FACILITY CONDITION ASSESSMENT



Prepared for

DLR Group 1650 Spruce Street, Suite 300 Riverside, California 92507 Kevin Fleming



Jersey Elementary 9400 Jersey Avenue Santa Fe Springs, California 90670

PREPARED BY:

Bureau Veritas 10461 Mill Run Circle, Suite 1100 Owings Mills, Maryland 21117 800.733.0660 www.us.bureauveritas.com

BV CONTACT:

Gregg Young Program Manager 800.733.0660 Gregg.young@bvna.com

BV PROJECT #:

159753.22R000-002.017

DATE OF REPORT:

October 27, 2022

ON SITE DATE:

September 30, 2022

TABLE OF CONTENTS

1.	Executive Summary	. 1
	Campus Overview and Assessment Details	. 1
	Campus Findings and Deficiencies	. 2
	Facility Condition Index (FCI)	. 2
	Immediate Needs	. 5
	Key Findings	
	Plan Types	
2.	Building 200	
3.	Building 300	
4.	Building 400	17
5.	Building 500	19
6.	Building 600	21
7.	Building 700	23
8.	Building 800	25
9.	Building 900	27
10.	IMC Building	
11.	Library Modular Building	31
	Multipurpose Room	
	Office	
	Portables	
15.	Site Summary	39
	Property Space Use and Observed Areas	
	ADA Accessibility	
	Purpose and Scope	
	Opinions of Probable Costs	
	Methodology	
	Definitions	
20.	Certification	
	Appendices	



1. Executive Summary

Campus Overview and Assessment Details

General Information	
Property Type	Elementary school campus
Number of Buildings	13
Main Address	9400 Jersey Avenue, Santa Fe Springs, California 90670
Site Developed	1952
Site Area	7.7 acres (estimated)
Parking Spaces	36 total spaces all in open lots; 3 of which are accessible
Outside Occupants / Leased Spaces	None
Date(s) of Visit	September 30, 2022
Management Point of Contact	DLR Group/ Kevin Fleming 951.682.0470 kfleming@dlrgroup.com
On-site Point of Contact (POC)	Brent J. Griffen
Assessment and Report Prepared By	Kylan Boyd
Reviewed By	Gregg Young Program Manager Gregg.young@bureauveritas.com 800.733.0660
AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/



Campus Findings and Deficiencies

Historical Summary

Property was developed as an elementary school in 1952 in a Los Angeles suburb. Modular buildings were added in the mid -1990s to accommodate a new library near the south end of the school. An ADA survey and improvements were made in 2017 throughout the campus.

Architectural

Structures are typical southern California one-story brick school buildings with flat or slightly pitched modified bituminous roofs with steel framed windows connected by open air hallways. Classroom and building interior areas are mostly finished with aging carpet, painted walls, and drop-down ACT ceilings. Roofs are in poor condition throughout and should be replaced. Leaks have led to many stained ACT panels, and most ACT ceilings should be replaced.

Mechanical, Electrical, Plumbing and Fire (MEPF)

Air-conditioning to the property is provided by aging roof-top package units. Water is provided by galvanized steel pipes which appear to be in fair condition, while many toilet fixtures have been updated in the last ten years. Electrical services are original to the building and should be upgraded with the next remodel. HVAC units are at end of life and should be replaced with more energy efficient units. The Multipurpose building is currently using temporary HVAC units and proper HVAC should be installed immediately.

Site

The site consists of grassy sport fields, asphalt parking lots, basketball courts, and paved concrete walkways. There are additional shrubs trees, and small lawns throughout. The site is well cared for and is in fair to good condition throughout.

Recommended Additional Studies

No additional studies recommended at this time

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building's Facility Condition Index (FCI), which provides a theoretical objective indication of a building's overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description						
0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.					
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.					
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.					
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.					

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being overanalyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:



FCI Analysis Jersey Elementary(1952)							
Replacement Value \$ 17,953,700	Total SF 42,244	Cost/SF \$ 425					
		Est Reserve Cost	FCI				
Current		\$ 211,400	1.2 %				
3-Year		\$ 1,309,400	7.3 %				
5-Year		\$ 1,774,500	9.9 %				
10-Year		\$ 3,821,100	21.3 %				

Campus Level FCI:

The vertical bars below represent the year-by-year needs identified for the entire campus. The orange line in the graph below forecasts what would happen to the campus FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year (blue bars) are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time FCI Analysis: Jersey Elementary Replacement Value: \$17,954,000 Inflation Rate: 3.0% Average Needs per Year: \$347,400 \$4,000,000 Facility Condition Index (%) \$3,000,000 Estimated costs, escalated 20 \$2,000,000 \$1,000,000 2022 2025 2026 2024 2027

Reserve costs, escalated Deferred costs, escalated

FCI, unabated

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Structure	-	-	-	-	\$2,051	\$2,051
Facade	-	\$48,691	\$58,461	\$61,680	\$2,823,127	\$2,991,959
Roofing	\$124,490	\$671,454	\$3,238	\$62,042	\$201,970	\$1,063,194
Interiors	\$41,887	\$57,813	\$205,960	\$446,230	\$693,413	\$1,445,303
Plumbing	\$1,317	\$1,747	\$39,486	\$69,881	\$458,733	\$571,164
HVAC	\$43,612	\$223,267	\$88,904	\$58,259	\$137,417	\$551,459
Fire Protection	-	-	\$1,524	\$12,517	\$8,565	\$22,606
Electrical	-	-	\$144,086	\$128,157	\$390,967	\$663,210
Fire Alarm & Electronic Systems	-	-	-	\$123,239	-	\$123,239
Equipment & Furnishings	-	-	\$8,054	\$171,228	\$95,914	\$275,196
Special Construction & Demo	-	-	-	\$649,272	\$32,073	\$681,345
Site Pavement	-	\$10,483	-	\$12,153	\$161,271	\$183,907
Site Development	-	-	-	\$246,035	\$183,909	\$429,944
Site Utilities	-	-	-	\$5,902	-	\$5,902
TOTALS (3% inflation)	\$211,400	\$1,013,500	\$549,800	\$2,046,600	\$5,189,500	\$9,010,800



Immediate Needs

Facility/Building	Total Items	Total Cost
Jersey Elementary / Building 200	2	\$61,500
Jersey Elementary / Building 300	3	\$117,100
Jersey Elementary / Building 400	1	\$21,500
Jersey Elementary / IMC Building	2	\$5,900
Jersey Elementary / Multi-Purpose Room	1	\$4,100
Jersey Elementary / Office	1	\$1,200
Total	10	\$211,300

Building 200

<u>ID</u>	<u>Location</u>	Location Description	<u>UF Code</u>	<u>Description</u>	<u>Condition</u>	<u>Plan Type</u>	<u>Cost</u>
4302025	Jersey Elementary / Building 200	Roof	B3010	Roofing, Built-Up, Replace	Poor	Performance/Integrity	\$53,800
4325433	Jersey Elementary / Building 200	Throughout Interior	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$7,700
Total (2 items)							\$61,500

Building 300

<u>ID</u>	<u>Location</u>	Location Description	UF Code	<u>Description</u>	Condition	<u>Plan Type</u>	<u>Cost</u>
4301885	Jersey Elementary / Building 300	Roof	B3010	Roofing, Built-Up, Replace	Poor	Performance/Integrity	\$66,100
4301889	Jersey Elementary / Building 300	Throughout Building	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$11,500
4301884	Jersey Elementary / Building 300	Roof	D3050	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON, Replace	Poor	Performance/Integrity	\$39,500
Total (3 items)							\$117,100

Building 400

<u>ID</u>	<u>Location</u>	Location Description	UF Code	<u>Description</u>	Condition	<u>Plan Type</u>	<u>Cost</u>
4320995	Jersey Elementary / Building 400	Throughout building	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$21,500
Total (1 items)							\$21,500



IMC Building

<u>ID</u>	<u>Location</u>	Location Description	UF Code	<u>Description</u>	Condition	<u>Plan Type</u>	<u>Cost</u>
4351076	Jersey Elementary / IMC Building	Roof	B3010	Roofing, Asphalt Shingle, 20-Year Standard, Replace	Poor	Performance/Integrity	\$4,600
4351097	Jersey Elementary / IMC Building	Building exterior	D2010	Drinking Fountain, Wall-Mounted, Single- Level, Replace	Failed	Performance/Integrity	\$1,300
Total (2 items)							\$5,900

Multi-Purpose Room

<u>ID</u>	<u>Location</u>	Location Description	UF Code	<u>Description</u>	<u>Condition</u>	<u>Plan Type</u>	<u>Cost</u>
4344726	Jersey Elementary / Multi-Purpose Room	Roof	D3030	Evaporative Cooler, 0.33 to 0.50 HP, Replace	Poor	Performance/Integrity	\$4,100
Total (1 items)							\$4,100

Office

<u>ID</u>	<u>Location</u>	Location Description	UF Code	<u>Description</u>	<u>Condition</u>	<u>Plan Type</u>	<u>Cost</u>
4320953	Jersey Elementary / Office	Throughout building	C2030	Flooring, Vinyl Sheeting, Repair	Poor	Performance/Integrity	\$1,200
Total (1 items)							\$1,200



Key Findings



Roofing in Poor condition.

Asphalt Shingle, 20-Year Standard IMC Building Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2022

Priority Score: **89.9**

Plan Type:

Performance/Integrity

Cost Estimate: \$4,600

\$\$\$\$

Shingles are at end of life - AssetCALC ID: 4351076



Roofing in Poor condition.

Built-Up Building 200 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2022

Priority Score: 88.9

Plan Type:

Performance/Integrity

Cost Estimate: \$53,800

\$\$\$\$

Roof leaks and should be replaced - AssetCALC ID: 4302025



Roofing in Poor condition.

Built-Up
Building 300 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2022

Priority Score: 88.9

Plan Type:

Performance/Integrity

Cost Estimate: \$66,100

\$\$\$\$

Roof leaks and should be replaced - AssetCALC ID: 4301885



Roofing in Poor condition.

Built-Up Building 600 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2023

Priority Score: 88.8

Plan Type:

Performance/Integrity

Cost Estimate: \$86,100

\$\$\$\$

Roof is cracked and leaking. Replacement is recommended - AssetCALC ID: 4350637





Roofing in Poor condition.

Built-Up IMC Building Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2023

Priority Score: 88.8

Plan Type:

Performance/Integrity

Cost Estimate: \$60,000

\$\$\$\$

Roof should be replaced due to cracking and leaking. - AssetCALC ID: 4344452



Roofing in Poor condition.

Built-Up Building 500 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$86,100

\$\$\$\$

Roof has signs of leaking and needs to be replaced soon. - AssetCALC ID: 4350442



Roofing in Poor condition.

Built-Up Office Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$38,400

\$\$\$\$

Roof is cracked and wearing. Evidence of leaks present. Roof needs replacement soon. - AssetCALC ID: 4351211



Roofing in Poor condition.

Built-Up Building 900 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$46,900

\$\$\$\$

Roof is wearing and cracking. Will need to be replaced soon. - AssetCALC ID: 4350874





Roofing in Poor condition.

Built-Up
Building 800 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$40,000

\$\$\$\$

Roof is deteriorating and cracking. Recommend replacement soon. - AssetCALC ID: 4344286



Roofing in Poor condition.

Built-Up Building 400 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$86,100

\$\$\$\$

Roof has evidence of leaking. Material is cracked and falling apart. - AssetCALC ID: 4320989



Roofing in Poor condition.

Built-Up Multi-Purpose Room Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$107,600

\$\$\$\$

Roofing is cracking and falling apart. Evidence of roof leaks found. - AssetCALC ID: 4351166



Roofing in Poor condition.

Built-Up Building 700 Jersey Elementary Roof

Uniformat Code: B3010

Recommendation: Replace in 2024

Priority Score: 88.7

Plan Type:

Performance/Integrity

Cost Estimate: \$86,100

\$\$\$\$

Roofing is nearing the end of its life and will need to be replaced soon. - AssetCALC ID: 4350829





Drinking Fountain in Failed condition.

Wall-Mounted, Single-Level IMC Building Jersey Elementary Building exterior

Uniformat Code: D2010

Recommendation: Replace in 2022

Priority Score: 83.9

Plan Type:

Performance/Integrity

Cost Estimate: \$1,300

\$\$\$\$

Drinking fountain does not function - AssetCALC ID: 4351097



Suspended Ceilings in Poor condition.

Acoustical Tile (ACT)
Building 300 Jersey Elementary Throughout
Building

Uniformat Code: C1070

Recommendation: Replace in 2022

Priority Score: 81.9

Plan Type:

Performance/Integrity

Cost Estimate: \$11,500

\$\$\$\$

ACT tiles are discolored and should be replaced - AssetCALC ID: 4301889



Evaporative Cooler in Poor condition.

0.33 to 0.50 HP Multi-Purpose Room Jersey Elementary Roof

Uniformat Code: D3030

Recommendation: Replace in 2022

Priority Score: 81.9

Plan Type:

Performance/Integrity

Cost Estimate: \$4,100

\$\$\$\$

Item is badly rusted and well past its expected age. - AssetCALC ID: 4344726



Flooring in Poor condition.

Vinyl Sheeting Office Jersey Elementary Throughout building

Uniformat Code: C2030

Recommendation: Repair in 2022

Priority Score: 81.9

Plan Type:

Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Damage to floor is present and needs to be addressed. - AssetCALC ID: 4320953





Packaged Unit in Poor condition.

RTU, Pad or Roof-Mounted Building 400 Jersey Elementary Roof

Uniformat Code: D3050

Recommendation: Replace in 2023

Priority Score: 81.8

Plan Type:

Performance/Integrity

Cost Estimate: \$39,500

\$\$\$\$

Item is passed its useful life and needs to be replaced soon. - AssetCALC ID: 4350414



Packaged Unit in Poor condition.

RTU, Pad or Roof-Mounted Office Jersey Elementary Roof

Uniformat Code: D3050

Recommendation: Replace in 2024

Priority Score: 81.7

Plan Type:

Performance/Integrity

Cost Estimate: \$9,900

\$\$\$\$

Item is past its expected useful life and will need to be replaced soon. - AssetCALC ID: 4351214

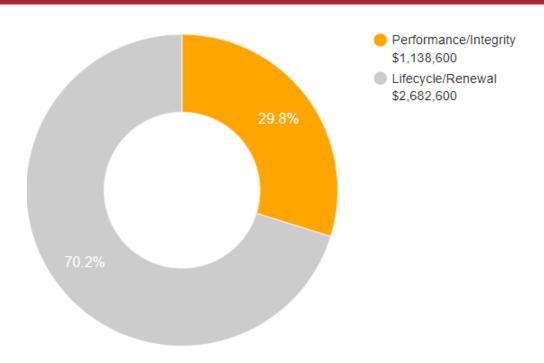
Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the "why" part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the "best" fit, typically the one with the greatest significance.

