

# FACILITY CONDITION ASSESSMENT



**BUREAU  
VERITAS**

*prepared for*

**Manhattan Beach USD**  
325 South Peck Avenue  
Manhattan Beach, CA 90266



Pennekamp Elementary School  
110 South Rowell Avenue  
Manhattan Beach, CA 90266

## **PREPARED BY:**

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## **BV PROJECT #:**

*166615.24R000-005.017*

## **DATE OF REPORT:**

*June 13, 2024*

## **ON SITE DATE:**

*March 18, 2024*

**Bureau Veritas**

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# 1. Executive Summary

## Campus Overview and Assessment Details

General Information	
Property Type	Elementary School
Number of Buildings	8 (3 modulars)
Main Address	110 South Rowell Avenue, Manhattan Beach, CA 90266
Site Developed	1954 Renovated 2020
Outside Occupants / Leased Spaces	None
Date(s) of Visit	March 18, 2024
Management Point of Contact	DLR Group, Mr. Kevin Fleming (951) 682-0470 phone <a href="mailto:kffleming@dlrgroup.com">kffleming@dlrgroup.com</a> email
On-site Point of Contact (POC)	Paul Ruta
Assessment & Report Prepared By	Jeffrey Newberry
Reviewed By	Gregg Young Program Manager 800.733.0660 <a href="mailto:Gregg.Young@bureauveritas.com">Gregg.Young@bureauveritas.com</a>
AssetCalc Link	Full dataset for this assessment can be found at: <a href="https://www.assetcalc.net/">https://www.assetcalc.net/</a>

## Campus Findings and Deficiencies

### Historical Summary

The site of Pennekamp Elementary School was originally constructed in 1954. It has been a school ever since. A major renovation took place in 2021 and a new two-story building G was added to the east side of the property at this time. Periodic updates and maintenance have been done to the buildings throughout the life of the property.

### Architectural

The majority of the buildings on the campus of Pennekamp Elementary School are nicely constructed of concrete and brick. The rear portions of the main classrooms have been updated with new windows and sliding doors. The front of the classrooms still utilizes older steel framed windows, and no concerns were noted at this time. The interior finishes have all been recently updated except for the modular buildings.

### Mechanical, Electrical, Plumbing and Fire (MEPF)

The mechanical systems of the school are newer. Most classrooms have their own individual thru wall heat pump for heating and cooling. The office has it's own furnace system as well as the cafeteria. Electrical and Plumbing systems appear to be in fair condition and have been updated as needed over the years. Fire suppression was only noted in the newer G building. All buildings appear tied to a central fire alarm system in the main office.

### Site

The site of Pennekamp elementary school has newer asphalt parking lots and concrete sidewalks. No concerns were noted with the flatwork. Play surfaces for sports and the playground appear to be in fair condition. Normal maintenance will be needed to the asphalt parking surfaces as time goes on to prevent deterioration and cracking.

### Recommended Additional Studies

No additional studies recommended at this time



## Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate the Facility Condition Index (FCI), which provides a theoretical objective indication of a facility's overall condition. The FCI is defined as the ratio of the cost of current needs divided by the current replacement value (CRV) of the facility. In this report, each building is considered as a separate facility. The chart below presents the industry standard ranges and cut-off points.

### FCI Ranges and Description

<b>0 – 5%</b>	In new or well-maintained condition, with little or no visual evidence of wear or
<b>5 – 10%</b>	Subjected to wear but is still in a serviceable and functioning condition.
<b>10 – 30%</b>	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
<b>30% and above</b>	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone mathematical values. The table below presents the current, 3-year, 5-year, and 10-year FCI's for each facility:

Facility (year built)	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Pennekamp Elementary School / Pennekamp Elementary Bldg A	\$650	3,350	\$2,177,500	0.0%	0.3%	12.1%	13.7%
Pennekamp Elementary School / Pennekamp Elementary Bldg B	\$650	4,600	\$2,990,000	0.0%	0.1%	7.8%	12.1%
Pennekamp Elementary School / Pennekamp Elementary Bldg C	\$650	8,000	\$5,200,000	0.0%	0.0%	0.0%	9.3%
Pennekamp Elementary School / Pennekamp Elementary Bldg D	\$650	8,500	\$5,525,000	0.0%	0.0%	0.0%	9.1%
Pennekamp Elementary School / Pennekamp Elementary Bldg E	\$650	8,500	\$5,525,000	0.0%	0.0%	0.0%	9.5%
Pennekamp Elementary School / Pennekamp Elementary Bldg F	\$650	5,300	\$3,445,000	0.0%	0.0%	0.1%	8.5%
Pennekamp Elementary School / Pennekamp Elementary Bldg G (2021)	\$650	23,740	\$15,431,000	0.0%	0.0%	0.0%	0.3%
Pennekamp Elementary School / Pennekamp Elementary Modular H	\$650	3,500	\$2,275,000	0.0%	0.0%	0.6%	11.0%
Pennekamp Elementary School / Pennekamp Elementary Modular I	\$475	1,000	\$475,000	0.0%	13.5%	14.9%	19.0%
Pennekamp Elementary School / Pennekamp Elementary Modular J	\$475	1,000	\$475,000	0.0%	12.5%	14.7%	20.2%
Pennekamp Elementary School / Pennekamp Elementary Modular K	\$475	1,000	\$475,000	0.0%	7.8%	13.5%	22.8%

## Immediate Needs

Facility/Building	Total Items	Total Cost
Pennekamp Elementary School / Pennekamp Elementary Modular I	1	\$300
<b>Total</b>	<b>1</b>	<b>\$300</b>

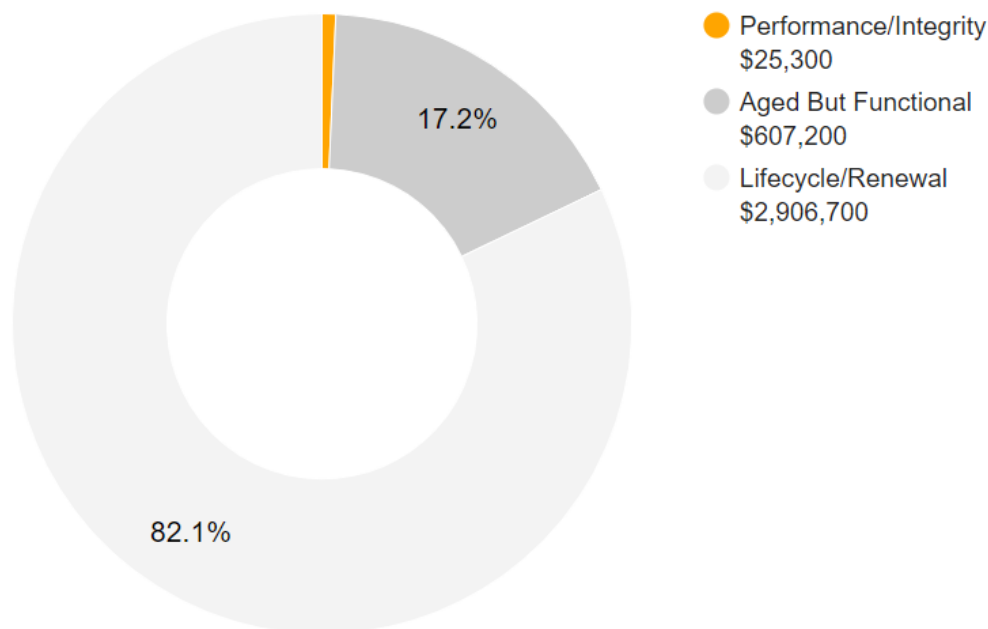
## Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

### Plan Type Descriptions

<b>Safety</b>	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
<b>Performance/Integrity</b>	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
<b>Accessibility</b>	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
<b>Environmental</b>	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
<b>Retrofit/Adaptation</b>	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
<b>Aged But Functional</b>	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
<b>Lifecycle/Renewal</b>	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.

### Plan Type Distribution (by Cost)



**10-YEAR TOTAL: \$3,539,200**

## 2. Building A



### Building A: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	3,350 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure / Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting Hot Water: Gas water heater with integral tank Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

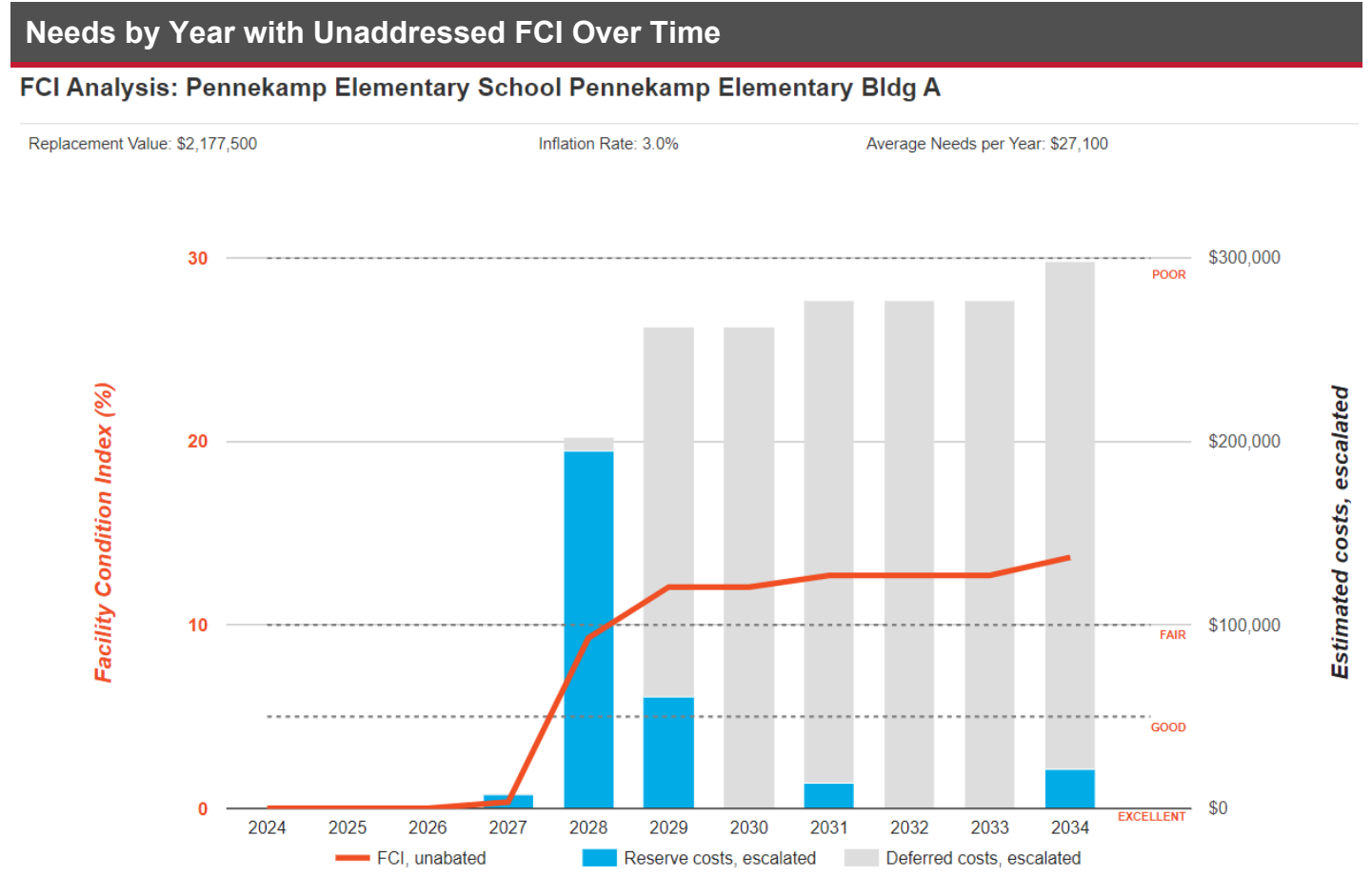
Building A: Building Systems Summary		
<b>HVAC</b>	Non-Central System: Furnaces with split-system condensing units, Thru wall heat pumps.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Facade	-	-	\$57,700	\$2,000	-	\$59,700
Roofing	-	-	\$57,200	-	-	\$57,200
Interiors	-	-	\$7,400	\$31,300	\$43,700	\$82,400
Plumbing	-	-	-	\$2,000	\$59,100	\$61,000
HVAC	-	-	-	-	\$19,200	\$19,200
Electrical	-	-	\$44,700	-	-	\$44,700
Fire Alarm & Electronic Systems	-	-	\$55,700	-	\$57,000	\$112,700
Equipment & Furnishings	-	-	\$40,000	-	\$10,400	\$50,400
Site Utilities	-	-	-	-	\$2,100	\$2,100
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>-</b>	<b>\$262,700</b>	<b>\$35,200</b>	<b>\$191,400</b>	<b>\$489,300</b>

\*Totals have been rounded to the nearest \$100.

**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.





## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.

