

# FACILITY CONDITION ASSESSMENT



**BUREAU  
VERITAS**

*Prepared for*

## **DLR Group**

1650 Spruce Street, Suite 300  
Riverside, California 92507  
Kevin Fleming



Jersey Elementary  
9400 Jersey Avenue  
Santa Fe Springs, California 90670

### **PREPARED BY:**

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*October 27, 2022*

### **ON SITE DATE:**

*September 30, 2022*

**Bureau Veritas**

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# 1. Executive Summary

## Campus Overview and Assessment Details

General Information	
<b>Property Type</b>	Elementary school campus
<b>Number of Buildings</b>	13
<b>Main Address</b>	9400 Jersey Avenue, Santa Fe Springs, California 90670
<b>Site Developed</b>	1952
<b>Site Area</b>	7.7 acres (estimated)
<b>Parking Spaces</b>	36 total spaces all in open lots; 3 of which are accessible
<b>Outside Occupants / Leased Spaces</b>	None
<b>Date(s) of Visit</b>	September 30, 2022
<b>Management Point of Contact</b>	DLR Group/ Kevin Fleming 951.682.0470 <a href="mailto:kfleming@dlrgroup.com">kfleming@dlrgroup.com</a>
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<b>AssetCalc Link</b>	Full dataset for this assessment can be found at: <a href="https://www.assetcalc.net/">https://www.assetcalc.net/</a>



## Campus Findings and Deficiencies

### Historical Summary

Property was developed as an elementary school in 1952 in a Los Angeles suburb. Modular buildings were added in the mid -1990s to accommodate a new library near the south end of the school. An ADA survey and improvements were made in 2017 throughout the campus.

### Architectural

Structures are typical southern California one-story brick school buildings with flat or slightly pitched modified bituminous roofs with steel framed windows connected by open air hallways. Classroom and building interior areas are mostly finished with aging carpet, painted walls, and drop-down ACT ceilings. Roofs are in poor condition throughout and should be replaced. Leaks have led to many stained ACT panels, and most ACT ceilings should be replaced.

### Mechanical, Electrical, Plumbing and Fire (MEPF)

Air-conditioning to the property is provided by aging roof-top package units. Water is provided by galvanized steel pipes which appear to be in fair condition, while many toilet fixtures have been updated in the last ten years. Electrical services are original to the building and should be upgraded with the next remodel. HVAC units are at end of life and should be replaced with more energy efficient units. The Multipurpose building is currently using temporary HVAC units and proper HVAC should be installed immediately.

### Site

The site consists of grassy sport fields, asphalt parking lots, basketball courts, and paved concrete walkways. There are additional shrubs trees, and small lawns throughout. The site is well cared for and is in fair to good condition throughout.

### Recommended Additional Studies

No additional studies recommended at this time

## Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building’s Facility Condition Index (FCI), which provides a theoretical objective indication of a building’s overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description	
0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI’s have been developed to provide owners the intelligence needed to plan and budget for the “keep-up costs” for their facilities. As such the 3-year, 5-year, and 10-year FCI’s are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI’s ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:

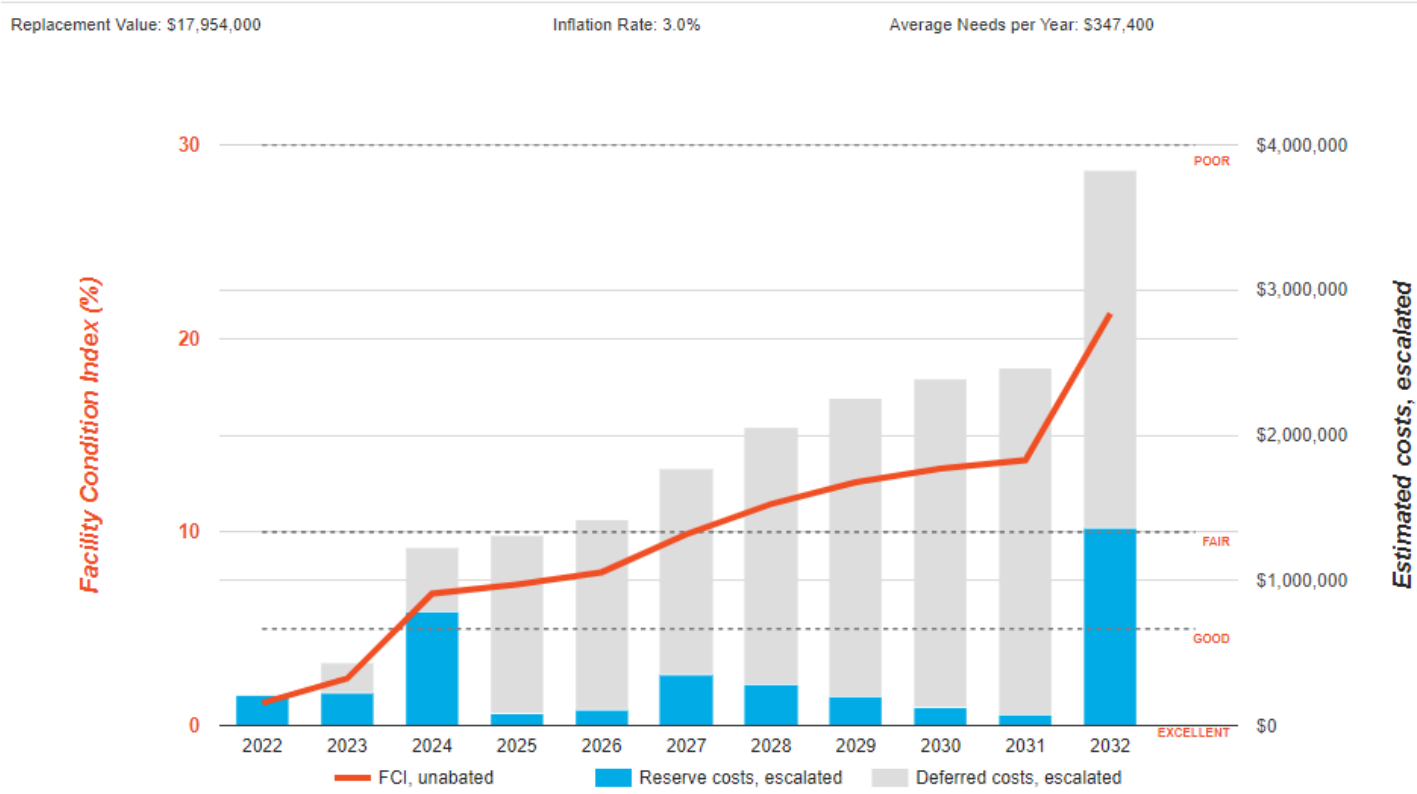


FCI Analysis   Jersey Elementary(1952)		
Replacement Value \$ 17,953,700	Total SF 42,244	Cost/SF \$ 425
	<b>Est Reserve Cost</b>	<b>FCI</b>
Current	\$ 211,400	1.2 %
3-Year	\$ 1,309,400	7.3 %
5-Year	\$ 1,774,500	9.9 %
10-Year	\$ 3,821,100	21.3 %

**Campus Level FCI:**

The vertical bars below represent the year-by-year needs identified for the entire campus. The orange line in the graph below forecasts what would happen to the campus FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year (blue bars) are associated with the values along the right Y axis.