Plan Type Descriptions		
Safety	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.	
Performance/Integrity	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.	
Accessibility	Does not meet ADA, UFAS, and/or other handicap accessibility requirements.	
Environmental	Improvements to air or water quality, including removal of hazardous materials from the building or site.	
Retrofit/Adaptation	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.	
Lifecycle/Renewal	Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.	



Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$3,821,200







Constructed	1952	
Building/Group Size	2,700 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 200: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed







Building 300: Syste		
Constructed	1952	
Building/Group Size	3,400 SF	
Number of Stories	One above grade	·
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick Floors: Carpet, vinyl sheeting, coted concrete Ceilings: Painted gypsum board and ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Poor
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 300: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended. Rooftop package units perform poorly and should be replaced.	ed







Constructed	1952	
Building/Group Size	3,600 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, Ceramic Tile Floors: Carpet, ceramic tile Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets, sinks, and urinals	Fair
HVAC	Non-Central System: Packaged roof-top units	Poor
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 400: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended Rooftop package units perform poorly and should be replaced	ed







Constructed	1952	
Building/Group Size	5,200 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick Floors: Carpet Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Sinks	Fair
HVAC	Non-Central System: Packaged roof-top units	Poor
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 500: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Rooftop package units perform poorly and should be replaced	







Building 600: Syste	ems Summary	
Constructed	1952	
Building/Group Size	5,200 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 600: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced RTUs are at end of life and should be replaced. Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed







Building 700: Syste	ems Summary	
Constructed	1952	
Building/Group Size	5,200 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board Floors: Carpet Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Sinks	Fair
HVAC	Non-Central System: Packaged roof-top units RTU	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 700: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed







Constructed	1952	
Building/Group Size	2,700 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board Floors: Carpet Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 800: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed







Constructed	1952	
Building/Group Size	4,000 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile Ceilings: Painted gypsum board and ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Building 900: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed



10. IMC Building





Constructed	1952	
Building/Group Size	2,150SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting, vinyl tile, wood, Rubber, brick Ceilings: Painted wood paneling	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: rooftop swamp coolers, suspended unit heaters	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

IMC Building: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Rubber and vinyl sheet flooring has deteriorated and should be replaced Roof leaks and should be replaced Drinking fountain does not function and should be replaced	



11. Library Modular Building





Constructed	1952	
Building/Group Size	1,700 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Modular wood-frame structure	Good
Façade	Primary Wall Finish: Painted wood panels Secondary Wall Finish: Painted wood trim Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT	Fair
Elevators	None	
Plumbing	Distribution: fabric faced paneling Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
Fire Alarm	Smoke detectors, alarms, and strobes	Fair

Library Modular Building: Systems Summary		
Equipment/Special	None	
Accessibility	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
Key Issues and Findings	None observed at time of assessment.	



12. Multipurpose Room





Constructed	1952	
Building/Group Size	5,700 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Aluminum	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Vinyl tile, LVT, hardwood, ceramic tile, Epoxy coating Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Natural-gas water-heater Fixtures: Toilets and sinks	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers, cook area sprinkler system	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Multipurpose Room: Systems Summary		
Fire Alarm	Smoke detectors, alarms, and strobes	Fair
Equipment/Special	Kitchen	
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See
Key Issues and Findings	Roof leaks and should be replaced Evaporative coolers are severely rusted and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed



13. Office





Constructed	1952	
Building/Group Size	1,500 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Masonry bearing walls with wood roof deck supported by wood joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood trim Windows: Steel	Fair
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, painted brick, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board and ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Office: Systems Summary							
Fire Alarm	Smoke detectors, alarms, and strobes	Fair					
Equipment/Special	None						
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See					
Key Issues and Findings	Roof leaks and should be replaced Suspended ACT ceiling is aged and discolored. Replacement is recommended.	ed					



14. Portables





Constructed	1952	
Building/Group Size	2,700 SF	
Number of Stories	One above grade	
System	Description	Condition
Structure	Portable prefabricated wooden structure	Good
Façade	Primary Wall Finish: Wood paneling Secondary Wall Finish: Painted wood trim Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal	Poor
Interiors	Walls: Fabric covered paneling Floors: Carpet Ceilings: ACT	Fair
Elevators	None	
Plumbing	Distribution: Galvanized iron supply and cast iron waste & venting Hot Water: Electric tankless water heaters Fixtures: Toilets and sinks in all restrooms	Fair
HVAC	Non-Central System: Packaged roof-top units	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

Portables: Systems Summary						
Fire Alarm	Smoke detectors, alarms, and strobes	Fair				
Equipment/Special	None					
Accessibility	Presently it does not appear an accessibility study is needed for this building. Appendix D.	See				
Key Issues and Findings	None observed at time of assessment					



15. Site Summary





Site Information		
System	Description	Condition
Pavement/Flatwork	Asphalt lots and pavement with adjacent concrete sidewalks and curbs	<u></u>
Site Development	Property entrance signage; chain link fencing; Playgrounds and sports fields and courts with site lights Furnished with park benches, picnic tables, trash receptacles	
Landscaping and Topography	Landscaping features including lawns, trees, bushes, and planters Irrigation present Low to moderate site slopes throughout	
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	
Site Lighting	Pole-mounted: HPS Building-mounted: HPS and CFL	Fair
Ancillary Structures	None	
Accessibility	Presently it does not appear an accessibility study is needed for the exterior site Appendix D.	areas. See
Key Issues and Findings	None observed at time of assessment.	

16. Property Space Use and Observed Areas

Areas Observed

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

Key Spaces Not Observed

Areas of note that were either inaccessible or not observed for other reasons are listed here:

Modular building roofs were not accessed due to lack of safe access



ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of "areas of public accommodations" and "public facilities" on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

- 1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities:
- Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
- 3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the matrices that are included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this particular assessment. A full measured ADA survey would be required to identify any and all specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are not included in the dataset
- For any "none" boxes checked or reference to "no issues" identified, that alone does not guarantee full compliance

The campus was originally constructed in 1952 and some accessibility improvements appear to have been implemented in 2018 following the results of an accessibility study. During the interview process with the client representatives, no complaints or pending litigation associated with potential accessibility issues within the campus was reported. No detailed follow-up accessibility studies are included as recommendations since no major or moderate issues were identified at any of the campus facilities. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.



18. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.



Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans
 with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for
 further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding
 of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior
 common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.



19. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means, CBRE Whitestone*, and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed 'irresponsibly' (too far) into the future.



20. Certification

DLR Group (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Jersey Elementary, 9400 Jersey Avenue, Santa Fe Springs, California 90670, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

Prepared by: Kylan Boyd,

Project Manager

Reviewed by:

Gregg Young,

Technical Report Reviewer for

Gregg Young, Program Manager

Gregg.young@bureauveritas.com

800.733.0660



21. Appendices

Appendix A: Photographic Record

Appendix B: Site Plan

Appendix C: Pre-Survey Questionnaire

Appendix D: Accessibility Review and Photos

Appendix E: Component Condition Report

Appendix F: Replacement Reserves



Appendix A: Photographic Record





1 - 400 BUILDING FRONT ELEVATION



2 - MODULAR FRONT ELEVATION



3 - CLASSROOM BUILDING FRONT ELEVATION



4 - BUILDING 200 FRONT ELEVATION



5 - OFFICE LEFT ELEVATION



6 - MODULAR LEFT ELEVATION





7 - 200 BUILDING LEFT ELEVATION



8 - CLASSROOM BUILDING REAR ELEVATION



9 - TYPICAL FAÇADE



10 - TYPICAL FACADE

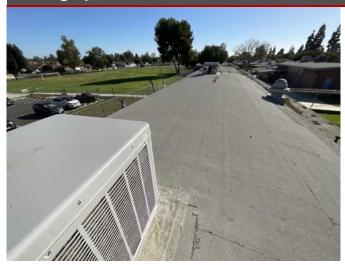


11 - STRUCTURE

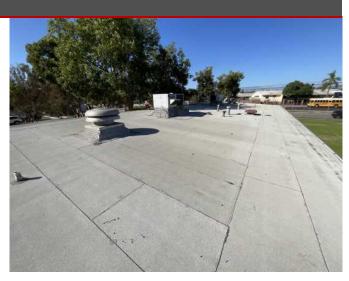


12 - IMC STRUCTURE OVERVIEW





13 - TYPICAL ROOF



14 - TYPICAL ROOF



15 - TYPICAL ROOF OVERVIEW



16 - CLASSROOM ENTRANCE



17 - TYPICAL INTERIOR STORAGE ROOM



18 - MOP ROOM





19 - IMC INTERIOR



20 - OFFICE AREA



21 - OFFICE AREA



22 - CLASSROOM



23 - CLASSROOM



24 - CLASSROOM





25 - CLASSROOM



26 - CLASSROOM



27 - LIBRARY



28 - LUNCHROOM



29 - CAFETERIA



30 - LIBRARY





31 - RESTROOM



32 - RESTROOM



33 - MECHANICAL ROOM



34 - ELECTRICAL ROOM



35 - WATER HEATER

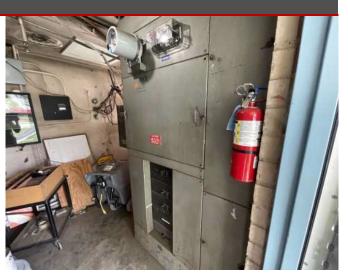


36 - ROOFTOP HVAC





37 - KITCHEN AC UNIT



38 - ELECTRICAL SERVICE



39 - INTERIOR LIGHTING



40 - INTERIOR LIGHTING



41 - EXTERIOR LIGHTING



42 - FIRE ALARM PANEL





43 - FIRE ALARM PANEL



44 - ATHLETIC FIELD



45 - ATHLETIC FIELD



46 - SITE



47 - RESTROOM FIXTURES



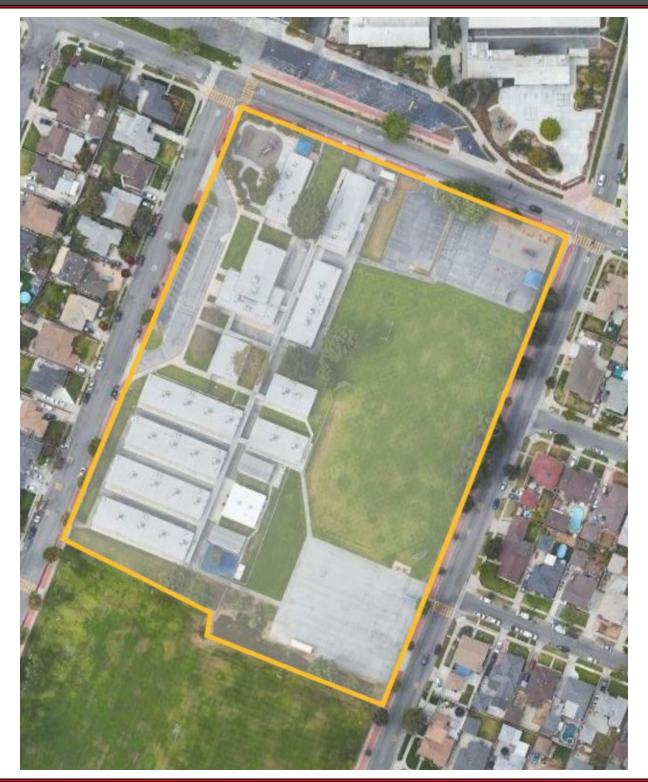
48 - ACCESSIBLE LIFT



Appendix B: Site Plan



Site Plan





Project Number	Project Name		
159753.22R000-002.017	Jersey Elementary		
Source	On-Site Date		
Google Earth	September 30 th , 2022		



Appendix C:
Pre-Survey Questionnaire



BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Jersey Elementary

Name of person completing form: Brent Griffen

Title / Association w/ property: Maintenance and Operations director

Length of time associated w/ property: 18

Date Completed: 9/30/2022

Phone Number:

Method of Completion: INTERVIEW - verbally completed during interview

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

	Data Overview			Response	
1	Year(s) constructed	Constructed 1952	Renovated		
2	Building size in SF	42,244	SF.		
			Year	Additional Detail	
		Facade	2022	Painted school site summer 2022.	
		Roof			
		Interiors			
3	3 Major Renovation/Rehabilitation	HVAC	2001	Package units on modular building	
		Electrical			
		Site Pavement	2022	Various new concrete throughout the campus	
		Accessibility	2016	Barrier removal for ADA	
4	List other significant capital improvements (focus on recent years; provide approximate date).		modular installed s, alterations made	2001. Additions to administration building and e to MP building.	
	List any major capital expenditures	Install 3 brand new playgrounds. IMC building roof will be replaced.			
5	planned/requested for the next few years. Have they been budgeted?	Remodel the 30	0 building to add r	restrooms, etc. remodel is not budgeted.	
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Kitchens have poor ventilation, gets real hot.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "*Not Applicable*", **Unk** indicates "*Unknown*")

Question			Question Response			Comments		
		Yes	No	Unk	NA			
7	Are there any problems with foundations or structures, like excessive settlement?		×					
8	Are there any wall, window, basement or roof leaks?	×				Small roof leaks in general		
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		×					
10	Are your elevators unreliable, with frequent service calls?		×					
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		×					
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?	×				Condensing line leaks on multiple roofs for package units.		
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?	×				Kitchen gets hot. IMC is inadequately cooled. Needs a portable AC to keep cool currently.		
14	Is the electrical service outdated, undersized, or problematic?	×				Outdated		
15	Are there any problems or inadequacies with exterior lighting?		×					
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	×				700 building draining is poor		
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		×					
18	ADA: Has an accessibility study been previously performed? If so, when?	×						
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.	×				Barrier wall removal. Replaced doors and hardware, and redid all the ramps and landings to be ADA compliant.		
20	ADA: Has building management reported any accessibility-based complaints or litigation?		×					
21	Are any areas of the property leased to outside occupants?		×					

Herboyd

Signature of Assessor

Signature of POC

Appendix D:
Accessibility Review and Photos



Visual Survey - 2010 ADA Standards for Accessible Design

Property Name: Jersey Elementary

BV Project Number: 159753.22R00 - 002.017

Fac	Facility History & Interview						
	Question		No	Unk	Comments		
1	Has an accessibility study been previously performed? If so, when?	×					
2	Have any ADA improvements been made to the property since original construction? Describe.	×			Barrier wall removal. Replaced doors and hardware, and redid all the ramps and landings to be ADA compliant.		
3	Has building management reported any accessibility-based complaints or litigation?		×				

Jersey Elementary: Accessibility Issues								
Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*				
Parking				X				
Exterior Accessible Route				×				
Building Entrances				×				
Interior Accessible Route				×				
Elevators				X				
Public Restrooms				X				
Kitchens/Kitchenettes				×				
Playgrounds & Swimming Pools				X				
Other				X				

