

FACILITY CONDITION ASSESSMENT



**BUREAU
VERITAS**

prepared for

Manhattan Beach USD
325 South Peck Avenue
Manhattan Beach, CA 90266



Grand View Elementary School
455 24th Street
Manhattan Beach, CA 90266

PREPARED BY:

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BV PROJECT #:

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ON SITE DATE:

March 20, 2024

Bureau Veritas

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1. Executive Summary

Campus Overview and Assessment Details

General Information	
Property Type	Elementary School
Number of Buildings	14
Main Address	455 24th Street, Manhattan Beach, CA 90266
Site Developed	1937 Renovated 2023
Outside Occupants / Leased Spaces	None
Date(s) of Visit	March 20, 2024
Management Point of Contact	DLR Group, Mr. Kevin Fleming (951) 682-0470 phone kfleming@dlrgroup.com email
On-site Point of Contact (POC)	Paul Ruta
Assessment & Report Prepared By	Arezou Masoumi
Reviewed By	Gregg Young Program Manager 800.733.0660 Gregg.Young@bureauveritas.com
AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/

Campus Findings and Deficiencies

Historical Summary

Grand View Elementary School consists of fourteen buildings, including three old modular classroom buildings, nine structures constructed in 1937, and two recently built buildings completed in 2023.

Architectural

In the short term, modular buildings M and L require replacement due to being outdated. The overall condition of the remaining buildings is satisfactory, with no significant issues affecting their exterior facade or structural integrity, indicating stability. Additionally, interior finishes, such as walls and flooring, are in fair condition and well-maintained.

Mechanical, Electrical, Plumbing and Fire (MEPF)

With the exception of the new buildings, the majority of the MEPF (Mechanical, Electrical, Plumbing, and Fire Protection) systems and components on campus have surpassed their expected lifespans. Some wall-mounted heat pumps were upgraded six years ago. However, certain HVAC and plumbing components, such as air handlers with condensing units, have exceeded their anticipated lifecycles. All buildings are protected with fire alarms, and only two new buildings have fire sprinklers installed. The main electrical power is managed through the switchboard. Despite these factors, the overall MEPF infrastructure is in fair working condition.

Site

Overall, site maintenance and landscaping are satisfactory, with sufficient LED lighting fixtures. However, significant issues are evident in the asphalt pavement of the sport field between buildings A, B, and C, including alligator cracking, transverse cracking, extensive raveling, and localized depressions. To comprehensively address these concerns, it is recommended to undertake a complete milling and overlay of the entire affected area to ensure effective restoration.

Recommended Additional Studies

No additional studies recommended at this time.

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate the Facility Condition Index (FCI), which provides a theoretical objective indication of a facility's overall condition. The FCI is defined as the ratio of the cost of current needs divided by the current replacement value (CRV) of the facility. In this report, each building is considered as a separate facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description

0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone mathematical values. The table below presents the current, 3-year, 5-year, and 10-year FCI's for each facility:

Facility (year built)	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Grand View Elementary School / Building A (1938)	\$650	4,223	\$2,744,950	0.0%	0.0%	1.8%	15.7%
Grand View Elementary School / Building B (1938)	\$650	7,437	\$4,834,050	0.0%	0.7%	3.8%	11.2%
Grand View Elementary School / Building C (1938)	\$650	4,177	\$2,715,050	1.0%	1.0%	8.6%	15.6%
Grand View Elementary School / Building D (1957)	\$650	1,723	\$1,119,950	0.0%	0.4%	10.2%	16.4%
Grand View Elementary School / Building E (1957)	\$800	5,711	\$4,568,800	0.0%	0.0%	4.2%	9.2%
Grand View Elementary School / Building F (1937)	\$475	4,455	\$2,116,125	0.0%	12.6%	19.1%	23.7%
Grand View Elementary School / Building G (1937)	\$800	6,525	\$5,220,000	0.0%	0.6%	3.4%	6.1%
Grand View Elementary School / Building H (1937)	\$800	5,590	\$4,472,000	0.0%	0.0%	2.0%	8.9%
Grand View Elementary School / Building I (2021)	\$650	16,905	\$10,988,250	0.0%	0.0%	0.0%	3.0%
Grand View Elementary School / Building J (2023)	\$650	16,917	\$10,996,050	0.0%	0.0%	0.0%	1.4%
Grand View Elementary School / Building K (1957)	\$650	4,315	\$2,804,750	0.0%	0.0%	0.0%	5.7%
Grand View Elementary School / Building L (1937)	\$475	4,178	\$1,984,550	0.1%	12.9%	22.2%	22.8%
Grand View Elementary School / Building M (1937)	\$475	3,407	\$1,618,325	0.3%	5.3%	19.4%	19.9%
Grand View Elementary School / Building TK (1937)	\$650	2,924	\$1,900,600	0.0%	0.0%	0.0%	8.2%

Immediate Needs

Facility/Building	Total Items	Total Cost
Grand View Elementary School / Building C	1	\$28,200
Grand View Elementary School / Building L	2	\$2,800
Grand View Elementary School / Building M	3	\$4,500
Grand View Elementary School / Site	3	\$60,600
Total	9	\$96,100

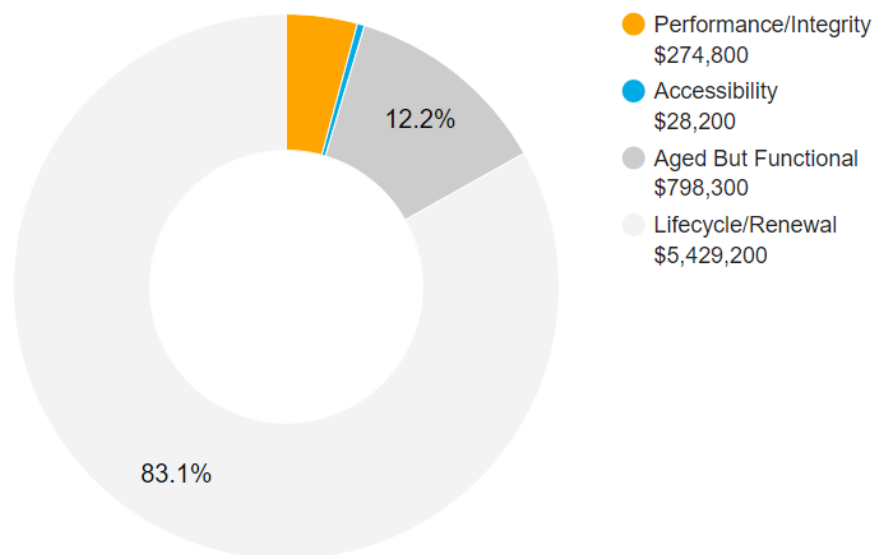
Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

Plan Type Descriptions

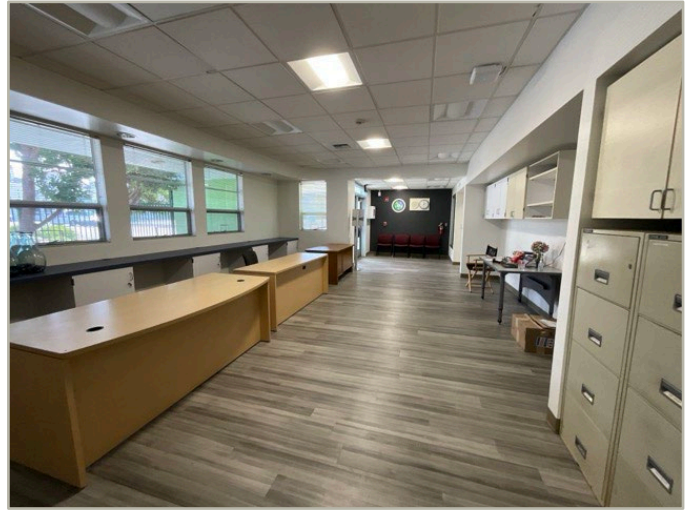
Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Aged But Functional	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
Lifecycle/Renewal	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.

Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$6,530,500

2. Building A



Building A: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1938 Renovated 2018	
Building Area	4,223 SF	
Number of Stories	1 above grade with 2018 below-grade basement levels	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted, ceramic tile and Unfinished Floors: LVT, VCT, ceramic tile, and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: Gas water heaters with integral tanks Fixtures: Toilets and sinks in restrooms	Fair

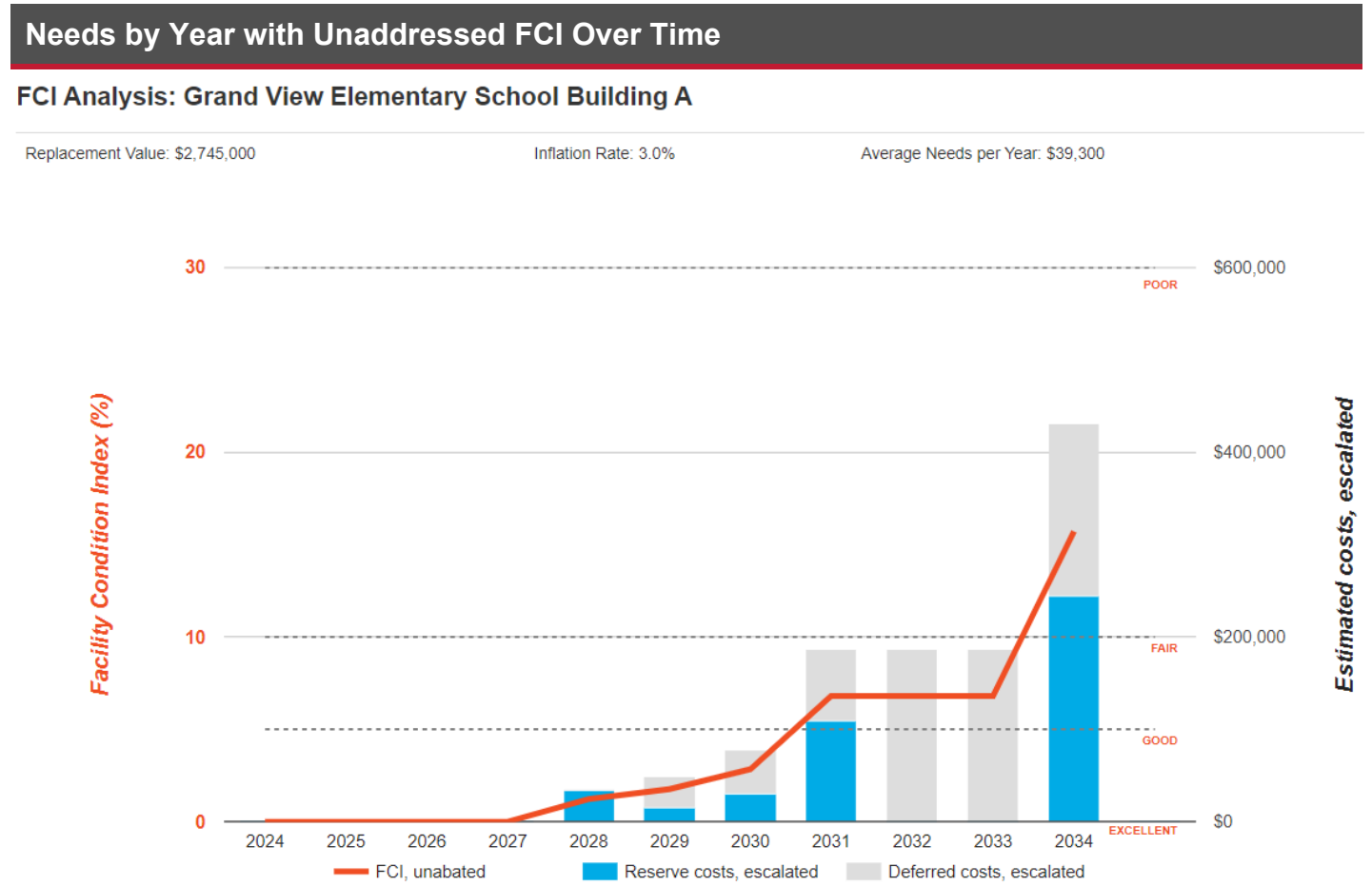
Building A: Building Systems Summary		
HVAC	Air Handlers (Fan Coil DX) with split-system condensing units, Computer room AC (CRAC) units.	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	\$7,400	\$36,900	\$10,000	\$54,300
Roofing	-	-	-	\$67,400	-	\$67,400
Interiors	-	-	\$14,600	\$69,700	\$75,200	\$159,500
Plumbing	-	-	\$14,600	\$38,000	\$4,200	\$56,800
HVAC	-	-	\$11,700	\$21,000	\$33,000	\$65,700
Electrical	-	-	-	\$45,400	\$21,500	\$66,900
Fire Alarm & Electronic Systems	-	-	-	\$40,500	-	\$40,500
Equipment & Furnishings	-	-	-	\$48,900	-	\$48,900
Site Utilities	-	-	-	\$15,200	-	\$15,200
TOTALS (3% inflation)	-	-	\$48,300	\$382,900	\$144,000	\$575,200

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building A: Photographic Overview



1 – FRONT ELEVATION



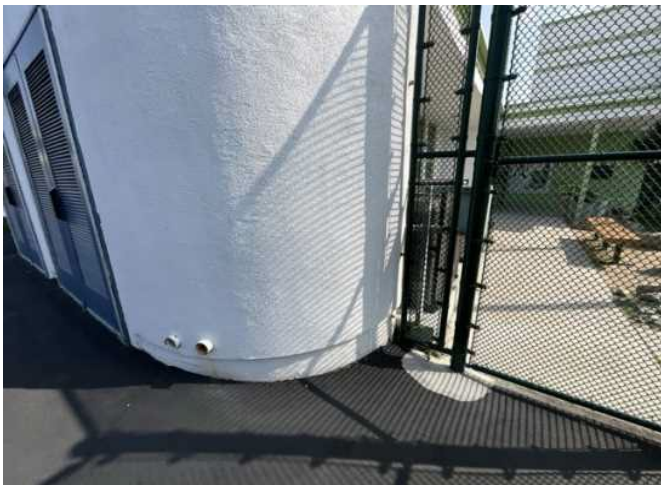
2 – RIGHT ELEVATION



3 – REAR ELEVATION



4 – LEFT ELEVATION



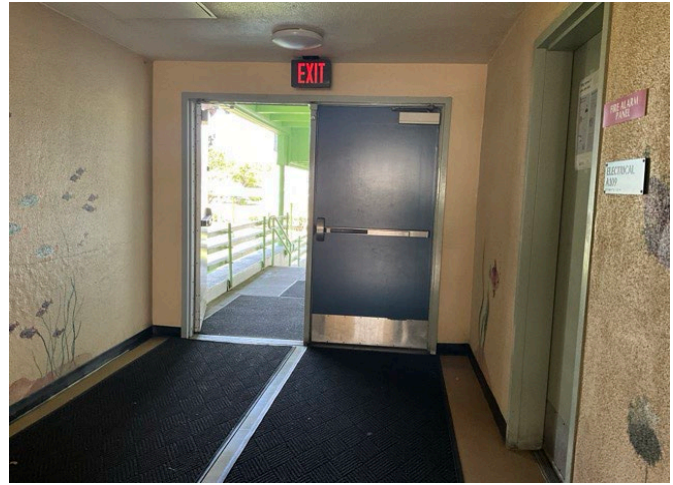
5 – EXTERIOR WALLS



6 – EXTERIOR DOORS



7 – EXTERIOR WINDOWS



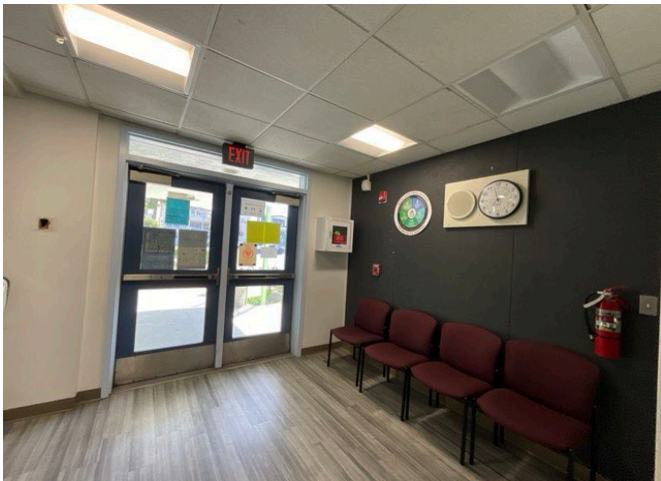
8 – EXTERIOR DOOR



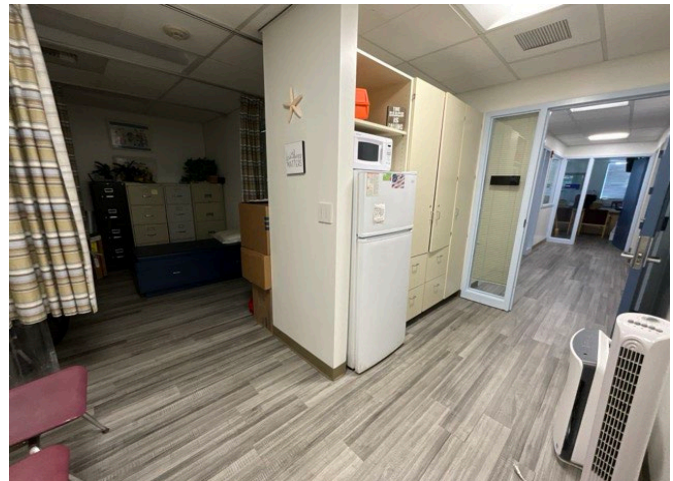
9 – INTERIOR WINDOW



10 – SUSPENDED CEILINGS



11 – WALL FINISHES



12 – FLOORING



13 – WATER HEATER



14 – AIR HANDLER



15 – SPLIT SYSTEM



16 – COMPUTER ROOM AC UNIT



17 – FIRE ALARM SYSTEM



18 – SITE PHOTO

3. Building B



Building B: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1938 Renovated 2018	
Building Area	7,437 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted and Unfinished Floors: VCT, LVT, Carpet and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: None	Fair
HVAC	Air Handlers with split-system condensing units, Computer room AC (CRAC) units.	Fair

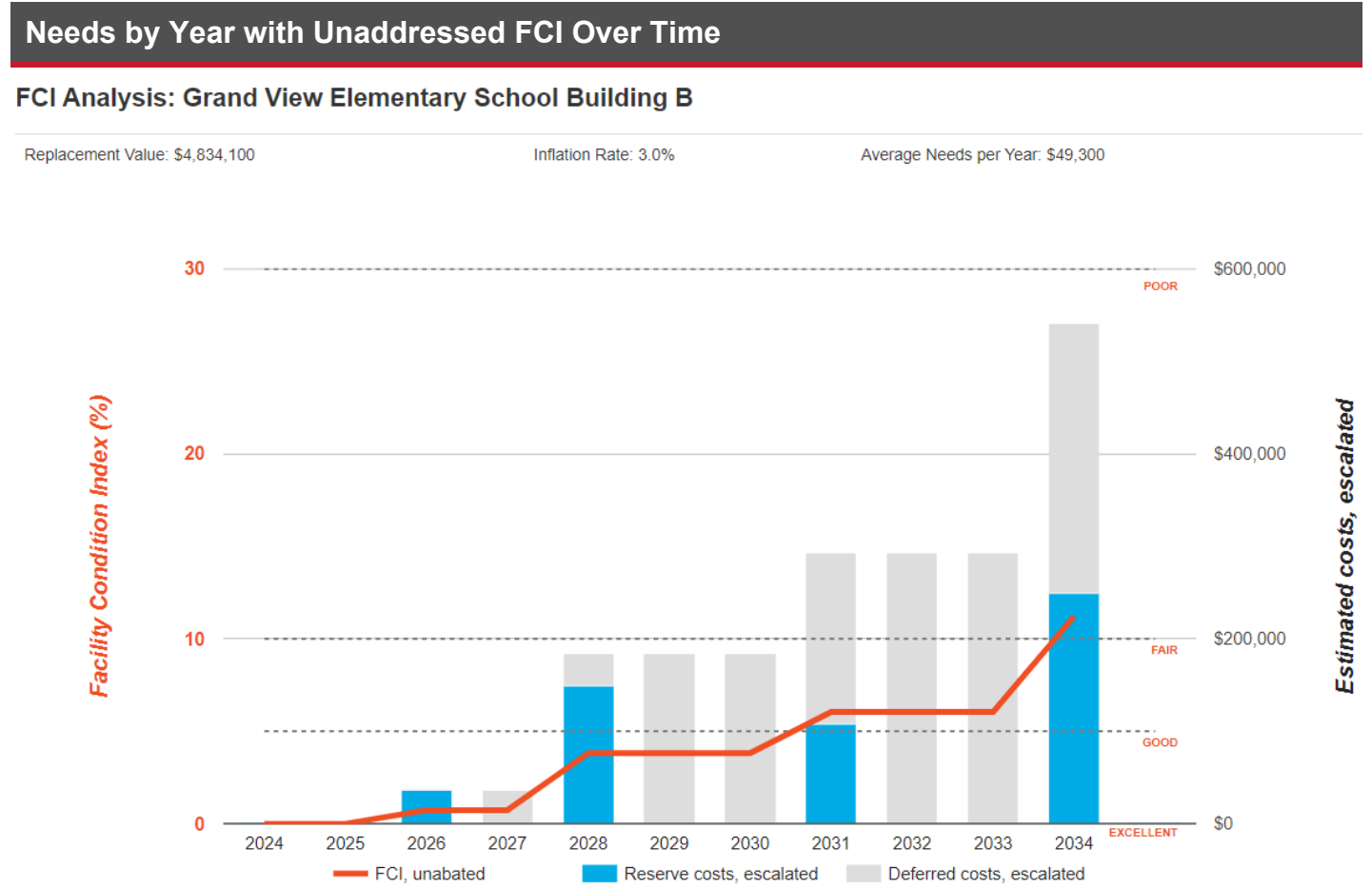
Building B: Building Systems Summary		
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	\$11,400	\$4,500	\$112,000	\$128,000
Roofing	-	-	-	\$118,200	-	\$118,200
Interiors	-	-	\$66,900	\$68,300	\$92,200	\$227,400
Plumbing	-	-	-	\$13,400	\$8,100	\$21,400
HVAC	-	\$3,500	\$24,900	-	\$43,400	\$71,800
Electrical	-	\$32,300	-	\$79,900	\$37,900	\$150,100
Fire Alarm & Electronic Systems	-	-	-	\$54,500	-	\$54,500
Equipment & Furnishings	-	-	\$45,700	-	\$15,300	\$61,000
Site Utilities	-	-	-	\$18,200	-	\$18,200
TOTALS (3% inflation)	-	\$35,800	\$149,000	\$356,900	\$308,900	\$850,600

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building B: Photographic Overview



1 – EXTERIOR WALLS



2 – EXTERIOR DOOR



3 – ROOF PHOTO



4 – SUSPENDED CEILINGS



5 – INTERIOR FLOORS



6 – WALL FINISHES



7 – FLOORING



8 – CASEWORK



9 – SPLIT SYSTEM



10 – DISTRIBUTION PANEL



11 – EXTERIOR SITE LIGHTING



12 – OUTDOOR SEATING

4. Building C



Building C: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1938 Renovated 2000	
Building Area	4,177 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted, ceramic tile and Unfinished Floors: VCT, ceramic tile, and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: none Fixtures: Toilet and sink in restroom	Fair

Building C: Building Systems Summary		
HVAC	Roof Top Unit, Air Handler with split-system condensing units	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