**Needs by Year with Unaddressed FCI Over Time**  
**FCI Analysis: Jersey Elementary**



The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Structure	-	-	-	-	\$2,051	\$2,051
Facade	-	\$48,691	\$58,461	\$61,680	\$2,823,127	\$2,991,959
Roofing	\$124,490	\$671,454	\$3,238	\$62,042	\$201,970	\$1,063,194
Interiors	\$41,887	\$57,813	\$205,960	\$446,230	\$693,413	\$1,445,303
Plumbing	\$1,317	\$1,747	\$39,486	\$69,881	\$458,733	\$571,164
HVAC	\$43,612	\$223,267	\$88,904	\$58,259	\$137,417	\$551,459
Fire Protection	-	-	\$1,524	\$12,517	\$8,565	\$22,606
Electrical	-	-	\$144,086	\$128,157	\$390,967	\$663,210
Fire Alarm & Electronic Systems	-	-	-	\$123,239	-	\$123,239
Equipment & Furnishings	-	-	\$8,054	\$171,228	\$95,914	\$275,196
Special Construction & Demo	-	-	-	\$649,272	\$32,073	\$681,345
Site Pavement	-	\$10,483	-	\$12,153	\$161,271	\$183,907
Site Development	-	-	-	\$246,035	\$183,909	\$429,944
Site Utilities	-	-	-	\$5,902	-	\$5,902
<b>TOTALS (3% inflation)</b>	<b>\$211,400</b>	<b>\$1,013,500</b>	<b>\$549,800</b>	<b>\$2,046,600</b>	<b>\$5,189,500</b>	<b>\$9,010,800</b>

## Immediate Needs

Facility/Building	Total Items	Total Cost
Jersey Elementary / Building 200	2	\$61,500
Jersey Elementary / Building 300	3	\$117,100
Jersey Elementary / Building 400	1	\$21,500
Jersey Elementary / IMC Building	2	\$5,900
Jersey Elementary / Multi-Purpose Room	1	\$4,100
Jersey Elementary / Office	1	\$1,200
<b>Total</b>	<b>10</b>	<b>\$211,300</b>

### Building 200

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4302025	Jersey Elementary / Building 200	Roof	B3010	Roofing, Built-Up, Replace	Poor	Performance/Integrity	\$53,800
4325433	Jersey Elementary / Building 200	Throughout Interior	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$7,700
<b>Total (2 items)</b>							<b>\$61,500</b>

### Building 300

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4301885	Jersey Elementary / Building 300	Roof	B3010	Roofing, Built-Up, Replace	Poor	Performance/Integrity	\$66,100
4301889	Jersey Elementary / Building 300	Throughout Building	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$11,500
4301884	Jersey Elementary / Building 300	Roof	D3050	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON, Replace	Poor	Performance/Integrity	\$39,500
<b>Total (3 items)</b>							<b>\$117,100</b>

### Building 400

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4320995	Jersey Elementary / Building 400	Throughout building	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$21,500
<b>Total (1 items)</b>							<b>\$21,500</b>

IMC Building

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4351076	Jersey Elementary / IMC Building	Roof	B3010	Roofing, Asphalt Shingle, 20-Year Standard, Replace	Poor	Performance/Integrity	\$4,600
4351097	Jersey Elementary / IMC Building	Building exterior	D2010	Drinking Fountain, Wall-Mounted, Single-Level, Replace	Failed	Performance/Integrity	\$1,300
<b>Total (2 items)</b>							<b>\$5,900</b>

Multi-Purpose Room

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4344726	Jersey Elementary / Multi-Purpose Room	Roof	D3030	Evaporative Cooler, 0.33 to 0.50 HP, Replace	Poor	Performance/Integrity	\$4,100
<b>Total (1 items)</b>							<b>\$4,100</b>

Office

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4320953	Jersey Elementary / Office	Throughout building	C2030	Flooring, Vinyl Sheeting, Repair	Poor	Performance/Integrity	\$1,200
<b>Total (1 items)</b>							<b>\$1,200</b>





### Key Findings



#### Roofing in Poor condition.

Asphalt Shingle, 20-Year Standard  
IMC Building Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2022**

Priority Score: **89.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$4,600

\$\$\$\$

Shingles are at end of life - AssetCALC ID: 4351076



#### Roofing in Poor condition.

Built-Up  
Building 200 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2022**

Priority Score: **88.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$53,800

\$\$\$\$

Roof leaks and should be replaced - AssetCALC ID: 4302025



#### Roofing in Poor condition.

Built-Up  
Building 300 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2022**

Priority Score: **88.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$66,100

\$\$\$\$

Roof leaks and should be replaced - AssetCALC ID: 4301885



#### Roofing in Poor condition.

Built-Up  
Building 600 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2023**

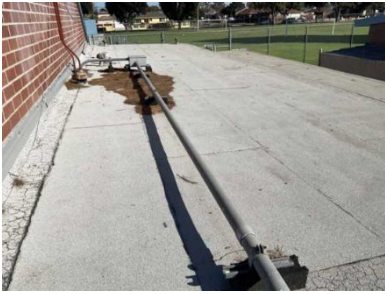
Priority Score: **88.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$86,100

\$\$\$\$

Roof is cracked and leaking. Replacement is recommended - AssetCALC ID: 4350637



**Roofing in Poor condition.**

Built-Up  
IMC Building Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2023**

Priority Score: **88.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$60,000

**\$\$\$\$**

Roof should be replaced due to cracking and leaking. - AssetCALC ID: 4344452



**Roofing in Poor condition.**

Built-Up  
Building 500 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$86,100

**\$\$\$\$**

Roof has signs of leaking and needs to be replaced soon. - AssetCALC ID: 4350442



**Roofing in Poor condition.**

Built-Up  
Office Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

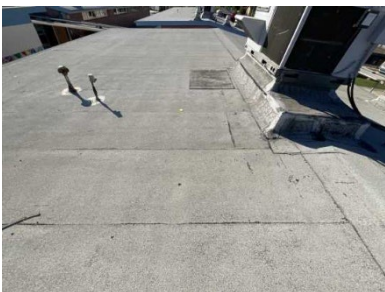
Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$38,400

**\$\$\$\$**

Roof is cracked and wearing. Evidence of leaks present. Roof needs replacement soon. - AssetCALC ID: 4351211



**Roofing in Poor condition.**

Built-Up  
Building 900 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$46,900

**\$\$\$\$**

Roof is wearing and cracking. Will need to be replaced soon. - AssetCALC ID: 4350874



**Roofing in Poor condition.**

Built-Up  
Building 800 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$40,000

**\$\$\$\$**

Roof is deteriorating and cracking. Recommend replacement soon. - AssetCALC ID: 4344286



**Roofing in Poor condition.**

Built-Up  
Building 400 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

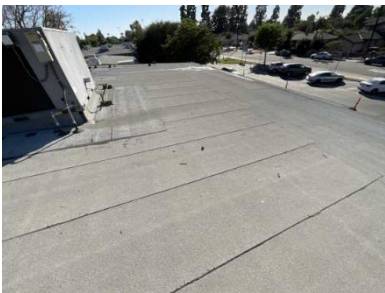
Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$86,100

**\$\$\$\$**

Roof has evidence of leaking. Material is cracked and falling apart. - AssetCALC ID: 4320989



**Roofing in Poor condition.**

Built-Up  
Multi-Purpose Room Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$107,600