^{*}be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature

Jersey Elementary: Photographic Overview



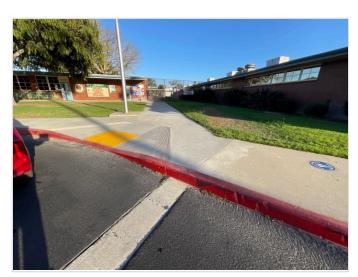
OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE PATH



CURB CUT



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE

Jersey Elementary: Photographic Overview



ACCESSIBLE INTERIOR PATH



DOOR HARDWARE



LOBBY LOOKING AT CABS (WITH DOORS



IN-CAB CONTROLS



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

Jersey Elementary: Photographic Overview



SINK CLEARANCE

Appendix E:
Component Condition Report



Component Condition Report | Jersey Elementary / IMC Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
B1080	Throughout building	Fair	Stairs, Wood, Interior	30 SF	15	4344450
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,200 SF	20	4344480
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4351075
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	3,900 SF	1	4344452
B3010	Roof	Poor	Roofing, Asphalt Shingle, 20-Year Standard	1,100 SF	0	4351076
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	300 LF	10	4351078
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	350 SF	12	4344460
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	10	4351080
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4344451
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	7,200 SF	5	4351082
C2030	Throughout building	Poor	Flooring, Rubber Tile	500 SF	1	4351105
C2030	Throughout building	Fair	Flooring, Brick	150 SF	20	4351086
C2030	Throughout building	Poor	Flooring, Vinyl Sheeting	100 SF	1	4344445
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	100 SF	5	4351088
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4344461
C2030	Throughout building	Fair	Flooring, Wood, Strip	350 SF	15	4351085
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	2,000 SF	5	4351089
C2030	Storage closet	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	150 SF	5	4351083
C2050	Throughout building	Fair	Ceiling Finishes, Wood Paneling	3,000 SF	10	4351090
C2050	Throughout building	Fair	Ceiling Finishes, exposed irregular elements, Prep & Paint	2,000 SF	5	4351091

Component Condition Report | Jersey Elementary / IMC Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Plumbing						
D2010	Restrooms	Fair	Urinal, Standard	1	15	4344470
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,000 SF	20	4344453
D2010	Building exterior	Failed	Drinking Fountain, Wall-Mounted, Single-Level	1	0	4351097
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4351094
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4344466
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	2	15	4351096
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	8	4351111
HVAC						
D3020	Throughout building	Fair	Unit Heater, Natural Gas [No tag/plate found]	3	5	4351106
D3030	Roof	Good	Evaporative Cooler, 0.33 to 0.50 HP [No tag/plate found]	1	8	4344479
D3030	Roof	Fair	Evaporative Cooler, 0.33 to 0.50 HP, 5000 CFM [No tag/plate found]	1	2	4351107
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	1	5	4351098
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	3	8	4344472
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	5	4351109
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,000 SF	20	4351100
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	5	15	434444
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	4,000 SF	15	4344474
Fire Alarm & E	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	4,000 SF	10	4351103
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry Economy	60 LF	10	4344468

Component Condition Report | Jersey Elementary / Building 200

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,700 SF	25	4302014
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	5	4302023
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	10	18	4302026
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	3,500 SF	0	4302025
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	300 LF	3	4302007
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	800 SF	10	4302011
Interiors						
C1030	Building Exterior	Fair	Interior Door, Steel, Standard	2	22	4302017
C1070	Throughout Interior	Poor	Suspended Ceilings, Acoustical Tile (ACT)	2,000 SF	0	4325433
C2010	Throughout Interior	Fair	Wall Finishes, Ceramic Tile	750 SF	15	4302003
C2010	Throughout Interior	Fair	Wall Finishes, any surface, Prep & Paint	5,500 SF	4	4302012
C2030	Throughout Interior	Fair	Flooring, Ceramic Tile	200 SF	13	4302005
C2030	Throughout Interior	Fair	Flooring, Vinyl Sheeting	300 SF	5	4326188
C2030	Throughout Interior	Fair	Flooring, Carpet, Commercial Standard	2,000 SF	3	4302020
C2050	Throughout Interior	Fair	Ceiling Finishes, any flat surface, Prep & Paint	700 SF	5	4302021
Plumbing						
D2010	Throughout Interior	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,700 SF	16	4302000
D2010	Restroom	Fair	Sink/Lavatory, Wall-Hung, Steel	2	17	4302016
D2010	Restroom	Fair	Toilet, Commercial Water Closet	4	25	4302010
D2010	Throughout Interior	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	4	5	4302015
D2010	Mechanical closet	Fair	Water Heater, Electric, Instant Hot	1	8	4325609
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	2	4302013
HVAC						

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Roof	Fair	Packaged Unit, RTU, Roof-Mounted, 4 TON	2	2	4302024
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 24" Damper, 2001 to 5000 CFM	2	3	4302001
Fire Protection						
D4030	Throughout Interior	Fair	Fire Extinguisher, Wet Chemical/CO2	2	5	4302002
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 120/208 V, 200 AMP	3	15	4302008
D5030	Throughout Interior	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,700 SF	21	4302022
D5040	Throughout Interior	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,700 SF	6	4302009
D5040	Building Exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	8	15	4302018
Fire Alarm & El	ectronic Systems					
D7050	Throughout Interior	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	2,700 SF	7	4302019
Equipment & F	urnishings					
E2010	Throughout Interior	Fair	Casework, Cabinetry, Standard	10 LF	3	4325608

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	4,000 SF	25	4301904
B2010	Building Exterior	Fair	Exterior trim, any painted surface, Prep & Paint	600 SF	5	4326805
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	2	4301897
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	30	4301903
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	4,300 SF	0	4301885
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	250 LF	6	4326804
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	900 SF	10	4301907

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Interiors						
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	2	21	4301906
C1070	Throughout Building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	3,000 SF	0	4301889
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	7,000 SF	5	4301892
C2030	Throughout Interior	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	200 SF	5	4301908
C2030	Throughout Building	Good	Flooring, Carpet, Commercial Standard	3,000 SF	7	4301899
C2030	Throughout Interior	Good	Flooring, Vinyl Sheeting	720 SF	11	4301894
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	400 SF	5	4326803
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,400 SF	5	4301902
D2010	Restroom	Fair	Urinal, Standard	1	14	4301895
D2010	Throughout Building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	14	4301905
D2010	Throughout Building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301900
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	9	4326829
D2010	Throughout Building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	3	4301893
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON	4	0	4301884
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM	4	4	4301891
Fire Protection						
D4030	Throughout Interior	Fair	Fire Extinguisher, Wet Chemical/CO2	2	5	4301886
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP	3	10	4301887
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,200 SF	22	4301890
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,400 SF	6	4301896
D5040	Building Exterior	Fair	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	8	10	4301883

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID		
Fire Alarm & El	ectronic Systems							
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	3,400 SF	8	4301888		
Equipment & Furnishings								
E2010	Throughout Building	Fair	Casework, Cabinetry Economy	30 LF	6	4301909		

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350396
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4320999
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	8	30	4320994
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	2	4320989
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	10	4320993
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	22	4350401
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	5,600 SF	0	4320995
C1090		Fair	Toilet Partitions, Plastic/Laminate	1	10	4350395
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	6,500 SF	6	4350405
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4321000
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,300 SF	6	4320979
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4320973
Plumbing						
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4350409
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4320975

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4320983
D2010	Restrooms	Good	Urinal, Standard	3	20	4350411
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	8	4320980
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	20	4320988
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	1	4350414
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	5	4350415
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper [No tag/plate found]	4	5	4320976
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350417
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	3	4350418
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	20	4350419
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350420
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	10	4350421
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4320986

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350434
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	10	4350435
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4350436
Roofing						

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3010	Roof I	Poor	Roofing, Built-Up	5,600 SF	2	4350442
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	13	4350426
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	10	4350443
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	8	4350437
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	5	4350444
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,600 SF	6	4350438
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	3	4350427
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	4	10	4350429
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	10	4350428
D2010	Throughout building	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	4350445
HVAC						
D3050	Roof I	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4350439
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	5	4350448
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350430
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	5	4350446
D5020	Electrical room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4350440
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	15	4350447
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350441
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350431
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350432

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	10 LF	6	4350433

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	15	4350624
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	12	4321031
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4321045
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	1	4350637
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	2,000 SF	15	4350617
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4350627
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	1	4321029
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	5	4350632
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	25	4321026
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4321046
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,300 SF	6	4350634
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	5	4350586
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4321047
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4350618
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4321036
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	7	4321052

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	15	4321027
D2010	Restrooms	Fair	Urinal, Standard	3	15	4321043
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4321038
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	7	4350635
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	6	7	4321025
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4350631
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	4	5	4321048
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	15	4321039
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350636
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4321035
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350638

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,330 SF	25	4350843
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4350837
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4350840
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	5,600 SF	2	4350829
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	2,000 SF	12	4350839

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4321074
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,600 SF	8	4321061
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	6,500 SF	6	4350849
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,600 SF	6	4321063
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	6	4350844
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4321068
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,600 SF	20	4321071
D2010	Electrical room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	7	4321062
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	4	2	4350836
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	4	6	4321073
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	7	4321057
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	4	7	4350834
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,600 SF	20	4350835
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,600 SF	15	4350833
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	1	15	4321059
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,600 SF	10	4350831
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	40 LF	15	4350832

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,900 SF	20	4344278
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4344295
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4344293
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	2,600 SF	2	4344286
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	800 SF	12	4350222
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	2	20	4344288
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, ACM Abatement & Replacement w/ ACT	1,800 SF	10	4350224
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	3,250 SF	5	4344297
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,800 SF	3	4344299
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4350228
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,800 SF	20	4344296
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	2	4350229
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	1	8	4344279
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	3	7	4344280
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	3	3	4344294
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,800 SF	20	4344281
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,800 SF	15	4350235
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350234

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID		
Fire Alarm & El	ectronic Systems							
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,800 SF	10	4344282		
Equipment & Furnishings								
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	50 LF	10	4350237		

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,100 SF	20	4350881
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	38	15	4344315
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	30	4350867
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	3,050 SF	2	4350874
B3080	Roof	Good	Soffit/Fascia, Gypsum Board	900 SF	12	4350860
Interiors						
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	2,150 SF	1	4350862
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	3,850 SF	5	4350877
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	32	4344301
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,850 SF	5	4350872
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4350859
C2050	Roof	Fair	Ceiling Finishes, any flat surface, Prep & Paint	900 SF	5	4350883
Plumbing						
D2010	Restrooms	Fair	Urinal, Standard	3	15	4350875
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	8	4350878
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,150 SF	20	4350870

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4350880
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	5	15	4350882
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4350873
HVAC						
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	20	4350868
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM [No tag/plate found]	2	5	4344320
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	8	4350865
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 200 AMP [No tag/plate found]	1	5	4350863
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,150 SF	20	4344313
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4350879
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,150 SF	10	4344304
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,150 SF	10	4344308
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	50 LF	10	4350866

Component Condition Report | Jersey Elementary / Library Modular Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Wood Siding	1,700 SF	15	4351115
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	4	15	4326878
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	2	35	4351117
Roofing						

Component Condition Report | Jersey Elementary / Library Modular Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3010	Roof	Fair	Roofing, Metal	2,300 SF	20	4326877
B3080	Roof	Good	Soffit, Wood	600 SF	12	4351119
Interiors						,
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,700 SF	9	4351120
C2010	Throughout building	Fair	Wall Finishes, Laminated Paneling (FRP)	2,300 SF	10	4351121
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,700 SF	4	4351122
Plumbing						
D2010	Building exterior	Fair	Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures)	1,700 SF	20	4326876
D2010	Interior	Fair	Water Heater, Electric, Instant Hot	1	8	4351132
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	10	4326881
HVAC						,
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	10	4351125
Electrical						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,700 SF	20	4351126
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,700 SF	15	4326879
Fire Alarm & El	ectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,700 SF	10	4351128
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	10 LF	10	4351114

Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	5,000 SF	20	4344763
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	800 SF	4	4351181

Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	20	15	4344748
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	10	35	4344736
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	7,000 SF	2	4351166
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	800 SF	10	4351151
Interiors						
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	12	25	4344754
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	5,700 SF	2	4351173
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	450 SF	30	4351185
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	10,250 SF	6	4344771
C2030	Throughout building	Good	Flooring, Luxury Vinyl Tile (LVT)	150 SF	10	4344740
C2030	Stage area	Fair	Flooring, Wood, Strip, Refinish	700 SF	5	4344769
C2030	Restrooms	Good	Flooring, Ceramic Tile	220 SF	25	4344735
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	3,180 SF	8	4351154
C2030	Kitchen	Good	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	1,600 SF	6	4344758
Plumbing						
D2010	Kitchen	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	1	15	4344732
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	3	15	4344744
D2010	Kitchen	Fair	Sink/Lavatory, Commercial Kitchen, 3-Bowl	3	15	4351177
D2010	Kitchen	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	10	4344761
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	7	4351184
D2010	Utility closet	Fair	Water Heater, Gas, Residential [No tag/plate found]	1	8	4344731
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	3	15	4351148
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,700 SF	20	4351146

Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3030	Building exterior	Good	Split System, Condensing Unit/Heat Pump [No tag/plate found]	1	11	4344722
D3030	Roof	Poor	Evaporative Cooler, 0.33 to 0.50 HP [No tag/plate found]	1	0	4344726
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	4	4344739
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	4	13	4344738
D3060	Throughout building	Good	Supplemental Components, Air Curtain, 5' Wide Non-Heated [No tag/plate found]	2	12	4344756
Fire Protection	1					
D4010	Kitchen	Fair	Fire Suppression System, Commercial Kitchen, per LF of Hood	13 LF	10	4351164
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	4	8	4344764
D4030	Kitchen	Good	Fire Extinguisher, Wet Chemical/CO2	1	6	4344734
Electrical						
D5020	Electrical room	Fair	Distribution Panel, 277/480 V, 400 AMP [No tag/plate found]	4	5	4351178
D5020	Electrical room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	15	4351169
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,700 SF	20	4344742
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	5,700 SF	15	4344745
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	5	15	4351159
Fire Alarm & E	lectronic Systems					
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	5,700 SF	10	4344724
Equipment & F	urnishings					
E1030	Kitchen	Good	Foodservice Equipment, Tilting Skillet [No tag/plate found]	1	15	4344737
E1030	Kitchen	Good	Foodservice Equipment, Freezer, 3-Door Reach-In [No tag/plate found]	2	10	4351172
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells [No tag/plate found]	2	8	4344721
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	8	4351186
E1030	Kitchen	Good	Foodservice Equipment, Refrigerator, 3-Door Reach-In [No tag/plate found]	1	10	4351162
E1030	Kitchen	Good	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle [No tag/plate found]	1	9	4344753
E1030	Kitchen	Good	Foodservice Equipment, Convection Oven, Double [No tag/plate found]	2	6	4344733

