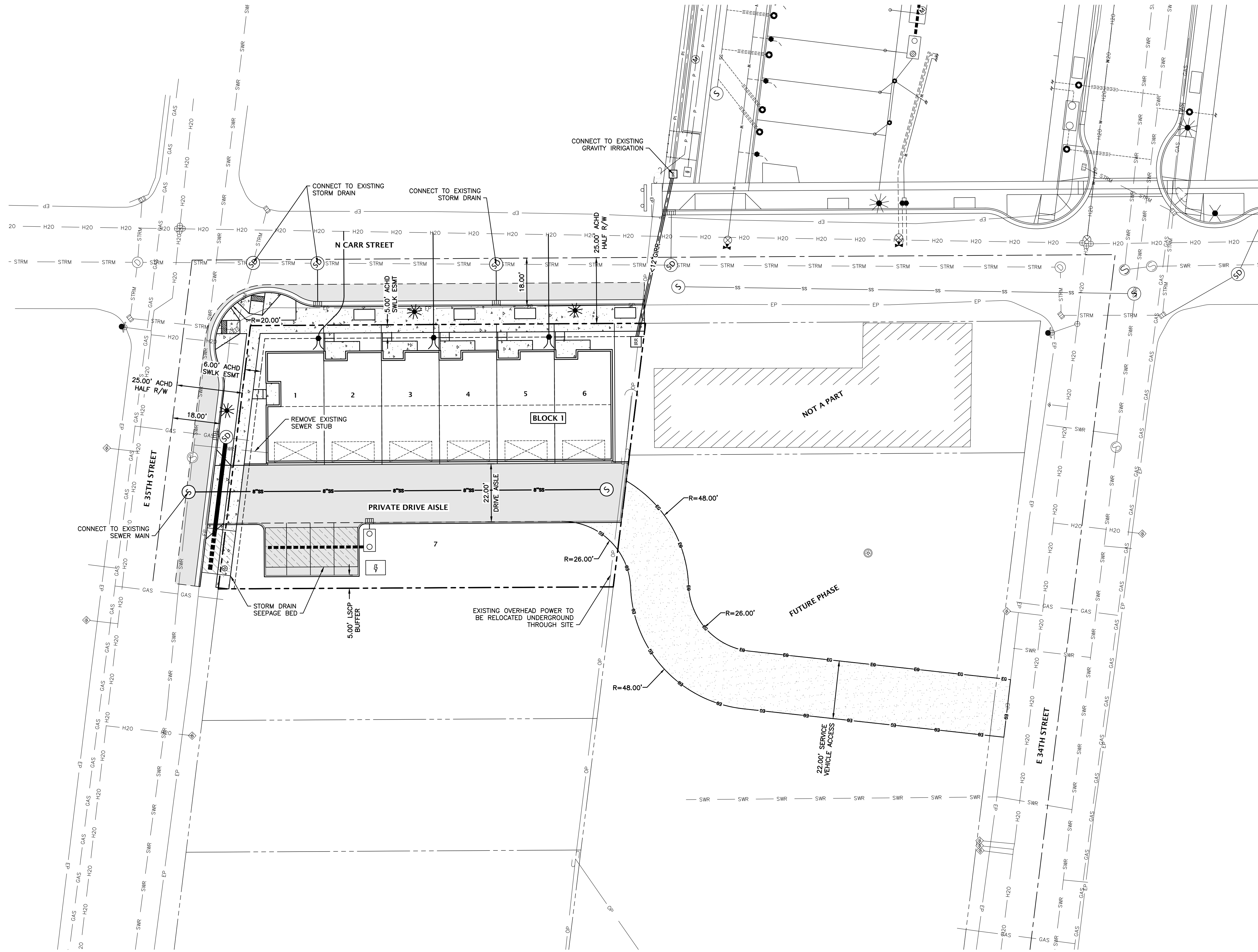
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PREPARED FOR:
 SOUL34 LLC
 BOISE, ID

SHAVASANA URBAN LIVING SUBDIVISION
 PLANNED UNIT DEVELOPMENT
 SUBDIVISION MAP

CSW PROJECT NO. 25005
 DRAWING DATE 06/12/2025

PUD1.0



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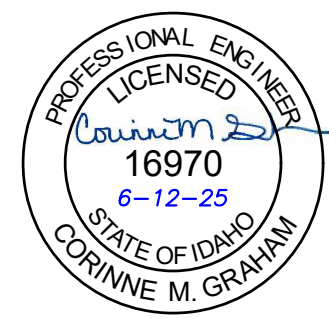
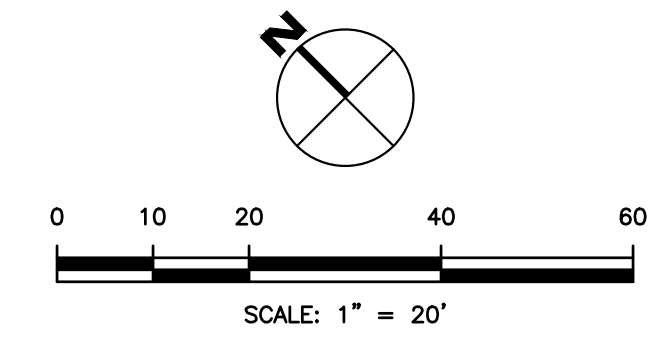
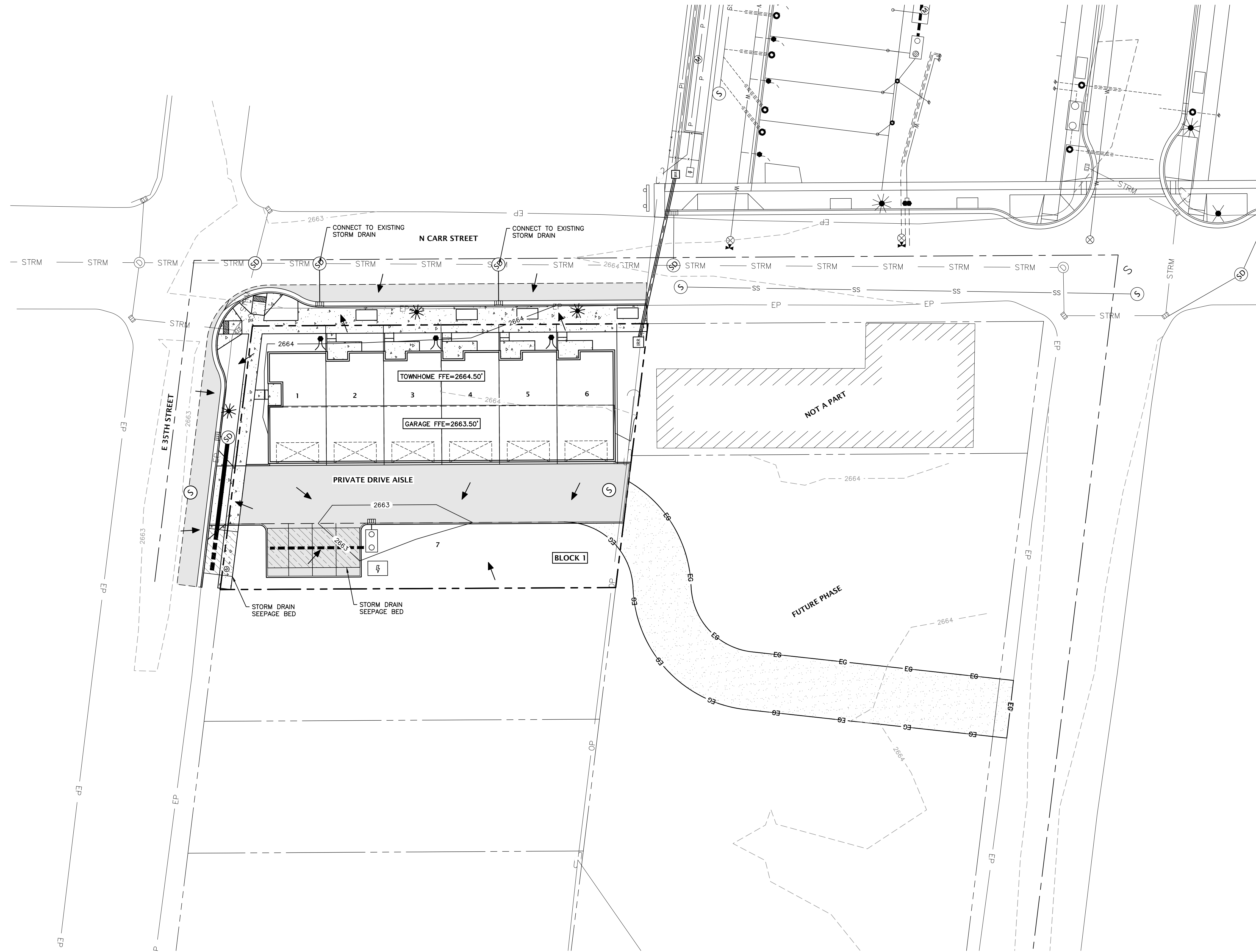
PREPARED FOR:
 SOUL34 LLC
 BOISE, ID

SHAVASANA URBAN LIVING SUBDIVISION
 PLANNED UNIT DEVELOPMENT
 CONCEPTUAL SITE/ENGINEERING PLAN

CSW PROJECT NO. 25005
 DRAWING DATE 06/12/2025

SP1.0

FILE NAME: 25005-C-SITE PLAN PP.DWG



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 PO BOX 6059
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 BOISE, ID

SHAVASANA URBAN LIVING SUBDIVISION
 PLANNED UNIT DEVELOPMENT
 CONCEPTUAL GRADING PLAN

CSW PROJECT NO. 25005
 DRAWING DATE 06/12/2025

GRD1.0

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features.
 - 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overprep to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
 - 4.2. All planter beds shall receive 18" min depth of screened topsoil.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil shall have a pH of 6.5 to 8.0.
 - 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not

- 4.5. contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
- 4.6. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
- 4.7. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
 - 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
 - 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - 5.6.1. Install 3/4" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - 5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
 - 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail. Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - 7.4. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.2. Adhere to city codes when connecting to city water.