**\$\$\$\$**

Roofing is cracking and falling apart. Evidence of roof leaks found. - AssetCALC ID: 4351166



**Roofing in Poor condition.**

Built-Up  
Building 700 Jersey Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2024**

Priority Score: **88.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$86,100

**\$\$\$\$**

Roofing is nearing the end of its life and will need to be replaced soon. - AssetCALC ID: 4350829



### Drinking Fountain in Failed condition.

Wall-Mounted, Single-Level  
IMC Building Jersey Elementary Building exterior

Uniformat Code: D2010  
Recommendation: **Replace in 2022**

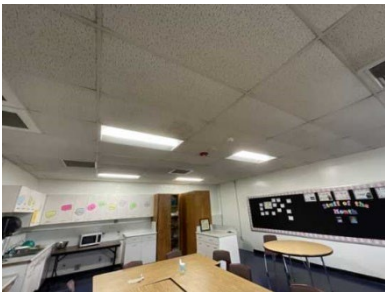
Priority Score: **83.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$1,300

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Drinking fountain does not function - AssetCALC ID: 4351097



### Suspended Ceilings in Poor condition.

Acoustical Tile (ACT)  
Building 300 Jersey Elementary Throughout Building

Uniformat Code: C1070  
Recommendation: **Replace in 2022**

Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$11,500

\$\$\$\$

ACT tiles are discolored and should be replaced - AssetCALC ID: 4301889



### Evaporative Cooler in Poor condition.

0.33 to 0.50 HP  
Multi-Purpose Room Jersey Elementary Roof

Uniformat Code: D3030  
Recommendation: **Replace in 2022**

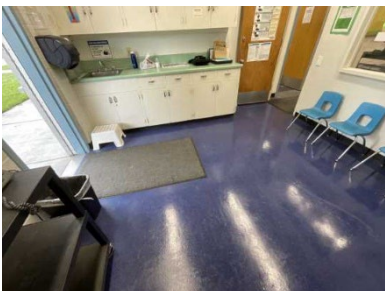
Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$4,100

\$\$\$\$

Item is badly rusted and well past its expected age. - AssetCALC ID: 4344726



### Flooring in Poor condition.

Vinyl Sheetting  
Office Jersey Elementary Throughout building

Uniformat Code: C2030  
Recommendation: **Repair in 2022**

Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Damage to floor is present and needs to be addressed. - AssetCALC ID: 4320953



**Packaged Unit in Poor condition.**

RTU, Pad or Roof-Mounted  
Building 400 Jersey Elementary Roof

Uniformat Code: D3050  
Recommendation: **Replace in 2023**

Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$39,500

\$\$\$\$

Item is passed its useful life and needs to be replaced soon. - AssetCALC ID: 4350414



**Packaged Unit in Poor condition.**

RTU, Pad or Roof-Mounted  
Office Jersey Elementary Roof

Uniformat Code: D3050  
Recommendation: **Replace in 2024**

Priority Score: **81.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$9,900

\$\$\$\$

Item is past its expected useful life and will need to be replaced soon. - AssetCALC ID: 4351214

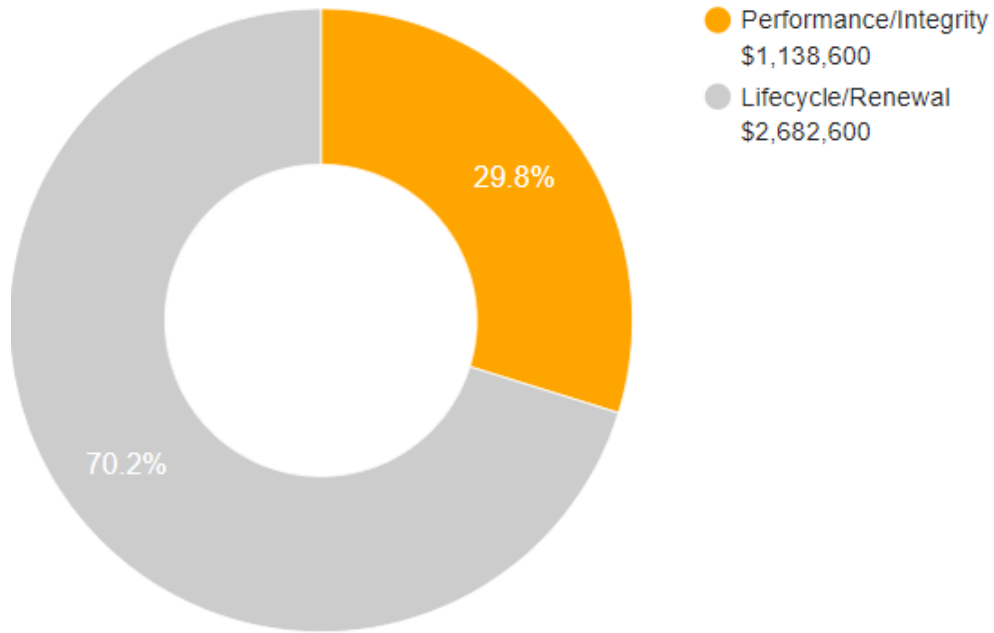
**Plan Types**

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

**Plan Type Descriptions**

<b>Safety</b>	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
<b>Performance/Integrity</b>	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
<b>Accessibility</b>	■	Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
<b>Environmental</b>	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
<b>Retrofit/Adaptation</b>	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
<b>Lifecycle/Renewal</b>	■	Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.

### Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$3,821,200

## 2. Building 200



### Building 200: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	2,700 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Building 200: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	



### 3. Building 300



#### Building 300: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	3,400 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick Floors: Carpet, vinyl sheeting, coted concrete Ceilings: Painted gypsum board and ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Poor</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Building 300: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended Rooftop package units perform poorly and should be replaced	



## 4. Building 400

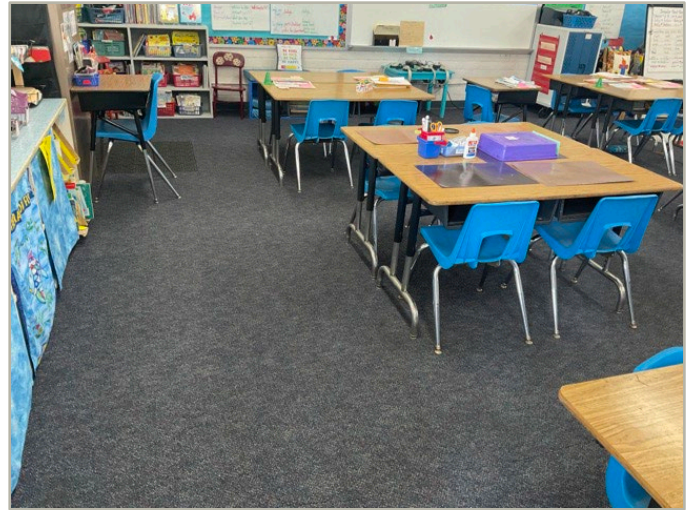


### Building 400: Systems Summary

<b>Constructed</b>	1952	
<b>Building/Group Size</b>	3,600 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, Ceramic Tile Floors: Carpet, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets, sinks, and urinals	Fair
<b>HVAC</b>	Non-Central System: Packaged roof-top units	Poor
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

<b>Building 400: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended Rooftop package units perform poorly and should be replaced	

