



[Crystal \(Minn.\).](#)
[City Council Minutes and Agenda Packets.](#)

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COUNCIL AGENDA

November 20 1990 *689*

Pursuant to due call and notice thereof, the Regular meeting of the Crystal City Council was held on November 20, 1990, at 7:00 P.M., at 4141 Douglas Drive, Crystal, Minnesota.

The Secretary of the Council called the roll and the following were present:

Councilmembers

P Carlson
P Moravec
P Irving
P Grimes
P Herbes
P Langsdorf
P Joselyn

Staff

P Dulgar
P Kennedy
P Monk
P Barber
P George
P Brandeen

The Mayor led the Council and the audience in the Pledge of Allegiance to the Flag.

1. The City Council considered the minutes of the Regular City Council Meeting of November 7, 1990 and Special Work Session meeting of November 14, 1990.

Moved by Councilmember I and seconded by Councilmember L to (approve) (approve, making the following exceptions: _____

to) the minutes of the Regular City Council Meeting of November 7, 1990 and Special Work Session meeting of November 14, 1990.

Motion Carried.

REGULAR AGENDA

1. The City Council considered the application for appointment to the Environmental Quality Commission of Michael Culhane, 5261 Kentucky Avenue North, for an unexpired term expiring December 31, 1991.

Moved by Councilmember I and seconded by Councilmember M to appoint Michael Culhane ^(address) to the Environmental Quality Commission for an unexpired term expiring December 31, 1991.

Motion Carried.

#12 Next.
3-2.

The City Council considered setting 7 p.m. on December 10, 1990 as the time and date for a public hearing to consider a second-hand goods dealer license for Steven C. Leppa dba Midwest Antiques and Mercantile at 4611 - 36th Avenue North and discussed a second-hand goods dealer license for used clothing and costume jewelry.

- A. Moved by Councilmember C and seconded by Councilmember M to set 7 p.m., on December 10, 1990 as the time and date for a public hearing to consider a second-hand goods dealer license for Steven C. Leppa dba Midwest Antiques and Mercantile at 4611 - 36th Avenue North.

Motion Carried.

- B. Moved by Councilmember C and seconded by Councilmember M to (approve) (deny) (continue until _____ the discussion of) a second-hand goods dealer license for used clothing and costume jewelry for Steven C. Leppa at 4611 - 36th Avenue North, as it appears on the list of Applications for License dated November 20, 1990.

Motion Carried.

4. 3. The City Council considered the construction of a 30' x 30' concrete slab in front of the Becker Park stage area.

Consensus of Council was to refer back to staff a detailed plan.

- Stake out area*
- off set slab*
- show location of benches*
- show grades*

Moved by Councilmember _____ and seconded by Councilmember _____ to (approve) (deny) (continue until _____ the discussion of) the construction of a 30' x 30' concrete slab in front of the Becker Park stage area with funding provided by a \$3,000 donation from the Crystal Lions Club.

Motion Carried.

the City Council discussed Lions request to waive fees for use of Community Center. (No action taken). which was not an agenda item.

5. A. The City Council considered allowing display/advertising type signs at the Community Center location in excess of three times per year and soliciting funds for the purchase and erection of a marquee sign for the Community Center.

I/C to direct staff to compile information for the installation of a permanent sign.

Motion Carried

- A. Moved by Councilmember C and seconded by Councilmember I to (approve) (deny) (continue until _____ the discussion of) allowing display/advertising type signs at the Community Center location in excess of three times per year, until such time as a permanent sign is installed. Motion Carried.

- B. Moved by Councilmember _____ and seconded by Councilmember _____ to (approve) (deny) (continue until _____ the discussion of) soliciting of funds for the purchase and erection of a marquee sign for the Community Center.

Motion Carried.

- 6.5. The City Council considered rezoning, building permit approval and site improvement agreement for 5150 West Broadway, Lot 2, Block 1 of proposed Atlantic Addition.

- A. Moved by Councilmember C and seconded by Councilmember L to adopt the following ordinance: **(5 votes needed for approval)**

ORDINANCE NO. 90-24

AN ORDINANCE RELATING TO ZONING:
CHANGING THE USE CLASSIFICATION
OF CERTAIN LANDS

and further, that this be the second and final reading.

Motion Carried.

Moved by Councilmember _____ and seconded by Councilmember _____ to (deny) (continue until _____ the discussion of) rezoning of property from B-3 (Auto Oriented Commercial) District to I-2 (Heavy Industrial) District located at proposed address 5150 West Broadway, legally described as proposed Lot 2, Block 1, Atlantic Addition.

Motion Carried.

- B. Moved by Councilmember L and seconded by Councilmember C to ~~(approve as recommended by and based on the findings of fact of the Planning Commission)~~ (deny) (continue until _____ the discussion of) issuance of a building permit for Mini-Storage Buildings located at proposed address 5150 West Broadway, subject to standard procedures.

Motion Carried.

- C. Moved by Councilmember I and seconded by Councilmember L to ~~(approve)~~ (deny) (continue until _____ the discussion of) site improvement agreement for proposed Lot 2, Block 1, Atlantic Addition located at 5150 West Broadway.

Motion Carried.

7. The City Council considered a preliminary plat for Schoff Second Addition at 3543 Zane Avenue North as requested by Charles and Catherine Schoff.

Moved by Councilmember I and seconded by Councilmember G to (approve) (~~deny~~ as recommended by and based on the findings of fact of the Planning Commission) (continue until _____ the discussion of) a replat of Lot 2, Block 1, Schoff Second Addition located at 3543 Zane Avenue North as requested by Charles and Catherine Schoff.

Motion Carried.

8. The City Council considered a request from Firestone, Inc. to grant an extension of one year of the conditional use and building permit approval granted September 19, 1989 by the City Council at 6800 - 56th Avenue North.

Moved by Councilmember M and seconded by Councilmember G to (approve) (deny) (continue until _____ the discussion of) an extension of one year of the conditional use and building permit approval granted September 19, 1989 by the City Council at 6800 - 56th Avenue North.

Motion Carried.

9. The City Council considered the Second Reading of an Ordinance to rezone 6048 Lakeland, Lot 2, Block 1, Engstrom Addition, from B-4 (Community Commercial) District to B-3 (Auto Oriented Commercial) District. (5 votes needed for approval)

Moved by Councilmember M and seconded by Councilmember L to adopt the following ordinance:

ORDINANCE NO. 90- 25

AN ORDINANCE RELATING TO ZONING:
AMENDING ORDINANCE NO. 90-17

and further, that this be the second and final reading.

Motion Carried.

10. 9. The City Council considered stop sign installation at the intersection of 35th Avenue North and Quail Avenue North.

Moved by Councilmember L and seconded by Councilmember M to (approve) (deny) (continue until _____ the discussion of) installation of stop signs on Quail Avenue North at its intersection with 35th Avenue North as recommended by the City Engineer.

Recess 8:15 p.m. - Reconvened 8:28 p.m.

Motion Carried.

Councilmember Langsdorf left the meeting at 8:20 p.m.

11. 10. The City Council reviewed the 36th Avenue Feasibility Study for upgrade between Louisiana and Welcome Avenues.

Peter Carlson, Engineer for Rieke, Carroll, Muller Associates, Inc. (RCM) appeared and was heard.

Moved by Councilmember I and seconded by Councilmember J to set the 2nd meeting in January of 1990 as the date and time for a public improvement hearing to discuss the upgrade of 36th Avenue between Louisiana and Welcome Avenues.

Motion Carried.

12. 11. The City Council discussed update on status of TH100 Reconstruction Project as proposed by Minnesota Department of Transportation.

2. ~~12.~~ The City Council considered a resolution regarding a lawful gambling premise permit for Crystal Firefighters' Relief Association at the Paddock, 5540 Lakeland Avenue North.

Moved by Councilmember I and seconded by Councilmember G to adopt the following resolution, the reading of which was dispensed with by unanimous consent:

RESOLUTION NO. 90-74

RESOLUTION RELATING TO LAWFUL GAMBLING
APPROVING CERTAIN PREMISES PERMITS

By roll call and voting aye: C, M, I, G, J,
L, H; voting no: -, -, -, -; absent, not
voting: -, -, -.

Motion carried, resolution declared adopted.

Open Forum

Informal Discussion and Announcements

Discussion of update on Veit lawsuit.

Report from Police Chief and Finance Director regarding jail bookings. Rates should be increased - refer to staff for return to Council with recommendation.

Holiday cards from manager and Council to staff. (Good idea)

Information regarding Adventure Club. Advise Council of 281's financial portion.

(over)

The City Council discussed January, 1990 ^{Council} mtg. dates due to the first regular meeting date being a holiday.
I/C to set Jan. 8 and Jan. 22 nd, 1990 as regular meeting dates of the Crystal City Council. Discussion followed.

I/J to reconsider the January 1990 meeting dates. Motion Carried

I/G to change the meeting of January 1 to January 2nd and the second meeting to remain on January 15th.

Aye: M, I, G, J, H
No: C
Absent: L

Motion Carried

Moved by Councilmember J and seconded by Councilmember G to approve the list of license applications.

Motion Carried.

Moved by Councilmember J and seconded by Councilmember I to adjourn the meeting.

Motion Carried.

Meeting adjourned at 9:50 p.m.

Truwing: Non-Agenda items should be discussed at Open Forum time and to add it must be voted on by the Council - Abide by Noon deadline on Wed. prior to mtg. (Check for Res./Policy)

* * The City Council discussed a letter received from the League of Minn. Cities regarding vacancies on the LMC Board of Directors.

M/I to adopt the following resolution, the reading

Resolution 90-75

Resolution In Support Of
Jerry Dulgar as a Candidate
for the Board of Directors
of the League of Minnesota Cities

Aye: C, M, I, G, J, H
Absent: L

motion carried

- Community Survey - Dec. 18 agenda
- Squad car accident - Report re: new car purchased.
- Dept. of Gaming Conference

APPLICATIONS FOR LICENSE

NOVEMBER 20, 1990

FOOD ESTABLISHMENT - Exempt

Crystal Park & Rec. Department at Becker Park Concession
6225 56th Avenue North
Crystal Park & Rec. Department at Municipal Swimming Pool
concession stand at 4848 Douglas Drive
Crystal Park & Rec. Department at Valley Place- Lions Ski Area
concession stand at 3200 Louisiana Avenue North

VENDING - Nonperishable (exempt)

Crystal Park & Rec. Department at Community Center, 4800
Douglas Drive

FOOD ESTABLISHMENT - Itinerant (exempt)

Crystal Lion's Club at Community Center, 4800 Douglas Drive
one day only November 25, 1990.

GAS FITTER'S LICENSE - \$30.25

Climate Designers, 2149 161st Ave. NW, Andover, MN 55304

PLUMBER'S LICENSE - \$30.25

Premier Plumbing, 8809 40 1/2 Ave. N., New Hope, MN 55427

SIGN HANGER'S LICENSE - \$66.00 Renewals

PERMIT FOR WINE AND BEER IN PARK/COMMUNITY CENTER

Crystal Park & Recreation Department, 4800 Douglas Drive on
January 18, 1991 from 1-5 p.m. for an Area Directors' Meeting.

SECOND HAND DEALER (\$44.00) Clothing & Costume Jewelry

Steven C. Leppa, 4816 Quail Avenue North, Crystal, MN (location
is 4611 - 36th Avenue North)

AUCTIONEER - \$18.25/day

Dave Christian for Quickie Auction Service, two day auction at
Furniture Barn, 5101 Lakeland Ave. N., December 10,11, 1990.

PERMIT FOR WINE AND BEER IN PARK/COMMUNITY CENTER

Ruth J. Hunt, 4824 Xenia Ave. N., Crystal, MN at Crystal
Community Center December 8, 1990 from 5:30-11:30 P.M. for
a 45th Wedding Anniversary.

Included in Council packet for 11-20-90 meeting:

Minutes of the reg. Council mtg. of 11-7-90.
Minutes of the Special Work Session of 11-14-90.
Crystal Planning Comm. minutes of 11-9-90.
Application for Appointment to the Environmental Quality Comm. from Michael Culhane, 5261 Kentucky.
Memo from Park & Rec. Director dated 9-11-90 re: installation of concrete slab at Becker Park.
Memo from Park & Rec. Director dated 11-14-90 re: sign ordinance for temporary portable signs for Community Center.
Memo from Park & Rec. Director dated 11-14-90 re: soliciting funds for a marquee sign at Comm. Center.
Memo from Bldg. Inspector dated 11-15-90 re: replatting, rezoning and bldg. permit approval of 5150 West Broadway.
Memo from Bldg. Inspector dated 11-15-90 re: Prel. Plat approval & variances at 3543 Zane Ave. N.
Memo from Bldg. Inspector dated 11-15-90 re: Extension of conditional use permit - 6800 - 56th Ave. N. - Firestone Service Center
Ordinance relating to zoning; amending Ordinance 90-17 (6048 Lakeland Avenue).
Memo from City Engr. dated 11-16-90 re: stop sign installation at 35th & Quail Avenue.
Memo from City Engr. dated 11-15-90 re: Upgrade of 36th Avenue.
Memo from City Engr. dated 11-14-90 re: TH100 Improvement Project/MnDOT.
Lawful Gambling Premise Permit Application for Crystal Firemen's Relief Ass. at The Paddock, 5540 Lakeland Ave. No.
Letter from Holmes & Graven dated 11-9-90 re: Veit & Co. v. City of Crystal.
Memo from Police Chief dated 11-15-90 re: Council information regarding prisoner bookings.
Memo from Finance Director dated 11-15-90 re: prisoner lock-up for other communities.
Memo from Asst. Mgr. dated 11-16-90 re: 1991 Budget Info. re: Adventure Club.
Crystal Park & Rec. Dept. monthly report -Oct. '90.
Letter from Suburban RATE Authority dated 11-8-90 re: SRA-MWCC.
Memo from Asst. Mgr. dated 11-15-90 re: Safety Inspection - 11-9-90.

Flyer re: Conference on Gambling In Minnesota;
letter from Commissioner, Dept. of Gaming dated
10-29-90.

Memo from Park & Rec. Director dated 11-20-90 re:
Use of the Crystal Community Center by Crystal
Lions Club for pancake breakfast.

Warline

Memorandum

DATE: November 16, 1990
TO: Mayor and Council
FROM: Jerry Dulgar, City Manager
SUBJECT: Preliminary Agenda for the November 20, 1990 Council Meeting

Regular Agenda:

Item 2a: Consideration of setting 7 p.m. on December 10, 1990 as the time and date for a public hearing to consider a second-hand goods dealer license for Steven C. Leppa dba Midwest Antiques and Mercantile at 4611 - 36th Avenue North and item 2 b, discussion regarding second-hand goods dealer license for used clothing and costume jewelry. As some of you may know, Steve and his wife are planning on setting up a second-hand goods dealers business and antique business in the shop on 36th Avenue that was formally used for some similar uses. It has been brought to staff's attention by other property owners in the area, and staff has been looking into and reviewing the situation there. There could be some real problems with that particular location relative to parking and congestion, etc. We will be talking to the City Attorney some more about that before the meeting on the 20th. We wanted to be able to give you the best advice we could about granting the first license which Steve is going to request. He wants to get the second-hand goods dealer license for used clothing and costume jewelry at this meeting so that he can open up right away. The other license would have to come after the public hearing. However, if we were to give him the first license, he opens his business, and we do have real zoning, parking, etc. problems that come up at the public hearing, it could be too late to do anything about it. We will be meeting at the site with the City Attorney before the meeting and we will be prepared to better discuss the subject with you at the meeting.

Item 3: Consideration of the construction of a 30' x 30' concrete slab in front of the Becker Park stage area. I would like the Council to consider that there are probably many pros and cons to doing this work up there. I think right now there is a problem with the youngsters trying to dance on the stage, dancing on bare ground, and depending on the weather it's often muddy causing the area to be hard to maintain, etc. On the other hand, once you install this you could change the character of the concerts and activity in that area a lot. You could start drawing a different kind of clientele and there might be more policing problems, etc. than there are at the present time. If the Council decides to grant permission for this, I would want the whole operation to be supervised by the Engineering Department so that we know that it is properly installed, meets specs, and utilities are protected, etc.

Item 4a: Consideration of allowing display/advertising type signs at the Community Center location in excess of three times per year. I think the Council might want to think long and hard about this. We do watch other places pretty closely and don't allow them to violate this ordinance when we are aware that they are. And for us to grant a blanket exemption to ourselves makes the ordinance difficult to defend.

Item 4b: Consideration of soliciting funds for the purchase and erection of a marquee sign for the Community Center. I've talked to the Finance Department relative to this item. We do have money left in the gambling receipts fund of the City that could be used for a sign. I think a better move than granting 4a above or going out again and soliciting for these funds would be to take some of that money and install a sign. It should be reviewed and approved by the Park Commission, Planning Commission and the City Council before it's done.

Item 7: Consideration of the request of Firestone, Inc. to grant an extension of one year of the conditional use and building permit approval granted September 19, 1989 by the City Council at 6800 - 56th Avenue North. I'd recommend that we grant the extension and hopefully Firestone will be able to proceed with their building during the next construction season.

Item 8: Please recall that this ordinance is to straighten out a typo that was in an earlier ordinance. I would recommend approval.

Item 12: Consideration of a resolution regarding a lawful gambling premise permit for Crystal Firefighters' Relief Association at the Paddock, 5540 Lakeland Avenue North. I believe the firefighters have decided to conduct their charitable gambling operation at a different location than Rostamos as previously approved by the Council, should the Council approve.

Have a nice weekend. See you next week.

js

COUNCIL AGENDA - SUMMARY

COUNCIL MEETING OF
November 20, 1990

Call to order

Roll call

Pledge of Allegiance to the Flag

Approval of the minutes of the regular meeting of November 7, 1990 and Special Work Session meeting of November 14, 1990.

Regular Agenda Items

1. Consideration of the application for appointment to the Environmental Quality Commission for Michael Culhane, 5261 Kentucky Avenue, for an unexpired term expiring December 31, 1991.
- 2a. Consideration of setting 7 p.m. on December 10, 1990 as the time and date for a public hearing to consider a second-hand goods dealer license for Steven C. Leppa dba Midwest Antiques and Mercantile at 4611 - 36th Avenue North.
- 2b. Discussion regarding second-hand goods dealer license for used clothing and costume jewelry.
3. Consideration of the construction of a 30' x 30' concrete slab in front of the Becker Park stage area.
- 4a. Consideration of allowing display/advertising type signs at the Community Center location in excess of three times per year.
- 4b. Consideration of soliciting funds for the purchase and erection of a marquee sign for the Community Center.
5. Consideration of (a) the Second Reading of an Ordinance to rezone 5150 West Broadway, Lot 2, Block 1 of proposed Atlantic Addition;
(b) site plan and building permit approval;
(c) site improvement agreement.
6. Consideration of a preliminary plat for Schoff Second Addition at 3543 Zane Avenue North as requested by Charles and Catherine Schoff.

7. Consideration of the request of Firestone, Inc. to grant an extension of one year of the conditional use and building permit approval granted September 19, 1989 by the City Council at 6800 - 56th Avenue North.
8. Consideration of the Second Reading of an Ordinance to rezone 6048 Lakeland, Lot 2, Block 1, Engstrom Addition, from B-4 to B-3.
9. Consideration of stop sign installation at the intersection of 35th Avenue North and Quail Avenue North.
10. Review 36th Avenue Feasibility Study for upgrade between Louisiana and Welcome Avenues.
11. Discussion of update on status of TH100 Reconstruction Project as proposed by MnDOT.
12. Consideration of a resolution regarding a lawful gambling premise permit for Crystal Firefighters' Relief Association at the Paddock, 5540 Lakeland Avenue North.

Open Forum

Informal Discussion and Announcements

1. Discussion of update on Veit lawsuit.
2. Report from Police Chief and Finance Director regarding jail bookings.
3. Holiday cards from manager and Council to staff.
4. Information regarding Adventure Club.

Licenses

Adjournment

APPLICATIONS FOR LICENSE

NOVEMBER 20, 1990

FOOD ESTABLISHMENT - Exempt

Crystal Park & Rec. Department at Becker Park Concession
6225 56th Avenue North
Crystal Park & Rec. Department at Municipal Swimming Pool
concession stand at 4848 Douglas Drive
Crystal Park & Rec. Department at Valley Place- Lions Ski Area
concession stand at 3200 Louisiana Avenue North

VENDING - Nonperishable (exempt)

Crystal Park & Rec. Department at Community Center, 4800
Douglas Drive

FOOD ESTABLISHMENT - Itinerant (exempt)

Crystal Lion's Club at Community Center, 4800 Douglas Drive
one day only November 25, 1990.

GAS FITTER'S LICENSE - \$30.25

Climate Designers, 2149 161st Ave. NW, Andover, MN 55304

PLUMBER'S LICENSE - \$30.25

Premier Plumbing, 8809 40 1/2 Ave. N., New Hope, MN 55427

SIGN HANGER'S LICENSE - \$66.00 Renewals

PERMIT FOR WINE AND BEER IN PARK/COMMUNITY CENTER

Crystal Park & Recreation Department, 4800 Douglas Drive on
January 18, 1991 from 1-5 p.m. for an Area Directors' Meeting.

SECOND HAND DEALER (\$44.00) Clothing & Costume Jewelry

Steven C. Leppa, 4816 Quail Avenue North, Crystal, MN (location
is 4611 - 36th Avenue North)

AUCTIONEER - \$18.25/day

Dave Christian for Quickie Auction Service, two day auction at
Furniture Barn, 5101 Lakeland Ave. N., December 10,11, 1990.

November 7, 1990

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Pursuant to due call and notice thereof, the Regular meeting of the Crystal City Council was held on November 7, 1990 at 7:00 P.M., at 4141 Douglas Drive, Crystal, Minnesota.

The Secretary of the Council called the roll and the following were present: Carlson, Moravec, Irving, Grimes, Herbes, Langsdorf, Joselyn. Also in attendance were the following staff members: Jerry Dulgar, City Manager; Dave Kennedy, City Attorney; William Monk, Public Works Director; Bill Barber, Building Inspector; Darlene George, City Clerk.

The Mayor led the Council and the audience in the Pledge of Allegiance to the Flag.

John Evans, District 10 Metropolitan Councilmember, presented a \$45,000.00 loan payment from the Metropolitan Council Local Planning Assistance Loan Program for the purpose of funding the update of Crystal's Comprehensive Plan.

The Mayor proclaimed November 18 to 25, 1990 as the 50th Anniversary of National Bible Week in the City of Crystal.

The Mayor acknowledged an \$85.00 donation from Calibre Chase residents' activity fund to purchase a table for the Community Center.

The Mayor acknowledged a donation of 45 firefighting helmets to the Crystal Fire Department at a cost of \$6,700 from the Robbinsdale Lions Club.

The City Council considered the minutes of the Regular City Council meeting of October 16, 1990 and Work Sessions of October 23 and October 30, 1990.

Moved by Councilmember Joselyn and seconded by Councilmember Irving to approve the minutes of the Regular City Council meeting of October 16, 1990 and Work Sessions of October 23 and October 30, 1990 making the following exception: October 16 minutes - strike everything in the first paragraph after the first sentence in Item #13.

Motion Carried.

Voting on the motion as amended, an unanimous vote was received. The Mayor called attention to a spelling error in the word "Council" in the October 23, 1990 Council Work Session Minutes.

The City Council considered the following items on the Regular Agenda:

1. The City Council considered the applications for appointment to the Park & Recreation Advisory Commission from Thomas A. Jungroth, 5536 Xenia Ave. N.; Jerry Braton, 3804 Hampshire

November 7, 1990

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Ave. N.; and Edwin J. Krueger, Jr., 5009 52nd Ave. N., for an unexpired term expiring 12-31-91.

Moved by Councilmember Moravec and seconded by Councilmember Langsdorf to appoint Edwin Krueger, Jr. to the Park & Recreation Advisory Commission for an unexpired term expiring December 31, 1991.