## Building A Photographic Overview



1 - EXTERIOR WALLS



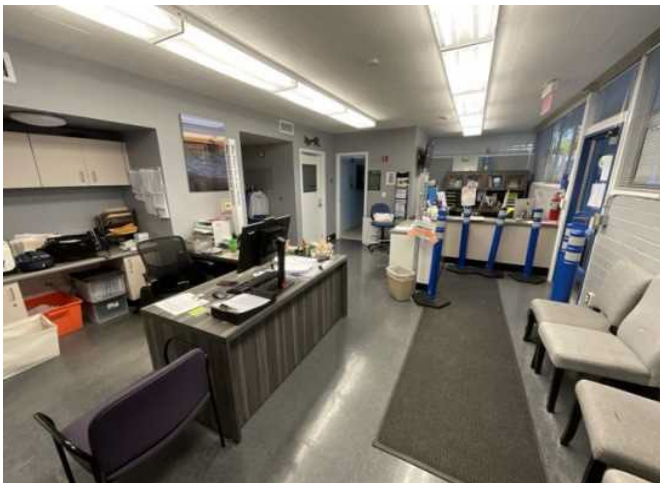
2 - ROOFING



3 - WATER HEATER



4 - HVAC



5 - MAIN OFFICE



6 - HEALTH OFFICE

### 3. Building B



#### Building B: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	4,600 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting Hot Water: Gas water heater with integral tank Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

Building B: Building Systems Summary		
<b>HVAC</b>	Non-Central System: Furnaces with split-system condensing units, Thru wall heat pumps. Supplemental components: Ductless split-systems.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	Commercial kitchen equipment	Fair
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

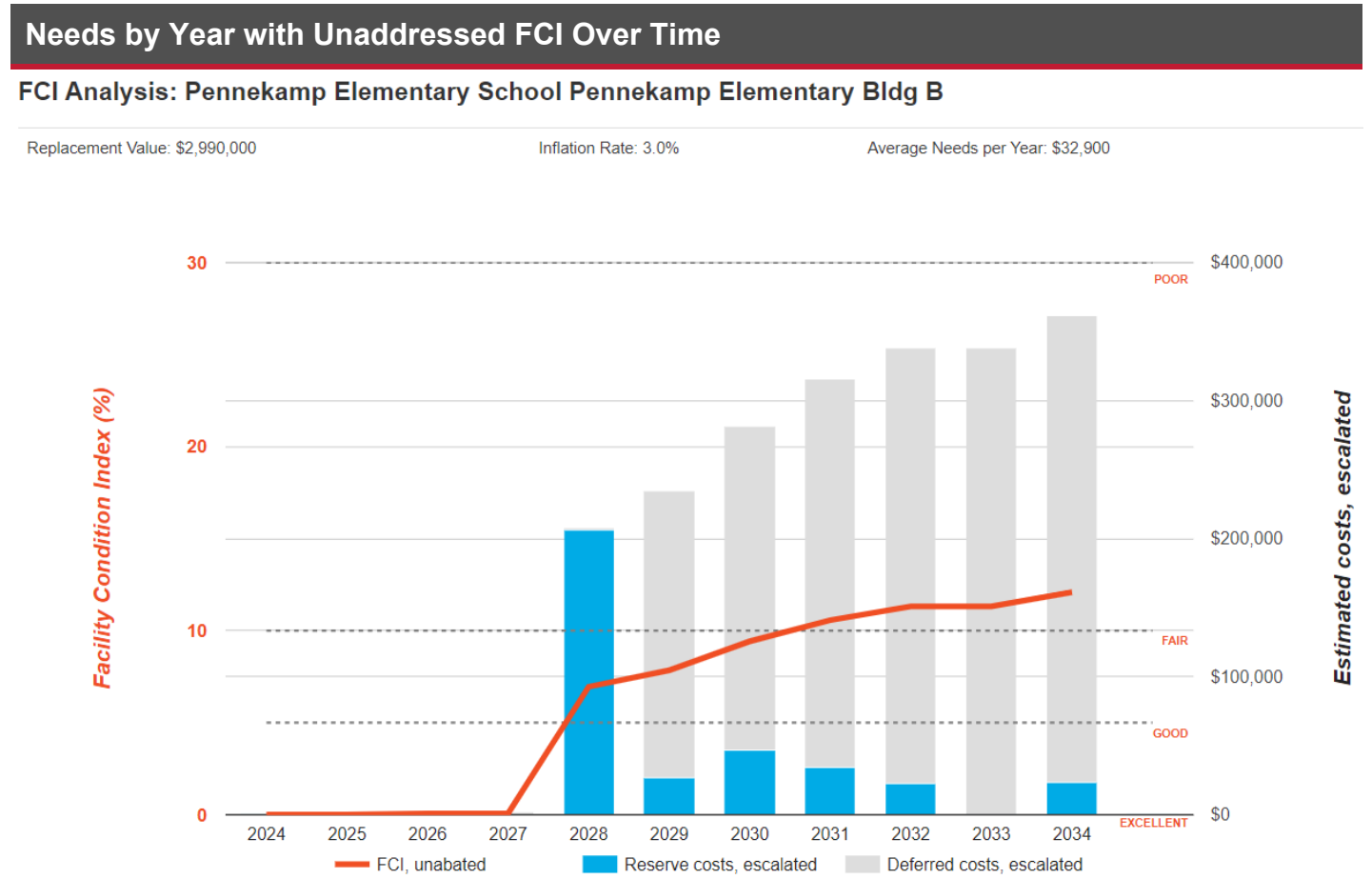
The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Facade	-	-	\$44,600	\$15,200	-	\$59,800
Roofing	-	-	\$87,600	-	-	\$87,600
Interiors	-	\$2,000	-	\$68,500	\$90,400	\$160,900
Plumbing	-	-	-	\$21,400	\$54,900	\$76,400
HVAC	-	-	\$8,000	\$1,800	-	\$9,800
Electrical	-	-	\$39,400	-	\$23,400	\$62,800
Fire Alarm & Electronic Systems	-	-	\$26,300	-	-	\$26,300
Equipment & Furnishings	-	-	\$26,800	\$19,000	\$39,400	\$85,100
Site Utilities	-	-	-	\$800	-	\$800
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>\$2,000</b>	<b>\$232,600</b>	<b>\$126,800</b>	<b>\$208,100</b>	<b>\$569,500</b>

\*Totals have been rounded to the nearest \$100.



**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



## Immediate Needs

There are no immediate needs to report.

## Key Findings



### Flooring in Poor condition.

any surface, w/ Paint or Sealant  
Pennekamp Elementary Bldg B  
Kitchen

Uniformat Code: C2030

Recommendation: **Prep & Paint in 2026**

Plan Type:  
Performance/Integrity

Cost Estimate: \$1,900

Flooring needs to be refinished. - AssetCALC ID: 7484728

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## Building B: Photographic Overview



1 - FACADE



2 - WINDOW



3 - EXTERIOR DOOR



4 - WATER HEATER



5 - FURNACE



6 - KITCHEN EQUIPMENT

## 4. Building C



### Building C: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	8,000 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting Hot Water: Electric water heater with integral tank Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

Building C: Building Systems Summary		
<b>HVAC</b>	Thru wall heat pumps.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

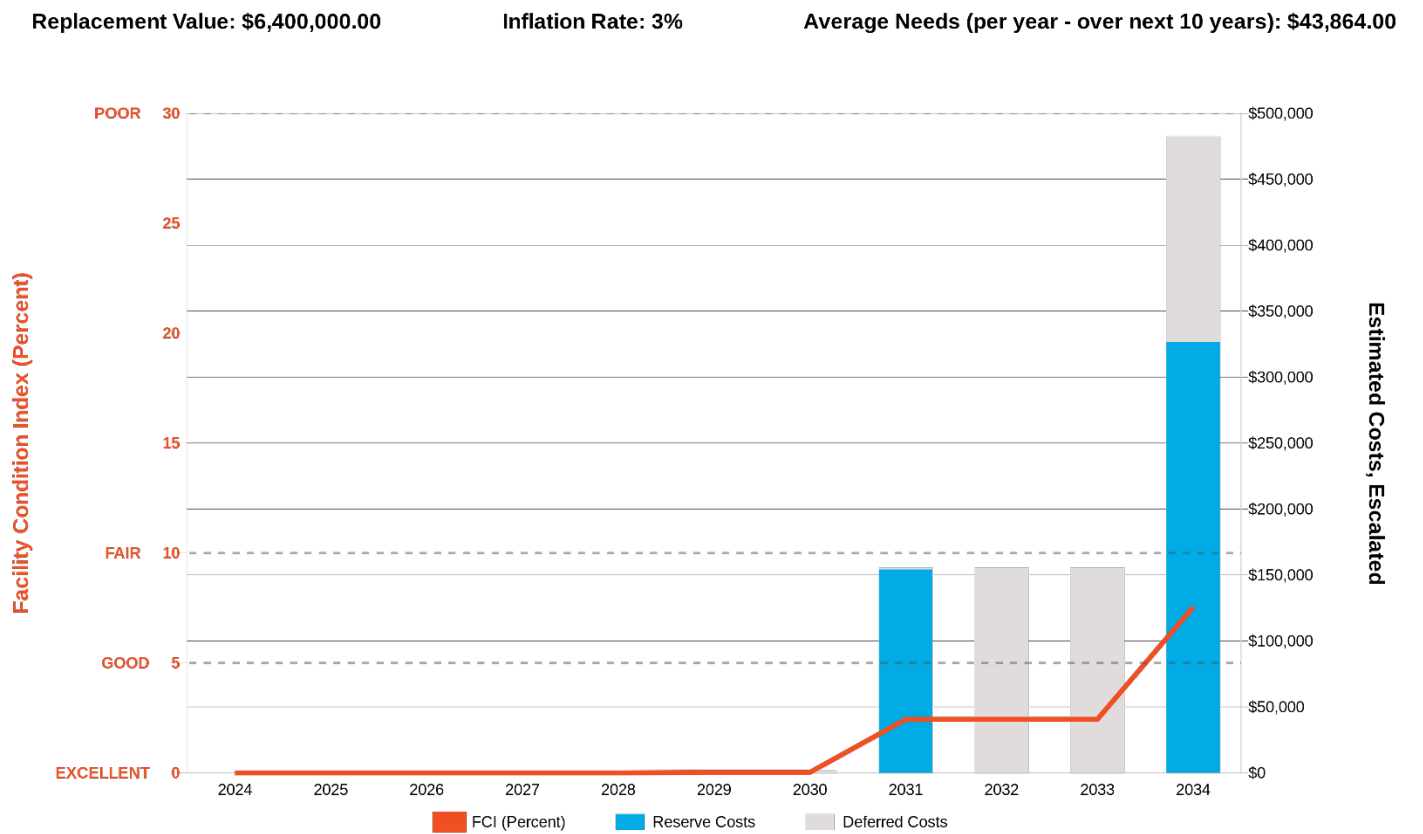
The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Building C: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Facade</b>	\$0	\$0	\$0	\$162,810	\$0	\$162,810
<b>Roofing</b>	\$0	\$0	\$0	\$115,145	\$0	\$115,145
<b>Interiors</b>	\$0	\$0	\$0	\$97,651	\$253,992	\$351,643
<b>Plumbing</b>	\$0	\$0	\$1,568	\$20,009	\$103,551	\$125,128
<b>HVAC</b>	\$0	\$0	\$0	\$1,818	\$72,403	\$74,221
<b>Electrical</b>	\$0	\$0	\$0	\$0	\$105,538	\$105,538
<b>Fire Alarm &amp; Electronic Systems</b>	\$0	\$0	\$0	\$60,637	\$0	\$60,637
<b>Equipment &amp; Furnishings</b>	\$0	\$0	\$0	\$12,885	\$61,508	\$74,393
<b>Sitework</b>	\$0	\$0	\$0	\$9,987	\$0	\$9,987
<b>TOTALS</b>	<b>\$0</b>	<b>\$0</b>	<b>\$1,600</b>	<b>\$481,000</b>	<b>\$597,000</b>	<b>\$1,079,600</b>



**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time



## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.

## Building C: Photographic Overview



1 - STRUCTURE



2 - FACADE



3 - ROOFING



4 - INTERIOR



5 - INTERIOR



6 - INTERIOR



## 5. Building D



### Building D: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	8,500 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting Hot Water: Electric instant hot water heater Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