## 5. Building 500



### Building 500: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	5,200 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick Floors: Carpet Ceilings: ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Sinks <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Poor</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

## Building 500: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Rooftop package units perform poorly and should be replaced	



## 6. Building 600



### Building 600: Systems Summary

<b>Constructed</b>	1952	
<b>Building/Group Size</b>	5,200 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged roof-top units	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

<b>Building 600: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced RTUs are at end of life and should be replaced. Suspended ACT ceiling is aged and discolored. Replacement is recommended	



## 7. Building 700



### Building 700: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	5,200 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet Ceilings: ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Sinks <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units RTU <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

## Building 700: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	



## 8. Building 800



### Building 800: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	2,700 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet Ceilings: ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Building 800: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	

## 9. Building 900



### Building 900: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	4,000 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile Ceilings: Painted gypsum board and ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Building 900: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	

## 10. IMC Building



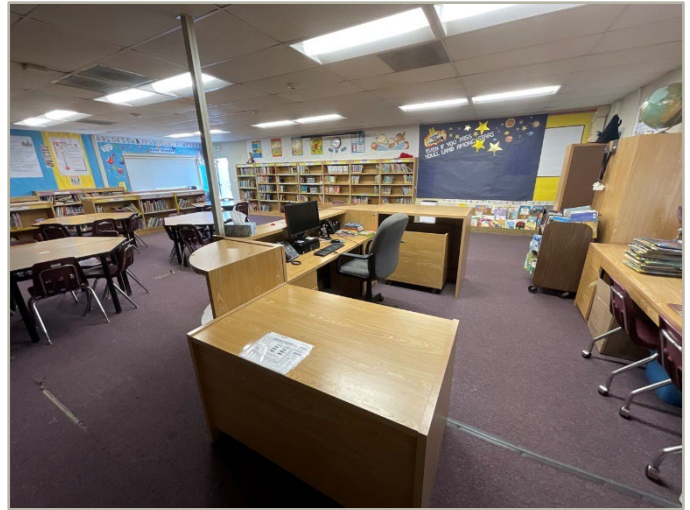
### IMC Building: Systems Summary

<b>Constructed</b>	1952	
<b>Building/Group Size</b>	2,150SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting, vinyl tile, wood, Rubber, brick Ceilings: Painted wood paneling	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: rooftop swamp coolers, suspended unit heaters	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

<b>IMC Building: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Rubber and vinyl sheet flooring has deteriorated and should be replaced Roof leaks and should be replaced Drinking fountain does not function and should be replaced	



## 11. Library Modular Building



### Library Modular Building: Systems Summary

<b>Constructed</b>	1952	
<b>Building/Group Size</b>	1,700 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Modular wood-frame structure	Good
<b>Façade</b>	Primary Wall Finish: Painted wood panels Secondary Wall Finish: Painted wood trim Windows: Aluminum	Fair
<b>Roof</b>	Primary: Flat construction with metal	Poor
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: fabric faced paneling Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged roof-top units	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair

## Library Modular Building: Systems Summary

<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	None observed at time of assessment.	



## 12. Multipurpose Room

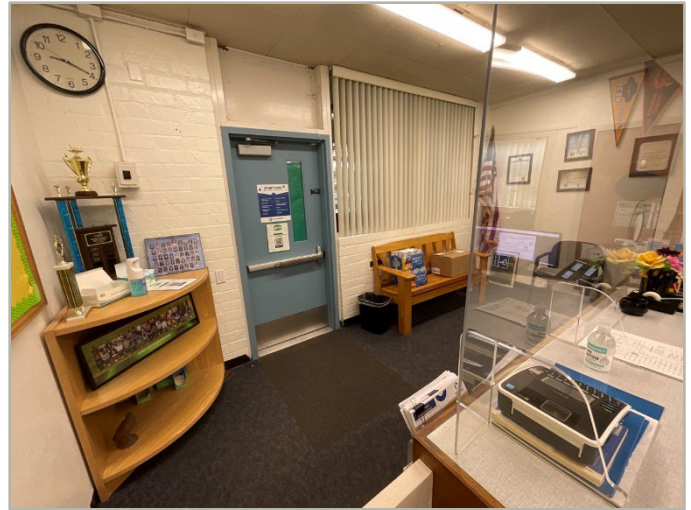


### Multipurpose Room: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	5,700 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Aluminum <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Vinyl tile, LVT, hardwood, ceramic tile, Epoxy coating Ceilings: ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Natural-gas water-heater Fixtures: Toilets and sinks <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers, cook area sprinkler system <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Multipurpose Room: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	Kitchen	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Evaporative coolers are severely rusted and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	

### 13. Office



#### Office: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	1,500 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with built-up finish <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Office: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended	

## 14. Portables



### Portables: Systems Summary

<b>Constructed</b>	1952
<b>Building/Group Size</b>	2,700 SF
<b>Number of Stories</b>	One above grade
<i>System</i>	<i>Description</i> <span style="float: right;"><i>Condition</i></span>
<b>Structure</b>	Portable prefabricated wooden structure <span style="float: right;">Good</span>
<b>Façade</b>	Primary Wall Finish: Wood paneling Secondary Wall Finish: Painted wood trim Windows: Aluminum <span style="float: right;">Fair</span>
<b>Roof</b>	Primary: Flat construction with metal <span style="float: right;">Poor</span>
<b>Interiors</b>	Walls: Fabric covered paneling Floors: Carpet Ceilings: ACT <span style="float: right;">Fair</span>
<b>Elevators</b>	None <span style="float: right;">--</span>
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms <span style="float: right;">Fair</span>
<b>HVAC</b>	Non-Central System: Packaged roof-top units <span style="float: right;">Fair</span>
<b>Fire Suppression</b>	Fire extinguishers only <span style="float: right;">Fair</span>
<b>Electrical</b>	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None <span style="float: right;">Fair</span>

<b>Portables: Systems Summary</b>		
<b>Fire Alarm</b>	Smoke detectors, alarms, and strobes	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	None observed at time of assessment	



## 15. Site Summary



Site Information		
System	Description	Condition
<b>Pavement/Flatwork</b>	Asphalt lots and pavement with adjacent concrete sidewalks and curbs	--
<b>Site Development</b>	Property entrance signage; chain link fencing; Playgrounds and sports fields and courts with site lights Furnished with park benches, picnic tables, trash receptacles	--
<b>Landscaping and Topography</b>	Landscaping features including lawns, trees, bushes, and planters Irrigation present Low to moderate site slopes throughout	--
<b>Utilities</b>	Municipal water and sewer Local utility-provided electric and natural gas	--
<b>Site Lighting</b>	Pole-mounted: HPS Building-mounted: HPS and CFL	Fair
<b>Ancillary Structures</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for the exterior site areas. See Appendix D.	
<b>Key Issues and Findings</b>	None observed at time of assessment.	