Councilmember Joselyn suggested a nomination procedure for the appointment due to the fact that there were 3 applicants.

Councilmember Langsdorf withdrew her second on the motion.

The Mayor opened nominations from the Council for the position on the Park & Recreation Advisory Commission.

Edwin J. Krueger, Jr. was nominated by Councilmember Moravec. Thomas A. Jungroth was nominated by Councilmember Carlson.

With no further nominations, the Mayor declared the nominations closed.

With a show of hands, the vote was: Edwin Kureger - 4
Thomas Jungroth - 3

Mr. Krueger will fill a vacancy on the Park & Recreation Advisory Commission for an unexpired term expiring December 31, 1991.

2. Mr. Arthur Cunningham appeared before the City Council to discuss the update of hiring workers who are disabled or minorities.
3. The City Council considered stop sign installation on Adair Avenue between 42nd and 47th Avenues.

Moved by Councilmember Irving and seconded by Councilmember Moravec to continue consideration of this item at such time as a petition is received from the concerned residents.

Motion Carried.

4. The City Council considered sale of City property acquired in 1931 as half right-of-way of Fairview Avenue between West Broadway and Burlington Northern Railroad.

Moved by Councilmember Irving and seconded by Councilmember Joselyn to approve transfer of title of part of the right-of-way acquired in 1931 for the north half of Fairview Avenue between West Broadway and Vera Cruz Avenue, with the applicant incurring any and all costs involved.

Motion Carried.

5. Moved by Councilmember Moravec and seconded by Councilmember Irving to reconsider Item #1 on the Agenda.

November 7, 1990

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Motion Carried.

Edwin Krueger, Jr. appeared before the Council to withdraw his application for appointment to the Park & Recreation Advisory Commission after being advised that the City Ordinance prevents membership on 2 commissions of the City. Mr. Krueger now serves on the Economic Development Authority Commission. Nominations were opened to fill the vacancy on the Park & Recreation Advisory Commission.

Thomas Jungroth was nominated by Councilmember Carlson.

With no further nominations, nominations were closed.

With a show of hands the vote was unanimous to appoint Thomas A. Jungroth, 5536 Xenia Avenue North, to the Park & Recreation Advisory Commission for an unexpired term expiring December 31, 1991.

6. The City Council considered a policy change regarding City installation of street lights in alleys.

Moved by Councilmember Langsdorf and seconded by Councilmember Joselyn to approve revision of the Crystal Lighting Plan to include a midblock light in all public alleys as a means of improving pedestrian safety and household security with installation of these lights continuing to be handled on a petition basis as recommended by the City Engineer.

Motion Carried.

The Mayor called a recess at 8:15 p.m. and the meeting was reconvened at 8:27 p.m.

7. The City Council considered the Charitable Gambling License application for Crystal Firefighters' Relief Association at Rostamo's, 6014 Lakeland Ave. N. Kerry Charlet of the Crystal Firefighters' Relief Association appeared and was heard.

Moved by Councilmember Carlson and seconded by Councilmember Grimes to approve the Charitable Gambling License application for Crystal Firefighters' Relief Association at Rostamo's, 6014 Lakeland Ave. N.

Motion Carried.

8. The City Council considered authorizing preparation of feasibility study for alley improvements from Robbinsdale border to 43rd Avenue between Welcome and Vera Cruz Avenues.

Moved by Councilmember Grimes and seconded by Councilmember Carlson to approve authorizing preparation of a feasibility study detailing construction and cost specifics for alley improvements from Robbinsdale border to 43rd Avenue between Welcome and Vera Cruz Avenues.

Motion Carried.

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9. The City Council considered preliminary state aid street designations for system additions.

Moved by Councilmember Moravec and seconded by Councilmember Grimes to approve the preliminary state aid street designations for system additions.

Motion Carried.

10. The City Council considered reducing financial surety for site improvements at 5557 West Broadway - Subway Sandwich/Paster Enterprises.

Moved by Councilmember Irving and seconded by Councilmember Grimes to approve reduction of the letter of credit on file guaranteeing installation of site improvements approved as a condition of a building permit issuance for Subway Sandwich/Paster Enterprises at 5557 West Broadway from \$33,000 to \$1,000 as recommended by the City Engineer.

Motion Carried.

11. The City Council considered the First Reading of an Ordinance to rezone 6048 Lakeland, Lot 2, Block 1, Engstrom Addition, from B-4 (Community Commercial) to B-3 (Auto-Oriented Commercial).

Moved by Councilmember Moravec and seconded by Councilmember Langsdorf to adopt the following ordinance:

ORDINANCE NO. 90-

AN ORDINANCE RELATING TO ZONING:
AMENDING ORDINANCE NO. 90-17

and further, that the second and final reading be held on November 20, 1990.

Motion Carried.

12. The City Council considered the appointment of a representative to exercise Crystal's vote on the League of Minnesota Cities' 1991 Proposed Legislative Policies and Priorities at the League's Policy Adoption Meeting on November 27, 1990.

Moved by Councilmember Langsdorf and seconded by Councilmember Irving to appoint Jerry Dular, City Manager, as a representative to exercise Crystal's vote on the League of Minnesota Cities' 1991 Proposed Legislative Policies and Priorities at the League's Policy Adoption Meeting on November 27, 1990.

Motion Carried.

13. The City Council considered a resolution relating to license fees and permit fees for calendar year 1991.

November 7, 1990

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Moved by Councilmember Langsdorf and seconded by Councilmember Moravec to adopt the following resolution, the reading of which was dispensed with by unanimous consent:

RESOLUTION NO. 90-72

RESOLUTION RELATING TO LICENSE FEES
AND PERMIT FEES

By roll call and voting aye: Carlson, Moravec, Irving, Grimes, Herbes, Langsdorf, Joselyn. Motion carried, resolution declared adopted.

14. The City Council considered a site agreement contract between the City of Crystal and Volunteers of America.

Moved by Councilmember Langsdorf and seconded by Councilmember Carlson to approve site agreement contract between the City of Crystal and Volunteers of America (Senior Nutrition Program).
Motion Carried.

15. The City Council discussed the League of Minnesota Cities need for more space. Staff was directed to write a letter to League of Minnesota Cities advising Council will give no direction until more financial information is received.

16. The City Council considered a request from Crystal Lions Club for waiver of the fee for temporary sign permits to advertise its Annual pancake breakfast for November 25, 1990. Locations of signs: 5844 Orchard Avenue North, 5410 Lakeland Avenue North, 7200 56th Avenue North, 3600 Douglas Drive North, 5924 West Broadway, 4920 West Broadway, 2756 Douglas Drive North and 4800 Douglas Drive North.

Moved by Councilmember Grimes and seconded by Councilmember Carlson to approve the request from Crystal Lions Club for waiver of the fee for temporary sign permits to advertise its Annual Pancake Breakfast for November 25, 1990, at 5844 Orchard Avenue North, 5410 Lakeland Avenue North, 7200 56th Avenue North, 3600 Douglas Drive North, 5924 West Broadway, 4920 West Broadway, 2756 Douglas Drive North and 4800 Douglas Drive North.

Motion Carried.

17. The City Council considered a resolution for Minnesota Lawful Gambling Premise Permits for Minnesota Therapeutic Camp, Inc., at Nicklows, 3516 North Lilac Drive, Knights of Columbus Hall, 4947 West Broadway, and Crystal Fire Relief Association at Rostamos', 6014 Lakeland Avenue North.

Moved by Councilmember Irving and seconded by Councilmember Moravec to adopt the following resolution, the reading of which was dispensed with by unanimous consent:

November 7, 1990

page 687

RESOLUTION NO. 90-73

RESOLUTION RELATING TO LAWFUL
GAMBLING: APPROVING CERTAIN PREMISES PERMITS

By roll call and voting aye: Carlson, Moravec, Irving,
Grimes, Herbes, Langsdorf, Joselyn. Motion carried,
resolution declared adopted.

INFORMAL DISCUSSION AND ANNOUNCEMENTS

1. The City Council discussed Request for Proposals for prosecuting attorney.

Consensus of Council was to appoint a committee to review the proposals consisting of the Mayor, Section I Councilmember and Section II Councilmember as well as 2 staff members.

Moved by Councilmember Langsdorf and seconded by Councilmember Moravec to approve the list of license applications as submitted by the City Clerk to the City Council, a list of which is on file in the office of the City Clerk, and further, that such list be incorporated into and made a part of this motion as though set forth in full herein.

Motion Carried.

Moved by Councilmember Langsdorf and seconded by Councilmember Irving to adjourn the meeting.

Motion Carried.

Meeting adjourned at 9:20 p.m.

ATTEST:

Mayor

City Clerk

November 14, 1990

page 688

Pursuant to due call and notice given in the manner prescribed by Section 3.01 of the City Charter, the Special Meeting of the Crystal City Council was held on November 14, 1990, at 7:00 P.M., at 4141 Douglas Drive, Crystal, Minnesota. The following were present: Carlson, Irving, Grimes, Herbes, Langsdorf, Joselyn. Absent: Moravec. Also in attendance were the following staff members: Jerry Dulgar, City Manager; Nancy Gohman, Assistant Manager; Bill Monk, City Engineer; Miles Johnson, Finance Director; James Mossey, Police Chief.

The Mayor led the Council and the audience in the Pledge of Allegiance to the Flag.

The City Council discussed the Permanent Improvement Revolving Fund (PIR)/Capital Expenditures of the City.

It was the consensus of the Council to tie the space plan recommendation dated October 22, 1990 to the 1991 budget meeting. Council thanked Bill Monk for the excellent presentation.

Moved by Councilmember Langsdorf and seconded by Councilmember Carlson to adjourn the meeting.

Motion Carried.

Meeting adjourned at 8:40 p.m.

Mayor

ATTEST:

Assistant Manager

CRYSTAL PLANNING COMMISSION MINUTES

November 9, 1990

The meeting of the Crystal Planning Commission convened at 7:00 p.m. with the following present: Anderson, Barden, Elsen, Kamp, Guertin, Magnuson, Nystrom and Smith; the following were absent: Christopher and Lundeen; also present were Building Inspector Barber and Recording Secretary Scofield.

Moved by Commissioner Barden and seconded by Commissioner Kamp to approve the minutes of the October 8, 1990, meeting.

Motion carried.

December Planning Commission Meeting will be December 3, 1990, because the City Council Meeting will be December 10 (second City Council Meeting will be the usual December 18).

1. Chairperson Magnuson declared this was the time and the place as advertised for a public hearing to consider approval of the preliminary plat of Schoff Second Addition located at 3543 Zane Ave. N. as submitted by Charles B. and Catherine A. Schoff. The proponent Charles Schoff stated they did not want to pay taxes on such a large lot and found it difficult to maintain it.

The following were heard:

Lynn Dahlstrom, 5915 - 36th Ave. N., does not want to sell part of her lot to the Schoffs to enlarge the created lot as she likes a large yard and wants it for resale.

Barry Kline, 5905 - 36th Ave. N., does not want another house built so close to his and would like to buy part of Mr. Schoff's lot as his lot is not as deep as the others.

Moved by Commissioner Barden and seconded by Commissioner Kamp to close the public hearing.

Motion carried.

Moved by Commissioner Barden and seconded by Commissioner Kamp to recommend to the City Council to deny the preliminary plat of Schoff Second Addition which is a replat of Lot 2, Block 1, Schoff Addition, property is located at 3543 Zane Ave. N., as submitted by Charles B. and Catherine A. Schoff.

The findings of fact are: The proposed plat is inconsistent with the Zoning Ordinance for lot size, dimensions and area; sets a precedent that would be irrevocable and not in the best interest of the City.

Motion carried.

November 5, 1990 - Continued

2. As denial was recommended on previous item no action was taken on Variance Applications #90-37, #90-38 and #90-39 to allow a single family home to be built on the lot created by the replat of Schoff Second Addition which is not up to code regarding width, area and depth at 3543 Zane Ave. N. as requested by Charles B. and Catherine A. Schoff.
3. Discussion items:
 - A. Suggested ordinance change for home occupation on a large lot with adequate parking. Possibility of three homeowners who are doctors, lawyers, etc. would have to restrict to one homeowner. Possibly consider a conditional use in R-1 if traffic could be handled. Questioned how enforce one employee who is related and residing at property. Staff directed to provide list of properties involved for further discussion at December meeting.
 - B. Terms of commissions--possibility of asking former member of commission to come back as an advisor on an item. Continue discussion of proposed memorandum to Council with changes to December meeting.
 - C. Questioned who is taking John Olson's responsibilities--divided up among staff until a replacement is hired.

Moved by Commissioner Smith and seconded by Commissioner Barden to adjourn.

Motion carried.

The meeting adjourned at 8:17 p.m.

Chairperson Magnuson

Secretary Elsen

CITY OF CRYSTAL

APPLICATION FOR APPOINTMENT TO THE

Environmental

COMMISSION

Name Michael Culhane Address 5261 Kentucky Ave N 55428
Zip #

Phone (home) 533-3104 (Office) 557-9500

Resident of Crystal Since (year) Oct 1957

Occupation Warehouse Employer CPU Options

Education: (please indicate highest grade completed or highest degree and major course of study) Jr College

Civic and other activities: (please list past and present civic activities and organizational memberships, particularly those which may be relevant to the appointment you are seeking)

member Long Range Planning Commission 8-2-83 / 10-17-89

Comments (please briefly describe other qualifications, experience and other information which you would like the City Council to consider or which you believe are particularly relevant to the appointment you are seeking. Use additional pages if necessary.)

I would like to get back involved with the city and offer what I can do to help. Its been a year since the Long Range Planning Commission ended and what to get back into trying my part to help.

Date Submitted: 11-6, 19 90.

(Return to: City Manager, 4141 Douglas Drive North, Crystal, Minnesota 55422)

LG214
(9/5/90)

Minnesota Lawful Gambling
Premise Permit Application - Part 1

FOR BOARD USE ONLY
FEE _____
CHECK _____
INITIALS _____
DATE _____

Organization Information

Legal Name of Organization

Crystal Fireman's Relief

Business Address of Organization - Street or P. O. Box (Do not use address of gambling manager)

4140 Douglas Drive

City State Zip Code County Business phone number

Crystal Minn 55422 Henn (612) 5377098

Name of chief executive officer (cannot be gambling manager)

Title

Business phone number

Stephen A. Klok Jr

President

612 536 0782

Address of chief executive officer - Street or P. O. Box

5319 Edgewood Ave

City State Zip Code County

Crystal Mn 55422 Henn

Type of Application

Class of Premise Permit

- ☐ Class A — Bingo, Raffles, Paddlewheels, Tipboards, Pull-tabs
☒ Class B — Raffles, Paddlewheels, Tipboards, Pull-tabs
☐ Class C — Bingo only
☐ Class D — Raffles only

The class of premise permit
must be reflected by class of
the organization license.

Bingo Occasions

If class A or C, fill in days and beginning and ending hours of bingo occasions:

No more than seven bingo occasions may be conducted by an organization per week.

Day	Beginning/Ending Hours	Day	Beginning/Ending Hours	Day	Beginning/Ending Hours
_____	_____ to _____	_____	_____ to _____	_____	_____ to _____
_____	_____ to _____	_____	_____ to _____	_____	_____ to _____
_____	_____ to _____	_____	_____ to _____	_____	_____ to _____

If Bingo will not be conducted, check here ☐

Status of Premise Permit - check one:

- ☒ New premise — Fill in base organization premise permit number _____
☐ Renewal of existing premise permit — Fill in complete premise permit number _____
☐ Previously expired premise permit — Fill in complete premise permit number _____

Minnesota Lawful Gambling Premise Permit Application - Part 2

Gambling Premises Information

Name of establishment where gambling will be conducted

Street Address (do not use a post office box number)

Paddock 5540 LAKELAND NO

Is the premises located within city limits? ☐ yes ☒ no

City and County where gambling premises is located OR Township and County where gambling premises is located if outside of city limits

CRYSTAL MIN. 55429

Name and Address of Legal Owner of Premises

City

State

Zip Code

LTD INC.

Does the organization own the building where the gambling will be conducted? ☐ YES ☒ NO

NOTE: Organizations may not pay themselves rent if they own the building or have a holding company. A letter must be submitted showing rent payments as zero from gambling funds if the organization's holding company owns the premises. The letter must be signed by the chief executive officer.)

If NO, attach the following:

- * a copy of the lease with terms for one year.
- * a copy of a sketch of the floor plan with dimensions, showing what portion is being leased.

A lease and sketch are not required for Class D applications.

Rent:

For gambling with bingo \$ _____ Total square footage leased _____

For gambling without bingo \$ 600.00 Total square footage leased 1400 sq. FT.

Address of storage space of gambling equipment

Address

City

State

Zip code

Paddock 5540 LakeLand area NO
CRYSTAL MIN. 55429

Bank Information

(each permitted gambling premises must have a separate checking account)

Bank Name

Bank Account Number

Bank Address

City

State

Zip Code

CITIZENS STATE Bank
3700 West Broadway Robinsondale MIN. 55422

Name, address, and title of persons authorized to sign checks and make deposits and withdrawals.

Name	Address	Title
Kerry Clark	5324 48th N	Manager
Steve Klick	5319 Edgewood area	Pres
Mark Wernack	5102 Florida area	Sec

**Minnesota Lawful Gambling
Premise Permit Application - Part 3**

Acknowledgement

Gambling Site Authorization

I hereby consent that local law enforcement officers, the board or agents of the board, or the commissioner of revenue or public safety, or agents of the commissioners, may enter the premises to enforce the law.

Bank Records Information

The board is authorized to inspect the bank records of the gambling account whenever necessary to fulfill requirements of current gambling rules and law.

I declare that:

- I have read this application and all information submitted to the board;
 - All information is true, accurate and complete;
 - All other required information has been fully disclosed;
 - I am the chief executive officer of the organization;
 - I assume full responsibility for the fair and lawful gambling and rules of the board and agree, if licensed, to abide by those laws and rules, including amendments to them;
 - A membership list of the organization will be available within seven days after it is requested by the board;
 - Any changes in application information will be submitted to the board and local government within 10 days of the change; and
 - A termination plan will be submitted to the board within 15 days of the termination of all premise permits.
- Failure to provide required information or providing false information may result in the denial or revocation of the license.

Signature of chief executive officer

Date

Stephen A. Hick

15 Nov 90

Local Government Acknowledgement

1. The city *must sign if the gambling premises is located within city limits.
2. The county **AND township** must sign if the gambling premises is located within a township.
3. The local government (city or county) must pass a resolution specifically approving or denying the application.
4. A copy of the resolution approving the application must be attached to the application.
5. Applications which are denied by the local governing body should not be submitted to the Gambling Control Division.

Township: By signature below, the township acknowledges that the organization is applying for a premises permit within township limits.

City* or County**

Township**

City or County Name

City of Crystal

Township Name

Signature of person receiving application

Darlene George

Signature of person receiving application

Title

City Clerk

Date Received

11-15-90

Title

Date Received

Person delivering application to local governing body

Date

Roy & Schmitt

11-15-90

Is township: ☐ Organized ☐ Unorganized ☐ Unincorporated

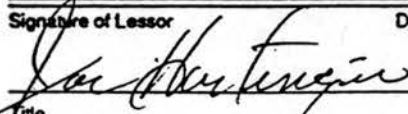
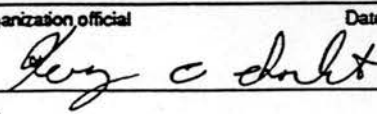
Refer to the instructions for the required attachments Mail to:

Department of Gaming
Gambling Control Division
Rosewood Plaza South, 3rd Floor
1711 W. County Road B
Roseville, MN 55113

By agreeing to the terms of this lease, it is mutually agreed that:

- The legal owner of the property is the lessor.
- The owner of the property (lessor) may not manage gambling at the premises.
- The lessor of the premises, his or her immediate family, and any agents or employees of the lessor may not participate as players in the conduct of lawful gambling on the leased premises.
- The lessor and the lessee do not have a direct or indirect financial interest in the distribution or manufacture of gambling equipment.
- The lessor of the premises will allow the Board or agents of the Board, the Commissioner of Public Safety or agents of the commissioner, or the Commissioner of Revenue or agents of the commissioner, and law enforcement personnel to inspect the premises at any reasonable time, and permit the organization to conduct lawful gambling at the premises according to the terms of this lease. The lessor may not impose any conditions on the organization regarding distributors of gambling equipment, services, or the use of profits.
- The organization must obtain a license and a premise permit from the Gambling Control Board. The organization will be responsible for complying with the laws and rules of lawful gambling.
- The organization must have, at the gambling premises, a current inventory of gambling equipment, a sketch with dimensions of the premises available for review, and a clear physical separation or divider between the lessee's gambling equipment and the lessor's business equipment.
- The organization will be responsible for ensuring that the lessor's business activities are not conducted on the leased premises.
- If the lease is cancelled prior to the termination date of this lease, each party agrees to notify the Gambling Control Board explaining the reasons for the cancellation. The lease shall be terminated immediately for any gambling, liquor, prostitution or tax evasion violations occurring on the premises.
- The lessor of the premises shall provide the lessee access to the licensed premises during any time reasonable and necessary to conduct lawful gambling on the premises and as agreed upon in this lease.
- (Write in any other conditions or restrictions that will be included as part of the lease. Attach additional sheets if necessary)

This lease is the total and only agreement between the lessor and the organization conducting lawful gambling activities. There is no other agreement and no other consideration required between the parties as to the lawful gambling and other matters related to this lease. (Any changes in this lease must be submitted to the Gambling Control Board within 10 days of the change.)

