

ADDENDUM NO. 1
to the Contract Documents for the

City of Weed
Main Street Demolition Project

This Addendum modifies and becomes a part of the Contract Documents for the above project. It supersedes anything in the Contract Documents with which it may conflict. Bidders shall acknowledge receipt of this Addendum by entering its number in the designated location on their Proposal.

1. A mandatory pre-bid job site visit was held on July 29, 2026, at 269 Main Street, Weed, CA. The Pre-Bid Sign-In Sheet is attached.
2. Refer to the Contract Documents, pages 1000-1, 3000-2, and 4100-1. Replace street address number "251" with "247" and replace street address number "265" with "259."
3. Refer to the Contract Documents, Technical Specifications, Section 012100 - Measurement and Payment, 1.3. Measurement and Payment Descriptions for Contract Bid Items. Replace 1.3.A with the following:
"A. 247 and 259 Main Street:"
4. Refer to the Plans, Sheets G1.0, S1.0, and S2.0. Replace the existing Sheets G1.0, S1.0, and S2.0 with the attached revised Sheets G1.0, S1.0, and S2.0.
5. The following questions have been asked, followed by the response:
Q: Are the heights and footprints of the basement known? Or are there additional drawings available that show the basement depths?
A: The heights of the basements are not known. At least 8-foot height should be anticipated. There are no additional drawings available.

Q: What specific portions of the advertised work require a Class A General Engineering Contractor license?
A: In addition to fill, compaction, and grading, it is expected that utility work will be part of the scope of work and that a Class A General would be appropriate.

- Q: Given that the predominant scope of work is demolition and foundation removal, what is the basis for not requiring a C-21 Building Moving/Demolition Contractor license as the prime contractor classification?
- A: It has been determined that a Class A license is appropriate.
- Q: Has the Owner or Engineer obtained guidance from CSLB regarding the appropriate contractor classification for this project?
- A: CSLB has been consulted with regarding this classification.
- Q: Will the Owner issue an addendum revising the contractor licensing requirements so that the required license classification properly reflects the advertised demolition scope of work?
- A: This addendum clarifies licensing requirements.
- Q: Which existing walls, party walls, adjoining buildings, foundations, sidewalks, utilities, or other improvements are anticipated by the Owner/Engineer to require sheeting, shoring, or bracing?
- A: Contractor to determine sheeting and shoring required to maintain the stability of adjacent buildings, sidewalks, utilities, structures, and other improvements as to not damage, cause undermining, and/or cause unsafe conditions for workers or the public, or conditions resulting in damage to adjacent property or areas not part of this project.
- Q: Has the Owner performed any structural evaluation identifying walls that must remain in place or be temporarily stabilized during demolition?
- A: It is the responsibility of the Contractor to determine demolition sequencing as part of Contractor means and methods. Any structural evaluation needed to ensure stability and safety shall be the Contractor's responsibility.
- Q: Is Bid Item 4 and Bid Item 8 intended solely for means-and-methods shoring determined by the Contractor, or is there a defined scope of temporary support expected by the Owner?
- A: Bid Item 4 and Bid Item 8 shall include materials, equipment, engineering, and related items as needed to determine and provide shoring, bracing, and/or support of partial structures, open cuts below grade, and protection of utilities, sidewalks, and adjacent properties and structures.

- Q: If no specific shoring locations have been identified, please confirm that the Contractor's bid should include only temporary support deemed necessary by the Contractor's engineer for safe demolition operations.
- A: It is the Contractor's responsibility to determine shoring placement and duration for public and worker safety meeting Cal/OSHA requirements and to prevent movement, settling, or damage of adjacent structures that are to be protected and outside the work area of this project.



Date: August 7, 2026

Jen Collins

Jen Collins, Project Manager

PACE Engineering, Inc.

