

# FACILITY CONDITION ASSESSMENT

*prepared for*

## **DLR Group**

1650 Spruce Street, Suite 300  
Riverside, California 92507  
Kevin Fleming



**BUREAU  
VERITAS**



Lakeland Elementary  
11224 Bombardier Avenue  
Norwalk, California 90650

### **PREPARED BY:**

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### **BV PROJECT #:**

*159753.22R000-004.017*

### **DATE OF REPORT:**

*November 2, 2022*

### **ON SITE DATE:**

*October 6, 2022*

Bureau Veritas

## TABLE OF CONTENTS

<b>1. Executive Summary .....</b>	<b>1</b>
Campus Overview and Assessment Details .....	1
Campus Findings and Deficiencies .....	2
Facility Condition Index (FCI) .....	3
Immediate Needs.....	5
Key Findings.....	6
Plan Types.....	12
<b>2. Building 3-4 .....</b>	<b>13</b>
<b>3. Building 5-6 .....</b>	<b>15</b>
<b>4. Building 7-8 .....</b>	<b>17</b>
<b>5. Building 9-10 .....</b>	<b>19</b>
<b>6. Building 11-12 .....</b>	<b>21</b>
<b>7. Building 13-14 .....</b>	<b>23</b>
<b>8. Building 15-16 .....</b>	<b>25</b>
<b>9. Library.....</b>	<b>27</b>
<b>10. Main Office .....</b>	<b>29</b>
<b>11. Modular.....</b>	<b>31</b>
<b>12. Multipurpose Building.....</b>	<b>33</b>
<b>13. Site Summary.....</b>	<b>35</b>
<b>14. Property Space Use and Observed Areas .....</b>	<b>36</b>
<b>15. ADA Accessibility .....</b>	<b>37</b>
<b>16. Purpose and Scope .....</b>	<b>38</b>
<b>17. Opinions of Probable Costs .....</b>	<b>40</b>
Methodology .....	40
Definitions.....	40
<b>18. Certification.....</b>	<b>42</b>
<b>19. Appendices .....</b>	<b>43</b>



# 1. Executive Summary

## Campus Overview and Assessment Details

General Information	
<b>Property Type</b>	Elementary school campus
<b>Number of Buildings</b>	11
<b>Main Address</b>	11224 Bombardier Avenue, Norwalk, California 90650
<b>Site Developed</b>	1952
<b>Site Area</b>	8.8 acres (estimated)
<b>Parking Spaces</b>	70 total spaces all in open lots; Four of which are accessible
<b>Outside Occupants / Leased Spaces</b>	None
<b>Date(s) of Visit</b>	October 6, 2022
<b>Management Point of Contact</b>	DLR Group, Kevin Fleming, Consultant 951.682.0470 <a href="mailto:kfleming@dlrgroup.com">kfleming@dlrgroup.com</a>
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<b>AssetCalc Link</b>	Full dataset for this assessment can be found at: <a href="https://www.assetcalc.net/">https://www.assetcalc.net/</a>

## Campus Findings and Deficiencies

### Historical Summary

The site was first developed in 1952 as an elementary school, and very little has been changed since construction. Several temporary buildings were added in 1996 on the east side of the site, and an ADA survey was conducted in 2017. Access lifts and other accessibility improvements were made after the survey.

### Architectural

Buildings consist of the original eight cookie cutter classroom buildings with the administration, library, and multipurpose/cafeteria buildings. All these buildings are brick single story structures with open air hallways connecting the buildings. The six additional modular buildings on the east side of the campus are wooden buildings with flat roofs. The built up roofs throughout the campus are at the end of life and leak. The roofs should be replaced with TPO or more energy efficient roofing. Leaking roofs has led to ceiling damage in various buildings and areas of paint and ACT damage should be repaired. Mortar joints at various areas on all buildings appear to crumbling and tuck-pointing is recommended. Buildings are well kept, but windows and floorings will need replacement in the coming years due to age. Although not damaging to the buildings, sprinkler systems are leaving unsightly mineral efflorescence on the sides of buildings.

### Mechanical, Electrical, Plumbing and Fire (MEPF)

Building plumbing and electrical distribution systems are original and consist of copper wiring and galvanized steel distribution pipes. Piping in areas appears to be rusty and some service sinks appear to be at end of life. Classroom buildings are heated and cooled by rooftop package units many of which are near 30 years old and in poor condition. Older units should be replaced with newer units. Ductwork throughout the building is in fair condition, but insulation wrapping is sluffing off in various places.

### Site

The Site consists of extensive grassy fields with concrete sidewalk and asphalt parking lots and basketball courts. There is a jungle gym playground with a rubber surface in poor condition that should be replaced. Asphalt surfaces have some cracking and should be seam sealed and restriped. There are several transformers throughout the site that are rusting out and should be replaced.

### Recommended Additional Studies

No additional studies recommended at this time.



## Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building’s Facility Condition Index (FCI), which provides a theoretical objective indication of a building’s overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description	
<b>0 – 5%</b>	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.
<b>5 – 10%</b>	Subjected to wear but is still in a serviceable and functioning condition.
<b>10 – 30%</b>	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
<b>30% and above</b>	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI’s have been developed to provide owners the intelligence needed to plan and budget for the “keep-up costs” for their facilities. As such the 3-year, 5-year, and 10-year FCI’s are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI’s ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:

FCI Analysis   Lakeland Elementary			
	Replacement Value	Total SF	Cost/SF
	\$ 16,995,600	37,768	\$ 450
	Est Reserve Cost	FCI	
Current	\$ 140,000	0.8 %	
3-Year	\$ 1,075,800	6.3 %	
5-Year	\$ 1,349,000	7.9 %	
10-Year	\$ 3,302,000	19.4 %	



### Campus Level FCI:

The vertical bars below represent the year-by-year needs identified for the entire campus. The orange line in the graph below forecasts what would happen to the campus FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year (blue bars) are associated with the values along the right Y axis.

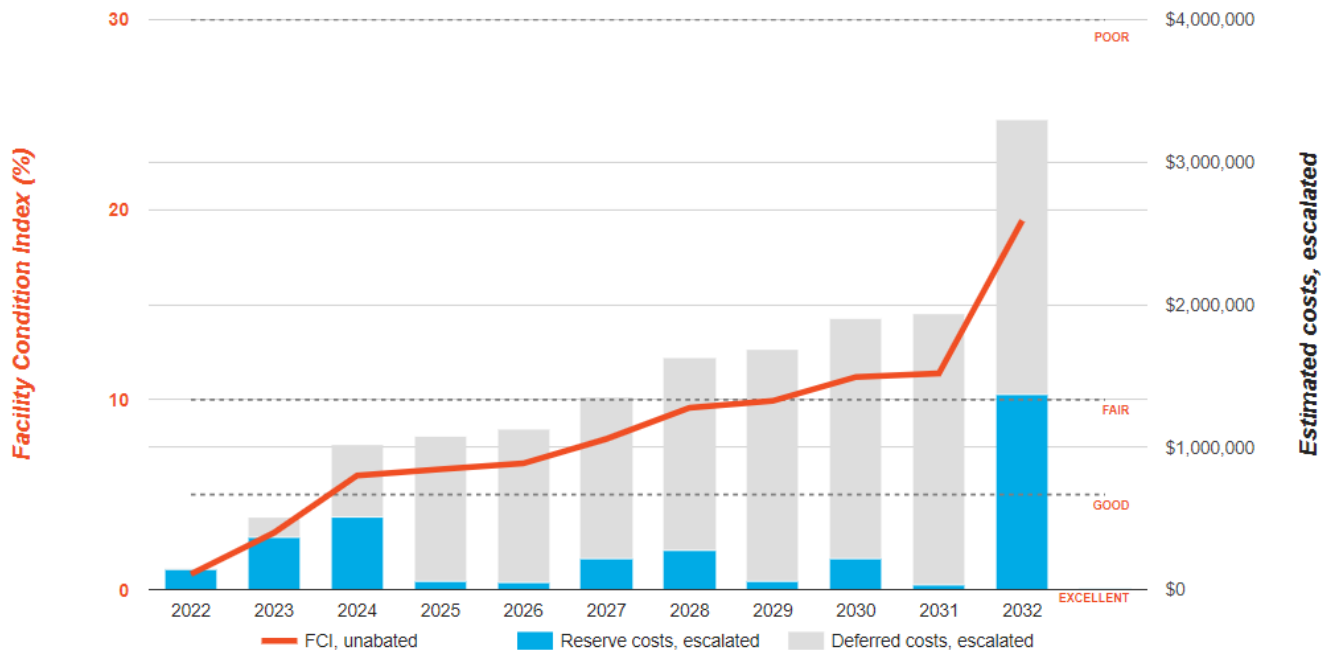
## Needs by Year with Unaddressed FCI Over Time

### FCI Analysis: Lakeland Elementary

Replacement Value: \$16,996,000

Inflation Rate: 3.0%

Average Needs per Year: \$300,200



The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$72,460	-	-	\$457,142	\$3,190,044	\$3,719,646
Roofing	-	\$675,799	-	\$19,785	\$326,199	\$1,021,783
Interiors	\$40,844	\$30,029	\$30,909	\$347,750	\$733,542	\$1,183,074
Conveying	-	-	-	-	\$49,577	\$49,577
Plumbing	-	\$31,680	\$52,979	\$87,112	\$263,503	\$435,274
HVAC	-	\$117,603	\$99,966	\$83,578	\$257,410	\$558,557
Fire Protection	-	-	-	\$245,900	\$32,877	\$278,777
Electrical	-	\$26,041	-	\$277,190	\$418,467	\$721,698
Fire Alarm & Electronic Systems	-	-	-	\$98,848	-	\$98,848
Equipment & Furnishings	-	-	\$6,490	\$151,147	\$48,479	\$206,116
Special Construction & Demo	-	-	-	-	\$68,425	\$68,425
Site Development	\$16,774	-	\$126,014	\$73,971	\$121,929	\$338,688
Site Pavement	\$9,882	-	\$11,455	\$110,643	\$33,242	\$165,222
<b>TOTALS (3% inflation)</b>	<b>\$140,000</b>	<b>\$881,200</b>	<b>\$327,900</b>	<b>\$1,953,100</b>	<b>\$5,543,700</b>	<b>\$8,845,900</b>

### Immediate Needs

Lakeland Elementary / Building 7-8	1	\$7,200
Lakeland Elementary / Building 9-10	2	\$13,100
Lakeland Elementary / Library	1	\$7,200
Lakeland Elementary / Main Office	2	\$8,300
Lakeland Elementary / Modular	1	\$32,900
Lakeland Elementary / Multipurpose Building	1	\$7,200
Lakeland Elementary / Site	2	\$26,700
<b>Total</b>	<b>17</b>	<b>\$139,500</b>

#### Building 11-12

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306907	Lakeland Elementary / Building 11-12	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306913	Lakeland Elementary / Building 15-16	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
<b>Total (1 items)</b>							<b>\$7,200</b>

## Building 3-4

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306914	Lakeland Elementary / Building 3-4	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
4301428	Lakeland Elementary / Building 3-4	Throughout building	C2050	Ceiling Finishes, any flat surface, Prep & Paint	Failed	Performance/Integrity	\$200
<b>Total (2 items)</b>							<b>\$7,400</b>

## Building 5-6

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306915	Lakeland Elementary / Building 5-6	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
4301476	Lakeland Elementary / Building 5-6	Throughout building	C2050	Ceiling Finishes, any flat surface, Prep & Paint	Failed	Performance/Integrity	\$700
<b>Total (2 items)</b>							<b>\$7,900</b>

## Building 7-8

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306916	Lakeland Elementary / Building 7-8	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
<b>Total (1 items)</b>							<b>\$7,200</b>

## Building 9-10

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306917	Lakeland Elementary / Building 9-10	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
4301522	Lakeland Elementary / Building 9-10	Restrooms	C2030	Flooring, Ceramic Tile, Replace	Failed	Performance/Integrity	\$5,900
<b>Total (2 items)</b>							<b>\$13,100</b>

## Library

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306918	Lakeland Elementary / Library	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
<b>Total (1 items)</b>							<b>\$7,200</b>

## Main Office

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306919	Lakeland Elementary / Main Office	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
4301354	Lakeland Elementary / Main Office	Heater room	C1010	Interior Remodel, Down Unit/Space, Minor Repairs, Renovate	Failed	Performance/Integrity	\$1,100
<b>Total (2 items)</b>							<b>\$8,300</b>

## Modular

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4301640	Lakeland Elementary / Modular	Throughout building	C2030	Flooring, Vinyl Tile (VCT), Replace	Failed	Performance/Integrity	\$32,900
<b>Total (1 items)</b>							<b>\$32,900</b>