Signature of Lessor	Date	Signature of organization official	Date
	12-15-90		11-15-90
Title		Title	
		member	

A copy of this lease and sketch with dimensions must be submitted with the premise permit application or renewal to:

Department of Gaming - Gambling Control Division
Rosewood Plaza South, 3rd Floor
1711 W. County Road B
Roseville, Minnesota 55113

11/15/90

PAGE 001

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90000558	00002900	VANDALISM	012090	

REMARKS

GROSS DAMAGE TO PROPERTY W/A/M 3-17-62 W/A/M 8-22-66

REMARKS

BYRAM'S DL SENT TO STATE 1-22-90

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90000714	00009808	SUSP/INFO	012690	

REMARKS

SUSP/INFO POSSIBLE JACOB WETTERLING KIDNAPPER/UNFOUNDED

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90000964	00009807	LOCK OUT	020590	

REMARKS

LOCKOUT CHEV TK #281BRM ASSISTED

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90001501	00009811	FIGHT	022690	PADDOCK

REMARKS

FIGHT CALL - ALL SENT

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90001636	00009801	DOMESTIC	030390	ST CYR, JEROME CHARLES

REMARKS

DOMESTIC WAM DOB/ 8-5-34 AND SHARON ANN JENSEN 8-13-48 ADV

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90001815	00009816	HEALTH/WELFA	031090	

REMARKS

HEALTH & WELFARE/2 KIDS IN PARKED BRN CUTLESS/GOA

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90002826	00001300	ASSAULT	041490	

REMARKS

FELONY ASSAULT ON POLICE/DWI/RESISTING/NUMEROUS WARRANTS

REMARKS

WAM DOB/ 2-14-63 SEE ALSO SEVERAL AKAS/DOB 305EKX/NST

11/15/90

PAGE 002

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90003197	00009811	FIGHT	042790	

REMARKS
FIGHT CALL/ADVISED MORRIS, MERLE JOHN 2-19-63,

REMARKS
OLMSTED, KEVIN LEE 6-6-60, CONSER, RICHARD DEAN 6-15-60

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90003447	00001300	ASSAULT	050490	DRAKE, DANIEL

REMARKS
ASSAULT/D.O.C. WAF ARRESTED DOB/02-12-55

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90003652	00001300	ASSAULT	051090	SMITH, JAMES EDWARD

REMARKS
ASSAULT/VICTIM WAM DOB/ 6-5-64 SUSPECT/WAM

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90003686	00009811	FIGHT	051190	

REMARKS
POSSIBLE FIGHT/UNFOUNDED

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90004195	00009808	SUSP/INFO	052890	

REMARKS
SUSP/INFO CHECK WELFARE OF RUNNING SEMI W/ NO DRIVER

REMARKS
CHECKED OK

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90004566	00009807	LOCK OUT	060890	

REMARKS
LOCKOUT - ASSIST

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90004626	00002900	VANDALISM	060990	ST CYR, JEROME CHARLES

REMARKS
DAMAGE TO PROPERTY \$500.00 DAMAGE TO MOTORCYCLE

REMARKS

11/15/90

PAGE 003

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90004773	00009801	DOMESTIC	061390	

REMARKS
DOMESTIC OUTSIDE - ADVISED AND SENT

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90005100	00009811	FIGHT	062290	

REMARKS
FIGHT/ADVISED GROSS, DAVID MICHAEL 3-8-62

REMARKS
KETTLE, MICHAEL JOSEPH 7-22-65

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90005220	00005300	PUBLIC PEACE	062590	IAGUINTO, DENNIS JOHN

REMARKS
TERRORISTIC THREATS

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90006007	00009823	DETOX PICKUP	071690	

REMARKS
MALE TOOK \$40 FROM TIP JAR/RECOVERED MONEY/SUSPECT TAKEN

REMARKS
TO MISSION FARM

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90006134	00009905	AST OT AGENC	072090	PADDOCK

REMARKS
ASSIST OTHER AGENCY - STATE LOTTERY BOARD, ASSIST

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90006460	00009815	PARTY/MUSIC	072990	

REMARKS
LOUD MUSIC COMPLAINT/ADVISED

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90006737	00009807	LOCK OUT	080590	

REMARKS
LOCKOUT/ASSISTED

REMARKS

11/15/90

PAGE 004

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90007028	00002900	VANDALISM	081290	STILES, ANNETTE

REMARKS
CRIMINAL DAMAGE TO PROPERTY - \$75 - NTB751

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90007030	00009448	H&R P.D. ACC	081290	COOK, DANIEL GENE

REMARKS
LEAVING SCENE OF PD ACCIDENT - \$3,000 510FEJ

REMARKS
VICT #2/RODNEY PAUL LEHN 1109 14TH SE 378-1415 186CPJ \$500

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90007104	00002400	M/V THEFT	081490	ARTZ, RICKY JOE

REMARKS
STOLEN VEHICLE/FORD F-150 PICKUP

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90007866	00009811	FIGHT	090790	

REMARKS
FIGHT CALL - MARCY LYNN GOLDEN AND JODI ADVISED

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90008168	00009820	M/V IMPOUND	091590	

REMARKS
MALE PARTY RUNNING FROM VEHICLE/UTL

REMARKS
VEHICLE IMPOUNDED

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90008719	00009800	ALL OTH PUBS	100390	STEUDING, MARK KEVIN

REMARKS
THEFT WALLET UTL COMPLAINANT

REMARKS

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90009262	00009800	ALL OTH PUBS	102290	

REMARKS
POSSIBLE WETTERLING SUPECT/GOA POSSIBLY DRIVING 830AUD/

REMARKS
PER CAB DRIVER IN AREA

11/15/90

PADDOCK BAR

PAGE 005

INCIDENT NO	ACTIVITY CD	ACTIVITY CD	DATE REPORT	COMPL NAME
90009560	00002900	VANDALISM	110190	

REMARKS

REMARKS

DAMAGE TO PROPERTY - MOTOR VEHICLE - \$200 TO WINDSHIELD

RESOLUTION NO. 90-

RESOLUTION RELATING TO LAWFUL
GAMBLING: APPROVING CERTAIN
PREMISES PERMITS

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CRYSTAL:

Section 1. Background: Findings.

1.01. Minnesota Statutes, Chapter 349, as amended by Laws 1990, Chapter 590, provides that organizations licensed by the Charitable Gambling Control Board (Board) must also obtain from the Board a premises permit for the conduct of lawful gambling at a specific location. The statute also provides that the premises permit will not be issued by the Board unless the organization submits a resolution of the City Council approving the premises permit. These provisions of the law are not effective until January 1, 1991.

1.02. The Board has informed organizations currently licensed or applying for a license that they must submit applications for premises permits promptly so that the permits will be issued and in place on January 1, 1991.

1.03. There have been submitted to the City applications for premises permits by organizations listed in Exhibit A.

1.04. The City finds and determines that it is in the best interests of the City and the orderly process of government that the City Council approve the applications listed in Exhibit A notwithstanding the fact that the provisions of state law governing the City approval process are not yet in effect.

1.05. It is further found and determined that the City has made no independent investigations of the applicants listed in Exhibit A (other than its original investigation of the license application of the permit applicant) and expresses no judgment as to the qualifications or eligibility of the applicants for the requested permits.

Sec. 2. Approvals: Authorizations.

2.01. The premises permits listed in Exhibit A are approved.

2.02. The City Clerk is authorized and directed to supply a certified copy of this resolution to each applicant listed in Exhibit A.

Mayor

Attest:

Clerk

EXHIBIT A

RESOLUTION NO. 90-

PREMISES PERMIT APPLICATIONS

Organization

Premises

Crystal Firemen's Relief Association

5540 Lakeland Avenue North
(The Paddock)

DATE: September 11, 1990

MEMO TO: Jerry Dulgar, City Manager

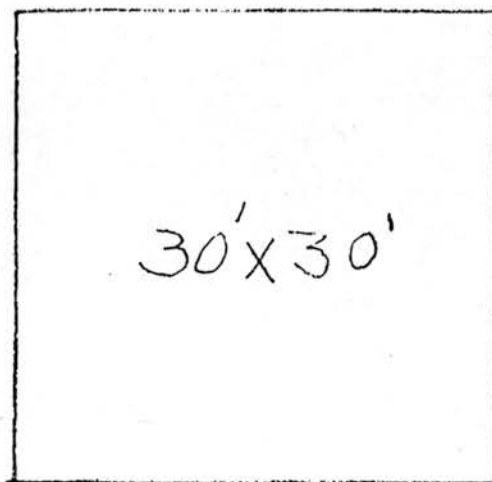
FROM: Edward C. Brandeen, Park & Recreation Director

SUBJECT: Installation of Concrete Slab at Becker Park

The Crystal Lions Club has informed me that they have approved a donation of up to \$3,000 to be given to the City to construct a 30' x 30' concrete slab at Becker Park.

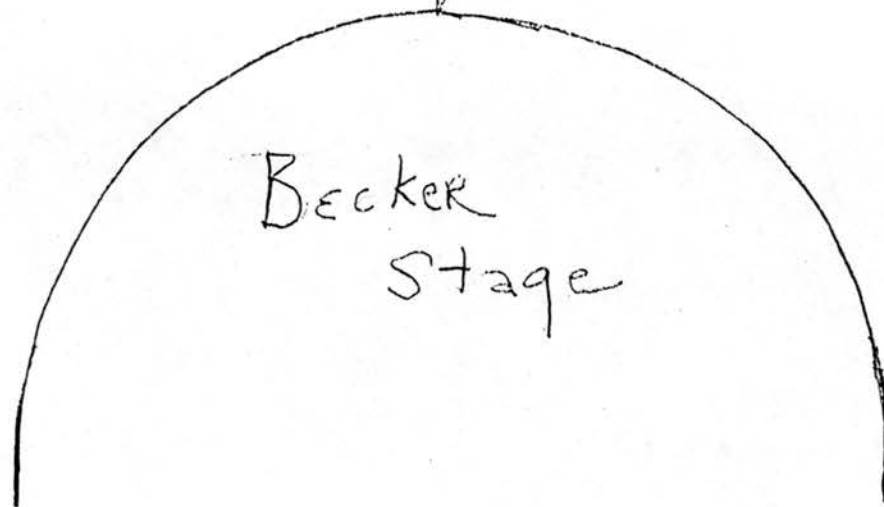
This facility would be located in front of the stage area and would be used for square dance groups, theatre groups, demonstrations, dancing to music provided by concerts, special children's groups who want to interact with the audience (magicians, Teddy Bear Band) and possibly many other interests.

This donation was at the request of the department staff as well as several members of the Crystal Frolics Committee.



← Concrete
Slab

1-15' min.



The following are excerpts from the Crystal Park and Recreation Advisory Commission Meeting on November 7, 1990.

MEMBERS PRESENT: B. Gentry, O'Reilly, Pitts, Smothers, Reid, Saunders, Spaulding, Theisen

LIONS CLUB DONATED DANCE FLOOR - BECKER PARK

The Commission discussed the diagram of the dance floor at Becker Park. The concrete will be 4" thick and could be tinted green; the benches will not be affected.

Moved by Mr. Smothers and seconded by Mr. Theisen to recommend that the drawing of the concrete slab dance floor for Becker Park be submitted to the Council for action. Motion carried - Unanimous.

DATE: November 20, 1990

MEMO TO: Jerry Dulgar, City Manager

FROM: Edward C. Brandeen, Park & Recreation Director *ECB*

SUBJECT: Use of the Crystal Community Center by Crystal
Lions Club for Pancake Breakfast

The Crystal Lions will be using the Crystal Community Center on Sunday, November 25 for their semi-annual pancake breakfast. This will be their first use of the building.

Instead of paying the normal fee for rental that day, they are asking to pay the fee for a building supervisor only. The normal fee for rental by a non-profit group is \$25.00 per hour for gym space and a \$25.00 flat fee for use of the kitchen. The building supervisor cost is \$7.50 per hour for approximately 9 hours. This summary is as follows:

Building rental - \$25.00 @ 9 hrs. -	\$225.00
Kitchen rental -	<u>25.00</u>
	\$250.00

Building Supervisor - \$7.50 per hour @ 9 hrs. - \$67.50

In lieu of the fact that they have donated several thousand dollars to the city and are also planning on donating an additional several thousand, I would like to recommend that they be charged only for the building supervisor at approximately \$67.50.

DATE: November 14, 1990

MEMO TO: Jerry Dulgar, City Manager

FROM: Edward C. Brandeen, Park & Recreation Director *E.C.B.*

SUBJECT: Exceeding Present Limit in Sign Ordinance on
Display of Temporary Portable Signs for the
Community Center

The Park and Recreation Advisory Commission recommended that provisions be made for portable signs announcing Crystal Community Center events in excess of three times per year and that the revision be in effect until a marquee is constructed.

To date, we have used up the allotment of three times per year per location at the Crystal Community Center. The department as well as other groups would like to advertise various events taking place at the new Center but cannot do so because of the present ordinance.

I support the recommendation of the Commission to either provide some type of variance in the present ordinance or construct a permanent type sign.

The following are excerpts from the Crystal Park and Recreation Advisory Commission Meeting on November 7, 1990.

MEMBERS PRESENT: B. Gentry, O'Reilly, Pitts, Smothers, Reid, Saunders, Spaulding, Theisen


COMMUNITY CENTER MARQUEE/ADVERTISING OF COMMUNITY EVENTS

The Commission was informed that the current city sign ordinance states that one address is allowed only 3 temporary sign permits per year. The Commission felt that since both public and private groups are using the Center for their events and may want to advertise these events, the ordinance is restrictive.

Moved by Mr. Smothers and seconded by Mr. O'Reilly to recommend the sign ordinance be revised to make provisions for portable signs announcing community center events in excess of 3 times per year and that the revision would be in effect until a marquee is constructed at the Community Center. Motion carried - unanimous.

DATE: November 14, 1990

MEMO TO: Jerry Dulgar, City Manager

FROM: Edward C. Brandeen, Park & Recreation Director 

SUBJECT: Soliciting Funds for a Marquee Sign at the Community Center

Since the Community Center opened six months ago, several renters, groups, programmers have inquired about advertising their event or program on a marquee/permanent reader board in front of the Community Center.

Temporary event signs are only permitted up to three times per year per property by city ordinance. We have already used up the total allotment for the year.

We had looked at this type of sign with the architect to include as part of the building project. It was only after several meetings with the architect that it was determined that insufficient funds would be available from the construction budget to erect this type of sign. Due to this waiting period, it was not included in the 1991 budget.

The Park and Recreation Advisory Commission has recommended that funds be solicited to erect a permanent marquee type sign for the Center.

I concur with the Commission that if funds could be secured by donation, to erect this type of sign - as it would be a great asset to the community!

The following are excerpts from the Crystal Park and Recreation Advisory Commission Meeting on November 7, 1990.

MEMBERS PRESENT: B. Gentry, O'Reilly, Pitts, Smothers, Reid, Saunders, Spaulding, Theisen

COMMUNITY CENTER MARQUEE/ADVERTISING OF COMMUNITY EVENTS

The Commission discussed an events sign to be located at the Community Center. The estimated cost of the sign is \$15,000. It would be similar to the one at Becker Park. Several methods of funding this project were discussed including donations.

Moved by Mr. Smothers and seconded by Ms. Reid to recommend soliciting of private funds from local civic groups for the construction of an events marquee to be located at the Community Center. Motion carried - unanimous.

DATE: November 15, 1990
TO: Jerry Dulgar, City Manager
FROM: Bill Barber, Building Inspector *W Barber*
SUBJECT: 5150 West Broadway
Proposed replatting, rezoning and building permit approval

This is an update since the Council meeting of October 16, 1990. At that meeting, the Council approved the preliminary plat and had the first reading of an Ordinance to rezone Lot 2, Block 1 of the proposed Atlantic Addition. Second and final reading was to be held until staff was satisfied with modifications regarding parking, office space and site improvements.

A new site plan has been submitted and answers staff's concerns. You will note that originally they had two separate buildings in the center of the site. They now have one large one in the middle which provides for better traffic flow on the site.

A portion of building #5 is being built so that it can be easily converted to an office. This is shown on the attached sheet.

Bill Monk has put together the site improvement agreement. It is attached also for your review and acceptance.

I am asking also for approval to issue a building permit subject to standard procedure.

We will answer any questions you have on Tuesday night.

kk

DATE: October 10, 1990
TO: Jerry Dulgar, City Manager
FROM: Bill Barber, Building Inspector *Bill*
SUBJECT: Proposed Plat, Rezoning and Building Permit
Approval for 5160 West Broadway

This site is currently occupied by Wash Me Car Wash (formerly Suttle Car Wash). The new owners are proposing to replat the lot into 2 lots which would permit development of the second lot. In approving the proposed replatting, you would also be granting a variance to the conditional use permit approved in 1981. The variance would be reducing the number of cars which can be stacked from 30 to 20 as you can see by the attached site plan. The zoning ordinance requires that enough space be provided for vehicles which can be washed during a 30 minutes period.

The second item that is being requested is that the lot being created along the south and east of the car wash be rezoned to I-2 which will permit warehousing. The property was rezoned from I-2 to B-3 in 1981 to allow for the car wash as a conditional use.

The final item being requested is the approval to issue a building permit. We have discussed traffic flow, drainage, security, and fire protection with the proponent.

Update to September 6, 1990 memo

At the September 10, 1990 meeting the Planning Commission moved to continue the public hearing on the proposed replatting and rezoning at 5160 West Broadway. I have received a new revised site plan which shows the existing north exit as being two-way. This will necessitate additional driveway being installed on the existing property to provide for the stacking of 30 cars.

The proposed lot will use the existing south curb cut as their entrance/exit thereby eliminating the concern of vehicles going both ways and crossing the incoming cars.

You also need to note that building #5 has increased in length by 81'0" or 1,728 square feet. This puts the building coverage on the lot at about 23%. The majority of the remaining lot is hard surfaced for driveway.

One concern that we have with this proposed site layout is drainage. You will note that there are proposed storm sewer catch basins for the normal rains but no provision has been provided for overflow. When we met with the owner we discussed this with him but he has not shown what he proposes.

This new site plan answers the big percentage of our concerns. As is standard procedure, before any permits are issued for any construction, a site development agreement for site improvements will be put together by the Engineering Department. This plan also eliminates the need for a variance to the approved Conditional Use for the Car Wash.

We will try to answer any questions you have on Monday Night.

UPDATE FROM PLANNING COMMISSION

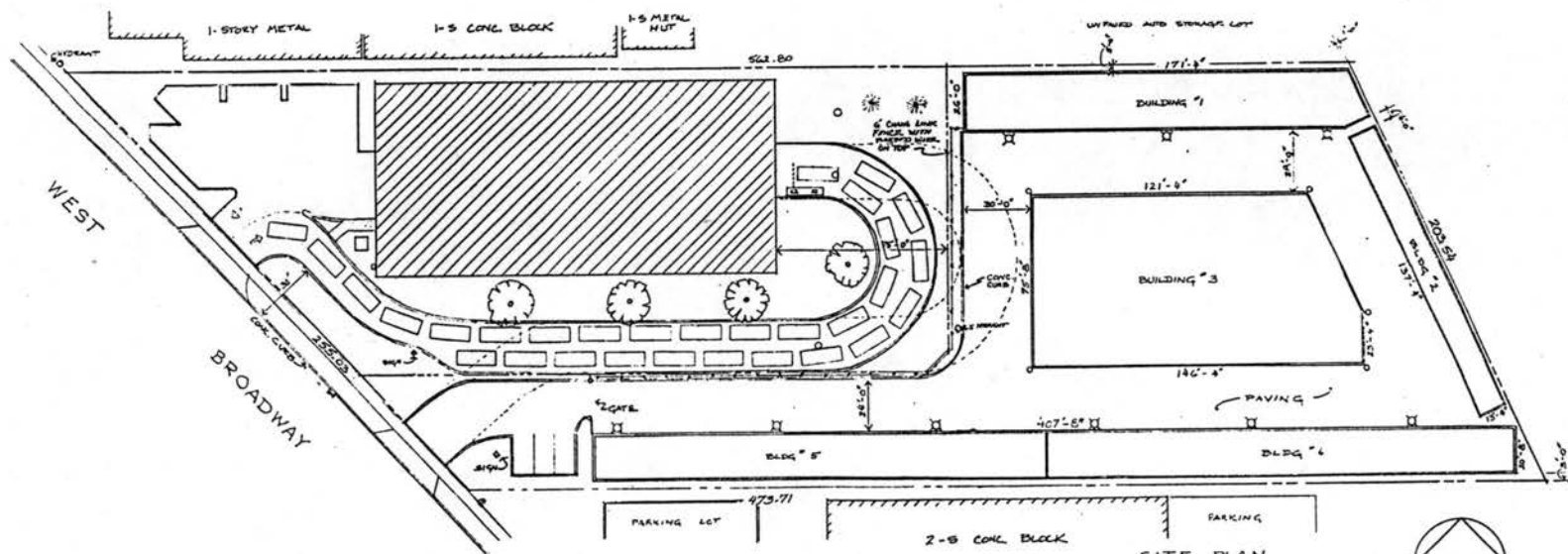
The Planning Commission held the public hearing for the proposed plat and rezoning. Their recommendation to Council was for approval. The preliminary plat passed on a 5-4 vote and the rezoning passed on a 6-3 vote. Their findings of fact were:

1. Good plan for the area being considered.
2. Even with the irregular shape and size, the scheme seems to fit the area well. Applicant has been working with staff to get a workable plan.
3. A means of water overflow needs to be worked out with staff.
4. The property was originally zoned I-2 before the car wash came in. In addition, all properties adjacent are currently I-2.

The recommended approval to issue the building permit subject to standard procedures. They also had two concerns they would like the applicant to do:

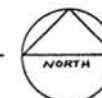
1. Have an agreement for cross drainage from the proposed site to the car wash property.
2. Look at the possibilities of reducing building #5 in size to accommodate four parking spaces and a small office area should the owner's of the two properties change.

kk



BUILDING SQUARE FOOTAGE	
BLDG. NO.	SQ. FT.
1	4,586
2	1,830
3	10,418
4	4,292
5	4,139
TOTAL	25,265

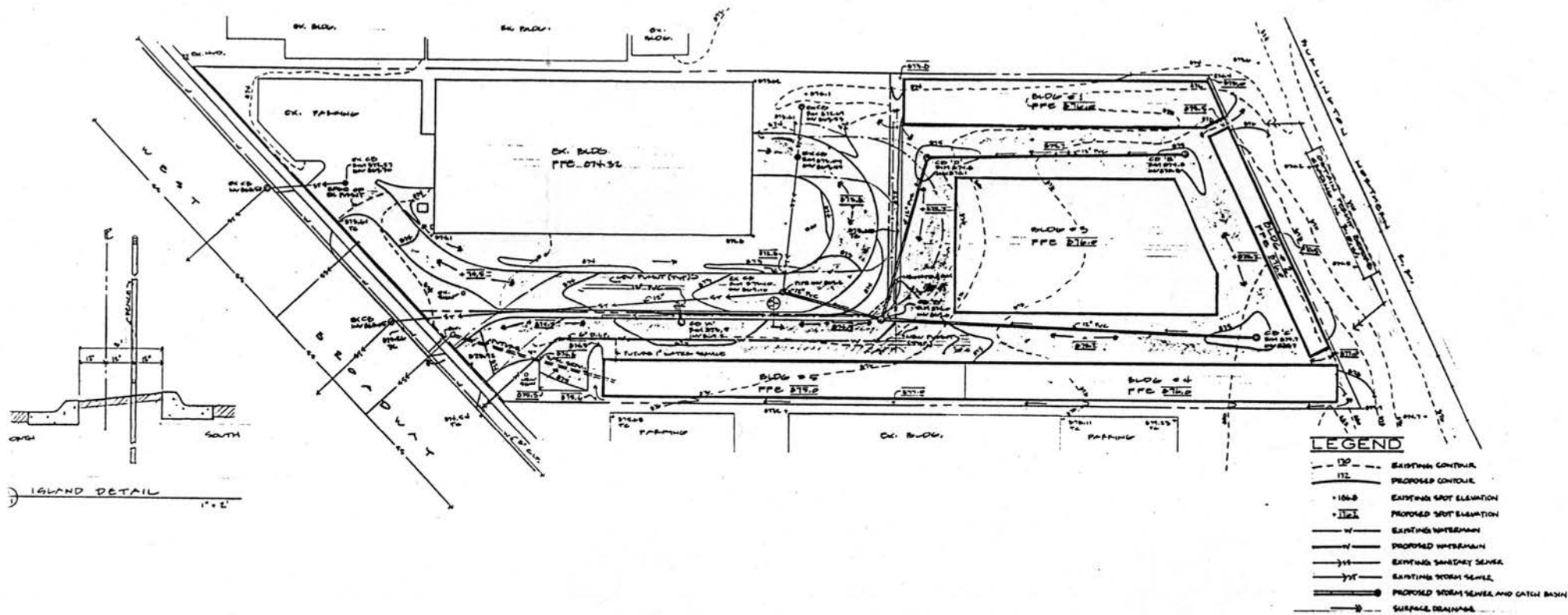
SITE PLAN
SCALE 1" = 30'-0"



ATLANTIC MINI STORAGE

REVISED PLANS		SCALE	DATE	APPROVED BY
8-7-90	MATCH SURVEY	7'-6"-93		
9-5-90	REVISED SITE			
9-10-90	REVISED SITE			
10-21-90	3 3/4" x 5 1/2" BLDG'S			

5150 WEST BROADWAY
CRYSTAL, MINNESOTA



ATLANTIC MINI-STORAGE
CRYSTAL, MINNESOTA

NOV. 13, 1990

**PRELIMINARY GRADING
AND DRAINAGE,
UTILITY PLAN**



TEMPLE ASSOCIATE
CONSULTING ENGRS

18300 MINNETONKA BLVD.
WAYZATA, MINNESOTA 55391

BUILDING #5

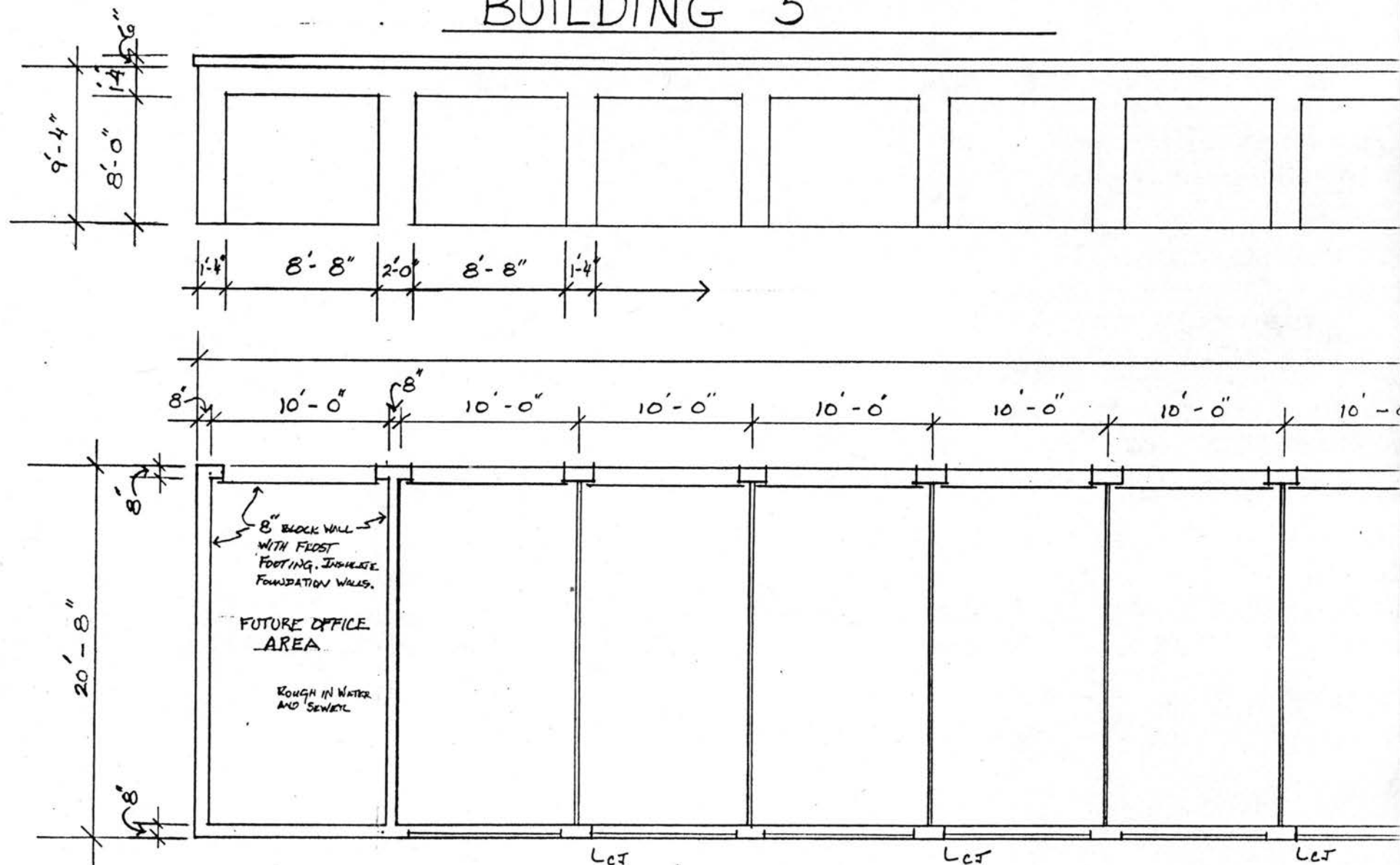


EXHIBIT "A"

A G R E E M E N T

THIS AGREEMENT made by and between the City of Crystal, a municipal corporation in the State of Minnesota, hereinafter called the City, the first party, and _____, hereinafter called the second party,

WHEREAS, second party has requested that the City Council approve the issuance of a building permit.