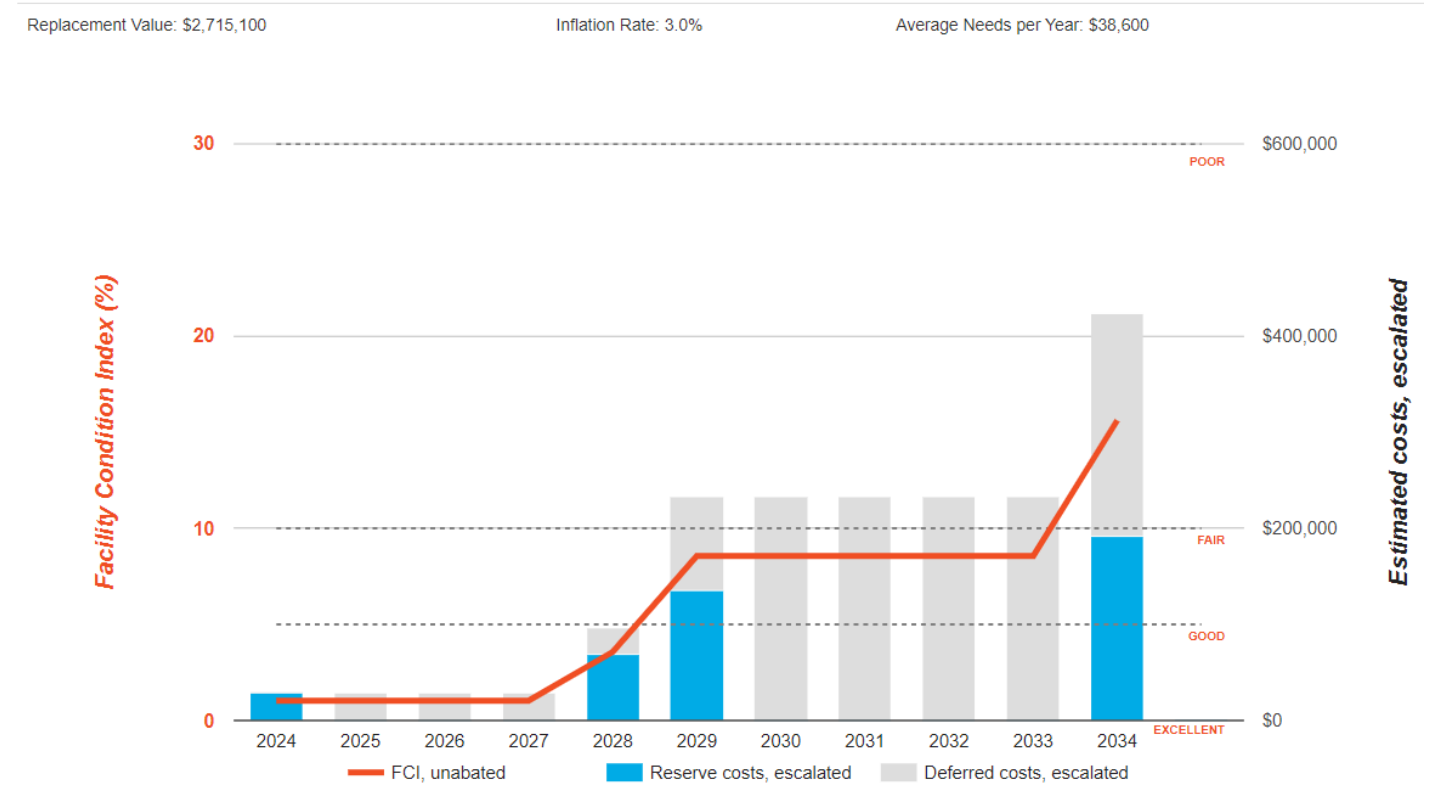
System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	\$51,700	\$4,500	\$15,400	\$71,600
Roofing	-	-	-	\$66,000	-	\$66,000
Interiors	-	-	\$32,700	\$35,900	\$48,400	\$117,000
Plumbing	-	-	\$12,000	\$31,700	-	\$43,700
HVAC	-	-	\$56,400	-	\$19,400	\$75,800
Electrical	-	-	\$29,800	\$19,600	\$46,400	\$95,700
Fire Alarm & Electronic Systems	-	-	\$16,400	\$28,500	\$25,500	\$70,400
Equipment & Furnishings	-	-	\$5,200	\$5,300	\$8,100	\$18,700
Accessibility	\$28,200	-	-	-	-	\$28,200
TOTALS (3% inflation)	\$28,200	-	\$204,200	\$191,500	\$163,200	\$587,100

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Grand View Elementary School Building C



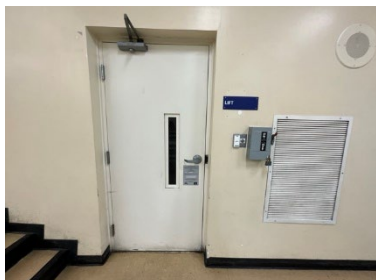
Immediate Needs

Facility/Building	Total Items	Total Cost
Grand View Elementary School / Building C	1	\$28,200
Total	1	\$28,200

Building C

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
7472642	Grand View Elementary School / Building C	Throughout Building	Y1040	ADA Elevators, Wheelchair Lift, Up to One Floor, Install	NA	Accessibility	\$28,200
Total (1 items)							\$28,200

Key Findings



ADA Elevators

Wheelchair Lift, Up to One Floor
Building C
Throughout Building

Uniformat Code: Y1040
Recommendation: **Install in 2024**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$28,200

AssetCALC ID: 7472642

Building C: Photographic Overview



1 – FRONT ELEVATION



2 – REAR ELEVATION



3 – RIGHT ELEVATION



4 – EXTERIOR WALLS



5 – GLAZING



6 – ROOFING



7 – SPLIT SYSTEM



8 – ELECTRICAL SYSTEM



9 – FIRE ALARM SYSTEM



10 – THEATER AND STAGE EQUIPMENT



11 – CASEWORK



12 – SITE PHOTO

5. Building D



Building D: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1957 Renovated 2000	
Building Area	1,723 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted, ceramic tile and Unfinished Floors: VCT, ceramic tile, and unfinished concrete Ceilings: Painted, ACT and Unfinished / exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: none Fixtures: Toilet and sink in restroom	Fair

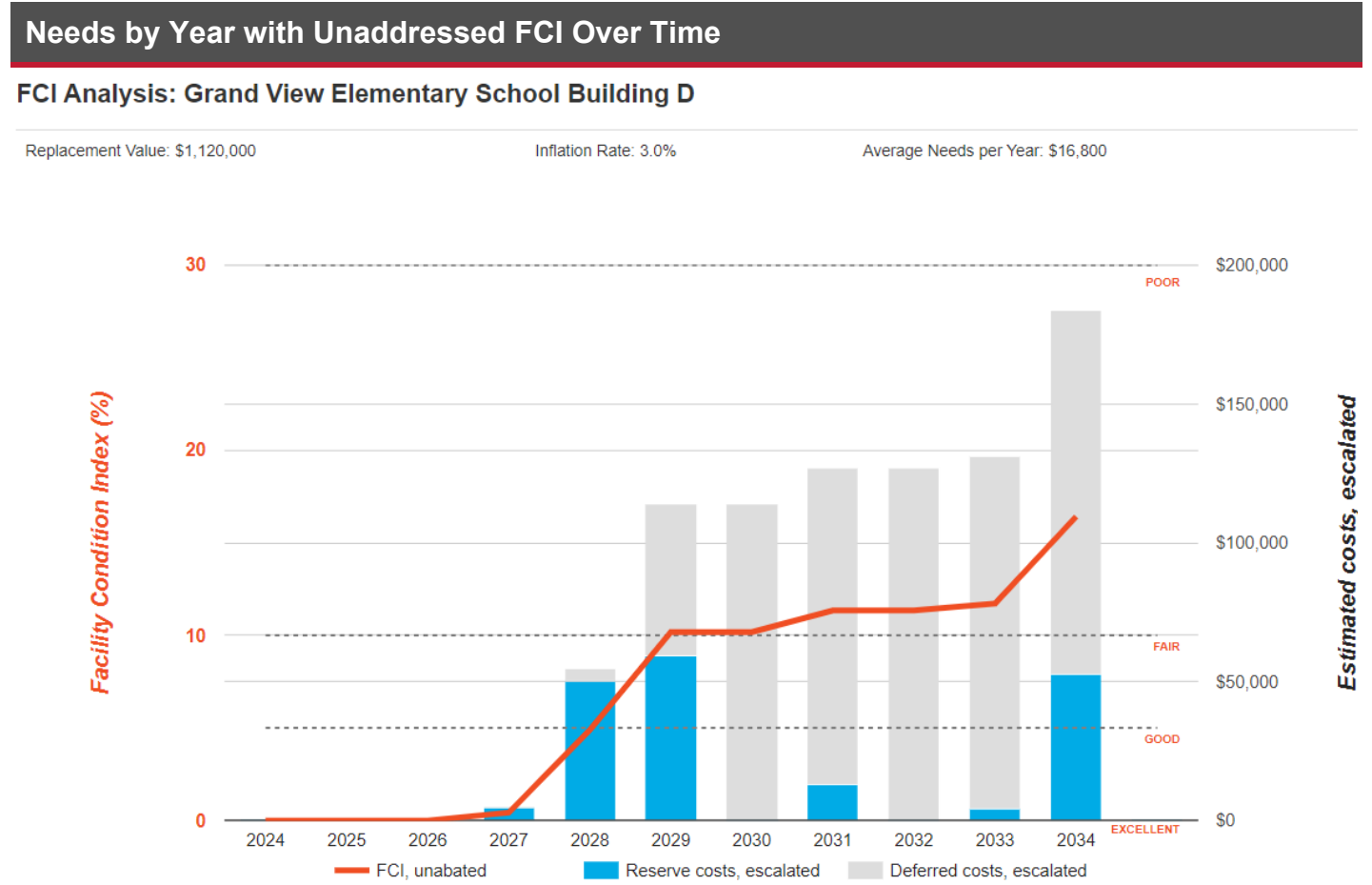
Building D: Building Systems Summary		
HVAC	Air Handler with split-system condensing units and air conditioner thru wall.	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	\$41,700	\$2,700	\$7,700	\$52,100
Roofing	-	-	-	\$26,100	-	\$26,100
Interiors	-	-	\$26,500	\$4,200	\$26,000	\$56,700
Plumbing	-	-	\$10,300	-	-	\$10,300
HVAC	-	-	\$21,300	-	\$19,400	\$40,700
Electrical	-	-	\$11,900	\$25,000	\$18,600	\$55,500
Fire Alarm & Electronic Systems	-	-	-	\$11,800	-	\$11,800
Equipment & Furnishings	-	-	\$2,200	-	-	\$2,200
TOTALS (3% inflation)	-	-	\$114,000	\$69,900	\$71,600	\$255,500

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building D: Photographic Overview



1 – RIGHT ELEVATION



2 – REAR ELEVATION



3 – EXTERIOR WALLS



4 – ROOFING



5 – CEILING FINISHES



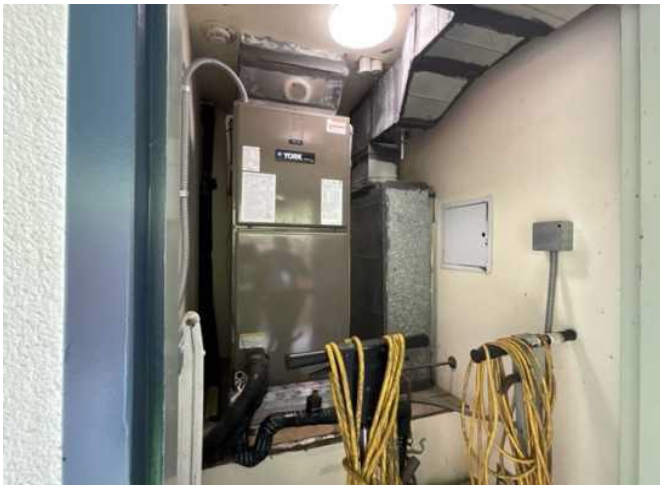
6 – WALL FINISHES



7 – FLOORING



8 – FLOORING



9 – SPLIT SYSTEM



10 – SPLIT SYSTEM



11 – INTERNET TECHNOLOGY



12 – SITE PHOTO

6. Building E



Building E: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1957 Renovated 2000	
Building Area	5,711 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted and Unfinished Floors: VCT, LVT, Carpet and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: Gas water Heater Fixtures: Toilets, urinals, and sinks in restrooms	Fair

Building E: Building Systems Summary		
HVAC	Air Handlers (Fan coil DX) with split-system condensing units, Computer room AC (CRAC) units.	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

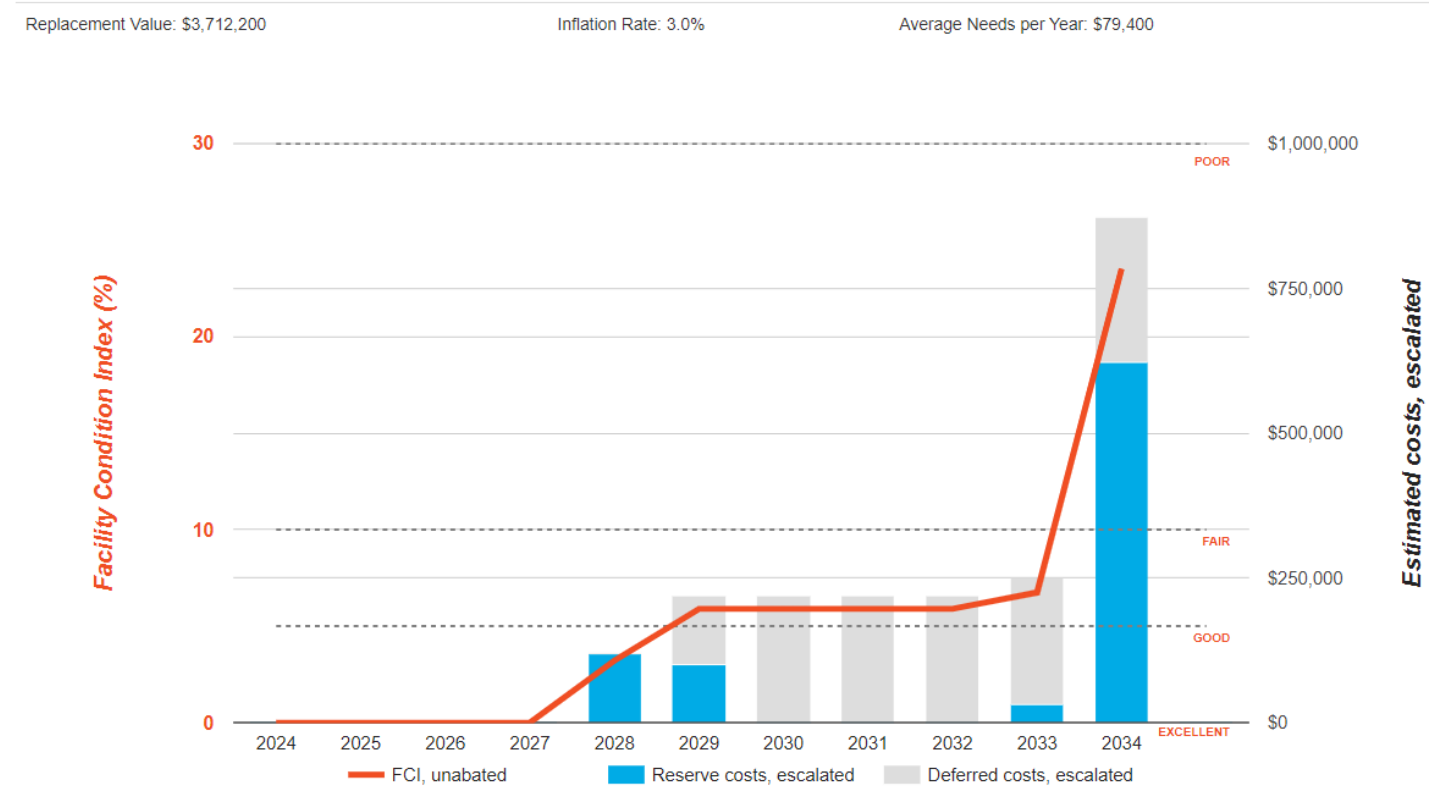
System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	\$12,700	\$257,600	\$270,400
Roofing	-	-	-	\$5,500	\$89,200	\$94,600
Interiors	-	-	\$87,100	\$88,100	\$83,300	\$258,500
Plumbing	-	-	\$3,800	\$18,900	\$67,000	\$89,700
HVAC	-	-	\$35,800	\$17,300	\$91,100	\$144,200
Electrical	-	-	\$40,700	\$39,800	\$63,400	\$143,900
Fire Alarm & Electronic Systems	-	-	\$22,400	\$39,000	\$34,900	\$96,300
Equipment & Furnishings	-	-	-	-	\$46,800	\$46,800
Site Utilities	-	-	-	\$7,300	-	\$7,300
TOTALS (3% inflation)	-	-	\$189,800	\$228,500	\$733,400	\$1,151,700

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Grand View Elementary School Building E



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building E: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – RIGHT ELEVATION



4 – ROOFING



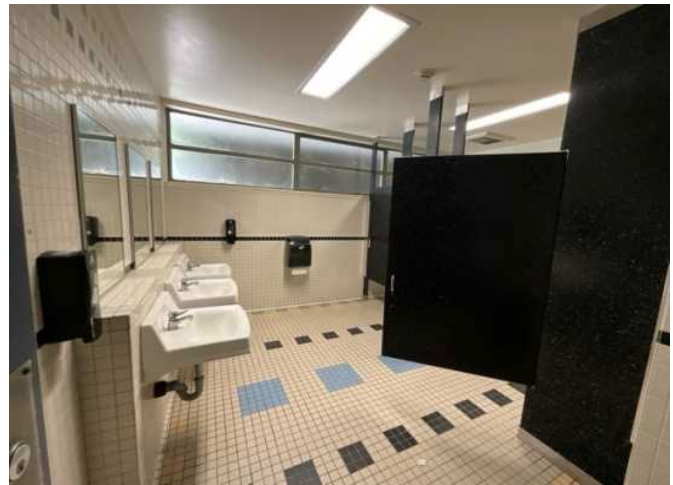
5 – CLASSROOM



6 – SUSPENDED CEILINGS



7 – WALL FINISHES



8 – FLOORING



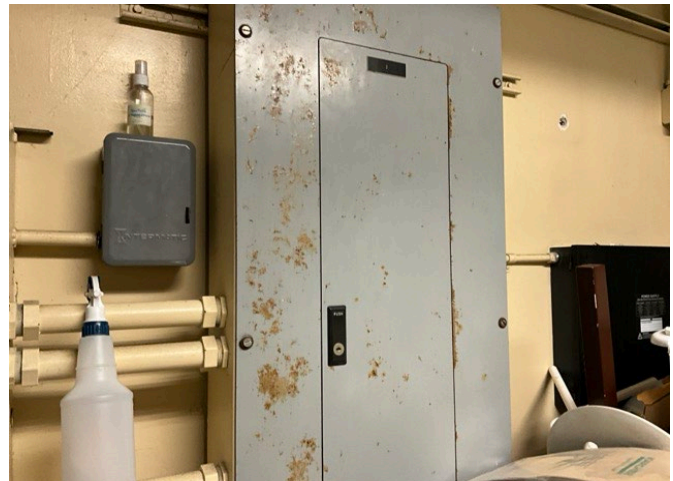
9 – FLOORING



10 – WATER HEATER



11 – CONDENSING UNITS



12 – ELECTRICAL PHOTO

7. Building F (Modular)



Building F: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937	
Building Area	4,455 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Plywood Windows: Aluminum	Fair
Roof	Shed construction with asphalt shingles metal finish.	Fair
Interiors	Walls: ACT Floors: Carpet Ceilings: ACT	Fair
Elevators	None	-
Plumbing	Distribution: Copper and cast iron, Hot Water: None	Fair
HVAC	Wall Mounted Heat pumps	Fair

Building F: Building Systems Summary		
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main panel with copper Interior Lighting: LED	Fair
Fire Alarm	Smoke detectors with exit signs	Fair
Equipment/Special	None	-
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility.	
Key Spaces Not Observed	The inaccessibility of the roof prevented observation during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	\$262,900	-	\$262,900
Roofing	-	-	-	\$92,000	-	\$92,000
Interiors	-	-	\$87,100	\$88,100	\$83,300	\$258,500
Plumbing	-	-	\$3,800	\$62,200	\$22,400	\$88,400
HVAC	-	-	\$65,000	\$17,300	\$100,700	\$183,000
Electrical	-	-	\$40,700	\$39,800	\$63,400	\$143,900
Fire Alarm & Electronic Systems	-	-	\$22,400	\$39,000	\$34,900	\$96,300
Equipment & Furnishings	-	-	-	\$45,500	-	\$45,500
Site Utilities	-	-	-	\$7,300	-	\$7,300
TOTALS (3% inflation)	-	-	\$219,000	\$654,000	\$304,700	\$1,177,700

*Totals have been rounded to the nearest \$100.

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Immediate Needs

No immediate needs at this time.

Key Findings

No key findings at this time

Building F: Photographic Overview



1 – LEFT ELEVATION



2 – REAR ELEVATION



3 – RIGHT ELEVATION



4 – EXTERIOR WINDOWS



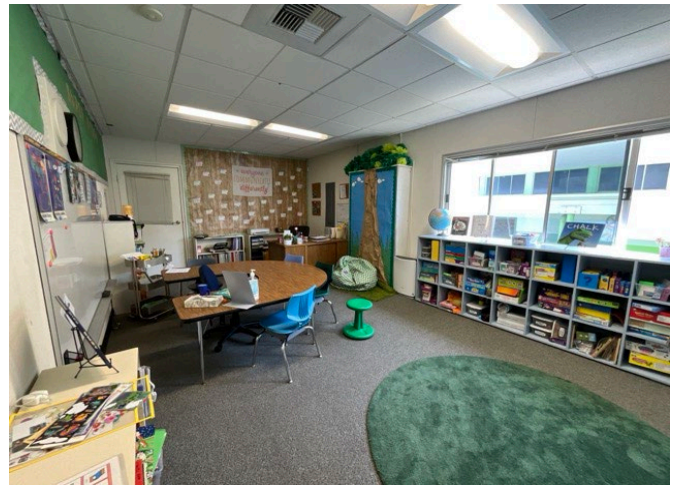
5 – EXTERIOR WINDOWS



6 – WALL MOUNTED HEAT PUMP



7 – EXTERIOR DOOR



8 – INTERIOR PHOTO



9 – INTERIOR DOOR



10 – WALL FINISHES



11 – FLOORING



12 – SITE OVERVIEW

8. Building G



Building G: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937 Renovated 2000	
Building Area	6,525 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Steel	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted, ceramic tile and Unfinished Floors: VCT, ceramic tile, and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: Gas Water Heater Fixtures: Toilet, Urinal and sink in restroom	Fair

Building G: Building Systems Summary		
HVAC	Wall mounted heat pump	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment / Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The roofs were inaccessible and therefore not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

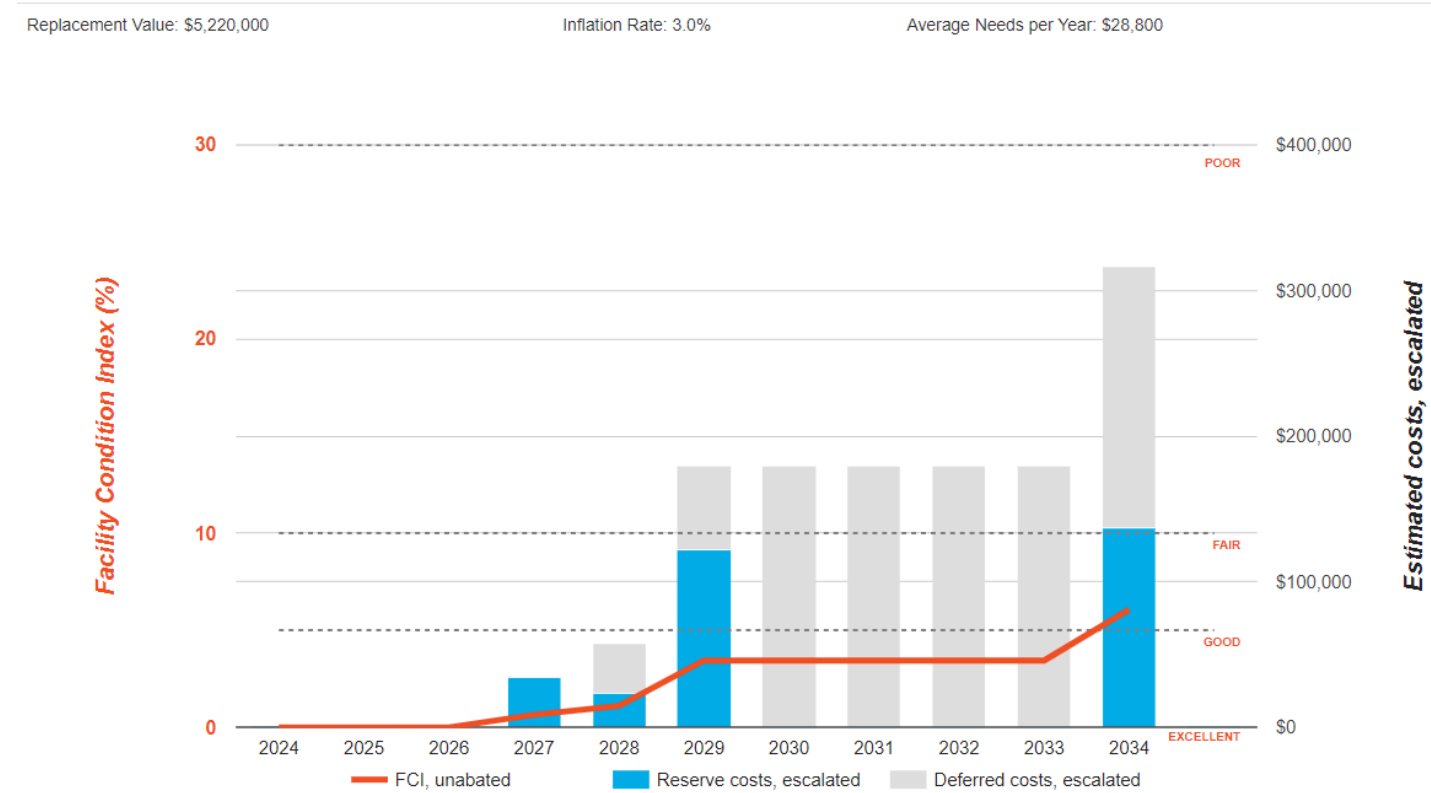
System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	\$10,900	\$171,800	\$182,700
Roofing	-	-	-	\$2,700	\$101,900	\$104,600
Interiors	-	-	\$44,400	\$33,700	\$133,200	\$211,300
Plumbing	-	-	\$14,200	\$21,300	\$8,800	\$44,300
HVAC	-	-	\$51,000	-	-	\$51,000
Electrical	-	-	\$46,500	-	\$72,400	\$118,900
Fire Alarm & Electronic Systems	-	-	\$17,100	\$29,700	\$26,600	\$73,300
Equipment & Furnishings	-	-	\$6,500	\$26,500	\$10,200	\$43,300
Site Utilities	-	-	-	\$12,100	-	\$12,100
TOTALS (3% inflation)	-	-	\$179,700	\$136,900	\$524,900	\$841,500

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Grand View Elementary School Building G



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building G: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