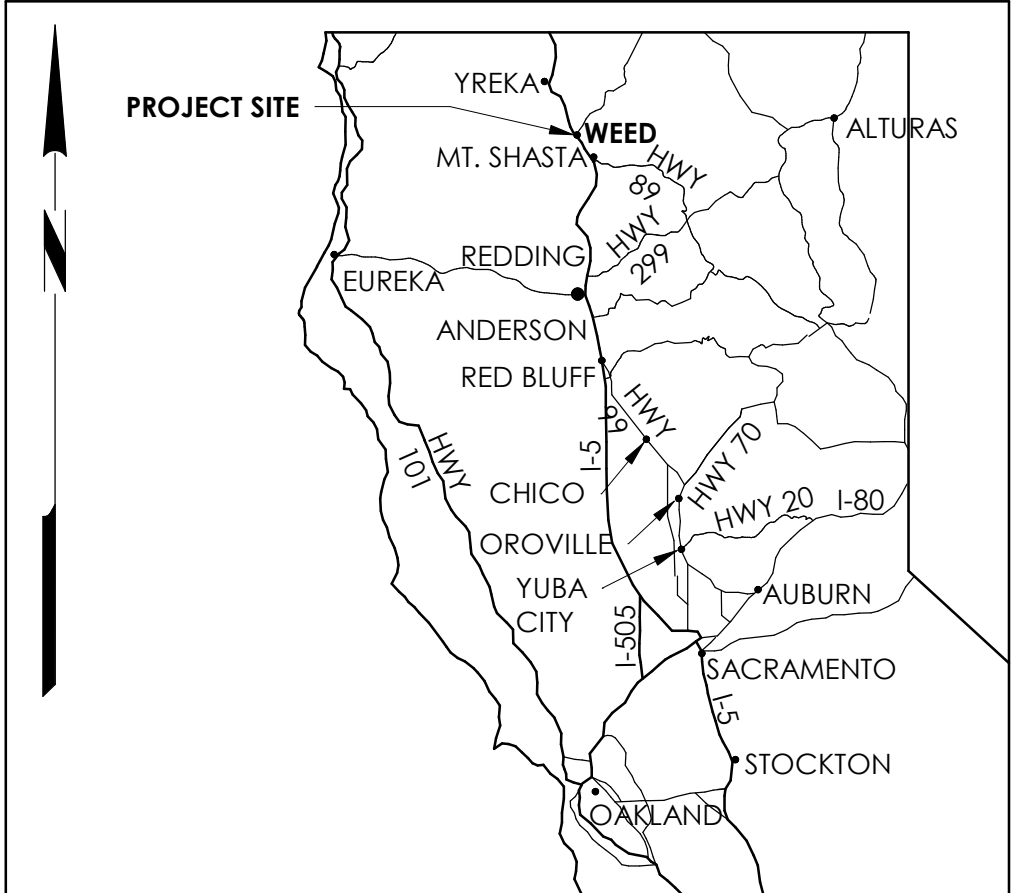
5155 Venture Parkway

Redding, CA 96002

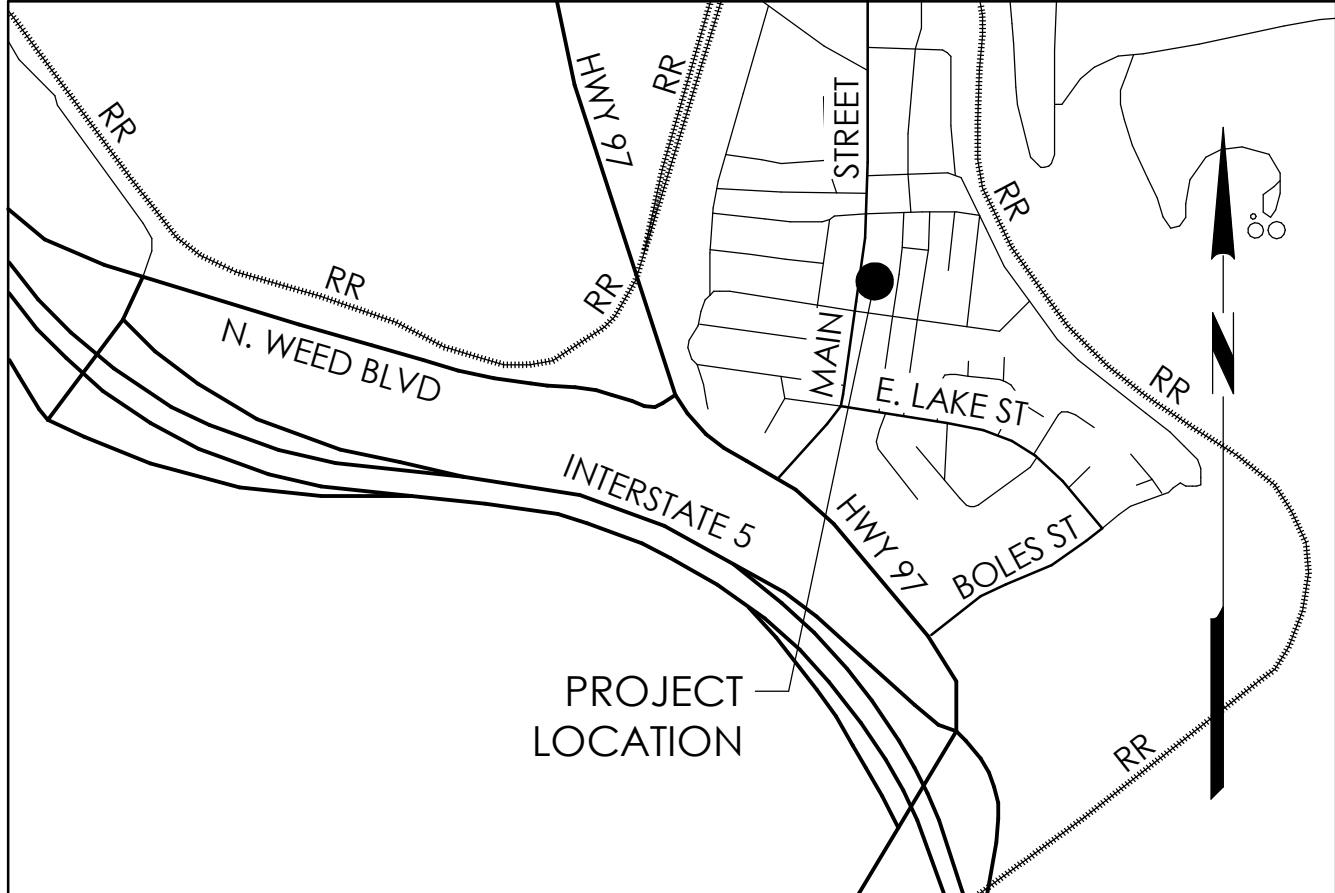
(530) 244-0202

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CITY OF WEED MAIN STREET DEMOLITION PROJECT



VICINITY MAP
N.T.S.



VICINITY MAP

SHEET INDEX		
PAGE NUMBER	SHEET	TITLE
GENERAL		
	G1.0	COVER SHEET
STRUCTURAL		
	S1.0	DEMOLITION PLAN
	S2.0	DETAILS
TOTAL SHEETS: 3		

PROJECT DESCRIPTION

SCOPE OF WORK:
DEMOLITION AND REMOVAL OF FIRE DAMAGED EXISTING BUILDINGS AT THE FOLLOWING ADDRESSES: 247, 259, AND 269 MAIN STREET. EXISTING BUILDING FOOTPRINT TO BE FILLED AND GRADED PER THE TECHNICAL SPECIFICATIONS.



PROJECT INFO

1 SITE:
247, 259 & 269 MAIN STREET
WEED, CA 96094

OWNER:
CITY OF WEED

ENGINEER OF RECORD

PACE ENGINEERING INC
5155 VENTURE PARKWAY
REDDING, CA 96002
530-244-0202

CURRENT CODES & STANDARDS

2025 BUILDING STANDARDS ADMINISTRATION CODE

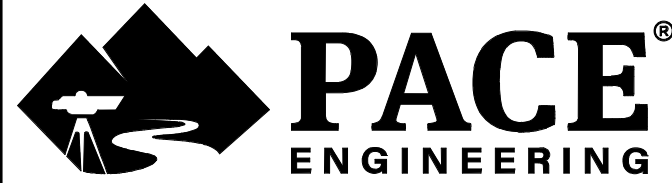
2025 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)