WHEREAS, as a prerequisite to the approval of said permit, the City Council requires the construction of certain improvements for the orderly development of property known as Atlantic Mini-Storage, 5150 West Broadway, consistent with site plan dated November ____, 1990.

NOW THEREFORE, in consideration of the granting of said permit, said second party agrees and covenants as follows:

- Prepare and record final plat of Atlantic Addition consistent with preliminary plat approved 10/16/90.
- Remove all concrete curb and blacktop necessary for new construction.
- Reconstruct driveway opening and repair street adjacent.
- Construct V6 (minimum section) or B612 cast-in-place concrete barrier curb.
- Construct new parking area and drives with a minimum of 6" Class 5 base and 2" bituminous surface. Patch and overlay existing parking and drive areas.
- Stripe parking stalls with white paint.
- Erect 1 handicap parking stall sign.
- Construct storm sewer and appurtenances to collect and dispose of all surface water on the site.
- Provide screening from adjacent property in accordance with Section 515.07, Subd. 9, of the Crystal City Code.
- Install perimeter security fence.
- Erect stop signs at exits from parking area.
- Install water service at the main and restore disturbed area.
- Install hydrant and connect to new service.
- Prepare and submit "as built" utility plans.
- Designate and sign fire lanes.
- Note how area lighting if proposed will conform to Section 515.07, Subd. 10, of the Crystal City Code.
- Landscape all open and disturbed areas.
- Provide all lot irons in place and to grade at the time of final acceptance.

That the second party warrants and guarantees all work done under the agreement against any defect in workmanship, materials, or otherwise that may occur within one year from the date of final acceptance by the City of all said work and other requirements.

That construction work be completed prior to issuance of the occupancy permit but not later than one year from issuance of building permit.

To hold the City harmless from any and all claims which may arise from third parties for any loss or damage sustained resulting from pursuance of the above-described work.

That all just claims incurred in the completion of
aforementioned work requirements shall be paid in full by said
second party to all persons doing work or furnishing skill, tools,
machinery, services, materials, equipment, supplies or insurance.

All work pursuant hereto shall be in compliance with existing
laws, ordinances, pertinent regulations, standards, specifications
of the City of Crystal, and subject to approval of the City
Engineer.

In the event that said second party has not completed any or
all of the aforementioned work and requirements on the completion
date as set forth herein, then in that event said second party
shall be considered in default. Should said second party be in
default, then said second party authorizes said city, its
officers, its employees or its authorized agents to enter upon said
second party's property and to complete any or all such uncompleted
or improperly performed work or other requirements in conformity
with this agreement.

That surety be deposited with the City in the amount of
\$60,000 to insure the faithful performance of the above
construction work and requirements, said surety to be in the form
and manner as prescribed by Crystal.

IN WITNESS WHEREOF we have hereunto set our hands this ____
day of _____.

SEAL

ATTEST:

CITY CLERK

CITY OF CRYSTAL

MAYOR

CITY MANAGER

IN THE PRESENCE OF:

SECOND PARTY

SECOND PARTY

DATE: November 15, 1990
TO: Jerry Dulgar, City Manager
FROM: Bill Barber, Building Inspector *W Barber*
SUBJECT: Preliminary Plat Approval and Variances for Lot Width, Lot Area, Lot Depth, Proposed Schoff 2nd Addition

Charles and Catherine Schoff of 3543 Zane Ave. N. are proposing to replat their existing lot into two separate lots. The new lot would require three separate variances. One is a variance of 3.7 feet to the required 60 feet for lot width. The proposed lot would be 56.3 feet wide. The second variance would be for lot area. Section 515.15 Subdivision 2(c)3i of the Zoning Code requires a minimum lot area of 7,500 square feet. The new lot would be 5,438.58 square feet or a variance of 2,061.42. The third variance is to lot depth. Section 515.15 Subdivision 2(b)1 requires that a lot be a minimum of 100 feet in depth. This lot would be 96.6 feet or a variance of 3.4 feet. The lot as proposed would leave a building area of 26.6 feet in depth and 46.3 feet in width. This area would allow for an average size home. However, with only 26.6 feet of depth, the possibility of installing a deck behind the house would not be possible unless a variance was granted to encroach into the required rear yard setback.

As you can see by the preliminary plat the proposed lot line would be the required 5 feet from the structure to the south and would be 5 feet plus from the garage to the north. I have been in contact the Schoffs and they are planning on being at the meeting to answer any questions that you may have of them. I also will be there to answer any questions you have relative to the zoning.

Update from the Planning Commission Meeting

The Planning Commission on 11/5/90 held the public hearing on the preliminary plat and recommended to Council to deny the request. Their findings of fact were:

1. That the proposed plat is inconsistent with the Zoning Ordinance for lot width, lot depth, and lot size.
2. That by approving a lot with this many variances, a precedent would be set that would be irrevocable and not in the best interest of the City.

The vote was unanimous.

kk

LOT SURVEYS COMPANY, INC.

LAND SURVEYORS

REGISTERED UNDER LAWS OF STATE OF MINNESOTA

7601 - 73rd Avenue North

560-3093

Minneapolis, Minnesota 55428

Surveyors Certificate

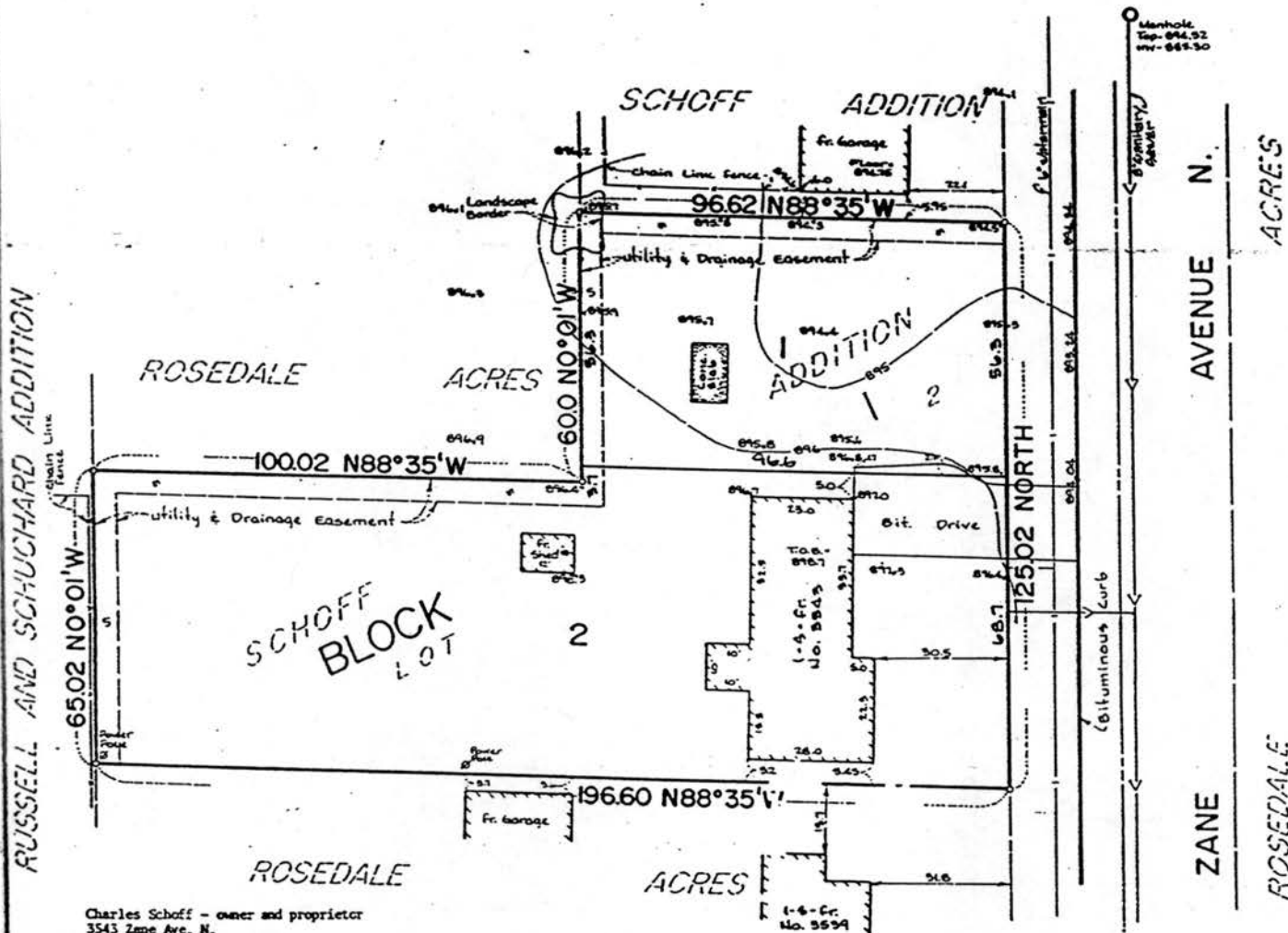
INVOICE NO. 37748

F. B. NO. 351-75

SCALE 1" = 30'

0 - DENOTES IRON

PRELIMINARY PLAT SCHOFF SECOND ADDITION



Charles Schoff - owner and proprietor
3543 Zane Ave. N.
Crystal, MN 55422
Phone: 537-1546

Prepared by: Lot Surveys Company, Inc.
7601 73rd Avenue North
Brooklyn Park, MN 55428
Phone: 560-3093

Benchmark: Top of Hydrant 36th and Zane
Elevation = 899.80

Total Area = 18,572 Sq. Ft.

Area of Lot 1 = 5,436 Sq. Ft.

Area of Lot 2 = 13,136 Sq. Ft.

Denotes Existing Elevation

Description:

Lot 2, Block 1, SCHOFF ADDITION

The only easements shown are from plats of record or information provided by client.

We hereby certify that this is a true and correct representation of a survey of the boundaries of the above described land and the location of all buildings and visible encroachments, if any, from an on site land.

Surveyed by us this 31st day of August, 1990

Signed

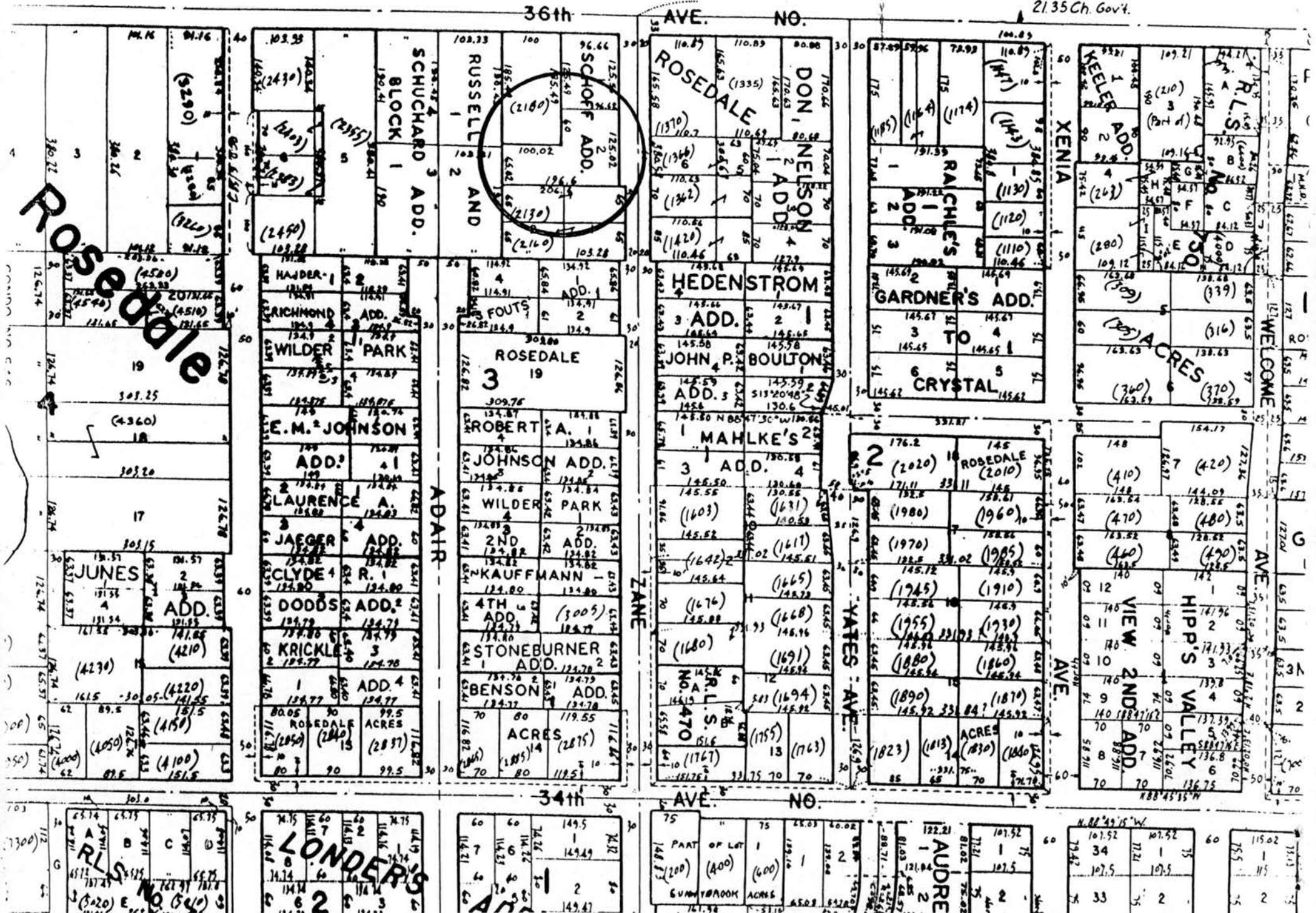
(Raymond A. Praech, Minn. Reg. No. 6743)

SEC. 16, T. 118, R. 21

2731.1 Res.

10

21.35 Ch. Gov't.



DATE: November 15, 1990
TO: Jerry Dulgar, City Manager
FROM: Bill Barber, Building Inspector *W Barber*
SUBJECT: Extension of Conditional Use Permit - 6800 56th
Ave. N., Firestone Service Center

The City Council granted a conditional use permit in September of 1989 for Firestone to build a service center at the above noted address. Due to some difficulties within their organization they were not able to get started within the one year time frame. As you can see by the attached letter, they're requesting that the conditional use permit be extended for one year so that they can build the project in 1991. As you can see by their schedule, they are planning on building the project starting in June and having it completed in the fall.

I do not have a problem with this as they are proposing to build the same building and do the same site plan as was approved. If you have any questions, please let me know.

kk

Firestone

November 6, 1990

City Council
c/o Bill Barber
4141 Douglas Drive N.
Crystal, Minnesota 55422-1696

Re: Zoning Approval Extension
Firestone Mastercare Service Center
6800 56th Street
Crystal Minnesota

Dear Mr. Barber,

Please allow this letter to serve as a formal request by Bridgestone/Firestone, Inc. to grant an extension of the one year zoning and permitting approvals given for the subject development in the Fall of 1989. We are not requesting any changes to the site or development plans approved at that time.

The current schedule anticipated by Bridgestone/Firestone, Inc. for the development of the site is as follows:

January 1991--Bidding of the project.

March 1991--Awarding the construction contract.

June 1991--Ground breaking.

October 1991--Store opening.

We appreciate your consideration in this matter. If you have any questions or comments concerning this matter, please do not hesitate to call.

Sincerely,

BRIDGESTONE/FIRESTONE, INC.



Tim Davis
Real Estate Representative

ORDINANCE NO. 90-_____

AN ORDINANCE RELATING TO ZONING:
AMENDING ORD. NO. 90-17

THE CITY OF CRYSTAL ORDAINS:

Section 1. Findings: Background.

1.01. By Ordinance No. 90-17 the City changed the zoning classification of the following property in the City:

P.I.D. #05-118-21-11-0071, located at 6048 Lakeland Avenue North, legally described as Lot 2, Block 1, Engstrom Addition

from B-4, Community Commercial to B-3, Auto-oriented Commercial.

1.02. All procedures required by law for the rezoning were duly followed by the City. However, Ordinance No. 90-17 by typographical error incorrectly identified the property as "Lot 1" rather than Lot 2.

1.03. It is found and determined that it is necessary for the orderly process of government and the City's land records that Ord. No. 90-17 be amended to correct the typographical error described in Section 1.02.

Sec. 2. Amendment.

2.01. Section 1 of Ord. No. 90-17 is amended to read:

Section 1. The zoning district classification of the following described land is hereby changed as follows:

Description of Land:

P.I.D. #05-118-21-11-0071 located at 6048 Lakeland Avenue North, Lot ~~1~~ 2, Block 1, Engstrom Addition

Present Classification:

B-4, Community Commercial

New Classification:

B-3, Auto-oriented Commercial

Description of Land:

P.I.D. #05-118-21-11-6087 located at 6058 Lakeland Avenue North, Lot 1, Block 1, Storm's First Addition

Present Classification:

B-2, Limited Commercial

New Classification:

B-3, Auto-oriented Commercial

2.02. The Zoning Administrator is authorized and directed to make the appropriate changes in the Zoning District map on file in the office of the City Clerk in accordance with Crystal City Code, Appendix I, Subsection 515.17, Subdivision 2.

Sec. 3. This ordinance is effective in accordance with Crystal City Code, Subsection 110.11.

Mayor

Attest:


City Clerk

DATE: November 16, 1990
TO: Jerry Dulgar, City Manager
FROM: William Monk, City Engineer
SUBJECT: Stop Sign Installation

In answering concerns for traffic movements at the intersection of Quail and 35th Avenues, I have found that the following two situations exist:

- 1) Sight restrictions exist that cannot be eliminated within the public right-of-way.
- 2) All other intersections in the area along 36th and 35th Avenues are regulated in terms of traffic control.

The items noted above are considered acceptable warrants in placement of regulatory signs at an intersection. With this in mind, it is recommended stop signs be placed on Quail Avenue at its intersection with 35th Avenue. The direction of sign placement is intended to leave 35th Avenue unrestricted in light of predominant traffic movements and existing sign placement.


WM:mb

CITY

36TH

AVENUE

NORTH

All streets stop
at 36th Ave.

Traffic Signal

SCHOOL
DIST. 281

AVENUE

AVENUE

AVENUE

AVENUE

AVENUE

AVENUE

AVENUE

AVENUE

4 Way
Stop

2 Way
on Perry

2 Way
on 35th

4 Way
Stop

35TH

AVENUE

PARK

NORTH

2 Way
on 35th

2 Way
on Major

4 Way
Stop

34TH PLACE NO.

REGENT

QUAIS

PERRY

ORCHARD

NOBLE

MAJOR

LEE

KYLE

Proposed
Signal

34TH

AVENUE

NORTH

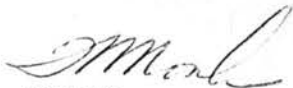
CITY OF GOLDEN VALLEY



LOCATION MAP
Scale
1" = 400'

DATE: November 15, 1990
TO: Jerry Dulgar, City Manager
FROM: William Monk, City Engineer
SUBJECT: Upgrade of 36th Avenue

The feasibility study detailing improvements for the upgrade of 36th Avenue between Louisiana and Welcome Avenues as prepared by RCM is attached. I have scheduled a presentation of the report by RCM for the Council meeting of November 20. At that time the Council will be in a position to call for the public improvement hearing which represents the next step in authorizing a construction project.



WM:mb


Encl.



RCM rieke
carroll
muller
associates, inc.
engineers
architects
land surveyors

36TH AVENUE NORTH
REPAIR AND REHABILITATION
CRYSTAL, MINNESOTA

I hereby certify that this report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.



Peter J. Carlson, P.E.

Reg. No. 18192

RCM 10080.01

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INTRODUCTION

This feasibility report has been prepared and is submitted in accordance with the agreement between the City of Crystal and Rieke Carroll Muller Associates, Inc. (RCM). This report is for the repair and reconstruction of 36th Avenue North from Louisiana Avenue to Welcome Avenue. The existing pavement is beyond its 20-year life span and has deteriorated to the point where it is necessary to repair or replace the bituminous pavement. This project has been divided into two areas. (See Project Location Map - Figure 1.) The east half of the project, Area 1, from Douglas Drive to Welcome Avenue is proposed to be reconstructed including removal of the existing bituminous surface, widening the road from a 44-foot width to 48 feet wide, repair of the sanitary sewer where necessary, storm sewer construction, installing concrete curb and gutter, concrete sidewalk on both sides, and bituminous pavement. The west half, Area 2, from Louisiana Avenue to Douglas Drive proposed reconstruction consists of spot repairs and patching of the existing bituminous surface and a bituminous overlay.