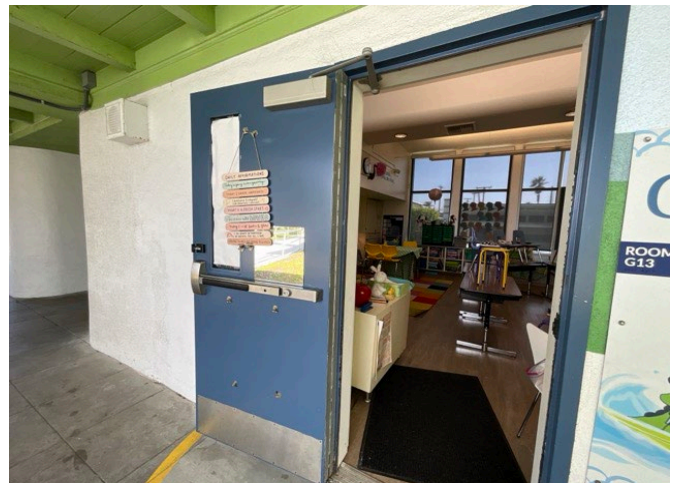
3 – REAR ELEVATION



4 – EXTERIOR WINDOWS



5 – EXTERIOR WINDOWS



6 – EXTERIOR DOOR



7 – WALL FINISHES



8 – FLOORING



9 – CEILING FINISHES



10 – WATER HEATER



11 – HEAT PUMP



12 – SECURITY / SURVEILLANCE SYSTEM

9. Building H



Building H: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937 Renovated 2000	
Building Area	5,590 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted, ceramic tile and Unfinished Floors: VCT, ceramic tile, and unfinished concrete Ceilings: Painted, ACT and Unfinished/exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: None Fixtures: Toilet, Urinal and sink in restroom	Fair

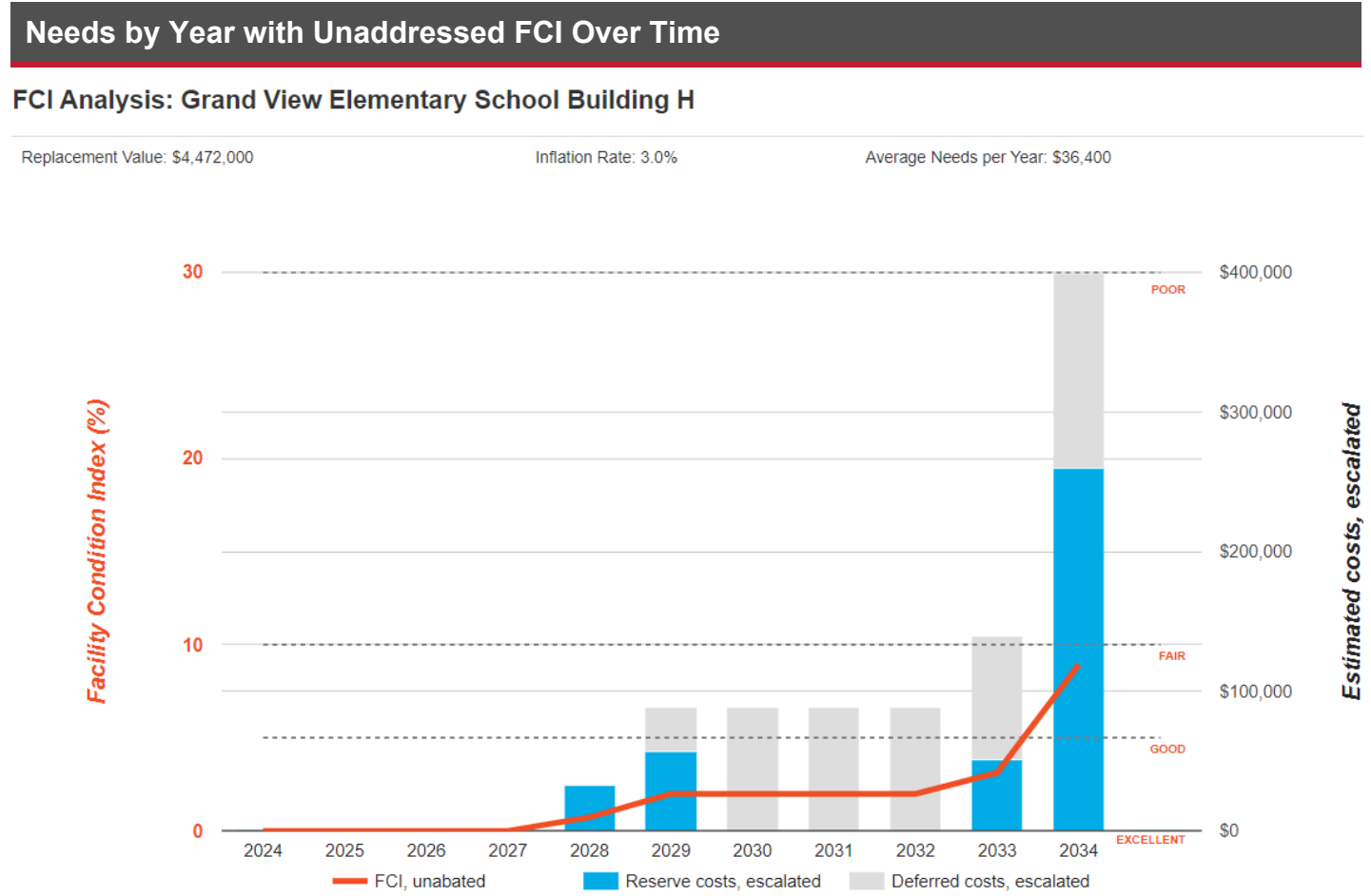
Building H: Building Systems Summary		
HVAC	Wall mounted heat pump	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were inspected thoroughly to gain a clear understanding of the facility's overall condition. Additionally, other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, as well as the exterior walls of the facility. It's important to note that roof access was not available during the inspection.	
Key Spaces Not Observed	The inaccessibility of the roof prevented observation during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	\$11,400	\$12,700	\$208,700	\$232,800
Roofing	-	-	-	\$2,700	\$87,300	\$90,000
Interiors	-	-	\$27,500	\$127,700	\$28,300	\$183,400
Plumbing	-	-	\$28,900	\$42,400	\$6,100	\$77,400
HVAC	-	-	\$14,600	\$41,700	-	\$56,300
Electrical	-	-	-	\$39,000	\$49,000	\$88,000
Fire Alarm & Electronic Systems	-	-	-	\$38,100	-	\$38,100
Equipment & Furnishings	-	-	\$6,500	-	\$58,400	\$65,000
Site Utilities	-	-	-	\$6,100	-	\$6,100
TOTALS (3% inflation)	-	-	\$88,900	\$310,400	\$437,800	\$837,100

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building H: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



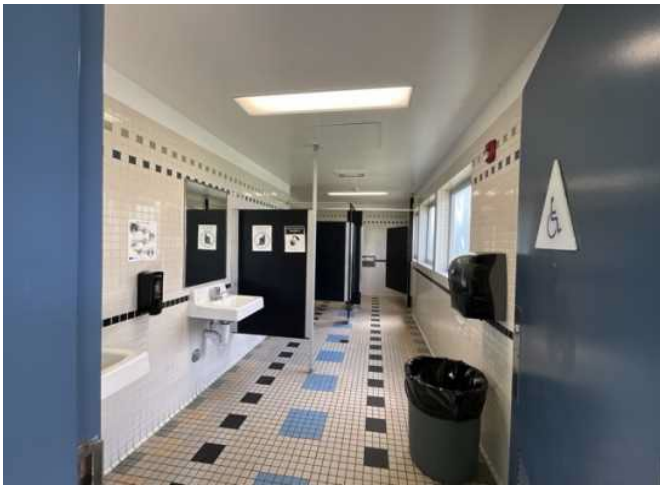
4 – EXTERIOR WALLS



5 – EXTERIOR DOORS



6 – EXTERIOR WINDOWS



7 – WALL FINISHES



8 – FLOORING



9 – HEAT PUMP



10 – ELECTRICAL PHOTO



11 – INTERNET TECHNOLOGY



12 – SITE PHOTO

10. Building I



Building I: Building Systems Summary

Address	455 24th Street, Manhattan Beach , CA 90266	
Constructed/Renovated	2021	
Building Area	16,905 SF	
Number of Stories	2 above grade	
System	<i>Description</i>	<i>Condition</i>
Structure	Concrete beams & columns with cast-in-place floors	Excellent
Facade	Wall Finish: Concrete Panel Windows: Aluminum	Excellent
Roof	Flat construction with single-ply TPO / PVC membrane	Excellent
Interiors	Walls: Painted gypsum board Floors: Carpet, VCT, LVT, ceramic tile, wood strip, Unfinished Ceilings: Painted gypsum board and ACT, Unfinished/exposed	Excellent
Elevators	Passenger: hydraulic	Excellent
Plumbing	Distribution: Copper supply and cast iron, PVC waste & venting Hot Water: Gas and Electric water Fixtures: Toilets, urinals, and sinks in all restrooms	Excellent

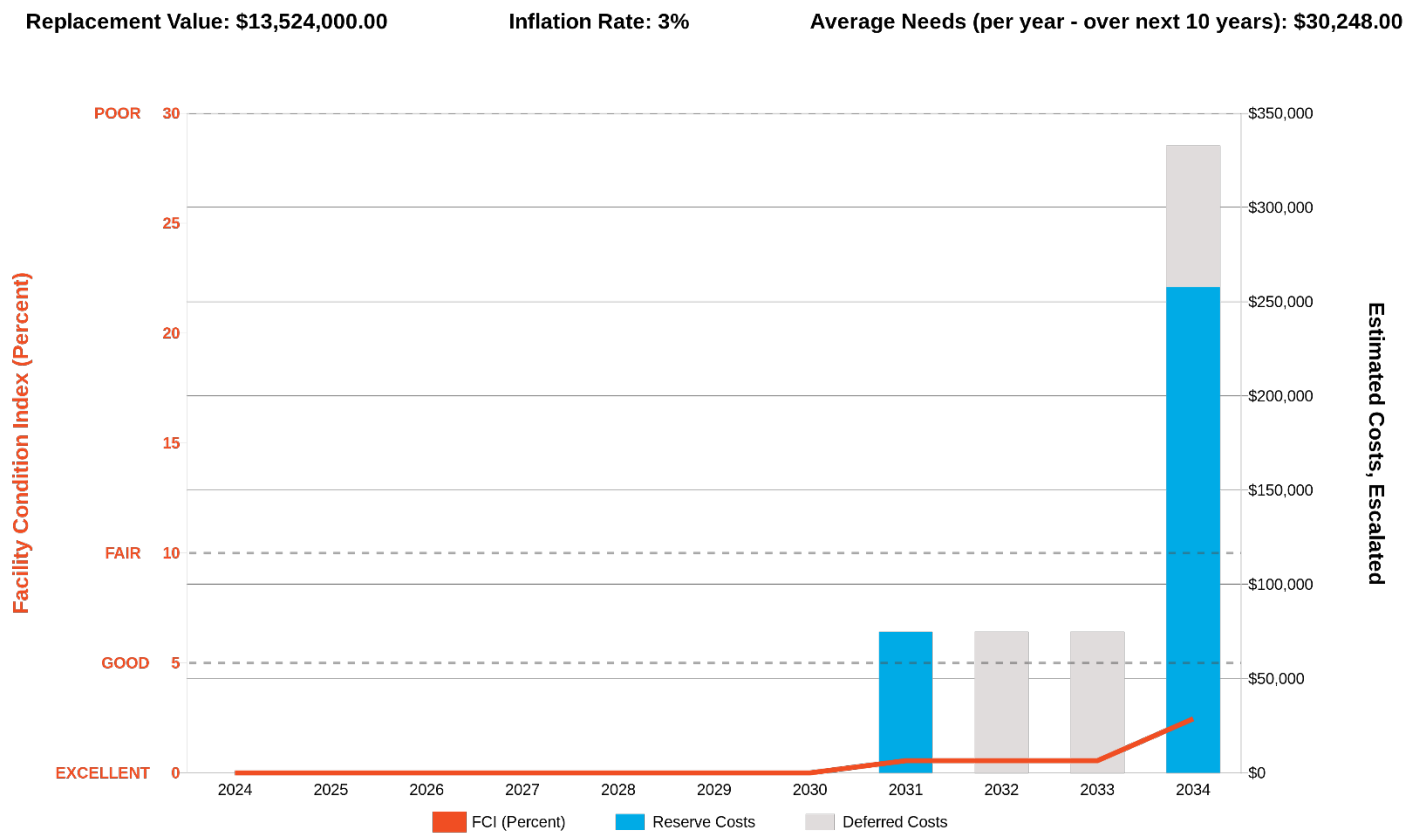
Building I: Building Systems Summary		
HVAC	Non-Central System: Packaged units Supplemental components: Computer room AC (CRAC) units	Excellent
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers, and kitchen hood system	Excellent
Electrical	Source & Distribution: Main switchboard.	Excellent
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Excellent
Equipment/Special	Commercial kitchen equipment	Excellent
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Building I: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$70,356	\$94,552	\$164,908
Roofing	\$0	\$0	\$0	\$257,786	\$0	\$257,786
Interiors	\$0	\$0	\$0	\$4,590	\$205,004	\$209,594
Conveying	\$0	\$0	\$0	\$0	\$23,796	\$23,796
Plumbing	\$0	\$0	\$0	\$0	\$30,514	\$30,514
HVAC	\$0	\$0	\$0	\$0	\$125,844	\$125,844
Fire Protection	\$0	\$0	\$0	\$0	\$0	\$0
Electrical	\$0	\$0	\$0	\$0	\$214,358	\$214,358
Fire Alarm & Electronic Systems	\$0	\$0	\$0	\$0	\$196,202	\$196,202
Equipment & Furnishings	\$0	\$0	\$0	\$0	\$179,858	\$179,858
Sitework	\$0	\$0	\$0	\$0	\$14,915	\$14,915
TOTALS	\$0	\$0	\$0	\$332,800	\$1,085,100	\$1,417,900

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time



Immediate Needs

Location	UF	Description	Cond	Plan Type	Cost
TOTAL (0 items)					\$0

Key Findings

There are no key findings to report.

Building I: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – RIGHT ELEVATION



4 – EXTERIOR WALLS



5 – EXTERIOR WINDOWS



6 – ROOF



7 – CLASSROOM



8 – SUSPENDED CEILINGS



9 – FLOORING



10 – FLOORING



11 – PASSENGER ELEVATOR



12 – WATER HEATER



13 – INSTANT WATER HEATER



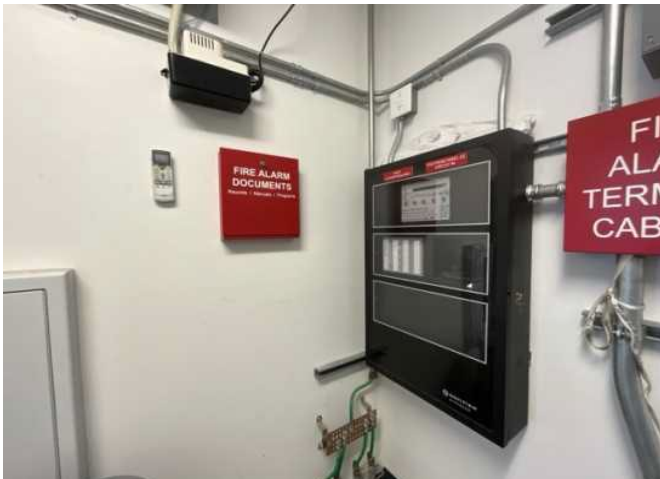
14 – D30 HVAC PLACEHOLDER



15 – COMPUTER ROOM AC UNIT



16 – D30 HVAC PLACEHOLDER

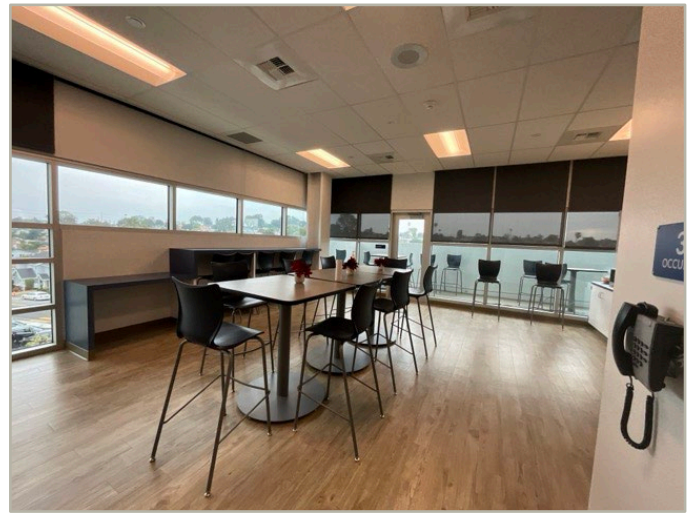


17 – FIRE ALARM / SECURITY



18 – SITE PHOTO

11. Building J



Building J: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	2023	
Building Area	16,917 SF	
Number of Stories	3 above grade	
System	<i>Description</i>	<i>Condition</i>
Structure	Concrete beams & columns with cast-in-place floors	Excellent
Facade	Wall Finish: Concrete Panel Windows: Aluminum	Excellent
Roof	Flat construction with single-ply TPO / PVC membrane	Excellent
Interiors	Walls: Painted gypsum board Floors: Carpet, VCT, LVT, ceramic tile, wood strip, Unfinished Ceilings: Painted gypsum board and ACT, Unfinished/exposed	Excellent
Elevators	Passenger: hydraulic	Excellent
Plumbing	Distribution: Copper supply and cast iron, PVC waste & venting Hot Water: Gas and Electric water heaters Fixtures: Toilets, urinals, and sinks in all restrooms	Excellent

Building J: Building Systems Summary		
HVAC	Non-Central System: Packaged units Supplemental components: Computer room AC (CRAC) units	Excellent
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers, and kitchen hood system	Excellent
Electrical	Source & Distribution: Main switchboard.	Excellent
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs.	Excellent
Equipment / Special	Commercial kitchen equipment	Excellent
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Building J: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$70,001	\$94,076	\$164,077
Roofing	\$0	\$0	\$0	\$0	\$391,876	\$391,876
Interiors	\$0	\$0	\$0	\$73,847	\$264,150	\$337,997
Conveying	\$0	\$0	\$0	\$0	\$24,509	\$24,509
Plumbing	\$0	\$0	\$0	\$0	\$12,444	\$12,444
HVAC	\$0	\$0	\$0	\$0	\$312,272	\$312,272
Fire Protection	\$0	\$0	\$0	\$0	\$0	\$0
Electrical	\$0	\$0	\$0	\$0	\$220,943	\$220,943
Fire Alarm & Electronic Systems	\$0	\$0	\$0	\$0	\$199,393	\$199,393
Equipment & Furnishings	\$0	\$0	\$0	\$11,485	\$104,594	\$116,079
TOTALS	\$0	\$0	\$0	\$155,400	\$1,624,300	\$1,779,700

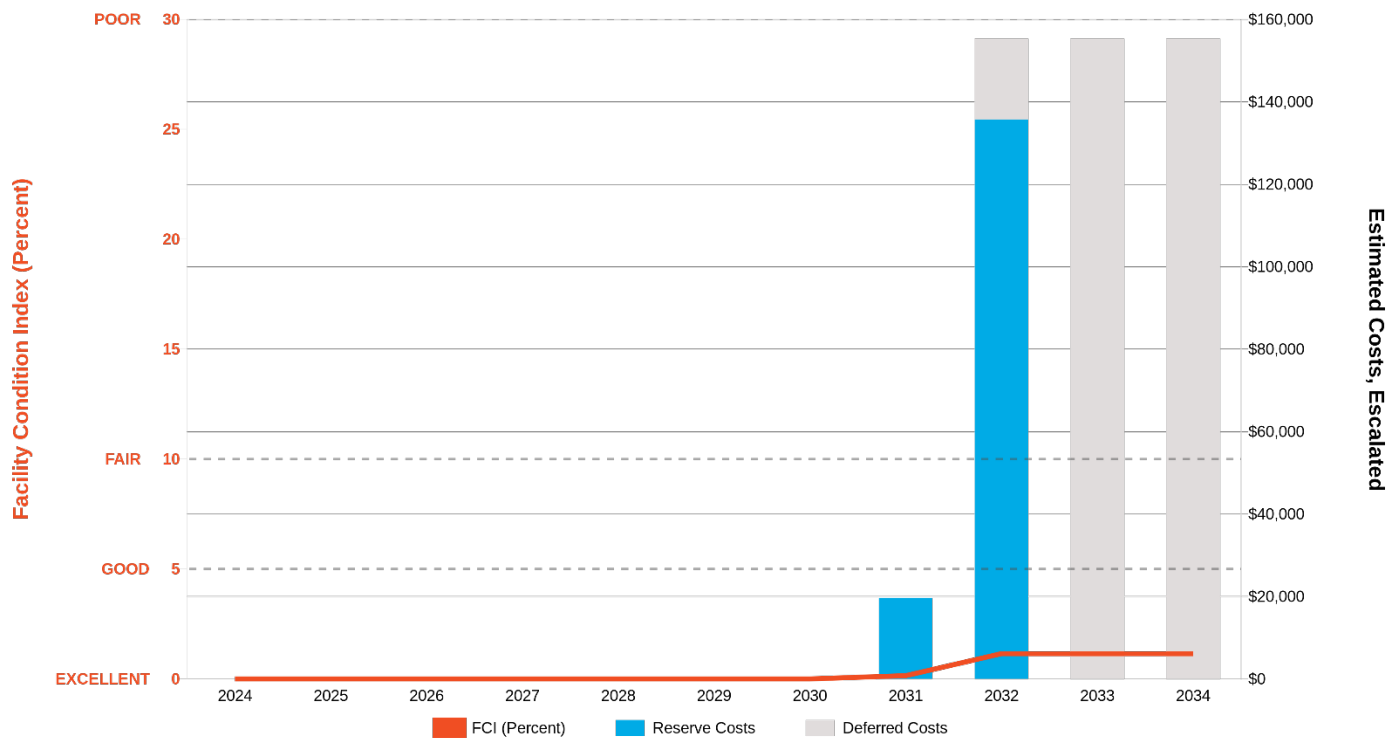
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$13,533,600.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$14,121.00



Immediate Needs

There are no immediate needs to report.

Key Findings

There are no key findings to report.