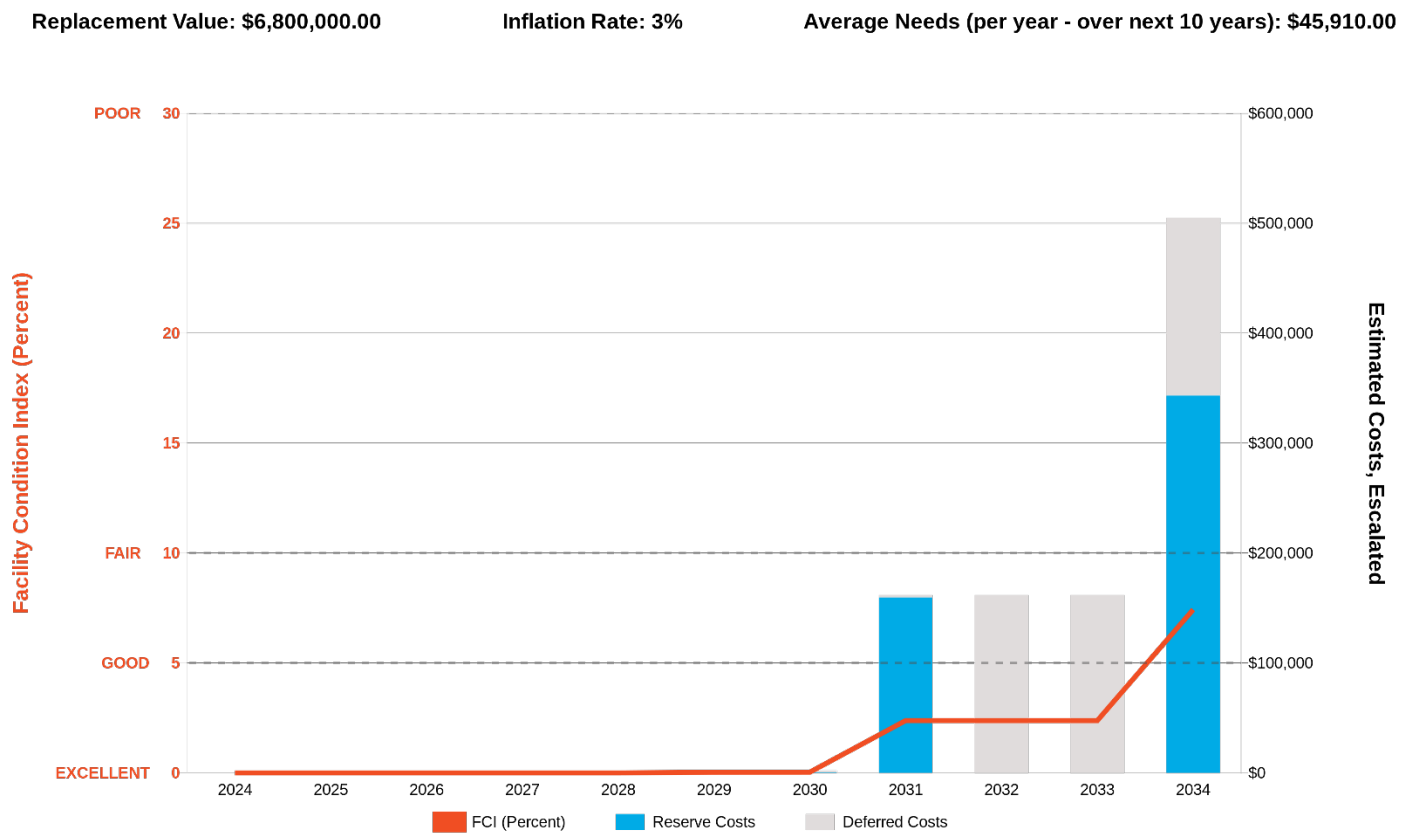
Building D: Building Systems Summary		
<b>HVAC</b>	Thru wall heat pumps.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Building D: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Facade</b>	\$0	\$0	\$0	\$184,867	\$0	\$184,867
<b>Roofing</b>	\$0	\$0	\$0	\$117,920	\$0	\$117,920
<b>Interiors</b>	\$0	\$0	\$0	\$94,690	\$281,463	\$376,153
<b>Plumbing</b>	\$0	\$0	\$1,961	\$757	\$110,996	\$113,714
<b>HVAC</b>	\$0	\$0	\$0	\$0	\$82,684	\$82,684
<b>Electrical</b>	\$0	\$0	\$0	\$0	\$110,512	\$110,512
<b>Fire Alarm &amp; Electronic Systems</b>	\$0	\$0	\$0	\$64,426	\$0	\$64,426
<b>Equipment &amp; Furnishings</b>	\$0	\$0	\$0	\$32,071	\$123,504	\$155,575
<b>Sitework</b>	\$0	\$0	\$0	\$8,323	\$0	\$8,323
<b>TOTALS</b>	<b>\$0</b>	<b>\$0</b>	<b>\$2,000</b>	<b>\$503,100</b>	<b>\$709,200</b>	<b>\$1,214,300</b>

**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time



## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.



## Building D: Photographic Overview



1 - SITE



2 - WINDOW



3 - FACADE



4 - ROOFING



5 - WATER HEATER



6 - HVAC

## 6. Building E



### Building E: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	8,500 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting	Fair



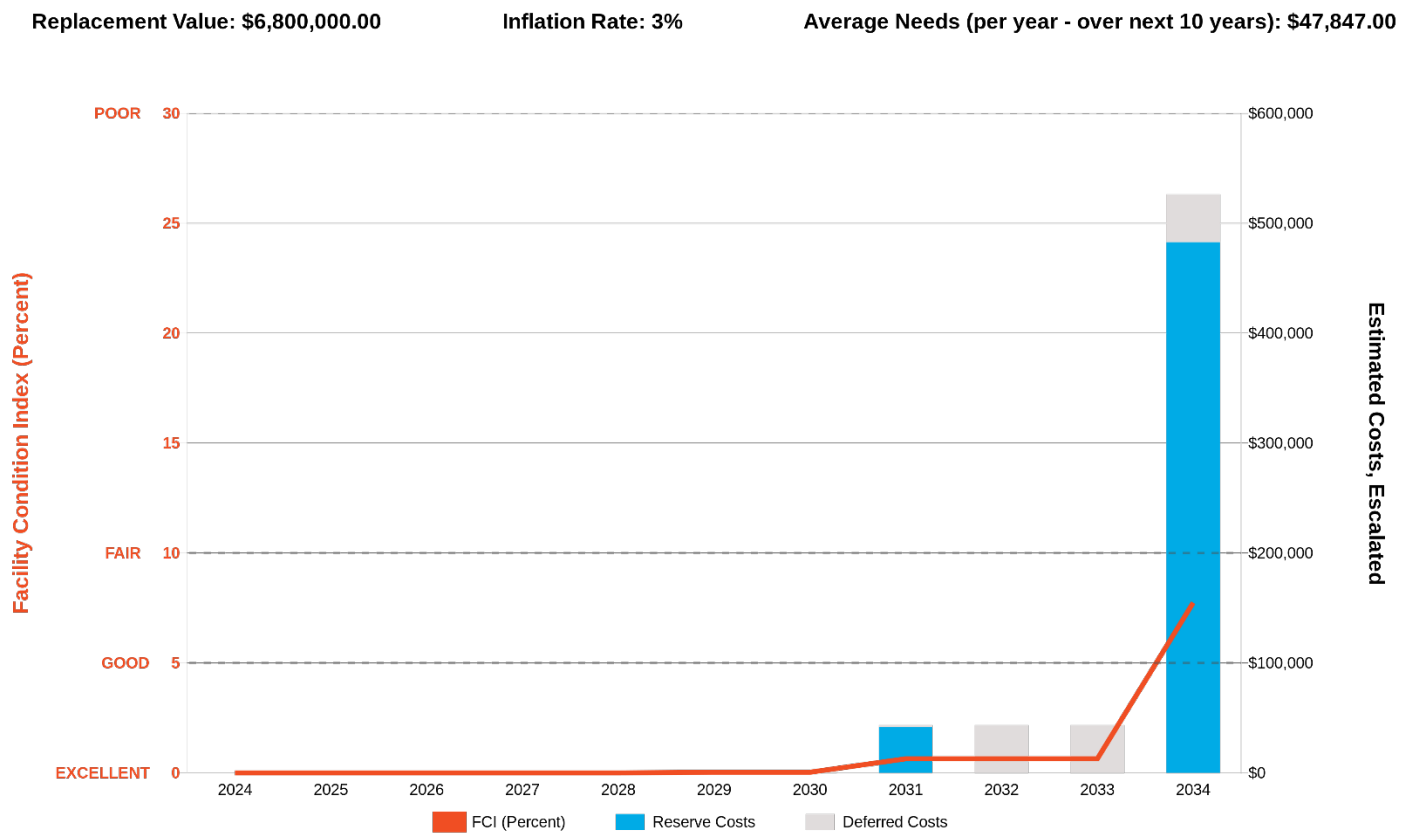
Building E: Building Systems Summary		
<b>HVAC</b>	Thru wall heat pumps.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Building E: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Facade</b>	\$0	\$0	\$0	\$257,330	\$0	\$257,330
<b>Roofing</b>	\$0	\$0	\$0	\$0	\$140,803	\$140,803
<b>Interiors</b>	\$0	\$0	\$0	\$97,722	\$268,811	\$366,533
<b>Plumbing</b>	\$0	\$0	\$1,961	\$0	\$101,862	\$103,823
<b>HVAC</b>	\$0	\$0	\$0	\$1,818	\$82,684	\$84,502
<b>Electrical</b>	\$0	\$0	\$0	\$0	\$110,512	\$110,512
<b>Fire Alarm &amp; Electronic Systems</b>	\$0	\$0	\$0	\$64,426	\$0	\$64,426
<b>Equipment &amp; Furnishings</b>	\$0	\$0	\$0	\$94,745	\$0	\$94,745
<b>Sitework</b>	\$0	\$0	\$0	\$8,323	\$0	\$8,323
<b>TOTALS</b>	<b>\$0</b>	<b>\$0</b>	<b>\$2,000</b>	<b>\$524,400</b>	<b>\$704,700</b>	<b>\$1,231,100</b>

**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time



## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.

## Building E: Photographic Overview



1 - FACADE



2 - EXTERIOR DOOR



3 - INTERIOR



4 - DRINKING FOUNTAIN



5 - HVAC



6 - EXHAUST FAN



## 7. Building F



### Building F: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1954 Renovated 2020	
<b>Building Area</b>	5,300 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Fair
<b>Facade</b>	Primary Wall Finish: Brick Secondary Wall Finish: Concrete integral to superstructure Windows: Aluminum, Steel	Fair
<b>Roof</b>	Primary: Flat construction with modified bituminous finish.	Fair
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	Distribution: Copper & Galvanized iron, PVC waste & venting Hot Water: Electric water heater with integral tank Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

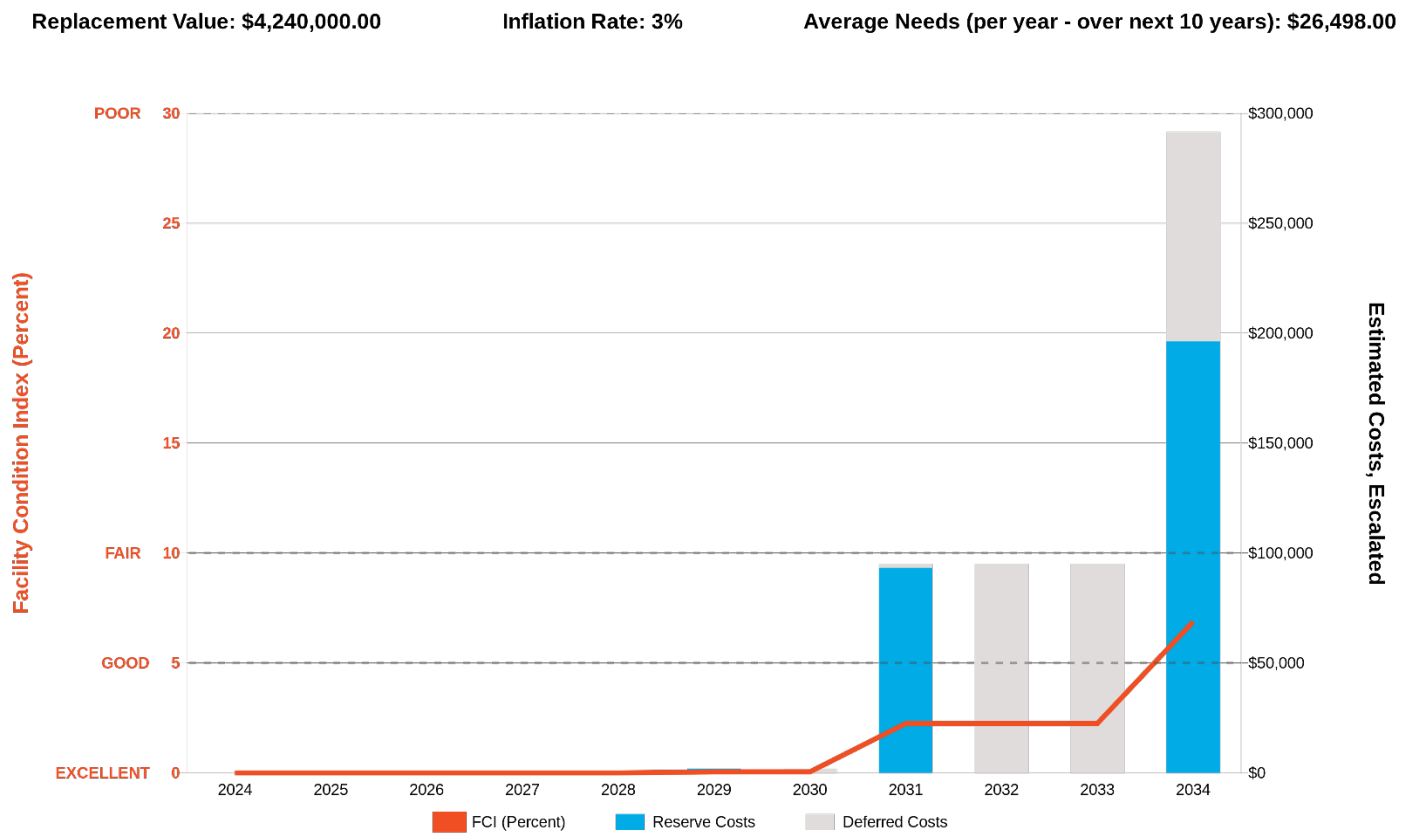
Building F: Building Systems Summary		
<b>HVAC</b>	Thru wall heat pumps.	Fair
<b>Fire Suppression</b>	Fire extinguishers only	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Building F: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Facade</b>	\$0	\$0	\$0	\$103,233	\$0	\$103,233
<b>Roofing</b>	\$0	\$0	\$0	\$73,526	\$0	\$73,526
<b>Interiors</b>	\$0	\$0	\$0	\$56,908	\$186,839	\$243,747
<b>Plumbing</b>	\$0	\$0	\$1,961	\$2,045	\$84,056	\$88,062
<b>HVAC</b>	\$0	\$0	\$0	\$0	\$50,312	\$50,312
<b>Electrical</b>	\$0	\$0	\$0	\$0	\$68,906	\$68,906
<b>Fire Alarm &amp; Electronic Systems</b>	\$0	\$0	\$0	\$40,170	\$0	\$40,170
<b>Equipment &amp; Furnishings</b>	\$0	\$0	\$0	\$13,643	\$83,036	\$96,679
<b>Sitework</b>	\$0	\$0	\$0	\$0	\$9,489	\$9,489
<b>TOTALS</b>	<b>\$0</b>	<b>\$0</b>	<b>\$2,000</b>	<b>\$289,600</b>	<b>\$482,700</b>	<b>\$774,300</b>

**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time



## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.