Component Condition Report | Jersey Elementary / Multi-Purpose Room

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030	Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF [No tag/plate found]	1	9	4351188
E1030	Kitchen	Good	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels [No tag/plate found]	3	9	4351152
E1070	Stage area	Good	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	250 SF	10	4351168

Component Condition Report | Jersey Elementary / Office

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,680 SF	15	4320962
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	13	15	4320957
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	6	30	4320965
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	2,500 SF	2	4351211
B3080	Roof	Good	Soffit, Gypsum Board	1,000 SF	12	4351196
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	7	23	4320969
C1070	Throughout building	Poor	Suspended Ceilings, Hard Tile, Replacement w/ ACT	1,500 SF	1	4351210
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	2,700 SF	5	4351215
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	200 SF	30	4351205
C2010	Janitor closet	Fair	Wall Finishes, Laminated Paneling (FRP)	80 SF	15	4351206
C2030	Restrooms	Fair	Flooring, Ceramic Tile	60 SF	20	4320958
C2030	Throughout building	Poor	Flooring, Vinyl Sheeting, Repair	150 SF	0	4320953
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	4351209
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	4320960
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	15	4351194

Component Condition Report | Jersey Elementary / Office

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	15	4351197
D2010	Janitor closet	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	10	4351201
HVAC						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	1	2	4351214
Fire Protection						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4320956
Electrical						
D5020	Electrical room	Fair	Switchboard, 120/208 V, 400 AMP [No tag/plate found]	1	4	4341548
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,500 SF	20	4351218
D5040	Throughout building	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement	7	15	4320967
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,500 SF	15	4320955
Fire Alarm & El	ectronic Systems					
D7050	Electrical room	Good	Fire Alarm Panel, Multiplex [No tag/plate found]	1	10	4320968
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	1,500 SF	10	4351219
Equipment & F	urnishings					
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	20 LF	5	4351220

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Plumbing						
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	6	4351604
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	8	4351602
D2010	Site	Fair	Pump, Circulation/Booster, Domestic Water [No tag/plate found]	1	3	4351601
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	6	4326822
Electrical						

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Site	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	8	4351605
D5020	Site	Fair	Supplemental Components, Circuit Breaker/Disconnect	1	5	4351606
D5030	Site	Fair	Motor, AHU or Pump [No tag/plate found]	1	9	4326827
Special Constru	iction & Demo)				
F1020	Site	Fair	Shade structure, Wood or Metal-Framed, Basic/Minimal	750 SF	15	4326806
Pedestrian Plaz	as & Walkway	/s				
G2020	Site	Good	Parking Lots, Pavement, Asphalt, Mill & Overlay	20,000 SF	18	4351610
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	20,000 SF	2	4351609
G2030	Site	Good	Sidewalk, Concrete, Large Areas	15,000 SF	40	4342089
Athletic, Recrea	itional & Play	field Areas				
G2050	Site	Fair	Playfield Surfaces, Chips Rubber, 3" Depth	8,000 SF	9	4351618
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	8	7	4326824
G2050	Site	Fair	Play Structure, Multipurpose, Large	1	10	4351615
G2050	Site	Good	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	20,000 SF	15	4351614
G2050	Site	Fair	Play Structure, Multipurpose, Small	1	10	4326819
G2050	Site	Fair	Play Structure, Multipurpose, Medium	1	10	4326816
G2050	Site	Fair	Sports Apparatus, Soccer, Regulation Goal	2	10	4326826
Sitework						
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 8'	1,100 LF	20	4326823
G2060	Site	Fair	Flagpole, Metal	1	15	4351621
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 4'	150 LF	20	4326821
G4050	Site	Fair	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, Replace/Install	1	10	4326820

Component Condition Report | Jersey Elementary / Portables

UF L3 Code Location Condition Asset/Component/Repair Quantity RUL	ID	
---	----	--

Component Condition Report | Jersey Elementary / Portables

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Special Construc	ction & Demo					
F1020	Site	Fair	Ancillary Building, Classroom/Office Module, Basic/Portable	2,200 SF	10	4301868

Appendix F:
Replacement Reserves



Replacement Reserves Report

10/27/2022

Location	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Total Escalated Estimate
Jersey Elementary	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Jersey Elementary / Building 200	\$61,488	\$0	\$22,715	\$32,035	\$10,195	\$64,535	\$15,929	\$10,938	\$695	\$0	\$9,798	\$0	\$0	\$29,992	\$13,702	\$39,790	\$23,787	\$8,893	\$11,216	\$0	\$4,165	\$359,872
Jersey Elementary / Building 300	\$117,157	\$0	\$48,691	\$1,800	\$11,864	\$39,459	\$29,892	\$30,384	\$14,187	\$716	\$26,901	\$7,660	\$0	\$0	\$11,792	\$28,055	\$0	\$40,834	\$2,804	\$0	\$71,392	\$483,588
Jersey Elementary / Building 400	\$21,521	\$40,714	\$91,326	\$10,798	\$0	\$15,784	\$45,625	\$0	\$2,086	\$0	\$60,132	\$0	\$0	\$0	\$0	\$398,188	\$61,316	\$0	\$0	\$0	\$70,797	\$818,287
Jersey Elementary / Building 500	\$0	\$0	\$133,261	\$4,799	\$0	\$29,213	\$38,087	\$0	\$17,526	\$0	\$112,295	\$0	\$0	\$33,216	\$0	\$363,205	\$48,102	\$0	\$0	\$0	\$0	\$779,703
Jersey Elementary / Building 600	\$0	\$102,916	\$41,935	\$0	\$0	\$32,777	\$32,842	\$25,253	\$0	\$0	\$10,624	\$0	\$65,437	\$0	\$0	\$458,146	\$44,137	\$0	\$0	\$0	\$13,485	\$827,552
Jersey Elementary / Building 700	\$0	\$0	\$133,261	\$0	\$0	\$0	\$60,768	\$18,501	\$17,526	\$0	\$10,624	\$0	\$25,987	\$0	\$0	\$124,227	\$71,800	\$544	\$0	\$0	\$56,320	\$519,559
Jersey Elementary / Building 800	\$0	\$0	\$63,369	\$26,996	\$0	\$6,205	\$0	\$608	\$3,338	\$0	\$64,632	\$0	\$10,395	\$21,768	\$0	\$99,312	\$0	\$817	\$0	\$0	\$229,248	\$526,687
Jersey Elementary / Building 900	\$0	\$8,510	\$49,740	\$0	\$0	\$37,232	\$0	\$0	\$2,504	\$0	\$42,756	\$0	\$11,694	\$0	\$0	\$141,180	\$0	\$0	\$561	\$0	\$299,103	\$593,279
Jersey Elementary / IMC Building	\$5,907	\$67,630	\$4,333	\$0	\$0	\$73,732	\$0	\$0	\$6,496	\$0	\$95,325	\$0	\$4,548	\$0	\$0	\$123,637	\$9,162	\$6,751	\$841	\$0	\$425,635	\$823,997
Jersey Elementary / Library Modular Building	\$0	\$0	\$0	\$0	\$15,757	\$0	\$0	\$0	\$695	\$8,524	\$82,856	\$0	\$13,620	\$0	\$21,175	\$50,721	\$0	\$0	\$0	\$0	\$71,094	\$264,443
Jersey Elementary / Multi-Purpose Room	\$4,085	\$0	\$137,396	\$0	\$25,210	\$30,549	\$48,608	\$2,026	\$41,171	\$23,352	\$73,065	\$3,496	\$4,696	\$9,030	\$3,986	\$183,672	\$65,325	\$0	\$1,122	\$0	\$610,302	\$1,267,091
Jersey Elementary / Office	\$1,153	\$5,937	\$51,254	\$0	\$49,432	\$19,157	\$393	\$0	\$0	\$0	\$12,395	\$0	\$12,994	\$0	\$0	\$237,370	\$529	\$0	\$0	\$0	\$9,578	\$400,192
Jersey Elementary / Portables	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$649,273	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$649,273
Jersey Elementary / Site	\$0	\$0	\$10,484	\$8,159	\$0	\$4,073	\$8,391	\$114,784	\$21,142	\$43,839	\$109,196	\$0	\$14,089	\$0	\$0	\$156,097	\$0	\$16,333	\$130,849	\$0	\$59,890	\$697,326
Grand Total	\$211,310	\$225,707	\$787,765	\$84,587	\$112,459	\$352,716	\$280,536	\$202,493	\$127,366	\$76,431	\$1,359,873	\$11,156	\$163,460	\$94,006	\$50,655	\$2,403,598	\$324,158	\$74,172	\$147,392	\$0	\$1,921,009	\$9,010,849

Jersey Elementary

	deLocation Descriptio		Lifespan (EUL		RUL	Quantity	,	Unit C				2023	2024	2025		029 203	0 203	2032	2033	2034	2035	2036	2037 2038 203	9 2040	2041 2042 De	ciency Repair Estimate
B2020	Building Exterior	4302023 Window, Steel, up to 15 SF, Replace	30	25	5	38	EA	-	07.80 \$						\$45,896											\$45,89
B2050	Building Exterior	4302026 Exterior Door, Steel, Standard, Replace	40	22	18	10	EA	-	58.80															\$6,588		\$6,588
B3010	Roof	4302025 Roofing, Built-Up, Replace	25	25	0	3500	SF	\$1	15.37 \$	53,802	\$53,802															\$53,802
B3020	Roof	4302007 Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	17	3	300	LF	\$	9.88	\$2,965	5			\$2,965												\$2,965
B3080	Roof	4302011 Soffit/Fascia, Gypsum Board, Replace	20	10	10	800	SF	\$	\$9.11	\$7,291								\$7,291								\$7,291
C1070	Throughout Interior	4325433 Suspended Ceilings, Acoustical Tile (ACT), Replace	25	25	0	2000	SF	\$	3.84	\$7,686	\$7,686															\$7,686
C2010	Throughout Interior	4302003 Wall Finishes, Ceramic Tile, Replace	40	25	15	750	SF	\$1	19.76 \$	14,823	3											\$	\$14,823			\$14,823
C2010	Throughout Interior	4302012 Wall Finishes, any surface, Prep & Paint	10	6	4	5500	SF	\$	1.65	\$9,059	9				\$9,059						\$9	9,059				\$18,117
C2030	Throughout Interior	4302005 Flooring, Ceramic Tile, Replace	40	27	13	200	SF	\$1	19.76	\$3,953	3									\$3	,953					\$3,953
C2030	Throughout Interior	4326188 Flooring, Vinyl Sheeting, Replace	15	10	5	300	SF	\$	7.69	\$2,306	3				\$2,306										\$2,306	\$4,612
C2030	Throughout Interior	4302020 Flooring, Carpet, Commercial Standard, Replace	10	7	3	2000	SF	\$	\$8.24 \$	16,470			5	16,470						\$16	,470					\$32,940
C2050	Throughout Interior	4302021 Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	700	SF	\$	\$2.20	\$1,537	,				\$1,537								\$1,537			\$3,074
D2010	Mechanical closet	4325609 Water Heater, Electric, Instant Hot, Replace	15	7	8	1	EA	\$54	19.00	\$549)					\$549)									\$549
D2010	Throughout Interior	4302000 Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	24	16	2700	SF	\$	\$5.49 \$	14,823	3												\$14,823			\$14,823
D2010	Building Exterior	4302013 Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	13	2	1	EA	\$1,64	17.00	\$1,647	,		\$1,647										\$1,647	7		\$3,294
D2010	Throughout Interior	4302015 Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	4	EA	\$1,31	17.60	\$5,270					\$5,270											\$5,270
D2010	Restroom	4302016 Sink/Lavatory, Wall-Hung, Steel, Replace	30	13	17	2	EA	\$1,86	6.60	\$3,733	3												\$3,733	3		\$3,733
D3050	Roof	4302024 Packaged Unit, RTU, Roof-Mounted, 4 TON, Replace	20	18	2	2	EA	\$9,88	32.00 \$	19,764		\$	19,764													\$19,764
D3060	Roof	4302001 Exhaust Fan, Roof or Wall-Mounted, 24" Damper, 2001 to 5000 CFM, Replace	20	17	3	2	EA	\$3,29	94.00	\$6,588	3			\$6,588												\$6,588
D4030	Throughout Interior	4302002 Fire Extinguisher, Wet Chemical/CO2, Replace	10	5	5	2	EA	\$32	29.40	\$659)				\$659								\$659			\$1,318
D5020	Electrical room	4302008 Distribution Panel, 120/208 V, 200 AMP, Replace	30	15	15	3	EA	\$2,19	96.00	\$6,588	3												\$6,588			\$6,588
D5040	Throughout Interior	4302009 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	14	6	2700	SF	\$	\$4.94 \$	13,341					\$13,341											\$13,341
D5040	Building Exterior	4302018 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	8	EA	\$24	11.56	\$1,932	2												\$1,932			\$1,932
D7050	Throughout Interior	4302019 Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	13	7	2700	SF	\$	3.29	\$8,894					\$8,8	394										\$8,894
E2010	Throughout Interior	4325608 Casework, Cabinetry, Standard, Replace	20	17	3	10	LF	\$32	29.40	\$3,294				\$3,294												\$3,294
Totals, Unes	a a late of										\$61,488	en e	24 444 6	20 217	\$9,059 \$55,669 \$13,341 \$8,8	894 \$549		\$7,291	\$0	£0 £20	422 60	0.60 €	\$25,539 \$14,823 \$5,380	n ¢6 500	\$0 \$2,306	\$291,135

Jersey	Flementary	/ Building 300	

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cos	t *Sub	ototal 20	22	2023	2024	2025	5 2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042 Deficiency Repa	air Estimate
B2010	Building Exterior	4326805	Exterior trim, any painted surface, Prep & Paint	10	5	5	600	SF	\$3.2	29 \$1	1,976						\$1,976										\$1,976						\$3,953
B2020	Building Exterior	4301897	Window, Steel, up to 15 SF, Replace	30	28	2	38	EA	\$1,207.8	80 \$45	5,896			\$45,896																			\$45,896
B3010	Roof	4301885	Roofing, Built-Up, Replace	25	25	0	4300	SF	\$15.	37 \$66	6,100	\$66,100																					\$66,100
B3020	Roof	4326804	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	14	6	250	LF	\$9.8	88 \$2	2,471							\$2,471															\$2,471
B3080	Roof	4301907	Soffit/Fascia, Gypsum Board, Replace	20	10	10	900	SF	\$9.	11 \$8	8,202											\$8,202											\$8,202
C1070	Throughout Building	4301889	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	25	0	3000	SF	\$3.8	84 \$11	1,529	\$11,529																					\$11,529
C2010	Throughout Building	4301892	Wall Finishes, any surface, Prep & Paint	10	5	5	7000	SF	\$1.6	65 \$11	1,529						\$11,529										\$11,529						\$23,058
C2030	Throughout Interior	4301908	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	5	5	200	SF	\$1.6	65	\$329						\$329										\$329						\$659
C2030	Throughout Interior	4301894	Flooring, Vinyl Sheeting, Replace	15	4	11	720	SF	\$7.6	69 \$5	5,534												\$5,534										\$5,534
C2030	Throughout Building	4301899	Flooring, Carpet, Commercial Standard, Replace	10	3	7	3000	SF	\$8.2	24 \$24	4,705								\$24,705										\$24,705				\$49,410
C2050	Throughout Building	4326803	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	400	SF	\$2.2	20	\$878						\$878										\$878						\$1,757
D2010	Interior	4326829	Water Heater, Electric, Instant Hot, Replace	15	6	9	1	EA	\$549.0	00	\$549										\$549												\$549