Building J: Photographic Overview



1 – FRONT ELEVATION



2 – RIGHT ELEVATION



3 – EXTERIOR WALLS



4 – EXTERIOR DOORS



5 – EXTERIOR WINDOWS



6 – STOREFRONT WINDOWS



7 – ROOF PHOTO



8 – OFFICE



9 – MULTIPURPOSE



10 – KITCHEN



11 – FLOORING



12 – ELEVATOR PHOTO



13 – ROOF TOP UNIT



14 – HVAC SYSTEMS



15 – ELECTRICAL ROOM



16 – FIRE ALARM / SECURITY

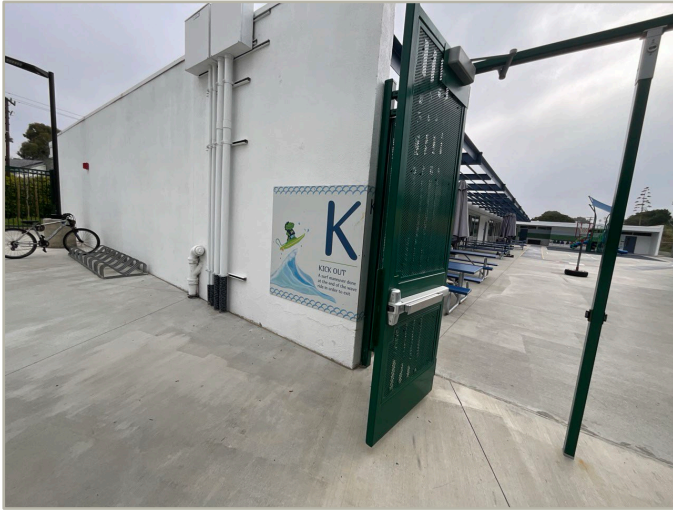


17 – COMMERCIAL KITCHEN



18 – SITE PHOTO

12. Building K



Building K: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1957	
Building Area	4,315 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted , Ceramic Tile and Unfinished Floors: LVT, Ceramic Tile and unfinished concrete Ceilings: Painted, ACT and Unfinished / exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: Electric water heater Fixtures: Toilets and sinks in all restrooms	Fair

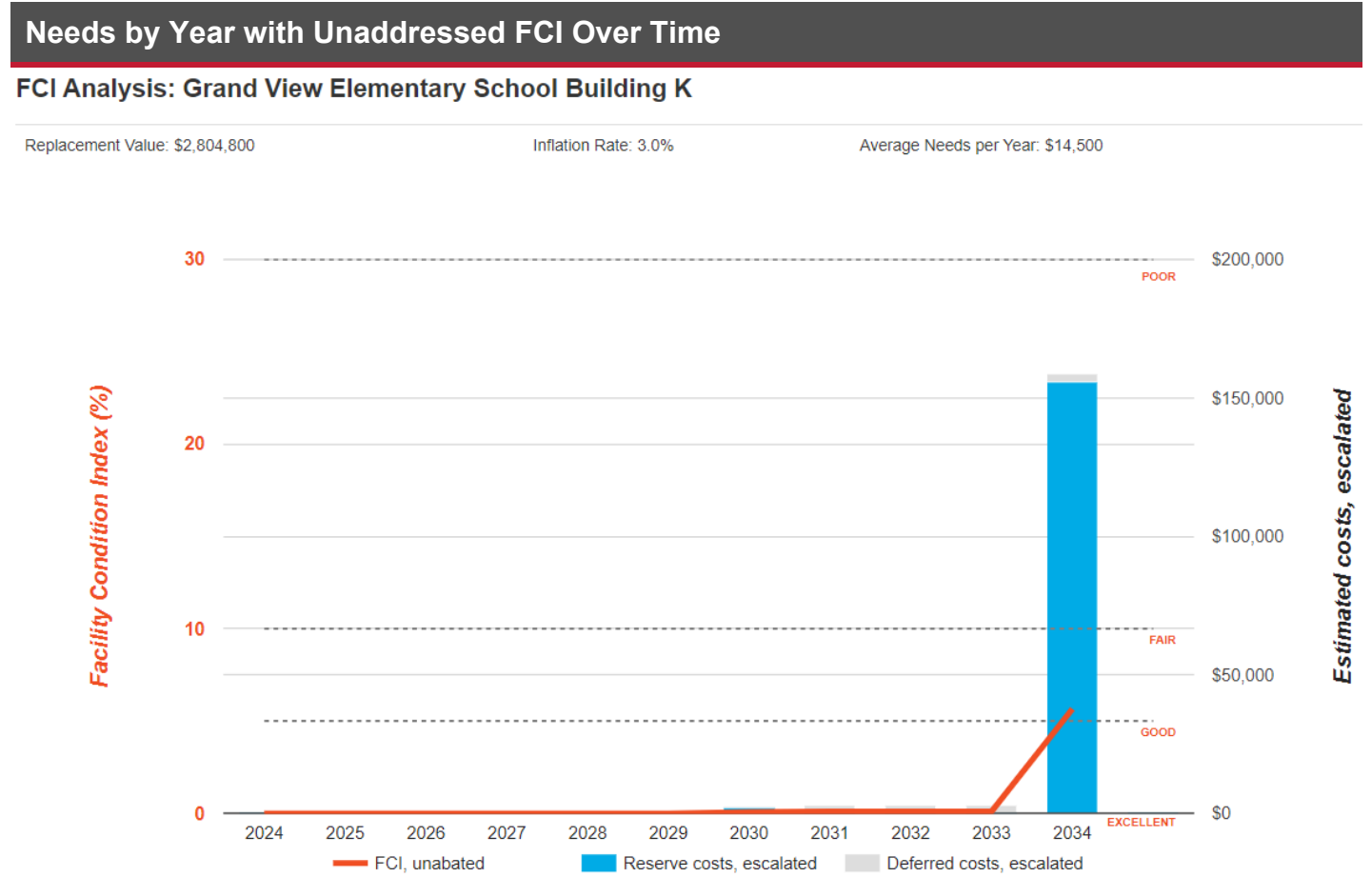
Building K: Building Systems Summary		
HVAC	Air Handlers (Fan coil direct expansion) with split-system condensing units.	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment / Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	-	-	-
Roofing	-	-	-	\$65,400	-	\$65,400
Interiors	-	-	-	\$48,400	\$130,200	\$178,600
Plumbing	-	-	-	\$4,500	\$22,400	\$27,000
HVAC	-	-	-	-	\$17,200	\$17,200
Electrical	-	-	-	\$35,600	\$37,900	\$73,500
Fire Alarm & Electronic Systems	-	-	-	-	\$34,100	\$34,100
Equipment & Furnishings	-	-	-	\$4,500	\$30,800	\$35,300
Site Utilities	-	-	-	-	\$4,200	\$4,200
TOTALS (3% inflation)	-	-	-	\$158,500	\$276,800	\$435,300

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building K: Photographic Overview



1 – LEFT ELEVATION



2 – REAR ELEVATION



3 – RIGHT ELEVATION



4 – EXTERIOR WALLS



5 – STOREFRONT



6 – ROOFING



7 – SUSPENDED CEILINGS



8 – FLOORING



9 – WATER HEATER



10 – HEAT PUMP



11 – FIRE ALARM SYSTEM



12 – SITE PHOTO

13. Building L (Modular)



Building L: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937	
Building Area	4,178 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Plywood Windows: Aluminum	Fair
Roof	Very low slop Gable construction with modified bituminous finish.	Fair
Interiors	Walls: ACT Floors: Carpet, VCT Ceilings: ACT	Poor
Elevators	None	-
Plumbing	Distribution: Copper and cast iron, Hot Water: None Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

Building L: Building Systems Summary		
HVAC	Wall Mounted Heat pumps	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main panel with copper Interior Lighting: LED	Fair
Fire Alarm	Smoke detectors with exit signs	Fair
Equipment/Special	None	-
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility.	
Key Spaces Not Observed	The roof was inaccessible, and as a result, it was not observed during the assessment.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	\$15,200	\$10,600	-	\$17,600	\$43,400
Roofing	-	\$78,200	-	-	-	\$78,200
Interiors	-	\$25,500	\$109,100	-	\$48,900	\$183,500
Plumbing	\$1,200	-	\$46,600	\$11,800	\$3,000	\$62,500
HVAC	-	-	\$10,900	-	\$27,300	\$38,300
Electrical	-	\$15,700	\$43,400	-	\$46,400	\$105,600
Fire Alarm & Electronic Systems	-	-	\$34,700	-	\$16,500	\$51,200
Equipment & Furnishings	-	-	\$44,400	-	\$8,600	\$53,000
Site Utilities	-	-	\$4,400	-	-	\$4,400
TOTALS (3% inflation)	\$1,200	\$134,600	\$304,100	\$11,800	\$168,300	\$620,000

*Totals have been rounded to the nearest \$100.

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Immediate Needs

Facility/Building	Total Items	Total Cost
Grand View Elementary School / Building L	2	\$2,800
Total	2	\$2,800

Building L

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
7473098	Grand View Elementary School / Building L	Restrooms	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$1,600
7471278	Grand View Elementary School / Building L	Boy Restroom	D2010	Urinal, Standard, Replace	Failed	Performance/Integrity	\$1,200
Total (2 items)							\$2,800

Key Findings



Exterior Walls in Poor condition.

any painted surface, 1-2 Story Building
Building L Grand View Elementary School
Building exterior

Unifomat Code: B2010
Recommendation: **Prep & Paint in 2025**

Priority Score: **89.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$12,700

\$\$\$\$

Chipped and peeling - AssetCALC ID: 7471279



Roofing in Poor condition.

Modified Bitumen
Building L Grand View Elementary School Roof

Unifomat Code: B3010
Recommendation: **Replace in 2026**

Priority Score: **88.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$70,700

\$\$\$\$

Past its EUL - AssetCALC ID: 7471284



Urinal in Failed condition.

Standard
Building L Grand View Elementary School Boy
Restroom

Uniformat Code: D2010
Recommendation: **Replace in 2024**

Priority Score: **83.9**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

The urinal is out of service. - AssetCALC ID: 7471278



Exterior Door in Poor condition.

Steel, Standard
Building L Grand View Elementary School
Restrooms

Uniformat Code: B2050
Recommendation: **Replace in 2025**

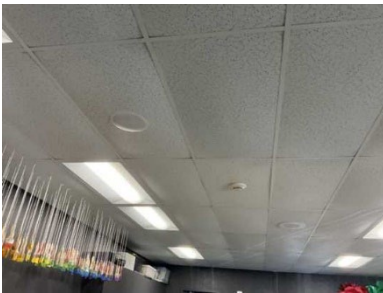
Priority Score: **81.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,000

\$\$\$\$

The restroom doors are rusted and in need of replacement. - AssetCALC ID: 7473120



Suspended Ceilings in Poor condition.

Acoustical Tile (ACT)
Building L Grand View Elementary School
Throughout building

Uniformat Code: C1070
Recommendation: **Replace in 2025**

Priority Score: **81.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$24,700

\$\$\$\$

Sagging throughout - AssetCALC ID: 7471262



Roof Appurtenances in Poor condition.

Gutters & Downspouts, Aluminum w/ Fittings
Building L Grand View Elementary School
Building exterior

Uniformat Code: B3020
Recommendation: **Replace in 2026**

Priority Score: **81.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$3,000

\$\$\$\$

The gutters and downspouts have deteriorated due to rust and breakage, thus necessitating their replacement. - AssetCALC ID: 7473113

Building L: Photographic Overview



1 – LEFT ELEVATION



2 – REAR ELEVATION



3 – RIGHT ELEVATION



4 – EXTERIOR WINDOWS



5 – CASEWORK



6 – HEAT PUMP

14. Building M (Modular)



Building M: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937	
Building Area	3,407 SF	
Number of Stories	1 above grade	
System	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Plywood Windows: Aluminum	Fair
Roof	Very low slop Gable construction with modified bituminous finish.	Fair
Interiors	Walls: ACT Floors: Carpet, VCT Ceilings: ACT	Poor
Elevators	None	-
Plumbing	Distribution: Copper and cast iron, Hot Water: None Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

Building M: Building Systems Summary		
HVAC	Wall Mounted Heat pumps	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main panel with copper Interior Lighting: LED	Fair
Fire Alarm	Smoke detectors with exit signs	Fair
Equipment/Special	None	-
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility.	
Key Spaces Not Observed	The roof's inaccessibility during the assessment precluded its observation.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	\$15,200	\$10,600	-	\$17,600	\$43,400
Roofing	-	\$78,200	-	-	-	\$78,200
Interiors	-	\$25,500	\$109,100	-	\$48,900	\$183,500
Plumbing	\$1,200	-	\$46,600	\$11,800	\$3,000	\$62,500
HVAC	-	-	\$10,900	-	\$27,300	\$38,300
Electrical	-	\$15,700	\$43,400	-	\$46,400	\$105,600
Fire Alarm & Electronic Systems	-	-	\$34,700	-	\$16,500	\$51,200
Equipment & Furnishings	-	-	\$44,400	-	\$8,600	\$53,000
Site Utilities	-	-	\$4,400	-	-	\$4,400
TOTALS (3% inflation)	\$1,200	\$134,600	\$304,100	\$11,800	\$168,300	\$620,000

*Totals have been rounded to the nearest \$100.

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Immediate Needs

Building M

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
7471239	Grand View Elementary School / Building M	Restrooms	B2050	Exterior Door, Steel, Standard, Replace	Poor	Performance/Integrity	\$1,400
7473093	Grand View Elementary School / Building M	Building exterior	B3020	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	Poor	Performance/Integrity	\$1,500
7473089	Grand View Elementary School / Building M	Restrooms	C1070	Suspended Ceilings, Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$1,600
Total (3 items)							\$4,500

Key Findings



Roof Appurtenances in Poor condition.

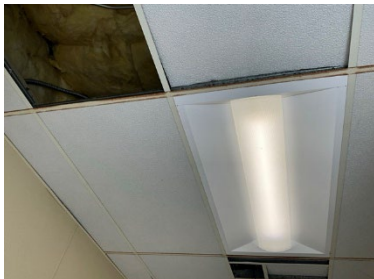
Plan Type:
Performance/Integrity

Cost Estimate: \$1,500

Gutters & Downspouts, Aluminum w/ Fittings
Building M
Building exterior

Uniformat Code: B3020
Recommendation: **Replace in 2024**

The gutters and downspouts have deteriorated due to rust and breakage, thus necessitating their replacement. - AssetCALC ID: 7473093



Suspended Ceilings in Poor condition.

Plan Type:
Performance/Integrity

Cost Estimate: \$1,600

Acoustical Tile (ACT)
Building M
Restrooms

Uniformat Code: C1070
Recommendation: **Replace in 2024**

The acoustic ceiling tiles are damaged or missing, and replacement is recommended. - AssetCALC ID: 7473089



Exterior Door in Poor condition.

Steel, Standard
Building M
Restrooms

Unifomat Code: B2050
Recommendation: **Replace in 2024**

Plan Type: Performance /
Integrity

Cost Estimate: \$1,400

The restroom doors are rusted and in need of replacement. - AssetCALC ID: 7471239

Building M: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – WALL MOUNTED HEAT PUMP



4 – WALL FINISHES

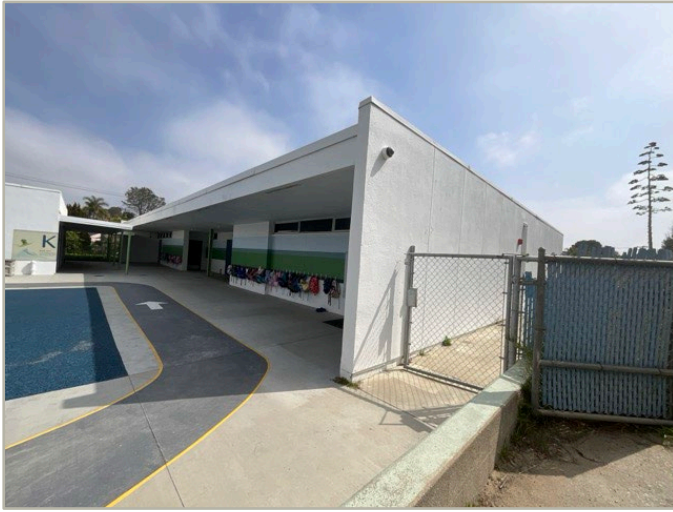


5 – FLOORING



6 – INTERNET TECHNOLOGY

15. Building TK



Building TK: Building Systems Summary

Address	455 24th Street, Manhattan Beach, CA 90266	
Constructed/Renovated	1937 Renovated 2000	
Building Area	2,924 SF	
Number of Stories	1 above grade	
System	Description	Condition
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted and Unfinished Floors: VCT, LVT, Carpet and unfinished concrete Ceilings: Painted, ACT and Unfinished / exposed	Fair
Elevators	None	Fair
Plumbing	Distribution: Copper and cast iron, PVC waste & venting Hot Water: None Fixtures: Toilets and sinks in restrooms	Fair

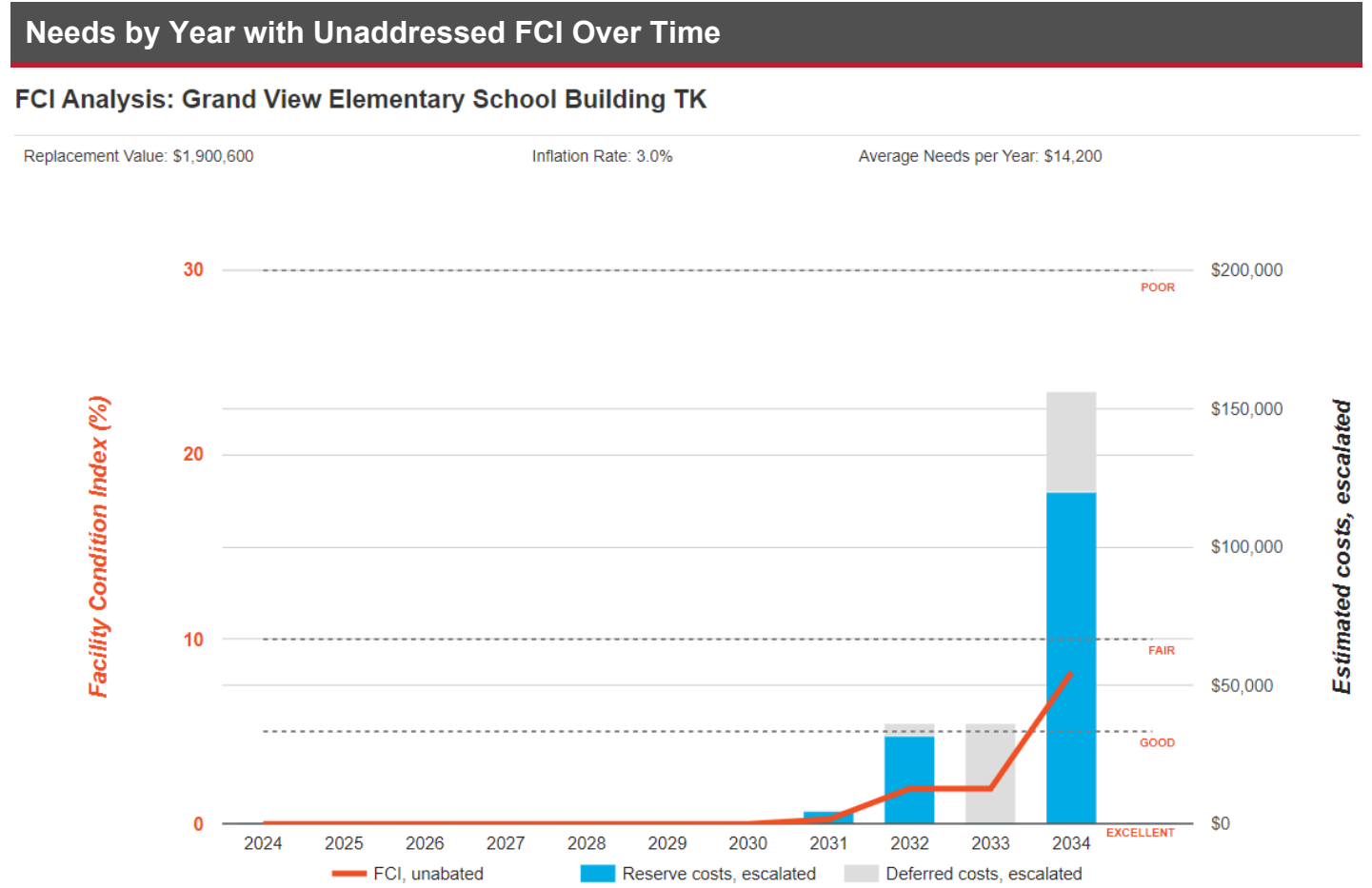
Building TK: Building Systems Summary		
HVAC	Air Handlers (Fan coil direct expansion) with split-system condensing units.	Fair
Fire Suppression	Fire extinguishers.	Fair
Electrical	Source & Distribution: Main Distribution panel with copper wiring. Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	-	-	-
Roofing	-	-	-	\$67,200	-	\$67,200
Interiors	-	-	-	\$13,200	\$63,400	\$76,500
Plumbing	-	-	-	\$2,100	\$12,700	\$14,700
HVAC	-	-	-	-	\$40,900	\$40,900
Electrical	-	-	-	\$32,100	-	\$32,100
Fire Alarm & Electronic Systems	-	-	-	\$28,300	-	\$28,300
Equipment & Furnishings	-	-	-	\$9,600	-	\$9,600
Site Utilities	-	-	-	\$3,600	-	\$3,600
TOTALS (3% inflation)	-	-	-	\$156,100	\$116,900	\$273,000

*Totals have been rounded to the nearest \$100.

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.



Immediate Needs

No immediate needs at this time

Key Findings

No key findings at this time

Building TK: Photographic Overview



1 – EXTERIOR WINDOWS



2 – ROOF PHOTO



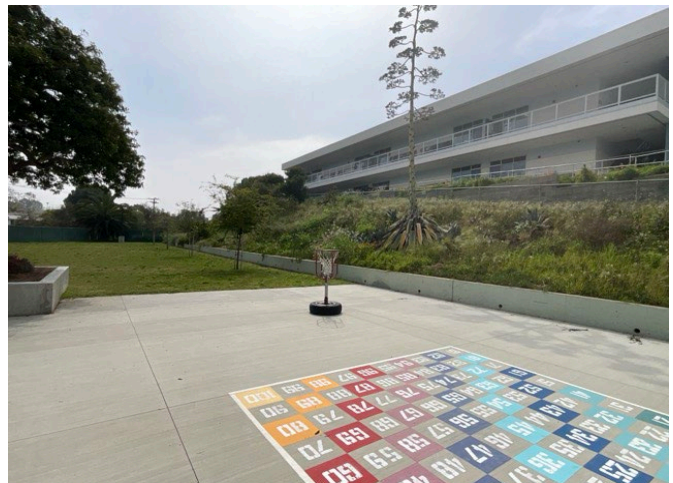
3 – WALL FINISHES



4 – SPLIT SYSTEM



5 – SPLIT SYSTEM



6 – SITE PHOTO

16. Site



Site: Site Information

Site Area	14.58 acres	
Parking Spaces	81 total spaces all in open lots; 6 of which are accessible.	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Site Pavement	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs.	Fair
Site Development	Building-mounted, Property entrance signage; wrought iron fencing; CMU wall and chain-link fence dumpster enclosures. Sports fields and courts, fencing, and site lights Furnished with park benches, picnic tables, trash receptacles.	Fair
Landscaping & Topography	Landscaping features including lawns, trees, bushes, and planters. Irrigation present Low to moderate site slopes throughout boundary	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED Pedestrian walkway and landscape accent lighting	Fair
Ancillary Structures	Storage sheds and Prefabricated modular buildings	Fair

Site: Site Information	
Site Accessibility	Presently it does not appear an accessibility study is needed for the exterior site areas. See the appendix for associated photos and additional information.
Site Additional Studies	No additional studies are currently recommended for the site areas.
Site Areas Observed	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
Site Key Spaces Not Observed	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or building system over the next 20 years.

Site: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Fire Protection	\$0	\$0	\$0	\$0	\$31,780	\$31,780
Electrical	\$0	\$0	\$0	\$45,478	\$0	\$45,478
Special Construction & Demo	\$0	\$0	\$15,691	\$0	\$0	\$15,691
Sitework	\$60,630	\$0	\$431,052	\$1,183,782	\$365,546	\$2,041,010
TOTALS	\$60,700	\$0	\$446,800	\$1,229,300	\$397,400	\$2,134,200

Immediate Needs

Location	UF	Description	Cond	Plan Type	Cost
Grand View Elementary School / Site	G2062	Fences & Gates, Fence, Metal Tube 4', Replace	Poor	Performance/Integrity	\$38,400
Grand View Elementary School / Site	G2051	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Seal & Stripe	Poor	Performance/Integrity	\$2,500
Grand View Elementary School / Site	G2051	Athletic Surfaces & Courts, Sport Field / General, Asphalt Pavement, Mill & Overlay	Poor	Performance/Integrity	\$19,700
TOTAL (3 items)					\$60,600

Key Findings



Athletic Surfaces & Courts in Poor condition.

Sport Field / General, Asphalt Pavement
Site
Sport Field Between building A,B and C

Unifomat Code: G2050
Recommendation: **Mill & Overlay in 2024**

Plan Type:
Performance/Integrity

Cost Estimate: \$19,700

Some areas on the asphalt pavement between buildings C, B, and A pose a potential hazard due to significant signs of deterioration, including alligator cracking, transverse cracking, extensive raveling, and localized

depressions. To address these issues effectively, it is strongly recommended to conduct a comprehensive milling and overlay of the entire lot. - AssetCALC ID: 7472451



Athletic Surfaces & Courts in Poor condition.

Plan Type:
Performance/Integrity

Cost Estimate: \$2,500

Basketball/General, Asphalt Pavement
Site
Sport Field Between building A,B and C

Uniformat Code: G2050
Recommendation: **Seal & Stripe in 2024**

Some areas on the asphalt pavement between buildings C, B, and A pose a potential hazard due to significant signs of deterioration, including alligator cracking, transverse cracking, extensive raveling, and localized depressions. - AssetCALC ID: 7472497



Fences & Gates in Poor condition.