- 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
- 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
- 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
- 8.5. All remote control valves (including master control valve) to have flow control device.
- 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
- 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
- 8.8. Use common trenching where possible.
- 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
- 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
- 8.11. Connect mainline to point of connection in approximate location shown on plan.
- 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
- 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- 8.14. All drip irrigation to be buried 2" below finished grade.
- 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- 8.16. Install all irrigation per irrigation drawings. utilize material specified or approved equal.
- 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"-20" scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

ACHD NOTES:

1. CONTRACTOR SHALL CONTACT/COORDINATE WITH DIGLINE & ACHD PRIOR TO INSTALLING TREES TO ENSURE THERE ARE NO CONFLICTS WITH FIBER OPTIC CABLES, OR OTHER UTILITIES.
2. IN FIBER OPTIC CABLES MUST BE RELOCATED, THIS WILL BE AT THE OWNER'S EXPENSE PER ACHD.
3. "TREES SHALL NOT BE PLANTED WITHIN 10' OF ACHD STORM DRAIN PIPE, STRUCTURES OR FACILITIES", or 10' WITHIN A FIRE HYDRANT.
4. "SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
5. NO TREES OR SHRUBS OVER 36" HIGH SHALL BE PLANTED WITHIN THE 40'X40' CLEAR VISION TRIANGLES AT INTERSECTIONS.
6. SOD SHALL BE WASHED SOD, PER ACHD REQUIREMENTS.

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER GARDEN CITY, ID

STREET BUFFER:

* (1) CLASS III OR II TREE PER 50 LINEAL FEET, PLUS ONE ADDITIONAL TREE PER EVERY STREET SIDE.

STREET NAME - LENGTH (LF, MINUS CURB CUTS)	TREES REQUIRED	TREES PROVIDED
CARR STREET - 164'	3+1	4
35TH STREET - 114'	2+1	3

PERIMETER LANDSCAPE REQUIREMENTS:

* (1) TREE FOR EVERY 15 LF OF PERIMETER LENGTH.

PERIMETER LENGTH (LF)	TREES REQUIRED (PER 15 LF)	TREES PROVIDED
145' (SW PROPERTY LINE)	10	10
50' (SE PROPERTY LINE)	3	3

GENERAL LANDSCAPE REQUIREMENTS:

* (1) TREE PER 1,000 SQ.FT. AND (1) SHRUB PER 150 SQ.FT.
 * TREES MAY BE SUBSTITUTED FOR UP TO 1/2 OF THE REQUIRED SHRUBS AT THE RATE OF ONE TREE FOR EVERY 10 SHRUBS AND VICE VERSA.

TOTAL LANDSCAPE AREA (SQ.FT.)	TREES REQUIRED / PROVIDED	SHRUBS REQUIRED / PROVIDED
2295 SQ.FT.	2 / 0 (SHRUB SUBSTITUTE)	15 / 15+

** CALCULATIONS SHOWN DO NOT INCLUDE BUFFER OR PARKING LOT AREAS.

BIODIVERSITY REQUIREMENTS:

* 5-10: 2 SPECIES REQ, 11-30: 3 SPECIES REQ, 31-50: 4 SPECIES REQ, 50+: 5 SPECIES REQ.

TOTAL TREES ON SITE	NUMBER OF SPECIES REQUIRED	NUMBER OF SPECIES PROVIDED
20	3	4

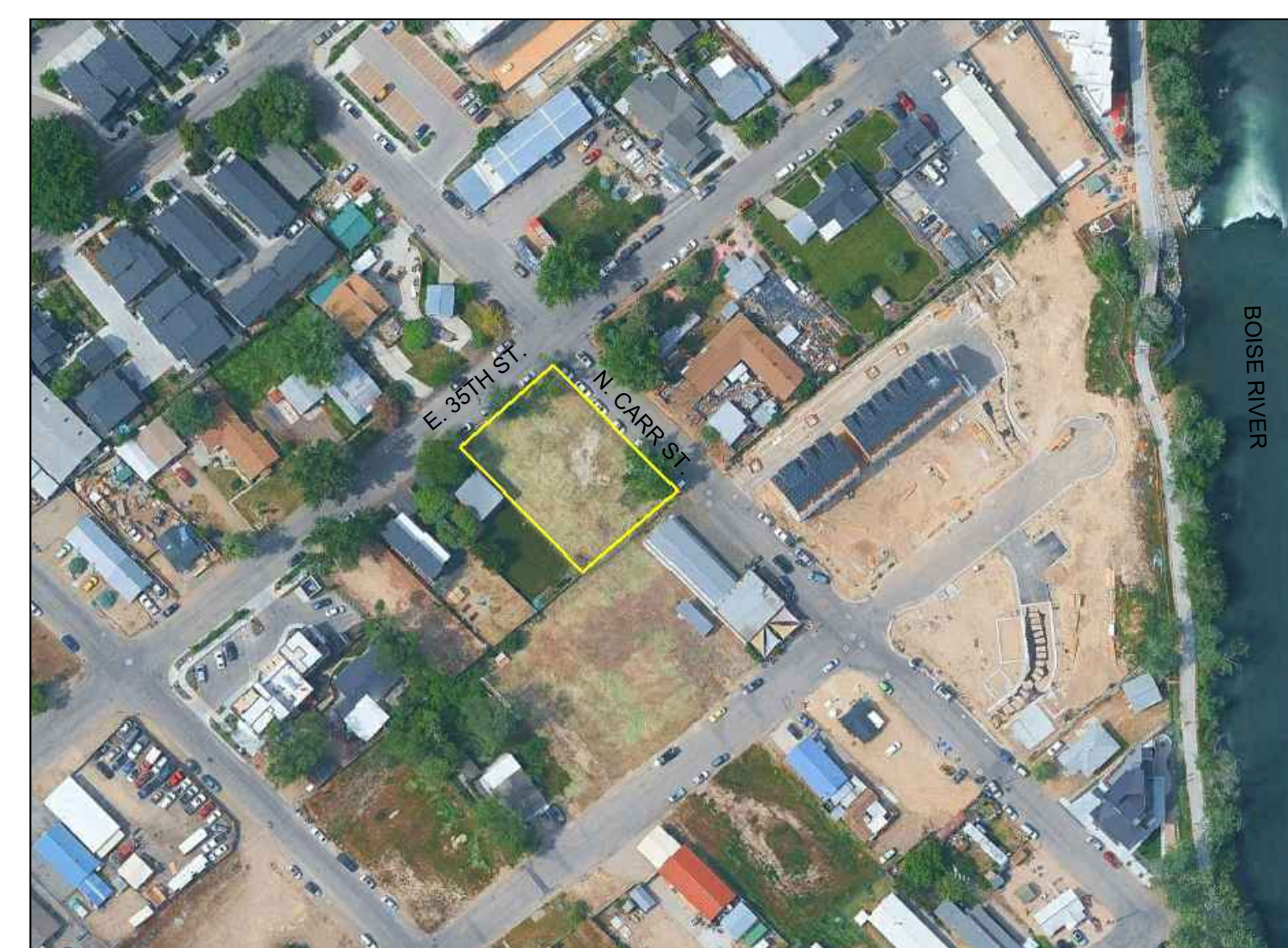
MINIMUM PLANT SIZES:

- PLANT TYPE: MINIMUM SIZE
- EVERGREEN TREES: 6'-0" HT. MIN.
 - ORNAMENTAL TREES: 2" CALIPER MIN.
 - SHADE TREES: 2" CALIPER MIN.
 - WOODY SHRUBS: 2 GAL. MIN.