Uniformat Co	odeLocation DescriptionID	Cost Description	Lifespan (EUL)E	Age	RUL	Quantity	/Unit	Unit Cost *Subtotal	2022	2023	2024	2025	2026	2027	2028	202	29 203	0 20	031 2032 2033	2034	2035	2036	2037	2038	2039	2040	2041	2042 Deficie	ency Repair Estimate
D2010	Throughout Building 430	01902 Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	35	5	3400	SF	\$5.49 \$18,666						\$18,666															\$18,666
D2010	Throughout Building 430	01893 Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	12	3	1	EA	\$1,647.00 \$1,647				\$1,647														\$1,647			\$3,294
D2010	Restroom 430	01895 Urinal, Standard, Replace	30	16	14	1	EA	\$1,207.80 \$1,208														\$1,208							\$1,208
D2010	Throughout Building 430	01905 Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	16	14	4	EA	\$1,647.00 \$6,588														\$6,588							\$6,588
D2010	Throughout Building 430	01900 Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60 \$2,635															\$2,635						\$2,635
D3050	Roof 430	01884 Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON, Replace	20	20	0	4	EA	\$9,882.00 \$39,528	\$39,528																			\$39,528	\$79,056
D3060	Roof 430	01891 Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM, Replace	25	21	4	4	EA	\$2,635.20 \$10,541				\$	10,541																\$10,541
D4030	Throughout Interior 430	01886 Fire Extinguisher, Wet Chemical/CO2, Replace	10	5	5	2	EA	\$329.40 \$659						\$659									\$659						\$1,318
D5020	Electrical room 430	01887 Distribution Panel, 277/480 V, 200 AMP, Replace	30	20	10	3	EA	\$3,294.00 \$9,882											\$9,882										\$9,882
D5040	Throughout Building 430	01896 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	e 20	14	6	3400	SF	\$4.94 \$16,799							\$16,799														\$16,799
D5040	Building Exterior 430	01883 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	10	10	8	EA	\$241.56 \$1,932											\$1,932										\$1,932
D7050	Throughout Building 430	01888 Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	12	8	3400	SF	\$3.29 \$11,200									\$11,20	0											\$11,200
E2010	Throughout Building 430	01909 Casework, Cabinetry Economy, Replace	20	14	6	30	LF	\$192.15 \$5,765							\$5,765														\$5,765
Totals, Unes	calated								\$117,157	\$0 \$45	,896	\$1,647 \$	10,541	\$34,038	\$25,034	\$24,70	5 \$11,20	0 \$5	549 \$20,017 \$5,534	\$0	\$0	\$7,796	\$18,007	\$0 \$	24,705	\$1,647	\$0	\$39,528	\$388,000
Totals, Esca	lated (3.0% inflation, compo	ounded annually)							\$117,157	\$0 \$48	,691	\$1,800 \$	11,864	\$39,459	\$29,892	\$30,38	34 \$14,18	7 \$7	716 \$26,901 \$7,660	\$0	\$0	\$11,792	\$28,055	\$0 \$	40,834	\$2,804	\$0	\$71,392	\$483,588

Jersey Elementary / Building 400

•	entary / Building 400 odeLocation Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantit	yUnit	Unit Cost *Subtota	al 2022	2023	2024	2025 202	6 2027	2028	2029	2030	2031	2032	2033 203	4 203	5 2036	203	7 2038	2039	2040	2041 2042 Defic	ciency Repair Estimate
B2010	Building Exterior	4350396	Exterior Walls, Brick, Replace	50	35	15	3330	SF	\$58.19 \$193,78	86													\$193,78	6				\$193,78
B2020	Building Exterior	4320999	Window, Steel, up to 15 SF, Replace	30	15	15	38	EA	\$1,207.80 \$45,89	96													\$45,89	6				\$45,89
B3010	Roof	4320989	Roofing, Built-Up, Replace	25	23	2	5600	SF	\$15.37 \$86,0	183		\$86,083																\$86,08
B3080	Roof	4320993	Soffit/Fascia, Gypsum Board, Replace	20	10	10	2000	SF	\$9.11 \$18,2	27								\$	18,227									\$18,22
C1070	Throughout building	4320995	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	25	0	5600	SF	\$3.84 \$21,5	\$21,521	ı																	\$21,52 ⁻
C1090	Building 400	4350395	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	1	EA	\$823.50 \$83	24									\$824									\$824
C2010	Throughout building	4350405	Wall Finishes, any surface, Prep & Paint	10	4	6	6500	SF	\$1.65 \$10,70	06				:	\$10,706									\$10,706				\$21,411
C2030	Restrooms	4320973	Flooring, Ceramic Tile, Replace	40	20	20	300	SF	\$19.76 \$5,93	129																	\$5,929	\$5,929
C2030	Throughout building	4320979	Flooring, Carpet, Commercial Standard, Replace	10	4	6	3300	SF	\$8.24 \$27,1	76				:	\$27,176									\$27,176				\$54,351
D2010	Throughout building	4320988	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	3600	SF	\$5.49 \$19,76	64																	\$19,764	\$19,764
D2010	Building exterior	4320980	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	7	8	1	EA	\$1,647.00 \$1,64	47							\$1,647											\$1,647
D2010	Restrooms	4350409	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	4	EA	\$1,647.00 \$6,58	i88													\$6,58	8				\$6,588
D2010	Throughout building	4320975	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60 \$2,6	35													\$2,63	5				\$2,635
D2010	Restrooms	4320983	Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,427.40 \$5,7	10													\$5,71	0				\$5,710
D2010	Restrooms	4350411	Urinal, Standard, Replace	30	10	20	3	EA	\$1,207.80 \$3,63	23																	\$3,623	\$3,623
D3050	Roof	4350414	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	19	1	4	EA	\$9,882.00 \$39,5	28	\$39,528																	\$39,528
D3060	Roof	4350415	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	20	5	2	EA	\$1,537.20 \$3,0	174				\$3,074														\$3,074
D3060	Roof	4320976	Exhaust Fan, Centrifugal, 16" Damper, Replace	25	20	5	4	EA	\$2,635.20 \$10,54	i41				\$10,541														\$10,541
D4030	Throughout building	4350417	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	2	EA	\$164.70 \$33	29					\$329									\$329				\$659
D5020	Electrical room	4350418	Distribution Panel, 277/480 V, 200 AMP, Replace	30	27	3	3	EA	\$3,294.00 \$9,88	82			\$9,882															\$9,882
D5030	Throughout building	4350419	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	3600	SF	\$2.75 \$9,88	82																	\$9,882	\$9,882
D5040	Throughout building	4350421	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	e 20	10	10	3600	SF	\$4.94 \$17,78	'88								\$	17,788									\$17,788
D5040	Building exterior	4350420	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56 \$96	166													\$96	6				\$966
D7050	Throughout building	4320986	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3600	SF	\$2.20 \$7,9	106									\$7,906									\$7,906
Totals, Unes	calated									\$21,521	\$39,528	\$86,083	\$9,882 \$	0 \$13,615	\$38,210	\$0	\$1,647	\$0 \$4	44,744	\$0 \$	0 \$	0 \$0	\$255,58	1 \$38,210	\$0	\$0	\$0 \$39,199	\$588,221
Totals, Esca	lated (3.0% inflation, cor	npounde	d annually)							\$21,521	\$40,714	\$91,326	\$10,798 \$	0 \$15,784	\$45,625	\$0	\$2,086	\$0 \$0	60,132	\$0 \$	0 \$	0 \$0	\$398,18	8 \$61,316	\$0	\$0	\$0 \$70,797	\$818,287

Jersey Elementary / Building 500 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042Deficiency Repair Estimate Uniformat CodeLocation DescriptionID Cost Description Lifespan (EUL)EAge RUL QuantityUnit Unit Cost *Subtotal 2022 Building Exterior 4350434 Exterior Walls, Brick, Replace 35 15 3330 SF \$58.19 \$193,786 \$193,786 \$193,786 30 10 38 EA \$1,207.80 \$45,896 \$45,896 B2020 Building Exterior 4350435 Window, Steel, up to 15 SF, Replace \$45,896 2 5600 SF B3010 25 \$15.37 \$86,083 \$86,083 Roof 4350442 Roofing, Built-Up, Replace \$86.083 B3080 4350426 Soffit/Fascia, Gypsum Board, Replace 20 13 2000 SF \$9.11 \$18,227 \$18,227 \$18,227 C1030 Throughout building 4350443 Interior Door, Wood, Solid-Core, Replace 40 EA \$768.60 \$1,537 \$1,537 \$1,537 C1070 25 3600 SF Throughout building 4350437 Suspended Ceilings, Acoustical Tile (ACT), Replace \$3.84 \$13,835 \$13,835 \$13,835 C2010 10 5 6500 SF Throughout building 4350444 Wall Finishes, any surface, Prep & Paint \$1.65 \$10,706 \$10,706 \$10,706 \$21,411 C2030 Throughout building 4350438 Flooring, Carpet, Commercial Standard, Replace 10 6 3600 SF \$8.24 \$29,646 \$29.646 \$29,646 \$59,292 C2050 4350427 Ceiling Finishes, any flat surface, Prep & Paint 10 3 2000 SF \$2.20 \$4,392 10 3600 SF D2010 Throughout building 4350428 Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace 40 \$5.49 \$19,764 \$19,764 \$19,764 5 1 EA \$1,537.20 \$1,537 D2010 35 30 \$1,537 \$1,537 Throughout building 4350445 Sink/Lavatory, Service Sink, Wall-Hung, Replace D2010 Throughout building 4350429 Sink/Lavatory, Drop-In Style, Stainless Steel, Replace 30 10 4 EA \$1,317.60 \$5,270 \$5,270 \$5,270 D3050 4350439 Packaged Unit, RTU, Pad or Roof-Mounted, Replace 20 EA \$9,882.00 \$39,528 \$39,528 \$39,528 D3060 25 20 EA \$1,537.20 \$3,074 \$3,074 \$3,074 4350448 Exhaust Fan, Centrifugal, 12" Damper, Replace 5 2 10 D4030 4 6 2 EA \$164.70 \$329 \$329 \$329 \$659 Throughout building 4350430 Fire Extinguisher, Type ABC, up to 20 LB, Replace 30 D5020 Electrical room 4350440 Secondary Transformer, Dry, Stepdown, Replace 20 10 EA \$3,184.20 \$3,184 \$3,184 \$3,184 D5020 25 5 3 EA \$3,294.00 \$9,882 \$9,882 \$9,882 4350446 Distribution Panel, 277/480 V, 200 AMP, Replace D5030 40 25 15 3600 SF \$2.75 \$9,882 \$9,882 \$9,882 Throughout building 4350447 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace 5 15 3600 SF \$4.94 \$17,788 \$17,788 D5040 20 \$17,788 Throughout building 4350441 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace 5 15 4 EA \$241.56 \$966 D5040 Building exterior 4350431 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace 20 \$966

Uniformat Cod	leLocation DescriptionID	Cost Description	Lifespan (EUL)EAge	RUL	Quantit	yUnit	Unit Cost	*Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	037 20	38 2	39 2	040	2041	2042Deficiency Repair	Estimate
D7050	Throughout building 435043	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3600	SF	\$2.2	0 \$7,906										\$	\$7,906											\$7,906
E2010	Throughout building 435043	Casework, Cabinetry, Economy, Replace	20	14	6	10	LF	\$192.1	5 \$1,922							\$1,922															\$1,922
Totals, Unesca	alated									\$0	\$0 \$1	125,611	\$4,392	\$0 \$	25,199	\$31,897	\$0 \$1	13,835	\$0 \$8	83,558	\$0	\$0 \$	22,619	\$0 \$233	127 \$29,9	75	\$0	\$0	\$0	\$0	\$570,213
Totals, Escala	ted (3.0% inflation, compounde	ed annually)								\$0	\$0 \$1	33,261	\$4,799	\$0 \$	29,213	\$38,087	\$0 \$1	17,526	\$0 \$11	12,295	\$0	\$0 \$	33,216	\$0 \$363	205 \$48,1)2	\$0	\$0	\$0	\$0	\$779,703