Plan Type:
Performance/Integrity

Cost Estimate: \$38,400

Fence, Metal Tube 4'
Site
Throughout Site

Uniformat Code: G2060
Recommendation: **Replace in 2024**

The fences are corroded and at the end of their lifespan. - AssetCALC ID: 7471374

Site: Photographic Overview



1 – BACKFLOW PREVENTER



2 – ELECTRICAL PHOTO



3 – BASKETBALL COURT



4 – PLAY GROUND



5 – SITE PHOTO



6 – SITE PHOTO



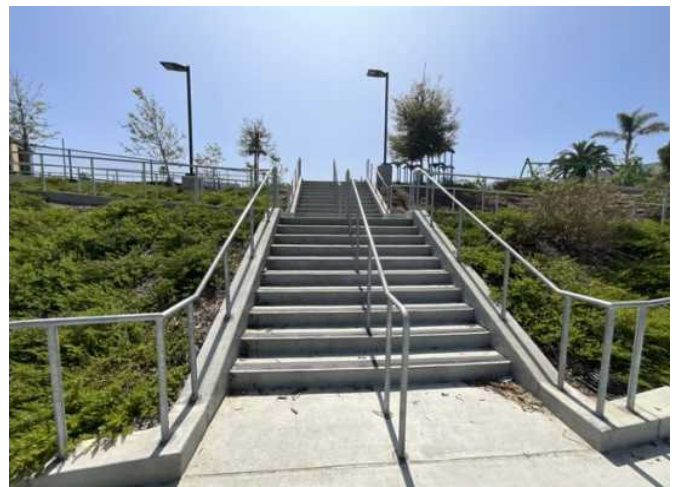
7 – SITE PHOTO



8 – SITE PHOTO



9 – SITE PHOTO



10 – SITE PHOTO



11 – SITE PHOTO



12 – SITE PHOTO



13 – SPORTS APPARATUS



14 – SPORTS APPARATUS



15 – PLAY STRUCTURE



16 – FENCES AND GATES



17 – PICNIC TABLE



18 – POLE LIGHT FIXTURE W/ LAMPS

17. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

18. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

19. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety or Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

20. Certification

DLR Group - Manhattan Beach USD - 2024 (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Grand View Elementary School, 455 24th Street, Manhattan Beach, CA 90266, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

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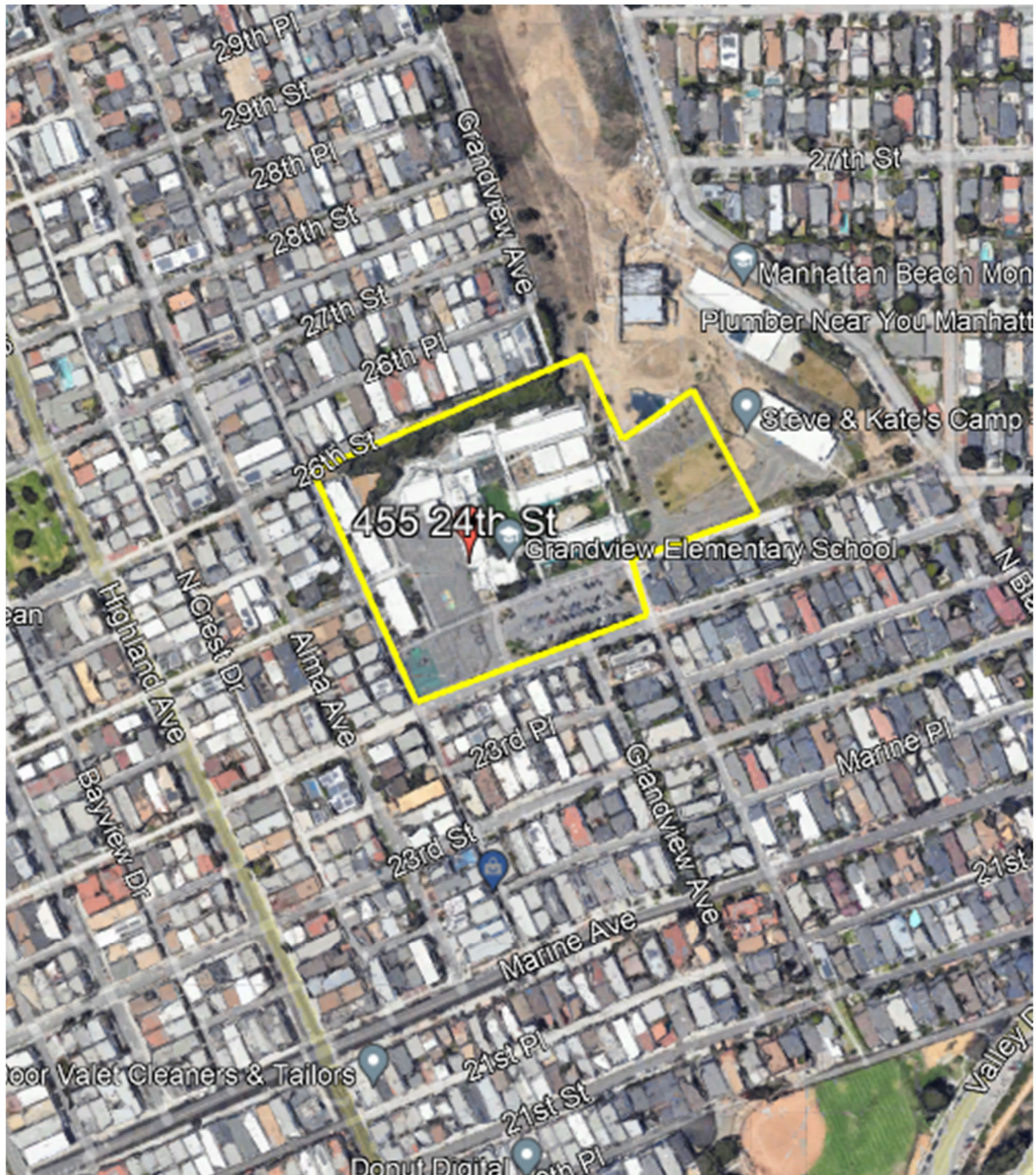
21. Appendices

- Appendix A: Site Plan(s)
- Appendix B: Pre-Survey Questionnaire(s)
- Appendix C: Accessibility Review and Photos
- Appendix D: Component Condition Report
- Appendix E: Replacement Reserves

Appendix A:

Site Plan(s)

Site Plan



**BUREAU
VERITAS**

Project Number

166615.24R000-004.017

Project Name

Grand View Elementary School

Source

Google

On-Site Date

March 20-21, 2024



Appendix B:

Pre-Survey Questionnaire(s)

BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Grand View Elementary School

Name of person completing form: Paul rutq

Title / Association w/ property: Director of M&f

Length of time associated w/ property: 16 yeats

Date Completed: 3/20/2024

Phone Number: 310 748-5601

Method of Completion: PRIOR- fully completed by client

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

Data Overview		Response		
1	Year(s) constructed	Constructed 1936	Renovated	Multiple renovations done here. 1984,1998,2000,2021,2024
2	Building size in SF	68,214	SF	
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade		
		Roof	2017	Restoration
		Interiors	2021	
		HVAC	2021-2024	
		Electrical	1998	
		Site Pavement	2021-2024	Some areas
		Accessibility	2021-2024	As needed
4	List other significant capital improvements (focus on recent years; provide approximate date).	2 new buildings placed. Removal of old buildings major renovations tgroughout		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		✗			
8	Are there any wall, window, basement or roof leaks?		✗			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		✗			
10	Are your elevators unreliable, with frequent service calls?		✗			
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		✗			
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?		✗			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?		✗			
14	Is the electrical service outdated, undersized, or problematic?		✗			
15	Are there any problems or inadequacies with exterior lighting?		✗			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		✗			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?	✗				Portable classrooms are past their retirement date
18	ADA: Has an accessibility study been previously performed? If so, when?	✗				2017 latest
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.	✗				Yes all areas are updated
20	ADA: Has building management reported any accessibility-based complaints or litigation?		✗			
21	Are any areas of the property leased to outside occupants?		✗			



Signature of Assessor



Signature of POC

Appendix C:

Accessibility Review and Photos

Visual Checklist - 2010 ADA Standards for Accessible Design

Property Name: Grand View Elementary School

BV Project Number: 166615.24R000-004.017

Abbreviated Accessibility Checklist

Facility History & Interview

Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?			×	
2	Have any ADA improvements been made to the property since original construction? Describe.		×		
3	Has building management reported any accessibility-based complaints or litigation?		×		

Abbreviated Accessibility Checklist

Parking



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL

Question		Yes	No	NA	Comments
1	Does the required number of standard ADA designated spaces appear to be provided ?	✗			
2	Does the required number of van-accessible designated spaces appear to be provided ?	✗			
3	Are accessible spaces on the shortest accessible route to an accessible building entrance ?	✗			
4	Does parking signage include the International Symbol of Accessibility ?	✗			
5	Does each accessible space have an adjacent access aisle ?	✗			
6	Do parking spaces and access aisles appear to be relatively level and without obstruction ?	✗			

Abbreviated Accessibility Checklist

Exterior Accessible Route



ACCESSIBLE PATH



ACCESSIBLE RAMP

Question		Yes	No	NA	Comments
1	Is an accessible route present from public transportation stops and municipal sidewalks on or immediately adjacent to the property ?	✗			
2	Does a minimum of one accessible route appear to connect all public areas on the exterior, such as parking and other outdoor amenities, to accessible building entrances ?	✗			
3	Are curb ramps present at transitions through raised curbs on all accessible routes?	✗			
4	Do curb ramps appear to have compliant slopes for all components ?	✗			
5	Do ramp runs on an accessible route appear to have compliant slopes ?	✗			
6	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			

7	Do ramps on an accessible route appear to have compliant end and intermediate landings ?	X			
8	Do ramps and stairs on an accessible route appear to have compliant handrails?	X			
9	For stairways that are open underneath, are permanent barriers present that prevent or discourage access?	X			

Abbreviated Accessibility Checklist

Building Entrances



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE

Question		Yes	No	NA	Comments
1	Do a sufficient number of accessible entrances appear to be provided ?	✗			
2	If the main entrance is not accessible, is an alternate accessible entrance provided?	✗			
3	Is signage provided indicating the location of alternate accessible entrances ?	✗			
4	Do doors at accessible entrances appear to have compliant maneuvering clearance area on each side ?	✗			
5	Do doors at accessible entrances appear to have compliant hardware ?	✗			
6	Do doors at accessible entrances appear to have a compliant clear opening width ?	✗			

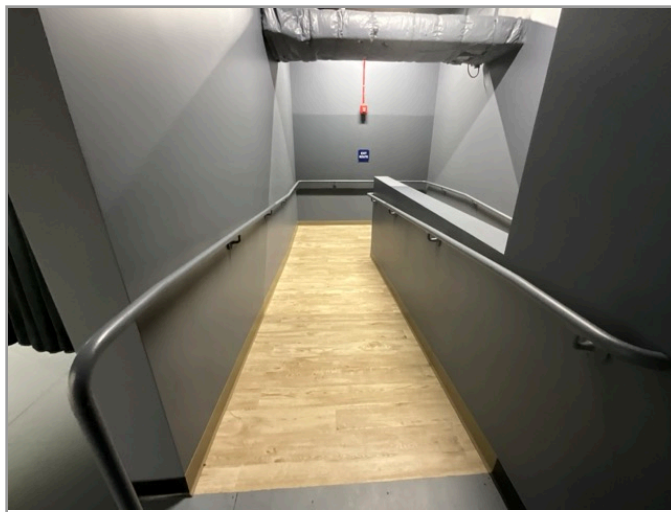
7	Do pairs of accessible entrance doors in series appear to have the minimum clear space between them ?	✕			
8	Do thresholds at accessible entrances appear to have a compliant height ?	✕			

Abbreviated Accessibility Checklist

Interior Accessible Route



ACCESSIBLE INTERIOR PATH



ACCESSIBLE INTERIOR RAMP

Question		Yes	No	NA	Comments
1	Does an accessible route appear to connect all public areas inside the building ?	✗			
2	Do accessible routes appear free of obstructions and/or protruding objects ?	✗			
3	Do ramps on accessible routes appear to have compliant slopes ?	✗			
4	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			
5	Do ramps on accessible routes appear to have compliant end and intermediate landings ?	✗			
6	Do ramps on accessible routes appear to have compliant handrails ?	✗			

7	Are accessible areas of refuge and the accessible means of egress to those areas identified with accessible signage ?	✕			
8	Do public transaction areas have an accessible, lowered service counter section ?	✕			
9	Do public telephones appear mounted with an accessible height and location ?	✕			
10	Do doors at interior accessible routes appear to have compliant maneuvering clearance area on each side ?	✕			
11	Do doors at interior accessible routes appear to have compliant hardware ?	✕			
12	Do non-fire hinged, sliding, or folding doors on interior accessible routes appear to have compliant opening force ?	✕			
13	Do doors on interior accessible routes appear to have a compliant clear opening width ?	✕			

Abbreviated Accessibility Checklist

Elevators



LOBBY LOOKING AT CABS



IN-CAB CONTROLS

Question		Yes	No	NA	Comments
1	Are hallway call buttons configured with the "UP" button above the "DOWN" button?	✗			
2	Is accessible floor identification signage present on the hoistway sidewalls on each level ?	✗			
3	Do the elevators have audible and visual arrival indicators at the lobby and hallway entrances?	✗			
4	Do the elevator hoistway and car interior appear to have a minimum compliant clear floor area ?	✗			
5	Do the elevator car doors have automatic re-opening devices to prevent closure on obstructions?	✗			
6	Do elevator car control buttons appear to be mounted at a compliant height ?	✗			

7	Are tactile and Braille characters mounted to the left of each elevator car control button ?	✕			
8	Are audible and visual floor position indicators provided in the elevator car?	✕			
9	Is the emergency call system on or adjacent to the control panel and does it not require voice communication ?	✕			

Abbreviated Accessibility Checklist

Public Restrooms



RESTROOM ACCESSORIES



TOILET STALL OVERVIEW

Question		Yes	No	NA	Comments
1	Do publicly accessible toilet rooms appear to have a minimum compliant floor area ?	✗			
2	Does the lavatory appear to be mounted at a compliant height and with compliant knee area ?	✗			
3	Does the lavatory faucet have compliant handles ?	✗			
4	Is the plumbing piping under lavatories configured to protect against contact ?	✗			
5	Are grab bars provided at compliant locations around the toilet ?	✗			
6	Do toilet stall doors appear to provide the minimum compliant clear width ?	✗			

7	Do toilet stalls appear to provide the minimum compliant clear floor area ?	X			
8	Where more than one urinal is present in a multi-user restroom, does minimum one urinal appear to be mounted at a compliant height and with compliant approach width ?	X			
9	Do accessories and mirrors appear to be mounted at a compliant height ?	X			

Abbreviated Accessibility Checklist

Kitchens/Kitchenettes



KITCHEN ACCESSORIES



KITCHEN PATH OF TRAVEL

Question		Yes	No	NA	Comments
1	Do kitchens/kitchenettes appear to have a minimum compliant path of travel or area of maneuverability ?	✗			
2	Are the appliances centered for a parallel or forward approach with adequate clear floor space ?	✗			
3	Is there an accessible countertop/preparation space of proper width and height ?	✗			
4	Is there an accessible sink space of proper width and height ?	✗			
5	Does the sink faucet have compliant handles ?	✗			
6	Is the plumbing piping under the sink configured to protect against contact ?	✗			

7	Are the cooktop/range controls front-mounted (or in a location that does not require reaching across the burners) ?	X			
---	---	---	--	--	--

Abbreviated Accessibility Checklist

Playgrounds & Swimming Pools



OVERVIEW OF PLAYGROUND



ACCESSIBLE ROUTE TO PLAYGROUND

Question		Yes	No	NA	Comments
1	Is there an accessible route to the play area / s?	✗			
2	Has the play area been reviewed for accessibility ?	✗			
3	Are publicly accessible swimming pools equipped with an entrance lift ?			✗	

Appendix D: Component Condition Report

Component Condition Report | Grand View Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	1,945 SF	4	7472626
B2020	Building Exterior	Fair	Window, Steel, up to 15 SF	20	6	7471086
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	8	10	7471110
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	4,223 SF	10	7471094
B3020	Throughout building	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	250 LF	10	7472622
Interiors						
C1020	Throughout Building	Fair	Interior Window, Fixed, 12 SF	3	10	7472625
C1030	Throughout building	Fair	Interior Door, Aluminum-Framed & Glazed, Standard Swing	1	10	7471098
C1030	Throughout building	Fair	Door Hardware, School, per Door	20	15	7471085
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	10	20	7471112

Component Condition Report | Grand View Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,223 SF	15	7471096
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	6,335 SF	4	7471102
C2010	Throughout building	Fair	Wall Finishes, Ceramic Tile	1,000 SF	10	7472561
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	1,000 SF	7	7472618
C2030	Throughout building	Fair	Flooring, Luxury Vinyl Tile (LVT)	3,000 SF	7	7471088
C2030	Throughout building	Fair	Flooring, Ceramic Tile	223 SF	17	7472558
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	1,000 SF	4	7472619
Plumbing						
D2010	Utility closet-Building Right Elevation	Fair	Water Heater, Gas, Residential	1	7	7471099
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	4	5	7471104
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	7	7471103

Component Condition Report | Grand View Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	4	5	7471101
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,223 SF	10	7471113
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	7471100
HVAC						
D3030	Throughout building	Fair	Computer Room AC Unit, Air-Cooled, CRAC Drycooler/Condenser	1	10	7471114
D3030	Throughout building	Fair	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON	2	4	7471108
D3030	Building Front and left elevation	Fair	Split System, Condensing Unit/Heat Pump	2	7	7471106
D3030	Building Front elevation	Fair	Split System, Condensing Unit/Heat Pump	1	7	7471089
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	4,223 SF	15	7471093
Electrical						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,223 SF	20	7471109

Component Condition Report | Grand View Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	4,223 SF	7	7472620
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	4,223 SF	10	7471105
Fire Alarm & Electronic Systems						
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	4,223 SF	10	7472621
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	4,223 SF	7	7471095
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	4,223 SF	10	7471097
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	50 LF	7	7471092
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	100 LF	10	7471111
Sitework						
G4050	Building Exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	5	10	7472624

Component Condition Report | Grand View Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G4050	Building Exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	10	10	7472623

Component Condition Report | Grand View Elementary School / Building B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	3,000 SF	4	7472628
B2020	Throughout building	Fair	Glazing, any type by SF	1,000 SF	15	7471073
B2050	Throughout building	Fair	Exterior Door, Steel, Standard	5	10	7471065
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	7,437 SF	10	7472631
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	400 LF	10	7472632
Interiors						
C1010	Throughout building	Fair	Interior Wall, Stone	20 SF	20	7471072

Component Condition Report | Grand View Elementary School / Building B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C1030	Throughout building	Fair	Door Hardware, Office, per Door	10	10	7472639
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	5	10	7471066
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,437 SF	10	7471078
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	11,156 SF	4	7471079
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	2,000 SF	7	7471077
C2030	Throughout building	Fair	Flooring, Luxury Vinyl Tile (LVT)	1,437 SF	7	7472627
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	4,000 SF	4	7471083
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	3,000 SF	4	7471074
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Enameled Steel	2	15	7471067
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures)	7,437 SF	10	7471064

Component Condition Report | Grand View Elementary School / Building B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	7471070
D2010	Throughout building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	7	7471068
HVAC						
D3030	Throughout building	Fair	Air Conditioner, Window/Thru-Wall, 1.5 to 2 TON	1	2	7471069
D3030	Throughout Building	Fair	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON	2	4	7472638
D3030	Site	Fair	Split System, Condensing Unit/Heat Pump, 4 TON	2	4	7472637
Electrical						
D5020	Site	Fair	Secondary Transformer, Dry, Stepdown	1	2	7471075
D5020	Site	Fair	Distribution Panel, 120/208 V	1	2	7471081
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	7,437 SF	20	7472633
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	7,437 SF	7	7472640
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	7,437 SF	10	7471082

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Fire Alarm & Electronic Systems						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	7,437 SF	7	7472635
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	7,437 SF	10	7472634
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	120 LF	4	7471076
E2010	Throughout Building	Fair	Casework, Countertop, Natural Stone	60 LF	20	7471084
Sitework						
G4050	Building exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	10	10	7472629
G4050	Building exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	10	10	7472630

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						

Component Condition Report | Grand View Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2010	Throughout Building	Fair	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	3,000 SF	4	7471121
B2020	Building exterior	Fair	Glazing, any type by SF	500 SF	5	7471129
B2020	Building exterior	Fair	Window, Steel, up to 15 SF	3	5	7471123
B2050	Throughout Building	Fair	Exterior Door, Steel, Standard	5	10	7471120
Roofing						
B3010	Throughout Building	Fair	Roofing, Modified Bitumen	4,177 SF	10	7471122
B3020	Throughout building	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	10	7472656
Interiors						
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	3	10	7472648
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	6,266 SF	4	7471127
C2010	Throughout Building	Fair	Wall Finishes, Ceramic Tile	200 SF	10	7472657

Component Condition Report | Grand View Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	3,177 SF	5	7472641
C2030	Throughout Building	Fair	Flooring, Ceramic Tile	1,000 SF	10	7471128
Plumbing						
D2010	Throughout Building	Fair	Toilet, Commercial Water Closet	1	5	7471115
D2010	Throughout Building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	5	7471119
D2010	Throughout Building	Fair	Sink/Lavatory, Commercial Kitchen, 1-Bowl	1	5	7471125
D2010	Throughout Building	Fair	Sink/Lavatory, Commercial Kitchen, 3-Bowl	1	5	7471118
D2010	Throughout Building	Fair	Sink/Lavatory, Service Sink, Floor	1	5	7471126
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,177 SF	10	7472645
HVAC						
D3030	Throughout Building	Fair	Split System, Fan Coil Unit, DX, 3.5 to 5 TON	1	4	7472644

Component Condition Report | Grand View Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3030	Site	Fair	Split System, Condensing Unit/Heat Pump	1	4	7471130
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	1	4	7471124
D3050	Throughout Building	Fair	HVAC System, Ductwork, Low Density	4,177 SF	5	7472646
D3060	Throughout Building	Fair	Exhaust Fan, Centrifugal, 24" Damper, 2001 to 5000 CFM	2	4	7471117
Electrical						
D5030	Throughout Building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	4,177 SF	5	7472650
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,177 SF	10	7471116
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	1,177 SF	10	7471131
Fire Alarm & Electronic Systems						
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	4,177 SF	10	7472652
D7030	Throughout building	Fair	Security/Surveillance System, Full System Installation, Average Density, Install	4,177 SF	5	7472653
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	4,177 SF	10	7472647

Component Condition Report | Grand View Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Equipment & Furnishings						
E1070	Stage	Fair	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	200 SF	5	7472643
E2010	Throughout Building	Fair	Casework, Countertop, Plastic Laminate	20 LF	5	7472655
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	20 LF	10	7472654
Accessibility						
Y1040	Throughout Building	NA	ADA Elevators, Wheelchair Lift, Up to One Floor, Install	1	0	7472642

Component Condition Report | Grand View Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Throughout building	Fair	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	1,500 SF	4	7471143
B2020	Throughout building	Fair	Glazing, any type by SF	500 SF	5	7471132

Component Condition Report | Grand View Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2050	Throughout building	Fair	Exterior Door, Steel, Standard	3	10	7471146
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	1,723 SF	10	7471139
Interiors						
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,723 SF	5	7471141
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	2,585 SF	3	7471147
C2010	Throughout building	Fair	Wall Finishes, Ceramic Tile	100 SF	9	7472659
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	4	7471135
C2030	Throughout building	Fair	Flooring, Ceramic Tile	60 SF	9	7472658
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	663 SF	5	7471142
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	5	7471148

Component Condition Report | Grand View Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Toilet, Commercial Water Closet	2	5	7471137
D2010	Throughout building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	4	7471134
HVAC						
D3030	Utility closet	Fair	Split System, Fan Coil Unit, DX	1	4	7471133
D3030	Throughout building	Fair	Split System, Condensing Unit/Heat Pump	1	4	7471138
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	1,723 SF	4	7471145
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	1,723 SF	5	7471144
Electrical						
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	1,723 SF	4	7471136
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	1,723 SF	7	7472664
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,723 SF	10	7472662

Component Condition Report | Grand View Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	1,723 SF	10	7472660
Fire Alarm & Electronic Systems						
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	1,723 SF	10	7472665
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	1,723 SF	10	7472661
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Cabinetry Economy	10 LF	4	7471140

Component Condition Report | Grand View Elementary School / Building F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	2,000 SF	4	7472774
B2010		Fair	Exterior Walls, any painted surface, Prep & Paint	2,000 SF	2	7472773

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building exterior	Fair	Window, Aluminum Double-Glazed, 16-25 SF	4	4	7471226
B2050	Building exterior	Fair	Exterior Door, Steel, Standard	4	3	7471235
Roofing						
B3010	Roof	Poor	Roofing, Modified Bitumen	4,455 SF	2	7471223
B3020	Building Exterior	Poor	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	2	7472772
Interiors						
C1030	Throughout building	Fair	Door Hardware, School, per Door	5	4	7471225
C1030	Throughout building	Fair	Interior Door, Wood, Solid-Core	4	10	7471230
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	4,455 SF	5	7471231
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Standard	4,455 SF	5	7471224
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	4,455 SF	2	7471232
Plumbing						

Component Condition Report | Grand View Elementary School / Building F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,455 SF	10	7471229
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	5	4	7471227
D2010	Throughout building	Fair	Drinking Fountain, Wall-Mounted, Single-Level	1	5	7471222
HVAC						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON	5	3	7471234
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	4,455 SF	5	7471228
Electrical						
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	4,455 SF	5	7471236
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,455 SF	10	7471233
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	4,455 SF	3	7472766
Fire Alarm & Electronic Systems						

Component Condition Report | Grand View Elementary School / Building F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	4,455 SF	10	7472769
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	4,455 SF	7	7471221
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	4,455 SF	10	7472767

Equipment & Furnishings

E2010	Throughout building	Fair	Casework, Cabinetry, Economy	100 LF	2	7472770
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	100 LF	2	7472771

Component Condition Report | Grand View Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Fair	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	3,000 SF	4	7471211
B2020	Building Exterior	Fair	Glazing, any type by SF	2,000 SF	15	7471202

Component Condition Report | Grand View Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	14	10	7471215
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	5,590 SF	11	7472817
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	10	7472819
Interiors						
C1030	Throughout Building	Fair	Door Hardware, Office, per Door	14	5	7472823
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,590 SF	10	7471217
C1090	Restroom	Fair	Toilet Partitions, Plastic/Laminate	3	10	7472821
C2010	Throughout Building	Fair	Wall Finishes, Ceramic Tile	1,000 SF	10	7471200
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	8,385 SF	4	7472818
C2030	Throughout Building	Fair	Flooring, Luxury Vinyl Tile (LVT)	4,590 SF	9	7471208
C2030	Restroom	Fair	Flooring, Ceramic Tile	1,000 SF	10	7471199

Component Condition Report | Grand View Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	4	7471209
Plumbing						
D2010	Throughout Building	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	7471205
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	5	7471213
D2010	Throughout Building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	6	5	7471212
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,590 SF	10	7471210
D2010	Restroom	Fair	Toilet, Commercial Water Closet	5	5	7471220
D2010	Restroom	Fair	Urinal, Standard	2	5	7471206
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON	5	10	7471204
D3050	Throughout Building	Fair	HVAC System, Ductwork, Low Density	5,590 SF	5	7472820
Electrical						

Component Condition Report | Grand View Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5030	Throughout Building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	5,590 SF	12	7471219
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,590 SF	10	7471216
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	5,590 SF	10	7472822
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	5,590 SF	10	7472824
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	5,590 SF	10	7472815
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Hardwood Standard	100 LF	12	7471218
E2010	Throughout Building	Fair	Casework, Countertop, Plastic Laminate	100 LF	5	7471203
Sitework						
G4050	Building Exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	5	10	7471214