## Multipurpose Building

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306920	Lakeland Elementary / Multipurpose Building	Building Exterior	B2010	Exterior Walls, Brick, Repair	Poor	Performance/Integrity	\$7,200
<b>Total (1 items)</b>							<b>\$7,200</b>

## Site

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
4306681	Lakeland Elementary / Site	Site	G2020	Parking Lots, Pavement, Asphalt, Seal & Stripe	Failed	Performance/Integrity	\$9,900
4301411	Lakeland Elementary / Site	Site	G2050	Playfield Surfaces, Chips Rubber, 3" Depth, Replace	Failed	Safety	\$16,800
<b>Total (2 items)</b>							<b>\$26,700</b>

### Key Findings



#### Playfield Surfaces in Failed condition.

Chips Rubber, 3" Depth  
Site Lakeland Elementary Site

Uniformat Code: G2050  
Recommendation: **Replace in 2022**

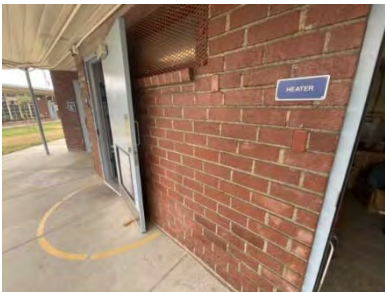
Priority Score: **91.9**

Plan Type: Safety

Cost Estimate: \$16,800

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All playground surfaces are in the same condition. Chunks of material are missing throughout playground. - AssetCALC ID: 4301411



#### Exterior Walls in Poor condition.

Brick  
Building 13-14 Lakeland Elementary  
Building Exterior

Uniformat Code: B2010  
Recommendation: **Repair in 2022**

Priority Score: **89.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$7,200

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Areas of mortar joints are failing at all buildings. - AssetCALC ID: 4306912



#### Roofing in Poor condition.

Built-Up  
Building 9-10 Lakeland Elementary Roof

Uniformat Code: B3010  
Recommendation: **Replace in 2023**

Priority Score: **88.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$61,500

\$\$\$\$

Roof is cracking badly. Evidence of leaking roof. Needs to be replaced - AssetCALC ID: 4301544



#### Secondary Transformer in Poor condition.

Dry, Stepdown  
Site Lakeland Elementary Site

Uniformat Code: D5020  
Recommendation: **Replace in 2023**

Priority Score: **87.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$16,700

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Item is rusted and passed its useful life. Needs replacement soon. - AssetCALC ID: 4301412





**Furnace in Poor condition.**

Gas  
Main Office Lakeland Elementary Heater room

Uniformat Code: D3020  
Recommendation: **Replace in 2024**

Priority Score: **86.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$9,200

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Units are passed their useful life and will need to be replaced soon. - AssetCALC ID: 4301362



**Exhaust Fan in Poor condition.**

Centrifugal, 16" Damper  
Building 13-14 Lakeland Elementary Roof

Uniformat Code: D3060  
Recommendation: **Replace in 2023**

Priority Score: **85.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$5,300

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Fans are badly rusted and beginning to deteriorate. - AssetCALC ID: 4301604



**Parking Lots in Failed condition.**

Pavement, Asphalt  
Site Lakeland Elementary Site

Uniformat Code: G2020  
Recommendation: **Seal and Stripe in 2022**

Priority Score: **84.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$9,900

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Pavement is torn up in most places, paint is almost completely gone. - AssetCALC ID: 4306681



**Plumbing System in Poor condition.**

Supply and Sanitary, Low Density (excludes fixtures)  
Building 13-14 Lakeland Elementary  
Throughout building

Uniformat Code: D2010  
Recommendation: **Replace in 2024**

Priority Score: **84.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$12,600

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Piping is original to the building and has begun to rust. - AssetCALC ID: 4301601



**Flooring in Failed condition.**

Ceramic Tile  
Building 9-10 Lakeland Elementary  
Restrooms

Uniformat Code: C2030  
Recommendation: **Replace in 2022**

Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$5,900

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Tile has cracked and broken. Possibly exposing harmful material. - AssetCALC ID: 4301522



**Flooring in Failed condition.**

Vinyl Tile (VCT)  
Modular Lakeland Elementary Throughout  
building

Uniformat Code: C2030  
Recommendation: **Replace in 2022**

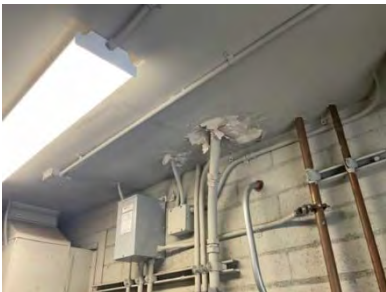
Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$32,900

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Tile has come off the floor. Appears to have water damage. Needs immediate replacement. - AssetCALC ID: 4301640



**Ceiling Finishes in Failed condition.**

Any flat surface  
Building 3-4 Lakeland Elementary  
Throughout building

Uniformat Code: C2050  
Recommendation: **Prep and Paint in 2022**

Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$200

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Interior ceiling needs paint in the heater room. - AssetCALC ID: 4301428



**Packaged Unit in Poor condition.**

RTU, Pad or Roof-Mounted  
Building 5-6 Lakeland Elementary Roof

Uniformat Code: D3050  
Recommendation: **Replace in 2023**

Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$19,800

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The units are past their estimated useful life and are rusting. They will need to be replaced soon. - AssetCALC ID: 4301459





**Suspended Ceilings in Poor condition.**

Hard Tile, Replacement w/ ACT  
Main Office Lakeland Elementary  
Throughout building

Uniformat Code: C1070  
Recommendation: **Replace in 2023**

Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$8,100

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Panels are deteriorating and falling apart. Replacement is necessary. - AssetCALC ID: 4301367

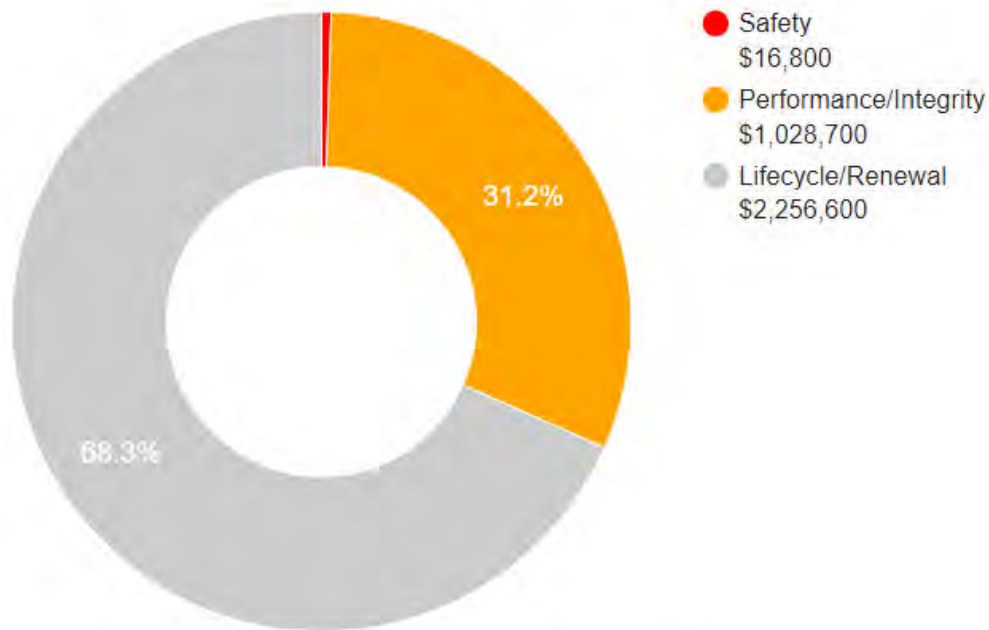
## Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

### Plan Type Descriptions

<b>Safety</b>	■ An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
<b>Performance/Integrity</b>	■ Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
<b>Accessibility</b>	■ Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
<b>Environmental</b>	■ Improvements to air or water quality, including removal of hazardous materials from the building or site.
<b>Retrofit/Adaptation</b>	■ Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
<b>Lifecycle/Renewal</b>	■ Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.

### Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$3,302,100

## 2. Building 3-4



### Building 3-4: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted brick, acoustic tile, Floors: Carpet, terrazzo Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Poor
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

### Building 3-4: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Exceedingly aged HVAC units should be replaced.</p> <p>Roof leaks and should be replaced</p> <p>Ceiling paint is peeling and should be repainted.</p> <p>Areas of exterior mortar joints are decayed and require tuck-pointing</p>	

### 3. Building 5-6



#### Building 5-6: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, acoustic paneling, ceramic tile Floors: Carpet, ceramic tile Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Poor
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

## Building 5-6: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Exceedingly aged HVAC units should be replaced.</p> <p>Roof leaks and should be replaced</p> <p>Ceiling paint is peeling and should be repainted.</p> <p>Areas of exterior mortar joints are decayed and require tuck-pointing</p>	



## 4. Building 7-8



### Building 7-8: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, acoustic paneling, ceramic tile Floors: Carpet, ceramic tile Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

## Building 7-8: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Exceedingly aged HVAC units should be replaced.</p> <p>Roof leaks and should be replaced</p> <p>Ceiling paint is peeling and should be repainted.</p> <p>Areas of exterior mortar joints are decayed and require tuck-pointing</p>	



## 5. Building 9-10



### Building 9-10: Systems Summary

<b>Constructed</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, acoustic paneling, ceramic tile Floors: Carpet, ceramic tile Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Poor
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

## Building 9-10: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Ceramic bathroom tile is cracked and broken</p> <p>Exceedingly aged HVAC units should be replaced.</p> <p>Roof leaks and should be replaced</p> <p>Ceiling paint is peeling and should be repainted.</p> <p>Areas of exterior mortar joints are decayed and require tuck-pointing</p>	

## 6. Building 11-12



### Building 11-12: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, acoustic paneling, ceramic tile Floors: Carpet, terrazzo Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

## Building 11-12: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Exceedingly aged HVAC units should be replaced.</p> <p>Roof leaks and should be replaced</p> <p>Areas of exterior mortar joints are decayed and require tuck-pointing</p> <p>Utility sink is rusty and should be replaced before failure</p>	

## 7. Building 13-14



### Building 13-14: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, acoustic paneling, ceramic tile Floors: Carpet, ceramic tile Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair



## Building 13-14: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Plumbing system is rusting and outdated Roof leaks and should be replaced Ceiling paint is peeling Exhaust fans are exceedingly rusted	

## 8. Building 15-16



### Building 15-16: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building/Group Size</b>	2,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Painted wood Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, terrazzo Floors: Carpet, terrazzo Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized iron supply and cast iron waste and venting Hot Water: None Fixtures: Toilets, and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers and sprinklers	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair

## Building 15-16: Systems Summary

<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	<p>Exterior brick mortar joints are deteriorating in places and should be tuck-pointed</p> <p>The roof leaks and should be replaced</p> <p>Painted ceilings are peeling and should be repainted</p> <p>Rooftop units are exceedingly rusted and should be replaced</p>	



## 9. Library



### Library: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building Size</b>	3,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, terrazzo Floors: Carpet, terrazzo, VCT Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Galvanized supply and cast iron PVC waste and venting Hot Water: Gas domestic boilers with storage tanks Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Good
<b>Fire Suppression</b>	Fire extinguishers and sprinklers	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair

## Library: Systems Summary

<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	ACT tiles are discolored and should be replaced Roof leaks Exhaust fans are exceedingly rusted	



## 10. Main Office



### Main Office: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building Size</b>	3,300 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Windows: Steel	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, ceramic tile, Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Hard tile ACT, painted plaster	Fair
<b>Elevators</b>	1 hydraulic cab serving 2 levels	Fair
<b>Plumbing</b>	Distribution: Galvanized supply and cast iron PVC waste and venting Hot Water: Gas domestic boilers with storage tanks Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: furnaces with split system condenser units, window AC units	Fair
<b>Fire Suppression</b>	Fire extinguishers and sprinklers	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel, Smoke detectors, alarms and exit signs	Fair

## Main Office: Systems Summary

<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Furnaces are exceedingly aged and should be replaced Roof is leaking and should be replaced Water damage in heater room has caused damage in boiler room Ceiling tiles are damaged throughout building and should be replaced Areas of mortar deterioration in exterior brick should be replaced	