## Building F: Photographic Overview



1 - FACADE



2 - WINDOW



3 - ROOFING



4 - TOILET PARTITIONS



5 - WATER HEATER



6 - HVAC

## 8. Building G



### Building G: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	2021	
<b>Building Area</b>	23,740 SF	
<b>Number of Stories</b>	2 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Concrete beams & columns with cast-in-place floors and concrete raft foundation slab.	Excellent
<b>Facade</b>	Primary Wall Finish: Concrete integral to superstructure Windows: Aluminum	Excellent
<b>Roof</b>	Primary: Flat with single-ply TPO/PVC membrane	Good
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile, Ceilings: ACT	Good
<b>Elevators</b>	Passenger: one hydraulic car serving all two floors.	Good
<b>Plumbing</b>	Distribution: Copper, PVC waste & venting Hot Water: Electric instant water heater Fixtures: Toilets, urinals, and sinks in all restrooms	Good

Building G: Building Systems Summary		
<b>HVAC</b>	Non-Central System: Packaged units, thru wall heat pumps. Supplemental components: Ductless split-systems.	Good
<b>Fire Suppression</b>	Wet-pipe sprinkler system and fire extinguishers	Good
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED Emergency Power: None	Good
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Good
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Building G: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Structure</b>	\$0	\$0	\$0	\$214,749	\$288,606	\$503,355
<b>Facade</b>	\$0	\$0	\$0	\$0	\$0	\$0
<b>Roofing</b>	\$0	\$0	\$0	\$0	\$535,803	\$535,803
<b>Interiors</b>	\$0	\$0	\$0	\$0	\$344,213	\$344,213
<b>Conveying</b>	\$0	\$0	\$0	\$0	\$0	\$0
<b>Plumbing</b>	\$0	\$0	\$0	\$0	\$3,216	\$3,216
<b>HVAC</b>	\$0	\$0	\$0	\$0	\$172,178	\$172,178
<b>Fire Protection</b>	\$0	\$0	\$0	\$0	\$0	\$0
<b>Electrical</b>	\$0	\$0	\$0	\$0	\$199,174	\$199,174
<b>Fire Alarm &amp; Electronic Systems</b>	\$0	\$0	\$0	\$0	\$233,265	\$233,265
<b>Equipment &amp; Furnishings</b>	\$0	\$0	\$0	\$0	\$3,110	\$3,110
<b>Sitework</b>	\$0	\$0	\$0	\$0	\$78,305	\$78,305
<b>TOTALS</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$214,800</b>	<b>\$1,857,900</b>	<b>\$2,072,700</b>



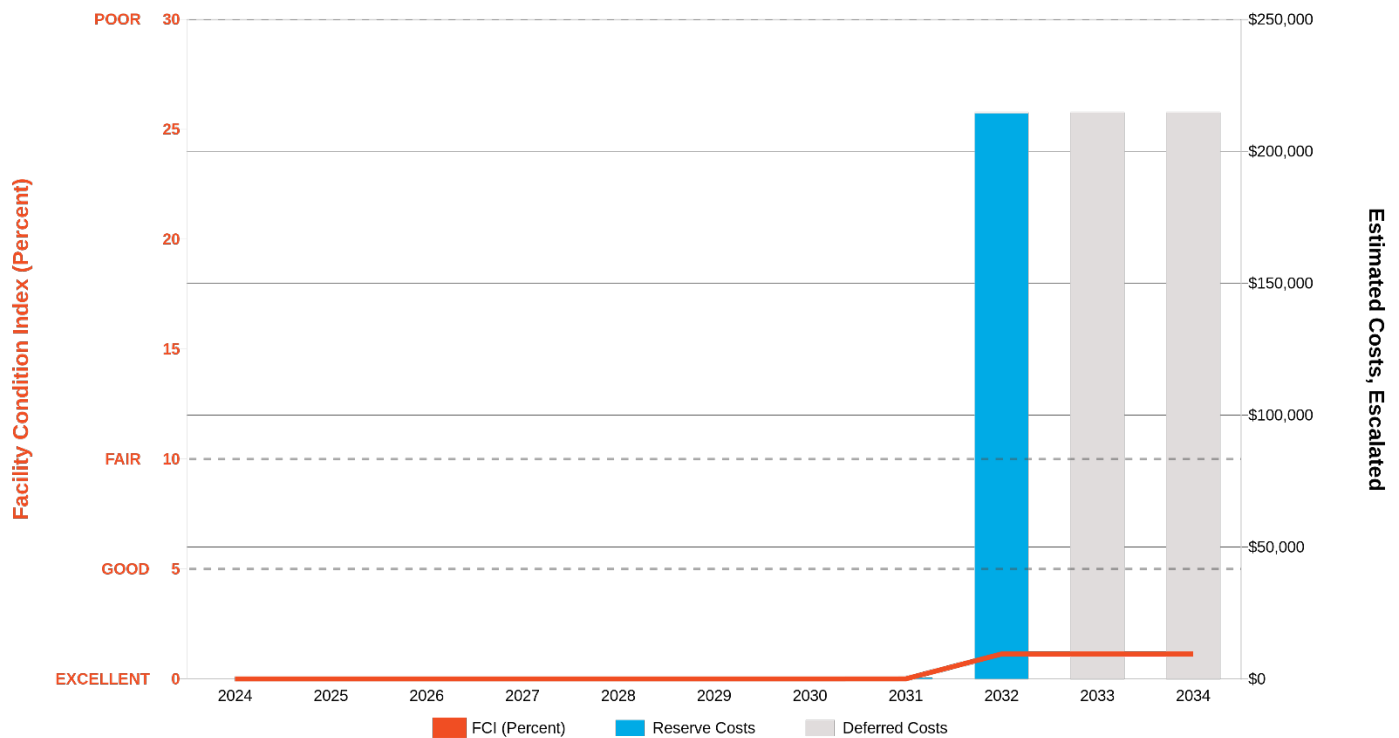
**NEEDS OVER TIME:** The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

### Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$18,992,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$19,522.00





## Immediate Needs

There are no immediate needs to report.

## Key Findings

There are no key findings to report.

## Building G: Photographic Overview



1 - FRONT ELEVATION



2 - FACADE



3 - ROOFING



4 - STAIRS



5 - ELEVATOR



6 - WATER HEATER



7 - HVAC



8 - SPLIT SYSTEM



9 - PACKAGED UNIT



10 - ELECTRICAL SYSTEM



11 - FIRE ALARM PANEL



12 - INTERIOR



## 9. Modulares



### Modulars: Building Systems Summary

<b>Address</b>	110 South Rowell Avenue, Manhattan Beach, CA 90266	
<b>Constructed/Renovated</b>	1980's (estimated)	
<b>Building Area</b>	1,000 SF	
<b>Number of Stories</b>	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Conventional portable wood frame structure with steel support beams over steel jacks or concrete block column foundation	Fair
<b>Facade</b>	Primary Wall Finish: Wood siding Windows: Aluminum	Poor
<b>Roof</b>	Primary: Flat construction with modified bituminous finish	Poor
<b>Interiors</b>	Walls: Painted gypsum board Floors: Carpet, VCT, Ceilings: ACT	Fair
<b>Elevators</b>	None	n/a
<b>Plumbing</b>	None	n/a
<b>HVAC</b>	Non-Central System: Thru wall heat pump	Fair

Modulars: Building Systems Summary		
<b>Fire Suppression</b>	None	n/a
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper Interior Lighting: LED Emergency Power: None	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Fair
<b>Equipment/Special</b>	None	n/a
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs. The roof was viewed from ground level.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	



The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Structure	-	-	\$600	\$7,600	\$2,400	\$10,600
Facade	-	\$7,000	\$31,200	\$44,300	\$28,800	\$111,300
Roofing	-	\$53,900	-	-	-	\$53,900
Interiors	-	\$16,200	\$22,200	\$7,000	\$73,100	\$118,600
Plumbing	-	-	-	-	\$50,100	\$50,100
HVAC	-	\$9,900	\$10,200	\$8,300	-	\$28,400
Electrical	-	\$16,200	\$8,600	-	\$15,300	\$40,000
Fire Alarm & Electronic Systems	-	-	-	\$19,700	-	\$19,700
Equipment & Furnishings	-	\$6,500	\$20,300	-	\$9,100	\$35,900
Site Utilities	-	-	\$2,200	\$2,700	-	\$4,900
Site Pavement	-	-	-	-	-	-
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>\$109,600</b>	<b>\$95,300</b>	<b>\$89,700</b>	<b>\$178,900</b>	<b>\$473,500</b>

\*Totals have been rounded to the nearest \$100.

## Immediate Needs

Facility/Building	Total Items	Total Cost
Pennekamp Elementary School / Pennekamp Elementary Modular I	1	\$300
<b>Total</b>	<b>1</b>	<b>\$300</b>

### Pennekamp Elementary Modular I

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
7484930	Pennekamp Elementary School / Pennekamp Elementary Modular I	Classrooms	E1060	Residential Appliances, Garbage Disposal, Replace	Failed	Performance/Integrity	\$300
<b>Total (1 items)</b>							<b>\$300</b>

## Key Findings



### Exterior Walls in Poor condition.

any painted surface  
Pennekamp Elementary Modular I Pennekamp Elementary School Building Exterior

Uniformat Code: B2010  
Recommendation: **Prep & Paint in 2026**

Priority Score: **89.6**

Plan Type:  
Performance/Integrity

Cost Estimate: \$6,600

\$\$\$\$

Peeling and chipping - AssetCALC ID: 7484919



### Wall Finishes in Poor condition.

Wallpaper  
Pennekamp Elementary Modular I Pennekamp Elementary School Classrooms

Uniformat Code: C2010  
Recommendation: **Replace in 2026**

Priority Score: **85.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$4,100

\$\$\$\$

Nicks and holes throughout - AssetCALC ID: 7484921

**Flooring in Poor condition.**

Vinyl Tile (VCT)  
Pennekamp Elementary Modular I Pennekamp  
Elementary School Classrooms

Uniformat Code: C2030  
Recommendation: **Replace in 2026**

Priority Score: **81.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$3,000

\$\$\$\$

Cracked and mismatched tiles - AssetCALC ID: 7484927

**Flooring in Poor condition.**

Carpet, Commercial Standard  
Pennekamp Elementary Modular J Pennekamp  
Elementary School Classrooms

Uniformat Code: C2030  
Recommendation: **Replace in 2026**

Priority Score: **81.7**

Plan Type:  
Performance/Integrity

Cost Estimate: \$8,200

\$\$\$\$

Raveling throughout - AssetCALC ID: 7484957

## Modulars: Photographic Overview



1 - EXTERIOR WALLS



2 - WINDOW



3 - ROOFING



4 - HVAC



5 - ELECTRICAL



6 - FACADE



10. Site



Site: Site Information		
Site Area	6.5 acres (estimated)	
Parking Spaces	42 total spaces all in open lots; 4 of which are accessible.	
System	Description	Condition
Site Pavement	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs.	Fair
Site Development	Building-mounted, Property entrance signage; wrought iron fencing; CMU wall and chain-link fence dumpster enclosures. Sports fields and courts, fencing, and site lights Furnished with park benches, picnic tables, trash receptacles.	Fair
Landscaping & Topography	Landscaping features including lawns, trees, bushes, and planters. Irrigation present Low to moderate site slopes throughout boundary	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED Pedestrian walkway and landscape accent lighting	Fair
Ancillary Structures	Storage sheds and Prefabricated modular buildings	Fair



Site: Site Information	
<b>Site Accessibility</b>	Presently it does not appear an accessibility study is needed for the exterior site areas. See the appendix for associated photos and additional information.
<b>Site Additional Studies</b>	No additional studies are currently recommended for the site areas.
<b>Site Areas Observed</b>	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
<b>Site Key Spaces Not Observed</b>	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>Site: System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
<b>Structure</b>	\$0	\$0	\$0	\$6,242	\$8,389	\$14,631
<b>Sitework</b>	\$0	\$17,232	\$68,591	\$398,305	\$984,353	\$1,468,481
<b>TOTALS</b>	<b>\$0</b>	<b>\$17,300</b>	<b>\$68,600</b>	<b>\$404,600</b>	<b>\$992,800</b>	<b>\$1,483,300</b>

#### Immediate Needs

There are no immediate needs to report.

#### Key Findings

There are no key findings to report.

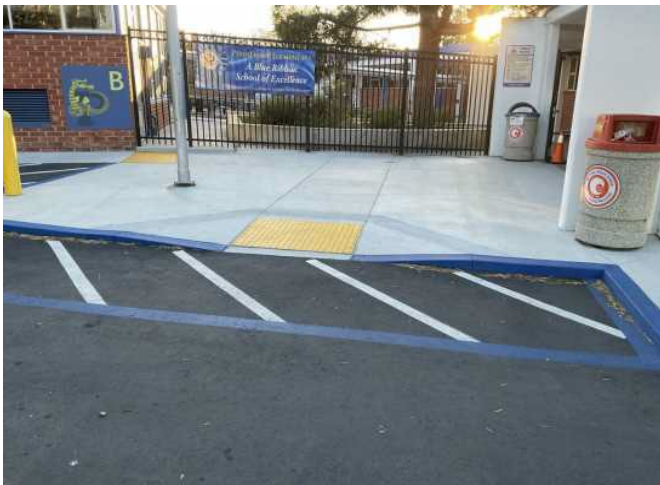
## Site: Photographic Overview



1 - STAIRS



2 - PARKING LOTS



3 - ADA



4 - SPORTS APPARATUS



5 - ATHLETIC SURFACES &amp; COURTS



6 - SPORTS APPARATUS





7 - PICNIC TABLE



8 - FENCES & GATES



9 - SITE WALKWAY FIXTURE W/ LAMP



10 - PARKING/ROADWAY LIGHTING

## 11. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.



## 12. Purpose and Scope

### Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
<b>Excellent</b>	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Good</b>	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Fair</b>	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
<b>Poor</b>	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
<b>Failed</b>	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
<b>Not Applicable</b>	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

## Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

## 13. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

### Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

## Definitions

### Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety or Performance/Integrity* Plan Types, are considered Immediate Needs.

### Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

## Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

## 14. Certification

DLR Group - Manhattan Beach USD - 2024 (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Pennekamp Elementary School, 110 South Rowell Avenue, Manhattan Beach, CA 90266, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

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## 15. Appendices

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- Appendix A: Site Plan(s)
- Appendix B: Pre-Survey Questionnaire(s)
- Appendix C: Accessibility Review and Photos
- Appendix D: Component Condition Report
- Appendix E: Replacement Reserves



## Appendix A:

### Site Plan(s)

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Site Plan



 <b>BUREAU VERITAS</b>	<b>Project Number</b>	<b>Project Name</b>	
	166615.24R000-005.017	Pennekamp Elementary School	
	<b>Source</b>	<b>On-Site Date</b>	
	Google	March 15, 2024	

## **Appendix B:**

### **Pre-Survey Questionnaire(s)**

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NO PSQ PROVIDED



## **Appendix C:**

### **Accessibility Review and Photos**

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## Visual Survey - 2010 ADA Standards for Accessible Design

**Property Name:** Pennekamp Elementary School

**BV Project Number:** 166615.24R000-005.017

### Facility History & Interview

Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?			✗	
2	Have any ADA improvements been made to the property since original construction? Describe.	✗			Building G added with new accessibility features and accessible parking in 2021.
3	Has building management reported any accessibility-based complaints or litigation?			✗	

### Pennekamp Elementary School: Accessibility Issues

Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*
Parking				✗
Exterior Accessible Route				✗
Building Entrances				✗
Interior Accessible Route				✗
Elevators	NA			
Public Restrooms				✗
Kitchens/Kitchenettes	NA			
Playgrounds & Swimming Pools				✗
Other	NA			

*\*be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature*

## Pennekamp Elementary School: Photographic Overview



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE RAMP



CURB CUT



ACCESSIBLE ENTRANCE



SIGNAGE



## Pennekamp Elementary School: Photographic Overview



ACCESSIBLE INTERIOR PATH



DOOR HARDWARE



RESTROOM ACCESSORIES



SINK, FAUCET HANDLES AND ACCESSORIES



ACCESSIBLE ROUTE TO PLAYGROUND



OVERVIEW OF PLAYGROUND

## **Appendix D:** Component Condition Report

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## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Structure</b>						
B1010	Site	Fair	Exterior Ramp, Stainless Steel, up to 16'	1	10	7484972
B1080	Site	Fair	Stair/Ramp Rails, Metal, Refinish	25 LF	5	7484971
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	1,300 SF	3	7484963
B2010	Building Exterior	Fair	Exterior Walls, Plywood/OSB	1,300 SF	10	7651450
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	2	4	7484976
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	1	4	7484968
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Modified Bitumen	1,000 SF	2	7484965
<b>Interiors</b>						
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	15	7484977

# Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout building	Fair	Wall Finishes, Wallpaper	1,100 SF	7	7484978
C2030	Classrooms	Fair	Flooring, Vinyl Tile (VCT)	350 SF	4	7484959
C2030	Classrooms	Fair	Flooring, Carpet, Commercial Standard	650 SF	4	7484958
<b>Plumbing</b>						
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures)	1,000 SF	20	7484975
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	20	7484970
<b>HVAC</b>						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	10	7484962
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	20	7484966
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,000 SF	4	7484967
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	10	7484969

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	10	7484960
<b>Equipment &amp; Furnishings</b>						
E2010	Classrooms	Fair	Casework, Countertop, Plastic Laminate	16 LF	3	7484964
E2010	Classrooms	Fair	Casework, Cabinetry Economy	32 LF	3	7484973
<b>Sitework</b>						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	3	10	7484961

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Structure</b>						
B1080	Site	Good	Stairs, Metal, Exterior, Refinish	200 SF	7	7484859
B1080	Site	Good	Stair/Ramp Rails, Metal, Refinish	18,000 LF	8	7484863
<b>Facade</b>						
B2010	Building Exterior	Good	Exterior Walls, Concrete	13,500 SF	47	7484882

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building Exterior	Good	Window, Aluminum Double-Glazed, 16-25 SF	43	27	7484889
B2020	Building Exterior	Good	Window, Aluminum Double-Glazed, up to 15 SF	38	27	7484858
B2050	Building Exterior	Good	Exterior Door, Steel, Standard	23	37	7484886
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	7	27	7484861
<b>Roofing</b>						
B3010	Roof	Good	Roofing, Single-Ply Membrane, TPO/PVC	16,905 SF	17	7484885
<b>Interiors</b>						
C1070	Throughout building	Good	Suspended Ceilings, Acoustical Tile (ACT)	23,740 SF	22	7484892
C1090	Restrooms	Good	Toilet Partitions, Plastic/Laminate	1	17	7484874
C2010	Throughout building	Good	Wall Finishes, Wallpaper	46,000 SF	12	7484887
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	2,000 SF	37	7484866
C2030	Restrooms	Good	Flooring, Ceramic Tile	2,000 SF	37	7484860
C2030	Throughout building	Good	Flooring, Vinyl Tile (VCT)	21,740 SF	13	7484879

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Conveying</b>						
D1010	Elevator	Good	Passenger Elevator, Hydraulic, 2 Floors, Renovate	1	27	7484877
<b>Plumbing</b>						
D2010	Restrooms	Good	Urinal, Standard	2	27	7484867
D2010	Building exterior	Good	Drinking Fountain, Wall-Mounted, Bi-Level	1	12	7484864
D2010	Restrooms	Good	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	6	27	7484883
D2010	Breakroom	Good	Sink/Lavatory, Vanity Top, Stainless Steel	13	27	7484868
D2010	Restrooms	Good	Toilet, Commercial Water Closet	6	27	7484871
D2010	Throughout building	Good	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures)	23,740 SF	37	7484875
D2010	Breakroom	Good	Water Heater, Electric, Instant Hot	1	12	7484893
<b>HVAC</b>						
D3030	Classrooms	Good	Heat Pump, Packaged & Wall-Mounted	11	17	7484865
D3030	Roof	Good	Split System, Condensing Unit/Heat Pump	3	12	7484872
D3030	Office	Good	Split System, Fan Coil Unit, DX	1	12	7484894
D3030	Breakroom	Good	Split System, Fan Coil Unit, DX	1	13	7484873



## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	17	7484890
<b>Fire Protection</b>						
D4010	Throughout building	Good	Fire Suppression System, Existing Sprinkler Heads, by SF	23,740 SF	22	7484880
<b>Electrical</b>						
D5030	Throughout building	Good	Electrical System, Wiring & Switches, Average or Low Density/Complexity	23,740 SF	37	7484891
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	23,740 SF	17	7484869
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Good	Security/Surveillance System, Full System Upgrade, Average Density	23,740 SF	12	7484876
D7050	Throughout building	Good	Fire Alarm Panel, Fully Addressable	1	12	7484878
D7050	Throughout building	Good	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	23,740 SF	17	7484870
<b>Equipment &amp; Furnishings</b>						
E2010	Breakroom	Good	Casework, Cabinetry Economy	7 LF	17	7484884
E2010	Breakroom	Good	Casework, Countertop, Plastic Laminate	10 LF	13	7484881

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Pedestrian Plazas & Walkways						
G2030	Site	Good	Sidewalk, Concrete, Large Areas	8,500 SF	48	7484888
Sitework						
G4050	Building exterior	Good	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	70	17	7484862

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
B1080	Site	Fair	Stair Treads, Pre-Cast Concrete	200 SF	20	7484915
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,500 SF	30	7484910
B2010	Building Exterior	Fair	Exterior Walls, Concrete	350 SF	30	7484906
B2010	Building Exterior	Fair	Exterior Walls, Plywood/OSB	1,300 SF	5	7484907

**Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular H**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, up to 15 SF	20	10	7484901
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	10	10	7484911
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	5	25	7484896
Roofing						
B3010	Roof	Good	Roofing, Metal	1,500 SF	30	7484913
B3010	Roof	Fair	Roofing, Modified Bitumen	2,000 SF	7	7484909
Interiors						
C1070	Library	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,500 SF	15	7484900
C2010	Library	Fair	Wall Finishes, Wallpaper	6,500 SF	7	7484897
C2030	Library	Fair	Flooring, Carpet, Commercial Standard	300 SF	6	7484899
C2030	Library	Fair	Flooring, Vinyl Sheeting	3,200 SF	10	7484916
Plumbing						
D2010	Library	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	20	7484905
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,500 SF	20	7484908

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>HVAC</b>						
D3050		Fair	HVAC System, Ductwork, Low Density	3,500 SF	15	7485411
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	1	10	7484914
<b>Electrical</b>						
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,500 SF	15	7484898
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	3,500 SF	10	7484912
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	3,500 SF	10	7484902
<b>Equipment &amp; Furnishings</b>						
E2010	Library	Fair	Casework, Cabinetry Economy	275 LF	10	7484904
E2010	Library	Fair	Casework, Countertop, Plastic Laminate	5 LF	10	7484903
<b>Sitework</b>						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	6	10	7484917





**Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular I**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	20	7484934
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	20	7484929
HVAC						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	3	7484924
Electrical						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	20	7484918
D5040	Classrooms	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,000 SF	2	7484932
Fire Alarm & Electronic Systems						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	10	7484920
Equipment & Furnishings						
E2010	Classrooms	Fair	Casework, Countertop, Plastic Laminate	16 LF	2	7484923
E2010	Classrooms	Fair	Casework, Cabinetry Economy	16 LF	2	7484936
Sitework						

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular I

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	1	3	7484926

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Structure</b>						
B1080	Site	Fair	Stair/Ramp Rails, Metal, Refinish	300 LF	5	7484938
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	1,300 SF	3	7484952
B2010	Building Exterior	Fair	Exterior Walls, Plywood/OSB	1,300 SF	10	7651449
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	2	4	7484956
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Modified Bitumen	1,000 SF	2	7484954
<b>Interiors</b>						
C1070	Classrooms	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	15	7484946

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Modular J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Classrooms	Fair	Wall Finishes, Wallpaper	1,100 SF	10	7484949
C2030	Classrooms	Poor	Flooring, Carpet, Commercial Standard	650 SF	2	7484957
C2030	Classrooms	Fair	Flooring, Vinyl Tile (VCT)	350 SF	3	7484941
<b>Plumbing</b>						
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	20	7484948
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	20	7484953
<b>HVAC</b>						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	2	7484939
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	20	7484940
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	1,000 SF	2	7484950
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	10	7484947

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## Component Condition Report | Pennekamp Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	36,000 SF	3	7484684
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	36,000 SF	20	7484678
G2030	Site	Fair	Sidewalk, Concrete, Large Areas	19,500 SF	30	7484688
<b>Athletic, Recreational &amp; Playfield Areas</b>						
G2050	Site	Fair	Play Structure, Multipurpose, Very Small	9	10	7484689
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	8	10	7484673
G2050	Site	Fair	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	32,000 SF	12	7484675
G2050	Site	Fair	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Seal & Stripe	32,000 SF	2	7484687
G2050	Site	Fair	Play Structure, Swing Set, 4 Seats	1	10	7484677
G2050	Site	Fair	Playfield Surfaces, Chips Rubber, 6" Depth	4,000 SF	4	7484670
G2050	Site	Fair	Sports Apparatus, Baseball, Backstop Chain-Link	2	5	7484681
<b>Sitework</b>						
G2060	Site	Fair	Park Bench, Metal Powder-Coated	17	15	7484686
G2060	Site	Fair	Fences & Gates, Fence, Metal Tube 6'	1,800 LF	35	7484672
G2060	Site	Fair	Flagpole, Metal	1	20	7484679
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 8'	4,200 LF	35	7484669



## Component Condition Report | Pennekamp Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2060	Site	Fair	Picnic Table, Metal Powder-Coated	59	15	7484682
G2060	Site	Fair	Park Bench, Precast Concrete	12	20	7484674
G2060	Site	Fair	Fences & Gates, Pedestrian Gate, Wrought Iron, Refinish	3,600	8	7484676
G4050	Site	Fair	Site Walkway Fixture w/ Lamp, Bollard Style, Replace/Install	22	15	7484683
G4050	Site	Fair	Parking/Roadway Lighting, Pole-Mounted, any type w/ LED	9	15	7484671

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	1,900 SF	30	7484715
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 28-40 SF	1	5	7484714
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, up to 15 SF	44	4	7484718

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	1	10	7484698
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	4	25	7484708
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Modified Bitumen	3,500 SF	5	7484709
<b>Interiors</b>						
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	7	15	7484696
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	7	7484716
C2030	Restrooms	Fair	Flooring, Vinyl Tile (VCT)	50 SF	7	7484711
C2030	Office	Fair	Flooring, Vinyl Tile (VCT)	2,300 SF	10	7484717
C2030	Restrooms	Fair	Flooring, Ceramic Tile	200 SF	15	7484693
C2030	Office	Fair	Flooring, Carpet, Commercial Standard	800 SF	3	7484691
C2050	Throughout building	Fair	Ceiling Finishes, Gypsum Board/Plaster	3,350 SF	30	7484712
<b>Plumbing</b>						
D2010	Office	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	25	7484705
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	6	15	7484700