SHEET INDEX:

- LANDSCAPE PLAN:
- L000 : LANDSCAPE NOTES & CITY CODE
 - L010: TREE MITIGATION PLAN
 - L100 : LANDSCAPE PLAN
 - L150 : LANDSCAPE DETAILS

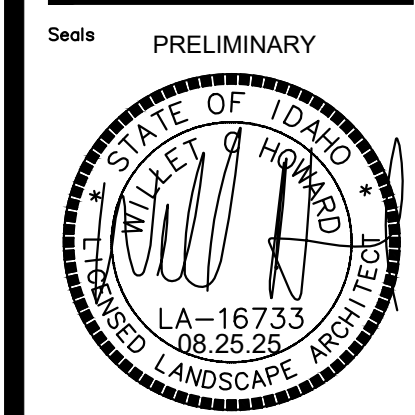
PROJECT SITE:



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St. #300A1
 Boise, ID 83702
 StackRockGroup.com
 WILLET C HOWARD, PLA
 OFFICE: (208) 345.0500 EMAIL: WLL@STACKROCKGROUP.COM
 WWW.STACKROCKGROUP.COM

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NOT FOR CONSTRUCTION

SHAVASANA URBAN LIVING

213 E 35TH ST.
BOISE, ID 83714

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO:	25-3236
DATE:	08.25.2025
DRAWN BY:	AH
CHECKED BY:	WH

DRAWING TITLE

COVER SHEET - LANDSCAPE NOTES & CITY CODE

SHEET NUMBER
L000

EXISTING TREE SCHEDULE NOTES:

- TREES 4" CALIPER OR GREATER REMOVED FROM SITE ARE REQUIRED FOR MITIGATION.
- TREES IDENTIFIED AS TYPES TO EXHIBIT CHARACTERISTICS INCLUDING EXTREME INSECTS OR DISEASE SUSCEPTIBILITY, SOFT OR BRITTLE WOOD, TOXIC TO OTHER PLANTS SHALL BE EXEMPT FROM MITIGATION REQUIREMENTS. SPECIES EXAMPLES: BLACK LOCUST, COTTONWOOD, ELM, BLACK WALNUT, ETC.
- LANDSCAPE ARCHITECT RECOMMENDS ARBORIST EVALUATION. IF ARBORIST REPORT DEEMS SOME OR ALL TREES OF LESSER VALUE NOT REQUIRING MITIGATION, THEN REQUIRED MITIGATION SHALL DECREASE ACCORDINGLY.

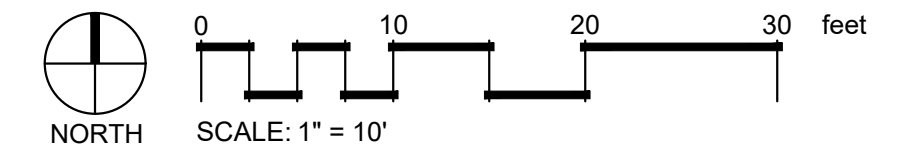
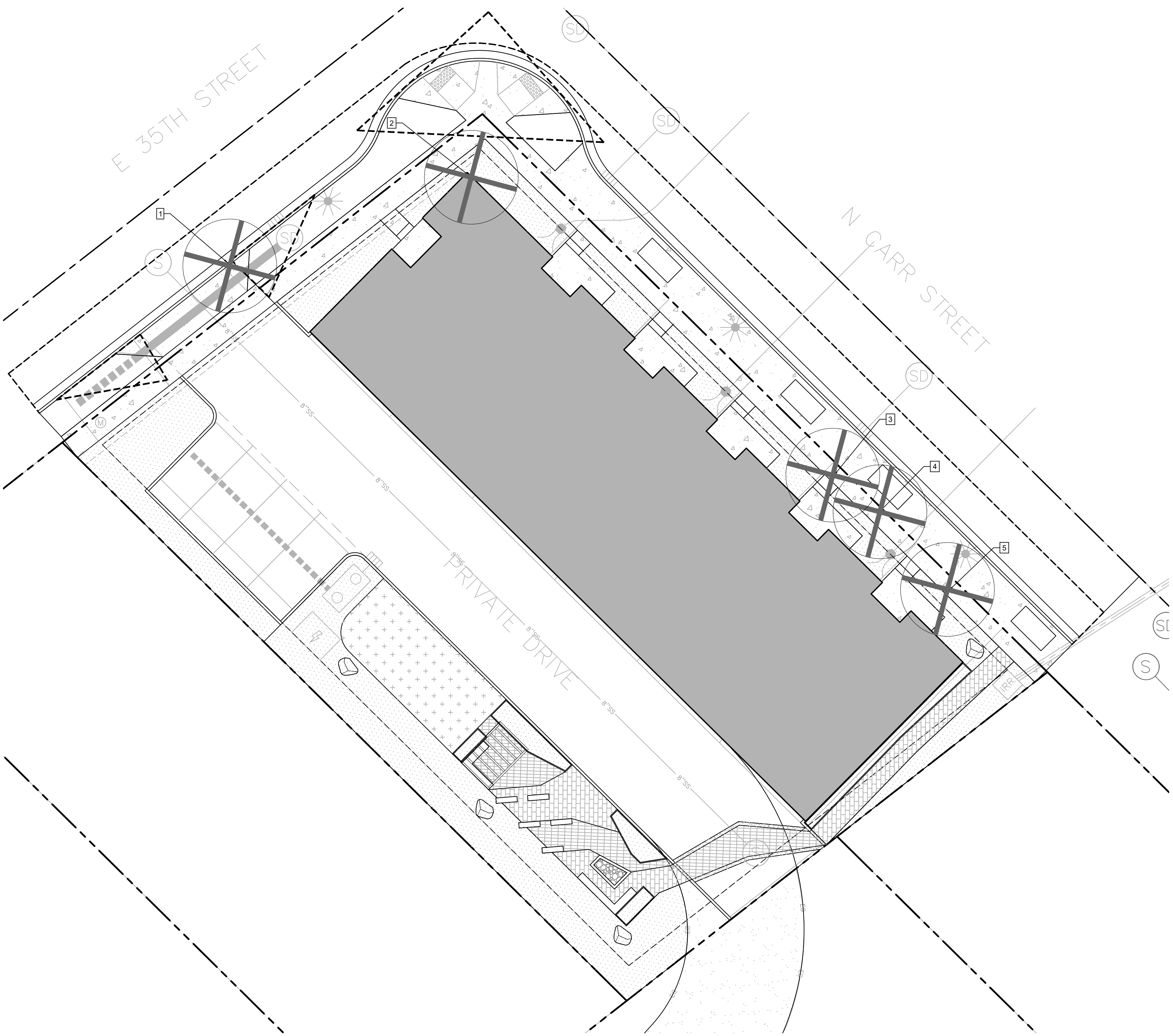
EXISTING TREE SCHEDULE					
KEYNOTE #	TREE TYPE	SIZE (DBH)	CONDITION	STATUS	CALIPER TO MITIGATE
1	ASH	25"	MORE THAN 50% DIEBACK	REMOVE	0
2	ASH	21"	MORE THAN 50% DIEBACK	REMOVE	0
3	ELM SUCKER	4"	MORE THAN 50% DIEBACK	REMOVE	0
4	SILVER MAPLE	14"	SIGNIFICANT BASAL CAVITY	REMOVE	0
5	SILVER MAPLE	16"	ADVANCED DECAY	REMOVE	0
TOTAL INCHES TO MITIGATE					0

ARBORIST FINAL RECOMMENDATIONS:

- TREE REMOVALS: ALL TREES IDENTIFIED ABOVE ARE RECOMMENDED FOR REMOVAL DUE TO ADVANCED DECLINE, STRUCTURAL INSTABILITY, OR INVASIVE NATURE. THE ELM SUCKERS LACK STRUCTURE AND ARE NON-NATIVE VOLUNTEERS. THE ASH AND SILVER MAPLES EXHIBIT SIGNIFICANT DIEBACK AND DECAY, RENDERING THEM HAZARDOUS.
- PRUNING & MAINTENANCE: NO PRUNING OR MAINTENANCE IS RECOMMENDED AT THIS TIME.

LANDSCAPE MATERIALS LEGEND:

EXISTING TREE TO BE REMOVED - REMOVE OR GRIND STUMPS BELOW A MINIMUM OF 12" BELOW GRADE. BACKFILL VOID WITH TOP SOIL. WHEN REMOVING TREES, CONTRACTOR SHALL BE CAUTIOUS TO POSSIBLE ROOT GROWTH AROUND EXISTING UTILITIES AND SHALL CAUTIOUSLY REMOVE OR BE RESPONSIBLE FOR REPAIRING ANY AFFECTED UTILITIES OR EXISTING STRUCTURES THAT ARE HARMED IN THE REMOVAL OF TREES.