Minnesota Department of Transportation (MnDOT) is currently in the preliminary design phase for reconstruction of the Highway 100 and 36th Avenue interchange. This work will include a change in alignment for 36th Avenue possibly as far west as Welcome Avenue. These final grades and alignments are not known at this time; therefore, for cost estimating purposes, we have assumed that the reconstruction of 36th Avenue will end at the east side of the intersection with Welcome Avenue.

CITY
OF CRYSTAL

PROJECT LOCATION
AREA 2

PROJECT LOCATION
AREA 1

No Scale

FIGURE #1

PROJECT LOCATION

36 TH AVENUE
REPAIR AND REHABILITATION
CRYSTAL, MINNESOTA



rieke
carroll
muller
associates, inc.

architects • engineers • land surveyors

REVISIONS

SHEET NO.

DATE
10/25/90

FILE NO.
10080.01

EXISTING CONDITIONS

36th Avenue is an east-west bituminous road through a residential area of Crystal and is designated as a collector road in the City's Comprehensive Road Plan. The road carries a significant amount of traffic due to access points onto Highways No. 100 and No. 169. The existing pavement is approximately 44 feet wide with four lanes east of Douglas Drive and two lanes with a wide shoulder area west of Douglas Drive. The bituminous ranges from 2 inches to 7 inches in thickness. Concrete curb and gutter and sidewalk exists along 36th Avenue in isolated one or two block areas. Trucks are currently restricted from using 36th Avenue and the posted speed limit is 30 mph.

The intersection of 36th Avenue and Douglas Drive was recently improved by Hennepin County and is controlled with a traffic signal. Douglas Drive is a four-lane County road with a fifth lane at the intersection for left turns onto 36th Avenue. 36th Avenue is also four lanes at the intersection; however, there is no fifth lane for left turns due to insufficient right-of-way. Due to the lack of a left turn lane on 36th Avenue, cars on 36th Avenue experience some difficulty turning left onto Douglas Drive during periods of peak traffic volumes, creating congestion and delays for through vehicles.

At 36th Avenue and Hampshire Avenue, there is an existing concrete box culvert which the Corps of Engineers is planning to extend west in 36th Avenue during the summer of 1991. Road repair work in the area should be coordinated with the Corps to avoid duplication of work.

No major pavement failures were found along 36th Avenue; however, the pavement is beyond its 20-year life span and is deteriorating due to the age of the pavement and the volume of traffic it carries.

ROAD DESIGN

Area 1 - Douglas Drive to Welcome Avenue

Road Design

The existing pavement on 36th Avenue is approximately 44 feet wide and is striped for four lanes. The pavement is beyond its 20-year life and has deteriorated to the point where repair or rehabilitation is necessary. The subsurface investigation performed by Twin City Testing found 2½ inches to 4 inches of bituminous and a poor aggregate base on a silty sand subgrade. The full soils report is included in the appendix of this report. This pavement was not designed to carry the current traffic volumes. In the City's Comprehensive Road Plan, 36th Avenue is designated as a collector road; however, according to State Aid Standards, the road is classified as an arterial road for design purposes.

Reconstruction with a bituminous overlay was considered for this area of 36th Avenue. Bituminous overlays are intended as a short-term repair for any road. Cracks in the original pavement will reflect through the overlay and the overlay will eventually take the shape of the original pavement. The soil testing results in most instances are the final indication of whether an overlay is structurally feasible. On 36th Avenue the tests indicate a weaker street section east of Douglas Drive that will not support existing traffic loads with just an overlay. The section west of Douglas Drive, on the other hand, shows more gravel and a deeper asphalt layer that can support existing traffic with an overlay. Further, the 44-foot street width is too narrow to safely handle four lanes of traffic and does not include any provisions for pedestrians. For these reasons, a reconstruction project is proposed for the section of 36th Avenue east of Douglas Drive and the overlay option was not pursued.

Based on traffic volumes, State Aid Standards dictate construction of a 4-lane arterial road, 52 feet in width from face of curb to face of curb. To minimize encroachment on adjacent properties and allow for sidewalks, the roadway should be designed for a 48-foot width with concrete curb and gutter and no parking on either side of the road. A no parking resolution will be required by the City Council and will require a City request for a variance to State Aid Standards. MnDOT is currently in the process of revising roadway width standards and if approved, a variance would no longer be required. In absence of these new standards and due to the length of time required to obtain a variance, the City should proceed in obtaining the street width variance. The City staff should maintain communications with MnDOT officials regarding approval of the proposed standards changes.

Area 2 - Louisiana Avenue to Douglas Drive

Road Design

Based on existing traffic volumes and loads (trucks restricted), a bituminous overlay is proposed for 36th Avenue in Area 2. A 2-1/2 inch overlay is expected to extend the pavement life a minimum of five years and defer a decision on complete reconstruction. No utility work is currently planned in this area of 36th Avenue.

The subsurface investigation found the existing pavement to be 4 inches to 7 inches thick on a silty-clayey sand. The bituminous was found to have many transverse and longitudinal cracks and several areas where patching would be required. The pavement should be milled 1/2 inch to 1 inch before the overlay is placed. This will provide a level surface for the overlay, increase the bonding between the old and new bituminous, and help to minimize the reflective cracking which will eventually occur (see Figure 6).

The proposed street work should be coordinated with the Corps of Engineers as they are planning conduit construction at Hampshire Avenue and with Hennepin County as they are planning to rebuild Medicine Lake Road, a parallel east/west street.

TRAFFIC ANALYSIS

Traffic Volume

Traffic volumes for 36th Avenue North have been compiled by City Staff since 1977 and are shown in Table No. 1. These figures show that traffic volumes have increased at a fairly uniform rate of 0.5% per year. Based on these figures and knowing that the areas adjacent to 36th Avenue are basically fully developed, traffic volume is expected to continue to increase at the current rate of 0.5% per year until the projection year of 2010 (see Figure 2). In the year 2010 traffic volumes are projected to be 16,000 - 17,000 Average Daily Trips (ADT).

Traffic Signal Analysis

An analysis of the traffic signal control at Douglas Drive (CSAH 102) and 36th Avenue North was performed by Benshoof and Associates to determine if signal modifications could improve intersection operations and improve left turning movements on 36th Avenue which create congestion/delays for through vehicles. This analysis was made assuming additional right-of-way for a fifth lane is not available.

Based upon current traffic volumes, observations, and data from Hennepin County regarding signal parameters, the existing operations were analyzed. This analysis indicates that the intersection currently operates in a typical fashion for an intersection of this design and provides effective traffic flow at a level of service (LOS) Grade B. Intersection operations are "graded" based on delay, with a range from A (excellent free flow type conditions) to F (significant delays, traffic volumes in excess of capacity).

A variety of alternatives were reviewed to determine if overall intersection operations could be improved. These included:

- Split phase signal operation to allow the eastbound and westbound traffic to proceed on separate phases, as opposed to the current single phase.
- Lag or lead green signal phasing which would allow east or westbound traffic to have a greater green time than the opposing leg.
- Lane assignment changes on 36th Avenue which involve one lane being designated a left turn lane and the other serving through and right turn vehicle movements.

TABLE NO. 1
36TH AVENUE TRAFFIC VOLUMES (ADT)

<u>Year</u>	<u>West of TH 100</u>	<u>East of Douglas Drive</u>	<u>West of Douglas Drive</u>	<u>At Louisiana Avenue</u>
1977	15,700	14,300	11,400	10,800
1981	15,050	13,650	10,950	11,200
1983	14,400	13,000	10,200	11,600
1985	15,600	14,200	10,200	11,600
1989	16,000	14,600	12,200	12,000

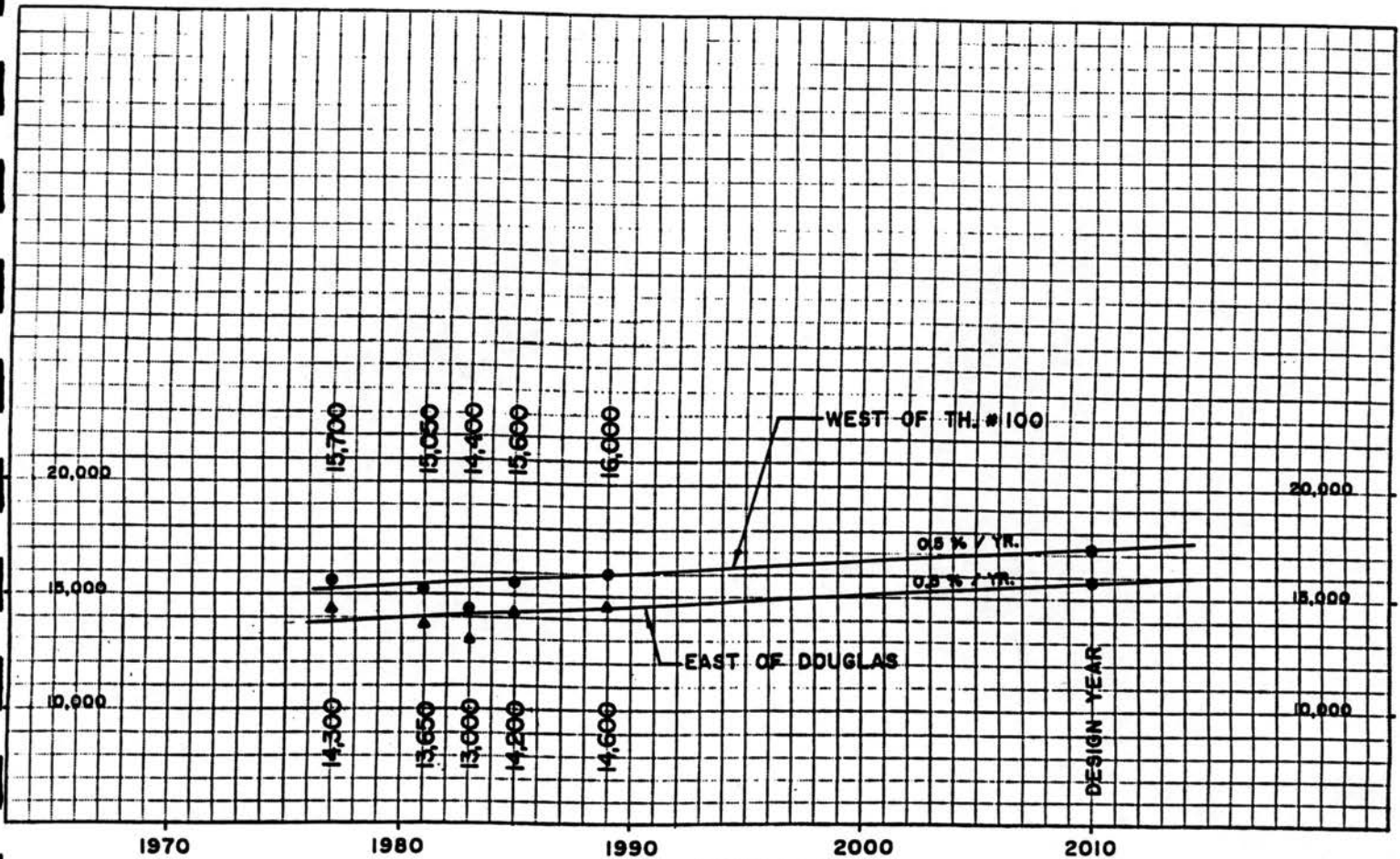


FIGURE # 2

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TRAFFIC PROJECTIONS

36 TH AVE. NO.
 DOUGLAS EAST TO TH.#100
 CRYSTAL MINNESOTA

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The intersection levels of service for these alternatives were evaluated. In each case, overall intersection level of service deteriorated and ranged from LOS Grade C through LOS Grade F.

Based on this analysis, it is concluded that signal modifications will not improve intersection operations, but rather would increase delay and result in deterioration of intersection operations. It is recommended that the signal operations remain as currently exist, but that traffic patterns and volumes be monitored over time to determine if future traffic changes would warrant future signal revisions.

Traffic Speed

Traffic speed is normally based on stopping sight distance. The critical point for stopping sight distance is for a car on Colorado Avenue to safely turn east on 36th Avenue and accelerate to traffic speed. Using the existing grades, the design speed for 36th Avenue would be 35 mph. The design speed is normally 5-10 mph higher than the posted speed. Since no changes in street grades are planned and considering the fact that the City and residents are concerned about excessive speed, the posted speed limit should remain at 30 mph. It is anticipated that police enforcement of a residential speed limit will be periodically required to control vehicle speed.

Truck Traffic

Funding for the reconstruction of 36th Avenue between Douglas Drive and Welcome Avenue is anticipated to come from Municipal State Aid (MSA) Funds. These funds are obtained through the state gas tax. To use these funds, no truck restrictions are allowed along a MSA designated route; therefore, the existing truck restriction between Douglas Drive and Welcome Avenue would have to be removed. This will cause an increase in truck traffic along 36th Avenue. Statistics compiled by MnDOT have found that cars and pickups comprise 92.5% of traffic volume along a metro area MSA route and the remaining 7.5% being trucks and buses. Therefore, while truck traffic will probably increase, trucks remain a small percentage of the total traffic volume. To retain the truck restriction between Welcome Avenue and Douglas Drive would require funding for the reconstruction of 36th Avenue to come from an alternative source other than MSA funds, such as the City's General fund or assessments. Funding for the recommended repair of 36th Avenue from Louisiana Avenue to Douglas Drive is anticipated to come from City sources and therefore the truck restriction can remain in this area. Since this restriction will remain, there is no through truck route along 36th Avenue between Highway Nos. 100 and 169 and therefore truck volumes may be less than expected.

Traffic Noise

Traffic projections indicate an increase in traffic volumes at a relatively low rate of 0.5% per year. Also, with the MSA designation, truck traffic will be allowed in Area 1 of 36th Avenue and therefore, traffic noise is unlikely to be reduced. To reduce traffic noise would require reducing traffic volume which is not possible given the existing conditions. Other means of reducing traffic noise, such as barrier walls or vegetation, are either not practical, would create a safety hazard, or would not reduce traffic noise significantly to justify the cost.

Improvements to 36th Avenue appear to be the only practical method to minimize traffic noise. These improvements will provide a better driving surface for vehicles, thereby reducing noise and vibration, from vehicles driving over rough and pot-holed pavement.

Pedestrian Traffic

Considering the traffic volume on 36th Avenue, sidewalks should be constructed on each side of the roadway to accommodate pedestrians and improve pedestrian safety from Douglas Drive to Welcome Avenue. The sidewalks would tie into the pedestrian improvements at Highway No. 100. Sidewalks are not currently planned for 36th Avenue from Louisiana Avenue to Douglas Drive based on the roadway design which includes pedestrian areas within the street section. Crosswalks may be painted at a number of intersections along 36th Avenue except at Colorado Avenue, where the stopping sight distance is inadequate. With the exception of peak a.m. and p.m. traffic flows, pedestrians crossing of 36th Avenue can be accommodated.

Additional features to make pedestrian crossing easier, such as push-button operated flashing signals, do not appear to be warranted at this point in time since there is no feature adjacent to 36th Avenue such as a school, library, stores, which would cause pedestrians to cross at any one particular intersection. These improvements can be added in the future if warranted.

UTILITIES

Sanitary Sewer

The existing sanitary sewer was constructed in 1956 and consists of 8-inch vitrified clay pipe. City staff has indicated that the sewer has required only minimal maintenance and presented no significant problems. The sewer has been recently televised and minor problems were found in six isolated areas, as shown on Figure 3. The problems involve either offset pipe joints or cracked pipe. While these problems do not require immediate repair, they should be repaired when the road is reconstructed. Of the seven problems found, only two are between Douglas Drive and Welcome Avenue and should be repaired as part of this project. The first area is approximately 12 feet north of the manhole at 36th and Xenia Avenues. The pipe joint was found to be offset approximately 1 inch. Since the sewer at this point is 21 feet deep, repair of the sewer would be expensive due to the deep excavation. Further evaluation of the problem during the design phase is recommended to determine if the problem is severe enough to justify the cost of repair. The other problem is a crack in the pipe approximately 70 feet west of Yates Avenue. The sewer at this point is approximately 11 feet deep and can be repaired at a reasonable cost.

Repair of the sanitary sewer west of Douglas Drive should be made when reconstruction of this section is undertaken. Repair of the sanitary sewer east of Welcome Avenue should be made at the time MnDOT improves the Highway No. 100 and 36th Avenue crossing.

Watermain

The existing watermain was constructed in 1964 and consists of 6-inch cast iron pipe. City staff has indicated that they have had no maintenance problems with the watermain and that there is adequate water supply and pressure to serve the area. Therefore, no work is planned for the watermain except to relocate fire hydrants at Adair and Welcome Avenues to accommodate the road widening.

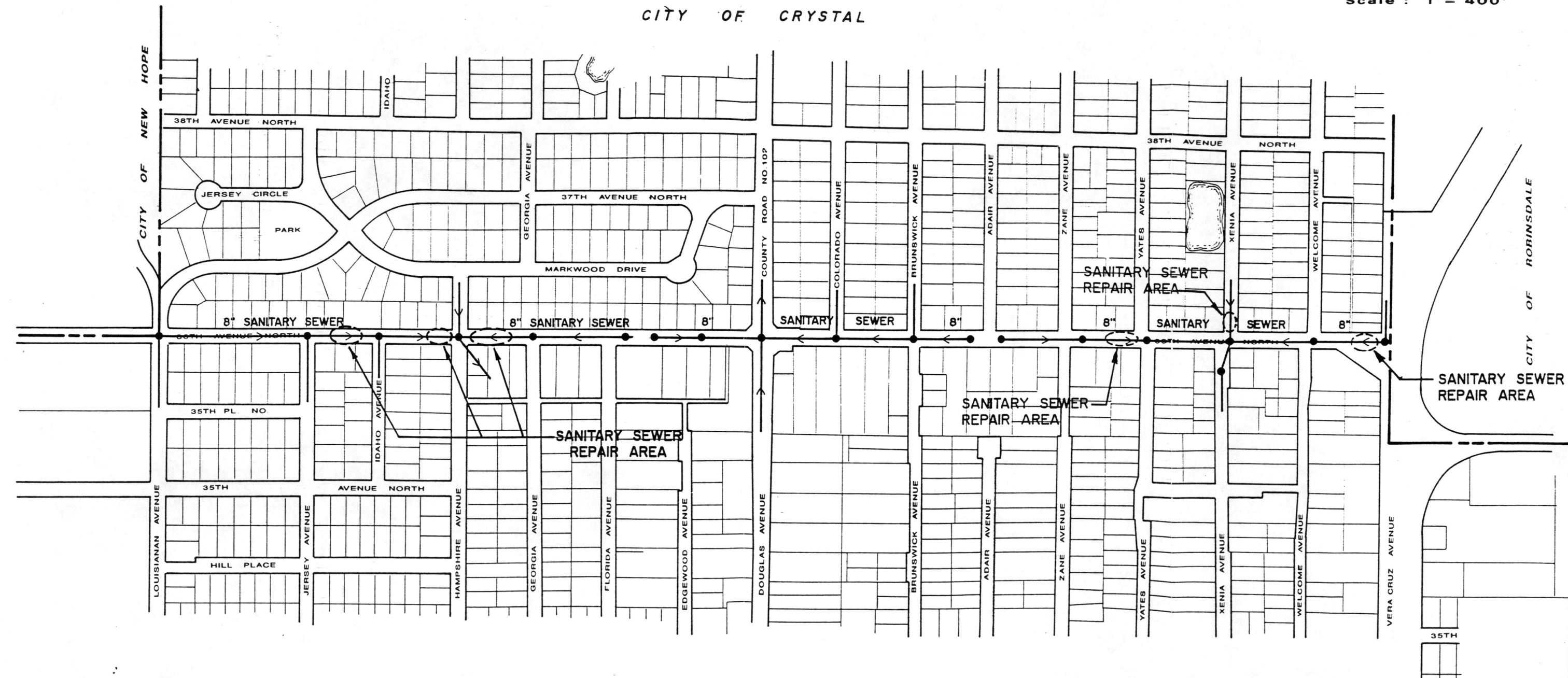
Storm Sewer

Storm water flows along 36th Avenue between Douglas Drive and Welcome Avenue, as shown on Figure 4. There is no low point on 36th Avenue which would require storm sewer and there is no evidence of a flooding problem along the road. The high point on 36th Avenue is between Brunswick and Adair Avenues. West of the high point, storm water flows to an existing storm sewer in Douglas Drive. East of the high point, storm water flows to existing storm sewer in the cross streets or to existing catchbasins in 36th Avenue at Xenia and Welcome Avenues.



Scale : 1" = 400'

CITY OF CRYSTAL



SANITARY SEWER
36 TH AVENUE NORTH
CRYSTAL, MINNESOTA

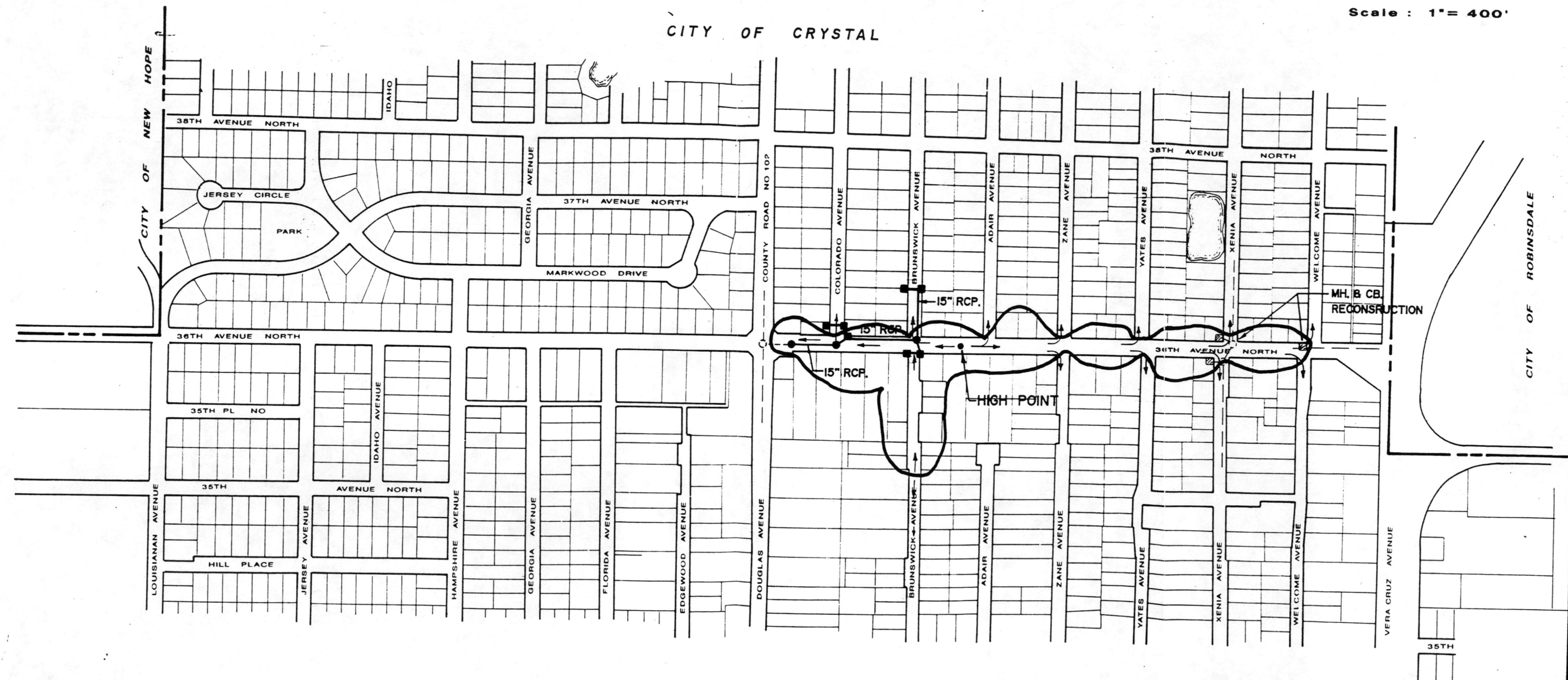
FIGURE # 3

DRAWN	 rieke carroll muller associates, inc. architects engineers land surveyors	DRAWING NUMBER
CHECK		FILE NO.
SURVEY BY		10080.01



Scale : 1" = 400'

CITY OF CRYSTAL



STORM SEWER - AREA # 1
36 TH AVENUE NORTH
CRYSTAL, MINNESOTA

← DIRECTION OF DRAINAGE.
— DRAINAGE AREA.