Component Condition Report | Grand View Elementary School / Building I

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	16,905 SF	7	7471352
B2020	Building Exterior	Good	Glazing, any type by SF	3,000 SF	27	7473201
B2050	Building Exterior	Excellent	Exterior Door, Steel, Standard	23	37	7471355
Roofing						
B3010	Roof	Fair	Roofing, Single-Ply Membrane, TPO/PVC	10,003 SF	10	7473190
Interiors						
C1030	Doors	Good	Door Hardware, School, per Door	23	27	7473200
C1070	Throughout building	Good	Suspended Ceilings, Acoustical Tile (ACT)	16,000 SF	22	7471334
C1090	Restroom	Good	Toilet Partitions, Plastic/Laminate	5	17	7473195
C2010	Throughout building	Good	Wall Finishes, any surface, Prep & Paint	1,000 SF	7	7471330
C2010	Restroom	Excellent	Wall Finishes, Ceramic Tile	1,000 SF	37	7471351
C2030	Restroom	Excellent	Flooring, Ceramic Tile	1,000 SF	37	7471323
C2030	Throughout building	Good	Flooring, Luxury Vinyl Tile (LVT)	15,905 SF	12	7471322

Component Condition Report | Grand View Elementary School / Building I

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	905 SF	7	7471328
Conveying						
D1010	Elevator	Excellent	Passenger Elevator, Hydraulic, 2 Floors, Renovate	1	27	7471356
D1010	Elevator	Good	Elevator Cab Finishes, Standard	1	12	7471348
D1010	Mechanical Room	Good	Elevator Controls, Automatic, 1 Car	1	17	7471324
Plumbing						
D2010	Utility room	Good	Water Heater, Electric, Commercial (12 kW)	1	17	7471327
D2010	Throughout building	Good	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	16,905 SF	37	7473205
D2010	Building Exterior	Good	Drinking Fountain, Wall-Mounted, Bi-Level	2	12	7471326
D2010	Throughout building	Excellent	Sink/Lavatory, Drop-In Style, Stainless Steel	10	27	7471332
D2010	Restroom	Good	Water Heater, Electric,	1	12	7473199
D2010	Restroom	Good	Sink/Lavatory, Wall-Hung, Vitreous China	8	26	7473194
D2010	Restroom	Excellent	Toilet, Commercial Water Closet	5	27	7471347
D2010	Utility Room	Excellent	Sink/Lavatory, Service Sink, Floor	1	32	7471325

Component Condition Report | Grand View Elementary School / Building I

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restroom	Excellent	Urinal, Standard	1	27	7471329
HVAC						
D3030	Throughout building	Good	Split System, Interior & Exterior Component Pairing, 2 TON	3	12	7471350
D3030	Throughout building	Good	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON	10	17	7471337
D3050	Throughout building	Good	HVAC System, Ductwork, Low Density	16,905 SF	27	7473196
Fire Protection						
D4010	Throughout building	Good	Fire Suppression System, Existing Sprinkler Heads, by SF	16,905 SF	22	7471344
Electrical						
D5020	Site-Building front elevation	Excellent	Secondary Transformer, Dry, Stepdown	1	30	7471336
D5020	Throughout building	Excellent	Distribution Panel, 120/208 V	1	27	7471353
D5030	Throughout building	Excellent	Electrical System, Wiring & Switches, Average or Low Density/Complexity	16,905 SF	37	7471335
D5030	Throughout building	Good	Internet Technology, Equipment, Capacity, Wiring and Wireless	16,905 SF	12	7473191

Component Condition Report | Grand View Elementary School / Building I

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5040	Throughout building	Good	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	16,905 SF	17	7471341
Fire Alarm & Electronic Systems						
D6060	Throughout building	Good	Intercom/PA System, Intercom System Upgrade, Facility-Wide	16,905 SF	17	7473192
D7030	Throughout building	Good	Security/Surveillance System, Full System Upgrade, Average Density	16,905 SF	12	7473193
D7050	Throughout building	Good	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	16,905 SF	17	7471331
Equipment & Furnishings						
E2010	Throughout building	Good	Casework, Cabinetry, Hardwood Standard	300 LF	17	7471342
E2010	Throughout building	Good	Casework, Countertop, Plastic Laminate	150 LF	12	7471345
Sitework						
G4050	Building Exterior	Good	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	20	17	7473203

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Throughout Building	Good	Exterior Walls, any painted surface, Prep & Paint	16,330 SF	8	7473161
B2020	Building Exerior	Excellent	Glazing, any type by SF	4,000 SF	28	7473186
B2050	Building Exerior	Excellent	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	6	28	7473183
B2050	Building Exerior	Excellent	Exterior Door, Steel, Standard	5	38	7473184
Roofing						
B3010	Roof	Good	Roofing, Single-Ply Membrane, TPO/PVC	12,364 SF	17	7471387
Interiors						
C1030	Throughout Building	Excellent	Interior Door, Aluminum-Framed & Glazed, Standard Swing	5	37	7471394
C1030	Throughout Building	Excellent	Interior Door, Wood, Solid-Core	14	37	7471401
C1070	Throughout Building	Good	Suspended Ceilings, Acoustical Tile (ACT)	13,000 SF	22	7473164
C1090	Restroom	Excellent	Toilet Partitions, Plastic/Laminate	14	18	7473176
C2010	Restroom	Excellent	Wall Finishes, Ceramic Tile	1,000 SF	38	7473187

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout Building	Good	Wall Finishes, any surface, Prep & Paint	25,358 SF	8	7473162
C2030	Throughout Building	Good	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	3,917 SF	7	7473163
C2030	Throughout Building	Good	Flooring, Luxury Vinyl Tile (LVT)	10,000 SF	12	7473159
C2030	Throughout Building	Good	Flooring, Vinyl Tile (VCT)	3,000 SF	12	7473160
C2050	Throughout Building	Good	Ceiling Finishes, any flat surface, Prep & Paint	3,971 SF	8	7473165
Conveying						
D1010	Throughout Building	Excellent	Elevator Controls, Automatic, 1 Car	1	18	7473185
D1010	Elevator	Good	Elevator Cab Finishes, Standard	1	13	7473168
D1010	Throughout Building	Excellent	Passenger Elevator, Hydraulic, 3 Floors, Renovate	1	28	7471393
Plumbing						
D2010		Excellent	Sink/Lavatory, Wall-Hung, Vitreous China	19	28	7473179
D2010	Throughout Building	Good	Water Heater, Gas	1	12	7471381

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Janitor	Excellent	Sink/Lavatory, Service Sink, Floor	2	32	7471412
D2010	Kitchen	Excellent	Sink/Lavatory, Commercial Kitchen, 3-Bowl	1	27	7471411
D2010	Building Exerior	Good	Drinking Fountain, Wall-Mounted, Bi-Level	3	12	7471384
D2010	Restroom	Excellent	Sink/Lavatory, Wall-Hung, Vitreous China	3	27	7471395
D2010	Throughout Building	Excellent	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	16,917 SF	37	7471408
D2010	Throughout Building	Excellent	Sink/Lavatory, Drop-In Style, Stainless Steel	1	27	7471400
D2010	Kitchen	Excellent	Sink/Lavatory, Commercial Kitchen, 1-Bowl	3	27	7471390
D2010	Throughout Building	Good	Water Heater, Gas	1	13	7471397
D2010	Restroom	Excellent	Toilet, Commercial Water Closet	17	28	7473177
D2010	Restroom	Excellent	Urinal, Standard	3	27	7471383
HVAC						
D3030	Throughout Building	Good	Split System, Interior & Exterior Component Pairing, 2 TON	4	12	7471405
D3030	Roof	Good	Split System, Condensing Unit/Heat Pump, 8 to 10 TON	1	12	7471382

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Throughout Building	Excellent	HVAC System, Ductwork, Low Density	16,917 SF	28	7473171
D3050	Roof	Excellent	Packaged Unit, RTU, Pad or Roof-Mounted, 5 TON	1	18	7473167
D3050	Roof	Excellent	Packaged Unit, RTU, Pad or Roof-Mounted, 8 to 10 TON	2	20	7471379
D3050	Roof	Excellent	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON	1	18	7471391
D3050	Roof	Excellent	Packaged Unit, RTU, Pad or Roof-Mounted, 13 to 15 TON	2	20	7471386
D3060	Kitchen	Excellent	Supplemental Components, Air Curtain, 5' Wide Heated	2	20	7471392
D3060	Roof	Good	Exhaust Fan, Centrifugal, 24" Damper, 2001 to 5000 CFM	4	22	7471385
Fire Protection						
D4010	Throughout Building	Excellent	Fire Suppression System, Existing Sprinkler Heads, by SF	16,917 SF	23	7473170
Electrical						
D5020	Electrical room	Excellent	Distribution Panel, 277/480 V	1	27	7471396

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Electrical room	Excellent	Secondary Transformer, Dry, Stepdown	1	28	7471402
D5020	Electrical room	Excellent	Distribution Panel, 120/208 V	1	28	7471403
D5030	Throughout Building	Excellent	Electrical System, Wiring & Switches, Average or Low Density/Complexity	16,917 SF	38	7473174
D5030	Throughout Building	Good	Internet Technology, Equipment, Capacity, Wiring and Wireless	16,917 SF	13	7473172
D5040	Throughout Building	Excellent	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	16,917 SF	18	7473169
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Excellent	Intercom/PA System, Intercom System Upgrade, Facility-Wide	16,917 SF	18	7473173
D7030	Throughout Building	Good	Security/Surveillance System, Full System Upgrade, Average Density	16,917 SF	13	7473188
D7050	Throughout Building	Good	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	16,917 SF	17	7471406
Equipment & Furnishings						
E1030	Kitchen	Good	Foodservice Equipment, Exhaust Hood, 3 to 6 LF	1	13	7473189

Component Condition Report | Grand View Elementary School / Building J

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030	Throughout Building	Good	Foodservice Equipment, Freezer, 2-Door Reach-In	1	12	7471409
E1030	Kitchen	Good	Foodservice Equipment, Convection Oven, Double	1	7	7471380
E2010	Throughout Building	Excellent	Casework, Cabinetry, Economy	200 LF	18	7473180
E2010	Throughout Building	Good	Casework, Countertop, Plastic Laminate	100 LF	13	7473182

Component Condition Report | Grand View Elementary School / Building L

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building exterior	Poor	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	2,500 SF	1	7471279
B2020	Throughout building	Fair	Window, Aluminum Double-Glazed, up to 15 SF	6	3	7471270
B2050	Building exterior	Fair	Exterior Door, Steel, Standard	3	4	7471285
B2050	Restrooms	Poor	Exterior Door, Steel, Standard	2	1	7473120

Component Condition Report | Grand View Elementary School / Building L

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Roofing						
B3010	Roof	Poor	Roofing, Modified Bitumen	4,178 SF	2	7471284
B3020	Building exterior	Poor	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	2	7473113
Interiors						
C1030	Doors	Fair	Door Hardware, Office, per Door	6	3	7473115
C1070	Throughout building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	4,178 SF	1	7471262
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	8	4	7471265
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Standard	6,267 SF	4	7471264
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	3,000 SF	3	7471283
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	1,178 SF	4	7471261
Plumbing						
D2010	Boy Restroom	Failed	Urinal, Standard	1	0	7471278
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	7	4	7471272
D2010	Boy Restroom	Fair	Urinal, Standard	2	4	7471274

Component Condition Report | Grand View Elementary School / Building L

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	4	7471263
D2010	Building exterior	Fair	Sink/Lavatory, Pedestal, Vitreous China	4	9	7471267
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,178 SF	3	7473121
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	3	4	7471269
HVAC						
D3030	Building exterior	Good	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON	3	13	7473116
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	4,178 SF	5	7473107
Electrical						
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,178 SF	5	7473126
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	4,178 SF	5	7473108
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	4,178 SF	2	7471276

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Fire Alarm & Electronic Systems						
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	4,178 SF	3	7471271
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	4,178 SF	4	7471277
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	4,178 SF	5	7473110
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Cabinetry Economy	120 LF	3	7471268
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	60 LF	3	7471266
Sitework						
G4050	Building exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	6	3	7471273

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						

Component Condition Report | Grand View Elementary School / Building M

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2010	Building exterior	Fair	Exterior Walls, any painted surface, Prep & Paint	3,407 SF	3	7471250
B2020	Throughout building	Fair	Window, Aluminum Double-Glazed, up to 15 SF	4	7	7471246
B2050	Restrooms	Poor	Exterior Door, Steel, Standard	2	0	7471239
B2050	Building exterior	Fair	Exterior Door, Steel, Standard	4	3	7471254
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	3,407 SF	5	7471255
B3020	Building exterior	Poor	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	150 LF	0	7473093
Interiors						
C1030	Doors	Fair	Door Hardware, Office, per Door	6	3	7473094
C1070	Restrooms	Poor	Suspended Ceilings, Acoustical Tile (ACT)	407 SF	0	7473089
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,000 SF	4	7471251
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	8	3	7473090
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Standard	5,111 SF	4	7471245

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Throughout building	Fair	Flooring, Carpet, Commercial Standard	3,407 SF	3	7471257
C2030	Throughout building	Fair	Flooring, Vinyl Tile (VCT)	407 SF	3	7473088
Plumbing						
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	8	4	7471238
D2010	Restrooms	Fair	Urinal, Standard	3	4	7471240
D2010	Building exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	4	7471256
D2010	Restrooms	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	4	7471242
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	5	5	7471258
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,407 SF	3	7471248
HVAC						
D3030	Building exterior	Good	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON	1	13	7471237
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	3,407 SF	5	7473096
Electrical						

Component Condition Report | Grand View Elementary School / Building M

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,407 SF	5	7471241
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	3,407 SF	5	7471252
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	3,407 SF	5	7471249
Fire Alarm & Electronic Systems						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	3,407 SF	5	7473095
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	3,407 SF	5	7471243
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Cabinetry Economy	50 LF	5	7471244
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	30 LF	4	7471247
Sitework						
G4050	Throughout building	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	8	10	7473091

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2020		Fair	Glazing, any type by SF	3,000 SF	11	7471165
B2050		Fair	Exterior Door, Steel, Standard	14	10	7471173
Roofing						
B3010		Fair	Roofing, Modified Bitumen	5,711 SF	11	7471149
B3020		Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	400 LF	10	7472714
Interiors						
C1030		Fair	Door Hardware, Office, per Door	14	10	7472715
C1070		Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,711 SF	9	7471171
C1070		Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,711 SF	5	7471156
C1090		Fair	Toilet Partitions, Plastic/Laminate	4	10	7472716
C2010		Fair	Wall Finishes, any surface, Prep & Paint	8,567 SF	4	7471175
C2010		Fair	Wall Finishes, Ceramic Tile	711 SF	10	7471150
C2030		Fair	Flooring, Vinyl Tile (VCT)	1,000 SF	5	7471163
C2030		Fair	Flooring, Carpet, Commercial Standard	4,000 SF	4	7471152
C2030		Fair	Flooring, Ceramic Tile	1,000 SF	10	7471157
Plumbing						

Component Condition Report | Grand View Elementary School / Building E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010		Fair	Water Heater, Gas	1	9	7471174
D2010		Fair	Sink/Lavatory, Vanity Top, Stainless Steel	5	14	7471159
D2010		Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	5	7471151
D2010	Throughout building	Fair	Sink/Lavatory, Service Sink, Wall-Hung	1	5	7471172
D2010		Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,711 SF	11	7472713
D2010		Fair	Sink/Lavatory, Wall-Hung, Vitreous China	6	10	7471153
D2010		Fair	Urinal, Standard	2	10	7471169
D2010		Fair	Toilet, Commercial Water Closet	4	15	7471160
HVAC						
D3030		Fair	Air Conditioner, Window/Thru-Wall	1	4	7471161
D3030	Site	Fair	Split System, Condensing Unit/Heat Pump, 4 TON	5	4	7471167
D3030		Fair	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON	5	11	7471162
D3050		Fair	HVAC System, Ductwork, Low Density	5,711 SF	10	7471170
Electrical						
D5030		Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,711 SF	10	7471164

Component Condition Report | Grand View Elementary School / Building E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5030		Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	5,711 SF	5	7472711
D5040		Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	5,711 SF	10	7471158
Fire Alarm & Electronic Systems						
D6060		Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	5,711 SF	10	7472712
D7030		Fair	Security/Surveillance System, Full System Installation, Average Density, Install	5,711 SF	5	7472710
D7050		Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	5,711 SF	10	7471154
Equipment & Furnishings						
E2010		Fair	Casework, Cabinetry, Hardwood Standard	100 LF	11	7471166
Sitework						
G4050		Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	6	10	7471168

Component Condition Report | Grand View Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2020	Building exterior	Fair	Glazing, any type by SF	2,000 SF	11	7471176
B2050	Building exterior	Fair	Exterior Door, Steel, Standard	12	10	7472807
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	6,525 SF	11	7471193
B3020	Throughout building	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	10	7472813
Interiors						
C1030	Throughout building	Fair	Door Hardware, Office, per Door	12	10	7472808
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	4,525 SF	5	7471196
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	9,790 SF	4	7472775
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	1,000 SF	10	7471177
C2030	Restrooms	Fair	Flooring, Ceramic Tile	1,000 SF	20	7471182
C2030	Throughout building	Fair	Flooring, Luxury Vinyl Tile (LVT)	5,525 SF	11	7471192

Component Condition Report | Grand View Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	2,000 SF	4	7471191
Plumbing						
D2010	Throughout building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	5	10	7471187
D2010	Throughout building	Fair	Toilet, Commercial Water Closet	5	10	7471178
D2010	Throughout building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	5	7471198
D2010	Throughout building	Fair	Sink/Lavatory, Service Sink, Floor	1	5	7471179
D2010	Throughout building	Fair	Water Heater, Gas, Residential	1	5	7471197
D2010	Restrooms	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	3	5	7471195
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5 SF	10	7472809
D2010	Restrooms	Fair	Urinal, Standard	2	5	7471185
HVAC						
D3030	Building exterior	Fair	Heat Pump, Packaged & Wall-Mounted	5	3	7471189

Component Condition Report | Grand View Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	6,525 SF	5	7471181
Electrical						
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	6,525 SF	5	7472812
Fire Alarm & Electronic Systems						
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	6,525 SF	5	7471188
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	6,525 SF	10	7471190
Equipment & Furnishings						
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	100 LF	5	7472811
E2010	Throughout building	Fair	Casework, Cabinetry, Economy	100 LF	10	7472810
Sitework						
G4050	Throughout building	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	10	10	7471194
G4050	Throughout building	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	5	10	7472814

Component Condition Report | Grand View Elementary School / Building K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2020	Building exterior	Good	Glazing, any type by SF	2,000 SF	25	7471310
B2050	Building exterior	Good	Exterior Door, Steel, Standard	10	35	7471296
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	4,315 SF	10	7473213
Interiors						
C1030	Doors	Good	Door Hardware6, Office, per Door	16	25	7473148
C1030	Throughout building	Good	Interior Door, Wood, Solid-Core	6	35	7471307
C1070	Throughout building	Good	Suspended Ceilings, Acoustical Tile (ACT)	4,000 SF	20	7471298
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	1,000 SF	6	7471299
C2010	Throughout building	Good	Wall Finishes, Acoustical Tile (ACT), Standard	6,000 SF	20	7471300
C2010	Restroom	Excellent	Wall Finishes, Ceramic Tile	500 SF	40	7471304
C2030	Throughout building	Good	Flooring, Luxury Vinyl Tile (LVT)	4,000 SF	10	7471306

Component Condition Report | Grand View Elementary School / Building K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Throughout building	Good	Flooring, Ceramic Tile	315 SF	35	7471289
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	315 SF	7	7471302
Plumbing						
D2010	Utility closet	Good	Water Heater, Electric, Commercial (12 kW)	1	16	7471297
D2010	Building exterior	Good	Drinking Fountain, Wall-Mounted, Bi-Level	2	10	7471301
D2010	Utility closet	Good	Sink/Lavatory, Service Sink, Floor	1	30	7471286
D2010	Throughout building	Good	Sink/Lavatory, Vanity Top, Stainless Steel	3	25	7471295
D2010	Throughout Building	Good	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	4,315 SF	35	7473158
HVAC						
D3030	Site	Good	Split System, Interior & Exterior Component Pairing, 2 TON	1	11	7471287
D3030	Throughout building	Good	Heat Pump, Packaged & Wall-Mounted	1	15	7471294
D3050	Throughout building	Good	HVAC System, Ductwork, Low Density	4,315 SF	25	7473145

Component Condition Report | Grand View Elementary School / Building K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Electrical						
D5020	Utility closet	Good	Distribution Panel, 277/480 V	1	26	7471309
D5020	Utility closet	Good	Distribution Panel, 120/208 V	1	26	7471292
D5020	Utility closet	Excellent	Secondary Transformer, Dry, Stepdown	1	27	7471291
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	4,315 SF	20	7473146
D5030	Throughout building	Good	Internet Technology, Equipment, Capacity, Wiring and Wireless	4,315 SF	10	7473156
D5040	Throughout building	Good	Interior Lighting System6472.5, Full Upgrade, Low Density & Standard Fixtures	4,315 SF	15	7473144
Fire Alarm & Electronic Systems						
D6060	Throughout building	Good	Intercom/PA System, Intercom System Upgrade, Facility-Wide	4,315 SF	15	7473157
D7050	Utility closet	Good	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	4,315 SF	15	7471305
Equipment & Furnishings						
E2010	Throughout building	Good	Casework, Cabinetry, Economy	100 LF	15	7473153
E2010	Throughout building	Good	Casework, Countertop, Plastic Laminate	60 LF	10	7473154

Component Condition Report | Grand View Elementary School / Building K

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Sitework						
G4050	Utility closet	Good	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W	6	15	7471293

Component Condition Report | Grand View Elementary School / Building TK

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2020	Building Exterior	Good	Glazing, any type by SF	2,000 SF	25	7472861
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	6	25	7472853
Roofing						
B3010	Throughout building	Fair	Roofing, Modified Bitumen	4,254 SF	10	7472876
B3020	Throughout building	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	200 LF	10	7472878
Interiors						
C1030	Doors	Fair	Door Hardware, Office, per Door	6	15	7472864
C1070	Throughout building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	2,000 SF	10	7472852

Component Condition Report | Grand View Elementary School / Building TK

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout building	Fair	Wall Finishes, Acoustical Tile (ACT), Standard	4,000 SF	15	7472866
C2010	Restroom	Fair	Wall Finishes, Ceramic Tile	386 SF	25	7472855
C2030	Throughout building	Fair	Flooring, Ceramic Tile	500 SF	25	7472857
C2050	Throughout building	Good	Ceiling Finishes, any flat surface, Prep & Paint	924 SF	7	7472946
Plumbing						
D2010	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,924 SF	25	7471315
D2010	Throughout building	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	15	7471320
D2010	Restrooms	Fair	Toilet, Child-Sized	2	15	7471319
D2010	Throughout building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	15	7471316
D2010	Site- Building Rear Elevation	Fair	Drinking Fountain, Exterior/Site, Metal Pedestal	1	7	7471313
HVAC						
D3030	Building Rear Elevation	Good	Split System, Condensing Unit/Heat Pump	2	11	7471317

Component Condition Report | Grand View Elementary School / Building TK

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3030	Utility Closet- Building Front elevation	Good	Air Handler, Fan Coil Unit, DX	2	11	7471321
D3050	Throughout building	Fair	HVAC System, Ductwork, Low Density	2,924 SF	15	7471314
Electrical						
D5030	Throughout building	Fair	Internet Technology, Equipment, Capacity, Wiring and Wireless	2,924 SF	8	7472858
D5030	Throughout building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,924 SF	25	7472854
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	2,924 SF	10	7472870
Fire Alarm & Electronic Systems						
D6060	Throughout building	Fair	Intercom/PA System, Intercom System Upgrade, Facility-Wide	2,924 SF	10	7472874
D7030	Throughout building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	2,924 SF	8	7471318
D7050	Throughout building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	2,924 SF	10	7472875
Equipment & Furnishings						

Component Condition Report | Grand View Elementary School / Building TK

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E2010	Throughout building	Fair	Casework, Countertop, Plastic Laminate	7 LF	8	7472885
E2010	Throughout building	Fair	Casework, Cabinetry, Hardwood Standard	20 LF	10	7472872
Sitework						
G4050	Building Exterior	Fair	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W	3	10	7472871

Component Condition Report | Grand View Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Fire Protection						
D4010	Throughout Site	Good	Backflow Preventer, Fire Suppression	3	20	7471359
Electrical						
D5020	Throughout Site	Fair	Secondary Transformer, Dry, Stepdown	1	10	7471361
D5020	Throughout Site	Good	Switchboard, 277/480 V	1	30	7471373
Special Construction & Demo						
F1020	Throughout Site	Fair	Ancillary Building, Wood-Framed or CMU, Basic/Minimal	200 SF	5	7471369

Component Condition Report | Grand View Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Pedestrian Plazas & Walkways						
G2020	Parking lots	Good	Parking Lots, Pavement, Asphalt, Seal & Stripe	50,000 SF	4	7472318
G2020	Secondary Parking lot	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	25,000 SF	5	7472317
Athletic, Recreational & Playfield Areas						
G2050	Volleyball Court	Fair	Sports Apparatus, Volleyball Net	1	10	7472248
G2050	Basketball courts	Fair	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25,000 SF	10	7472450
G2050	Basketball Courts	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	8	5	7471365
G2050	Sport Field Between building A,B and C	Poor	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Seal & Stripe	5,000 SF	0	7472497
G2050	Site next to Building A right elevation	Fair	Playfield Surfaces, Rubber, Interlocking Tiles	3,500 SF	5	7471375
G2050	Throughout Site	Fair	Play Structure, Multipurpose, Medium	4	10	7471360
G2050	Soccer net	Fair	Sports Apparatus, Tennis/Volleyball, Net w/ Posts & Anchors	6	10	7471363