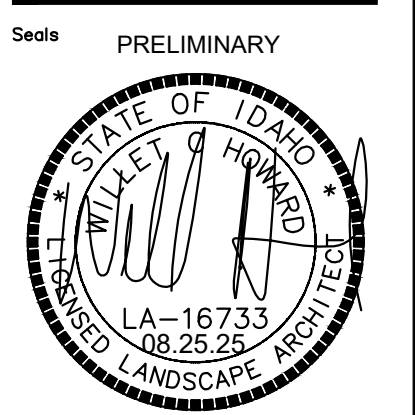


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NOT FOR CONSTRUCTION

SHAVASANA URBAN LIVING

213 E 35TH ST.
BOISE, ID 83714

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 25-3236
DATE: 08.25.2025
DRAWN BY: AH
CHECKED BY: WH

DRAWING TITLE
TREE MITIGATION PLAN

SHEET NUMBER
L010

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES						
	CF	Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam 35' H x 15' W	B&B	2"	Class II	5
	CC	Carpinus caroliniana 'Uxbridge' / Rising Fire® American Hornbeam 30'h x 15'w	B&B	2"	Class I	6
	LS	Liquidambar styraciflua 'Slender Silhouette' / Columnar Sweet Gum 50' H x 4-6' W	B&B	2"		3
	TAB	Tilia americana 'Boulevard' / Boulevard American Linden 50'h x 25'w	B&B	2"	Class II	4
	TM	Tilia americana 'Sentry' / American Sentry Linden 45'h x 30'w	B&B	2"	Class II	3
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS						
	CAK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5'h x 3'w	2 gal			26
	HG	Hosta x 'Stained Glass' / Plantain Lily 15" TALL & 36"-48" WIDE	1 gal			8
	LD	Liriope densiflora / Lilyturf 2' H x 2' W	1 gal			10
	LA	Lysimachia nummularia 'Aurea' / Golden Creeping Jenny 3' H x 2' W	1 gal			44
	RFF	Rhamnus frangula 'Fine Line' / Fine Line Buchthorn 7' h x 3' w	2 gal			11
	SMN	Salvia x 'May Night' / May Night Sage 2'h x 2' w	2 gal			22
	SAJ	Sedum x 'Autumn Joy' / Autumn Joy Sedum 18'h x 24'w	1 gal			15
	YFG	Yucca filamentosa 'Golden Sword' / Adam's Needle 3' h x 4' w	2 gal			11

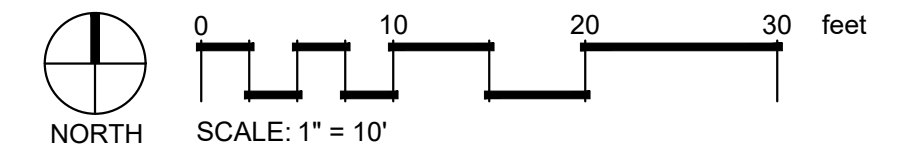
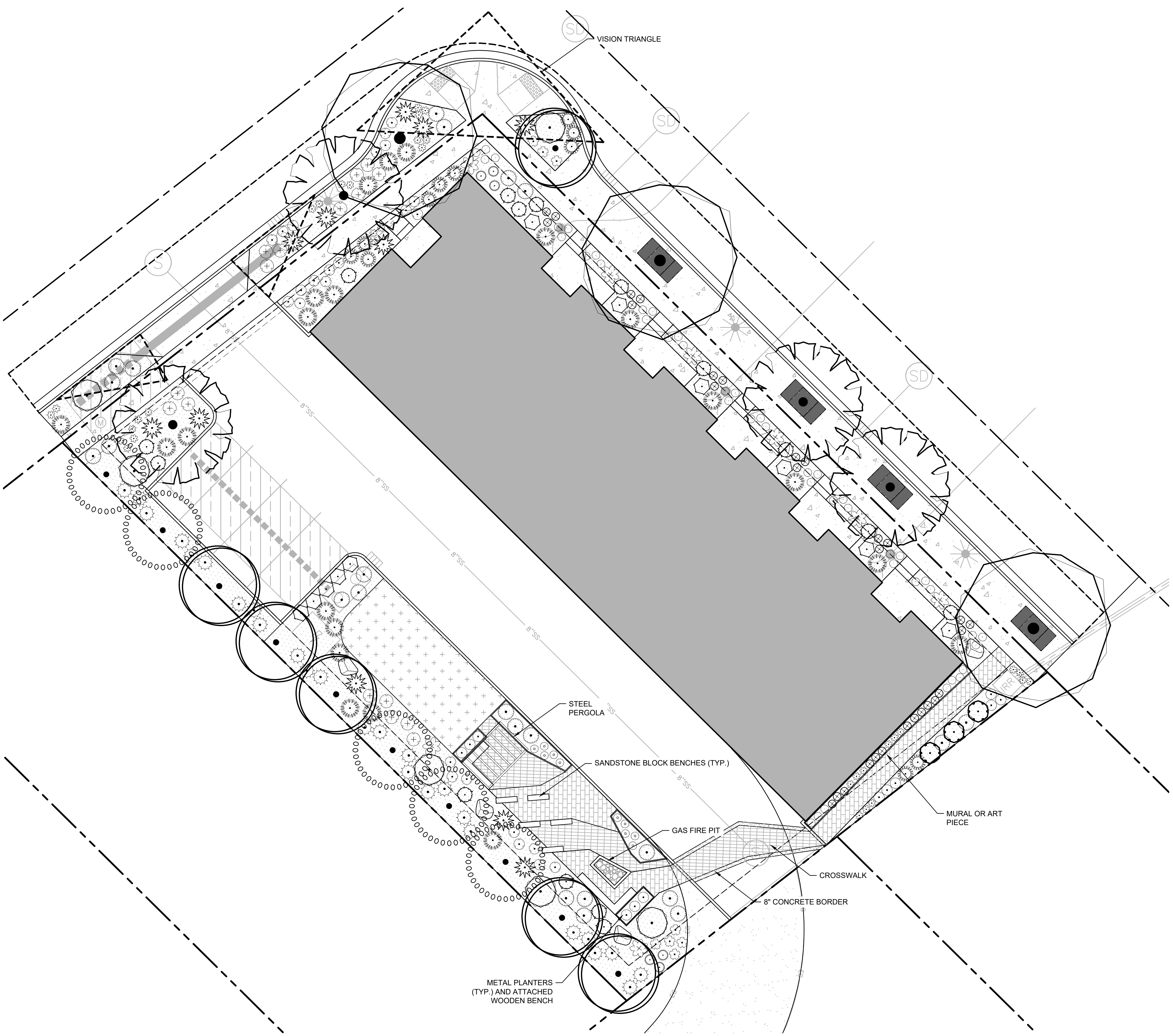
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
EVERGREEN SHRUB						
	JVG	Juniperus virginiana 'Grey Owl' / Grey Owl Eastern Redcedar 3' H x 6' W	2 gal			6
	LAH	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 1-2' H & W	2 gal			23
	PB	Pinus strobus 'Blue Shag' / Blue Shag White Pine 2-4' H & W	2 gal			15

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
ORNAMENTAL GRASSES						
	HSB	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass 2-3' H & W	2 gal			11
	NTP	Nassella tenuissima 'Pony Tails' / Mexican Feathergrass 1-2' H x 2'	2 gal			30
	POK	Pennisetum orientale 'Karley Rose' / Karley Rose Fountain Grass 3-4' H & W	2 gal			21
	SSP	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem 3' H x 2' W	2 gal			6

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
PERENNIALS						
	AF	Artemisia frigida / Fringed Sage 6-18" H x 12-18" W	1 gal			16
	CJ	Centranthus ruber 'Albiflorous' / Jupiter's Beard 2-3' H x 1-2' W	1 gal			8
	EP	Echinacea x 'Pow Wow White' / Pow Wow White Coneflower 2-3' H x 1-1.5' W	1 gal			33

LANDSCAPE MATERIALS LEGEND:

	SOD LAWN - SEE NOTE 5/L100		LANDSCAPE ROCK MULCH - SEE NOTE 6/L100
	PAVERS		BOULDERS
	PAVERS		

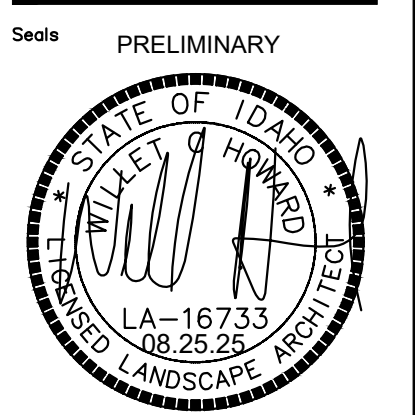


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SHAVASANA URBAN LIVING

213 E. 35TH ST.
BOISE, ID 83714

MRK	DATE	Description
△	**	**

JOB NO: 25-3236
DATE: 08.25.2025
DRAWN BY: AH
CHECKED BY: WH

DRAWING TITLE

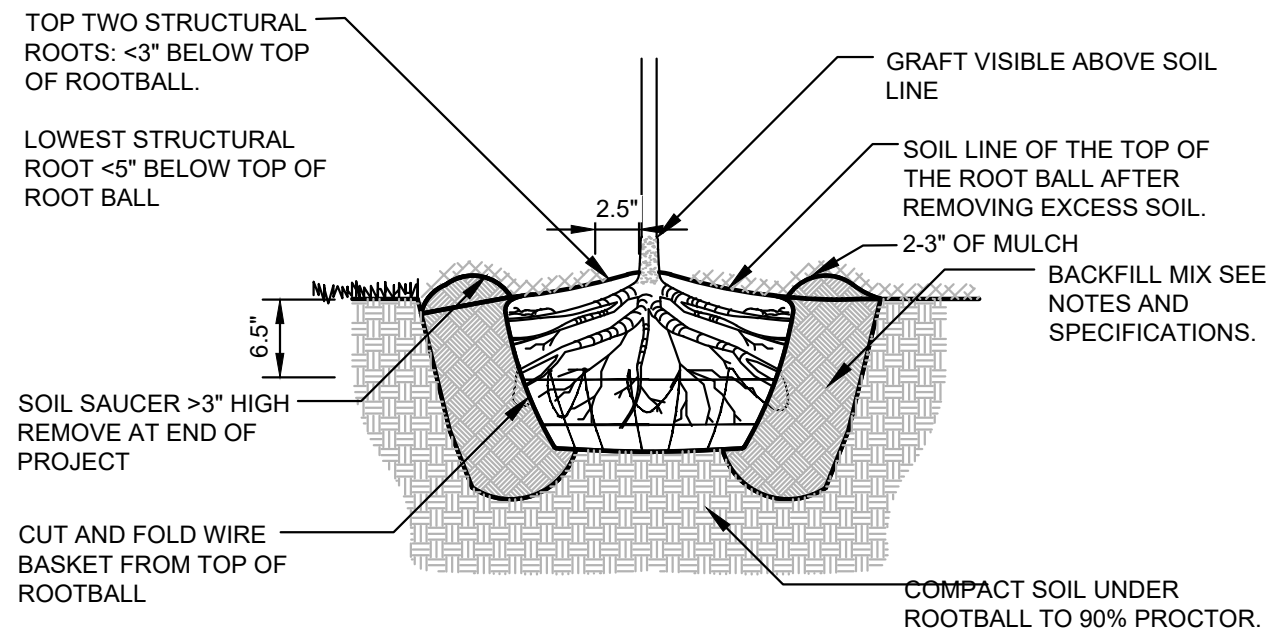
LANDSCAPE PLAN

SHEET NUMBER

L100

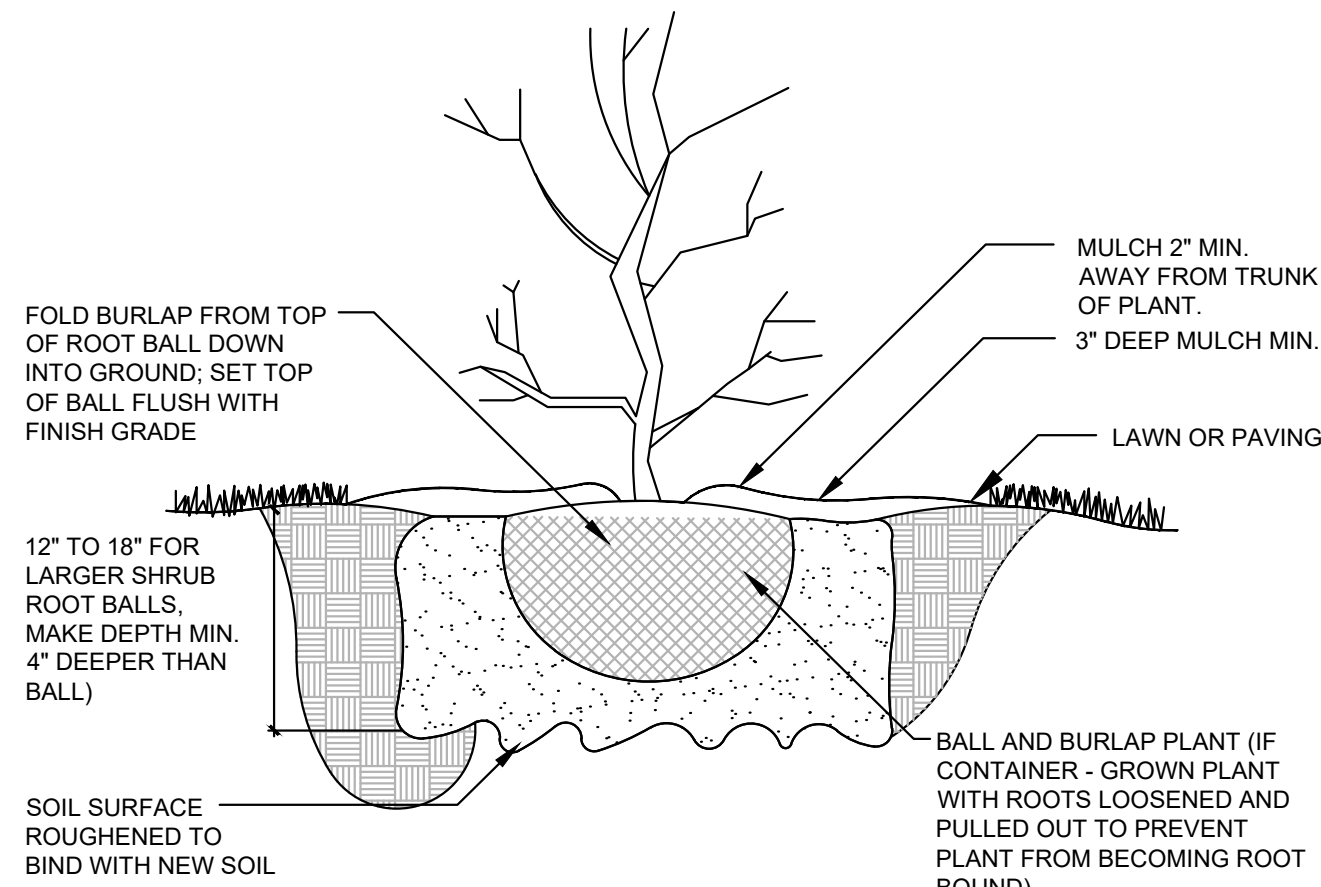
STACK ROCK GROUP - CITY REVIEW SET

- NOTES:
- DO NOT DAMAGE OR CUT LEADER
 - DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 - TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 - REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP OF THE ROOTBALL.
 - 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



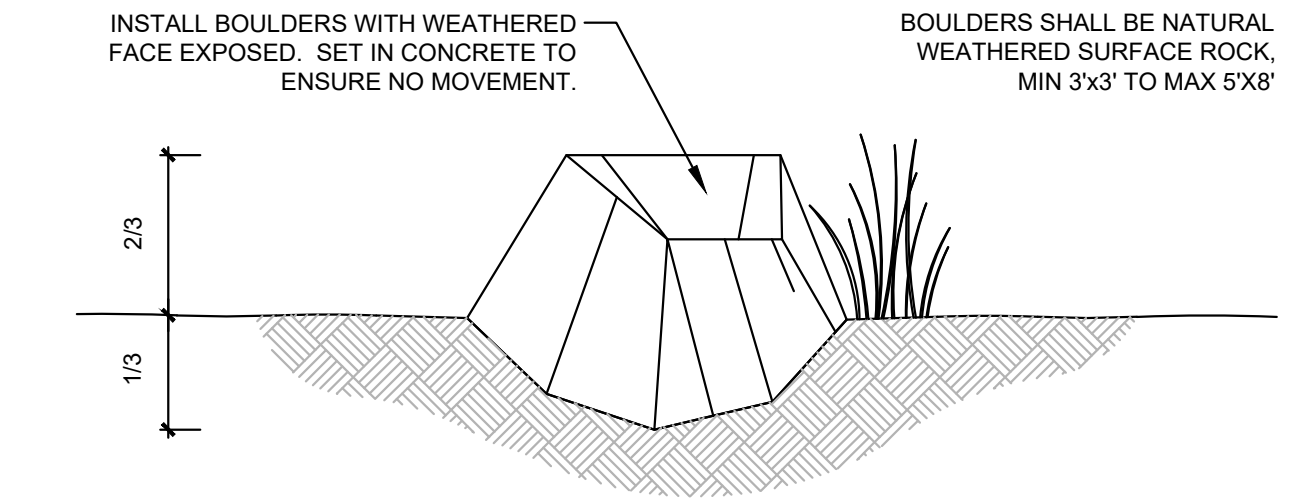
1 BALL & BURLAP TREE PLANTING
3/4" = 1'-0"
P-CO-CAS-04