## 11. Modular



### Modular: Systems Summary

<b>Constructed/Renovated</b>	1996	
<b>Building Size</b>	6000 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Prefabricated modular structure with wooden beam roof structure	Fair
<b>Façade</b>	Primary Wall Finish: Wood panel Windows: Aluminum	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Fair
<b>Interiors</b>	Walls: Acoustical paneling Floors: Vinyl tile Ceilings: ACT	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Copper supply and PVC waste and venting Hot Water: None Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Wall-mounted heat pump units	Fair
<b>Fire Suppression</b>	Fire extinguishers	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair
<b>Equipment/Special</b>	None	--

## Modular: Systems Summary

<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.
<b>Key Issues and Findings</b>	Vinyl tile flooring is falling apart and needs replacing Step-down transformer is rusting and should be replaced





## 12. Multipurpose Building



### Multipurpose Building: Systems Summary

<b>Constructed/Renovated</b>	1952	
<b>Building Size</b>	4,000 SF	
<b>Number of Stories</b>	One above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with wood supported by wood joists and concrete strip/wall footing foundation system	Fair
<b>Façade</b>	Primary Wall Finish: Brick Windows: Vinyl	Fair
<b>Roof</b>	Primary: Flat construction with built-up finish	Poor
<b>Interiors</b>	Walls: Painted surfaces, ceramic tile Floors: Ceramic tile, vinyl tile, wood strip Ceilings: ACT, painted surfaces	Fair
<b>Elevators</b>	Hydraulic lift to access stage	Fair
<b>Plumbing</b>	Distribution: Galvanized supply and cast iron PVC waste and venting Hot Water: Gas domestic boilers with storage tanks Fixtures: Toilets and sinks in all restrooms	Fair
<b>HVAC</b>	Non-Central System: Packaged units	Fair
<b>Fire Suppression</b>	Fire extinguishers and sprinklers	Fair
<b>Electrical</b>	Source and Distribution: Main panel with copper wiring Interior Lighting: Linear fluorescent Emergency Power: None	Fair
<b>Fire Alarm</b>	Smoke detectors, alarms and exit signs	Fair

## Multipurpose Building: Systems Summary

<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See Appendix D.	
<b>Key Issues and Findings</b>	Roof leaks in various places and should be replaced Areas of exterior mortar joints are crumbling and should be tuck-pointed	



### 13. Site Summary



Site Information		
System	Description	Condition
<b>Pavement/Flatwork</b>	Asphalt lots with adjacent concrete sidewalks	Poor
<b>Site Development</b>	Property entrance signage; chain link Playgrounds and sports fields and courts with fencing Furnished with park benches, picnic tables, trash receptacles	Fair
<b>Landscaping and Topography</b>	Significant landscaping features including lawns, trees, bushes, and planters Irrigation present Low to moderate site slopes throughout	Fair
<b>Utilities</b>	Municipal water and sewer, potential onsite well for landscape water Local utility-provided electric and natural gas	Good
<b>Site Lighting</b>	Building-mounted: LED, CFL	Fair
<b>Ancillary Structures</b>	Storage shed	Fair
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for the exterior site areas. See Appendix D.	
<b>Key Issues and Findings</b>	Secondary transformer is rusting and should be replaced Playground surface is exceedingly aged and should be replaced Parking lot surface should be resealed and restriped	

## 14. Property Space Use and Observed Areas

### Areas Observed

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

### Key Spaces Not Observed

Areas of note that were either inaccessible or not observed for other reasons are listed here:

- Modular Building roofs were not accessed due to lack of ladder.

## 15. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the checklists that are included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this particular assessment. A full measured ADA survey would be required to identify any and all specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are not included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The campus was originally constructed in 1952. The campus has not since been substantially renovated. Modular building were added to the campus in 1996. No information about complaints or pending litigation associated with potential accessibility issues was provided during the interview process. During the interview process with the client representatives, no complaints or pending litigation associated with potential accessibility issues within the campus was reported.

No detailed follow-up accessibility studies are included as recommendations since no major or moderate issues were identified at any of the campus facilities. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

## 16. Purpose and Scope

### Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
<b>Excellent</b>	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Good</b>	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Fair</b>	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
<b>Poor</b>	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
<b>Failed</b>	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
<b>Not Applicable</b>	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

## Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

## 17. Opinions of Probable Costs

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Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

### Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

### Definitions

#### Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.



## Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

## Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

## Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed 'irresponsibly' (too far) into the future.

## 18. Certification

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DLR Group (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Lakeland Elementary, 11224 Bombardier Avenue, Norwalk, California 90650, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

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## 19. Appendices

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- Appendix A: Photographic Record
- Appendix B: Site Plan
- Appendix C: Pre-Survey Questionnaire
- Appendix D: Accessibility Review and Photos
- Appendix E: Component Condition Report
- Appendix F: Replacement Reserves



# Appendix A:

## Photographic Record

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## Photographic Overview



1 - LIBRARY FRONT ELEVATION



2 - MULTIPURPOSE FRONT ELEVATION



3 - TYPICAL CLASSROOM FRONT ELEVATION



4 - CLASSROOM BUILDING LEFT ELEVATION



5 - MODULAR BUILDING FRONT ELEVATION



6 - CLASSROOM BUILDINGS RIGHT ELEVATION





### Photographic Overview



7 - TYPICAL CLASSROOM REAR ELEVATION



8 - BUILDING BRICKWORK



9 - TYPICAL BRICKWORK



10 - COVERED WALKWAY



11 - REAR ELEVATION



12 - REAR ELEVATION





### Photographic Overview



13 - REAR ELEVATION



14 - REAR ELEVATION



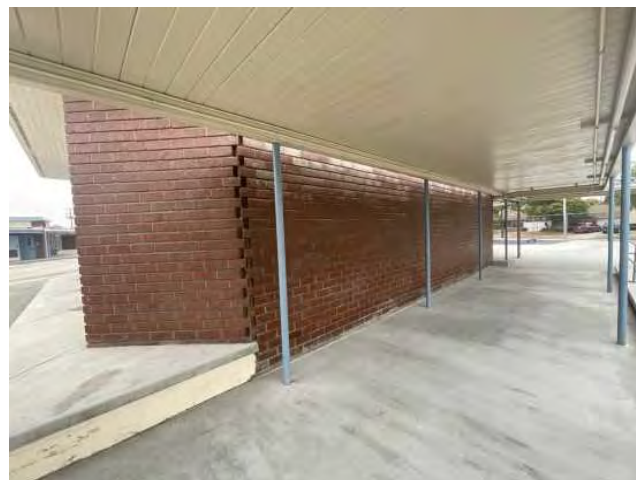
15 - REAR ELEVATION



16 - REAR ELEVATION



17 - RIGHT ELEVATION



18 - RIGHT ELEVATION





### Photographic Overview



19 - TYPICAL ROOF OVERVIEW



20 - TYPICAL ROOF OVERVIEW



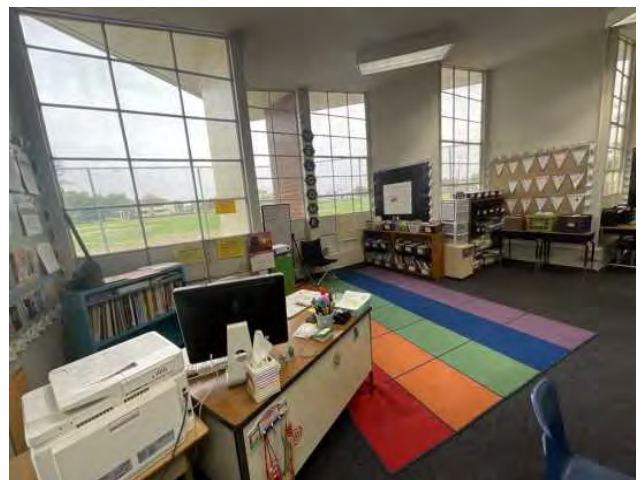
21 - TYPICAL ROOF OVERVIEW



22 - CLASSROOM INTERIOR



23 - CLASSROOM INTERIOR



24 - TYPICAL CLASSROOM





### Photographic Overview



25 - TYPICAL RESTROOM



26 - INDIVIDUAL BATHROOM



27 - LIBRARY INTERIOR



28 - STAGE AREA



29 - LUNCH SERVICE AREA

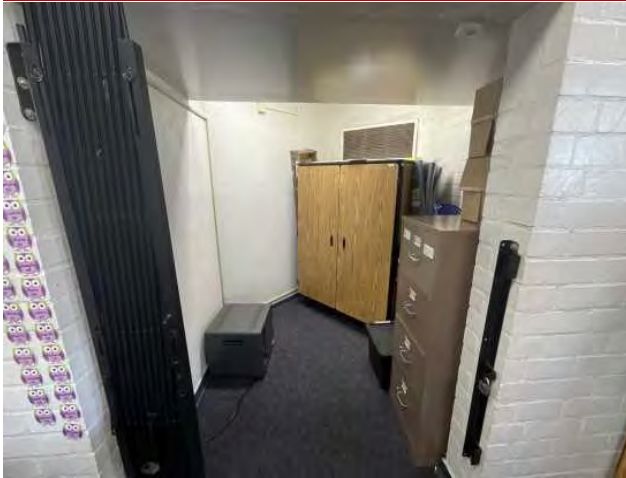


30 - CAFETERIA





### Photographic Overview



31 - STORAGE



32 - MAIN OFFICE



33 - MAIN OFFICE



34 - MAIN OFFICE



35 - TYPICAL ELECTRICAL ROOM



36 - TYPICAL STORAGE ROOM





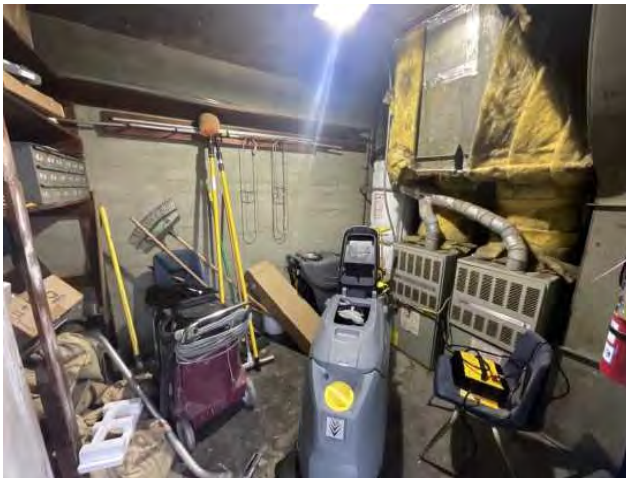
### Photographic Overview



37 - MULTIPURPOSE BUILDING BOILER ROOM



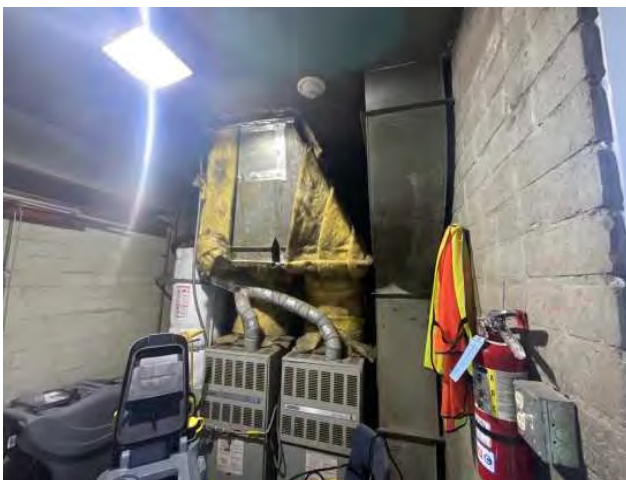
38 - TYPICAL ELECTRICAL ROOM



39 - HEATER ROOM



40 - WATER HEATER



41 - DUCTWORK



42 - HEAT PUMP - WALL-MOUNTED





### Photographic Overview



43 - TYPICAL RTU



44 - FIRE ALARM PANEL



45 - SPORTS FIELD



46 - OUTDOOR SEATING



47 - LANDSCAPING OVERVIEW



48 - PLAY STRUCTURES





### Photographic Overview



49 - PLAY STRUCTURES



50 - SPRINKLER CONTROL



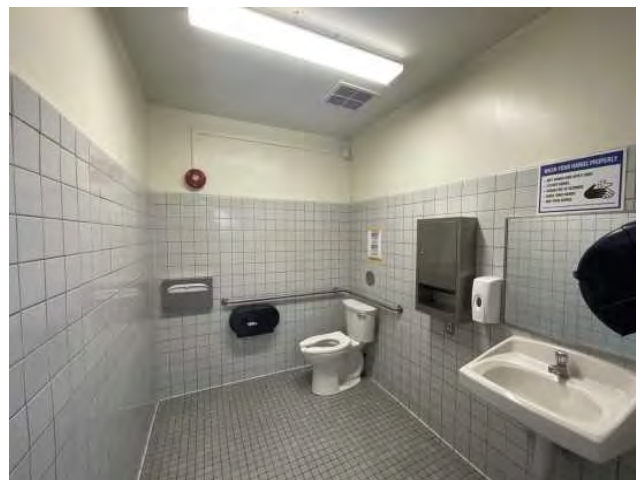
51 - LAWN



52 - PARKING LOT



53 - STORAGE SHED



54 - ADA RESTROOM FIXTURES



# Appendix B:

## Site Plan



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# Site Plan



 <b>BUREAU VERITAS</b>	<b>Project Number</b>	<b>Project Name</b>	 <b>N</b>
	159753.22R000-004.017	Lakeland Elementary	
	<b>Source</b>	<b>On-Site Date</b>	
	Google	October 6, 2022	

# Appendix C:

## Pre-Survey Questionnaire

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## BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

<b>Building / Facility Name:</b>	Lakeland Elementary
<b>Name of person completing form:</b>	Brent Griffen
<b>Title / Association w/ property:</b>	Maintenance and Operations Director
<b>Length of time associated w/ property:</b>	18
<b>Date Completed:</b>	10/6/2022
<b>Phone Number:</b>	1(562) 577-2139
<b>Method of Completion:</b>	INCOMPLETE - client/POC unwilling or unable to complete

---

The Pre-Survey Questionnaire was not filled out either prior to or during the assessment.