ersev	Elementary	1/	Building	600	

Iniformat C	odeLocation Description	ID Cost Description	Lifespan (EUL)EAge	RUL	Quantity	yUnit	Unit Cost	t *Subto	tal 2022	2023	2024	2025	2026	2027	2028	2029	2030	2031 203	2 203	3 2034	2035	2036	2037	2038	2039	2040	2041 204	2Deficiency Repair Estima
B2010	Building Exterior	4350624 Exterior Walls, Brick, Replace	50	35	15	3330	SF	\$58.1	19 \$193	,786														\$193,786					\$193,78
B2020	Building Exterior	4321031 Window, Steel, up to 15 SF, Replace	30	18	12	38	EA	\$1,207.8	80 \$45	,896											\$45,896								\$45,89
B3010	Roof	4350637 Roofing, Built-Up, Replace	25	24	1	5600	SF	\$15.3	37 \$86	,083	\$86,083																		\$86,08
B3080	Roof	4350617 Soffit/Fascia, Gypsum Board, Replace	20	5	15	2000	SF	\$9.1	11 \$18	,227														\$18,227					\$18,22
C1030	Throughout building	4350627 Interior Door, Wood, Solid-Core, Replace	40	20	20	2	EA	\$768.6	50 \$1	,537																		\$1,537	\$1,53
C1070	Throughout building	4321029 Suspended Ceilings, Acoustical Tile (ACT), Replace	25	24	1	3600	SF	\$3.8	34 \$13	,835	\$13,835																		\$13,83
C2010	Throughout building	4350632 Wall Finishes, any surface, Prep & Paint	10	5	5	6500	SF	\$1.6	\$10	,706				\$	10,706									\$10,706					\$21,41
C2030	Restrooms	4321046 Flooring, Ceramic Tile, Replace	40	20	20	300	SF	\$19.7	6 \$5	,929																		\$5,929	\$5,92
C2030	Throughout building	4350634 Flooring, Carpet, Commercial Standard, Replace	10	4	6	3300	SF	\$8.2	24 \$27	,176					\$	27,176									\$27,176				\$54,35
C2050	Roof	4350586 Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	2000	SF	\$2.2	20 \$4	,392					\$4,392									\$4,392					\$8,78
D2010	Throughout building	4321027 Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	25	15	3600	SF	\$5.4	19 \$19	,764														\$19,764					\$19,76
D2010	Building exterior	4321052 Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	8	7	1	EA	\$1,647.0	00 \$1	,647							\$1,647												\$1,64
D2010	Throughout building	4321047 Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.6	50 \$2	,635														\$2,635					\$2,63
D2010	Restrooms	4350618 Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,427.4	10 \$5	,710														\$5,710					\$5,71
D2010	Restrooms	4321036 Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	4	EA	\$1,647.0	00 \$6	,588														\$6,588					\$6,58
D2010	Restrooms	4321043 Urinal, Standard, Replace	30	15	15	3	EA	\$1,207.8	30 \$3	,623														\$3,623					\$3,62
D3050	Roof	4321038 Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	18	2	4	EA	\$9,882.0	00 \$39	,528		\$39,528																	\$39,52
D3060	Roof	4350635 Exhaust Fan, Centrifugal, 12" Damper, Replace	25	18	7	2	EA	\$1,537.2	20 \$3	,074							\$3,074												\$3,07
D3060	Roof	4321025 Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM, Replace	25	18	7	6	EA	\$2,635.2	20 \$15	,811						5	515,811												\$15,81
D4030	Throughout building	4350631 Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	2	EA	\$164.7	70 \$	329						\$329									\$329				\$65
D5020	Electrical room	4321048 Distribution Panel, 277/480 V, 200 AMP, Replace	30	25	5	4	EA	\$3,294.0	00 \$13	,176				\$	13,176														\$13,17
D5030	Throughout building	4321039 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	25	15	3600	SF	\$2.7	75 \$9	,882														\$9,882					\$9,88
D5040	Throughout building	4350636 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	ce 20	5	15	3600	SF	\$4.9	94 \$17	,788														\$17,788					\$17,78
D5040	Building exterior	4321035 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.5	6 \$	966														\$966					\$96
D7050	Throughout building	4350638 Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3600	SF	\$2.2	20 \$7	,906									\$7,906	6									\$7,90
Totals, Unes	scalated									\$(\$99,918	\$39,528	\$0	\$0 \$:	28,274 \$	27,505	20,533	\$0	\$0 \$7,906	5 \$	0 \$45,896	\$0	\$0	\$294,066	\$27,505	\$0	\$0	\$0 \$7,466	\$598,59
Totals. Esca	alated (3.0% inflation, co	mpounded annually)								\$(0 \$102,916	\$41.935	\$0	\$0 S:	32,777 \$	32.842 9	25.253	\$0	\$0 \$10,624	1 5	0 \$65,437	\$0	\$0	\$458,146	\$44.137	\$0	\$0	\$0 \$13,485	\$827,55

Jersey Elementary / Building 700

Uniformat C	odeLocation Description	ID	Cost Description	Lifespan (EUL)EAge	RUL	Quantity	yUnit	Unit Co	st *Sub	total 2022	2023	3 2024	2025	2026	2027 2028	2029 2030	2031	2032 2	033 2034	2035	2036	2037	2038	2039	2040	2041 20	42 Deficiency Repair Estima
B2020	Building Exterior	4350837	Window, Steel, up to 15 SF, Replace	30	15	15	38	EA	\$1,207	.80 \$45	,896												\$45,896					\$45,8
B3010	Roof	4350829	Roofing, Built-Up, Replace	25	23	2	5600	SF	\$15	.37 \$86	6,083		\$86,083															\$86,0
B3080	Roof	4350839	Soffit/Fascia, Gypsum Board, Replace	20	8	12	2000	SF	\$9	.11 \$18	3,227									\$18,227								\$18,2
C1030	Throughout building	4321074	Interior Door, Wood, Solid-Core, Replace	40	20	20	2	EA	\$768	.60 \$1	,537																\$1,5	\$1,5
C1070	Throughout building	4321061	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	17	8	3600	SF	\$3	.84 \$13	3,835						\$13,835											\$13,8
C2010	Throughout building	4350849	Wall Finishes, any surface, Prep & Paint	10	4	6	6500	SF	\$1	.65 \$10	,706					\$10,706							\$	10,706				\$21,4
C2030	Throughout building	4321063	Flooring, Carpet, Commercial Standard, Replace	10	4	6	3600	SF	\$8	.24 \$29	9,646					\$29,646							\$	29,646				\$59,2
C2050	Roof	4350844	Ceiling Finishes, any flat surface, Prep & Paint	10	4	6	2000	SF	\$2	.20 \$4	,392					\$4,392								\$4,392				\$8,7
D2010	Throughout building	4321071	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	3600	SF	\$5	.49 \$19	764																\$19,70	\$19,7
D2010	Electrical room	4321062	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	28	7	1	EA	\$1,537	.20 \$1	,537					\$1	,537											\$1,5
D2010	Throughout building	4321068	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317	.60 \$2	2,635												\$2,635					\$2,6
D3050	Roof	4350836	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	18	2	4	EA	\$9,882	.00 \$39	,528		\$39,528															\$39,5
D3060	Roof	4321073	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	19	6	4	EA	\$1,537	.20 \$6	5,149					\$6,149												\$6,1
D4030	Throughout building	4321057	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	3	7	2	EA	\$164	.70	\$329						\$329								\$329			\$6
D5020	Electrical room	4350834	Distribution Panel, 277/480 V, 200 AMP, Replace	30	23	7	4	EA	\$3,294	.00 \$13	3,176					\$13	,176											\$13,1
D5030	Throughout building	4350835	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	3600	SF	\$2	.75 \$9	,882																\$9,88	32 \$9,8
D5040	Throughout building	4350833	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	ce 20	5	15	3600	SF	\$4	.94 \$17	7,788												\$17,788					\$17,7
D5040	Building exterior	4321059	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	1	EA	\$241	.56	\$242												\$242					\$2
D7050	Throughout building	4350831	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3600	SF	\$2	.20 \$7	,906							\$,906									\$7,9
E2010	Throughout building	4350832	Casework, Cabinetry, Hardwood Standard, Replace	20	5	15	40	LF	\$329	.40 \$13	3,176												\$13,176					\$13,1
Totals, Une	scalated										\$0	\$0	\$125,611	\$0	\$0	\$0 \$50,892 \$15	,043 \$13,835	\$0 \$,906	\$0 \$18,227	\$0	\$0	\$79,737 \$4	44,744	\$329	\$0	\$0 \$31,18	33 \$387,5
Totals, Esc	alated (3.0% inflation, co	npounded	d annually)								\$0	\$0	\$133,261	\$0	\$0	\$0 \$60,768 \$18	,501 \$17,526	\$0 \$10	,624	\$0 \$25,987	\$0	\$0 \$	124,227 \$	71,800	\$544	\$0	\$0 \$56,32	20 \$519,5

Jersey Elementary / Building 800

Uniformat Co	deLocation Description	ID	Cost Description	Lifespan (EUL)EAge	RUL	Quantity	Unit	Unit Cost	*Subtota	al 2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042 D	eficiency Repair Estimat	е
B2010	Building Exterior	4344278	Exterior Walls, Brick, Replace	50	30	20	1900	SF	\$58.19	9 \$110,5	69																			\$	110,569	\$110,569)
B2020	Building Exterior	4344295	Window, Steel, up to 15 SF, Replace	30	15	15	38	EA	\$1,207.80	0 \$45,8	96															\$45,896						\$45,890	j
B3010	Roof	4344286	Roofing, Built-Up, Replace	25	23	2	2600	SF	\$15.37	7 \$39,9	67		\$39,967																			\$39,96	,
B3080	Roof	4350222	Soffit/Fascia, Gypsum Board, Replace	20	8	12	800	SF	\$9.1	1 \$7,2	91												\$7,291									\$7,29 ⁻	i
C1030	Throughout building	4344288	Interior Door, Wood, Solid-Core, Replace	40	20	20	2	EA	\$768.60	0 \$1,5	37																				\$1,537	\$1,53	1

Uniformat Cod	leLocation DescriptionID		Cost Description	Lifespan (EUL	_)EAge	RUL	Quantity	/Unit	Unit Cost	*Subtotal 20:	22 2023	2024	2025	2026	2027	2028	2029 2	2030	2031 2032	2033	2034	2035	2036 20	37 203	38 2039	2040	2041 2042 Defic	ciency Repair Estimat
C1070	Throughout building 43	350224	Suspended Ceilings, Hard Tile, ACM Abatement & Replacement w/ ACT, Replace	25	15	10	1800	SF	\$15.3	7 \$27,670									\$27,670									\$27,670
C2010	Throughout building 43	344297	Wall Finishes, any surface, Prep & Paint	10	5	5	3250	SF	\$1.6	5 \$5,353				\$	5,353								\$5,3	53				\$10,706
C2030	Throughout building 43	344299	Flooring, Carpet, Commercial Standard, Replace	10	7	3	1800	SF	\$8.2	4 \$14,823		\$1	4,823								\$1	4,823						\$29,646
D2010	Throughout building 43	344296	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	1800	SF	\$5.4	9 \$9,882																	\$9,882	\$9,882
D2010	Throughout building 43	350228	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.6	0 \$2,635													\$2,6	35				\$2,635
D3050	Roof 43	350229	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	18	2	2	EA	\$9,882.0	0 \$19,764	\$1	19,764																\$19,764
D3060	Roof 43	344279	Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM, Replace	25	17	8	1	EA	\$2,635.2	0 \$2,635							\$2,	635										\$2,635
D4030	Throughout building 43	344280	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	3	7	3	EA	\$164.7	0 \$494						\$	\$494								\$494			\$988
D5020	Electrical room 43	344294	Distribution Panel, 277/480 V, 200 AMP, Replace	30	27	3	3	EA	\$3,294.0	0 \$9,882		\$	9,882															\$9,882
D5030	Throughout building 43	344281	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	1800	SF	\$2.7	5 \$4,941																	\$4,941	\$4,941
D5040	Throughout building 43	350235	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replac	e 20	5	15	1800	SF	\$4.9	4 \$8,894													\$8,8	94				\$8,894
D5040	Building exterior 43	350234	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.5	6 \$966													\$9	66				\$966
D7050	Throughout building 43	344282	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	1800	SF	\$2.2	0 \$3,953									\$3,953									\$3,953
E2010	Throughout building 43	350237	Casework, Cabinetry, Hardwood Standard, Replace	20	10	10	50	LF	\$329.4	0 \$16,470									\$16,470									\$16,470
Totals, Unesca	alated										\$0 \$0 \$5	59,731 \$2	4,705	\$0 \$	5,353	\$0 \$	\$494 \$2,	635	\$0 \$48,092	\$0	\$7,291 \$1	4,823	\$0 \$63,7	44 \$	0 \$494	\$0	\$0 \$126,929	\$354,292
Totals, Escala	ted (3.0% inflation, comp	ounded	annually)								\$0 \$0 \$6	3,369 \$2	6,996	\$0 \$	6,205	\$0 \$	\$608 \$3,	338	\$0 \$64,632	\$0 \$	10,395 \$2	1,768	\$0 \$99,3	12 \$	0 \$817	\$0	\$0 \$229,248	\$526,687
lersev Flemer	ntary / Building 900																											
•	leLocation DescriptionID		Cost Description	Lifespan (EUL	_)EAge	RUL	Quantity	/Unit	Unit Cost	*Subtotal 20	22 2023	2024	2025	2026	2027	2028	2029 2	2030	2031 2032	2033	2034	2035	2036 2	2037 20	38 2039	9 2040	2041 2042Def	ficiency Repair Estima

Uniformat Cod	deLocation Description	ID Cost Description	Lifespan (EUL)E	Age F	RUL	Quantity	Unit	Unit Cost	*Subtotal	2022	2023	2024	2025	2026	2027	2028	2029 2	2030	2031	2032	2033 203	4 203	5 203	2037	7 2038	2039	2040	2041	2042 Deficient	cy Repair Estimate
B2010	Building Exterior	4350881 Exterior Walls, Brick, Replace	50	30	20	2100	SF	\$58.19	\$122,20																			,	\$122,207	\$122,207
B2020	Building Exterior	4344315 Window, Steel, up to 15 SF, Replace	30	15	15	38	EA	\$1,207.80	\$45,896															\$45,896						\$45,896
B3010	Roof	4350874 Roofing, Built-Up, Replace	25	23	2	3050	SF	\$15.37	7 \$46,885			\$46,885																		\$46,885
B3080	Roof	4350860 Soffit/Fascia, Gypsum Board, Replace	20	8	12	900	SF	\$9.11	1 \$8,202												\$8,20	2								\$8,202
C1070	Throughout building	4350862 Suspended Ceilings, Acoustical Tile (ACT), Replace	25	24	1	2150	SF	\$3.84	\$8,262		\$8,262																			\$8,262
C2010	Throughout building	4350877 Wall Finishes, any surface, Prep & Paint	10	5	5	3850	SF	\$1.65	\$6,34						\$6,341									\$6,341						\$12,682
C2030	Restrooms	4350859 Flooring, Ceramic Tile, Replace	40	20	20	300	SF	\$19.76	\$5,929																				\$5,929	\$5,929
C2030	Throughout building	4350872 Flooring, Carpet, Commercial Standard, Replace	10	5	5	1850	SF	\$8.24	\$15,23						\$15,235									\$15,235						\$30,470
C2050	Roof	4350883 Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	900	SF	\$2.20	\$1,976						\$1,976									\$1,976						\$3,953
D2010	Throughout building	4350870 Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	2150	SF	\$5.49	\$11,804																				\$11,804	\$11,804
D2010	Building exterior	4350878 Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	7	8	1	EA	\$1,647.00	\$1,64								\$1,	,647												\$1,647
D2010	Restrooms	4350875 Urinal, Standard, Replace	30	15	15	3	EA	\$1,207.80	\$3,623															\$3,623						\$3,623
D2010	Restrooms	4350880 Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,427.40	\$5,710															\$5,710						\$5,710
D2010	Restrooms	4350882 Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	5	EA	\$1,647.00	\$8,23															\$8,235						\$8,235
D2010	Throughout building	4350873 Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60	\$2,63															\$2,635						\$2,635
D3050	Roof	4350868 Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	0	20	2	EA	\$9,882.00	\$19,76																				\$19,764	\$19,764
D3060	Roof	4344320 Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM, Replace	25	20	5	2	EA	\$2,635.20	\$5,270						\$5,270															\$5,270
D4030	Throughout building	4350865 Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	2	8	2	EA	\$164.70	\$329								\$	329									\$329			\$659
D5020	Electrical room	4350863 Distribution Panel, 277/480 V, 200 AMP, Replace	30	25	5	1	EA	\$3,294.00	\$3,29						\$3,294															\$3,294
D5030	Throughout building	4344313 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	2150	SF	\$2.75	5 \$5,902																				\$5,902	\$5,902
D5040	Throughout building	4344304 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	e 20	10	10	2150	SF	\$4.94	\$10,623										\$10	0,623										\$10,623
D5040	Building exterior	4350879 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56	\$966															\$966						\$966
D7050	Throughout building	4344308 Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	2150	SF	\$2.20	\$4,72										\$4	4,721										\$4,721
E2010	Throughout building	4350866 Casework, Cabinetry, Hardwood Standard, Replace	20	10	10	50	LF	\$329.40	\$16,470										\$10	6,470										\$16,470
Totals, Unesc	alated									\$0	\$8,262	\$46,885	\$0	\$0	\$32,117	\$0	\$0 \$1,	,976	\$0 \$3	1,815	\$0 \$8,20	2 \$(\$0	\$90,618	\$0	\$0	\$329	\$0	\$165,606	\$385,810
Totale Ecol	ated (3.0% inflation, co	mnounded annually)								*0	\$8,510	£40.740	\$0	**	\$37,232	\$0	\$0 \$2,	504	\$0 \$4:	0.750	\$0 \$11,69	4 \$0		\$141,180	\$0	\$0	\$561	60	\$299,103	\$593,279