## 16. Property Space Use and Observed Areas

### Areas Observed

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

### Key Spaces Not Observed

Areas of note that were either inaccessible or not observed for other reasons are listed here:

- Modular building roofs were not accessed due to lack of safe access

## 17. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the matrices that are included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this particular assessment. A full measured ADA survey would be required to identify any and all specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are not included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The campus was originally constructed in 1952 and some accessibility improvements appear to have been implemented in 2018 following the results of an accessibility study. During the interview process with the client representatives, no complaints or pending litigation associated with potential accessibility issues within the campus was reported. No detailed follow-up accessibility studies are included as recommendations since no major or moderate issues were identified at any of the campus facilities. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

## 18. Purpose and Scope

### Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property’s current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property’s use. Opinions are rendered as to its structural integrity, building system condition and the Property’s overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
<b>Excellent</b>	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Good</b>	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Fair</b>	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system’s condition and/or its estimated remaining useful life.
<b>Poor</b>	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
<b>Failed</b>	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
<b>Not Applicable</b>	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.



## Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

## 19. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

### Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

### Definitions

#### Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

#### Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

## Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

## Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed 'irresponsibly' (too far) into the future.

## 20. Certification

DLR Group (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Jersey Elementary, 9400 Jersey Avenue, Santa Fe Springs, California 90670, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

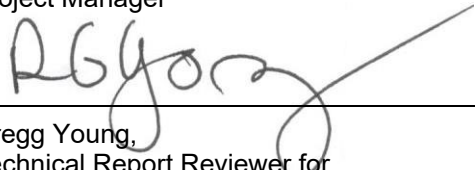
No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

**Prepared by:** Kylan Boyd,  
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**Reviewed by:**




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## 21. Appendices

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- Appendix A: Photographic Record
- Appendix B: Site Plan
- Appendix C: Pre-Survey Questionnaire
- Appendix D: Accessibility Review and Photos
- Appendix E: Component Condition Report
- Appendix F: Replacement Reserves



# Appendix A:

## Photographic Record

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## Photographic Overview



1 - 400 BUILDING FRONT ELEVATION



2 - MODULAR FRONT ELEVATION



3 - CLASSROOM BUILDING FRONT ELEVATION



4 - BUILDING 200 FRONT ELEVATION



5 - OFFICE LEFT ELEVATION



6 - MODULAR LEFT ELEVATION



## Photographic Overview



7 - 200 BUILDING LEFT ELEVATION



8 - CLASSROOM BUILDING REAR ELEVATION



9 - TYPICAL FAÇADE



10 - TYPICAL FACADE



11 - STRUCTURE



12 - IMC STRUCTURE OVERVIEW



## Photographic Overview



13 - TYPICAL ROOF



14 - TYPICAL ROOF



15 - TYPICAL ROOF OVERVIEW



16 - CLASSROOM ENTRANCE



17 - TYPICAL INTERIOR STORAGE ROOM



18 - MOP ROOM



## Photographic Overview



19 - IMC INTERIOR



20 - OFFICE AREA



21 - OFFICE AREA



22 - CLASSROOM



23 - CLASSROOM



24 - CLASSROOM



## Photographic Overview



25 - CLASSROOM



26 - CLASSROOM



27 - LIBRARY



28 - LUNCHROOM



29 - CAFETERIA



30 - LIBRARY



### Photographic Overview



31 - RESTROOM



32 - RESTROOM



33 - MECHANICAL ROOM



34 - ELECTRICAL ROOM



35 - WATER HEATER



36 - ROOFTOP HVAC





## Photographic Overview



37 - KITCHEN AC UNIT



38 - ELECTRICAL SERVICE



39 - INTERIOR LIGHTING



40 - INTERIOR LIGHTING



41 - EXTERIOR LIGHTING



42 - FIRE ALARM PANEL

## Photographic Overview



43 - FIRE ALARM PANEL



44 - ATHLETIC FIELD



45 - ATHLETIC FIELD



46 - SITE



47 - RESTROOM FIXTURES



48 - ACCESSIBLE LIFT



## Appendix B:

### Site Plan

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# Site Plan



**BUREAU  
VERITAS**

## Project Number

159753.22R000-002.017

## Source

Google Earth

## Project Name

Jersey Elementary

## On-Site Date

September 30<sup>th</sup>, 2022



## Appendix C:

### Pre-Survey Questionnaire

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# BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

**Building / Facility Name:** Jersey Elementary

**Name of person completing form:** Brent Griffen

**Title / Association w/ property:** Maintenance and Operations director

**Length of time associated w/ property:** 18

**Date Completed:** 9/30/2022

**Phone Number:**


**Method of Completion:** INTERVIEW - verbally completed during interview

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.


Data Overview		Response		
1	Year(s) constructed	Constructed 1952	Renovated	
2	Building size in SF	42,244	<b>SF</b>	
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade	2022	Painted school site summer 2022.
		Roof		
		Interiors		
		HVAC	2001	Package units on modular building
		Electrical		
		Site Pavement	2022	Various new concrete throughout the campus
		Accessibility	2016	Barrier removal for ADA
4	List other significant capital improvements (focus on recent years; provide approximate date).	2 portables and modular installed 2001. Additions to administration building and Added ball walls, alterations made to MP building.		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Install 3 brand new playgrounds. IMC building roof will be replaced. Remodel the 300 building to add restrooms, etc. remodel is not budgeted.		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Kitchens have poor ventilation, gets real hot.		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?	X				Small roof leaks in general
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		X			
10	Are your elevators unreliable, with frequent service calls?		X			
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?	X				Condensing line leaks on multiple roofs for package units.
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?	X				Kitchen gets hot. IMC is inadequately cooled. Needs a portable AC to keep cool currently.
14	Is the electrical service outdated, undersized, or problematic?	X				Outdated
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	X				700 building draining is poor
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been previously performed? If so, when?	X				
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.	X				Barrier wall removal. Replaced doors and hardware, and redid all the ramps and landings to be ADA compliant.
20	ADA: Has building management reported any accessibility-based complaints or litigation?		X			
21	Are any areas of the property leased to outside occupants?		X			



Signature of Assessor



Signature of POC

## Appendix D:

### Accessibility Review and Photos

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## Visual Survey - 2010 ADA Standards for Accessible Design

**Property Name:** Jersey Elementary

**BV Project Number:** 159753.22R00 - 002.017

Facility History & Interview					
Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?	X			
2	Have any ADA improvements been made to the property since original construction? Describe.	X			Barrier wall removal. Replaced doors and hardware, and redid all the ramps and landings to be ADA compliant.
3	Has building management reported any accessibility-based complaints or litigation?		X		

Jersey Elementary: Accessibility Issues				
Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*
<b>Parking</b>				X
<b>Exterior Accessible Route</b>				X
<b>Building Entrances</b>				X
<b>Interior Accessible Route</b>				X
<b>Elevators</b>				X
<b>Public Restrooms</b>				X
<b>Kitchens/Kitchenettes</b>				X
<b>Playgrounds &amp; Swimming Pools</b>				X
<b>Other</b>				X

*\*be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature*

# Jersey Elementary: Photographic Overview



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE PATH



CURB CUT



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE

# Jersey Elementary: Photographic Overview



ACCESSIBLE INTERIOR PATH



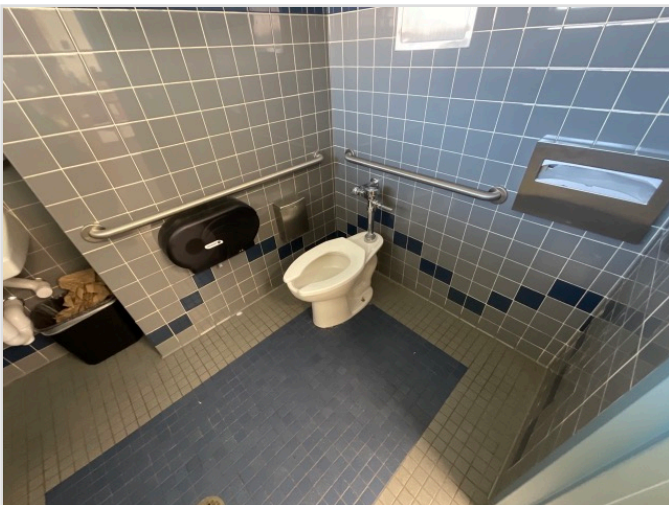
DOOR HARDWARE



LOBBY LOOKING AT CABS (WITH DOORS OPEN)