- NOTE:
REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

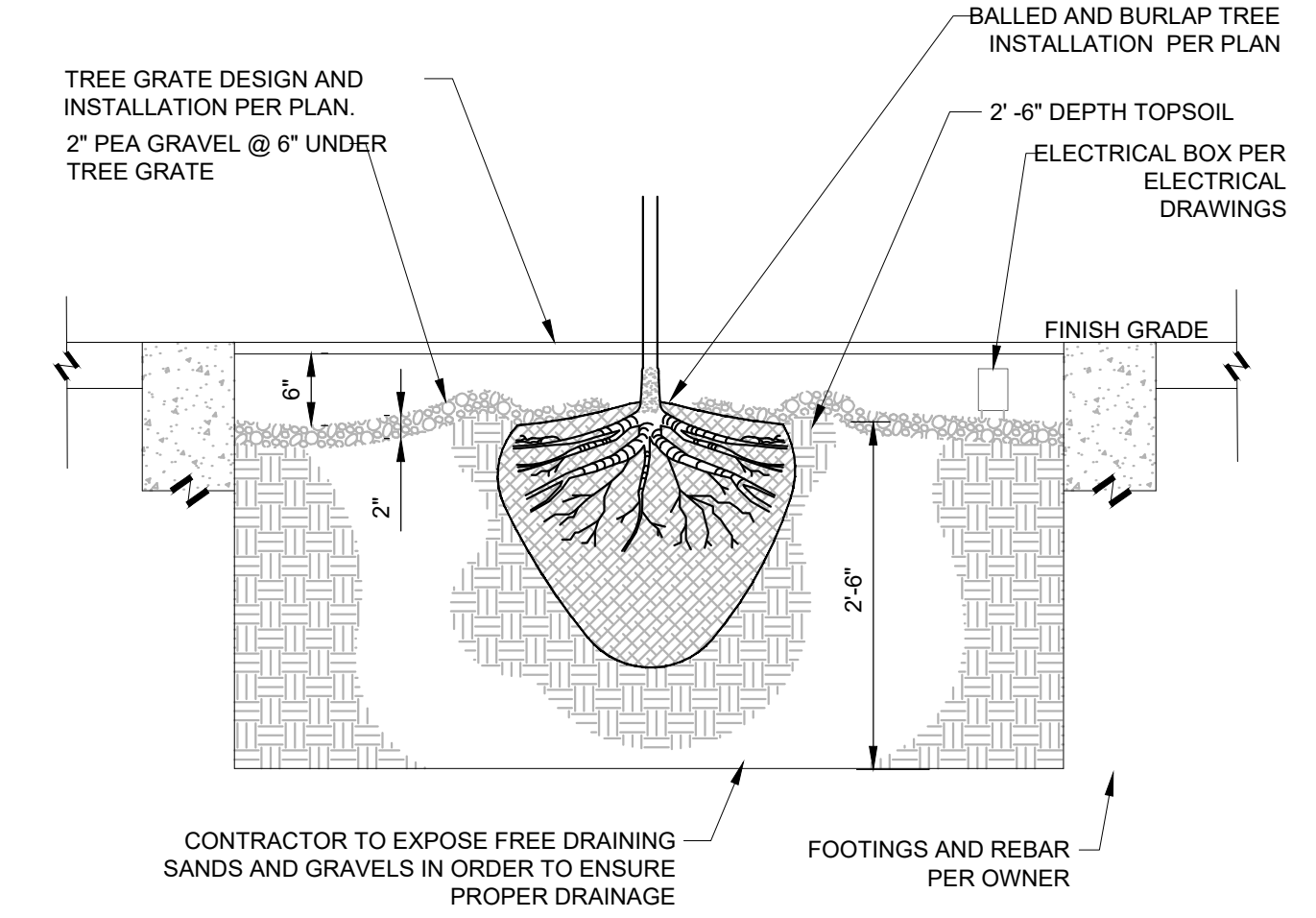


2 SHRUB PLANTING
1" = 1'-0"
P-CO-CAS-02

- NOTES:
• BOULDERS SHALL BE NATURAL WEATHER SURFACE ROCK, SIZES SHALL RANGE FROM 3' x 3' TO 4' x 4'.
• BOULDERS SHALL HAVE A FLAT TOP SURFACE THAT RANGE FROM 15" IN HEIGHT TO 18" IN HEIGHT.

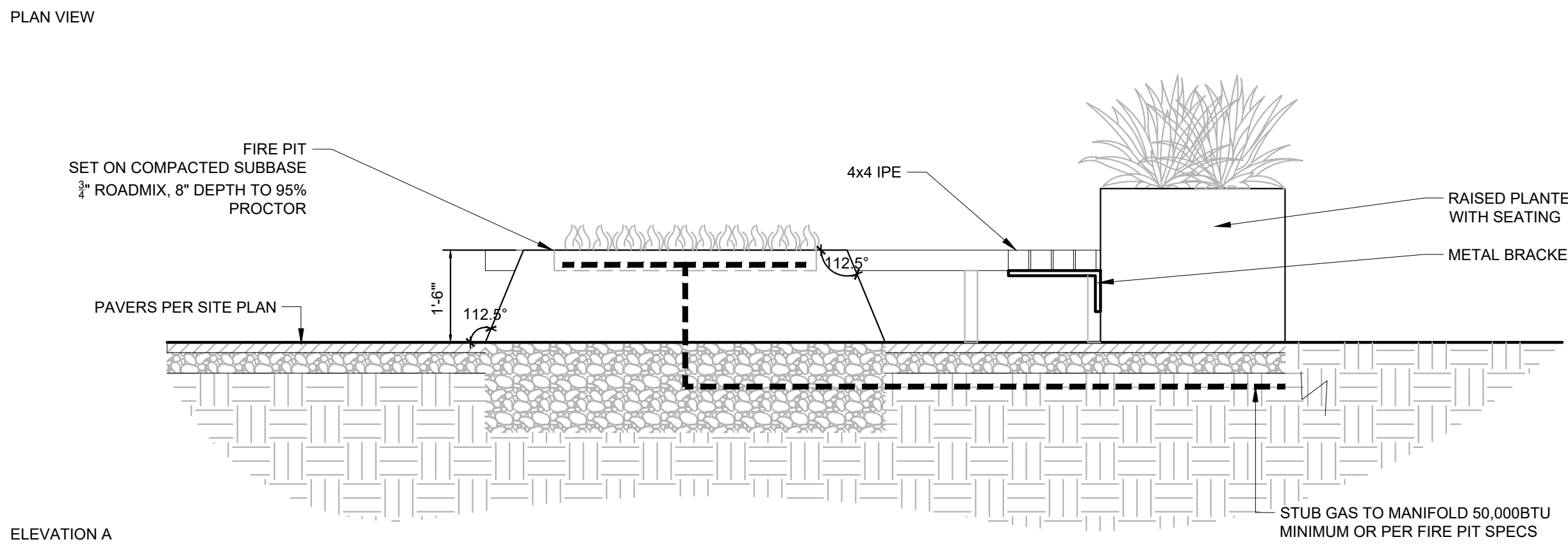
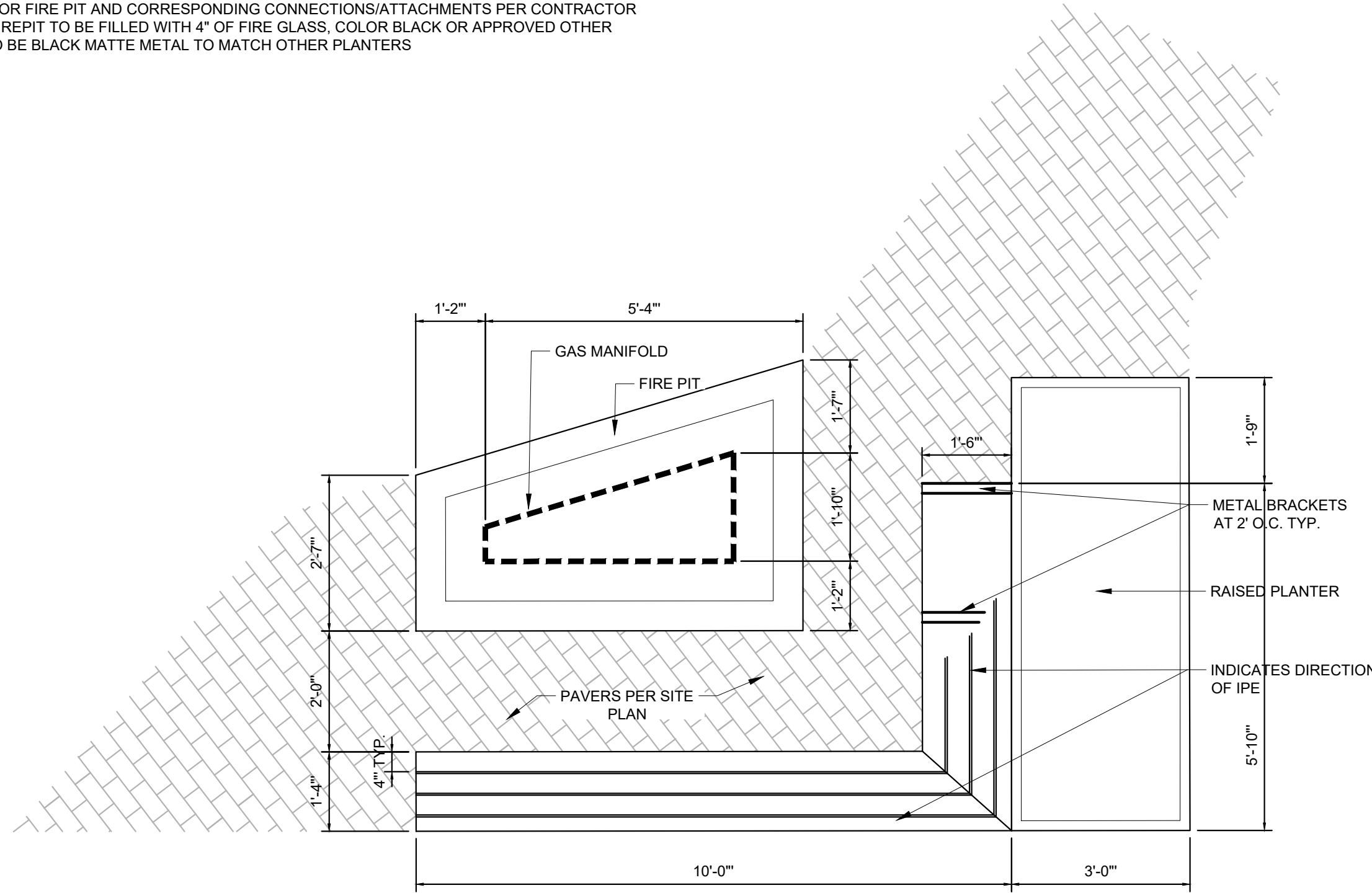