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	7484699
D2010	Utility closet	Fair	Water Heater, Gas, Residential	1	10	7484692
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,350 SF	20	7484713
<b>HVAC</b>						
D3020	Throughout building	Fair	Furnace, Gas	1	15	7484710
D3050		Fair	HVAC System, Ductwork, Low Density	3,350 SF	15	7485170
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,350 SF	4	7484707
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,350 SF	4	7484695
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	3,350 SF	4	7484702
D7050	Throughout building	Fair	Fire Alarm Panel, Fully Addressable	1	4	7484701
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	3,350 SF	4	7484697

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Equipment &amp; Furnishings</b>						
E2010	Office	Fair	Casework, Countertop, Plastic Laminate	70 LF	4	7484706
E2010	Office	Fair	Casework, Cabinetry Economy	100 LF	4	7484694
<b>Sitework</b>						
G4050	Throughout building	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	2	15	7484703

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Concrete	4,500 SF	30	7484747
B2010	Building Exterior	Fair	Exterior Walls, Brick	225 SF	30	7484726
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	7	10	7484721
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, up to 15 SF	36	4	7484724

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	4	8	7484736
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Modified Bitumen	4,600 SF	4	7484729
<b>Interiors</b>						
C1030	Kitchen	Fair	Interior Door, Wood, Solid-Core	4	10	7484727
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	8,000 SF	8	7484749
C2030	Kitchen	Poor	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	1,100 SF	2	7484728
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	3,500 SF	6	7484746
C2050	Throughout building	Fair	Ceiling Finishes, Gypsum Board/Plaster	4,600 SF	15	7484742
<b>Plumbing</b>						
D2010	Kitchen	Fair	Sink/Lavatory, Commercial Kitchen, 3-Bowl	1	15	7484740
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,600 SF	20	7484719
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	1	10	7484725



## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Kitchen	Fair	Sink/Lavatory, Commercial Kitchen, 2-Bowl	1	15	7484744
D2010	Utility closet	Fair	Water Heater, Gas, Commercial (125 MBH)	1	7	7484737
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	10	7484733
<b>HVAC</b>						
D3020	Utility closet	Fair	Furnace, Gas	1	4	7484738
D3060	Utility closet	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	10	7484748
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,600 SF	20	7484734
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	4,600 SF	4	7484731
<b>Fire Alarm &amp; Electronic Systems</b>						
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	4,600 SF	4	7484735
<b>Equipment &amp; Furnishings</b>						
E1030	Kitchen	Fair	Foodservice Equipment, Freezer, Chest	1	10	7484739
E1030	Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF	1	5	7484732

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	7	7484745
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells	1	7	7484722
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	7	7484730
E1030	Kitchen	Fair	Foodservice Equipment, Convection Oven, Double	1	5	7484743
E1030	Kitchen	Fair	Foodservice Equipment, Prep Table Refrigerated, Salad/Sandwich	1	7	7484750
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 2-Door Reach-In	1	5	7484720
E1030	Kitchen	Fair	Foodservice Equipment, Freezer, 1-Door Reach-In	1	5	7484723
<b>Sitework</b>						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	1	7	7484741

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick	3,500 SF	30	7484757
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, up to 15 SF	60	10	7484764
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	60	10	7484776
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	12	10	7484765
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	6	25	7484759
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	4	25	7484773
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	8,300 SF	7	7484771
Interiors						
C1070	Throughout building	Fair	Suspended Ceilings, Fiberglass Paneling	8,000 SF	15	7484755
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	3	15	7484763
C2010	Classrooms	Fair	Wall Finishes, any surface, Prep & Paint	14,000 SF	7	7484777

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Classrooms	Fair	Flooring, Vinyl Tile (VCT)	7,600 SF	10	7484753
C2030	Restrooms	Fair	Flooring, Ceramic Tile	400 SF	10	7484770
Plumbing						
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	15	7484751
D2010	Utility closet	Fair	Sink/Lavatory, Service Sink, Floor	1	10	7484767
D2010	Utility closet	Fair	Water Heater, Electric, Commercial ( 12 kW)	1	10	7484775
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Single-Level	1	5	7484756
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	15	7484752
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	8,000 SF	20	7484760
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	4	20	7484762
HVAC						
D3030	Classrooms	Fair	Heat Pump, Packaged & Wall-Mounted	4	15	7484758
D3050		Fair	HVAC System, Ductwork, Low Density	8,000 SF	15	7485173
D3060	Building exterior	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	10	7484768
Electrical						







**Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg D**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	5	20	7484807
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	15	7484800
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	8,500 SF	20	7484803
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	7484805
D2010	Breakroom	Fair	Water Heater, Electric, Instant Hot	1	10	7484806
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	15	7484797
D2010	Restrooms	Fair	Urinal, Standard	1	15	7484802
HVAC						
D3030	Classrooms	Good	Heat Pump, Packaged & Wall-Mounted	5	18	7484785
D3050		Fair	HVAC System, Ductwork, Low Density	8,500 SF	15	7485177
Electrical						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	8,500 SF	20	7484798
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	8,500 SF	15	7484781
Fire Alarm & Electronic Systems						

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	8,500 SF	10	7484795
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	8,500 SF	10	7484787
<b>Equipment &amp; Furnishings</b>						
E1030	Kitchen	Fair	Foodservice Equipment, Icemaker, Freestanding	1	10	7484801
E1060	Breakroom	Fair	Residential Appliances, Refrigerator, 14 to 18 CF	1	10	7484791
E1060	Kitchen	Fair	Residential Appliances, Garbage Disposal	1	6	7484790
E1060	Breakroom	Fair	Residential Appliances, Range, Electric	1	10	7484780
E2010	Classrooms	Fair	Casework, Countertop, Plastic Laminate	260 LF	10	7484793
E2010	Classrooms	Fair	Casework, Cabinetry Economy	400 LF	15	7484794
<b>Sitework</b>						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	10	7	7484786



## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	7484822
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	5	20	7484826
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	8,500 SF	20	7484816
<b>HVAC</b>						
D3030	Classrooms	Fair	Heat Pump, Packaged & Wall-Mounted	5	18	7484823
D3050		Fair	HVAC System, Ductwork, Low Density	8,500 SF	15	7485180
D3060	Building exterior	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	10	7484820
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	8,500 SF	20	7484827
D5040	Classrooms	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	8,500 SF	15	7484825
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	8,500 SF	10	7484811
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	8,500 SF	10	7484829

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Equipment &amp; Furnishings</b>						
E2010	Classrooms	Fair	Casework, Countertop, Plastic Laminate	200 LF	10	7484810
E2010	Classrooms	Fair	Casework, Cabinetry Economy	300 LF	10	7484824
<b>Sitework</b>						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	10	7	7484815

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick	2,600 SF	30	7484835
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, up to 15 SF	39	10	7484837
B2020	Building Exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	45	10	7484838
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	6	25	7484844



## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	3	25	7484855
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Modified Bitumen	5,300 SF	7	7484850
<b>Interiors</b>						
C1070	Classrooms	Fair	Suspended Ceilings, Fiberglass Paneling	5,300 SF	15	7484831
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	6	15	7484845
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	640 SF	25	7484852
C2010	Classrooms	Fair	Wall Finishes, any surface, Prep & Paint	9,500 SF	7	7484840
C2030	Classrooms	Fair	Flooring, Vinyl Tile (VCT)	4,900 SF	10	7484847
C2030	Restrooms	Fair	Flooring, Ceramic Tile	400 SF	15	7484857
<b>Plumbing</b>						
D2010	Utility closet	Fair	Water Heater, Electric, Residential	1	10	7484842
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	7484843
D2010	Utility closet	Fair	Sink/Lavatory, Service Sink, Floor	1	10	7484836
D2010	Classrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	3	20	7484856
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	15	7484853

## Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	15	7484851
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,300 SF	20	7484849
<b>HVAC</b>						
D3030	Classrooms	Fair	Heat Pump, Packaged & Wall-Mounted	3	18	7484832
D3050		Fair	HVAC System, Ductwork, Low Density	5,300 SF	15	7485182
<b>Electrical</b>						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,300 SF	20	7484854
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	5,300 SF	15	7484833
<b>Fire Alarm &amp; Electronic Systems</b>						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	5,300 SF	10	7484834
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	5,300 SF	10	7484846
<b>Equipment &amp; Furnishings</b>						
E2010	Classrooms	Fair	Casework, Countertop, Plastic Laminate	180 LF	10	7484848
E2010	Classrooms	Fair	Casework, Cabinetry Economy	270 LF	15	7484839

**Component Condition Report | Pennekamp Elementary School / Pennekamp Elementary Bldg F**

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Sitework						
G4050	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	9	15	7484841

## Appendix E:

### Replacement Reserves

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Replacement Reserves Report

6/13/2024

Location	2024	2025	2026	2027	2028	2029	2030	2031	2032	2
Pennekamp Elementary School	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg A	\$0	\$0	\$0	\$7,396	\$194,816	\$60,479	\$0	\$13,873	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg B	\$0	\$0	\$1,975	\$0	\$205,861	\$26,781	\$47,141	\$34,266	\$22,291	
Pennekamp Elementary School / Pennekamp Elementary Bldg C	\$0	\$0	\$0	\$0	\$0	\$1,569	\$0	\$154,268	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg D	\$0	\$0	\$0	\$0	\$0	\$1,961	\$364	\$159,539	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg E	\$0	\$0	\$0	\$0	\$0	\$1,961	\$0	\$41,619	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg F	\$0	\$0	\$0	\$0	\$0	\$1,961	\$0	\$93,296	\$0	
Pennekamp Elementary School / Pennekamp Elementary Bldg G	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$416	\$38,581	
Pennekamp Elementary School / Pennekamp Elementary Modular H	\$0	\$0	\$0	\$0	\$0	\$12,750	\$3,031	\$47,584	\$0	
Pennekamp Elementary School / Pennekamp Elementary Modular I	\$0	\$0	\$46,976	\$17,380	\$0	\$6,375	\$0	\$0	\$0	
Pennekamp Elementary School / Pennekamp Elementary Modular J	\$0	\$0	\$44,652	\$14,514	\$4,761	\$6,081	\$0	\$0	\$0	
Pennekamp Elementary School / Pennekamp Elementary Modular K	\$0	\$0	\$17,950	\$19,044	\$27,090	\$49	\$0	\$3,357	\$0	
Pennekamp Elementary School / Site	\$0	\$0	\$17,232	\$19,968	\$35,548	\$13,077	\$0	\$26,220	\$177,471	
Grand Total	\$0	\$0	\$128,785	\$78,301	\$468,076	\$133,045	\$50,535	\$574,438	\$238,343	

Pennekamp Elementary School

Pennekamp Elementary School / Pennekamp Elementary Bldg A

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal2024	2025	202
B2020	7484718	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	26	4	44	EA	\$1,099.80	\$48,391		
B2020	7484714	Window, Aluminum Double-Glazed, 28-40 SF, Replace	30	25	5	1	EA	\$2,820.00	\$2,820		
B2050	7484698	Exterior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	30	20	10	1	EA	\$1,466.40	\$1,466		
B3010	7484709	Roofing, Modified Bitumen, Replace	20	15	5	3500	SF	\$14.10	\$49,350		
C1090	7484696	Toilet Partitions, Plastic/Laminate, Replace	20	5	15	7	EA	\$846.00	\$5,922		
C2010	7484716	Wall Finishes, any surface, Prep & Paint	10	3	7	6500	SF	\$1.69	\$10,998		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026	
C2030	7484693	Flooring, Ceramic Tile, Replace	40	25	15	200	SF	\$20.30	\$4,061			
C2030	7484711	Flooring, Vinyl Tile (VCT), Replace	15	8	7	50	SF	\$5.64	\$282			
C2030	7484717	Flooring, Vinyl Tile (VCT), Replace	15	5	10	2300	SF	\$5.64	\$12,972			
C2030	7484691	Flooring, Carpet, Commercial Standard, Replace	10	7	3	800	SF	\$8.46	\$6,768			
D2010	7484692	Water Heater, Gas, Residential, Replace	15	5	10	1	EA	\$1,466.40	\$1,466			
D2010	7484713	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	3350	SF	\$5.64	\$18,894			
D2010	7484700	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	6	EA	\$1,692.00	\$10,152			
D2010	7484699	Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,466.40	\$5,866			
D3020	7484710	Furnace, Gas, Replace	20	5	15	1	EA	\$4,737.60	\$4,738			
D3050	7485170	HVAC System, Ductwork, Low Density, Replace	30	15	15	3350	SF	\$2.26	\$7,558			
D5030	7484707	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	36	4	3350	SF	\$4.23	\$14,171			
D5040	7484695	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	16	4	3350	SF	\$7.61	\$25,507			
D7030	7484702	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	11	4	3350	SF	\$3.38	\$11,336			
D7050	7484701	Fire Alarm Panel, Fully Addressable, Replace	15	11	4	1	EA	\$21,150.00	\$21,150			
D7050	7484697	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	3350	SF	\$5.08	\$17,005			
E2010	7484694	Casework, Cabinetry Economy, Replace	20	16	4	100	LF	\$296.10	\$29,610			
E2010	7484706	Casework, Countertop, Plastic Laminate, Replace	15	11	4	70	LF	\$84.60	\$5,922			
G4050	7484703	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	5	15	2	EA	\$676.80	\$1,354			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Pennekamp Elementary School / Pennekamp Elementary Bldg B

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2020	7484724	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	26	4	36	EA	\$1,099.80	\$39,593		



Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2020	7484721	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	7	EA	\$1,071.60	\$7,501		
B2050	7484736	Exterior Door, Steel, Standard, Replace	40	32	8	4	EA	\$1,015.20	\$4,061		
B3010	7484729	Roofing, Modified Bitumen, Replace	20	16	4	4600	SF	\$16.92	\$77,832		
C1030	7484727	Interior Door, Wood, Solid-Core, Replace	40	30	10	4	EA	\$789.60	\$3,158		
C2010	7484749	Wall Finishes, any surface, Prep & Paint	10	2	8	8000	SF	\$1.69	\$13,536		
C2030	7484728	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	8	2	1100	SF	\$1.69	\$1,861		\$1,861
C2030	7484746	Flooring, Vinyl Tile (VCT), Replace	15	9	6	3500	SF	\$11.28	\$39,480		
C2050	7484742	Ceiling Finishes, Gypsum Board/Plaster, Replace	50	35	15	4600	SF	\$9.02	\$41,510		
D2010	7484737	Water Heater, Gas, Commercial (125 MBH), Replace	20	13	7	1	EA	\$13,987.20	\$13,987		
D2010	7484719	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	4600	SF	\$5.64	\$25,944		
D2010	7484725	Toilet, Commercial Water Closet, Replace	30	20	10	1	EA	\$1,466.40	\$1,466		
D2010	7484733	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	20	10	1	EA	\$1,692.00	\$1,692		
D2010	7484740	Sink/Lavatory, Commercial Kitchen, 3-Bowl, Replace	30	15	15	1	EA	\$2,820.00	\$2,820		
D2010	7484744	Sink/Lavatory, Commercial Kitchen, 2-Bowl, Replace	30	15	15	1	EA	\$2,368.80	\$2,369		
D3020	7484738	Furnace, Gas, Replace	20	16	4	1	EA	\$7,106.40	\$7,106		
D3060	7484748	Exhaust Fan, Roof or Wall-Mounted, 10" Damper, Replace	20	10	10	1	EA	\$1,353.60	\$1,354		
D5030	7484734	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	4600	SF	\$2.82	\$12,972		
D5040	7484731	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	16	4	4600	SF	\$7.61	\$35,024		
D7050	7484735	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	4600	SF	\$5.08	\$23,350		
E1030	7484732	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	10	5	1	EA	\$5,076.00	\$5,076		
E1030	7484743	Foodservice Equipment, Convection Oven, Double, Replace	10	5	5	1	EA	\$9,339.84	\$9,340		
E1030	7484720	Foodservice Equipment, Refrigerator, 2-Door Reach-In, Replace	15	10	5	1	EA	\$5,188.80	\$5,189		
E1030	7484723	Foodservice Equipment, Freezer, 1-Door Reach-In, Replace	15	10	5	1	EA	\$3,496.80	\$3,497		
E1030	7484745	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	8	7	1	EA	\$1,917.60	\$1,918		
E1030	7484722	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	8	7	1	EA	\$4,060.80	\$4,061		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026	
E1030	7484730	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	8	7	1	EA	\$1,917.60	\$1,918			
E1030	7484750	Foodservice Equipment, Prep Table Refrigerated, Salad/Sandwich, Replace	15	8	7	1	EA	\$5,301.60	\$5,302			
E1030	7484739	Foodservice Equipment, Freezer, Chest, Replace	15	5	10	1	EA	\$2,030.40	\$2,030			
G4050	7484741	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	13	7	1	EA	\$676.80	\$677			
Totals, Unescalated										\$0	\$0	\$1,861
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$1,975

Pennekamp Elementary School / Pennekamp Elementary Bldg C

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2020	7484764	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	20	10	60	EA	\$733.20	\$43,992		
B2020	7484776	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	60	EA	\$1,071.60	\$64,296		
B2020	7484765	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	12	EA	\$1,071.60	\$12,859		
B3010	7484771	Roofing, Modified Bitumen, Replace	20	13	7	8300	SF	\$11.28	\$93,624		
C1070	7484755	Suspended Ceilings, Fiberglass Paneling, Replace	25	10	15	8000	SF	\$16.92	\$135,360		
C1090	7484763	Toilet Partitions, Plastic/Laminate, Replace	20	5	15	3	EA	\$846.00	\$2,538		
C2010	7484777	Wall Finishes, any surface, Prep & Paint	10	3	7	14000	SF	\$1.69	\$23,688		
C2030	7484770	Flooring, Ceramic Tile, Replace	40	30	10	400	SF	\$20.30	\$8,122		
C2030	7484753	Flooring, Vinyl Tile (VCT), Replace	15	5	10	7600	SF	\$5.64	\$42,864		
D2010	7484775	Water Heater, Electric, Commercial ( 12 kW), Replace	20	10	10	1	EA	\$13,987.20	\$13,987		
D2010	7484760	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	8000	SF	\$5.64	\$45,120		
D2010	7484756	Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	10	5	1	EA	\$1,353.60	\$1,354		
D2010	7484767	Sink/Lavatory, Service Sink, Floor, Replace	35	25	10	1	EA	\$902.40	\$902		
D2010	7484751	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	2	EA	\$1,692.00	\$3,384		
D2010	7484752	Toilet, Commercial Water Closet, Replace	30	15	15	2	EA	\$1,466.40	\$2,933		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D2010	7484762	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	4	EA	\$1,353.60	\$5,414			
D3030	7484758	Heat Pump, Packaged & Wall-Mounted, Replace	20	5	15	4	EA	\$7,106.40	\$28,426			
D3050	7485173	HVAC System, Ductwork, Low Density, Replace	30	15	15	8000	SF	\$2.26	\$18,048			
D3060	7484768	Exhaust Fan, Roof or Wall-Mounted, 10" Damper, Replace	20	10	10	1	EA	\$1,353.60	\$1,354			
D5030	7484772	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	8300	SF	\$2.82	\$23,406			
D5040	7484774	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	8000	SF	\$5.08	\$40,608			
D7030	7484766	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	8000	SF	\$2.26	\$18,048			
D7050	7484769	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	8000	SF	\$3.38	\$27,072			
E2010	7484778	Casework, Countertop, Plastic Laminate, Replace	15	5	10	170	LF	\$56.40	\$9,588			
E2010	7484761	Casework, Cabinetry Economy, Replace	20	5	15	200	LF	\$197.40	\$39,480			
G4050	7484754	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	13	7	12	EA	\$676.80	\$8,122			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Pennekamp Elementary School / Pennekamp Elementary Bldg D

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2020	7484799	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	75	EA	\$1,071.60	\$80,370			
B2020	7484788	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	20	10	78	EA	\$733.20	\$57,190			
B3010	7484789	Roofing, Modified Bitumen, Replace	20	13	7	8500	SF	\$11.28	\$95,880			
C1070	7484792	Suspended Ceilings, Fiberglass Paneling, Replace	25	10	15	8500	SF	\$16.92	\$143,820			
C2010	7484808	Wall Finishes, any surface, Prep & Paint	10	3	7	16000	SF	\$1.69	\$27,072			
C2030	7484804	Flooring, Ceramic Tile, Replace	40	25	15	400	SF	\$20.30	\$8,122			
C2030	7484779	Flooring, Vinyl Tile (VCT), Replace	15	5	10	8100	SF	\$5.64	\$45,684			
D2010	7484806	Water Heater, Electric, Instant Hot, Replace	15	5	10	1	EA	\$564.00	\$564			

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D2010	7484803	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	8500	SF	\$5.64	\$47,940			
D2010	7484805	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,692.00	\$1,692			
D2010	7484800	Toilet, Commercial Water Closet, Replace	30	15	15	2	EA	\$1,466.40	\$2,933			
D2010	7484797	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	1	EA	\$1,692.00	\$1,692			
D2010	7484802	Urinal, Standard, Replace	30	15	15	1	EA	\$1,240.80	\$1,241			
D2010	7484807	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	5	EA	\$1,353.60	\$6,768			
D3030	7484785	Heat Pump, Packaged & Wall-Mounted, Replace	20	2	18	5	EA	\$6,204.00	\$31,020			
D3050	7485177	HVAC System, Ductwork, Low Density, Replace	30	15	15	8500	SF	\$2.26	\$19,176			
D5030	7484798	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	8500	SF	\$2.82	\$23,970			
D5040	7484781	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	8500	SF	\$5.08	\$43,146			
D7030	7484795	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	8500	SF	\$2.26	\$19,176			
D7050	7484787	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	8500	SF	\$3.38	\$28,764			
E1030	7484801	Foodservice Equipment, Icemaker, Freestanding, Replace	15	5	10	1	EA	\$7,557.60	\$7,558			
E1060	7484790	Residential Appliances, Garbage Disposal, Replace	10	4	6	1	EA	\$304.56	\$305			
E1060	7484791	Residential Appliances, Refrigerator, 14 to 18 CF, Replace	15	5	10	1	EA	\$676.80	\$677			
E1060	7484780	Residential Appliances, Range, Electric, Replace	15	5	10	1	EA	\$699.36	\$699			
E2010	7484793	Casework, Countertop, Plastic Laminate, Replace	15	5	10	260	LF	\$56.40	\$14,664			
E2010	7484794	Casework, Cabinetry Economy, Replace	20	5	15	400	LF	\$197.40	\$78,960			
G4050	7484786	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	13	7	10	EA	\$676.80	\$6,768			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2020	7484812	Window, Steel, 16-25 SF, Replace	30	20	10	75	EA	\$1,917.60	\$143,820			
B2020	7484819	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	20	10	65	EA	\$733.20	\$47,658			
B3010	7485178	Roofing, Modified Bitumen, Replace	20	7	13	8500	SF	\$11.28	\$95,880			
C1070	7484813	Suspended Ceilings, Fiberglass Paneling, Replace	25	10	15	8500	SF	\$16.92	\$143,820			
C2010	7484814	Wall Finishes, any surface, Prep & Paint	10	3	7	16000	SF	\$1.69	\$27,072			
C2030	7484828	Flooring, Vinyl Tile (VCT), Replace	15	5	10	8500	SF	\$5.64	\$47,940			
D2010	7484816	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	8500	SF	\$5.64	\$47,940			
D2010	7484822	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,692.00	\$1,692			
D2010	7484826	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	5	EA	\$1,353.60	\$6,768			
D3030	7484823	Heat Pump, Packaged & Wall-Mounted, Replace	20	2	18	5	EA	\$6,204.00	\$31,020			
D3050	7485180	HVAC System, Ductwork, Low Density, Replace	30	15	15	8500	SF	\$2.26	\$19,176			
D3060	7484820	Exhaust Fan, Roof or Wall-Mounted, 10" Damper, Replace	20	10	10	1	EA	\$1,353.60	\$1,354			
D5030	7484827	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	8500	SF	\$2.82	\$23,970			
D5040	7484825	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	8500	SF	\$5.08	\$43,146			
D7030	7484811	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	8500	SF	\$2.26	\$19,176			
D7050	7484829	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	8500	SF	\$3.38	\$28,764			
E2010	7484810	Casework, Countertop, Plastic Laminate, Replace	15	5	10	200	LF	\$56.40	\$11,280			
E2010	7484824	Casework, Cabinetry Economy, Replace	20	10	10	300	LF	\$197.40	\$59,220			
G4050	7484815	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	13	7	10	EA	\$676.80	\$6,768			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

## Replacement Reserves Report

**6/13/2024**

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2020	7484837	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	20	10	39	EA	\$733.20	\$28,595			
B2020	7484838	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	45	EA	\$1,071.60	\$48,222			
B3010	7484850	Roofing, Modified Bitumen, Replace	20	13	7	5300	SF	\$11.28	\$59,784			
C1070	7484831	Suspended Ceilings, Fiberglass Paneling, Replace	25	10	15	5300	SF	\$16.92	\$89,676			
C1090	7484845	Toilet Partitions, Plastic/Laminate, Replace	20	5	15	6	EA	\$846.00	\$5,076			
C2010	7484840	Wall Finishes, any surface, Prep & Paint	10	3	7	9500	SF	\$1.69	\$16,074			
C2030	7484857	Flooring, Ceramic Tile, Replace	40	25	15	400	SF	\$20.30	\$8,122			
C2030	7484847	Flooring, Vinyl Tile (VCT), Replace	15	5	10	4900	SF	\$5.64	\$27,636			
D2010	7484842	Water Heater, Electric, Residential, Replace	15	5	10	1	EA	\$620.40	\$620			
D2010	7484849	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	5300	SF	\$5.64	\$29,892			
D2010	7484843	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,692.00	\$1,692			
D2010	7484836	Sink/Lavatory, Service Sink, Floor, Replace	35	25	10	1	EA	\$902.40	\$902			
D2010	7484851	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	4	EA	\$1,692.00	\$6,768			
D2010	7484853	Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,466.40	\$5,866			
D2010	7484856	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	3	EA	\$1,353.60	\$4,061			
D3030	7484832	Heat Pump, Packaged & Wall-Mounted, Replace	20	2	18	3	EA	\$6,204.00	\$18,612			
D3050	7485182	HVAC System, Ductwork, Low Density, Replace	30	15	15	5300	SF	\$2.26	\$11,957			
D5030	7484854	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	5300	SF	\$2.82	\$14,946			
D5040	7484833	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	5300	SF	\$5.08	\$26,903			
D7030	7484834	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	5300	SF	\$2.26	\$11,957			
D7050	7484846	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	5300	SF	\$3.38	\$17,935			
E2010	7484848	Casework, Countertop, Plastic Laminate, Replace	15	5	10	180	LF	\$56.40	\$10,152			
E2010	7484839	Casework, Cabinetry Economy, Replace	20	5	15	270	LF	\$197.40	\$53,298			
G4050	7484841	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	5	15	9	EA	\$676.80	\$6,091			
Totals, Unescalated										\$0	\$0	\$0



Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Pennekamp Elementary School / Pennekamp Elementary Bldg G