IN-CAB CONTROLS



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

## Jersey Elementary: Photographic Overview



SINK CLEARANCE



## **Appendix E:** Component Condition Report

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## Component Condition Report | Jersey Elementary / IMC Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Structure</b>						
B1080	Throughout building	Fair	Stairs, Wood, Interior	30 SF	15	4344450
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,200 SF	20	4344480
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4351075
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	3,900 SF	1	4344452
B3010	Roof	Poor	Roofing, Asphalt Shingle, 20-Year Standard	1,100 SF	0	4351076
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	300 LF	10	4351078
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	350 SF	12	4344460
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	10	4351080
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4344451
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	7,200 SF	5	4351082
C2030	Throughout building	Poor	Flooring, Rubber Tile	500 SF	1	4351105
C2030	Throughout building	Fair	Flooring, Brick	150 SF	20	4351086
C2030	Throughout building	Poor	Flooring, Vinyl Sheeting	100 SF	1	4344445
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	100 SF	5	4351088
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4344461
C2030	Throughout building	Fair	Flooring, Wood, Strip	350 SF	15	4351085
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	2,000 SF	5	4351089
C2030	Storage closet	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	150 SF	5	4351083
C2050	Throughout building	Fair	Ceiling Finishes, Wood Paneling	3,000 SF	10	4351090
C2050	Throughout building	Fair	Ceiling Finishes, exposed irregular elements, Prep & Paint	2,000 SF	5	4351091

## Component Condition Report | Jersey Elementary / IMC Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Plumbing</b>						
D2010	Restrooms	Fair	Urinal, Standard	1	15	4344470
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,000 SF	20	4344453
D2010	Building exterior	Failed	Drinking Fountain, Wall-Mounted, Single-Level	1	0	4351097
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4351094
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4344466
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	2	15	4351096
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	8	4351111
<b>HVAC</b>						
D3020	Throughout building	Fair	Unit Heater, Natural Gas [No tag/plate found]	3	5	4351106
D3030	Roof	Good	Evaporative Cooler, 0.33 to 0.50 HP [No tag/plate found]	1	8	4344479
D3030	Roof	Fair	Evaporative Cooler, 0.33 to 0.50 HP, 5000 CFM [No tag/plate found]	1	2	4351107
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	1	5	4351098
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	3	8	4344472
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	5	4351109
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,000 SF	20	4351100
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	5	15	4344444
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	4,000 SF	15	4344474
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	4,000 SF	10	4351103
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry Economy	60 LF	10	4344468

## Component Condition Report | Jersey Elementary / Building 200

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,700 SF	25	4302014
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	5	4302023
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	10	18	4302026
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	3,500 SF	0	4302025
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	300 LF	3	4302007
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	800 SF	10	4302011
<b>Interiors</b>						
C1030	Building Exterior	Fair	Interior Door, Steel, Standard	2	22	4302017
C1070	Throughout Interior	Poor	Suspended Ceilings, Acoustical Tile (ACT)	2,000 SF	0	4325433
C2010	Throughout Interior	Fair	Wall Finishes, Ceramic Tile	750 SF	15	4302003
C2010	Throughout Interior	Fair	Wall Finishes, any surface, Prep & Paint	5,500 SF	4	4302012
C2030	Throughout Interior	Fair	Flooring, Ceramic Tile	200 SF	13	4302005
C2030	Throughout Interior	Fair	Flooring, Vinyl Sheeting	300 SF	5	4326188
C2030	Throughout Interior	Fair	Flooring, Carpet, Commercial Standard	2,000 SF	3	4302020
C2050	Throughout Interior	Fair	Ceiling Finishes, any flat surface, Prep & Paint	700 SF	5	4302021
<b>Plumbing</b>						
D2010	Throughout Interior	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,700 SF	16	4302000
D2010	Restroom	Fair	Sink/Lavatory, Wall-Hung, Steel	2	17	4302016
D2010	Restroom	Fair	Toilet, Commercial Water Closet	4	25	4302010
D2010	Throughout Interior	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	4	5	4302015
D2010	Mechanical closet	Fair	Water Heater, Electric, Instant Hot	1	8	4325609
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	2	4302013
<b>HVAC</b>						



### Component Condition Report | Jersey Elementary / Building 200

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Roof	Fair	Packaged Unit, RTU, Roof-Mounted, 4 TON	2	2	4302024
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 24" Damper, 2001 to 5000 CFM	2	3	4302001
<b>Fire Protection</b>						
D4030	Throughout Interior	Fair	Fire Extinguisher, Wet Chemical/CO2	2	5	4302002
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 120/208 V, 200 AMP	3	15	4302008
D5030	Throughout Interior	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,700 SF	21	4302022
D5040	Throughout Interior	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,700 SF	6	4302009
D5040	Building Exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	8	15	4302018
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout Interior	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	2,700 SF	7	4302019
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout Interior	Fair	Casework, Cabinetry, Standard	10 LF	3	4325608

### Component Condition Report | Jersey Elementary / Building 300

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	4,000 SF	25	4301904
B2010	Building Exterior	Fair	Exterior trim, any painted surface, Prep & Paint	600 SF	5	4326805
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	2	4301897
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	30	4301903
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,300 SF	0	4301885
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	250 LF	6	4326804
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	900 SF	10	4301907

## Component Condition Report | Jersey Elementary / Building 300

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Interiors</b>						
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	2	21	4301906
C1070	Throughout Building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	3,000 SF	0	4301889
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	7,000 SF	5	4301892
C2030	Throughout Interior	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	200 SF	5	4301908
C2030	Throughout Building	Good	Flooring, Carpet, Commercial Standard	3,000 SF	7	4301899
C2030	Throughout Interior	Good	Flooring, Vinyl Sheeting	720 SF	11	4301894
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	400 SF	5	4326803
<b>Plumbing</b>						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,400 SF	5	4301902
D2010	Restroom	Fair	Urinal, Standard	1	14	4301895
D2010	Throughout Building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	14	4301905
D2010	Throughout Building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301900
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	9	4326829
D2010	Throughout Building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	3	4301893
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON	4	0	4301884
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM	4	4	4301891
<b>Fire Protection</b>						
D4030	Throughout Interior	Fair	Fire Extinguisher, Wet Chemical/CO2	2	5	4301886
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP	3	10	4301887
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,200 SF	22	4301890
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,400 SF	6	4301896
D5040	Building Exterior	Fair	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	8	10	4301883

### Component Condition Report | Jersey Elementary / Building 300

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	3,400 SF	8	4301888
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout Building	Fair	Casework, Cabinetry Economy	30 LF	6	4301909