3 LANDSCAPE BOULDER PLACEMENT (TYP)
1" = 1'-0"
P-CO-CAS-03



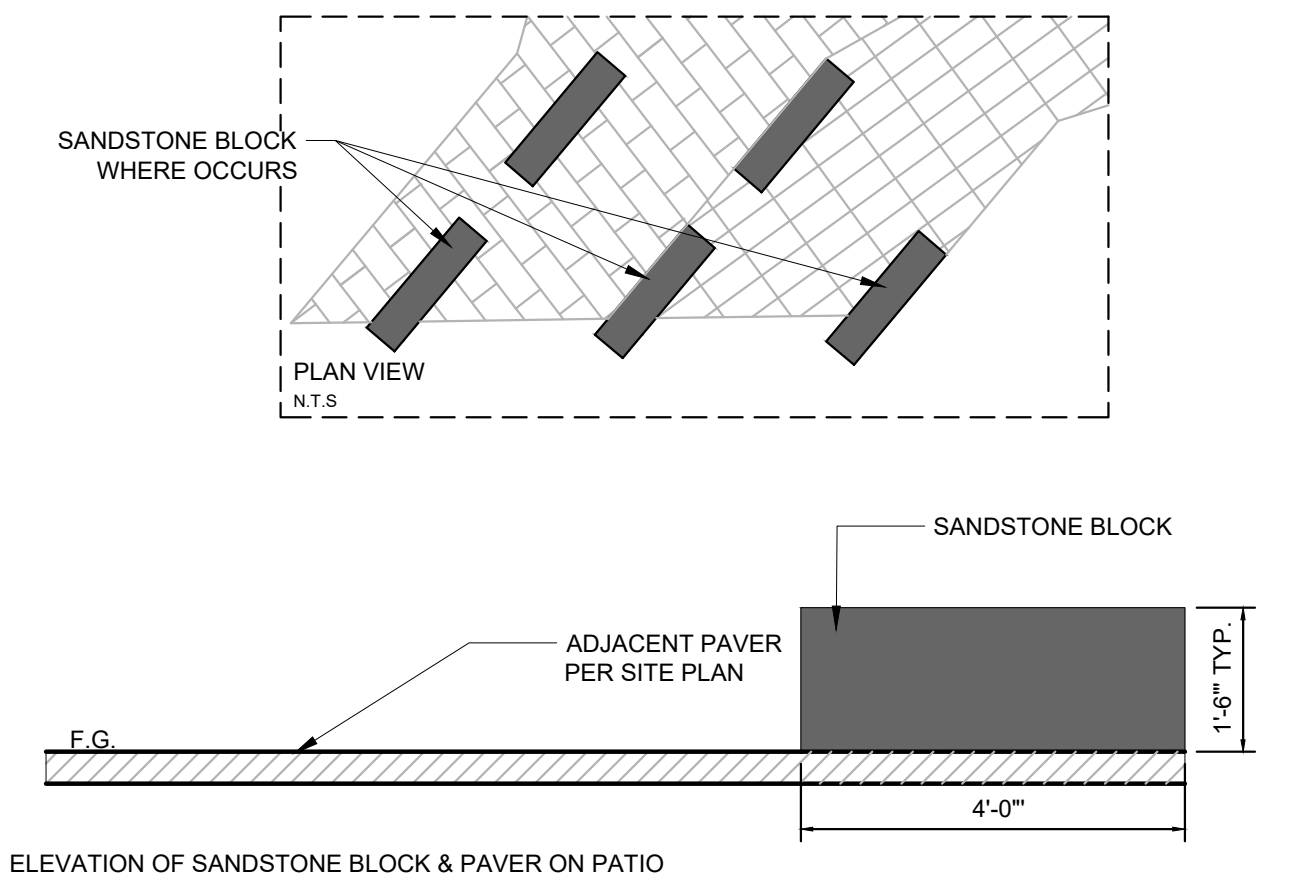
4 TREE GRATE WITH ELECTRICAL
3/4" = 1'-0"
329343-03

- NOTES:
- ALL FOOTINGS, ATTACHMENTS AND CONNECTIONS PER CONTRACTOR/STRUCTURAL
 - METAL BRACKETS TO BE A FRONT MOUNT, L BRACKET, POWDER COATED BLACK
 - FIRE PIT TO BE FINISHED WITH A SMOOTH CONCRETE SURFACE, COLOR PER SITE PLAN
 - WOOD SLATS TO BE A 4x4 IPE OR SIMILAR WITH 3/8" GAPS, CLEAR COAT FINISH, CUT TO FIT DIMENSION OF BENCH, FINAL DECISION PER DEVELOPER
 - GAS STUB FOR FIRE PIT AND CORRESPONDING CONNECTIONS/ATTACHMENTS PER CONTRACTOR
 - INSIDE OF FIREPIT TO BE FILLED WITH 4" OF FIRE GLASS, COLOR BLACK OR APPROVED OTHER
 - PLANTER TO BE BLACK MATTE METAL TO MATCH OTHER PLANTERS



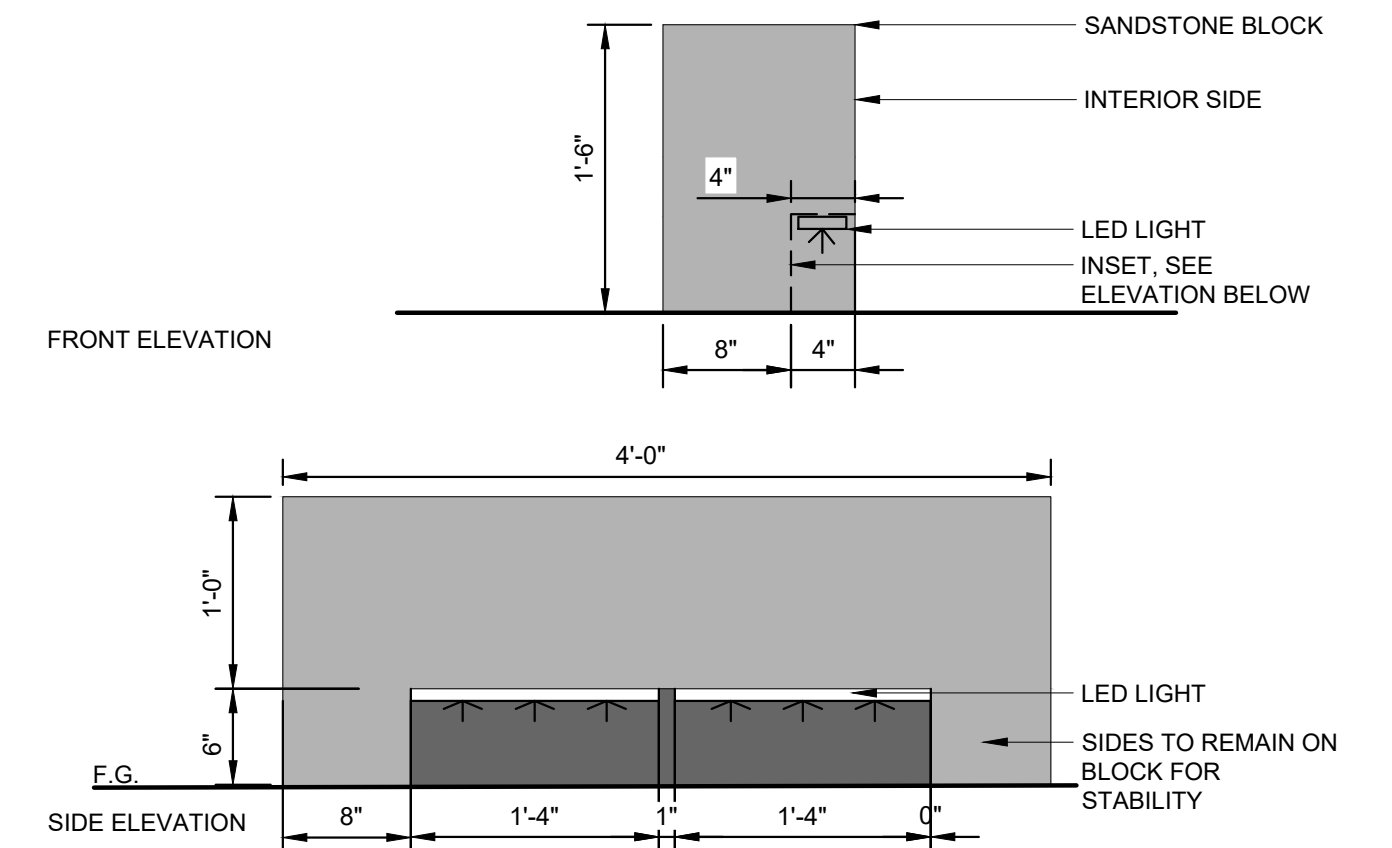
5 RAISED PLANTER, BENCH & FIRE PIT
1/2" = 1'-0"
P-CO-109

- NOTES:
- SEE SITE PLAN FOR PAVER SPECIFICATION AND VARYING LOCATIONS
 - CONTRACTOR TO INSTALL PER MANUFACTURERS RECOMMENDATIONS
 - TOP OF SANDSTONE FINISH TO BE SMOOTH/POLISHED
 - SIDES OF SANDSTONE TO BE ROUGH HEWN