FIGURE # 4

DRAWN	 rieke carroll muller associates, inc. architects engineers land surveyors	DRAWING NUMBER
CHECK		FILE NO.
SURVEY BY		10080.01

It is anticipated that street grades on 36th Avenue will not change and therefore drainage flows will not change. New catchbasins and storm sewer will be required at Colorado and Brunswick Avenues to prevent storm water flows across the street intersection. This new storm sewer would connect to the existing storm sewer in Douglas Drive. A flooding problem does occur on Brunswick Avenue, approximately 300 feet north of 36th Avenue. Storm sewer should be extended to this point as part of this project. The existing catchbasins at Xenia and Welcome Avenues will be relocated to accommodate the street widening.

The drainage on 36th Avenue west of Douglas Drive was not studied as part of this feasibility report. The work proposed by the Corps of Engineers addresses drainage in the area.

Private Utilities

Existing utility poles are located on the north side of 36th Avenue adjacent to the bituminous pavement. These poles, many which carry street lights, will have to be relocated to accommodate the street widening and proposed sidewalk. The poles would be located to a point between the back of the new sidewalk and the road right-of-way, see Figure 5. It is possible to relocate these utilities underground; however, this would cost in excess of \$60,000.00 and would have to be paid for by the City. Relocating poles and utility lines to accommodate the road widening can be made at no cost to the City. For purposes of this report, it is assumed that the existing utility poles will be relocated.

An 8-inch steel gas main is also in 36th Avenue. The contractor will have to coordinate his operation closely with Minnegasco to protect the gas main in place. During major construction of this nature, Minnegasco often has taken the opportunity to repair or replace their mains. Minnegasco should be notified as soon as final design begins.

CONSTRUCTION

Area 1 - Douglas Drive to Welcome Avenue

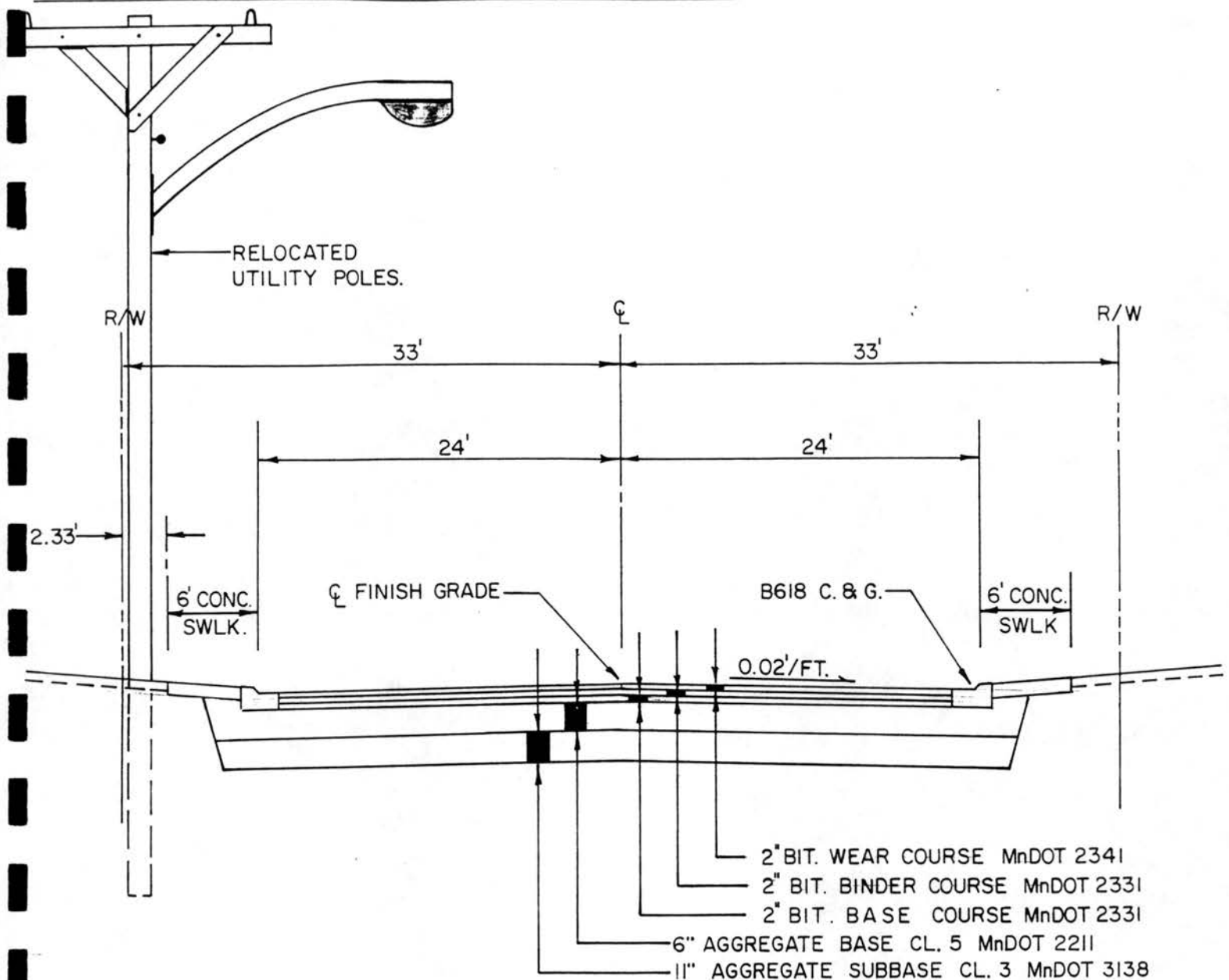
Road Construction

Construction of this nature, through an existing residential neighborhood is inconvenient at best and is normally disruptive to the people that live along the proposed construction. Due to poor subgrade soils the road will have to be subcut 2-3 feet. This excavation will cause access problems to existing driveways along 36th Avenue. Residents will have to park their cars on adjacent cross streets and walk to their homes. There are few, if any options, that would minimize the disruption to the residents. One option would be to phase the project so that the contractor could have to reconstruct the road 1 or 2 blocks at a time. While this option may minimize the time of construction in front of any one house, it is not desirable as it would increase the overall construction time and probably increase cost due to remobilization of equipment and inefficiency in construction methods.

The best way to minimize disruption is to require a concise construction schedule by the contractor. Require the contractor to backfill to subgrade level as soon as possible after the road is subcut. Driveways can then be reasonably ramped to allow access for the residents. With this type of schedule, work should progress as quickly as possible, minimizing the disruption, and allows the contractor to use his equipment and labor efficiently and the overall result will be lower costs.

Widening the roadway and adding sidewalks on each side of the road will cause a problem with matching grade in some areas. Presently, there are several areas where the adjacent property is higher than the existing roadway. In these areas, timber retaining walls will be required where it is not practical to slope the adjacent property. Widening the road will also require some tree removal. There are several trees within the right-of-way which have to be removed. Construction methods will be altered to save trees whenever possible. However, some trees, in particular oak trees, are sensitive to grading within the drip line of the tree. These trees may appear to survive construction but often die 2-3 years after construction is completed.

Weather is an important factor in road construction, which the contractor cannot control. A wet spring and summer will cause delay in construction, as the contractor cannot work when it is too wet.



TYPICAL SECTION
36TH AVENUE NORTH
 NO SCALE

FIGURE # 5

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PROPOSED CONSTRUCTION - AREA # 1

36 TH AVENUE NORTH
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Detours

The quickest and most efficient way for construction to proceed is to close 36th Avenue completely to through traffic from Douglas Drive to Welcome Avenue. Detoured traffic will be directed north to 42nd Avenue. Local traffic may be allowed on 36th Avenue; however, it would be best to have local traffic travel on adjacent cross streets. The detour plan should include signs on Highway Nos. 100 and 169 to advise motorists of the detour. The construction schedule needs to be closely coordinated with Hennepin County as they are planning to reconstruct Medicine Lake Road from Highway 169 to Winnetka Avenue. The Corps of Engineers is also planning to extend the culvert at 36th and Hampshire Avenue in 1991. Construction schedules need to be coordinated to minimize disruption of traffic along 36th Avenue.

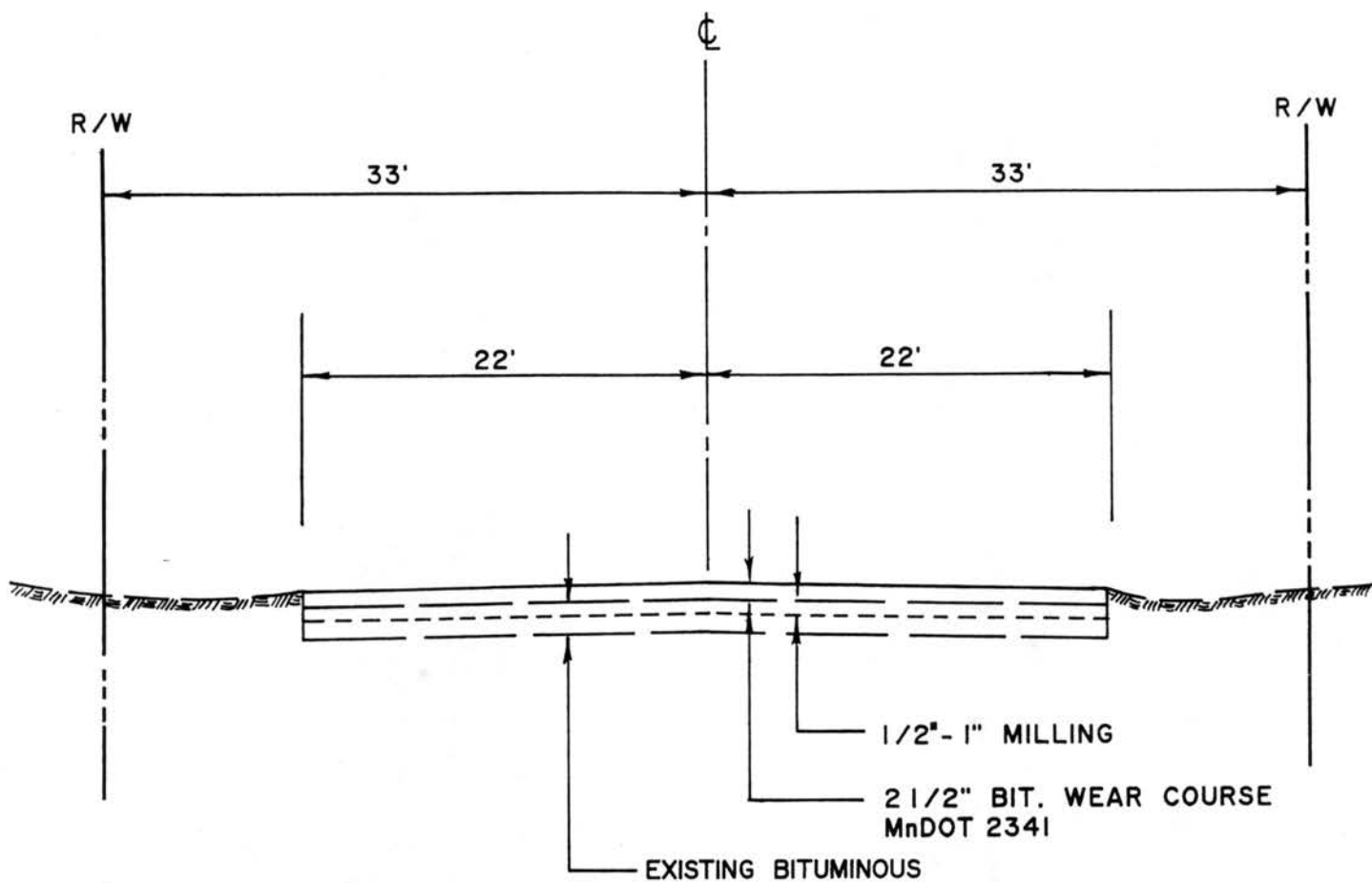
Area 2 - Louisiana Avenue to Douglas Drive

Road Construction

Construction will consist of spot patching areas of pavement that have failed, milling the existing bituminous 1/2 inch to 1 inch, then placing a 2½ inch bituminous overlay. This work should proceed quickly and with minimum disruption to the area residents. Milling the road will leave the pavement rough and manhole castings exposed. Traffic will have to use caution to avoid hitting the manhole castings as there will be a short period of time between completion of the milling and before the overlay is placed. Construction should be completed within 30 days.

Detours

Patching and milling the pavement should be able to proceed without completely closing the road. Flagpersons and/or routing traffic around the immediate work area will probably be necessary. Local traffic could be maintained on 36th Avenue when the overlay is placed; however, work would proceed quicker if traffic was kept off the road when the overlay is placed. The road would be open to traffic at night and during the weekends.



**TYPICAL SECTION
36 TH AVENUE NORTH**

No Scale

FIGURE # 6



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PROPOSED CONSTRUCTION - AREA # 2

36 TH AVENUE NORTH
CRYSTAL MINNESOTA

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DATE
10/25/90

FILE NO.
10080.01

CONSTRUCTION SCHEDULE

Scheduling of work on 36th Avenue should be coordinated with the Corps of Engineers and Hennepin County. Hennepin County is planning to begin construction on Medicine Lake Road in the spring of 1991 and is scheduled to be completed by July 1, 1991. Hennepin County officials have requested that work on 36th Avenue be delayed until after July 1, 1991. Work in Area 1 of 36th Avenue would then be completed by October 1, 1991. This schedule will also avoid construction during the normally rainy spring and early summer, thereby minimizing rain delays and inconvenience.

The Corps of Engineers are planning to begin construction on the culvert at 36th Avenue and Hampshire Avenue after July 1, 1991. Work in Area 2 should be delayed until construction by the Corps and in Area 1 is completed. Work in Area 2 could be completed within 30 days and can begin on October 1, 1991; however, the weather at this time of year is wet and unpredictable, and therefore construction in Area 2 should be delayed until 1992.

The construction schedule for 36th Avenue is summarized as follows:

Begin Construction	Area 1	July 1, 1991
Substantial Completion	Area 1	October 1, 1991
Final Completion	Area 1	June 1, 1992
Begin Construction	Area 2	June 1, 1992
Substantial Completion	Area 2	July 1, 1992
Final Completion	Area 2	July 15, 1992

PROJECT COSTS AND ASSESSMENTS

Project Costs

The total estimated project costs are summarized below. This estimate uses today's prices of asphalt. With the uncertain political situation in the Middle East, the price of oil could increase significantly thereby increasing the total project costs.

Area 1 - Douglas Drive to Welcome Avenue

Sanitary Sewer, Watermain and Storm Sewer Construction	\$53,850.00
Pavement Reconstruction	<u>499,730.00</u>
Total Construction Costs	\$553,580.00
Engineering, Legal and Administration	<u>130,000.00</u>
TOTAL PROJECT COSTS	\$683,580.00

Area 2 - Louisiana Avenue to Douglas Drive

Pavement Overlay Including Milling	\$150,425.00
Engineering, Legal and Administrative	<u>36,780.00</u>
TOTAL PROJECT COST	\$187,205.00

Proposed Assessments

On similar State Aid projects, Crystal has always assessed a portion of the costs equivalent to 100% of concrete curb and gutter costs along with 10% of the sidewalk costs. State Aid funds, in essence, offset the majority of project costs due to the City-wide benefit derived by a project of this nature. The proposed assessments for the entire project are broken down by individual parcels and are shown on the Preliminary Assessment Roll immediately following this section.

Project Financing

Utilizing the previously described method of assessments and Municipal State Aid funds, the following method of financing is proposed:

Area 1 - Douglas Drive to Welcome Avenue

	<u>MSA Funds</u>	<u>Assessments</u>	<u>City Funds</u>	<u>Total</u>
Sanitary sewer, watermain and storm sewer construction	\$41,875	---	\$25,437	\$67,312
Pavement Reconstruction	<u>512,078</u>	<u>44,146</u>	<u>60,044</u>	<u>616,268</u>
Total	\$553,953	\$44,146	\$85,481	\$683,580

Area 2 - Louisiana Avenue to Douglas Drive

The entire cost associated with Area 2 (\$187,205.00) is proposed to be constructed using City funds.

PRELIMINARY ASSESSMENT ROLL

AREA 1 - 36TH AVENUE NORTH CONSTRUCTION
RCM PROJECT NO. 10080.01

Property I.D. Number	Description	Owner	Frontage	Assessment
16-118-21-34-0055	5600 36th Avenue	Nancy E. Boethin	80 *	\$989.60
16-118-21-34-0056	5608 36th Avenue	Leona A. Jay	75 *	\$927.75
16-118-21-34-0057	5616 36th Avenue	Gregory W. & Shelly A. Theis	75 *	\$927.75
16-118-21-34-0058	5624 36th Avenue	Virginia R. Larsen	69.1 *	\$854.77
16-118-21-34-0051	5700 36th Avenue	Raymond F. & Abbie L. Nelson	84.4 *	\$1,044.03
16-118-21-34-0052	5708 36th Avenue	Clarence E. & Lorraine Nelson	84.4 *	\$1,044.03
16-118-21-34-0053	5716 36th Avenue	Patrick D. Casey	84.4 *	\$1,044.03
16-118-21-34-0054	5718 36th Avenue	Thomas E. & Barbara S. White	84.4 *	\$1,044.03
16-118-21-34-0041	5800-04 36th Avenue	Yvonne B. Meunier	84.14 **	\$1,040.81
16-118-21-34-0042	5808-12 36th Avenue	Richard J. & L. Clair Revell	86.84 **	\$1,074.21
16-118-21-34-0043	5816 36th Avenue	Russell G. & Minerva H. Blixt	92.68 ***	\$1,146.45
16-118-21-33-0059	5902 36th Avenue	Karla L. Shomshak	94 *	\$1,162.78
16-118-21-33-0060	5910 36th Avenue	Jerry P. Smith	82 *	\$1,014.34
16-118-21-33-0061	5918 36th Avenue	Janese M. Evans	94 *	\$1,162.78
16-118-21-33-0074	6000-02 36th Avenue	Tomas J. Shiek	88 *	\$1,088.56
16-118-21-33-0076	6012-16 36th Avenue	David R. & Kathleen A. Taylor	70 *	\$865.90
16-118-21-33-0041	6026-28 36th Avenue	Darrell E. & Janet L. Otness	102.02	\$1,261.99
16-118-21-33-0045	3601 Brunswick Avenue	Mary L. Bates	45.1	\$557.89
16-118-21-33-0046	3600 Colorado Avenue	Sengaroune Sylivong	45.1	\$557.89
16-118-21-33-0087	3601-03 Colorado Avenue	Mary Ann Russell/Edwina Kulseth	44.5	\$550.46
21-118-21-21-0005	5607 36th Avenue	Lawrence R. & Bonita L. Menshek	94.21	\$1,165.38
21-118-21-21-0004	5617 36th Avenue	Agnes R. Miller	109.21	\$1,350.93
21-118-21-21-0010	5627 36th Avenue	Mark A. Ruhland	99.21	\$1,227.23
21-118-21-21-0063	5701 36th Avenue	Ramona M. Phillips	100.89	\$1,248.01
21-118-21-21-0065	5711 36th Avenue	Stanley & Gail Stanius	73.93	\$914.51
21-118-21-21-0064	5723 36th Avenue	John E. & Hazel Gamec Jr.	59.96	\$741.71

21-118-21-21-0066	5731 36th Avenue	Bruce T. & Amy J. Bauer	57.89 *	\$716.10
21-118-21-21-0070	5801 36th Avenue	Donald G. & Marian Nelson	80.88 *	\$1,000.49
21-118-21-21-0074	5813 36th Avenue	James D. Beckwith	110.89	\$1,371.71
21-118-21-21-0077	5817 36th Avenue	Lynn R. & Lioma Williams	110.89	\$1,371.71
21-118-21-22-0001	5905 36th Avenue	Barry D. & Shirley Kline	96.66	\$1,195.68
21-118-21-22-0005	5915 36th Avenue	Lynn C. Dahlstrom	100	\$1,237.00
21-118-21-22-0006	5925 36th Avenue	Danny O. Hegland	103.33	\$1,278.19
21-118-21-22-0009	6003 36th Avenue	Dan A. & Carol Newman	103.33	\$1,278.19
21-118-21-22-0010	6013 36th Avenue	Bessie V. Mosal	103.33	\$1,278.19
21-118-21-22-0013	6023 36th Avenue	Arthur J. & Betty J. Jensen	103.33	\$1,278.19
21-118-21-22-0066	3555 Brunswick Avenue	John A. & Mary J. Egan	91.16	\$1,127.65
21-118-21-22-0067	6115 36th Avenue	David L. & Patricia Laughlin	101.16	\$1,251.35
21-118-21-22-0068	6125 36th Avenue	Gregory J. & Karen A. Lundeen	101.16	\$1,251.35
21-118-21-22-0069	6203 36th Avenue	Lawrence H. & Doris C. Duenow	101.16	\$1,251.35
21-118-21-22-0070	6213 36th Avenue	Lawrence Duenow	101.16	\$1,251.35
			-----	-----
			3568.82	\$44,146.30

* Previously Assessed Curb & Gutter

** Previously Assessed Curb & Gutter and Sidewalk

*** Previously Assessed Sidewalk Only

(1) Based upon an assessment rate of \$12.37.

CONCLUSIONS AND RECOMMENDATIONS

Based upon this study, the project is feasible from an engineering standpoint. Because of the poor soil conditions and thin pavement section in Area 1 of 36th Avenue, it is recommended that the road in Area 1 be completely rebuilt to State Aid standards. It is also recommended that the City designate Area 1 of 36th Avenue a State Aid route and use available State Aid funds to finance construction in this area of 36th Avenue.

The existing pavement section and subgrade soils in Area 2 of 36th Avenue are adequate to carry the existing traffic volume; however, the pavement is beyond its design life and is deteriorating. It is recommended that a bituminous overlay be placed in Area 2 to extend the pavement life a minimum of five years and defer a decision on complete reconstruction.