Iniformat Co	deLocation Description	ıID (Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2022 2023	2024	2025	2026 202	27 2028	3 2029	2030	2031	2032	2033	2034	2035 20	036 203	37 20	38 20	39 20	040 204	11 2042 Deficiency	y Repair Estimate
B1080	Throughout building	4344450	Stairs, Wood, Interior, Replace	30	15	15	30	SF	\$43.92	\$1,318												\$1,31	18					\$1,318
B2010	Building Exterior	4344480	Exterior Walls, Brick, Replace	50	30	20	3200	SF	\$58.19	\$186,221																	\$186,221	\$186,221
B3010	Roof	4351076	Roofing, Asphalt Shingle, 20-Year Standard, Replace	20	20	0	1100	SF	\$4.17	\$4,590 \$4,590																	\$4,590	\$9,179
B3010	Roof	4344452	Roofing, Built-Up, Replace	25	24	1	3900	SF	\$15.37	\$59,951 \$59,951																		\$59,951
B3020	Roof	4351078	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	300	LF	\$9.88	\$2,965								\$2,965										\$2,965
B3080	Roof	4344460	Soffit/Fascia, Gypsum Board, Replace	20	8	12	350	SF	\$9.11	\$3,190										\$3,190								\$3,190
C1030	Throughout building	4351080	Interior Door, Wood, Solid-Core, Replace	40	30	10	2	EA	\$768.60	\$1,537							:	\$1,537										\$1,537
C2010	Throughout building	4351082	Wall Finishes, any surface, Prep & Paint	10	5	5	7200	SF	\$1.65	\$11,858			\$11,85	i8								\$11,85	58					\$23,717
C2030	Storage closet	4351083	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	5	5	150	SF	\$1.65	\$247			\$24	.7								\$24	17					\$494
C2030	Restrooms	4344461	Flooring, Ceramic Tile, Replace	40	20	20	300	SF	\$19.76	\$5,929																	\$5,929	\$5,929
C2030	Throughout building	4351085	Flooring, Wood, Strip, Replace	30	15	15	350	SF	\$16.47	\$5,765												\$5,76	35					\$5,765
C2030	Throughout building	4351086	Flooring, Brick, Replace	50	30	20	150	SF	\$36.23	\$5,435																	\$5,435	\$5,435
C2030	Throughout building	4351105	Flooring, Rubber Tile, Replace	15	14	1	500	SF	\$9.88	\$4,941 \$4,941													\$4,9	41				\$9,882
C2030	Throughout building	4344445	Flooring, Vinyl Sheeting, Replace	15	14	1	100	SF	\$7.69	\$769 \$769													\$70	69				\$1,537
C2030	Throughout building	4351088	Flooring, Vinyl Tile (VCT), Replace	15	10	5	100	SF	\$5.49	\$549			\$54	.9													\$549	\$1,098
C2030	Throughout building	4351089	Flooring, Carpet, Commercial Standard, Replace	10	5	5	2000	SF	\$8.24	\$16,470			\$16,47	0								\$16,47	70					\$32,940
C2050	Throughout building	4351090	Ceiling Finishes, Wood Paneling, Replace	30	20	10	3000	SF	\$15.37	\$46,116							\$	46,116										\$46,116
C2050	Throughout building	4351091	Ceiling Finishes, exposed irregular elements, Prep & Paint	10	5	5	2000	SF	\$2.75	\$5,490			\$5,49	10								\$5,49	90					\$10,980
D2010	Interior	4351111	Water Heater, Electric, Instant Hot, Replace	15	7	8	1	EA	\$549.00	\$549						\$549												\$549

Uniformat Co	deLocation DescriptionID	Cost Description	Lifespan (EUI	L)EAge	RUL	Quantit	yUnit	Unit Cost *	Subtotal 2022	2023	2024	2025	2026	2027	2028	2029	2030	2031 203	32 203	3 2034	2035	2036	2037	2038	2039	2040	2041	2042 De	ficiency Repair Estimate
D2010	Throughout building 4344	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	4000	SF	\$5.49	\$21,960																			\$21,960	\$21,960
D2010	Building exterior 4351	097 Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	15	0	1	EA	\$1,317.60	\$1,318 \$1,31	8													\$1,318						\$2,635
D2010	Restrooms 4344	470 Urinal, Standard, Replace	30	15	15	1	EA	\$1,207.80	\$1,208														\$1,208						\$1,208
D2010	Restrooms 4351	094 Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,427.40	\$5,710														\$5,710						\$5,710
D2010	Restrooms 4344	466 Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	4	EA	\$1,647.00	\$6,588														\$6,588						\$6,588
D2010	Throughout building 4351	096 Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China, Replace	30	15	15	2	EA	\$1,207.80	\$2,416														\$2,416						\$2,416
D3020	Throughout building 4351	106 Unit Heater, Natural Gas, Replace	20	15	5	3	EA	\$5,490.00	\$16,470					\$16,470															\$16,470
D3030	Roof 4351	107 Evaporative Cooler, 0.33 to 0.50 HP, 5000 CFM, Replace	15	13	2	1	EA	\$4,084.56	\$4,085		\$4,085														\$4,085				\$8,169
D3030	Roof 4344	479 Evaporative Cooler, 0.33 to 0.50 HP, Replace	15	7	8	1	EA	\$4,084.56	\$4,085								\$4,085												\$4,085
D3060	Roof 4351	098 Exhaust Fan, Centrifugal, 16" Damper, 1001 to 2000 CFM, Replace	25	20	5	1	EA	\$2,635.20	\$2,635					\$2,635															\$2,635
D4030	Throughout building 4344	472 Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	2	8	3	EA	\$164.70	\$494								\$494									\$494			\$988
D5020	Electrical room 4351	109 Distribution Panel, 277/480 V, 200 AMP, Replace	30	25	5	3	EA	\$3,294.00	\$9,882					\$9,882															\$9,882
D5030	Throughout building 4351	100 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	4000	SF	\$2.75	\$10,980																			\$10,980	\$10,980
D5040	Building exterior 4344	444 Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	5	EA	\$241.56	\$1,208														\$1,208						\$1,208
D5040	Throughout building 4344	474 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	4000	SF	\$4.94	\$19,764														\$19,764						\$19,764
D7050	Throughout building 4351	103 Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	4000	SF	\$2.20	\$8,784									\$8,78	34										\$8,784
E2010	Throughout building 4344	468 Casework, Cabinetry Economy, Replace	20	10	10	60	LF	\$192.15	\$11,529									\$11,52	29										\$11,529
Totals, Unes	calated								\$5,90	7 \$65,660	\$4,085	\$0	\$0	\$63,602	\$0	\$0	\$5,128	\$0 \$70,93	31 \$	0 \$3,190	\$0	\$0	\$79,358	\$5,710	\$4,085	\$494	\$0	\$235,664	\$543,812
Totals, Esca	ated (3.0% inflation, compour	nded annually)							\$5,90	7 \$67,630	\$4,333	\$0	\$0	\$73,732	\$0	\$0	\$6,496	\$0 \$95,32	25 \$	0 \$4,548	\$0	\$0 \$	123.637	\$9,162	\$6,751	\$841	\$0	\$425,635	\$823,997

niformat Co	deLocation Description	ID Cost Description	Lifespan (EUL)EAge	RUL	Quantit	tyUnit	Unit Cos	st *Sub	total 2022	20	23 202	4 20	025 2026	202	7 2028	202	9 203	0 20	31 20	2 203	3 2034	2035	2036	2037	2038	2039	2040	2041	2042 Deficie	ency Repair Estimat
2010	Building Exterior	4351115 Exterior Walls, Wood Siding, Replace	30	15	15	1700	SF	\$10.	.98 \$18	,666															\$18,666						\$18,66
2020	Building Exterior	4326878 Window, Aluminum Double-Glazed, 28-40 SF, Replace	30	15	15	4	EA	\$1,372	.50 \$5	,490															\$5,490						\$5,49
3010	Roof	4326877 Roofing, Metal, Replace	40	20	20	2300	SF	\$14.	.27 \$32	,830																			\$	\$32,830	\$32,83
3080	Roof	4351119 Soffit, Wood, Replace	20	8	12	600	SF	\$15.	.92 \$9	,553												\$9,553									\$9,55
1070	Throughout building	4351120 Suspended Ceilings, Acoustical Tile (ACT), Replace	25	16	9	1700	SF	\$3.	.84 \$6	,533									\$6,53	33											\$6,53
2010	Throughout building	4351121 Wall Finishes, Laminated Paneling (FRP), Replace	30	20	10	2300	SF	\$17.	.57 \$40	,406										\$40,40	6										\$40,40
2030	Throughout building	4351122 Flooring, Carpet, Commercial Standard, Replace	10	6	4	1700	SF	\$8.	.24 \$14	,000				\$14,000									9	14,000							\$27,99
2010	Interior	4351132 Water Heater, Electric, Instant Hot, Replace	15	7	8	1	EA	\$549	.00 \$	\$549								\$549	9												\$54
2010	Building exterior	4326876 Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures), Repla	ce 40	20	20	1700	SF	\$1.	.10 \$1	,867																				\$1,867	\$1,86
2010	Throughout building	4326881 Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	20	10	1	EA	\$1,317.	.60 \$1	,318										\$1,31	8										\$1,31
3050	Roof	4351125 Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	10	10	2	EA	\$7,137	.00 \$14	,274										\$14,27	4										\$14,27
5030	Throughout building	4351126 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Repla	ce 40	20	20	1700	SF	\$2.	.75 \$4	,667																				\$4,667	\$4,66
5040	Throughout building	4326879 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Rep	lace 20	5	15	1700	SF	\$4.	.94 \$8	,400															\$8,400						\$8,40
7050	Throughout building	4351128 Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	1700	SF	\$2.	.20 \$3	,733										\$3,73	3										\$3,73
2010	Throughout building	4351114 Casework, Cabinetry, Economy, Replace	20	10	10	10	LF	\$192	.15 \$1	,922										\$1,92	2										\$1,92
otals, Unes	calated									\$1	0 :	\$0 \$	0	\$0 \$14,000	\$0	\$0	\$0	0 \$549	9 \$6,53	33 \$61,65	3 \$0	\$9,553	\$0 \$	14,000	\$32,556	\$0	\$0	\$0	\$0 \$	\$39,363	\$178,20
ntals Escal	lated (3.0% inflation, co	mnounded annually)								S	n :	\$0 \$	0	\$0 \$15,757	so	50	S	0 \$69	5 \$8 52	24 \$82,85	6 \$0	\$13,620	\$0.5	21,175	\$50 721	\$0	\$0	\$0	\$0.5	\$71,094	\$264,44

Uniformat CodeL	Location Description	ID	Cost Description	Lifespan (EUL)I	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2022 2	2024	2025	5 2026	2027 20	28 202	29 203	0 203	1 2032	2033	2034	2035	2036	2037 20	038	2039 204	40 2041 2042De	eficiency Repair Estimat
B2010	Building Exterior	4351181	Exterior Walls, any painted surface, Prep & Paint	10	6	4	800	SF	\$3.29	\$2,635			\$2,635									\$2,635					\$5,270
B2010	Building Exterior	4344763	Exterior Walls, Brick, Replace	50	30	20	5000	SF	\$58.19	\$290,970																\$290,970	\$290,970
B2020	Building Exterior	4344748	Window, Steel, up to 15 SF, Replace	30	15	15	20	EA	\$1,207.80	\$24,156												\$24	,156				\$24,150
B3010	Roof	4351166	Roofing, Built-Up, Replace	25	23	2	7000	SF	\$15.37	\$107,604	\$107,604																\$107,604
B3080	Roof	4351151	Soffit/Fascia, Gypsum Board, Replace	20	10	10	800	SF	\$9.11	\$7,291								\$7,291									\$7,29
C1070	Throughout building	4351173	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	23	2	5700	SF	\$3.84	\$21,905	\$21,905																\$21,905
C2010	Throughout building	4344771	Wall Finishes, any surface, Prep & Paint	10	4	6	10250	SF	\$1.65	\$16,882				\$16,8	82								\$16,8	j82			\$33,764
C2030	Kitchen	4344758	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	4	6	1600	SF	\$1.65	\$2,635				\$2,6	35								\$2,6	j35			\$5,270
C2030	Stage area	4344769	Flooring, Wood, Strip, Refinish	10	5	5	700	SF	\$4.39	\$3,074				\$3,074								\$3	,074				\$6,149
C2030	Throughout building	4351154	Flooring, Vinyl Tile (VCT), Replace	15	7	8	3180	SF	\$5.49	\$17,458						\$17,458	8										\$17,458
C2030	Throughout building	4344740	Flooring, Luxury Vinyl Tile (LVT), Replace	15	5	10	150	SF	\$8.24	\$1,235								\$1,235									\$1,235
D2010	Utility closet	4344731	Water Heater, Gas, Residential, Replace	15	7	8	1	EA	\$1,427.40	\$1,427						\$1,42	7										\$1,427
D2010	Throughout building	4351146	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	5700	SF	\$5.49	\$31,293																\$31,293	\$31,293
D2010	Building exterior	4351184	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	8	7	1	EA	\$1,647.00	\$1,647					\$1,64	17											\$1,647
D2010	Kitchen	4344761	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	25	10	1	EA	\$1,537.20	\$1,537								\$1,537									\$1,537
D2010	Kitchen	4344732	Sink/Lavatory, Wall-Hung, Enameled Steel, Replace	30	15	15	1	EA	\$1,866.60	\$1,867												\$1	,867				\$1,867
D2010	Restrooms	4344744	Toilet, Commercial Water Closet, Replace	30	15	15	3	EA	\$1,427.40	\$4,282												\$4	,282				\$4,282
D2010	Kitchen	4351177	Sink/Lavatory, Commercial Kitchen, 3-Bowl, Replace	30	15	15	3	EA	\$2,745.00	\$8,235												\$8	,235				\$8,235
D2010	Restrooms	4351148	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	3	EA	\$1,647.00	\$4,941												\$4	,941				\$4,94
D3030	Roof	4344726	Evaporative Cooler, 0.33 to 0.50 HP, Replace	15	15	0	1	EA	\$4,084.56	\$4,085 \$4,085												\$4	,085				\$8,169
D3030	Building exterior	4344722	Split System, Condensing Unit/Heat Pump, Replace	15	4	11	1	EA	\$2,525.40	\$2,525									\$2,525								\$2,525
D3050	Roof	4344739	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	16	4	2	EA	\$9,882.00	\$19,764			\$19,764														\$19,764
D3060	Roof	4344738	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	12	13	4	EA	\$1,537.20	\$6,149											\$6,149						\$6,149
D3060	Throughout building	4344756	Supplemental Components, Air Curtain, 5' Wide Non-Heated, Replace	20	8	12	2	EA	\$1,647.00	\$3,294										\$3,294							\$3,294
D4010	Kitchen	4351164	Fire Suppression System, Commercial Kitchen, per LF of Hood, Replace	20	10	10	13	LF	\$439.20	\$5,710								\$5,710									\$5,710