Component Condition Report | Grand View Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2050	Throughout Site	Fair	Playground Surfaces, Rubber, Poured-in-Place	5,000 SF	10	7472316
G2050	Sport Field Between building A,B and C	Poor	Athletic Surfaces & Courts, Sport Field / General, Asphalt Pavement, Mill & Overlay	5,000 SF	0	7472451
Sitework						
G2060	Throughout Site	Poor	Fences & Gates, Fence, Metal Tube 4'	1,000 LF	0	7471374
G2060	Throughout Site	Fair	Fences & Gates, Fence, Chain Link 8'	1,500 LF	10	7471367
G2060	Throughout Site	Fair	Picnic Table, Metal Powder-Coated	50	10	7472260
G2060	Throughout Site	Fair	Fences & Gates, Fence, Chain Link 4'	1,500 LF	10	7471362
G2060	Throughout Site	Fair	Fences & Gates, Fence, any Painted Surface, Prep & Paint	2,000 SF	5	7472502
G2080	Throughout Site	Fair	Irrigation System, Controllers & Valves, Repairs & Adjustments, Repair	125,000 SF	4	7471371
G4050	Throughout Site	Fair	Pole Light Fixture w/ Lamps, any type 30' High, w/ LED Replacement, Replace/Install	50	10	7471376

Appendix E:

Replacement Reserves

Replacement Reserves Report

6/14/2024

Location	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	
Grand View Elementary School	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Grand View Elementary School / Building A	\$0	\$0	\$0	\$0	\$33,691	\$14,646	\$29,632	\$108,849	\$0	\$0	\$2,100
Grand View Elementary School / Building B	\$0	\$0	\$35,781	\$0	\$148,964	\$0	\$0	\$107,770	\$0	\$0	\$2,100
Grand View Elementary School / Building C	\$28,200	\$0	\$0	\$0	\$68,810	\$135,388	\$0	\$0	\$0	\$0	\$1,050
Grand View Elementary School / Building D	\$0	\$0	\$0	\$4,779	\$50,004	\$59,226	\$0	\$13,027	\$0	\$4,239	\$1,050
Grand View Elementary School / Building E	\$0	\$0	\$0	\$0	\$90,204	\$99,574	\$0	\$0	\$0	\$31,332	\$1,050
Grand View Elementary School / Building F	\$0	\$0	\$194,336	\$72,579	\$25,011	\$111,965	\$0	\$12,361	\$0	\$0	\$1,050
Grand View Elementary School / Building G	\$0	\$0	\$0	\$33,896	\$23,722	\$122,134	\$0	\$0	\$0	\$0	\$1,050
Grand View Elementary School / Building H	\$0	\$0	\$0	\$0	\$32,473	\$56,465	\$0	\$0	\$0	\$50,666	\$2,100
Grand View Elementary School / Building I	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$74,949	\$0	\$0	\$2,100
Grand View Elementary School / Building J	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,638	\$135,703	\$0	
Grand View Elementary School / Building K	\$0	\$0	\$0	\$0	\$0	\$0	\$2,020	\$874	\$0	\$0	\$1,050
Grand View Elementary School / Building L	\$1,241	\$40,646	\$93,977	\$119,817	\$113,604	\$70,751	\$0	\$0	\$0	\$11,774	
Grand View Elementary School / Building M	\$4,483	\$0	\$0	\$80,542	\$89,490	\$139,801	\$0	\$3,607	\$0	\$0	
Grand View Elementary School / Building TK	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,645	\$31,627	\$0	\$1,050
Grand View Elementary School / Site	\$60,630	\$0	\$0	\$0	\$92,044	\$354,703	\$0	\$0	\$0	\$33,115	\$1,050
Grand Total	\$94,554	\$40,646	\$324,094	\$311,614	\$768,016	\$1,164,653	\$31,652	\$345,719	\$167,330	\$131,126	\$3,150

Grand View Elementary School

Grand View Elementary School / Building A

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2010	7472626	Exterior Walls, any painted surface, Prep & Paint	10	6	4	1945	SF	\$3.38	\$6,582			
B2020	7471086	Window, Steel, up to 15 SF, Replace	30	24	6	20	EA	\$1,240.80	\$24,816			
B2050	7471110	Exterior Door, Steel, Standard, Replace	40	30	10	8	EA	\$676.80	\$5,414			

Replacement Reserves Report

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Unifor mat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B3010	7471094	Roofing, Modified Bitumen, Replace	20	10	10	4223	SF	\$11.28	\$47,635		
B3020	7472622	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	250	LF	\$10.15	\$2,538		
C1020	7472625	Interior Window, Fixed, 12 SF, Replace	40	30	10	3	EA	\$564.00	\$1,692		
C1030	7471098	Interior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	40	30	10	1	EA	\$1,466.40	\$1,466		
C1030	7471112	Interior Door, Wood, Solid-Core, Replace	40	20	20	10	EA	\$789.60	\$7,896		
C1030	7471085	Door Hardware, School, per Door, Replace	30	15	15	20	EA	\$451.20	\$9,024		
C1070	7471096	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	10	15	3223	SF	\$3.95	\$12,724		
C2010	7472561	Wall Finishes, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304		
C2010	7471102	Wall Finishes, any surface, Prep & Paint	10	6	4	6335	SF	\$1.69	\$10,719		
C2030	7472558	Flooring, Ceramic Tile, Replace	40	23	17	223	SF	\$20.30	\$4,528		
C2030	7472618	Flooring, Vinyl Tile (VCT), Replace	15	8	7	1000	SF	\$5.64	\$5,640		
C2030	7471088	Flooring, Luxury Vinyl Tile (LVT), Replace	15	8	7	3000	SF	\$8.46	\$25,380		
C2050	7472619	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	1000	SF	\$2.26	\$2,256		
D2010	7471099	Water Heater, Gas, Residential, Replace	15	8	7	1	EA	\$1,466.40	\$1,466		
D2010	7471113	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	30	10	4223	SF	\$5.64	\$23,818		
D2010	7471101	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	4	EA	\$1,692.00	\$6,768		
D2010	7471104	Toilet, Commercial Water Closet, Replace	30	25	5	4	EA	\$1,466.40	\$5,866		
D2010	7471103	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	8	7	2	EA	\$1,692.00	\$3,384		
D2010	7471100	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	15	15	2	EA	\$1,353.60	\$2,707		
D3030	7471108	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON, Replace	15	11	4	2	EA	\$5,188.80	\$10,378		
D3030	7471089	Split System, Condensing Unit/Heat Pump, Replace	15	8	7	1	EA	\$2,594.40	\$2,594		
D3030	7471106	Split System, Condensing Unit/Heat Pump, Replace	15	8	7	2	EA	\$5,865.60	\$11,731		
D3030	7471114	Computer Room AC Unit, Air-Cooled, CRAC Drycooler/Condenser, Replace	20	10	10	1	EA	\$2,481.60	\$2,482		
D3050	7471093	HVAC System, Ductwork, Low Density, Replace	30	15	15	4223	SF	\$2.26	\$9,527		
D5030	7471109	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	4223	SF	\$2.82	\$11,909		

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D5030	7472620	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	8	7	4223	SF	\$6.15	\$25,961			
D5040	7471105	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	4223	SF	\$2.37	\$10,003			
D6060	7472621	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	4223	SF	\$1.69	\$7,145			
D7030	7471095	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	8	7	4223	SF	\$2.26	\$9,527			
D7050	7471097	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	4223	SF	\$3.38	\$14,291			
E2010	7471092	Casework, Countertop, Plastic Laminate, Replace	15	8	7	50	LF	\$56.40	\$2,820			
E2010	7471111	Casework, Cabinetry, Hardwood Standard, Replace	20	10	10	100	LF	\$338.40	\$33,840			
G4050	7472623	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	10	EA	\$902.40	\$9,024			
G4050	7472624	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	10	10	5	EA	\$451.20	\$2,256			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building B

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal2024	2025	2026
B2010	7472628	Exterior Walls, any painted surface, Prep & Paint	10	6	4	3000	SF	\$3.38	\$10,152		
B2020	7471073	Glazing, any type by SF, Replace	30	15	15	1000	SF	\$62.04	\$62,040		
B2050	7471065	Exterior Door, Steel, Standard, Replace	40	30	10	5	EA	\$676.80	\$3,384		
B3010	7472631	Roofing, Modified Bitumen, Replace	20	10	10	7437	SF	\$11.28	\$83,889		
B3020	7472632	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	400	LF	\$10.15	\$4,061		
C1010	7471072	Interior Wall, Stone, Replace	50	30	20	20	SF	\$62.04	\$1,241		
C1030	7471066	Interior Door, Wood, Solid-Core, Replace	40	30	10	5	EA	\$789.60	\$3,948		
C1030	7472639	Door Hardware, Office, per Door, Replace	30	20	10	10	EA	\$394.80	\$3,948		
C1070	7471078	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	15	10	5437	SF	\$3.95	\$21,465		
C2010	7471079	Wall Finishes, any surface, Prep & Paint	10	6	4	11156	SF	\$1.69	\$18,876		

Replacement Reserves Report

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Unifor mat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
C2030	7471077	Flooring, Vinyl Tile (VCT), Replace	15	8	7	2000	SF	\$5.64	\$11,280			
C2030	7472627	Flooring, Luxury Vinyl Tile (LVT), Replace	15	8	7	1437	SF	\$8.46	\$12,157			
C2030	7471083	Flooring, Carpet, Commercial Standard, Replace	10	6	4	4000	SF	\$8.46	\$33,840			
C2050	7471074	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	3000	SF	\$2.26	\$6,768			
D2010	7471064	Plumbing System, Supply & Sanitary, Very Low Density (excludes fixtures), Replace	40	30	10	7437	SF	\$1.13	\$8,389			
D2010	7471068	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	8	7	1	EA	\$1,692.00	\$1,692			
D2010	7471070	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	15	15	2	EA	\$1,353.60	\$2,707			
D2010	7471067	Sink/Lavatory, Vanity Top, Enameled Steel, Replace	30	15	15	2	EA	\$1,240.80	\$2,482			
D3030	7471069	Air Conditioner, Window/Thru-Wall, 1.5 to 2 TON, Replace	10	8	2	1	EA	\$3,271.20	\$3,271			\$3,271
D3030	7472637	Split System, Condensing Unit/Heat Pump, 4 TON, Replace	15	11	4	2	EA	\$5,865.60	\$11,731			
D3030	7472638	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON, Replace	15	11	4	2	EA	\$5,188.80	\$10,378			
D5020	7471075	Secondary Transformer, Dry, Stepdown, Replace	30	28	2	1	EA	\$22,560.00	\$22,560			\$22,560
D5020	7471081	Distribution Panel, 120/208 V, Replace	30	28	2	1	EA	\$7,896.00	\$7,896			\$7,896
D5030	7472633	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	7437	SF	\$2.82	\$20,972			
D5030	7472640	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	8	7	7437	SF	\$6.15	\$45,720			
D5040	7471082	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	7437	SF	\$2.37	\$17,617			
D7030	7472635	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	8	7	7437	SF	\$2.26	\$16,778			
D7050	7472634	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	10	10	7437	SF	\$3.38	\$25,167			
E2010	7471076	Casework, Cabinetry, Hardwood Standard, Replace	20	16	4	120	LF	\$338.40	\$40,608			
E2010	7471084	Casework, Countertop, Natural Stone, Replace	50	30	20	60	LF	\$141.00	\$8,460			
G4050	7472629	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	10	EA	\$902.40	\$9,024			
G4050	7472630	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	10	10	10	EA	\$451.20	\$4,512			
Totals, Unescalated										\$0	\$0	\$33,727
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$35,781

Replacement Reserves Report

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Grand View Elementary School / Building C

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal2024	2025	2026
B2010	7471121	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	6	4	3000	SF	\$3.38	\$10,152		
B2020	7471123	Window, Steel, up to 15 SF, Replace	30	25	5	3	EA	\$1,240.80	\$3,722		
B2020	7471129	Glazing, any type by SF, Replace	30	25	5	500	SF	\$62.04	\$31,020		
B2050	7471120	Exterior Door, Steel, Standard, Replace	40	30	10	5	EA	\$676.80	\$3,384		
B3010	7471122	Roofing, Modified Bitumen, Replace	20	10	10	4177	SF	\$11.28	\$47,117		
B3020	7472656	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	200	LF	\$10.15	\$2,030		
C1030	7472648	Interior Door, Wood, Solid-Core, Replace	40	30	10	3	EA	\$789.60	\$2,369		
C2010	7472657	Wall Finishes, Ceramic Tile, Replace	40	30	10	200	SF	\$20.30	\$4,061		
C2010	7471127	Wall Finishes, any surface, Prep & Paint	10	6	4	6266	SF	\$1.69	\$10,602		
C2030	7471128	Flooring, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304		
C2030	7472641	Flooring, Vinyl Tile (VCT), Replace	15	10	5	3177	SF	\$5.64	\$17,918		
D2010	7472645	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	30	10	4177	SF	\$5.64	\$23,558		
D2010	7471119	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	2	EA	\$1,692.00	\$3,384		
D2010	7471115	Toilet, Commercial Water Closet, Replace	30	25	5	1	EA	\$1,466.40	\$1,466		
D2010	7471125	Sink/Lavatory, Commercial Kitchen, 1-Bowl, Replace	30	25	5	1	EA	\$1,804.80	\$1,805		
D2010	7471118	Sink/Lavatory, Commercial Kitchen, 3-Bowl, Replace	30	25	5	1	EA	\$2,820.00	\$2,820		
D2010	7471126	Sink/Lavatory, Service Sink, Floor, Replace	35	30	5	1	EA	\$902.40	\$902		
D3030	7471130	Split System, Condensing Unit/Heat Pump, Replace	15	11	4	1	EA	\$5,865.60	\$5,866		
D3030	7472644	Split System, Fan Coil Unit, DX, 3.5 to 5 TON, Replace	15	11	4	1	EA	\$5,188.80	\$5,189		
D3050	7471124	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	16	4	1	EA	\$22,560.00	\$22,560		
D3050	7472646	HVAC System, Ductwork, Low Density, Replace	30	25	5	4177	SF	\$2.26	\$9,423		
D3060	7471117	Exhaust Fan, Centrifugal, 24" Damper, 2001 to 5000 CFM, Replace	25	21	4	2	EA	\$3,384.00	\$6,768		
D5030	7471116	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	4177	SF	\$2.82	\$11,779		
D5030	7472650	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	10	5	4177	SF	\$6.15	\$25,679		

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal2024	2025	2026
D5040	7471131	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	1177	SF	\$2.37	\$2,788		
D6060	7472652	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	4177	SF	\$1.69	\$7,067		
D7030	7472653	Security/Surveillance System, Full System Installation, Average Density, Install	15	10	5	4177	SF	\$3.38	\$14,135		
D7050	7472647	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	10	10	4177	SF	\$3.38	\$14,135		
E1070	7472643	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour, Replace	15	10	5	200	SF	\$16.92	\$3,384		
E2010	7472655	Casework, Countertop, Plastic Laminate, Replace	15	10	5	20	LF	\$56.40	\$1,128		
E2010	7472654	Casework, Cabinetry, Economy, Replace	20	10	10	20	LF	\$197.40	\$3,948		
Y1040	7472642	ADA Elevators, Wheelchair Lift, Up to One Floor, Install	0	0	0	1	EA	\$28,200.00	\$28,200	\$28,200	
Totals, Unescalated									\$28,200	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)									\$28,200	\$0	\$0

Grand View Elementary School / Building D

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal2024	2025	2026
B2010	7471143	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	6	4	1500	SF	\$3.38	\$5,076		
B2020	7471132	Glazing, any type by SF, Replace	30	25	5	500	SF	\$62.04	\$31,020		
B2050	7471146	Exterior Door, Steel, Standard, Replace	40	30	10	3	EA	\$676.80	\$2,030		
B3010	7471139	Roofing, Modified Bitumen, Replace	20	10	10	1723	SF	\$11.28	\$19,435		
C1070	7471141	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	1723	SF	\$3.95	\$6,802		
C2010	7472659	Wall Finishes, Ceramic Tile, Replace	40	31	9	100	SF	\$20.30	\$2,030		
C2010	7471147	Wall Finishes, any surface, Prep & Paint	10	7	3	2585	SF	\$1.69	\$4,374		
C2030	7472658	Flooring, Ceramic Tile, Replace	40	31	9	60	SF	\$20.30	\$1,218		
C2030	7471142	Flooring, Vinyl Tile (VCT), Replace	15	10	5	663	SF	\$5.64	\$3,739		
C2030	7471135	Flooring, Carpet, Commercial Standard, Replace	10	6	4	1000	SF	\$8.46	\$8,460		
D2010	7471134	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	26	4	2	EA	\$1,692.00	\$3,384		
D2010	7471148	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	25	5	2	EA	\$1,353.60	\$2,707		

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D2010	7471137	Toilet, Commercial Water Closet, Replace	30	25	5	2	EA	\$1,466.40	\$2,933			
D3030	7471133	Split System, Fan Coil Unit, DX, Replace	15	11	4	1	EA	\$5,188.80	\$5,189			
D3030	7471138	Split System, Condensing Unit/Heat Pump, Replace	15	11	4	1	EA	\$5,865.60	\$5,866			
D3050	7471145	HVAC System, Ductwork, Low Density, Replace	30	26	4	1723	SF	\$2.26	\$3,887			
D3050	7471144	HVAC System, Ductwork, Low Density, Replace	30	25	5	1723	SF	\$2.26	\$3,887			
D5030	7472662	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	1723	SF	\$2.82	\$4,859			
D5030	7471136	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	15	11	4	1723	SF	\$6.15	\$10,592			
D5030	7472664	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	8	7	1723	SF	\$6.15	\$10,592			
D5040	7472660	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	1723	SF	\$2.37	\$4,081			
D6060	7472665	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	1723	SF	\$1.69	\$2,915			
D7050	7472661	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	10	10	1723	SF	\$3.38	\$5,831			
E2010	7471140	Casework, Cabinetry Economy, Replace	20	16	4	10	LF	\$197.40	\$1,974			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building E

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2020	7471165	Glazing, any type by SF, Replace	30	19	11	3000	SF	\$62.04	\$186,120			
B2050	7471173	Exterior Door, Steel, Standard, Replace	40	30	10	14	EA	\$676.80	\$9,475			
B3010	7471149	Roofing, Modified Bitumen, Replace	20	9	11	5711	SF	\$11.28	\$64,420			
B3020	7472714	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	400	LF	\$10.15	\$4,061			
C1030	7472715	Door Hardware, Office, per Door, Replace	30	20	10	14	EA	\$394.80	\$5,527			
C1070	7471156	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	5711	SF	\$3.95	\$22,547			
C1070	7471171	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	16	9	5711	SF	\$3.95	\$22,547			
C1090	7472716	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	4	EA	\$846.00	\$3,384			

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
C2010	7471150	Wall Finishes, Ceramic Tile, Replace	40	30	10	711	SF	\$20.30	\$14,436			
C2010	7471175	Wall Finishes, any surface, Prep & Paint	10	6	4	8567	SF	\$1.69	\$14,495			
C2030	7471157	Flooring, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304			
C2030	7471163	Flooring, Vinyl Tile (VCT), Replace	15	10	5	1000	SF	\$5.64	\$5,640			
C2030	7471152	Flooring, Carpet, Commercial Standard, Replace	10	6	4	4000	SF	\$8.46	\$33,840			
D2010	7471174	Water Heater, Gas, Replace	15	6	9	1	EA	\$1,466.40	\$1,466			
D2010	7472713	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	29	11	5711	SF	\$5.64	\$32,210			
D2010	7471151	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	1	EA	\$1,692.00	\$1,692			
D2010	7471172	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	30	5	1	EA	\$1,579.20	\$1,579			
D2010	7471153	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	20	10	6	EA	\$1,692.00	\$10,152			
D2010	7471169	Urinal, Standard, Replace	30	20	10	2	EA	\$1,240.80	\$2,482			
D2010	7471159	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	16	14	5	EA	\$1,353.60	\$6,768			
D2010	7471160	Toilet, Commercial Water Closet, Replace	30	15	15	4	EA	\$1,466.40	\$5,866			
D3030	7471161	Air Conditioner, Window/Thru-Wall, Replace	10	6	4	1	EA	\$2,481.60	\$2,482			
D3030	7471167	Split System, Condensing Unit/Heat Pump, 4 TON, Replace	15	11	4	5	EA	\$5,865.60	\$29,328			
D3030	7471162	Air Handler, Fan Coil Unit, DX, 3.5 to 5 TON, Replace	15	4	11	5	EA	\$5,188.80	\$25,944			
D3050	7471170	HVAC System, Ductwork, Low Density, Replace	30	20	10	5711	SF	\$2.26	\$12,884			
D5030	7471164	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	5711	SF	\$2.82	\$16,105			
D5030	7472711	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	10	5	5711	SF	\$6.15	\$35,109			
D5040	7471158	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	5711	SF	\$2.37	\$13,528			
D6060	7472712	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	5711	SF	\$1.69	\$9,663			
D7030	7472710	Security/Surveillance System, Full System Installation, Average Density, Install	15	10	5	5711	SF	\$3.38	\$19,326			
D7050	7471154	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	5711	SF	\$3.38	\$19,326			
E2010	7471166	Casework, Cabinetry, Hardwood Standard, Replace	20	9	11	100	LF	\$338.40	\$33,840			
G4050	7471168	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	6	EA	\$902.40	\$5,414			

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building F

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2010	7472773	Exterior Walls, any painted surface, Prep & Paint	10	8	2	2000	SF	\$5.08	\$10,152			\$10,152
B2010	7472774	Exterior Walls, any painted surface, Prep & Paint	10	6	4	2000	SF	\$3.38	\$6,768			
B2020	7471226	Window, Aluminum Double-Glazed, 16-25 SF, Replace	30	26	4	4	EA	\$1,607.40	\$6,430			
B2050	7471235	Exterior Door, Steel, Standard, Replace	40	37	3	4	EA	\$1,015.20	\$4,061			
B3010	7471223	Roofing, Modified Bitumen, Replace	20	18	2	4455	SF	\$16.92	\$75,379			\$75,379
B3020	7472772	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	18	2	200	LF	\$15.23	\$3,046			\$3,046
C1030	7471230	Interior Door, Wood, Solid-Core, Replace	40	30	10	4	EA	\$789.60	\$3,158			
C1030	7471225	Door Hardware, School, per Door, Replace	30	26	4	5	EA	\$451.20	\$2,256			
C1070	7471231	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	4455	SF	\$3.95	\$17,588			
C2010	7471224	Wall Finishes, Acoustical Tile (ACT), Standard, Replace	25	20	5	4455	SF	\$9.02	\$40,202			
C2030	7471232	Flooring, Carpet, Commercial Standard, Replace	10	8	2	4455	SF	\$12.69	\$56,534			\$56,534
D2010	7471229	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	30	10	4455	SF	\$5.64	\$25,126			
D2010	7471227	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	26	4	5	EA	\$1,353.60	\$6,768			
D2010	7471222	Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	10	5	1	EA	\$1,353.60	\$1,354			
D3030	7471234	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON, Replace	20	17	3	5	EA	\$9,306.00	\$46,530			
D3050	7471228	HVAC System, Ductwork, Low Density, Replace	30	25	5	4455	SF	\$2.26	\$10,050			
D5030	7471233	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	4455	SF	\$2.82	\$12,563			
D5030	7471236	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	15	10	5	4455	SF	\$6.15	\$27,388			
D5040	7472766	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	17	3	4455	SF	\$3.55	\$15,830			

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026	
D6060	7472769	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	4455	SF	\$1.69	\$7,538			
D7030	7471221	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	8	7	4455	SF	\$2.26	\$10,050			
D7050	7472767	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	10	10	4455	SF	\$3.38	\$15,076			
E2010	7472770	Casework, Cabinetry, Economy, Replace	20	18	2	100	LF	\$296.10	\$29,610		\$29,610	
E2010	7472771	Casework, Countertop, Plastic Laminate, Replace	15	13	2	100	LF	\$84.60	\$8,460		\$8,460	
Totals, Unescalated										\$0	\$0	\$183,180
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$194,336

Grand View Elementary School / Building G

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2020	7471176	Glazing, any type by SF, Replace	30	19	11	2000	SF	\$62.04	\$124,080		
B2050	7472807	Exterior Door, Steel, Standard, Replace	40	30	10	12	EA	\$676.80	\$8,122		
B3010	7471193	Roofing, Modified Bitumen, Replace	20	9	11	6525	SF	\$11.28	\$73,602		
B3020	7472813	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	200	LF	\$10.15	\$2,030		
C1030	7472808	Door Hardware, Office, per Door, Replace	30	20	10	12	EA	\$394.80	\$4,738		
C1070	7471196	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	4525	SF	\$3.95	\$17,865		
C2010	7471177	Wall Finishes, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304		
C2010	7472775	Wall Finishes, any surface, Prep & Paint	10	6	4	9790	SF	\$1.69	\$16,565		
C2030	7471182	Flooring, Ceramic Tile, Replace	40	20	20	1000	SF	\$20.30	\$20,304		
C2030	7471192	Flooring, Luxury Vinyl Tile (LVT), Replace	15	4	11	5525	SF	\$8.46	\$46,742		
C2050	7471191	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	2000	SF	\$2.26	\$4,512		
D2010	7471197	Water Heater, Gas, Residential, Replace	15	10	5	1	EA	\$1,466.40	\$1,466		
D2010	7472809	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	30	10	5	SF	\$5.64	\$28		
D2010	7471198	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	2	EA	\$1,692.00	\$3,384		