*Signature of Assessor*

*Signature of POC*



## **Appendix D:** Accessibility Review and Photos

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## Visual Survey - 2010 ADA Standards for Accessible Design

**Property Name:** Lakeland Elementary

**BV Project Number:** 159753.22R000 - 004.017

Facility History & Interview					
Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?	X			During the 2017-2018 school year
2	Have any ADA improvements been made to the property since original construction? Describe.	X			All the doors throughout the campus were made to be ADA compliant.
3	Has building management reported any accessibility-based complaints or litigation?		X		

Lakeland Elementary : Accessibility Issues				
Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*
<b>Parking</b>				X
<b>Exterior Accessible Route</b>				X
<b>Building Entrances</b>				X
<b>Interior Accessible Route</b>				X
<b>Elevators</b>				X
<b>Public Restrooms</b>				X
<b>Kitchens/Kitchenettes</b>			Kitchenette does not have proper clearance in the main office.	
<b>Playgrounds &amp; Swimming Pools</b>				X
<b>Other</b>				X

*\*be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature*

# Lakeland Elementary : Photographic Overview



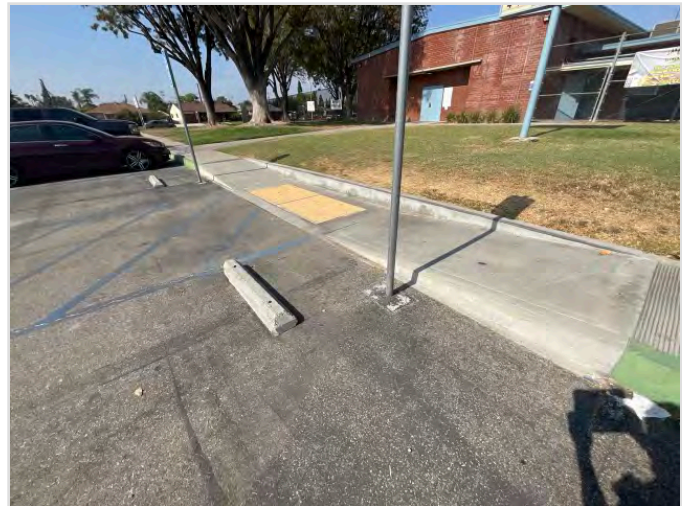
OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE PATH



CURB CUT



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE



# Lakeland Elementary : Photographic Overview



ACCESSIBLE INTERIOR PATH



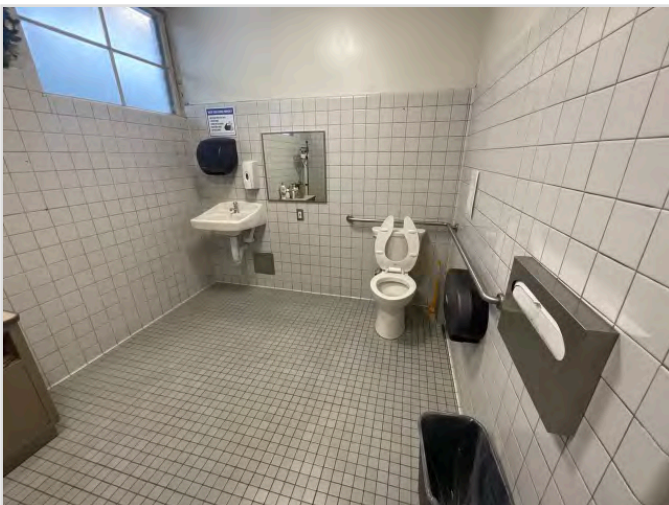
DOOR HARDWARE



LOBBY LOOKING AT CABS (WITH DOORS OPEN)



IN-CAB CONTROLS



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

## Lakeland Elementary : Photographic Overview



SINK CLEARANCE



ACCESSIBLE ROUTE TO PLAYGROUND



OVERVIEW OF PLAYGROUND

## Appendix E:

### Component Condition Report

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**Component Condition Report | Lakeland Elementary / Building 11-12**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306907
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,600 SF	15	4301577
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301564
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	15	15	4304663
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301567
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	3,800 SF	1	4301575
B3080	Roof	Good	Soffit/Fascia, Wood	1,600 SF	12	4301563
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	22	4301554
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	12	4301573
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	3,650 SF	6	4301574
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	13	4301565
C2030	Restrooms	Fair	Flooring, Terrazzo	300 SF	10	4301553
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301569
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	6	4301572
<b>Plumbing</b>						
D2010	Restrooms	Fair	Toilet, Child-Sized	4	15	4301570
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301560
D2010	Heater room	Poor	Sink/Lavatory, Service Sink, Wall-Hung	1	2	4301571
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	4	4301579
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	6	4301557
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found ]	2	1	4301558
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	15	4301568
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	5	7	4301552
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	15	4301576
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301566
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301561

**Component Condition Report | Lakeland Elementary / Building 11-12**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301578
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	10	4301559
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301555
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4301556

**Component Condition Report | Lakeland Elementary / Building 13-14**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,700 SF	15	4301602
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306912
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301586
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301606
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,000 SF	1	4301583
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	320 LF	10	4301585
B3080	Roof	Good	Soffit, Gypsum Board	1,600 SF	12	4301609
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	3	22	4301598
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	8	4301593
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4301580
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	12	4301584
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	3,650 SF	6	4301596
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301608
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4301587
C2050	Throughout building	Failed	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	2	4301588
<b>Plumbing</b>						
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	15	4301607
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	4301603
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	15	4301605
D2010	Kitchen	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301599
D2010	Throughout building	Poor	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	2	4301601
<b>HVAC</b>						

**Component Condition Report | Lakeland Elementary / Building 13-14**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3020	Heater room	Good	Furnace, Gas [No tag/plate found ]	2	13	4301590
D3030	Roof	Good	Split System, Condensing Unit/Heat Pump [No tag/plate found ]	2	9	4301581
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	10	4301592
D3060	Roof	Poor	Exhaust Fan, Centrifugal, 16" Damper [No tag/plate found ]	2	1	4301604
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	5	6	4301597
<b>Electrical</b>						
D5020	Electrical room	Fair	Supplemental Components, Circuit Breaker/Disconnect	1	15	4301582
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	10	4301600
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301594
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301610
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301589
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301595
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4301591

**Component Condition Report | Lakeland Elementary / Building 15-16**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,700 SF	15	4301623
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306913
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	30	15	4301636
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301631
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,000 SF	2	4301639
B3080	Roof	Good	Soffit, Gypsum Board	1,600 SF	12	4301630
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	20	4301638
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	12	4301629
C1090	Restroom	Fair	Toilet Partitions, Plastic/Laminate	1	10	4306154
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	4,200 SF	4	4301624
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301615
C2030	Restrooms	Fair	Flooring, Terrazzo	300 SF	10	4301620

**Component Condition Report | Lakeland Elementary / Building 15-16**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2050	Throughout building	Poor	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	1	4301633
<b>Plumbing</b>						
D2010	Restrooms	Fair	Toilet, Child-Sized	2	15	4301634
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	6	4301618
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	15	4301614
D2010	Kitchen	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	3	15	4301628
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found ]	2	1	4301616
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	15	4301617
<b>Fire Protection</b>						
D4010	Throughout building	Fair	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Renovate	2,300 SF	10	4301635
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	4	6	4301627
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	10	4301612
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found ]	1	10	4301626
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301622
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301619
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301625
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301637
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4301632
E2010	Printing room	Fair	Casework, Countertop, Solid Surface	20 LF	20	4306244

**Component Condition Report | Lakeland Elementary / Building 3-4**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	4,150 SF	20	4301440
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306914
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	20	15	4301420
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301435
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301424
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,000 SF	2	4301415

**Component Condition Report | Lakeland Elementary / Building 3-4**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3080	Roof	Good	Soffit/Fascia, Wood	1,500 SF	12	4301441
<b>Interiors</b>						
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	3	25	4301429
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	24	4301439
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,200 SF	10	4301421
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	12	4301436
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	3,650 SF	5	4301425
C2030	Restrooms	Fair	Flooring, Terrazzo	300 SF	15	4301413
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301433
C2050	Throughout building	Failed	Ceiling Finishes, any flat surface, Prep & Paint	100 SF	0	4301428
<b>Plumbing</b>						
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	10	4301437
D2010	Restrooms	Fair	Toilet, Child-Sized	4	15	4301418
D2010	Kitchen	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	10	4301414
D2010	Heater room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	4301422
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4301442
<b>HVAC</b>						
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	2	4301416
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	10	4301434
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	5	6	4301427
<b>Electrical</b>						
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301438
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style	3	15	4301430
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301417
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301431
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301419
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301423
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4301426

**Component Condition Report | Lakeland Elementary / Building 5-6**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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**Component Condition Report | Lakeland Elementary / Building 5-6**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,600 SF	20	4301481
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306915
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301463
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	30	4301461
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,000 SF	2	4301474
B3080	Roof	Good	Soffit/Fascia, Wood	1,500 SF	12	4301466
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	24	4301469
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	15	4301475
C1090		Fair	Toilet Partitions, Plastic/Laminate	6	10	4304107
C2010	Throughout building	Poor	Wall Finishes, any surface, Prep & Paint	3,650 SF	1	4301465
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	25	4301484
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	15	4301467
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	15	4301485
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301478
C2050	Throughout building	Failed	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	0	4301476
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	6	4301482
<b>Plumbing</b>						
D2010	Restrooms	Good	Urinal, Standard	2	20	4301468
D2010	Kitchen	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301477
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4301487
D2010	Restrooms	Fair	Toilet, Residential Water Closet	4	15	4301471
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	8	4301480
D2010	Heater room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	4301458
<b>HVAC</b>						
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	10	4301483
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	1	4301459
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	5	7	4301457
<b>Electrical</b>						
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301464

**Component Condition Report | Lakeland Elementary / Building 5-6**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	15	4301472
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	15	4301486
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301470
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301479
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301460
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4304045
E2010	Printing room	Fair	Casework, Countertop, Solid Surface	40 LF	15	4301473

**Component Condition Report | Lakeland Elementary / Building 7-8**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,600 SF	20	4301499
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306916
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	500 SF	6	4301516
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301495
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301511
<b>Roofing</b>						
B3010		Poor	Roofing, Built-Up	4,000 SF	1	4304199
B3080	Roof	Good	Soffit/Fascia, Wood	1,500 SF	12	4301517
<b>Interiors</b>						
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	5	25	4301491
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	12	4301512
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	3,650 SF	6	4301489
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	12	4301507
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4301501
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301496
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	20	4301510
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	5	4301508
<b>Plumbing</b>						
D2010	Restrooms	Good	Urinal, Standard	2	20	4301494
D2010	Heater room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	2	4301490
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301498

**Component Condition Report | Lakeland Elementary / Building 7-8**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Poor	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	2	4301514
D2010	Restrooms	Fair	Toilet, Residential Water Closet	4	15	4301492
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4301504
<b>HVAC</b>						
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	15	4301506
D3050	Throughout building	Good	HVAC System, Ductwork, Low Density	2,300 SF	18	4301505
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	3	6	4301515
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	15	4301488
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301493
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301500
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301509
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301502
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301497
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Good	Casework, Cabinetry, Economy	40 LF	10	4301513