Jniformat C	odeLocation DescriptionI	D	Cost Description	Lifespan (EUL	_)EAge	RUL	Quantity	/Unit	Unit Cost *	Subtotal 20	22 2	023 2024	202	5 2026	2027	2028	2029	2030	2031 2032	2033	2034	2035	2036 20	37 2038	2039	2040	2041 2042 De	ficiency Repair Estima
D4030	Kitchen	4344734	Fire Extinguisher, Wet Chemical/CO2, Replace	10	4	6	1	EA	\$329.40	\$329						\$329								\$329				\$65
D4030	Throughout building	4344764	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	2	8	4	EA	\$164.70	\$659								\$659								\$659		\$1,31
D5020	Electrical room	4351169	Secondary Transformer, Dry, Stepdown, Replace	30	15	15	1	EA	\$10,980.00	\$10,980													\$10,9	30				\$10,98
D5020	Electrical room	4351178	Distribution Panel, 277/480 V, 400 AMP, Replace	30	25	5	4	EA	\$5,819.40	\$23,278					\$23,278													\$23,27
D5030	Throughout building	4344742	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	5700	SF	\$2.75	\$15,647																	\$15,647	\$15,64
D5040	Throughout building	4344745	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	5700	SF	\$4.94	\$28,164													\$28,1	64				\$28,16
D5040	Building exterior	4351159	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	5	EA	\$241.56	\$1,208													\$1,2	08				\$1,20
D7050	Throughout building	4344724	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	5700	SF	\$2.20	\$12,517									\$12,517									\$12,51
E1030	Kitchen	4344733	Foodservice Equipment, Convection Oven, Double, Replace	10	4	6	2	EA	\$10,431.00	\$20,862						20,862								\$20,862				\$41,72
E1030	Kitchen	4344721	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	7	8	2	EA	\$3,952.80	\$7,906								\$7,906										\$7,90
E1030	Kitchen	4351186	Foodservice Equipment, Refrigerator, 2-Door Reach-In, Replace	15	7	8	1	EA	\$5,050.80	\$5,051								\$5,051										\$5,05
E1030	Kitchen	4344753	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle, Replace	15	6	9	1	EA	\$7,356.60	\$7,357									\$7,357									\$7,35
E1030	Kitchen	4351188	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	6	9	1	EA	\$4,941.00	\$4,941									\$4,941									\$4,94
E1030	Kitchen	4351152	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	6	9	3	EA	\$1,866.60	\$5,600									\$5,600									\$5,60
E1030	Kitchen	4351172	Foodservice Equipment, Freezer, 3-Door Reach-In, Replace	15	5	10	2	EA	\$7,466.40	\$14,933									\$14,933									\$14,93
E1030	Kitchen	4351162	Foodservice Equipment, Refrigerator, 3-Door Reach-In, Replace	15	5	10	1	EA	\$7,027.20	\$7,027									\$7,027									\$7,02
E1030	Kitchen	4344737	Foodservice Equipment, Tilting Skillet, Replace	20	5	15	1	EA	\$26,901.00	\$26,901													\$26,9	01				\$26,90
E1070	Stage area	4351168	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour, Replace	15	5	10	250	SF	\$16.47	\$4,118									\$4,118									\$4,11
Totals, Unes	scalated										\$4,085	\$0 \$129,509	\$1	0 \$22,399	\$26,352	40,708	\$1,647	32,501	\$17,897 \$54,367	\$2,525	\$3,294	\$6,149	\$2,635 \$117,8	\$40,708	\$0	\$659	\$0 \$337,910	\$841,23
Totals, Esca	lated (3.0% inflation, com	pounde	d annually)								\$4,085	\$0 \$137,396	\$	0 \$25,210	\$30,549	48,608	\$2,026	41,171	\$23,352 \$73,065	\$3,496	\$4,696	\$9,030	\$3,986 \$183,6	2 \$65,325	\$0	\$1,122	\$0 \$610,302	\$1,267,09

Jersey Elementary / Office Uniformat CodeLocation DescriptionID Cost Description Lifespan (EUL)EAge RUL QuantityUnit Unit Cost * Subtotal 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042Deficiency Repair Estimate 35 15 1680 SF B2010 Building Exterior 4320962 Exterior Walls, Brick, Replace 50 \$58.19 \$97,766 \$97,766 13 EA \$1,866.60 \$24,266 15 \$24,266 \$24,266 B2020 Building Exterior 4320957 Window, Steel, 16-25 SF, Replace 30 15 B3010 4351211 Roofing, Built-Up, Replace 25 2500 SF \$15.37 \$38.430 \$38,430 \$38,430 B3080 4351196 Soffit, Gypsum Board, Replace 20 1000 SF \$9.11 \$9,113 \$9,113 \$9,113 C1070 25 1500 SF Throughout building 4351210 Suspended Ceilings, Hard Tile, Replacement w/ ACT, Replace \$3.84 \$5,765 \$5,765 \$5,765 C2010 4351206 Wall Finishes, Laminated Paneling (FRP), Replace 30 15 80 SF \$17.57 \$1.405 \$1 405 \$1,405 Janitor closet C2010 Throughout building 4351215 Wall Finishes, any surface, Prep & Paint 10 5 2700 SF \$1.65 \$4,447 \$4,447 \$4,447 \$8,894 C2030 4320958 Flooring, Ceramic Tile, Replace 40 60 SF \$19.76 \$1,186 \$1,186 \$1,186 C2030 0 150 SF \$7.69 \$1,153 \$1,153 \$1,153 Throughout building 4320953 Flooring, Vinyl Sheeting, Repair 1000 SF 10 \$8.24 \$8.235 \$16,470 C2030 Throughout building 4351209 Flooring, Carpet, Commercial Standard, Replace \$8 235 \$8 235 D2010 4351201 Sink/Lavatory, Service Sink, Wall-Hung, Replace 35 25 10 EA \$1,537.20 \$1,537 \$1,537 \$1,537 D2010 EA \$1,317.60 \$2,635 \$2,635 Throughout building 4320960 Sink/Lavatory, Vanity Top, Stainless Steel, Replace D2010 30 15 EA \$1,647.00 \$1,647 \$1,647 \$1,647 Restrooms 4351194 Sink/Lavatory, Wall-Hung, Vitreous China, Replace 30 15 \$2 855 \$2.855 D2010 Restrooms 4351197 Toilet, Commercial Water Closet, Replace 2 EA \$1,427.40 \$2,855 D3050 4351214 Packaged Unit, RTU, Pad or Roof-Mounted, Replace EA \$9,882.00 \$9,882 \$9,882 6 2 EA \$164.70 \$329 \$659 D4030 Throughout building 4320956 Fire Extinguisher, Type ABC, up to 20 LB, Replace D5020 Electrical room 4341548 Switchboard, 120/208 V, 400 AMP, Replace EA \$43,920.00 \$43,920 \$43,920 \$43,920 20 1500 SF D5030 Throughout building 4351218 Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace \$2.75 \$4,118 \$4,118 \$4,118 D5040 Throughout building 4320967 Standard Fixture w/ Lamp, any type, w/ LED Replacement, Replace EA \$241.56 \$1,691 \$1,691 \$1,691 20 15 1500 SF \$4.94 \$7,412 \$7,412 \$7,412 D5040 Throughout building 4320955 Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace D7050 15 10 1 EA \$4,392.00 \$4,392 \$4,392 Electrical room 4320968 Fire Alarm Panel, Multiplex, Replace 5 \$4.392 10 10 1500 SF D7050 Throughout building 4351219 Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install 20 \$2.20 \$3,294 \$3,294 \$3,294 E2010 Throughout building 4351220 Casework, Cabinetry, Economy, Replace 15 5 20 LF \$192.15 \$3,843 \$3,843 \$3,843 Totals, Unescalated \$1,153 \$5,765 \$48,312 \$0 \$43,920 \$16,525 \$329 \$0 \$0 \$0 \$9,223 \$0 \$9,113 \$0 \$0 \$152.358 \$329 \$0 \$0 \$5,303 \$292,332 Totals, Escalated (3.0% inflation, compounded annually) \$1,153 \$5,937 \$51,254 **\$0** \$49,432 \$19,157 **\$393 \$0 \$0 \$0** \$12,395 \$0 \$12,994 \$0 \$237,370 \$529 \$400,192

Jersey Elementary / Portables																											
Uniformat CodeLocation DescriptionID Cost Description	Lifespan (EUL)EAge	RUL	Quanti	ityUnit	Unit Cost *Subtotal 2	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
F1020 Site 4301868 Ancillary Building, Classroom/Office Module, Basic/Portable, Repla	ice 25 15	10	2200) SF	\$219.60 \$483,120											\$483,120											\$483,120
Totals, Unescalated						\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$483,120	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$483,120
Totals, Escalated (3.0% inflation, compounded annually)						\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$649,273	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$649,273

Uniformat Co	deLocation DescriptionID	Cost Description	Lifespan (EUL)E	Age F	RUL	Quantity	Unit	Unit Cost	* Subt	otal 2022	2023	2024	2025	2026	2027 20	28	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042Deficiency Repair Estimat
D2010	Site 43510	Pump, Circulation/Booster, Domestic Water, Replace	25	22	3	1	EA	\$7,466.4	40 \$7,	466			\$7,466																	\$7,46
D2010	Site 43510	Backflow Preventer, Domestic Water, Replace	30	24	6	1	EA	\$3,513.6	60 \$3,	514					\$3,5	14														\$3,51
D2010	Site 4326	Backflow Preventer, Domestic Water, Replace	30	24	6	1	EA	\$3,513.6	60 \$3,	514					\$3,5	14														\$3,51
D2010	Site 43510	Backflow Preventer, Domestic Water, Replace	30	22	8	1	EA	\$5,709.6	60 \$5,	710							\$5	,710												\$5,71
D5020	Site 43510	Secondary Transformer, Dry, Stepdown, Replace	30	22	8	1	EA	\$10,980.0	00 \$10,	980							\$10	,980												\$10,98
D5020	Site 43510	Supplemental Components, Circuit Breaker/Disconnect, Replace	30	25	5	1	EA	\$3,513.6	50 \$3,	514					\$3,514															\$3,51
D5030	Site 4326	Motor, AHU or Pump, Replace	18	9	9	1	EA	\$2,854.8	80 \$2,	855									\$2,855											\$2,85
F1020	Site 4326	Shade structure, Wood or Metal-Framed, Basic/Minimal, Replace	30	15	15	750	SF	\$27.4	45 \$20,	588															\$20,588					\$20,58
G2020	Site 43510	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	3	2	20000	SF	\$0.4	49 \$9,	882		\$9,882				\$9	9,882					\$9,882					\$9,882			\$39,52
G2020	Site 43516	610 Parking Lots, Pavement, Asphalt, Mill & Overlay	25	7	18	20000	SF	\$3.8	84 \$76,	860																		\$76,860		\$76,86

Uniformat Cod	eLocation DescriptionID	Cost Description	Lifespan (EUL)E	Age R	UL	Quantity	Unit	Unit Cost	* Subt	otal 2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042 Deficiency Repair Estima
G2050	Site 432682	4 Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	18	7	8	EA	\$10,431.	00 \$83,	448							\$83,448													\$83,44
G2050	Site 432682	6 Sports Apparatus, Soccer, Regulation Goal, Replace	20	10	10	2	EA	\$2,745.	00 \$5,	490										\$5,490										\$5,4
G2050	Site 435161	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	10	15	20000	SF	\$3.	84 \$76,	860															\$76,860					\$76,86
G2050	Site 435161	8 Playfield Surfaces, Chips Rubber, 3" Depth, Replace	15	6	9	8000	SF	\$3.	84 \$30,	744									\$30,744											\$30,74
G2050	Site 435161	5 Play Structure, Multipurpose, Large, Replace	20	10	10	1	EA	\$38,430.	00 \$38,	430										\$38,430										\$38,4
G2050	Site 432681	9 Play Structure, Multipurpose, Small, Replace	20	10	10	1	EA	\$10,980.	00 \$10,	980										\$10,980										\$10,98
G2050	Site 432681	Play Structure, Multipurpose, Medium, Replace	20	10	10	1	EA	\$21,960.	00 \$21,	960										\$21,960										\$21,9
G2060	Site 432682	Fences & Gates, Fence, Chain Link 8', Replace	40	20	20	1100	LF	\$27.4	45 \$30,	195																			\$3	0,195 \$30,19
G2060	Site 432682	1 Fences & Gates, Fence, Chain Link 4', Replace	40	20	20	150	LF	\$19.	76 \$2,	965																			\$	2,965 \$2,96
G2060	Site 435162	1 Flagpole, Metal, Replace	30	15	15	1	EA	\$2,745.	00 \$2,	745															\$2,745					\$2,74
G4050	Site 432682	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, Replace/Insta	ill 20	10	10	1	EA	\$4,392.	00 \$4,	392										\$4,392										\$4,39
Totals, Unesca	alated										\$0 \$0	\$9,882	\$7,466	\$0	\$3,514	\$7,027	\$93,330	\$16,690	\$33,599	\$81,252	\$0	\$9,882	\$0	\$0 \$	100,193	\$0 \$9	,882 \$	76,860	\$0 \$3	3,160 \$482,73
Totals, Escala	Totals, Escalated (3.0% inflation, compounded annually)										\$0 \$0	\$10,484	\$8,159	\$0	\$4,073	\$8,391	\$114,784	\$21,142	\$43,839	\$109,196	\$0	\$14,089	\$0	\$0 \$	156,097	\$0 \$16	,333 \$1	30,849	\$0 \$5	9,890 \$697,3