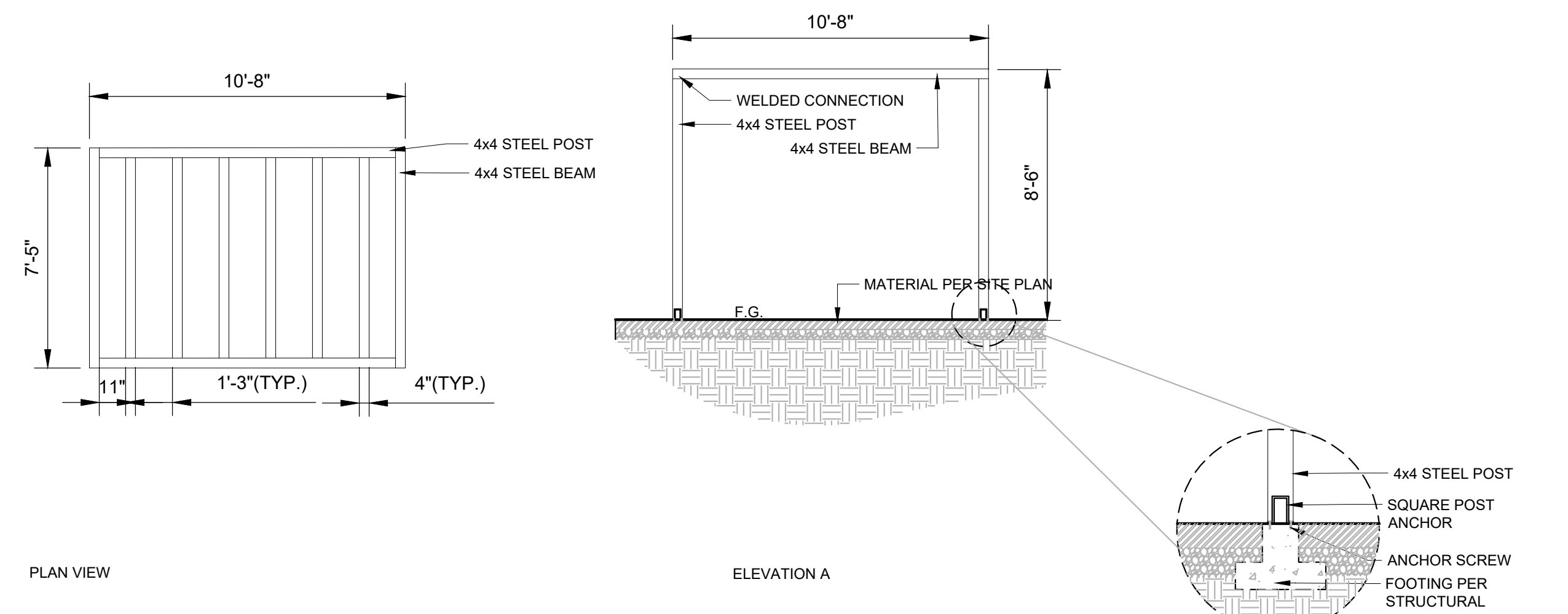
6 SANDSTONE BLOCK
1/2" = 1'-0"
P-CO-108

- NOTES:
- REFER TO SITE PLAN FOR PLACEMENT OF SANDSTONE BLOCKS
 - LED LIGHT, KICHLER LED HARDSCAPE LIGHT, MODEL #16103BKT30, OR APPROVED OTHER, INSTALL PER MANUFACTURERS RECOMMENDATIONS
 - LED LIGHTS SHOULD ALWAYS BE PLACED ON THE SANDSTONE BLOCK SIDE THAT IS IN THE INTERIOR OF A PATIO AREA
 - TOP OF SANDSTONE FINISH TO BE SMOOTH/POLISHED
 - SIDES OF SANDSTONE TO BE ROUGH HEWN



7 SANDSTONE BLOCK LIGHT
1" = 1'-0"
P-CO-99

- NOTES:
- CUSTOM STEEL FRAME PERGOLA PER CONTRACTOR
 - FINISH TO BE POWDERCOATED MATTE BLACK
 - ALL FOOTINGS, CONNECTIONS AND ATTACHMENTS PER CONTRACTOR
 - USE SURFACE MOUNT 4x4 SQUARE POST ANCHOR FOR STEEL POST FOOTING, OR APPROVED OTHER
 - USE TAPCON CONCRETE ANCHOR SCREWS FOR CONNECTION OF ANCHOR TO SURFACE, OR APPROVED OTHER
 - REFER TO SITE PLAN FOR EXACT LOCATION AND ORIENTATION



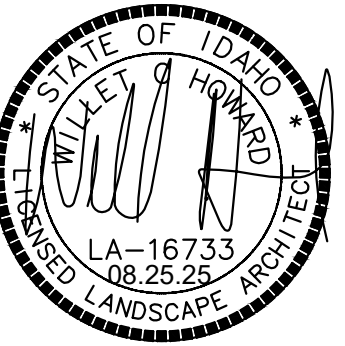
8 STEEL PERGOLA
1/4" = 1'-0"
P-CO-156

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Seals PRELIMINARY



NOT FOR CONSTRUCTION

SHAVASANA URBAN LIVING
213 E. 55TH ST.
BOISE, ID 83714

MRK	DATE	Description
△	**	**

JOB NO: 25-3236
DATE: 08.25.2025
DRAWN BY: AH
CHECKED BY: WH

DRAWING TITLE

LANDSCAPE DETAILS

SHEET NUMBER

L150

Done Rite Tree Co, Inc

P.O. Box 190041 Boise, ID 83719 (208) 362-0246

June 17, 2025

Location: W. 34th and W. 35th Street and Carr

Owner /Owner Representative:

Caleb Creagan

Arborist Observations:

Site Assessment Summary:

A site walkthrough was conducted to evaluate the condition of trees located on the subject property. Based on visual observations and professional judgment, the following trees are recommended for removal due to structural compromise, advanced decline, disease, or pest activity.

Proposed Removals

34th Street Lot – Elm Suckers

- **Condition:** These are volunteer elm suckers originating from neighboring trees. They lack structural integrity, are highly invasive, and provide no long-term value. Removal is recommended.

35th Street & Carr Lot

- **Ash – 25" DBH**
 - **Condition:** This tree is in severe decline, with more than 50% canopy dieback. Removal is advised due to its compromised health and structure.
- **Ash – 21" DBH**
 - **Condition:** This tree also exhibits over 50% dieback and is in an advanced state of decline. Removal is recommended.
- **Elm Sucker – 4" DBH**
 - **Condition:** A volunteer tree from adjacent elms. Multi-trunked and over 50% dead. Removal is recommended.
- **Silver Maple – Multi-trunk, 14" DBH**
 - **Condition:** This tree has a significant basal cavity, compromising its structural stability and health. Removal is recommended.

- **Silver Maple – Multi-trunk, 16” DBH**
 - **Condition:** This tree has advanced decay both at the base and within the trunk crotch. Structural integrity is compromised. Removal is advised.

Final Recommendations:

- **Tree Removals:** All trees identified above are recommended for removal due to advanced decline, structural instability, or invasive nature. The elm suckers lack structure and are non-native volunteers. The ash and silver maples exhibit significant dieback and decay, rendering them hazardous.
- **Pruning & Maintenance:** No pruning or maintenance is recommended at this time.

Conclusion:

The assessment concludes that several trees on the property are in various stages of decline due to structural defects, disease, or pest infestation. Immediate removal is recommended for all trees listed to ensure safety and support future site management goals.

Submitted in good faith,

Tina Butcher

Tina Butcher

ISA Arborist PN-9614A, ISA Professional Membership # 309971

Idaho Contractor's License# RCE-17999

City of Boise RP#: CON08-00109