**Component Condition Report | Lakeland Elementary / Building 9-10**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306917
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,800 SF	10	4301540
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	20	15	4301539
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	5	35	4301551
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,000 SF	1	4301544
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	320 LF	10	4301528
B3080	Roof	Good	Soffit/Fascia, Wood	1,500 SF	15	4301541
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	23	4301523
C1070	Throughout building	Fair	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,000 SF	12	4301536
C1090		Fair	Toilet Partitions, Plastic/Laminate	5	9	4304662

**Component Condition Report | Lakeland Elementary / Building 9-10**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	3,650 SF	6	4301542
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	700 SF	30	4301527
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	500 SF	14	4301530
C2030	Restrooms	Failed	Flooring, Ceramic Tile	300 SF	0	4301522
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	2,000 SF	6	4301531
C2030	Restrooms	Fair	Flooring, Terrazzo	50 SF	15	4301546
C2050	Throughout building	Poor	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	2	4301549
<b>Plumbing</b>						
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4301550
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	4301538
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	6	4301537
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4301545
D2010	Restrooms	Good	Urinal, Waterless	2	18	4301520
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	6	4301548
D2010	Heater room	Poor	Sink/Lavatory, Service Sink, Wall-Hung	1	2	4301535
<b>HVAC</b>						
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	15	4301521
D3050	Roof	Poor	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	1	4301524
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	12	4301526
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	4	6	4301532
<b>Electrical</b>						
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301533
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style, 100 AMP	3	15	4301529
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301534
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301543
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301519
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301518
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	40 LF	10	4301525

**Component Condition Report | Lakeland Elementary / Library**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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**Component Condition Report | Lakeland Elementary / Library**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,000 SF	10	4301378
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306918
B2020	Building Exterior	Fair	Storefront, Glazing & Framing	1,000 SF	15	4301376
B2050	Building Exterior	Excellent	Exterior Door, Steel, Standard	5	35	4301371
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,300 SF	2	4301373
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	300 LF	10	4301386
B3080	Roof	Good	Soffit/Fascia, Wood	1,000 SF	12	4301370
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	7	22	4301400
C1030	Throughout building	Fair	Interior Door, Steel, Standard	1	20	4301398
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	3,300 SF	2	4301391
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	6,000 SF	6	4301377
C2030	Restrooms	Fair	Flooring, Vinyl Tile (VCT)	25 SF	7	4301390
C2030	Restrooms	Fair	Flooring, Terrazzo	100 SF	15	4301387
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	3,200 SF	6	4301388
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	100 SF	6	4301399
<b>Plumbing</b>						
D2010	Kitchen	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	15	4301384
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,300 SF	15	4301389
D2010	Heater room	Fair	Water Heater, Gas, Residential [No tag/plate found]	1	4	4301397
D2010	Electrical room	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	10	4301392
D2010	Restrooms	Fair	Toilet, Child-Sized	3	15	4301393
<b>HVAC</b>						
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	19	4301385
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	3,300 SF	5	4301394
D3050	Throughout building	Fair	HVAC System, Hydronic Piping, 2-Pipe	3,300 SF	20	4301374
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	4	7	4301379
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	2	6	4301396
<b>Electrical</b>						
D5020	Electrical room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	15	4301375



**Component Condition Report | Lakeland Elementary / Library**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Electrical room	Fair	Distribution Panel, 120/240 V, Residential Style	4	15	4301395
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,300 SF	20	4301382
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,300 SF	15	4301380
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	4	15	4301381
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,300 SF	10	4301372
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry, Economy	60 LF	10	4301383

**Component Condition Report | Lakeland Elementary / Main Office**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,300 SF	15	4301365
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306919
B2020	Building Exterior	Fair	Window, Steel, 16-25 SF	40	15	4301369
B2050	Building Exterior	Good	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	1	22	4301357
B2050	Building Exterior	Excellent	Exterior Door, Steel, Standard	5	35	4301335
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	5,300 SF	2	4301337
B3080	Roof	Good	Soffit, Wood	3,000 SF	12	4301363
<b>Interiors</b>						
C1010	Heater room	Failed	Interior Remodel, Down Unit/Space, Minor Repairs, Renovate	100 SF	0	4301354
C1030	Throughout building	Good	Interior Door, Steel, Standard	1	20	4301348
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	7	30	4301341
C1070	Throughout building	Poor	Suspended Ceilings, Hard Tile, Replacement w/ ACT	2,100 SF	1	4301367
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	500 SF	25	4301366
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	4,680 SF	6	4301346
C2030	Throughout building	Fair	Flooring, Vinyl Sheeting	250 SF	8	4301355
C2030	Throughout building	Good	Flooring, Carpet, Commercial Standard	1,850 SF	7	4301344
C2030	Restrooms	Good	Flooring, Ceramic Tile	200 SF	25	4301368
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	200 SF	6	4301358
<b>Plumbing</b>						
D2010	Heater room	Good	Water Heater, Gas, Residential [No tag/plate found]	1	10	4301342
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,300 SF	20	4301361

**Component Condition Report | Lakeland Elementary / Main Office**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Kitchen	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	4301336
D2010	Throughout building	Fair	Shower, Valve & Showerhead	1	5	4301353
D2010	Restrooms	Fair	Toilet, Residential Water Closet	3	15	4301338
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	3	15	4301339
D2010	Throughout building	Fair	Shower, Terrazzo	1	10	4301359
<b>HVAC</b>						
D3020	Heater room	Poor	Furnace, Gas [No tag/plate found ]	2	2	4301362
D3030	Building exterior	Fair	Air Conditioner, Window/Thru-Wall	6	5	4301350
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,300 SF	15	4301340
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	6	8	4301360
<b>Electrical</b>						
D5020	Electrical room	Fair	Distribution Panel, 120/240 V [No tag/plate found]	3	10	4301345
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,300 SF	20	4301352
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,300 SF	15	4301347
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement	4	15	4301356
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Good	Fire Alarm Panel, Multiplex [No tag/plate found]	1	10	4301364
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	2,300 SF	10	4301349
<b>Equipment &amp; Furnishings</b>						
E2010	Printing room	Fair	Casework, Cabinetry Economy	40 LF	10	4301343
E2010	Printing room	Fair	Casework, Countertop, Plastic Laminate	10 LF	5	4306541

**Component Condition Report | Lakeland Elementary / Modular**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Wood Siding	4,000 SF	15	4301643
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	20	15	4301652
B2050	Building Exterior	Good	Exterior Door, Steel, any type, Refinish	12	6	4301645
<b>Roofing</b>						
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	550 LF	10	4301650
B3080	Roof	Good	Soffit, Metal	300 SF	15	4301655
<b>Interiors</b>						
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	6,000 SF	10	4301659

**Component Condition Report | Lakeland Elementary / Modular**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced	4,000 SF	12	4301648
C2030	Throughout building	Failed	Flooring, Vinyl Tile (VCT)	6,000 SF	0	4301640
<b>Plumbing</b>						
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures)	1,900 SF	20	4301658
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	4301642
<b>HVAC</b>						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted [No tag/plate found]	5	3	4301653
D3050	Throughout building	Fair	HVAC System, Hydronic Piping, 2-Pipe	6,000 SF	14	4301641
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	6,000 SF	4	4301651
<b>Fire Protection</b>						
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	6	6	4301649
<b>Electrical</b>						
D5020	Throughout building	Fair	Distribution Panel, 120/240 V, Residential Style	2	15	4301644
D5020	Building exterior	Poor	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	2	4301646
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	6,000 SF	20	4301656
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	6,000 SF	10	4301654
D5040	Building exterior	Good	Standard Fixture w/ Lamp, any type, w/ LED Replacement	3	15	4301647
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	6,000 SF	10	4301657

**Component Condition Report | Lakeland Elementary / Multipurpose Building**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	4,000 SF	20	4301699
B2010	Building Exterior	Poor	Exterior Walls, Brick, Repair	200 SF	0	4306920
B2020	Building Exterior	Fair	Window, Vinyl-Clad Double-Glazed, 16-25 SF	16	15	4301705
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	6	35	4301667
<b>Roofing</b>						
B3010	Roof	Poor	Roofing, Built-Up	4,500 SF	2	4301693
B3080	Roof	Good	Soffit, Gypsum Board	1,200 SF	12	4301701
<b>Interiors</b>						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	20	4301691
C1070	Throughout building	Good	Suspended Ceilings, Acoustical Tile (ACT)	3,350 SF	15	4301682
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	4	4301677

**Component Condition Report | Lakeland Elementary / Multipurpose Building**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	500 SF	15	4301669
C2030	Restrooms	Fair	Flooring, Ceramic Tile	200 SF	10	4301697
C2030	Stage area	Fair	Flooring, Wood, Strip, Refinish	600 SF	4	4301671
C2030	Kitchen	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	450 SF	6	4301678
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	3,000 SF	7	4301698
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	150 SF	5	4301679
<b>Conveying</b>						
D1010	Stage area	Good	Vertical Lift, Wheelchair, 5' Rise, Install [No tag/plate found]	1	20	4301663
<b>Plumbing</b>						
D2010	Heater room	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	10	4301704
D2010	Kitchen	Fair	Sink/Lavatory, Commercial Kitchen, 3-Bowl	1	15	4301694
D2010	Throughout building	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	1	15	4301670
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,800 SF	5	4301683
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	4301674
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	4301702
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	4301684
<b>HVAC</b>						
D3030	Roof	Fair	Evaporative Cooler, 0.75 to 1 HP [No tag/plate found]	1	7	4301692
D3030	Building exterior	Fair	Split System, Condensing Unit/Heat Pump [No tag/plate found]	1	7	4301665
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted [No tag/plate found]	2	3	4301687
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	3,800 SF	15	4301672
D3050	Throughout building	Fair	HVAC System, Hydronic Piping, 2-Pipe	3,800 SF	10	4301696
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper [No tag/plate found]	2	9	4301688
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper [No tag/plate found]	1	15	4301661
D3060	Kitchen	Fair	Supplemental Components, Air Curtain, 5' Wide Non-Heated [No tag/plate found]	2	11	4301675
<b>Fire Protection</b>						
D4010	Kitchen	Fair	Fire Suppression System, Commercial Kitchen, per LF of Hood	8 LF	10	4301707
D4010	Throughout building	Fair	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Renovate	3,800 SF	15	4301680
D4030	Throughout building	Good	Fire Extinguisher, Type ABC, up to 20 LB	5	6	4301706
<b>Electrical</b>						
D5020	Electrical room	Good	Distribution Panel, 120/240 V [No tag/plate found]	2	15	4301673
D5020	Heater room	Fair	Secondary Transformer, Dry, Stepdown [No tag/plate found]	1	10	4301690
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,800 SF	20	4301662



**Component Condition Report | Lakeland Elementary / Multipurpose Building**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,800 SF	15	4301676
D5040	Building exterior	Fair	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W	5	15	4301685
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	3,800 SF	10	4301681
<b>Equipment &amp; Furnishings</b>						
E1030	Kitchen	Excellent	Foodservice Equipment, Freezer, 2-Door Reach-In [No tag/plate found]	1	15	4301668
E1030	Kitchen	Good	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels [No tag/plate found]	1	10	4301689
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	5	4301700
E1030	Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF [No tag/plate found]	1	10	4301664
E1030	Kitchen	Good	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle [No tag/plate found]	1	10	4301666
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	6	4301695
E1030	Kitchen	Good	Foodservice Equipment, Freezer, 3-Door Reach-In [No tag/plate found]	1	9	4301703
E1030	Kitchen	Good	Foodservice Equipment, Convection Oven, Double [No tag/plate found]	1	8	4301686
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells [No tag/plate found]	1	8	4301660

**Component Condition Report | Lakeland Elementary / Site**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Plumbing</b>						
D2010	Site	Fair	Backflow Preventer, Domestic Water [No tag/plate found]	1	15	4301408
D2010	Site	Fair	Drinking Fountain, Exterior/Site, Precast Pedestal	1	5	4301407
<b>Fire Protection</b>						
D4010	Site	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	140,000 SF	10	4306860
<b>Electrical</b>						
D5020	Site	Poor	Secondary Transformer, Dry, Stepdown [No tag/plate found]	2	1	4301412
D5020	Site	Fair	Switchgear, 277/480 V [No tag/plate found]	1	10	4301405
<b>Special Construction &amp; Demo</b>						
F1020	Site	Fair	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Standard	800 SF	15	4301409
<b>Pedestrian Plazas &amp; Walkways</b>						
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	20,000 SF	8	4301404
G2020	Site	Failed	Parking Lots, Pavement, Asphalt, Seal & Stripe	20,000 SF	0	4306681
G2030	Site	Good	Sidewalk, Concrete, Large Areas	30,000 SF	40	4301403
<b>Athletic, Recreational &amp; Playfield Areas</b>						
G2050	Site	Failed	Playfield Surfaces, Chips Rubber, 3" Depth	4,365 SF	0	4301411
G2050	Site	Fair	Sports Apparatus, Soccer, Regulation Goal	2	5	4301401