2025 CALIFORNIA EXISTING BUILDING CODE

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ADOPTED ORDINANCES AND BUILDING AND FIRE PREVENTION CODES. REFER TO THESE DRAWINGS FOR A LIST OF KNOWN APPLICABLE CODES. ANY DISCREPANCIES BETWEEN THESE CODES AND THE CONSTRUCTION DOCUMENTS SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSTRUED AS TO PERMIT WORK THAT DOES NOT COMPLY WITH THESE CODES.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER ITEMS AS GRAPHICALLY DEPICTED IN THESE DRAWINGS. DO NOT SCALE DRAWINGS. FIELD VERIFY DIMENSIONS.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK SHOWN ON THE DRAWINGS. IF SIMILAR WORK IS NOT DETAILED IN THE DRAWINGS, WORK SHALL FOLLOW INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS AS ACCEPTABLE TO THE ENGINEER.

AGENCY STAMP



5155 VENTURE PARKWAY
REDDING, CA 96002
PH# 530-244-0202

SIGNED



OWNER

CITY OF WEED

PROJECT

MAIN STREET
DEMOLITION
PROJECT



PROJECT ADDRESS

247, 259 & 269
MAIN STREET
WEED, CA 96094

REVISIONS

NO	DATE	DESCRIPTION
1	8/7/26	ADDENDUM 1

DES JCo	CKD JCo	JOB NO.
DRN JFa	DATE 7/1/2026	0161.117

COVER SHEET

SHEET

G1.0



DEMOLITION PLAN
1" = 10'-0"

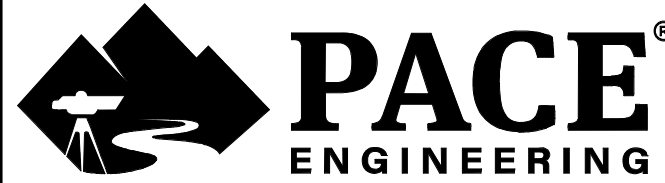
DEMOLITION KEY NOTES:

- 1 REMOVE & DISPOSE OF BUILDING WALLS, FRAMING & CONTENTS COMPLETE
- 2 REMOVE & DISPOSE OF BASEMENT SLAB & WALLS, FOOTINGS, FRAMING & CONTENTS COMPLETE
- 3 PROTECT EXISTING HIGH MAST POLE SIGN, LANDSCAPING, CURB AND ASPHALT PARKING AREA TO REMAIN. BUILDING AND DEMOLITION DEBRIS TO BE REMOVED.
- 4 REMOVE (6) BALCONY POSTS AND FOUNDATIONS IN SIDEWALK. REPAIR AND REPLACE SIDEWALK TO MATCH EXISTING. SEE DETAILS 2/S2.0 & 3/S2.0
- 5 EXISTING CONCRETE SIDEWALK TO REMAIN
- 6 FILL IN (E) BASEMENTS AND ANY VOIDS IN GRADE DUE TO DEMOLITION. FILL SHALL BE PLACED EVEN WITH EXISTING GRADE AND MEET REQUIREMENTS OF TECHNICAL SPECIFICATIONS.

BUILDING SCHEDULE		
STREET NO.	APPROX SQ FT ⁽¹⁾	NO. STORIES ⁽¹⁾
247	1,725 600	2 + BASEMENT 1 + BASEMENT
259	6,250	2 + BASEMENT
269	960	1 + BASEMENT

1. APPROX. SF. SHOWN FOR INFORMATION ONLY. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND EXTENTS OF BUILDINGS AS REQUIRED TO FULLY REMOVE (E) BUILDINGS AND CONTENTS.