APPENDIX

COST ESTIMATE

36th Avenue

Area 1 - Douglas Drive to Welcome Avenue

<u>Item Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>Unit Cost</u>	<u>Total Cost</u>
Mobilization	LS	1	\$25,000.00	\$25,000.00
Sanitary Sewer Repair	EA	2	3,000.00	6,000.00
Relocate Hydrants	EA	2	1,250.00	2,500.00
Adjust Gate Valves	EA	28	100.00	2,800.00
Adjust Manholes	EA	11	200.00	2,200.00
Adjust Hydrants	EA	3	200.00	600.00
Connect to Existing 21" RCP	LS	1	1,000.00	1,000.00
15" RCP Class 5	LF	1,000	22.00	22,000.00
12" RCP Class 5	LF	225	20.00	4,500.00
Storm Sewer Manhole	EA	2	1,000.00	2,000.00
Catchbasin	EA	10	900.00	9,000.00
Reconstruct Existing Catchbasin	EA	3	350.00	1,050.00
Reconstruct Existing Manhole	EA	2	150.00	300.00
Casting Adjustment	EA	4	150.00	600.00
Remove Existing Sidewalk	SF	1,700	1.00	1,700.00
Remove Curb & Gutter	LF	2,100	1.00	2,100.00
Tree Trimming	LS	1	2,000.00	2,000.00
Clear and Grub	LS	1	5,000.00	5,000.00
Remove Existing Retaining Walls	LS	1	500.00	500.00
Replace Property Irons	LS	1	1,500.00	1,500.00
Remove Bituminous & Concrete				
Driveways	LS	1	3,000.00	3,000.00
Remove Bituminous Pavement	SY	14,000	2.00	28,000.00
Sawcut Bituminous	LF	730	2.00	1,460.00
Remove Concrete	SF	1,800	2.00	3,600.00
Sawcut Concrete	LF	150	3.00	450.00
Relocate Wood Fence	LS	1	700.00	700.00
Remove Bituminous-Brunswick Ave.	SF	3,200	1.50	4,800.00
Remove Curb & Gutter-Brunswick Ave.	LF	60	1.50	90.00
Saw Bituminous-Brunswick Ave.	LF	700	2.00	1,400.00
Common Excavation	CY	11,500	2.50	28,750.00
Aggregate Base - Class 3	TON	7,500	5.50	41,250.00
Aggregate Base - Class 5	TON	7,000	7.50	52,500.00

<u>Item Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>Unit Cost</u>	<u>Total Cost</u>
Bituminous Wear	TON	750	24.00	18,000.00
Bituminous Binder	TON	1,500	20.00	30,000.00
Bituminous Base	TON	1,900	20.00	38,000.00
Bituminous Material	TON	230	200.00	46,000.00
Class 5 for Sidewalk	TON	600	7.50	4,500.00
Concrete Sidewalk	SF	24,000	1.50	36,000.00
Concrete Curb & Gutter	LF	5,100	5.50	28,050.00
Concrete Driveway Aprons	SF	1,750	2.50	4,375.00
Subgrade Preparation	Road Station	25	200.00	5,000.00
Test Roll	Road Station	25	100.00	2,500.00
Tack Coat	GAL	1,500	1.20	1,800.00
Class 5 - Brunswick Ave.	TON	500	7.50	3,750.00
Bituminous - Brunswick Ave.	TON	90	17.00	1,530.00
Bituminous Material-Brunswick Ave.	TON	6	200.00	1,200.00
Sod and Topsoil	SY	2,500	2.00	5,000.00
Timber Retaining Wall	SF	500	10.00	5,000.00
Handicap Ramps	EA	40	50.00	2,000.00
Traffic Control	LS	1	8,000.00	8,000.00
Relocate Signs	LS	1	1,200.00	1,200.00
Stripping	EA	2	3,000.00	<u>3,000.00</u>
				\$503,255.00
			Contingency	<u>50,325.50</u>
				\$553,580.50

COST ESTIMATE

36th Avenue

Area 2 - Louisiana Avenue to Douglas Drive

<u>Item Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>Unit Cost</u>	<u>Total Cost</u>
Mobilization	LS	1	\$10,000.00	\$10,000.00
Traffic Control	LS	1	8,000.00	8,000.00
Bituminous Patching	LS	1	20,000.00	20,000.00
Pavement Milling	SY	13,000	2.25	29,250.00
Bituminous Wear	TON	1,700	25.00	42,500.00
Bituminous Material	TON	110	200.00	22,000.00
Manhole Adjustments	EA	10	300.00	3,000.00
Watermain Valve Adjustments	EA	10	200.00	<u>2,000.00</u>
				\$136,750.00
			Contingency	<u>13,675.00</u>
			Total Construct Costs	\$150,425.00

DATE: 7/26/90

LOCATION: 36th Ave. N. & Douglas Dr.

DAY: Thurs.

CITY: Crystal

RECORDER: Dahlin/Krueger

PROJECT: 90-31

	Northbound			Westbound			Southbound			Eastbound			
Time	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Period	[A]	[B]	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[J]	[K]	[L]	TOTAL
630-645													0
645-700													0
700-715	3	19	12	20	36	2	32	105	10	9	99	16	363
715-730	10	26	20	28	49	3	38	202	6	5	157	38	582
730-745	14	30	23	24	66	5	23	220	5	13	149	27	599
745-800	9	43	21	42	97	9	18	207	6	8	117	22	599
800-815	4	31	14	35	63	3	19	113	9	10	101	23	425
815-830	8	42	21	18	58	5	21	96	9	5	92	22	397
830-845	9	23	22	24	32	8	19	53	7	5	80	17	299
845-900	8	32	13	19	35	8	15	48	3	7	68	26	282
900-915													0
915-930													0
am total	65	246	146	210	436	43	185	1044	55	62	863	191	3546
715-815	37	130	78	129	275	20	98	742	26	36	524	110	2205

26 742 98
 I H G
 Southbound
 AM PEAK HOUR
 VOLUMES

F 20
 Westbound E 275
 D 129

Northbound
 A B C
 37 130 78

a.m. peak hour factor= 0.92

P.M. PEAK PERIOD VOLUMES

DATE: 7/26/90

LOCATION: 36th Ave. N. & Douglas Dr.

DAY: Thurs.

CITY: Crystal

RECORDER: Dahlin/Geraghty

PROJECT: 90-31

	Northbound			Westbound			Southbound			Eastbound			
Time	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Period	[A]	[B]	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[J]	[K]	[L]	TOTAL
300-315													0
315-330													0
330-345													0
345-400													0
400-415	14	53	13	12	27	2	5	17	4	6	28	4	185
415-430	29	156	40	27	105	25	15	65	16	7	65	11	561
430-445	39	239	60	23	87	9	16	36	17	14	113	13	666
445-500	49	257	62	41	123	18	14	57	17	6	70	15	729
500-515	45	213	53	19	122	16	12	49	23	12	109	15	688
515-530	47	198	38	26	134	13	13	52	15	14	98	6	654
530-545	36	173	47	26	110	24	19	45	18	16	82	16	612
545-600	45	147	46	20	120	27	14	49	17	16	71	16	588
pm total	304	1436	359	194	828	134	108	370	127	91	636	96	4683
430-530	180	907	213	109	466	56	55	194	72	46	390	49	2737

72 194 55
 I H G
 Southbound
 PM PEAK HOUR
 VOLUMES

F 56
 Westbound E 466
 D 109

Northbound
 A B C
 180 907 213

p.m. peak hour factor= 0.94

1985 HCM: SIGNALIZED INTERSECTIONS

SUMMARY REPORT

INTERSECTION..36th Ave. N./Douglas Ave.

AREA TYPE.....OTHER

ANALYST.....jmw

DATE.....07-31-1990

TIME.....715-815 am peak

COMMENT.....1990 counts, existing geometrics and signal operations

VOLUMES					:	GEOMETRY				
	EB	WB	NB	SB	:	EB	WB	NB	SB	
LT	36	129	37	98	:	LT	12.0	L	13.0	L
TH	524	275	130	742	:	TR	12.0	T	12.0	T
RT	110	20	78	26	:		12.0	TR	14.0	TR
RR	0	0	0	0	:		12.0		12.0	
					:		12.0		12.0	
					:		12.0		12.0	
					:		12.0		12.0	

ADJUSTMENT FACTORS										
	GRADE	HV	ADJ	PKG	BUSES	PHF	PEDS	PED.	BUT.	ARR. TYPE
	(%)	(%)	Y/N	Nm	Nb			Y/N	min T	
EB	-2.00	1.00	N	0	0	0.92	5	Y	21.8	3
WB	2.00	2.00	N	0	0	0.92	5	Y	21.8	3
NB	0.00	2.00	N	0	0	0.92	5	Y	14.5	3
SB	0.00	2.00	N	0	0	0.92	5	Y	14.5	3

SIGNAL SETTINGS								CYCLE LENGTH = 60.0			
		PH-1	PH-2	PH-3	PH-4			PH-1	PH-2	PH-3	PH-4
EB	LT	X				NB	LT	X			
	TH	X					TH			X	
	RT	X					RT			X	
	PD	X					PD			X	
WB	LT	X				SB	LT	X	X		
	TH	X					TH		X	X	
	RT	X					RT		X	X	
	PD	X					PD		X	X	
GREEN		20.0	0.0	0.0	0.0	GREEN		7.0	3.0	15.0	0.0
YELLOW		5.0	0.0	0.0	0.0	YELLOW		5.0	0.0	5.0	0.0

LEVEL OF SERVICE							
	LANE GRP.	V/C	G/C	DELAY	LOS	APP. DELAY	APP. LOS
EB	LTR	0.611	0.367	10.6	B	10.6	B
WB	L	0.564	0.367	13.7	B	11.1	B
	TR	0.501	0.367	10.0	B		
NB	L	0.154	0.150	16.9	C	11.6	B
	TR	0.242	0.283	10.7	B		
SB	L	0.305	0.200	15.7	C	12.9	B
	TR	0.720	0.333	12.6	B		

INTERSECTION: Delay = 11.7 (sec/veh) V/C = 0.573 LOS = B

1985 HCM: SIGNALIZED INTERSECTIONS

SUMMARY REPORT

INTERSECTION..36th Ave. N./Douglas Ave.

AREA TYPE.....OTHER

ANALYST.....jmw

DATE.....07-31-1990

TIME.....430-530 pm peak

COMMENT.....1990 counts, existing geometrics and signal operations

VOLUMES				:	GEOMETRY							
	EB	WB	NB	SB	:	EB	LT	WB	NB	SB		
LT	46	109	180	55	:	LT	12.0	LT	12.0	L	13.0	L 13.0
TH	390	466	907	194	:	TR	12.0	TR	12.0	T	12.0	T 12.0
RT	49	56	213	72	:		12.0		12.0	TR	14.0	TR 14.0
RR	0	0	0	0	:		12.0		12.0		12.0	12.0
					:		12.0		12.0		12.0	12.0
					:		12.0		12.0		12.0	12.0

	ADJUSTMENT FACTORS										
	GRADE	HV	ADJ	PKG	BUSES	PHF	PEDS	PED.	BUT.	ARR.	TYPE
	(%)	(%)	Y/N	Nm	Nb			Y/N	min T		
EB	-2.00	1.00	N	0	0	0.94	15	Y	21.8		3
WB	2.00	2.00	N	0	0	0.94	5	Y	21.8		3
NB	0.00	2.00	N	0	0	0.94	15	Y	14.5		3
SB	0.00	2.00	N	0	0	0.94	5	Y	14.5		3

SIGNAL SETTINGS										CYCLE LENGTH = 60.0
	PH-1	PH-2	PH-3	PH-4		PH-1	PH-2	PH-3	PH-4	
EB LT	X				NB LT	X	X			
TH	X				TH		X	X		
RT	X				RT		X	X		
PD	X				PD		X	X		
WB LT	X				SB LT	X				
TH	X				TH			X		
RT	X				RT			X		
PD	X				PD			X		
GREEN	15.0	0.0	0.0	0.0	GREEN	7.0	5.0	18.0	0.0	
YELLOW	5.0	0.0	0.0	0.0	YELLOW	5.0	0.0	5.0	0.0	

LEVEL OF SERVICE							
	LANE GRP.	V/C	G/C	DELAY	LOS	APP. DELAY	APP. LOS
EB	LTR	0.687	0.283	13.9	B	13.9	B
WB	LTR	0.879	0.283	19.9	C	19.9	C
NB	L	0.471	0.233	15.7	C	13.3	B
	TR	0.843	0.417	13.0	B		
SB	L	0.224	0.150	17.1	C	10.7	B
	TR	0.253	0.333	9.4	B		

INTERSECTION: Delay = 14.6 (sec/veh) V/C = 0.746 LOS = B



twin city testing
corporation

13805 1ST AVENUE NORTH
SUITE 400
PLYMOUTH, MN 55441
PHONE 612/473-2976

September 1, 1990

City of Crystal
4141 Douglas Drive North
Crystal, MN 55422

Attn: Mr. William Monk:

Subj: Geotechnical Subsurface Exploration Program
36TH Avenue Reconstruction Project
Crystal, Minnesota
Project No. 4115 90-135.0

RECEIVED
SEP 18 1990

Rieke-Carroll-Muller Associates inc.
Box 130 Hopkins, Minn. 55343

Dear Mr. Monk:

Twin City Testing Corporation is pleased to submit the results of our subsurface exploration program for your proposed 36th Avenue Reconstruction Project. Submittal of this report concludes the scope of work as defined in our August 1, 1990 proposal.

The soil samples will be retained by our office for a period of one month at which time they will be discarded. Please advise us in writing if you wish to retain them for a longer period of time.

We appreciate the opportunity to be of service to you on this project. If there are any questions regarding our data or recommendations, please feel free to contact me at 473-2976. I can also be reached at this telephone number for construction testing and engineering services once the project is ready for construction.

Very truly yours,

TWIN CITY TESTING CORPORATION

Gregg R. Jandro, P.E.
West Metro Manager

GRJ/rwv

Encl.

CC: 2-Rieke Carroll Muller Associates
Attn: Richard Potz

90-135.0

IMPORTANT INFORMATION ABOUT YOUR GEOTECHNICAL ENGINEERING REPORT

More construction problems are caused by site subsurface conditions than any other factor. As troublesome as subsurface problems can be, their frequency and extent have been lessened considerably in recent years, due in large measure to programs and publications of ASFE/The Association of Engineering Firms Practicing in the Geosciences.

The following suggestions and observations are offered to help you reduce the geotechnical-related delays, cost-overruns and other costly headaches that can occur during a construction project.

A GEOTECHNICAL ENGINEERING REPORT IS BASED ON A UNIQUE SET OF PROJECT-SPECIFIC FACTORS

A geotechnical engineering report is based on a subsurface exploration plan designed to incorporate a unique set of project-specific factors. These typically include: the general nature of the structure involved, its size and configuration; the location of the structure on the site and its orientation; physical concomitants such as access roads, parking lots, and underground utilities; and the level of additional risk which the client assumed by virtue of limitations imposed upon the exploratory program. To help avoid costly problems, consult the geotechnical engineer to determine how any factors which change subsequent to the date of the report may affect its recommendations.

Unless your consulting geotechnical engineer indicates otherwise, *your geotechnical engineering report should not be used:*

- When the nature of the proposed structure is changed, for example, if an office building will be erected instead of a parking garage, or if a refrigerated warehouse will be built instead of an unrefrigerated one;
- when the size or configuration of the proposed structure is altered;
- when the location or orientation of the proposed structure is modified;
- when there is a change of ownership, or
- for application to an adjacent site.

Geotechnical engineers cannot accept responsibility for problems which may develop if they are not consulted after factors considered in their report's development have changed.

MOST GEOTECHNICAL "FINDINGS" ARE PROFESSIONAL ESTIMATES

Site exploration identifies actual subsurface conditions only at those points where samples are taken, when they are taken. Data derived through sampling and subsequent laboratory testing are extrapolated by geo-

technical engineers who then render an opinion about overall subsurface conditions, their likely reaction to proposed construction activity, and appropriate foundation design. Even under optimal circumstances actual conditions may differ from those inferred to exist, because no geotechnical engineer, no matter how qualified, and no subsurface exploration program, no matter how comprehensive, can reveal what is hidden by earth, rock and time. The actual interface between materials may be far more gradual or abrupt than a report indicates. Actual conditions in areas not sampled may differ from predictions. *Nothing can be done to prevent the unanticipated, but steps can be taken to help minimize their impact.* For this reason, most experienced owners retain their geotechnical consultants through the construction stage, to identify variances, conduct additional tests which may be needed, and to recommend solutions to problems encountered on site.

SUBSURFACE CONDITIONS CAN CHANGE

Subsurface conditions may be modified by constantly-changing natural forces. Because a geotechnical engineering report is based on conditions which existed at the time of subsurface exploration, *construction decisions should not be based on a geotechnical engineering report whose adequacy may have been affected by time.* Speak with the geotechnical consultant to learn if additional tests are advisable before construction starts.

Construction operations at or adjacent to the site and natural events such as floods, earthquakes or groundwater fluctuations may also affect subsurface conditions and, thus, the continuing adequacy of a geotechnical report. The geotechnical engineer should be kept apprised of any such events, and should be consulted to determine if additional tests are necessary.

GEOTECHNICAL SERVICES ARE PERFORMED FOR SPECIFIC PURPOSES AND PERSONS

Geotechnical engineers' reports are prepared to meet the specific needs of specific individuals. A report prepared for a consulting civil engineer may not be adequate for a construction contractor, or even some other consulting civil engineer. Unless indicated otherwise, this report was prepared expressly for the client involved and expressly for purposes indicated by the client. Use by any other persons for any purpose, or by the client for a different purpose, may result in problems. *No individual other than the client should apply this report for its intended purpose without first conferring with the geotechnical engineer. No person should apply this report for any purpose other than that originally contemplated without first conferring with the geotechnical engineer.*

A GEOTECHNICAL ENGINEERING REPORT IS SUBJECT TO MISINTERPRETATION

Costly problems can occur when other design professionals develop their plans based on misinterpretations of a geotechnical engineering report. To help avoid these problems, the geotechnical engineer should be retained to work with other appropriate design professionals to explain relevant geotechnical findings and to review the adequacy of their plans and specifications relative to geotechnical issues.

BORING LOGS SHOULD NOT BE SEPARATED FROM THE ENGINEERING REPORT

Final boring logs are developed by geotechnical engineers based upon their interpretation of field logs (assembled by site personnel) and laboratory evaluation of field samples. Only final boring logs customarily are included in geotechnical engineering reports. *These logs should not under any circumstances be redrawn* for inclusion in architectural or other design drawings, because drafters may commit errors or omissions in the transfer process. Although photographic reproduction eliminates this problem, it does nothing to minimize the possibility of contractors misinterpreting the logs during bid preparation. When this occurs, delays, disputes and unanticipated costs are the all-too-frequent result.

To minimize the likelihood of boring log misinterpretation, *give contractors ready access to the complete geotechnical engineering report prepared or authorized for their use.* Those who do not provide such access may proceed un-

der the *mistaken* impression that simply disclaiming responsibility for the accuracy of subsurface information always insulates them from attendant liability. Providing the best available information to contractors helps prevent costly construction problems and the adversarial attitudes which aggravate them to disproportionate scale.

READ RESPONSIBILITY CLAUSES CLOSELY

Because geotechnical engineering is based extensively on judgment and opinion, it is far less exact than other design disciplines. This situation has resulted in wholly unwarranted claims being lodged against geotechnical consultants. To help prevent this problem, geotechnical engineers have developed model clauses for use in written transmittals. These are *not* exculpatory clauses designed to foist geotechnical engineers' liabilities onto someone else. Rather, they are definitive clauses which identify where geotechnical engineers' responsibilities begin and end. Their use helps all parties involved recognize their individual responsibilities and take appropriate action. Some of these definitive clauses are likely to appear in your geotechnical engineering report, and you are encouraged to read them closely. Your geotechnical engineer will be pleased to give full and frank answers to your questions.

OTHER STEPS YOU CAN TAKE TO REDUCE RISK

Your consulting geotechnical engineer will be pleased to discuss other techniques which can be employed to mitigate risk. In addition, ASFE has developed a variety of materials which may be beneficial. Contact ASFE for a complimentary copy of its publications directory.

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ASFE THE ASSOCIATION
OF ENGINEERING FIRMS
PRACTICING IN THE GEOSCIENCES

8811 Colesville Road/Suite G106/Silver Spring, Maryland 20910/(301) 565-2733

EXECUTIVE SUMMARY

Based on the results of our exploration and our understanding of the project, it is our opinion that in no areas explored would we recommend the use of a geotextile fabric. During construction, some soil correction may be required if soft or saturated soils are encountered. Soil correction could entail subcutting 2-3 ft of the existing roadway subgrade and compacting the removed material back in place at a suitable moisture content, or replacing the subcut with sand and placing underdrains to drain moisture.



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APPENDICES

APPENDIX A - BORING LOGS

APPENDIX B - MISCELLANEOUS INFORMATION



GEOTECHNICAL SUBSURFACE EXPLORATION PROGRAM
36th AVENUE NORTH RECONSTRUCTION PROJECT
CITY OF CRYSTAL
CRYSTAL, MINNESOTA
PROJECT NO. 4115 90-135.0

1.0 INTRODUCTION

1.1 Project Information

The City of Crystal is considering the reconstruction of portions of 36th Avenue North. The project area is in two phases: from Louisiana Avenue to Douglas Drive and from Douglas Drive to Welcome Avenue. We understand that the west portion will possibly be milled and resurfaced and the area east of Douglas Drive will have the existing pavement removed and replaced with a reconstructed subgrade and flexible pavement system along with curb, gutter and sidewalk reconstruction.

In accordance with our proposed dated August 1, 1990, we have performed the subsurface exploration and associated geotechnical engineering review.



1.2 Scope of Services

As indicated in our proposal and follow-up telephone conversations, the scope of work is limited to the following items:

1. Coordinate with various underground utility companies to discuss the proposed boring locations and utilities which may affect our boring locations.
2. Perform a total of fourteen (14) power auger borings to the 5 foot depth.
3. Perform laboratory soil tests to aid in assigning engineering properties to the soil and perform R value tests on 4 representative samples of the subgrade.
4. Core the asphalt at eight locations between Douglas Drive and Louisiana Avenue.
5. Prepare an engineering report presenting the results of our field and laboratory testing along with our opinions and recommendations concerning road subgrade preparation procedures and recommended compaction levels.

2.0 EXPLORATION PROGRAM RESULTS

2.1 Scope of Exploration

The soil boring program performed along 36th Avenue North consisted of 14 power auger borings and 8 asphalt cores at the approximate locations indicated on the attached maps. These borings were located in the field by our project engineers following an on-site discussion with the Civil Engineer for this project. Absolute elevation information was not obtained, however the boring logs and soil depth measurements are referenced to the existing pavement elevations at the time of our work on August 21, 1990.

2.2 Site Surface Conditions

At the time of our work, all the boring locations were bituminous roads.

2.3 Site Subsurface Conditions

The site subsurface conditions are encountered at each test boring location are illustrated on logs included in the appendix. We wish to point out that the subsurface conditions at other times and locations on this site may differ from those found at our test locations. If different conditions are encountered during construction, it is necessary that you contact us so that our recommendations can be reviewed. The test boring logs also indicate the possible geologic origin of the materials encountered.

Based on the review of the soils encountered at the boring locations, the typical soil profile found beneath the existing bituminous pavement and usual aggregate-base consisted of up to 5 feet of mixed fill soils. The fill ranged from clayey sand and silty sand with a little gravel, sandy lean clays and lean clay. An exception to this was at borings #12,13 and 14 where natural silty sand and sand alluvium was encountered beneath the fill at depths of 8" to 5 feet below the surface.

2.4 Asphalt Coring

Eight asphalt cores were performed between Louisiana Avenue and Douglas Drive. The tabulation of the core locations along with the asphalt pavement thickness results are included in the appendix. The cores and soil borings indicated asphalt thicknesses were generally on the order of 4 to 5" west of Hampshire Avenue and increased to 7 to 12.5 inches from Hampshire to Welcome Avenue. The exception occurred at boring #6 (near Florida Avenue) where only 3.5" of asphalt was encountered.

2.5 Groundwater Levels

Water level measurements were made in our test holes. However, ground water was not encountered at the boring locations. As many of the fill soils are somewhat cohesive in nature, longer periods of observation time would be required to accurately establish static groundwater levels.

Groundwater levels should be expected to fluctuate seasonally and yearly from the groundwater readings noted in the borings. The time of year that the borings were drilled and the history of precipitation prior to drilling should be known when using the groundwater readings on the boring logs to extrapolate water levels at other points in time.

2.6 Laboratory Test Program

Representative samples of the soils encountered were submitted to our laboratory for moisture content and plasticity index tests. Results of the tests are shown on the attached the boring logs opposite the samples upon which they were performed. Moisture content tests indicate that the soils have moisture contents ranging from 3 to 20%, with moisture contents generally on the order of 3 to 9% in the upper 1 to 2 feet and 9 to 20% from 1 to 3 feet below the surface. The percentage of silt and clay sized particles for representative samples were determined and the results are shown on the soil boring logs as percentages passing the #200 sieve or %<200. Atterberg limit tests were run on 5 of the more cohesive soil types and the plasticity indexes ranged from 9.1 to 14.4. These results are also shown on the logs next to the sample depths.