**Component Condition Report | Lakeland Elementary / Site**

<b>UF L3 Code</b>	<b>Location</b>	<b>Condition</b>	<b>Asset/Component/Repair</b>	<b>Quantity</b>	<b>RUL</b>	<b>ID</b>
G2050	Site	Fair	Play Structure, Multipurpose, Medium	2	8	4301410
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	4	5	4301406
<b>Sitework</b>						
G2060	Site	Fair	Signage, Property, Building or Pole-Mounted	1	10	4306683
G2060	Site	Good	Fences & Gates, Fence, Chain Link 8'	3,500 LF	25	4301402
G2080	Site	Fair	Irrigation System, Control Panel	2	8	4307212
G2080	Site	Fair	Irrigation System, Controllers & Valves, Repairs & Adjustments, Repair	140,000 SF	5	4307204

## Appendix F: Replacement Reserves

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**Replacement Reserves Report**

11/2/2022

Location	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Total Escalated Estimate	
Lakeland Elementary	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Lakeland Elementary / Building 11-12	\$7,247	\$80,523	\$1,631	\$0	\$14,212	\$0	\$35,497	\$1,013	\$0	\$0	\$42,867	\$0	\$47,278	\$11,287	\$0	\$347,398	\$37,133	\$1,361	\$0	\$0	\$11,403		\$638,850
Lakeland Elementary / Building 13-14	\$7,247	\$68,761	\$14,095	\$0	\$0	\$1,909	\$27,827	\$0	\$9,736	\$11,461	\$33,024	\$0	\$32,687	\$13,545	\$0	\$341,326	\$37,398	\$0	\$0	\$0	\$25,086		\$624,103
Lakeland Elementary / Building 15-16	\$7,247	\$21,035	\$65,233	\$0	\$7,786	\$0	\$35,530	\$0	\$0	\$0	\$43,752	\$912	\$31,748	\$0	\$10,463	\$373,486	\$27,487	\$0	\$0	\$0	\$22,707		\$647,385
Lakeland Elementary / Building 3-4	\$7,466	\$0	\$86,200	\$0	\$0	\$8,751	\$20,649	\$0	\$0	\$0	\$60,353	\$0	\$45,008	\$0	\$0	\$153,625	\$27,751	\$0	\$0	\$0	\$447,985		\$857,788
Lakeland Elementary / Building 5-6	\$7,906	\$26,549	\$65,233	\$0	\$0	\$1,782	\$20,453	\$1,013	\$15,996	\$0	\$35,710	\$8,321	\$34,049	\$0	\$0	\$152,727	\$27,487	\$1,361	\$0	\$0	\$278,825		\$677,411
Lakeland Elementary / Building 7-8	\$7,247	\$63,333	\$15,027	\$0	\$0	\$764	\$29,401	\$0	\$0	\$0	\$21,396	\$0	\$55,966	\$0	\$0	\$133,995	\$39,512	\$0	\$8,599	\$0	\$299,747		\$674,986
Lakeland Elementary / Building 9-10	\$13,176	\$83,690	\$2,330	\$0	\$0	\$0	\$44,675	\$0	\$0	\$5,372	\$244,628	\$0	\$16,281	\$0	\$11,626	\$152,556	\$37,133	\$0	\$2,243	\$0	\$11,403		\$625,113
Lakeland Elementary / Library	\$7,247	\$0	\$83,579	\$0	\$1,607	\$8,401	\$43,921	\$7,731	\$0	\$0	\$266,054	\$0	\$22,700	\$0	\$0	\$172,827	\$59,026	\$0	\$0	\$37,159	\$50,272		\$760,523
Lakeland Elementary / Main Office	\$8,345	\$8,312	\$96,218	\$0	\$0	\$23,803	\$9,728	\$18,737	\$3,686	\$0	\$53,713	\$0	\$68,099	\$0	\$0	\$397,093	\$13,074	\$25,181	\$1,682	\$0	\$36,390		\$764,060
Lakeland Elementary / Modular	\$32,940	\$0	\$8,853	\$32,995	\$14,830	\$0	\$2,753	\$0	\$0	\$0	\$95,842	\$0	\$87,667	\$0	\$49,825	\$174,076	\$3,700	\$0	\$0	\$0	\$33,515		\$536,995
Lakeland Elementary / Multipurpose Building	\$7,247	\$0	\$73,387	\$21,597	\$15,015	\$32,331	\$7,899	\$32,410	\$18,221	\$13,753	\$85,143	\$4,560	\$15,592	\$0	\$20,179	\$182,227	\$2,511	\$0	\$17,758	\$0	\$507,875		\$1,057,704
Lakeland Elementary / Site	\$26,657	\$17,190	\$0	\$0	\$0	\$142,054	\$0	\$0	\$166,910	\$0	\$386,317	\$0	\$0	\$0	\$0	\$217,043	\$0	\$0	\$0	\$0	\$24,987		\$981,158
<b>Grand Total</b>	<b>\$139,970</b>	<b>\$369,393</b>	<b>\$511,785</b>	<b>\$54,592</b>	<b>\$53,449</b>	<b>\$219,795</b>	<b>\$278,333</b>	<b>\$60,903</b>	<b>\$214,548</b>	<b>\$30,587</b>	<b>\$1,368,800</b>	<b>\$13,793</b>	<b>\$457,075</b>	<b>\$24,832</b>	<b>\$92,093</b>	<b>\$2,798,377</b>	<b>\$312,212</b>	<b>\$27,903</b>	<b>\$30,282</b>	<b>\$37,159</b>	<b>\$1,750,194</b>		<b>\$8,846,075</b>

Lakeland Elementary

Lakeland Elementary / Building 11-12

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate	
B2010	Building Exterior	4306907	Exterior Walls, Brick, Repair	0	70	0	200	SF	\$36.23	\$7,247	\$7,247																					\$7,247	
B2010	Building Exterior	4301577	Exterior Walls, Brick, Replace	50	35	15	2600	SF	\$58.19	\$151,304																						\$151,304	
B2020	Building Exterior	4301564	Window, Steel, 16-25 SF, Replace	30	15	15	20	EA	\$1,866.60	\$37,332																						\$37,332	
B2020	Building Exterior	4304663	Window, Steel, up to 15 SF, Replace	30	15	15	15	EA	\$1,207.80	\$18,117																						\$18,117	
B3010	Roof	4301575	Roofing, Built-Up, Replace	25	24	1	3800	SF	\$15.37	\$58,414		\$58,414																				\$58,414	
B3080	Roof	4301563	Soffit/Fascia, Wood, Replace	20	8	12	1600	SF	\$15.92	\$25,474																	\$25,474					\$25,474	
C1070	Throughout building	4301573	Suspended Ceilings, Hard Tile, Replacement w/ ACT, Replace	25	13	12	2000	SF	\$3.84	\$7,686																	\$7,686					\$7,686	
C2010	Throughout building	4301574	Wall Finishes, any surface, Prep & Paint	10	4	6	3650	SF	\$1.65	\$6,012						\$6,012													\$6,012			\$12,023	
C2010	Throughout building	4301565	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced, Replace	25	12	13	500	SF	\$15.37	\$7,686																		\$7,686				\$7,686	
C2030	Restrooms	4301553	Flooring, Terrazzo, Replace	50	40	10	300	SF	\$15.37	\$4,612													\$4,612									\$4,612	
C2030	Throughout building	4301569	Flooring, Carpet, Commercial Standard, Replace	10	4	6	2000	SF	\$8.24	\$16,470						\$16,470													\$16,470			\$32,940	
C2050	Throughout building	4301572	Ceiling Finishes, any flat surface, Prep & Paint	10	4	6	300	SF	\$2.20	\$659						\$659													\$659			\$1,318	
D2010	Throughout building	4301579	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	36	4	2300	SF	\$5.49	\$12,627					\$12,627																	\$12,627	
D2010	Heater room	4301571	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	33	2	1	EA	\$1,537.20	\$1,537		\$1,537																				\$1,537	
D2010	Restrooms	4301557	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	24	6	4	EA	\$1,647.00	\$6,588						\$6,588																\$6,588	
D2010	Restrooms	4301570	Toilet, Child-Sized, Replace	30	15	15	4	EA	\$988.20	\$3,953																	\$3,953					\$3,953	
D2010	Throughout building	4301560	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60	\$2,635																	\$2,635					\$2,635	
D3050	Roof	4301558	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	19	1	2	EA	\$9,882.00	\$19,764		\$19,764																					\$19,764
D3050	Throughout building	4301568	HVAC System, Ductwork, Low Density, Replace	30	15	15	2300	SF	\$2.20	\$5,051																	\$5,051					\$5,051	
D4030	Throughout building	4301552	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	3	7	5	EA	\$164.70	\$824							\$824											\$824				\$824	
D5020	Heater room	4301566	Secondary Transformer, Dry, Stepdown, Replace	30	20	10	1	EA	\$3,184.20	\$3,184																\$3,184						\$3,184	
D5020	Electrical room	4301576	Distribution Panel, 120/240 V, Residential Style, 100 AMP, Replace	30	15	15	3	EA	\$1,207.80	\$3,623																	\$3,623					\$3,623	
D5030	Throughout building	4301561	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	2300	SF	\$2.75	\$6,314																				\$6,314		\$6,314	
D5040	Throughout building	4301559	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	10	10	2300	SF	\$4.94	\$11,364																\$11,364						\$11,364	
D5040	Building exterior	4301578	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56	\$966																	\$966					\$966	
D7050	Throughout building	4301555	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	2300	SF	\$2.20	\$5,051																\$5,051						\$5,051	
E2010	Printing room	4301556	Casework, Cabinetry, Economy, Replace	20	10	10	40	LF	\$192.15	\$7,686																\$7,686						\$7,686	



Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
<b>Totals, Unescalated</b>											\$7,247	\$78,178	\$1,537	\$0	\$12,627	\$0	\$29,728	\$824	\$0	\$0	\$31,897	\$0	\$33,160	\$7,686	\$0	\$222,982	\$23,140	\$824	\$0	\$0	\$6,314	\$456,142
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$7,247	\$80,523	\$1,631	\$0	\$14,212	\$0	\$35,497	\$1,013	\$0	\$0	\$42,867	\$0	\$47,278	\$11,287	\$0	\$347,398	\$37,133	\$1,361	\$0	\$0	\$11,403	\$638,850