### Component Condition Report | Jersey Elementary / Building 400

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350396
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4320999
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	8	30	4320994
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	2	4320989
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	10	4320993
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	22	4350401
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	5,600 SF	0	4320995
C1090		Fair	Toilet Partitions, Plastic/Laminate	1	10	4350395
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	6,500 SF	6	4350405
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4321000
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,300 SF	6	4320979
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4320973
<b>Plumbing</b>						
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4350409
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4320975

## Component Condition Report | Jersey Elementary / Building 400

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4320983
D2010	Restrooms	Good	Urinal, Standard	3	20	4350411
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	8	4320980
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	20	4320988
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	1	4350414
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	5	4350415
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper [No tag/plate found]	4	5	4320976
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350417
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	3	4350418
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	20	4350419
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350420
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	10	4350421
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4320986

## Component Condition Report | Jersey Elementary / Building 500

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350434
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	10	4350435
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4350436
<b>Roofing</b>						

## Component Condition Report | Jersey Elementary / Building 500

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	2	4350442
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	13	4350426
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	10	4350443
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	8	4350437
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	5	4350444
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,600 SF	6	4350438
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	3	4350427
<b>Plumbing</b>						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	4	10	4350429
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	10	4350428
D2010	Throughout building	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	4350445
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4350439
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	5	4350448
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350430
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	5	4350446
D5020	Electrical room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4350440
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	15	4350447
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350441
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350431
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350432

## Component Condition Report | Jersey Elementary / Building 500

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	10 LF	6	4350433

## Component Condition Report | Jersey Elementary / Building 600

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350624
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	12	4321031
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4321045
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	1	4350637
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	2,000 SF	15	4350617
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4350627
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	1	4321029
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	5	4350632
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	25	4321026
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4321046
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,300 SF	6	4350634
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	5	4350586
<b>Plumbing</b>						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4321047
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4350618
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4321036
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	7	4321052

## Component Condition Report | Jersey Elementary / Building 600

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	15	4321027
D2010	Restrooms	Fair	Urinal, Standard	3	15	4321043
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4321038
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	7	4350635
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	6	7	4321025
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350631
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	4	5	4321048
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	15	4321039
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350636
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4321035
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350638

## Component Condition Report | Jersey Elementary / Building 700

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	25	4350843
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4350837
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4350840
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	2	4350829
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	12	4350839

## Component Condition Report | Jersey Elementary / Building 700

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4321074
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	8	4321061
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	6,500 SF	6	4350849
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,600 SF	6	4321063
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	6	4350844
<b>Plumbing</b>						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4321068
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	20	4321071
D2010	Electrical room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	7	4321062
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4350836
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	4	6	4321073
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	7	4321057
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	4	7	4350834
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	20	4350835
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350833
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	1	15	4321059
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350831
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	40 LF	15	4350832



## Component Condition Report | Jersey Elementary / Building 800

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,900 SF	20	4344278
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4344295
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4344293
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	2,600 SF	2	4344286
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	800 SF	12	4350222
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4344288
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, ACM Abatement & Replacement w/ ACT	1,800 SF	10	4350224
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	3,250 SF	5	4344297
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,800 SF	3	4344299
<b>Plumbing</b>						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4350228
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,800 SF	20	4344296
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	2	4350229
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	1	8	4344279
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	3	7	4344280
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	3	4344294
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,800 SF	20	4344281
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,800 SF	15	4350235
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350234

## Component Condition Report | Jersey Elementary / Building 800

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,800 SF	10	4344282
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	50 LF	10	4350237

## Component Condition Report | Jersey Elementary / Building 900

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,100 SF	20	4350881
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4344315
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	30	4350867
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	3,050 SF	2	4350874
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	900 SF	12	4350860
<b>Interiors</b>						
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	2,150 SF	1	4350862
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	3,850 SF	5	4350877
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	32	4344301
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,850 SF	5	4350872
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4350859
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	900 SF	5	4350883
<b>Plumbing</b>						
D2010	Restrooms	Fair	Urinal, Standard	3	15	4350875
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	8	4350878
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,150 SF	20	4350870

## Component Condition Report | Jersey Elementary / Building 900

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4350880
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	5	15	4350882
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4350873
<b>HVAC</b>						
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	20	4350868
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	2	5	4344320
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	8	4350865
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	1	5	4350863
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,150 SF	20	4344313
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350879
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,150 SF	10	4344304
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,150 SF	10	4344308
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	50 LF	10	4350866

## Component Condition Report | Jersey Elementary / Library Modular Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Wood Siding	1,700 SF	15	4351115
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	4	15	4326878
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	2	35	4351117
<b>Roofing</b>						

## Component Condition Report | Jersey Elementary / Library Modular Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3010	Roof	Fair	Roofing, Metal	2,300 SF	20	4326877
B3080	Roof	Good	Soffit, Wood	600 SF	12	4351119
<b>Interiors</b>						
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,700 SF	9	4351120
C2010	Throughout building	Fair	Wall Finishes, Laminated Paneling (FRP)	2,300 SF	10	4351121
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,700 SF	4	4351122
<b>Plumbing</b>						
D2010	Building exterior	Fair	Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures)	1,700 SF	20	4326876
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	8	4351132
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	10	4326881
<b>HVAC</b>						
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	10	4351125
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,700 SF	20	4351126
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,700 SF	15	4326879
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,700 SF	10	4351128
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	10 LF	10	4351114

## Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	5,000 SF	20	4344763
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	800 SF	4	4351181

## Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	20	15	4344748
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4344736
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	7,000 SF	2	4351166
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	800 SF	10	4351151
<b>Interiors</b>						
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	12	25	4344754
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	5,700 SF	2	4351173
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	450 SF	30	4351185
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	10,250 SF	6	4344771
C2030	Throughout building	Good	Flooring, Luxury Vinyl Tile (LVT)	150 SF	10	4344740
C2030	Stage area	Fair	Flooring, Wood, Strip, Refinish	700 SF	5	4344769
C2030	Restrooms	Good	Flooring, Ceramic Tile	220 SF	25	4344735
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	3,180 SF	8	4351154
C2030	Kitchen	Good	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	1,600 SF	6	4344758
<b>Plumbing</b>						
D2010	Kitchen	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	1	15	4344732
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	3	15	4344744
D2010	Kitchen	Fair	Sink/Lavatory, Commercial Kitchen, 3-Bowl	3	15	4351177
D2010	Kitchen	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	10	4344761
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	7	4351184
D2010	Utility closet	Fair	Water Heater, Gas, Residential [No tag/plate found ]	1	8	4344731
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	3	15	4351148
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,700 SF	20	4351146
<b>HVAC</b>						

## Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3030	Building exterior	Good	Split System, Condensing Unit/Heat Pump [No tag/plate found]	1	11	4344722
D3030	Roof	Poor	Evaporative Cooler, 0.33 to 0.50 HP [No tag/plate found]	1	0	4344726
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found ]	2	4	4344739
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	4	13	4344738
D3060	Throughout building	Good	Supplemental Components, Air Curtain, 5' Wide Non-Heated [No tag/plate found]	2	12	4344756
<b>Fire Protection</b>						
D4010	Kitchen	Fair	Fire Suppression System, Commercial Kitchen, per LF of Hood	13 LF	10	4351164
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	4	8	4344764
D4030	Kitchen	Good	Fire Extinguisher, Wet Chemical/CO2	1	6	4344734
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 400 AMP [No tag/plate found]	4	5	4351178
D5020	Electrical room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found ]	1	15	4351169
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,700 SF	20	4344742
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	5,700 SF	15	4344745
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	5	15	4351159
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	5,700 SF	10	4344724
<b>Equipment &amp; Furnishings</b>						
E1030	Kitchen	Good	Foodservice Equipment, Tilting Skillet [No tag/plate found]	1	15	4344737
E1030	Kitchen	Good	Foodservice Equipment, Freezer, 3-Door Reach-In [No tag/plate found]	2	10	4351172
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells [No tag/plate found]	2	8	4344721
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	8	4351186
E1030	Kitchen	Good	Foodservice Equipment, Refrigerator, 3-Door Reach-In [No tag/plate found ]	1	10	4351162
E1030	Kitchen	Good	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle [No tag/plate found]	1	9	4344753
E1030	Kitchen	Good	Foodservice Equipment, Convection Oven, Double [No tag/plate found]	2	6	4344733

### Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030	Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF [No tag/plate found]	1	9	4351188
E1030	Kitchen	Good	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels [No tag/plate found]	3	9	4351152
E1070	Stage area	Good	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	250 SF	10	4351168

### Component Condition Report | Jersey Elementary / Office

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,680 SF	15	4320962
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	13	15	4320957
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	6	30	4320965
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	2,500 SF	2	4351211
B3080	Roof	Good	Soffit, Gypsum Board	1,000 SF	12	4351196
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	7	23	4320969
C1070	Throughout building	Poor	Suspended Ceilings, Hard Tile, Replacement w/ ACT	1,500 SF	1	4351210
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	2,700 SF	5	4351215
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	200 SF	30	4351205
C2010	Janitor closet	Fair	Wall Finishes, Laminated Paneling (FRP)	80 SF	15	4351206
C2030	Restrooms	Fair	Flooring, Ceramic Tile	60 SF	20	4320958
C2030	Throughout building	Poor	Flooring, Vinyl Sheeting, Repair	150 SF	0	4320953
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	4351209
<b>Plumbing</b>						
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	4320960
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	15	4351194

## Component Condition Report | Jersey Elementary / Office

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	15	4351197
D2010	Janitor closet	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	10	4351201
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	1	2	4351214
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4320956
<b>Electrical</b>						
D5020	Electrical room	Fair	Switchboard, 120/208 V, 400 AMP [No tag/plate found]	1	4	4341548
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,500 SF	20	4351218
D5040	Throughout building	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement	7	15	4320967
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,500 SF	15	4320955
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Electrical room	Good	Fire Alarm Panel, Multiplex [No tag/plate found]	1	10	4320968
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,500 SF	10	4351219
<b>Equipment &amp; Furnishings</b>						
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	20 LF	5	4351220

## Component Condition Report | Jersey Elementary / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Plumbing</b>						
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	6	4351604
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	8	4351602
D2010	Site	Fair	Pump, Circulation/Booster, Domestic Water [No tag/plate found]	1	3	4351601
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	6	4326822
<b>Electrical</b>						



## Component Condition Report | Jersey Elementary / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Site	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	8	4351605
D5020	Site	Fair	Supplemental Components, Circuit Breaker/Disconnect	1	5	4351606
D5030	Site	Fair	Motor, AHU or Pump [No tag/plate found]	1	9	4326827
<b>Special Construction &amp; Demo</b>						
F1020	Site	Fair	Shade structure, Wood or Metal-Framed, Basic/Minimal	750 SF	15	4326806
<b>Pedestrian Plazas &amp; Walkways</b>						
G2020	Site	Good	Parking Lots, Pavement, Asphalt, Mill & Overlay	20,000 SF	18	4351610
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	20,000 SF	2	4351609
G2030	Site	Good	Sidewalk, Concrete, Large Areas	15,000 SF	40	4342089
<b>Athletic, Recreational &amp; Playfield Areas</b>						
G2050	Site	Fair	Playfield Surfaces, Chips Rubber, 3" Depth	8,000 SF	9	4351618
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	8	7	4326824
G2050	Site	Fair	Play Structure, Multipurpose, Large	1	10	4351615
G2050	Site	Good	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	20,000 SF	15	4351614
G2050	Site	Fair	Play Structure, Multipurpose, Small	1	10	4326819
G2050	Site	Fair	Play Structure, Multipurpose, Medium	1	10	4326816
G2050	Site	Fair	Sports Apparatus, Soccer, Regulation Goal	2	10	4326826
<b>Sitework</b>						
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 8'	1,100 LF	20	4326823
G2060	Site	Fair	Flagpole, Metal	1	15	4351621
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 4'	150 LF	20	4326821
G4050	Site	Fair	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, Replace/Install	1	10	4326820

## Component Condition Report | Jersey Elementary / Portables

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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## Component Condition Report | Jersey Elementary / Portables

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Special Construction &amp; Demo</b>						
F1020	Site	Fair	Ancillary Building, Classroom/Office Module, Basic/Portable	2,200 SF	10	4301868

## Appendix F: Replacement Reserves

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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
G2050	Site	4326824	Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	18	7	8	EA	\$10,431.00	\$83,448								\$83,448														\$83,448
G2050	Site	4326826	Sports Apparatus, Soccer, Regulation Goal, Replace	20	10	10	2	EA	\$2,745.00	\$5,490											\$5,490											\$5,490
G2050	Site	4351614	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	10	15	20000	SF	\$3.84	\$76,860															\$76,860							\$76,860
G2050	Site	4351618	Playfield Surfaces, Chips Rubber, 3" Depth, Replace	15	6	9	8000	SF	\$3.84	\$30,744																						\$30,744
G2050	Site	4351615	Play Structure, Multipurpose, Large, Replace	20	10	10	1	EA	\$38,430.00	\$38,430																						\$38,430
G2050	Site	4326819	Play Structure, Multipurpose, Small, Replace	20	10	10	1	EA	\$10,980.00	\$10,980												\$10,980										\$10,980
G2050	Site	4326816	Play Structure, Multipurpose, Medium, Replace	20	10	10	1	EA	\$21,960.00	\$21,960												\$21,960										\$21,960
G2060	Site	4326823	Fences & Gates, Fence, Chain Link 8", Replace	40	20	20	1100	LF	\$27.45	\$30,195																						\$30,195
G2060	Site	4326821	Fences & Gates, Fence, Chain Link 4", Replace	40	20	20	150	LF	\$19.76	\$2,965																						\$2,965
G2060	Site	4351621	Flagpole, Metal, Replace	30	15	15	1	EA	\$2,745.00	\$2,745															\$2,745							\$2,745
G4050	Site	4326820	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, Replace/Install	20	10	10	1	EA	\$4,392.00	\$4,392																						\$4,392
<b>Totals, Unescalated</b>											\$0	\$0	\$9,882	\$7,466	\$0	\$3,514	\$7,027	\$93,330	\$16,690	\$33,599	\$81,252	\$0	\$9,882	\$0	\$0	\$100,193	\$0	\$9,882	\$76,860	\$0	\$33,160	\$482,736
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$0	\$0	\$10,484	\$8,159	\$0	\$4,073	\$8,391	\$114,784	\$21,142	\$43,839	\$109,196	\$0	\$14,089	\$0	\$0	\$156,097	\$0	\$16,333	\$130,849	\$0	\$59,890	\$697,326