AGENCY STAMP



5155 VENTURE PARKWAY
REDDING, CA 96002
PH# 530-244-0202

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MAIN STREET
DEMOLITION
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PROJECT ADDRESS
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REVISIONS

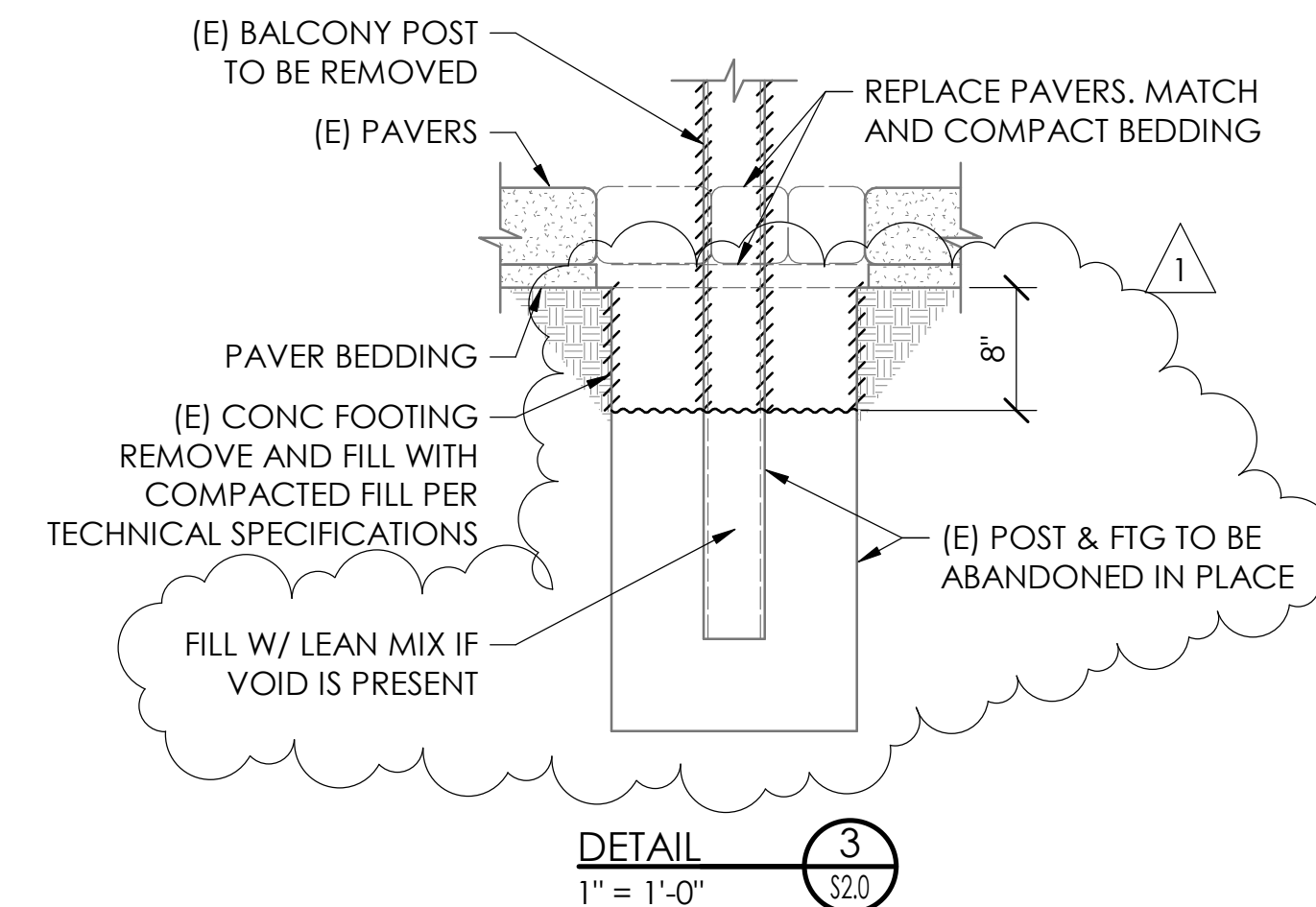
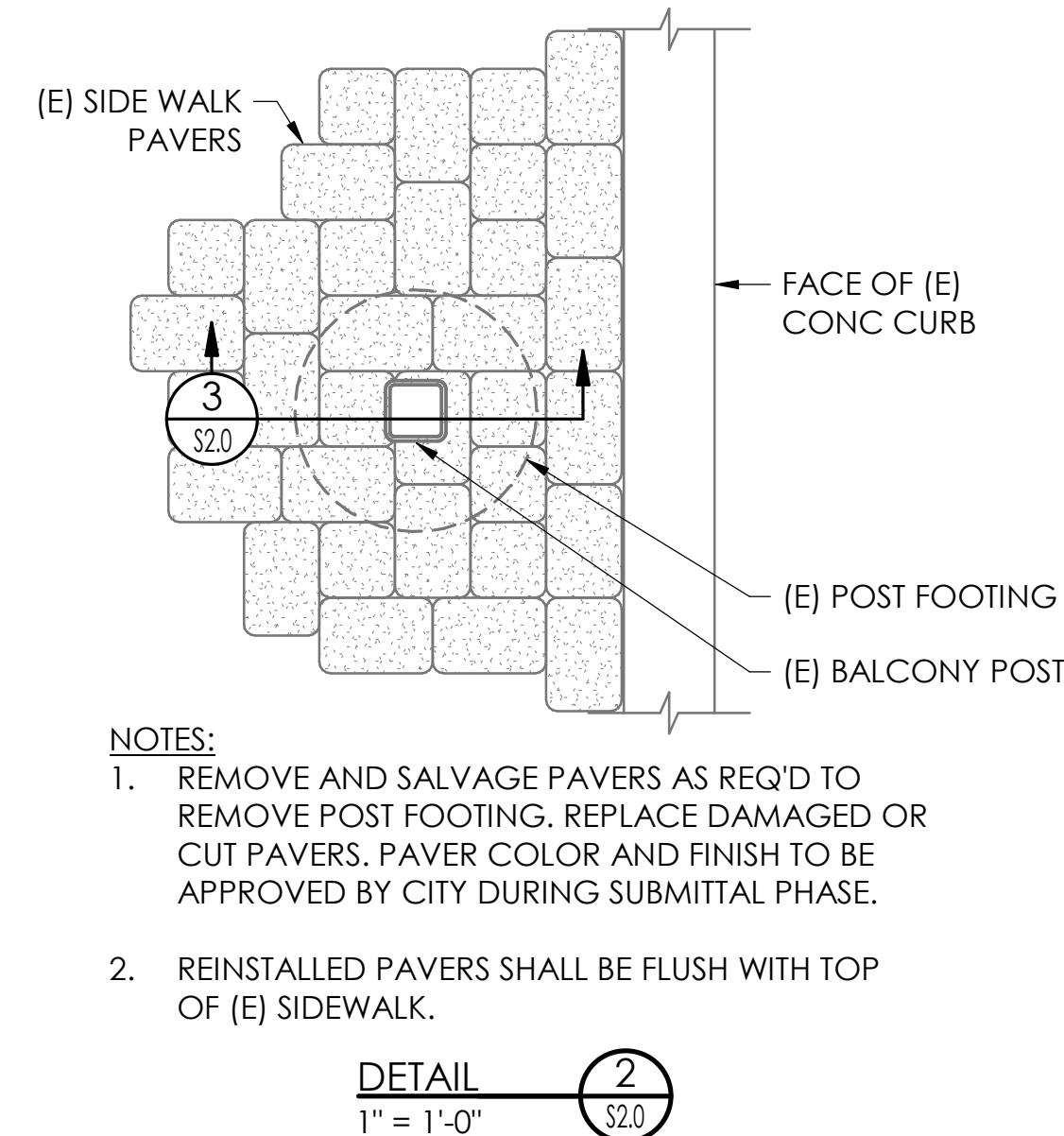
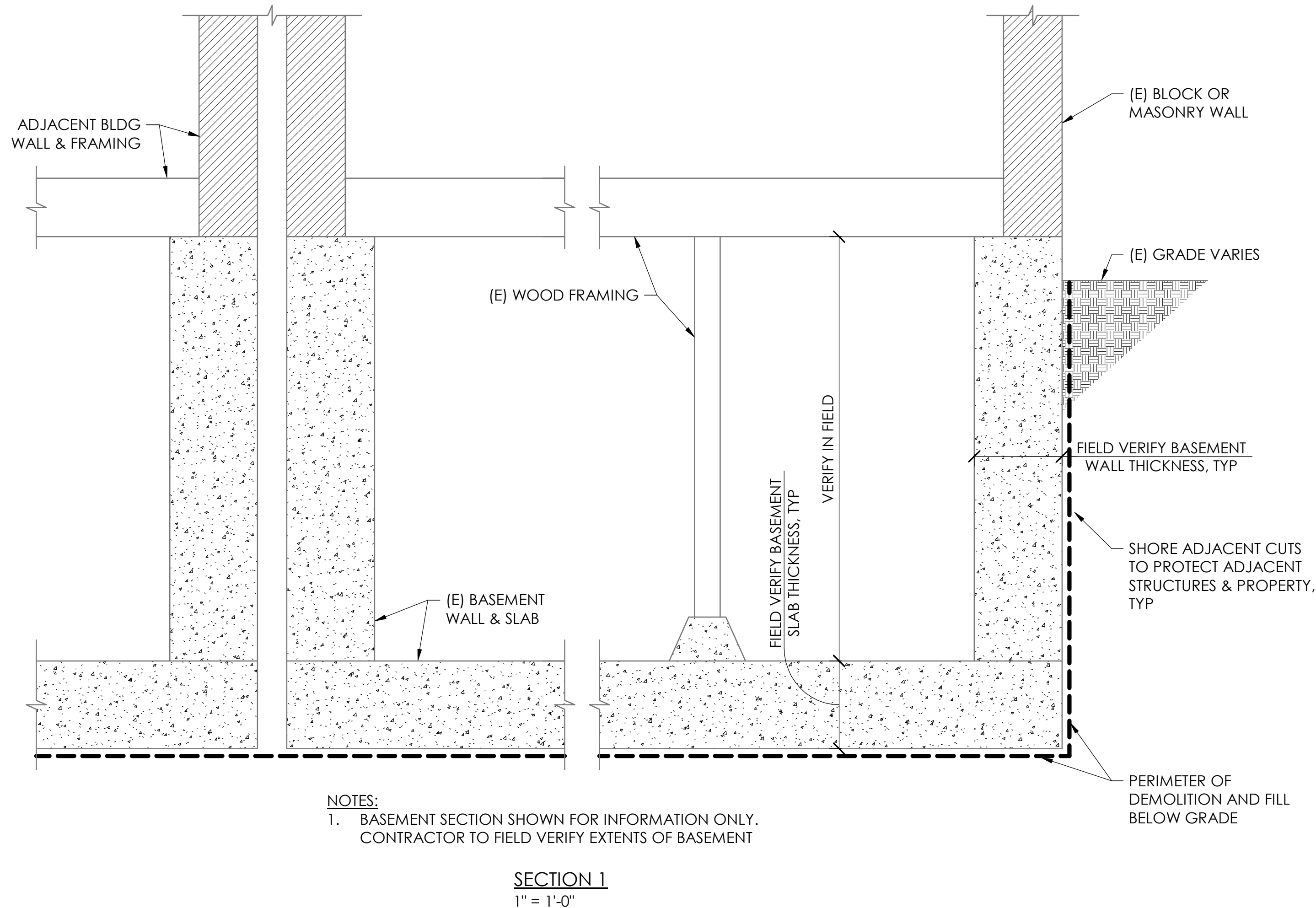
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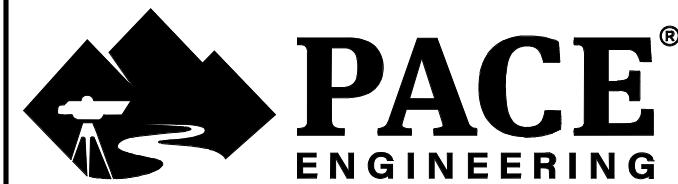
DEMOLITION PLAN

SHEET

S1.0



AGENCY STAMP



5155 VENTURE PARKWAY
REDDING, CA 96002
PH# 530-244-0202

SIGNED 08/06/2026



OWNER
CITY OF WEED

PROJECT
MAIN STREET
DEMOLITION
PROJECT

PROJECT ADDRESS
247, 259 & 269
MAIN STREET
WEED, CA 96094

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DETAILS

SHEET

S2.0