Lakeland Elementary / Building 13-14

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
B2010	Building Exterior	4306912	Exterior Walls, Brick, Repair	0	70	0	200	SF	\$36.23	\$7,247	\$7,247																				\$7,247	
B2010	Building Exterior	4301602	Exterior Walls, Brick, Replace	50	35	15	2700	SF	\$58.19	\$157,124															\$157,124						\$157,124	
B2020	Building Exterior	4301586	Window, Steel, 16-25 SF, Replace	30	15	15	20	EA	\$1,866.60	\$37,332															\$37,332						\$37,332	
B3010	Roof	4301583	Roofing, Built-Up, Replace	25	24	1	4000	SF	\$15.37	\$61,488		\$61,488																			\$61,488	
B3020	Roof	4301585	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	320	LF	\$9.88	\$3,162											\$3,162										\$3,162	
B3080	Roof	4301609	Soffit, Gypsum Board, Replace	20	8	12	1600	SF	\$9.11	\$14,581													\$14,581								\$14,581	
C1070	Throughout building	4301593	Suspended Ceilings, Hard Tile, Replacement w/ ACT, Replace	25	17	8	2000	SF	\$3.84	\$7,686									\$7,686												\$7,686	
C2010	Throughout building	4301596	Wall Finishes, any surface, Prep & Paint	10	4	6	3650	SF	\$1.65	\$6,012						\$6,012										\$6,012					\$12,023	
C2010	Throughout building	4301584	Wall Finishes, Acoustical Tile (ACT), Fabric-Faced, Replace	25	13	12	500	SF	\$15.37	\$7,686												\$7,686									\$7,686	
C2030	Restrooms	4301587	Flooring, Ceramic Tile, Replace	40	20	20	300	SF	\$19.76	\$5,929																			\$5,929	\$5,929		
C2030	Throughout building	4301608	Flooring, Carpet, Commercial Standard, Replace	10	4	6	2000	SF	\$8.24	\$16,470						\$16,470										\$16,470					\$32,940	
C2050	Throughout building	4301588	Ceiling Finishes, any flat surface, Prep & Paint	10	8	2	300	SF	\$2.20	\$659			\$659										\$659								\$1,318	
D2010	Throughout building	4301601	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	38	2	2300	SF	\$5.49	\$12,627			\$12,627																		\$12,627	
D2010	Building exterior	4301603	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,647.00	\$1,647					\$1,647														\$1,647	\$3,294		
D2010	Restrooms	4301607	Toilet, Commercial Water Closet, Replace	30	15	15	2	EA	\$1,427.40	\$2,855															\$2,855						\$2,855	
D2010	Restrooms	4301605	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	2	EA	\$1,647.00	\$3,294															\$3,294						\$3,294	
D2010	Kitchen	4301599	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60	\$2,635															\$2,635						\$2,635	
D3020	Heater room	4301590	Furnace, Gas, Replace	20	7	13	2	EA	\$4,611.60	\$9,223														\$9,223							\$9,223	
D3030	Roof	4301581	Split System, Condensing Unit/Heat Pump, Replace	15	6	9	2	EA	\$4,392.00	\$8,784										\$8,784											\$8,784	
D3050	Throughout building	4301592	HVAC System, Ductwork, Low Density, Replace	30	20	10	2300	SF	\$2.20	\$5,051											\$5,051										\$5,051	
D3060	Roof	4301604	Exhaust Fan, Centrifugal, 16" Damper, Replace	25	24	1	2	EA	\$2,635.20	\$5,270		\$5,270																			\$5,270	
D4030	Throughout building	4301597	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	5	EA	\$164.70	\$824							\$824									\$824					\$1,647	
D5020	Electrical room	4301600	Distribution Panel, 120/240 V, Residential Style, 100 AMP, Replace	30	20	10	3	EA	\$1,207.80	\$3,623												\$3,623									\$3,623	
D5020	Electrical room	4301582	Supplemental Components, Circuit Breaker/Disconnect, Replace	30	15	15	1	EA	\$3,513.60	\$3,514															\$3,514						\$3,514	
D5030	Throughout building	4301594	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	2300	SF	\$2.75	\$6,314																		\$6,314	\$6,314			
D5040	Throughout building	4301610	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	2300	SF	\$4.94	\$11,364															\$11,364						\$11,364	
D5040	Building exterior	4301589	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56	\$966															\$966						\$966	
D7050	Throughout building	4301595	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	2300	SF	\$2.20	\$5,051											\$5,051										\$5,051	
E2010	Printing room	4301591	Casework, Cabinetry, Economy, Replace	20	10	10	40	LF	\$192.15	\$7,686											\$7,686										\$7,686	
<b>Totals, Unescalated</b>											\$7,247	\$66,758	\$13,286	\$0	\$0	\$1,647	\$23,305	\$0	\$7,686	\$8,784	\$24,573	\$0	\$22,926	\$9,223	\$0	\$219,084	\$23,305	\$0	\$0	\$0	\$13,890	\$441,714
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$7,247	\$68,761	\$14,095	\$0	\$0	\$1,909	\$27,827	\$0	\$9,736	\$11,461	\$33,024	\$0	\$32,687	\$13,545	\$0	\$341,326	\$37,398	\$0	\$0	\$0	\$25,086	\$624,103

Lakeland Elementary / Building 15-16

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
B2010	Building Exterior	4306913	Exterior Walls, Brick, Repair	0	70	0	200	SF	\$36.23	\$7,247	\$7,247																					\$7,247
B2010	Building Exterior	4301623	Exterior Walls, Brick, Replace	50	35	15	2700	SF	\$58.19	\$157,124															\$157,124							\$157,124
B2020	Building Exterior	4301636	Window, Steel, 16-25 SF, Replace	30	15	15	30	EA	\$1,866.60	\$55,998															\$55,998							\$55,998
B3010	Roof	4301639	Roofing, Built-Up, Replace	25	23	2	4000	SF	\$15.37	\$61,488		\$61,488																			\$61,488	
B3080	Roof	4301630	Soffit, Gypsum Board, Replace	20	8	12	1600	SF	\$9.11	\$14,581													\$14,581								\$14,581	
C1030	Throughout building	4301638	Interior Door, Wood, Solid-Core, Replace	40	20	20	5	EA	\$768.60	\$3,843																			\$3,843	\$3,843		
C1070	Throughout building	4301629	Suspended Ceilings, Hard Tile, Replacement w/ ACT, Replace	25	13	12	2000	SF	\$3.84	\$7,686													\$7,686								\$7,686	
C1090	Restroom	4306154	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	1	EA	\$823.50	\$824											\$824										\$824	
C2010	Throughout building	4301624	Wall Finishes, any surface, Prep & Paint	10	6	4	4200	SF	\$1.65	\$6,917					\$6,917										\$6,917						\$13,835	







Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate	
D3050	Throughout building	4301521	HVAC System, Ductwork, Low Density, Replace	30	15	15	2300	SF	\$2.20	\$5,051																						\$5,051	\$5,051
D3060	Roof	4301526	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	13	12	2	EA	\$1,537.20	\$3,074												\$3,074											\$3,074
D4030	Throughout building	4301532	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	4	EA	\$164.70	\$659							\$659											\$659					\$659
D5020	Heater room	4301533	Secondary Transformer, Dry, Stepdown, Replace	30	20	10	1	EA	\$3,184.20	\$3,184												\$3,184											\$3,184
D5020	Electrical room	4301529	Distribution Panel, 120/240 V, Residential Style, 100 AMP, Replace	30	15	15	3	EA	\$1,207.80	\$3,623																							\$3,623
D5030	Throughout building	4301534	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	2300	SF	\$2.75	\$6,314																						\$6,314	\$6,314
D5040	Building exterior	4301543	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56	\$966																							\$966
D5040	Throughout building	4301519	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	2300	SF	\$4.94	\$11,364																							\$11,364
D7050	Throughout building	4301518	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	2300	SF	\$2.20	\$5,051												\$5,051											\$5,051
E2010	Printing room	4301525	Casework, Cabinetry, Economy, Replace	20	10	10	40	LF	\$192.15	\$7,686												\$7,686											\$7,686
<b>Totals, Unescalated</b>											\$13,176	\$81,252	\$2,196	\$0	\$0	\$0	\$37,414	\$0	\$0	\$4,118	\$182,026	\$0	\$11,419	\$0	\$7,686	\$97,920	\$23,140	\$0	\$1,318	\$0	\$6,314	\$467,979	
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$13,176	\$83,690	\$2,330	\$0	\$0	\$0	\$44,675	\$0	\$0	\$5,372	\$244,628	\$0	\$16,281	\$0	\$11,626	\$152,556	\$37,133	\$0	\$2,243	\$0	\$11,403	\$625,113	

Lakeland Elementary / Library

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate		
B2010	Building Exterior	4306918	Exterior Walls, Brick, Repair	0	70	0	200	SF	\$36.23	\$7,247	\$7,247																						\$7,247	
B2010	Building Exterior	4301378	Exterior Walls, Brick, Replace	50	40	10	3000	SF	\$58.19	\$174,582											\$174,582												\$174,582	
B2020	Building Exterior	4301376	Storefront, Glazing & Framing, Replace	30	15	15	1000	SF	\$60.39	\$60,390																\$60,390							\$60,390	
B3010	Roof	4301373	Roofing, Built-Up, Replace	25	23	2	4300	SF	\$15.37	\$66,100			\$66,100																				\$66,100	
B3020	Roof	4301386	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	300	LF	\$9.88	\$2,965											\$2,965												\$2,965	
B3080	Roof	4301370	Soffit/Fascia, Wood, Replace	20	8	12	1000	SF	\$15.92	\$15,921												\$15,921											\$15,921	
C1030	Throughout building	4301398	Interior Door, Steel, Standard, Replace	40	20	20	1	EA	\$658.80	\$659																						\$659	\$659	
C1070	Throughout building	4301391	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	23	2	3300	SF	\$3.84	\$12,682			\$12,682																				\$12,682	
C2010	Throughout building	4301377	Wall Finishes, any surface, Prep & Paint	10	4	6	6000	SF	\$1.65	\$9,882							\$9,882																\$9,882	
C2030	Restrooms	4301390	Flooring, Vinyl Tile (VCT), Replace	15	8	7	25	SF	\$5.49	\$137								\$137															\$137	
C2030	Restrooms	4301387	Flooring, Terrazzo, Replace	50	35	15	100	SF	\$15.37	\$1,537																\$1,537							\$1,537	
C2030	Throughout building	4301388	Flooring, Carpet, Commercial Standard, Replace	10	4	6	3200	SF	\$8.24	\$26,352							\$26,352									\$26,352							\$26,352	
C2050	Throughout building	4301399	Ceiling Finishes, any flat surface, Prep & Paint	10	4	6	100	SF	\$2.20	\$220							\$220										\$220						\$220	
D2010	Heater room	4301397	Water Heater, Gas, Residential, Replace	15	11	4	1	EA	\$1,427.40	\$1,427					\$1,427																		\$1,427	
D2010	Throughout building	4301389	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	25	15	3300	SF	\$5.49	\$18,117																\$18,117							\$18,117	
D2010	Electrical room	4301392	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	20	10	1	EA	\$1,647.00	\$1,647												\$1,647											\$1,647	
D2010	Kitchen	4301384	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	2	EA	\$1,317.60	\$2,635																\$2,635							\$2,635	
D2010	Restrooms	4301393	Toilet, Child-Sized, Replace	30	15	15	3	EA	\$988.20	\$2,965																\$2,965							\$2,965	
D3050	Throughout building	4301374	HVAC System, Hydronic Piping, 2-Pipe, Replace	40	20	20	3300	SF	\$5.49	\$18,117																						\$18,117	\$18,117	
D3050	Throughout building	4301394	HVAC System, Ductwork, Low Density, Replace	30	25	5	3300	SF	\$2.20	\$7,247						\$7,247																	\$7,247	
D3050	Roof	4301385	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	1	19	2	EA	\$9,882.00	\$19,764																							\$19,764	\$19,764
D3060	Roof	4301379	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	18	7	4	EA	\$1,537.20	\$6,149								\$6,149															\$6,149	
D4030	Throughout building	4301396	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	2	EA	\$164.70	\$329							\$329										\$329						\$329	
D5020	Electrical room	4301375	Secondary Transformer, Dry, Stepdown, Replace	30	15	15	1	EA	\$3,184.20	\$3,184																	\$3,184						\$3,184	
D5020	Electrical room	4301395	Distribution Panel, 120/240 V, Residential Style, Replace	30	15	15	4	EA	\$1,207.80	\$4,831																	\$4,831						\$4,831	
D5030	Throughout building	4301382	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	3300	SF	\$2.75	\$9,059																							\$9,059	
D5040	Throughout building	4301380	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	3300	SF	\$4.94	\$16,305																	\$16,305						\$16,305	
D5040	Building exterior	4301381	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	4	EA	\$241.56	\$966																	\$966						\$966	
D7050	Throughout building	4301372	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3300	SF	\$2.20	\$7,247												\$7,247											\$7,247	
E2010	Printing room	4301383	Casework, Cabinetry, Economy, Replace	20	10	10	60	LF	\$192.15	\$11,529												\$11,529											\$11,529	
<b>Totals, Unescalated</b>											\$7,247	\$0	\$78,782	\$0	\$1,427	\$7,247	\$36,783	\$6,286	\$0	\$0	\$197,969	\$0	\$15,921	\$0	\$0	\$110,931	\$36,783	\$0	\$0	\$21,191	\$27,834	\$548,402		
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$7,247	\$0	\$83,579	\$0	\$1,607	\$8,401	\$43,921	\$7,731	\$0	\$0	\$266,054	\$0	\$22,700	\$0	\$0	\$172,827	\$59,026	\$0	\$0	\$37,159	\$50,272	\$760,523		





Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
D4030	Throughout building	4301649	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	6	EA	\$164.70	\$988							\$988															\$1,976
D5020	Building exterior	4301646	Secondary Transformer, Dry, Stepdown, Replace	30	28	2	1	EA	\$8,344.80	\$8,345			\$8,345																			\$8,345
D5020	Throughout building	4301644	Distribution Panel, 120/240 V, Residential Style, Replace	30	15	15	2	EA	\$1,207.80	\$2,416																\$2,416						\$2,416
D5030	Throughout building	4301656	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	6000	SF	\$2.75	\$16,470																				\$16,470	\$16,470	
D5040	Throughout building	4301654	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	10	10	6000	SF	\$4.94	\$29,646											\$29,646											\$29,646
D5040	Building exterior	4301647	Standard Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	5	15	3	EA	\$241.56	\$725																\$725						\$725
D7050	Throughout building	4301657	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	6000	SF	\$2.20	\$13,176											\$13,176											\$13,176
<b>Totals, Unescalated</b>											\$32,940	\$0	\$8,345	\$30,195	\$13,176	\$0	\$2,306	\$0	\$0	\$0	\$71,315	\$0	\$61,488	\$0	\$32,940	\$111,732	\$2,306	\$0	\$0	\$0	\$18,556	\$385,299
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$32,940	\$0	\$8,853	\$32,995	\$14,830	\$0	\$2,753	\$0	\$0	\$0	\$95,842	\$0	\$87,667	\$0	\$49,825	\$174,076	\$3,700	\$0	\$0	\$0	\$33,515	\$536,995

Lakeland Elementary / Multipurpose Building

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate	
B2010	Building Exterior	4306920	Exterior Walls, Brick, Repair	0	70	0	200	SF	\$36.23	\$7,247	\$7,247																					\$7,247	
B2010	Building Exterior	4301699	Exterior Walls, Brick, Replace	50	30	20	4000	SF	\$58.19	\$232,776																					\$232,776	\$232,776	
B2020	Building Exterior	4301705	Window, Vinyl-Clad Double-Glazed, 16-25 SF, Replace	30	15	15	16	EA	\$988.20	\$15,811																\$15,811						\$15,811	
B3010	Roof	4301693	Roofing, Built-Up, Replace	25	23	2	4500	SF	\$15.37	\$69,174			\$69,174																			\$69,174	
B3080	Roof	4301701	Soffit, Gypsum Board, Replace	20	8	12	1200	SF	\$9.11	\$10,936													\$10,936									\$10,936	
C1030	Throughout building	4301691	Interior Door, Wood, Solid-Core, Replace	40	20	20	5	EA	\$768.60	\$3,843																				\$3,843	\$3,843		
C1070	Throughout building	4301682	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	3350	SF	\$3.84	\$12,874																\$12,874						\$12,874	
C2010	Restrooms	4301669	Wall Finishes, Ceramic Tile, Replace	40	25	15	500	SF	\$19.76	\$9,882																\$9,882						\$9,882	
C2010	Throughout building	4301677	Wall Finishes, any surface, Prep & Paint	10	6	4	6500	SF	\$1.65	\$10,706					\$10,706										\$10,706							\$10,706	
C2030	Kitchen	4301678	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	4	6	450	SF	\$1.65	\$741							\$741										\$741					\$741	
C2030	Restrooms	4301697	Flooring, Ceramic Tile, Replace	40	30	10	200	SF	\$19.76	\$3,953												\$3,953										\$3,953	
C2030	Stage area	4301671	Flooring, Wood, Strip, Refinish	10	6	4	600	SF	\$4.39	\$2,635					\$2,635										\$2,635							\$2,635	
C2030	Throughout building	4301698	Flooring, Vinyl Tile (VCT), Replace	15	8	7	3000	SF	\$5.49	\$16,470							\$16,470															\$16,470	
C2050	Throughout building	4301679	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	150	SF	\$2.20	\$329						\$329										\$329						\$329	
D1010	Stage area	4301663	Vertical Lift, Wheelchair, 5' Rise, Install	25	5	20	1	EA	\$27,450.00	\$27,450																				\$27,450	\$27,450		
D2010	Throughout building	4301683	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	35	5	3800	SF	\$5.49	\$20,862					\$20,862																	\$20,862	
D2010	Building exterior	4301702	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,647.00	\$1,647					\$1,647															\$1,647	\$3,294		
D2010	Heater room	4301704	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	25	10	1	EA	\$1,537.20	\$1,537											\$1,537											\$1,537	
D2010	Kitchen	4301694	Sink/Lavatory, Commercial Kitchen, 3-Bowl, Replace	30	15	15	1	EA	\$2,745.00	\$2,745																\$2,745						\$2,745	
D2010	Throughout building	4301670	Sink/Lavatory, Wall-Hung, Enameled Steel, Replace	30	15	15	1	EA	\$1,866.60	\$1,867																\$1,867						\$1,867	
D2010	Restrooms	4301674	Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,427.40	\$5,710																\$5,710						\$5,710	
D2010	Restrooms	4301684	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	4	EA	\$1,647.00	\$6,588																\$6,588						\$6,588	
D3030	Roof	4301692	Evaporative Cooler, 0.75 to 1 HP, Replace	15	8	7	1	EA	\$5,709.60	\$5,710								\$5,710														\$5,710	
D3030	Building exterior	4301665	Split System, Condensing Unit/Heat Pump, Replace	15	8	7	1	EA	\$4,172.40	\$4,172								\$4,172														\$4,172	
D3050	Throughout building	4301696	HVAC System, Hydronic Piping, 2-Pipe, Replace	40	30	10	3800	SF	\$5.49	\$20,862												\$20,862										\$20,862	
D3050	Roof	4301687	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	17	3	2	EA	\$9,882.00	\$19,764			\$19,764																			\$19,764	
D3050	Throughout building	4301672	HVAC System, Ductwork, Low Density, Replace	30	15	15	3800	SF	\$2.20	\$8,345																\$8,345						\$8,345	
D3060	Roof	4301688	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	16	9	2	EA	\$1,537.20	\$3,074													\$3,074									\$3,074	
D3060	Roof	4301661	Exhaust Fan, Centrifugal, 16" Damper, Replace	25	10	15	1	EA	\$2,635.20	\$2,635																\$2,635						\$2,635	
D3060	Kitchen	4301675	Supplemental Components, Air Curtain, 5' Wide Non-Heated, Replace	20	9	11	2	EA	\$1,647.00	\$3,294													\$3,294										\$3,294
D4010	Throughout building	4301680	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Renovate	40	25	15	3800	SF	\$3.29	\$12,517																\$12,517						\$12,517	
D4010	Kitchen	4301707	Fire Suppression System, Commercial Kitchen, per LF of Hood, Replace	20	10	10	8	LF	\$439.20	\$3,514												\$3,514										\$3,514	
D4030	Throughout building	4301706	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	4	6	5	EA	\$164.70	\$824							\$824										\$824					\$824	
D5020	Heater room	4301690	Secondary Transformer, Dry, Stepdown, Replace	30	20	10	1	EA	\$10,980.00	\$10,980												\$10,980										\$10,980	
D5020	Electrical room	4301673	Distribution Panel, 120/240 V, Replace	30	15	15	2	EA	\$6,039.00	\$12,078																\$12,078						\$12,078	
D5030	Throughout building	4301662	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	3800	SF	\$2.75	\$10,431																				\$10,431	\$10,431		
D5040	Throughout building	4301676	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	3800	SF	\$4.94	\$18,776																\$18,776						\$18,776	

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
D5040	Building exterior	4301685	Standard Fixture w/ Lamp, any type, w/ LED Replacement, 100 W, Replace	20	5	15	5	EA	\$241.56	\$1,208																					\$1,208	\$1,208
D7050	Throughout building	4301681	Fire Alarm System, Full System Upgrade, Simple Addressable, Upgrade/Install	20	10	10	3800	SF	\$2.20	\$8,345											\$8,345											\$8,345
E1030	Kitchen	4301700	Foodservice Equipment, Refrigerator, 2-Door Reach-In, Replace	15	10	5	1	EA	\$5,050.80	\$5,051					\$5,051															\$5,051	\$10,102	
E1030	Kitchen	4301695	Foodservice Equipment, Refrigerator, 2-Door Reach-In, Replace	15	9	6	1	EA	\$5,050.80	\$5,051						\$5,051																\$5,051
E1030	Kitchen	4301686	Foodservice Equipment, Convection Oven, Double, Replace	10	2	8	1	EA	\$10,431.00	\$10,431									\$10,431											\$10,431		\$20,862
E1030	Kitchen	4301660	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	7	8	1	EA	\$3,952.80	\$3,953									\$3,953													\$3,953
E1030	Kitchen	4301703	Foodservice Equipment, Freezer, 3-Door Reach-In, Replace	15	6	9	1	EA	\$7,466.40	\$7,466										\$7,466												\$7,466
E1030	Kitchen	4301689	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	5	10	1	EA	\$1,866.60	\$1,867											\$1,867											\$1,867
E1030	Kitchen	4301664	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	5	10	1	EA	\$4,941.00	\$4,941											\$4,941											\$4,941
E1030	Kitchen	4301666	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle, Replace	15	5	10	1	EA	\$7,356.60	\$7,357											\$7,357											\$7,357
E1030	Kitchen	4301668	Foodservice Equipment, Freezer, 2-Door Reach-In, Replace	15	0	15	1	EA	\$5,599.80	\$5,600																\$5,600						\$5,600
<b>Totals, Unescalated</b>											\$7,247	\$0	\$69,174	\$19,764	\$13,341	\$27,889	\$6,615	\$26,352	\$14,384	\$10,541	\$63,355	\$3,294	\$10,936	\$0	\$13,341	\$116,964	\$1,565	\$0	\$10,431	\$0	\$281,198	\$696,390
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$7,247	\$0	\$73,387	\$21,597	\$15,015	\$32,331	\$7,899	\$32,410	\$18,221	\$13,753	\$85,143	\$4,560	\$15,592	\$0	\$20,179	\$182,227	\$2,511	\$0	\$17,758	\$0	\$507,875	\$1,057,704

Lakeland Elementary / Site

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	Deficiency Repair Estimate
D2010	Site	4301408	Backflow Preventer, Domestic Water, Replace	30	15	15	1	EA	\$7,246.80	\$7,247																					\$7,247	\$7,247
D2010	Site	4301407	Drinking Fountain, Exterior/Site, Precast Pedestal, Replace	15	10	5	1	EA	\$3,952.80	\$3,953						\$3,953															\$3,953	\$7,906
D4010	Site	4306860	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	15	10	140000	SF	\$1.17	\$164,480											\$164,480											\$164,480
D5020	Site	4301412	Secondary Transformer, Dry, Stepdown, Replace	30	29	1	2	EA	\$8,344.80	\$16,690		\$16,690																				\$16,690
D5020	Site	4301405	Switchgear, 277/480 V, Replace	40	30	10	1	EA	\$109,800.00	\$109,800											\$109,800											\$109,800
F1020	Site	4301409	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Standard, Replace	30	15	15	800	SF	\$54.90	\$43,920																\$43,920						\$43,920
G2020	Site	4306681	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	5	0	20000	SF	\$0.49	\$9,882	\$9,882					\$9,882					\$9,882					\$9,882					\$9,882	\$49,410
G2020	Site	4301404	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	17	8	20000	SF	\$3.84	\$76,860									\$76,860													\$76,860
G2050	Site	4301401	Sports Apparatus, Soccer, Regulation Goal, Replace	20	15	5	2	EA	\$2,745.00	\$5,490						\$5,490																\$5,490
G2050	Site	4301406	Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	20	5	4	EA	\$10,431.00	\$41,724						\$41,724																\$41,724
G2050	Site	4301411	Playfield Surfaces, Chips Rubber, 3" Depth, Replace	15	15	0	4365	SF	\$3.84	\$16,775	\$16,775															\$16,775						\$16,775
G2050	Site	4301410	Play Structure, Multipurpose, Medium, Replace	20	12	8	2	EA	\$21,960.00	\$43,920									\$43,920													\$43,920
G2060	Site	4306683	Signage, Property, Building or Pole-Mounted, Replace	20	10	10	1	EA	\$3,294.00	\$3,294											\$3,294											\$3,294
G2080	Site	4307204	Irrigation System, Controllers & Valves, Repairs & Adjustments, Repair	10	5	5	140000	SF	\$0.44	\$61,488						\$61,488										\$61,488						\$61,488
G2080	Site	4307212	Irrigation System, Control Panel, Replace	15	7	8	2	EA	\$5,490.00	\$10,980									\$10,980													\$10,980
<b>Totals, Unescalated</b>											\$26,657	\$16,690	\$0	\$0	\$0	\$122,537	\$0	\$0	\$131,760	\$0	\$0	\$0	\$0	\$139,311	\$0	\$0	\$0	\$0	\$13,835	\$738,246		
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$26,657	\$17,190	\$0	\$0	\$0	\$142,054	\$0	\$0	\$166,910	\$0	\$386,317	\$0	\$0	\$0	\$217,043	\$0	\$0	\$0	\$0	\$24,987	\$981,158	