Replacement Reserves Report

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Unifomat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D2010	7471185	Urinal, Standard, Replace	30	25	5	2	EA	\$1,240.80	\$2,482			
D2010	7471179	Sink/Lavatory, Service Sink, Floor, Replace	35	30	5	1	EA	\$902.40	\$902			
D2010	7471195	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	3	EA	\$1,353.60	\$4,061			
D2010	7471187	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	20	10	5	EA	\$1,692.00	\$8,460			
D2010	7471178	Toilet, Commercial Water Closet, Replace	30	20	10	5	EA	\$1,466.40	\$7,332			
D3030	7471189	Heat Pump, Packaged & Wall-Mounted, Replace	20	17	3	5	EA	\$6,204.00	\$31,020			\$3
D3050	7471181	HVAC System, Ductwork, Low Density, Replace	30	25	5	6525	SF	\$2.26	\$14,720			
D5030	7472812	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	10	5	6525	SF	\$6.15	\$40,113			
D7030	7471188	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	6525	SF	\$2.26	\$14,720			
D7050	7471190	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	6525	SF	\$3.38	\$22,081			
E2010	7472811	Casework, Countertop, Plastic Laminate, Replace	15	10	5	100	LF	\$56.40	\$5,640			
E2010	7472810	Casework, Cabinetry, Economy, Replace	20	10	10	100	LF	\$197.40	\$19,740			
G4050	7471194	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	10	10	10	EA	\$451.20	\$4,512			
G4050	7472814	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	5	EA	\$902.40	\$4,512			
Totals, Unescalated										\$0	\$0	\$0 \$3
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0 \$3

Grand View Elementary School / Building H

Unifomat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2010	7471211	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	6	4	3000	SF	\$3.38	\$10,152			
B2020	7471202	Glazing, any type by SF, Replace	30	15	15	2000	SF	\$62.04	\$124,080			
B2050	7471215	Exterior Door, Steel, Standard, Replace	40	30	10	14	EA	\$676.80	\$9,475			
B3010	7472817	Roofing, Modified Bitumen, Replace	20	9	11	5590	SF	\$11.28	\$63,055			
B3020	7472819	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	200	LF	\$10.15	\$2,030			

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
C1030	7472823	Door Hardware, Office, per Door, Replace	30	25	5	14	EA	\$394.80	\$5,527			
C1070	7471217	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	15	10	3590	SF	\$3.95	\$14,173			
C1090	7472821	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	3	EA	\$846.00	\$2,538			
C2010	7471200	Wall Finishes, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304			
C2010	7472818	Wall Finishes, any surface, Prep & Paint	10	6	4	8385	SF	\$1.69	\$14,187			
C2030	7471199	Flooring, Ceramic Tile, Replace	40	30	10	1000	SF	\$20.30	\$20,304			
C2030	7471208	Flooring, Luxury Vinyl Tile (LVT), Replace	15	6	9	4590	SF	\$8.46	\$38,831			
C2050	7471209	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	2000	SF	\$2.26	\$4,512			
D2010	7471210	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	30	10	5590	SF	\$5.64	\$31,528			
D2010	7471212	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	6	EA	\$1,692.00	\$10,152			
D2010	7471206	Urinal, Standard, Replace	30	25	5	2	EA	\$1,240.80	\$2,482			
D2010	7471220	Toilet, Commercial Water Closet, Replace	30	25	5	5	EA	\$1,466.40	\$7,332			
D2010	7471213	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	10	5	2	EA	\$1,692.00	\$3,384			
D2010	7471205	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	30	5	1	EA	\$1,579.20	\$1,579			
D3030	7471204	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON, Replace	20	10	10	5	EA	\$6,204.00	\$31,020			
D3050	7472820	HVAC System, Ductwork, Low Density, Replace	30	25	5	5590	SF	\$2.26	\$12,611			
D5030	7471216	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	5590	SF	\$2.82	\$15,764			
D5030	7471219	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	15	3	12	5590	SF	\$6.15	\$34,365			
D5040	7472822	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	5590	SF	\$2.37	\$13,242			
D6060	7472824	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	5590	SF	\$1.69	\$9,458			
D7050	7472815	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	20	10	10	5590	SF	\$3.38	\$18,917			
E2010	7471203	Casework, Countertop, Plastic Laminate, Replace	15	10	5	100	LF	\$56.40	\$5,640			
E2010	7471218	Casework, Cabinetry, Hardwood Standard, Replace	20	8	12	100	LF	\$338.40	\$33,840			
G4050	7471214	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	5	EA	\$902.40	\$4,512			
Totals, Unescalated										\$0	\$0	\$0

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building I

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
B2010	7471352	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	3	7	16905	SF	\$3.38	\$57,207			
B3010	7473190	Roofing, Single-Ply Membrane, TPO/PVC, Replace	20	10	10	10003	SF	\$19.18	\$191,818			
C1090	7473195	Toilet Partitions, Plastic/Laminate, Replace	20	3	17	5	EA	\$846.00	\$4,230			
C2010	7471330	Wall Finishes, any surface, Prep & Paint	10	3	7	1000	SF	\$1.69	\$1,692			
C2030	7471322	Flooring, Luxury Vinyl Tile (LVT), Replace	15	3	12	15905	SF	\$8.46	\$134,556			
C2050	7471328	Ceiling Finishes, any flat surface, Prep & Paint	10	3	7	905	SF	\$2.26	\$2,042			
D1010	7471348	Elevator Cab Finishes, Standard, Replace	15	3	12	1	EA	\$10,152.00	\$10,152			
D1010	7471324	Elevator Controls, Automatic, 1 Car, Replace	20	3	17	1	EA	\$5,640.00	\$5,640			
D2010	7473199	Water Heater, Electric,, Replace	15	3	12	1	EA	\$1,804.80	\$1,805			
D2010	7471327	Water Heater, Electric, Commercial (12 kW), Replace	20	3	17	1	EA	\$13,987.20	\$13,987			
D2010	7471326	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	3	12	2	EA	\$1,692.00	\$3,384			
D3030	7471350	Split System, Interior & Exterior Component Pairing, 2 TON, Replace	15	3	12	3	EA	\$5,448.24	\$16,345			
D3030	7471337	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON, Replace	20	3	17	10	EA	\$6,204.00	\$62,040			
D5030	7473191	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	3	12	16905	SF	\$6.15	\$103,925			
D5040	7471341	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	3	17	16905	SF	\$2.37	\$40,045			
D6060	7473192	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	3	17	16905	SF	\$1.69	\$28,603			
D7030	7473193	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	3	12	16905	SF	\$2.26	\$38,138			
D7050	7471331	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	3	17	16905	SF	\$3.38	\$57,207			
E2010	7471345	Casework, Countertop, Plastic Laminate, Replace	15	3	12	150	LF	\$56.40	\$8,460			
E2010	7471342	Casework, Cabinetry, Hardwood Standard, Replace	20	3	17	300	LF	\$338.40	\$101,520			

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
G4050	7473203	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	3	17	20	EA	\$451.20	\$9,024			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building J

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
B2010	7473161	Exterior Walls, any painted surface, Prep & Paint	10	2	8	16330	SF	\$3.38	\$55,261			
B3010	7471387	Roofing, Single-Ply Membrane, TPO/PVC, Replace	20	3	17	12364	SF	\$19.18	\$237,092			
C1090	7473176	Toilet Partitions, Plastic/Laminate, Replace	20	2	18	14	EA	\$846.00	\$11,844			
C2010	7473162	Wall Finishes, any surface, Prep & Paint	10	2	8	25358	SF	\$1.69	\$42,906			
C2030	7473163	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	10	3	7	3917	SF	\$1.69	\$6,628			
C2030	7473160	Flooring, Vinyl Tile (VCT), Replace	15	3	12	3000	SF	\$5.64	\$16,920			
C2030	7473159	Flooring, Luxury Vinyl Tile (LVT), Replace	15	3	12	10000	SF	\$8.46	\$84,600			
C2050	7473165	Ceiling Finishes, any flat surface, Prep & Paint	10	2	8	3971	SF	\$2.26	\$8,959			
D1010	7473168	Elevator Cab Finishes, Standard, Replace	15	2	13	1	EA	\$10,152.00	\$10,152			
D1010	7473185	Elevator Controls, Automatic, 1 Car, Replace	20	2	18	1	EA	\$5,640.00	\$5,640			
D2010	7471381	Water Heater, Gas, Replace	15	3	12	1	EA	\$2,143.20	\$2,143			
D2010	7471397	Water Heater, Gas, Replace	15	2	13	1	EA	\$1,466.40	\$1,466			
D2010	7471384	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	3	12	3	EA	\$1,692.00	\$5,076			
D3030	7471382	Split System, Condensing Unit/Heat Pump, 8 to 10 TON, Replace	15	3	12	1	EA	\$19,401.60	\$19,402			
D3030	7471405	Split System, Interior & Exterior Component Pairing, 2 TON, Replace	15	3	12	4	EA	\$5,448.24	\$21,793			
D3050	7471391	Packaged Unit, RTU, Pad or Roof-Mounted, 4 TON, Replace	20	2	18	1	EA	\$10,152.00	\$10,152			
D3050	7473167	Packaged Unit, RTU, Pad or Roof-Mounted, 5 TON, Replace	20	2	18	1	EA	\$12,408.00	\$12,408			
D3050	7471379	Packaged Unit, RTU, Pad or Roof-Mounted, 8 to 10 TON, Replace	20	0	20	2	EA	\$22,560.00	\$45,120			

Replacement Reserves Report

6/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	2026
D3050	7471386	Packaged Unit, RTU, Pad or Roof-Mounted, 13 to 15 TON, Replace	20	0	20	2	EA	\$33,840.00	\$67,680			
D3060	7471392	Supplemental Components, Air Curtain, 5' Wide Heated, Replace	20	0	20	2	EA	\$3,158.40	\$6,317			
D5030	7473172	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	2	13	16917	SF	\$6.15	\$103,999			
D5040	7473169	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	2	18	16917	SF	\$2.37	\$40,073			
D6060	7473173	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	2	18	16917	SF	\$1.69	\$28,624			
D7030	7473188	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	2	13	16917	SF	\$2.26	\$38,165			
D7050	7471406	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	3	17	16917	SF	\$3.38	\$57,247			
E1030	7471380	Foodservice Equipment, Convection Oven, Double, Replace	10	3	7	1	EA	\$9,339.84	\$9,340			
E1030	7471409	Foodservice Equipment, Freezer, 2-Door Reach-In, Replace	15	3	12	1	EA	\$5,752.80	\$5,753			
E1030	7473189	Foodservice Equipment, Exhaust Hood, 3 to 6 LF, Replace	15	2	13	1	EA	\$3,722.40	\$3,722			
E2010	7473182	Casework, Countertop, Plastic Laminate, Replace	15	2	13	100	LF	\$56.40	\$5,640			
E2010	7473180	Casework, Cabinetry, Economy, Replace	20	2	18	200	LF	\$197.40	\$39,480			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Building K

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	* Subtotal	2024	2025	20
B3010	7473213	Roofing, Modified Bitumen, Replace	20	10	10	4315	SF	\$11.28	\$48,673			
C1070	7471298	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	5	20	4000	SF	\$3.95	\$15,792			
C2010	7471299	Wall Finishes, any surface, Prep & Paint	10	4	6	1000	SF	\$1.69	\$1,692			
C2010	7471300	Wall Finishes, Acoustical Tile (ACT), Standard, Replace	25	5	20	6000	SF	\$9.02	\$54,144			
C2030	7471306	Flooring, Luxury Vinyl Tile (LVT), Replace	15	5	10	4000	SF	\$8.46	\$33,840			
C2050	7471302	Ceiling Finishes, any flat surface, Prep & Paint	10	3	7	315	SF	\$2.26	\$711			
D2010	7471297	Water Heater, Electric, Commercial (12 kW), Replace	20	4	16	1	EA	\$13,987.20	\$13,987			

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
D2010	7471301	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	5	10	2	EA	\$1,692.00	\$3,384		
D3030	7471287	Split System, Interior & Exterior Component Pairing, 2 TON, Replace	15	4	11	1	EA	\$5,448.24	\$5,448		
D3030	7471294	Heat Pump, Packaged & Wall-Mounted, Replace	20	5	15	1	EA	\$6,204.00	\$6,204		
D5030	7473146	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	20	20	4315	SF	\$2.82	\$12,168		
D5030	7473156	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	5	10	4315	SF	\$6.15	\$26,527		
D5040	7473144	Interior Lighting System6472.5, Full Upgrade, Low Density & Standard Fixtures, Replace	20	5	15	4315	SF	\$2.37	\$10,221		
D6060	7473157	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	5	15	4315	SF	\$1.69	\$7,301		
D7050	7471305	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	5	15	4315	SF	\$3.38	\$14,602		
E2010	7473154	Casework, Countertop, Plastic Laminate, Replace	15	5	10	60	LF	\$56.40	\$3,384		
E2010	7473153	Casework, Cabinetry, Economy, Replace	20	5	15	100	LF	\$197.40	\$19,740		
G4050	7471293	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	5	15	6	EA	\$451.20	\$2,707		
Totals, Unescalated										\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0

Grand View Elementary School / Building L

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2010	7471279	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	9	1	2500	SF	\$5.08	\$12,690	\$12,690	
B2020	7471270	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	27	3	6	EA	\$1,099.80	\$6,599		
B2050	7473120	Exterior Door, Steel, Standard, Replace	40	39	1	2	EA	\$1,015.20	\$2,030	\$2,030	
B2050	7471285	Exterior Door, Steel, Standard, Replace	40	36	4	3	EA	\$1,015.20	\$3,046		
B3010	7471284	Roofing, Modified Bitumen, Replace	20	18	2	4178	SF	\$16.92	\$70,692		\$70,692
B3020	7473113	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	18	2	200	LF	\$15.23	\$3,046		\$3,046
C1030	7473115	Door Hardware, Office, per Door, Replace	30	27	3	6	EA	\$394.80	\$2,369		
C1070	7471262	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	24	1	4178	SF	\$5.92	\$24,742	\$24,742	

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026	
C1090	7471265	Toilet Partitions, Plastic/Laminate, Replace	20	16	4	8	EA	\$846.00	\$6,768			
C2010	7471264	Wall Finishes, Acoustical Tile (ACT), Standard, Replace	25	21	4	6267	SF	\$9.02	\$56,553			
C2030	7471261	Flooring, Vinyl Tile (VCT), Replace	15	11	4	1178	SF	\$5.64	\$6,644			
C2030	7471283	Flooring, Carpet, Commercial Standard, Replace	10	7	3	3000	SF	\$8.46	\$25,380			
D2010	7473121	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	37	3	4178	SF	\$5.64	\$23,564			
D2010	7471278	Urinal, Standard, Replace	30	30	0	1	EA	\$1,240.80	\$1,241	\$1,241		
D2010	7471263	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	11	4	1	EA	\$1,692.00	\$1,692			
D2010	7471272	Toilet, Commercial Water Closet, Replace	30	26	4	7	EA	\$1,466.40	\$10,265			
D2010	7471274	Urinal, Standard, Replace	30	26	4	2	EA	\$1,240.80	\$2,482			
D2010	7471269	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	26	4	3	EA	\$1,353.60	\$4,061			
D2010	7471267	Sink/Lavatory, Pedestal, Vitreous China, Replace	30	21	9	4	EA	\$2,256.00	\$9,024			
D3030	7473116	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON, Replace	20	7	13	3	EA	\$6,204.00	\$18,612			
D3050	7473107	HVAC System, Ductwork, Low Density, Replace	30	25	5	4178	SF	\$2.26	\$9,426			
D5030	7473126	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	35	5	4178	SF	\$2.82	\$11,782			
D5030	7473108	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	15	10	5	4178	SF	\$6.15	\$25,685			
D5040	7471276	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	18	2	4178	SF	\$3.55	\$14,845		\$14,845	
D6060	7471271	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	17	3	4178	SF	\$1.69	\$7,069			
D7030	7471277	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	11	4	4178	SF	\$2.26	\$9,426			
D7050	7473110	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	15	5	4178	SF	\$3.38	\$14,138			
E2010	7471266	Casework, Countertop, Plastic Laminate, Replace	15	12	3	60	LF	\$84.60	\$5,076			
E2010	7471268	Casework, Cabinetry Economy, Replace	20	17	3	120	LF	\$296.10	\$35,532			
G4050	7471273	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	17	3	6	EA	\$676.80	\$4,061			
Totals, Unescalated										\$1,241	\$39,463	\$88,583
Totals, Escalated (3.0% inflation, compounded annually)										\$1,241	\$40,646	\$93,977

Replacement Reserves Report

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Grand View Elementary School / Building M

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B2010	7471250	Exterior Walls, any painted surface, Prep & Paint	10	7	3	3407	SF	\$3.38	\$11,529		
B2020	7471246	Window, Aluminum Double-Glazed, up to 15 SF, Replace	30	23	7	4	EA	\$733.20	\$2,933		
B2050	7471239	Exterior Door, Steel, Standard, Replace	40	40	0	2	EA	\$676.80	\$1,354	\$1,354	
B2050	7471254	Exterior Door, Steel, Standard, Replace	40	37	3	4	EA	\$676.80	\$2,707		
B3010	7471255	Roofing, Modified Bitumen, Replace	20	15	5	3407	SF	\$11.28	\$38,431		
B3020	7473093	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	50	0	150	LF	\$10.15	\$1,523	\$1,523	
C1030	7473094	Door Hardware, Office, per Door, Replace	30	27	3	6	EA	\$394.80	\$2,369		
C1070	7473089	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	25	0	407	SF	\$3.95	\$1,607	\$1,607	
C1070	7471251	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	21	4	3000	SF	\$3.95	\$11,844		
C1090	7473090	Toilet Partitions, Plastic/Laminate, Replace	20	17	3	8	EA	\$846.00	\$6,768		
C2010	7471245	Wall Finishes, Acoustical Tile (ACT), Standard, Replace	25	21	4	5111	SF	\$9.02	\$46,122		
C2030	7473088	Flooring, Vinyl Tile (VCT), Replace	15	12	3	407	SF	\$5.64	\$2,295		
C2030	7471257	Flooring, Carpet, Commercial Standard, Replace	10	7	3	3407	SF	\$8.46	\$28,823		
D2010	7471248	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	37	3	3407	SF	\$5.64	\$19,215		
D2010	7471256	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	11	4	1	EA	\$1,692.00	\$1,692		
D2010	7471240	Urinal, Standard, Replace	30	26	4	3	EA	\$1,240.80	\$3,722		
D2010	7471242	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	26	4	2	EA	\$1,353.60	\$2,707		
D2010	7471238	Toilet, Commercial Water Closet, Replace	30	26	4	8	EA	\$1,466.40	\$11,731		
D2010	7471258	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	5	EA	\$1,353.60	\$6,768		
D3030	7471237	Heat Pump, Packaged & Wall-Mounted, 3.5 to 4 TON, Replace	20	7	13	1	EA	\$6,204.00	\$6,204		
D3050	7473096	HVAC System, Ductwork, Low Density, Replace	30	25	5	3407	SF	\$2.26	\$7,686		
D5030	7471241	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	35	5	3407	SF	\$2.82	\$9,608		
D5030	7471252	Internet Technology, Equipment, Capacity, Wiring and Wireless, Modernization	15	10	5	3407	SF	\$6.15	\$20,945		
D5040	7471249	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	15	5	3407	SF	\$2.37	\$8,071		
D7030	7473095	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	3407	SF	\$2.26	\$7,686		

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
D7050	7471243	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	15	5	3407	SF	\$3.38	\$11,529		
E2010	7471247	Casework, Countertop, Plastic Laminate, Replace	15	11	4	30	LF	\$56.40	\$1,692		
E2010	7471244	Casework, Cabinetry Economy, Replace	20	15	5	50	LF	\$197.40	\$9,870		
G4050	7473091	Exterior Site Lighting, Wall Pack, any type w/ LED, 13 to 26 W, Replace	20	10	10	8	EA	\$451.20	\$3,610		
Totals, Unescalated									\$4,483	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)									\$4,483	\$0	\$0

Grand View Elementary School / Building TK

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal 2024	2025	2026
B3010	7472876	Roofing, Modified Bitumen, Replace	20	10	10	4254	SF	\$11.28	\$47,985		
B3020	7472878	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	10	10	200	LF	\$10.15	\$2,030		
C1030	7472864	Door Hardware, Office, per Door, Replace	30	15	15	6	EA	\$394.80	\$2,369		
C1070	7472852	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	15	10	2000	SF	\$3.95	\$7,896		
C2010	7472866	Wall Finishes, Acoustical Tile (ACT), Standard, Replace	25	10	15	4000	SF	\$9.02	\$36,096		
C2050	7472946	Ceiling Finishes, any flat surface, Prep & Paint	10	3	7	924	SF	\$2.26	\$2,085		
D2010	7471313	Drinking Fountain, Exterior/Site, Metal Pedestal, Replace	15	8	7	1	EA	\$1,692.00	\$1,692		
D2010	7471316	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	15	15	2	EA	\$1,353.60	\$2,707		
D2010	7471319	Toilet, Child-Sized, Replace	30	15	15	2	EA	\$1,015.20	\$2,030		
D2010	7471320	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	15	15	2	EA	\$1,692.00	\$3,384		
D3030	7471317	Split System, Condensing Unit/Heat Pump, Replace	15	4	11	2	EA	\$5,865.60	\$11,731		
D3030	7471321	Air Handler, Fan Coil Unit, DX, Replace	15	4	11	2	EA	\$5,188.80	\$10,378		
D3050	7471314	HVAC System, Ductwork, Low Density, Replace	30	15	15	2924	SF	\$2.26	\$6,597		
D5030	7472858	Internet Technology, Equipment, Capacity, Wiring and Wireless	15	7	8	2924	SF	\$6.15	\$17,976		
D5040	7472870	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	10	10	2924	SF	\$2.37	\$6,926		
D6060	7472874	Intercom/PA System, Intercom System Upgrade, Facility-Wide, Replace	20	10	10	2924	SF	\$1.69	\$4,947		

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D7030	7471318	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	7	8	2924	SF	\$2.26	\$6,597			
D7050	7472875	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	10	10	2924	SF	\$3.38	\$9,895			
E2010	7472885	Casework, Countertop, Plastic Laminate, Replace	15	7	8	7	LF	\$56.40	\$395			
E2010	7472872	Casework, Cabinetry, Hardwood Standard, Replace	20	10	10	20	LF	\$338.40	\$6,768			
G4050	7472871	Exterior Site Lighting, Wall Pack, any type w/ LED, 50 to 105 W, Replace	20	10	10	3	EA	\$902.40	\$2,707			
Totals, Unescalated										\$0	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$0	\$0	\$0

Grand View Elementary School / Site

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
D4010	7471359	Backflow Preventer, Fire Suppression, Replace	30	10	20	3	EA	\$5,865.60	\$17,597			
D5020	7471361	Secondary Transformer, Dry, Stepdown, Replace	30	20	10	1	EA	\$33,840.00	\$33,840			
F1020	7471369	Ancillary Building, Wood-Framed or CMU, Basic/Minimal, Replace	35	30	5	200	SF	\$67.68	\$13,536			
G2020	7472318	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	1	4	50000	SF	\$0.51	\$25,380			
G2020	7472317	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	20	5	25000	SF	\$3.95	\$98,700			
G2050	7472451	Athletic Surfaces & Courts, Sport Field / General, Asphalt Pavement, Mill & Overlay	25	25	0	5000	SF	\$3.95	\$19,740	\$19,740		
G2050	7472497	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Seal & Stripe	5	25	0	5000	SF	\$0.51	\$2,538	\$2,538		
G2050	7471365	Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	20	5	8	EA	\$10,716.00	\$85,728			
G2050	7471363	Sports Apparatus, Tennis/Volleyball, Net w/ Posts & Anchors, Replace	20	10	10	6	EA	\$1,579.20	\$9,475			
G2050	7472248	Sports Apparatus, Volleyball Net, Replace	20	10	10	1	EA	\$1,579.20	\$1,579			
G2050	7472450	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	15	10	25000	SF	\$3.95	\$98,700			
G2050	7471375	Playfield Surfaces, Rubber, Interlocking Tiles, Replace	15	10	5	3500	SF	\$28.20	\$98,700			
G2050	7471360	Play Structure, Multipurpose, Medium, Replace	20	10	10	4	EA	\$22,560.00	\$90,240			
G2050	7472316	Playground Surfaces, Rubber, Poured-in-Place, Replace	20	10	10	5000	SF	\$29.33	\$146,640			
G2060	7471374	Fences & Gates, Fence, Metal Tube 4', Replace	40	40	0	1000	LF	\$38.35	\$38,352	\$38,352		

Replacement Reserves Report

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Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2024	2025	2026
G2060	7472502	Fences & Gates, Fence, any Painted Surface, Prep & Paint	10	5	5	2000	SF	\$3.38	\$6,768			
G2060	7471367	Fences & Gates, Fence, Chain Link 8', Replace	40	30	10	1500	LF	\$28.20	\$42,300			
G2060	7471362	Fences & Gates, Fence, Chain Link 4', Replace	40	30	10	1500	LF	\$20.30	\$30,456			
G2060	7472260	Picnic Table, Metal Powder-Coated, Replace	20	10	10	50	EA	\$789.60	\$39,480			
G2080	7471371	Irrigation System, Controllers & Valves, Repairs & Adjustments, Repair	10	6	4	125000	SF	\$0.45	\$56,400			
G4050	7471376	Pole Light Fixture w/ Lamps, any type 30' High, w/ LED Replacement, Replace/Install	20	10	10	50	EA	\$7,896.00	\$394,800			
Totals, Unescalated										\$60,630	\$0	\$0
Totals, Escalated (3.0% inflation, compounded annually)										\$60,630	\$0	\$0