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B1080	7484859	Stairs, Metal, Exterior, Refinish	10	3	7	200	SF	\$1.69	\$338			
B1080	7484863	Stair/Ramp Rails, Metal, Refinish	10	2	8	18000	LF	\$1.69	\$30,456			
B3010	7484885	Roofing, Single-Ply Membrane, TPO/PVC, Replace	20	3	17	16905	SF	\$19.18	\$324,170			
C1090	7484874	Toilet Partitions, Plastic/Laminate, Replace	20	3	17	1	EA	\$846.00	\$846			
C2010	7484887	Wall Finishes, Wallpaper, Replace	15	3	12	46000	SF	\$2.48	\$114,154			
C2030	7484879	Flooring, Vinyl Tile (VCT), Replace	15	2	13	21740	SF	\$5.64	\$122,614			
D2010	7484893	Water Heater, Electric, Instant Hot, Replace	15	3	12	1	EA	\$564.00	\$564			
D2010	7484864	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	3	12	1	EA	\$1,692.00	\$1,692			
D3030	7484872	Split System, Condensing Unit/Heat Pump, Replace	15	3	12	3	EA	\$3,835.20	\$11,506			
D3030	7484894	Split System, Fan Coil Unit, DX, Replace	15	3	12	1	EA	\$3,384.00	\$3,384			
D3030	7484873	Split System, Fan Coil Unit, DX, Replace	15	2	13	1	EA	\$3,384.00	\$3,384			
D3030	7484865	Heat Pump, Packaged & Wall-Mounted, Replace	20	3	17	11	EA	\$7,106.40	\$78,170			
D3050	7484890	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	3	17	1	EA	\$10,152.00	\$10,152			
D5040	7484869	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	3	17	23740	SF	\$5.08	\$120,504			
D7030	7484876	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	3	12	23740	SF	\$2.26	\$53,557			
D7050	7484878	Fire Alarm Panel, Fully Addressable, Replace	15	3	12	1	EA	\$16,920.00	\$16,920			
D7050	7484870	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	3	17	23740	SF	\$3.38	\$80,336			
E2010	7484881	Casework, Countertop, Plastic Laminate, Replace	15	2	13	10	LF	\$56.40	\$564			
E2010	7484884	Casework, Cabinetry Economy, Replace	20	3	17	7	LF	\$197.40	\$1,382			
G4050	7484862	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	3	17	70	EA	\$676.80	\$47,376			

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Pennekamp Elementary School / Pennekamp Elementary Modular H

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
B1080	7484915	Stair Treads, Pre-Cast Concrete, Replace	30	10	20	200	SF	\$42.86	\$8,573			
B2010	7484907	Exterior Walls, Plywood/OSB, Replace	20	15	5	1300	SF	\$8.46	\$10,998			
B2020	7484901	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	20	10	20	EA	\$733.20	\$14,664			
B2020	7484911	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	20	10	10	EA	\$1,071.60	\$10,716			
B3010	7484909	Roofing, Modified Bitumen, Replace	20	13	7	2000	SF	\$11.28	\$22,560			
C1070	7484900	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	3500	SF	\$3.95	\$13,818			
C2010	7484897	Wall Finishes, Wallpaper, Replace	15	8	7	6500	SF	\$2.48	\$16,130			
C2030	7484916	Flooring, Vinyl Sheeting, Replace	15	5	10	3200	SF	\$7.90	\$25,267			
C2030	7484899	Flooring, Carpet, Commercial Standard, Replace	10	4	6	300	SF	\$8.46	\$2,538			
D2010	7484908	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	3500	SF	\$5.64	\$19,740			
D2010	7484905	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	1	EA	\$1,353.60	\$1,354			
D3050	7484914	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	10	10	1	EA	\$10,152.00	\$10,152			
D3050	7485411	HVAC System, Ductwork, Low Density, Replace	30	15	15	3500	SF	\$2.26	\$7,896			
D5040	7484898	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	3500	SF	\$5.08	\$17,766			
D7030	7484912	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	3500	SF	\$2.26	\$7,896			
D7050	7484902	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	3500	SF	\$3.38	\$11,844			
E2010	7484904	Casework, Cabinetry Economy, Replace	20	10	10	275	LF	\$197.40	\$54,285			
E2010	7484903	Casework, Countertop, Plastic Laminate, Replace	15	5	10	5	LF	\$56.40	\$282			
G4050	7484917	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	10	10	6	EA	\$676.80	\$4,061			

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
Totals, Unescalated									\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)									\$0	\$0	\$0

Pennekamp Elementary School / Pennekamp Elementary Modular I

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B1080	7484931	Stair Treads, Pre-Cast Concrete, Replace	30	10	20	20	SF	\$42.86	\$857		
B2010	7484919	Exterior Walls, any painted surface, Prep & Paint	10	8	2	1300	SF	\$5.08	\$6,599		\$6,599
B2010	7651447	Exterior Walls, Plywood/OSB, Replace	20	10	10	1300	SF	\$8.46	\$10,998		
B2020	7484935	Window, Aluminum Double-Glazed, 28-40 SF, Replace	30	27	3	2	EA	\$2,115.00	\$4,230		
B2050	7484922	Exterior Door, Steel, Standard, Replace	40	37	3	1	EA	\$1,353.60	\$1,354		
B3010	7484928	Roofing, Modified Bitumen, Replace	20	18	2	1000	SF	\$16.92	\$16,920		\$16,920
C1070	7484925	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	1000	SF	\$3.95	\$3,948		
C2010	7484921	Wall Finishes, Wallpaper, Replace	15	13	2	1100	SF	\$3.72	\$4,095		\$4,095
C2030	7484927	Flooring, Vinyl Tile (VCT), Replace	15	13	2	350	SF	\$8.46	\$2,961		\$2,961
C2030	7484933	Flooring, Carpet, Commercial Standard, Replace	10	5	5	650	SF	\$8.46	\$5,499		
D2010	7484934	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	1000	SF	\$5.64	\$5,640		
D2010	7484929	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	1	EA	\$1,353.60	\$1,354		
D3030	7484924	Heat Pump, Packaged & Wall-Mounted, Replace	20	17	3	1	EA	\$9,306.00	\$9,306		
D5030	7484918	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	1000	SF	\$2.82	\$2,820		
D5040	7484932	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	18	2	1000	SF	\$7.61	\$7,614		\$7,614
D7050	7484920	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	1000	SF	\$3.38	\$3,384		
E2010	7484923	Casework, Countertop, Plastic Laminate, Replace	15	13	2	16	LF	\$84.60	\$1,354		\$1,354
E2010	7484936	Casework, Cabinetry Economy, Replace	20	18	2	16	LF	\$296.10	\$4,738		\$4,738
G4050	7484926	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	17	3	1	EA	\$1,015.20	\$1,015		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
Totals, Unescalated									\$0	\$0	\$44,280
Totals, Escalated (3.0% inflation, compounded annually)									\$0	\$0	\$46,976

Pennekamp Elementary School / Pennekamp Elementary Modular J

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B1080	7484938	Stair/Ramp Rails, Metal, Refinish	10	5	5	300	LF	\$1.69	\$508		
B2010	7484952	Exterior Walls, any painted surface, Prep & Paint	10	7	3	1300	SF	\$5.08	\$6,599		
B2010	7651449	Exterior Walls, Plywood/OSB, Replace	20	10	10	1300	SF	\$8.46	\$10,998		
B2020	7484956	Window, Aluminum Double-Glazed, 28-40 SF, Replace	30	26	4	2	EA	\$2,115.00	\$4,230		
B3010	7484954	Roofing, Modified Bitumen, Replace	20	18	2	1000	SF	\$16.92	\$16,920		\$16,920
C1070	7484946	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	1000	SF	\$3.95	\$3,948		
C2010	7484949	Wall Finishes, Wallpaper, Replace	15	5	10	1100	SF	\$2.48	\$2,730		
C2030	7484941	Flooring, Vinyl Tile (VCT), Replace	15	12	3	350	SF	\$8.46	\$2,961		
C2030	7484957	Flooring, Carpet, Commercial Standard, Replace	10	8	2	650	SF	\$12.69	\$8,249		\$8,249
D2010	7484948	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	20	20	1000	SF	\$5.64	\$5,640		
D2010	7484953	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	1	EA	\$1,353.60	\$1,354		
D3030	7484939	Heat Pump, Packaged & Wall-Mounted, Replace	20	18	2	1	EA	\$9,306.00	\$9,306		\$9,306
D5030	7484940	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	1000	SF	\$2.82	\$2,820		
D5040	7484950	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	18	2	1000	SF	\$7.61	\$7,614		\$7,614
D7030	7484947	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	1000	SF	\$2.26	\$2,256		
D7050	7484943	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	1000	SF	\$3.38	\$3,384		
E2010	7484945	Casework, Countertop, Plastic Laminate, Replace	15	12	3	32	LF	\$84.60	\$2,707		
E2010	7484944	Casework, Cabinetry Economy, Replace	20	15	5	16	LF	\$296.10	\$4,738		
G4050	7484951	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	17	3	1	EA	\$1,015.20	\$1,015		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
Totals, Unescalated									\$0	\$0	\$42,089
Totals, Escalated (3.0% inflation, compounded annually)									\$0	\$0	\$44,652

Pennekamp Elementary School / Pennekamp Elementary Modular K

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B1010	7484972	Exterior Ramp, Stainless Steel, up to 16', Replace	20	10	10	1	EA	\$5,640.00	\$5,640		
B1080	7484971	Stair/Ramp Rails, Metal, Refinish	10	5	5	25	LF	\$1.69	\$42		
B2010	7484963	Exterior Walls, any painted surface, Prep & Paint	10	7	3	1300	SF	\$5.08	\$6,599		
B2010	7651450	Exterior Walls, Plywood/OSB, Replace	20	10	10	1300	SF	\$8.46	\$10,998		
B2020	7484976	Window, Aluminum Double-Glazed, 28-40 SF, Replace	30	26	4	2	EA	\$2,115.00	\$4,230		
B2050	7484968	Exterior Door, Steel, Standard, Replace	40	36	4	1	EA	\$1,015.20	\$1,015		
B3010	7484965	Roofing, Modified Bitumen, Replace	20	18	2	1000	SF	\$16.92	\$16,920		\$16,920
C1070	7484977	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	1000	SF	\$3.95	\$3,948		
C2010	7484978	Wall Finishes, Wallpaper, Replace	15	8	7	1100	SF	\$2.48	\$2,730		
C2030	7484959	Flooring, Vinyl Tile (VCT), Replace	15	11	4	350	SF	\$8.46	\$2,961		
C2030	7484958	Flooring, Carpet, Commercial Standard, Replace	10	6	4	650	SF	\$12.69	\$8,249		
D2010	7484975	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures), Replace	40	20	20	1000	SF	\$12.41	\$12,408		
D2010	7484970	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	1	EA	\$1,353.60	\$1,354		
D3030	7484962	Heat Pump, Packaged & Wall-Mounted, Replace	20	10	10	1	EA	\$6,204.00	\$6,204		
D5030	7484966	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	1000	SF	\$2.82	\$2,820		
D5040	7484967	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	16	4	1000	SF	\$7.61	\$7,614		
D7030	7484969	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	5	10	1000	SF	\$2.26	\$2,256		
D7050	7484960	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	1000	SF	\$3.38	\$3,384		
E2010	7484973	Casework, Cabinetry Economy, Replace	20	17	3	32	LF	\$296.10	\$9,475		

Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
E2010	7484964	Casework, Countertop, Plastic Laminate, Replace	15	12	3	16	LF	\$84.60	\$1,354			
G4050	7484961	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	10	10	3	EA	\$676.80	\$2,030			
Totals, Unescalated										\$0	\$0	\$16,920
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$17,950

Pennekamp Elementary School / Site

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B1080	7484685	Stair/Ramp Rails, Metal, Refinish	10	3	7	3000	LF	\$1.69	\$5,076			
G2020	7484684	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	2	3	36000	SF	\$0.51	\$18,274			\$18,274
G2020	7484678	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	5	20	36000	SF	\$3.95	\$142,128			
G2050	7484687	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Seal & Stripe	5	3	2	32000	SF	\$0.51	\$16,243			\$16,243
G2050	7484681	Sports Apparatus, Baseball, Backstop Chain-Link, Replace	20	15	5	2	EA	\$5,640.00	\$11,280			
G2050	7484673	Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	15	10	8	EA	\$10,716.00	\$85,728			
G2050	7484675	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	13	12	32000	SF	\$3.95	\$126,336			
G2050	7484670	Playfield Surfaces, Chips Rubber, 6" Depth, Replace	15	11	4	4000	SF	\$7.90	\$31,584			
G2050	7484689	Play Structure, Multipurpose, Very Small, Replace	20	10	10	9	EA	\$6,768.00	\$60,912			
G2050	7484677	Play Structure, Swing Set, 4 Seats, Replace	20	10	10	1	EA	\$2,820.00	\$2,820			
G2060	7484676	Fences & Gates, Pedestrian Gate, Wrought Iron, Refinish	10	2	8	3600	EA	\$33.84	\$121,824			
G2060	7484682	Picnic Table, Metal Powder-Coated, Replace	20	5	15	59	EA	\$789.60	\$46,586			
G2060	7484686	Park Bench, Metal Powder-Coated, Replace	20	5	15	17	EA	\$789.60	\$13,423			
G2060	7484674	Park Bench, Precast Concrete, Replace	25	5	20	12	EA	\$1,128.00	\$13,536			
G2060	7484679	Flagpole, Metal, Replace	30	10	20	1	EA	\$2,820.00	\$2,820			
G4050	7484683	Site Walkway Fixture w/ Lamp, Bollard Style, Replace/Install	20	5	15	22	EA	\$1,015.20	\$22,334			
G4050	7484671	Parking/Roadway Lighting, Pole-Mounted, any type w/ LED, Replace	20	5	15	9	EA	\$1,353.60	\$12,182			



Replacement Reserves Report

6/13/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost * Subtotal	2024	2025	2026	
Totals, Unescalated									\$0	\$0	\$16,243	\$18,126
Totals, Escalated (3.0% inflation, compounded annually)									\$0	\$0	\$17,232	\$19,548