R-values were determined by laboratory methods on four representative samples of the soil subgrade. The samples were from the 1' to 4' depths. The tests were run on samples returned from borings 1, 4, 10 and 12. The tests yielded R values of 30, 24, 61, and 29 respectively.

3.0 ENGINEERING REVIEW

3.1 Project Data

The engineering recommendations made in this report are based on our understanding of the project as described in the following paragraphs. The recommendations are valid for a specific set of project conditions. If the characteristics of the project change from those indicated in this section, it is necessary that we be notified so that we can determine whether the new conditions affect our recommendations.

It is our understanding that two portions of the 36th Avenue North roadway are to be reconstructed. These two separate areas are located from Douglas Drive east to Welcome Avenue (Section 1) and Douglas Drive west to Louisiana Avenue (Section 2).

It is our further understanding that the Section 1 roadway is to have the existing flexible pavement system removed with the subgrade to be reworked and a new flexible pavement system installed. No substantial grade changes are anticipated except for a ramp to be constructed near Welcome Avenue to extend over Highway 100. This phase will also include curb, gutter and sidewalk reconstruction. The Section 2 area is to be improved by milling the existing asphalt surface and overlaying the bituminous roadway.

3.2 Discussion

Section 1 (Douglas Drive to Welcome Avenue)

It is our opinion that the Section 1 area of Douglas Avenue North will require only minimal reworking or subcutting of the subgrades. Typically, the upper 2 to 3 feet of the subgrade soils are silty sand with a little gravel. The exception is at boring #12 where lean clay was found at the 16" depth. The moisture contents of the upper portions of the subgrade in the locations explored indicated moisture contents which are relatively low and which are judged to be below the optimum moisture content as would be determined by the Standard Proctor of these soils. Therefore, once the asphalt is removed, we recommend the top one to two feet of soils be subcut and the lower elevation soils be moisture conditioned to allow the subgrade to be properly compacted. The subcut soils should be moisture conditioned to bring the soils near the optimum moisture, then replaced and recompacted. Near boring # 12, we recommend that the lean clay soils be subcut and grade reattained with a granular fill containing less than 20% passing the #200 sieve. Based on the soil borings and laboratory moisture content results, it is our opinion a subsurface drainage system is not



necessary. Also, after review of the soil borings, and the current soil conditions, it is our opinion that a geotextile fabric will not be required for any of the roadway situations observed. Based on the silty sand soil types excavated and the laboratory R value tests, we recommend using a conservative R value of 50 in the design of the pavement system. Again, this is dependent on the recommended 3' subcut at boring location 12 and any other areas where clays are encountered in the upper 3' of the subgrade. We judge that the lean clay and clayey sand at boring 8 and 14 can be left in place below the 2.5 foot depth.

Section 2 (Douglas Drive to Louisiana Avenue)

Based on borings 1 through 7 and on the eight asphalt cores, it appears asphalt thicknesses range from 3.5 to 12.5 inches and generally increase in thickness from Louisiana Avenue toward Douglas Drive. The subgrade soils immediately below the pavement typically consist of silty sand with gravel to about the 11 inch depth. At boring 6, the silty sands extend to 2.5 feet below the surface. The silty sand and gravel layers act as the aggregate base layer but the amount of aggregate appears to be low. The soils below the silty sand range from clayey sand to sandy lean clay. The moisture contents are not excessive and the Plastic Index Tests indicate the soils are not excessively plastic.

For design purpose, we recommend that the subgrade soil type be classified as clayey sand with an R ~~value of 25~~ and a 6 inch thick aggregate base layer be assumed with an R value of 50.

3.3 Roadway Preparation - Section 1

3.3.1 Primary Recommendation

To prepare the road areas between Douglas Drive and Welcome Avenue for a normal pavement life, we recommend removing the existing pavement, and the top 2 feet of silty sand soils, encountered in the upper 3 ft of the proposed paved areas. If extremely soft conditions or clayey soils are

encountered, some additional subcutting may be required. This situation is not anticipated based on our boring information except for the area near boring 12.

If unforeseen areas of soft clays or otherwise unsuitable soils are discovered, typically subcuts to a maximum depth of 3' should be sufficient to allow construction of a subgrade stable enough for proper pavement support.

The subcut areas could then be refilled to proposed subgrade with a granular soil containing less than 20% passing the #200 sieve. We recommend that any exposed clay subgrades be sloped to promote positive drainage. If, during the subcutting, areas of excessive wet clays are encountered, we also recommend that a rigid PVC drain tile be installed just below the aggregate in local low areas, which would have to be daylighted. This drain tile should be placed within a gravel pack, with the pipe being wrapped in a geotextile fabric. However, we do not anticipate encountering any excessively wet areas at this time. The exposed soil (at the 2 foot subcut depth) should be surface compacted and then grade reattained by reuse of the excavated silty sand soils, or imported granular fill.

We recommend that the upper 3 ft of the pavement subgrade be compacted to 100% of the Standard Proctor Density. We also recommend proof rolling of subgrade surfaces be performed prior to placement of fill or of the aggregate base layer.

3.4 Constructability

During wet periods of the year, exposed soils can acquire moisture contents over and above the optimum moisture. As such, based on our experience with soils of this type, compaction of these soils may require discing and drying to achieve suitable moisture contents, should they become wet. Alternatively during very dry conditions, some moisture addition may be required to obtain the proper



compaction. We recommend that for optimal compaction, that exposed subgrades and fill soils should have moisture contents ranging from plus or minus 2% of the optimum moisture content, as determined by the Standard Proctor (ASTM:D698-78).

4.0 CONSTRUCTION OBSERVATION AND TESTING

During construction, we recommend that all proof rolling be observed by a geotechnical engineer prior to placing any base materials or pavements. This recommendation is based on the possibility of encountering soft and unstable conditions.

We also recommend that a representative number of compaction tests be taken during the filling operations to document compaction levels within a fill sequence. As a guideline, we would recommend a minimum of one test per every 200 ft. of roadway to be constructed per 2 ft lift thickness. This frequency should be increased for small or confined roadway sections.

5.0 FIELD EXPLORATION PROCEDURES


5.1 Soil Sampling and Classification

Soil sampling was performed with a 6 inch diameter flight layer. As the samples were obtained in the field, they were visually and manually classified by the crew chief in accordance with ASTM:D2487-83 and D-2488. Representative portions of the samples were then returned to the laboratory for further examination and for verification of the field classification. Logs of the borings indicating the depth and identification of the various strata and any water level information are attached. Charts illustrating the soil classification procedure, the descriptive terminology and symbols on the boring logs are also attached.

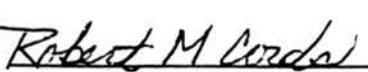
6.0 STANDARD OF CARE

The recommendations contained in this report represent our professional opinions. These opinions were arrived at in accordance with currently accepted engineering practices at this time and location. Other than this, no warranty is implied or intended.

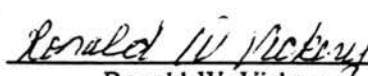
This report was
prepared by:


Gregg R. Jandro, P.E.
West Metro Manager

This report was
reviewed by:


Robert M. Cords, P.E.
Business Development Coordinator

This report was
proofread by:


Ronald W. Vickery

This report is being written in accordance with our quality assurance program. This service is provided as an additional assurance to you that the work was performed with a level of care and skill ordinarily exercised by members of the profession practicing under similar conditions at the time the service is performed. A copy of this report will be reviewed and returned to you.

This report was
reviewed by:

Loren Braun, P.E.
Principal Geotechnical Engineer

GRJ/rwv

R:90-135.0



TWIN CITY TESTING
CORPORATION

APPENDIX A

Boring Logs

Asphalt Core Locations and Thicknesses

R Value Data Sheets



twin city testing
corporation

APPENDIX A

Boring Logs

Asphalt Core Locations and Thicknesses

R Value Data Sheets

LISTING OF ASPHALT CORE LOCATIONS
AND THICKNESS

<u>CORE #</u>	<u>LOCATION</u>	<u>ASPHALT THICKNESS</u>
CORE #1	80' E of Louisiana, South Lane	4"
CORE #2	230'E of Louisiana, South Lane	4"
CORE #3	165' E of Jersey Avenue, South Lane	3"
CORE #4	50'E of Hampshire Avenue, South Lane	5"
CORE #5	40'E of Florida Avenue, South Lane	
CORE #6	70'W of Douglas Drive, South Lane	12.5"
CORE #7	130'W of Florida Avenue, North Lane	8.5"
CORE #8	180'W of Hampshire Avenue, North Lane	5.5"



R - VALUE DATA SHEET

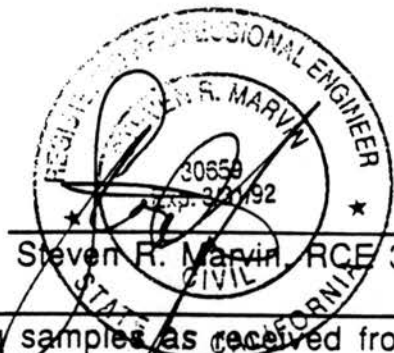
#1 @ 1' to 4'

J.N. 4115-90-130

PROJECT NUMBER 19222

BORING NUMBER: C.L. of 36th & Ave H

SAMPLE DESCRIPTION: Medium Brown Silt

Item	SPECIMEN		
	a	b	c
Mold Number	7	8	9
Water added, grams	30	18	0
Initial Test Water, %	15.0	12.4	8.5
Compact Gage Pressure, psi	100	150	200
Exudation Pressure, psi	110	253	511
Height Sample, Inches	2.62	2.67	2.55
Gross Weight Mold, grams	3285	3310	3207
Tare Weight Mold, grams	2085	2085	2074
Sample Wet Weight, grams	1200	1225	1133
Expansion, Inches x 10exp-4	0	0	2
Stability 2,000 lbs (160psi)	44 / 107	41 / 97	20 / 45
Turns Displacement	4.73	4.15	4.15
R-Value Uncorrected	21	28	61
R-Value Corrected	23	31	61
Dry Density, pcf	120.6	123.7	124.1
DESIGN CALCULATION DATA			
Traffic Index	Assumed: 4.0	4.0	4.0
G.E. by Stability	0.79	0.71	0.40
G. E. by Expansion	0.00	0.00	0.07
Equilibrium R-Value	30 by EXUDATION	Examined & Checked: 8 / 30 / 90	
REMARKS:	Gf = 1.25		
	Minnesota Modified		
	Method		
			
The data above is based upon processing and testing samples as received from the field. Test procedures in accordance with latest revisions to Department of Transportation, State of California, Materials & Research Test Method No. 301.			

R-VALUE GRAPHICAL PRESENTATION

PROJECT NO. 19222

BORING NO. #1 @ 1'-4'

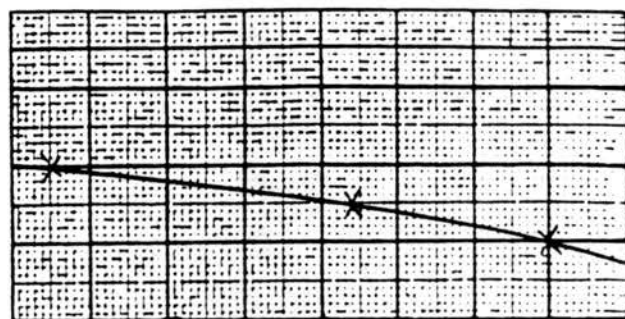
DATE August 30

TRAFFIC INDEX 4.0

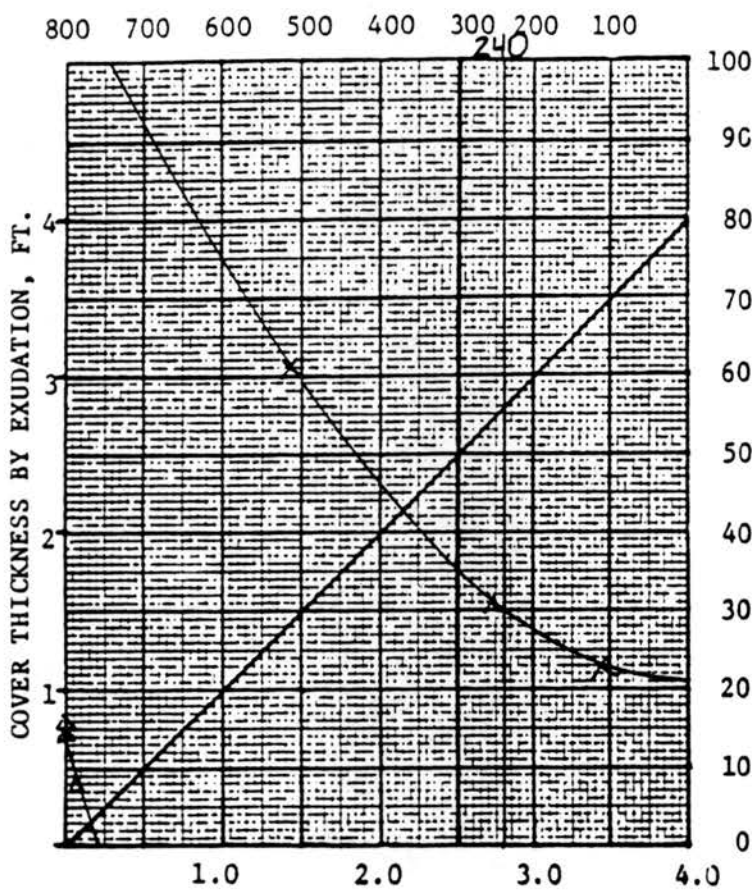
R-VALUE BY EXUDATION 30

R-VALUE BY EXPANSION —

COMPACTOR PRESSURE, LBS.

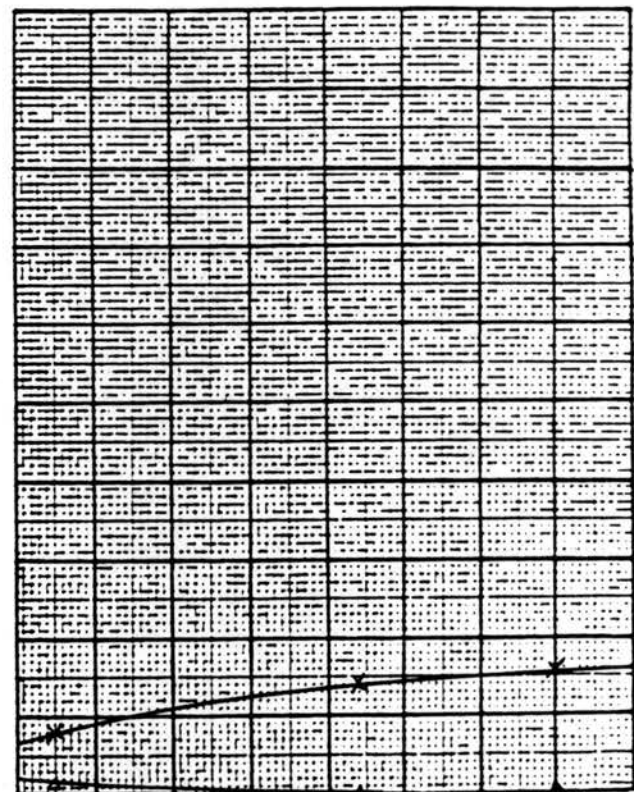


10.0 12.0 14.0
% MOISTURE AT FABRICATION



COVER THICKNESS BY EXPANSION, FT.

COVER THICKNESS BY EXPANSION/EXUDATION, FT.



10.0 12.0 14.0
% MOISTURE

R-VALUE vs. EXUD. PRES.

EXUD. T vs. EXPAN. T

T by EXUDATION

T by EXPANSION

REMARKS

Gf = 1.25

Minnesota Modified Method.

Exudation read at 240 p.s.i.

LaBelle • Marvin
PROFESSIONAL PAVEMENT ENGINEERING

R - VALUE DATA SHEET


J.N. 4115-90-130

#4 @ 1' to 3 1/2'

PROJECT NUMBER 19222

BORING NUMBER: C.L. of Avenue H

SAMPLE DESCRIPTION: Dark Brown Silt

Item	SPECIMEN		
	a	b	c
Mold Number	10	11	12
Water added, grams	30	0	20
Initial Test Water, %	12.7	8.1	11.1
Compact Gage Pressure, psi	100	250	150
Exudation Pressure, psi	185	436	270
Height Sample, Inches	2.63	2.49	2.62
Gross Weight Mold, grams	3300	3259	3304
Tare Weight Mold, grams	2088	2086	2085
Sample Wet Weight, grams	1212	1173	1219
Expansion, Inches x 10exp-4	0	9	0
Stability 2,000 lbs (160psi)	48 / 126	23 / 57	40 / 101
Turns Displacement	4.00	3.40	4.05
R-Value Uncorrected	14	57	27
R-Value Corrected	15	57	29
Dry Density, pcf	123.9	132.1	126.8
DESIGN CALCULATION DATA			
Traffic Index	Assumed: 4.0	4.0	4.0
G.E. by Stability	0.87	0.44	0.73
G. E. by Expansion	0.00	0.30	0.00
Equilibrium R-Value	24 by EXUDATION	Examined & Checked: 8 / 30 / 90	
REMARKS:	Gf = 1.25		
	Minnesota Modified		
	Method		
<div style="display: flex; justify-content: space-between; align-items: center;"> <div> <p>The data above is based upon processing and testing samples as received from the field. Test procedures in accordance with latest revisions to Department of Transportation, State of California, Materials & Research Test Method No. 301.</p> </div> <div style="text-align: center;">  <p>Steven R. Marvin, RCE 30659</p> </div> </div>			

R-VALUE GRAPHICAL PRESENTATION

PROJECT NO. 19222

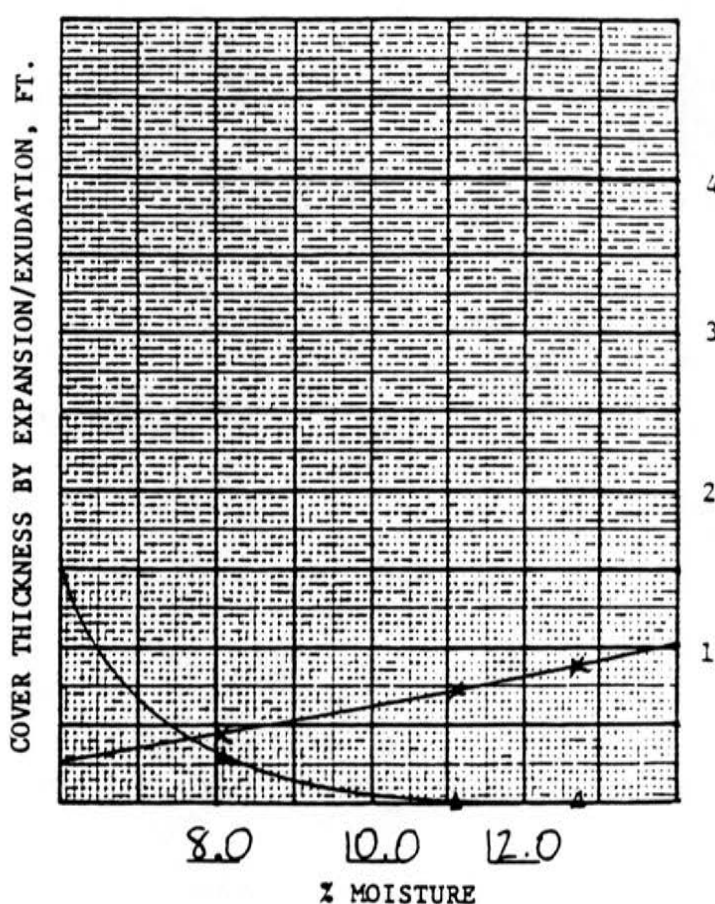
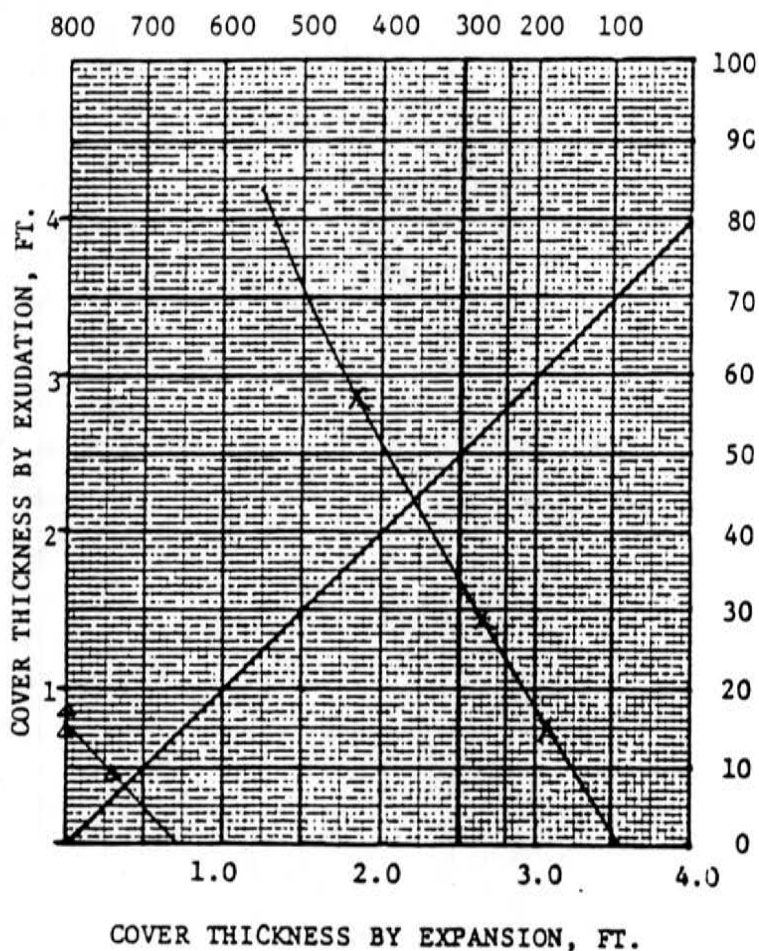
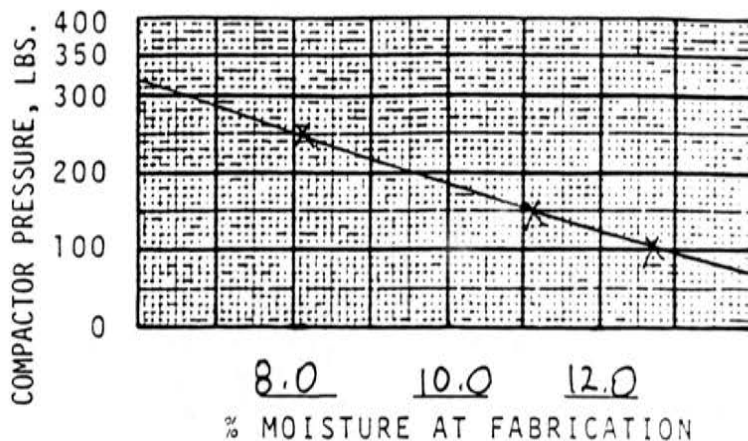
BORING NO. #4 C.L. of Ave H

DATE August 30, 1990

TRAFFIC INDEX 4.0

R-VALUE BY EXUDATION 24

R-VALUE BY EXPANSION —



R-VALUE vs. EXUD. PRES.

T by EXUDATION

EXUD. T vs. EXPAN. T

T by EXPANSION

REMARKS Gf = 1.25

Minnesota Modified Method

Exudation read at 240 p.s.i.

LaBelle • Marvin
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R - VALUE DATA SHEET


J.N. 4115-90-135

Avenue N

PROJECT NUMBER 19222

BORING NUMBER: 10 @ 1'-3.5'

SAMPLE DESCRIPTION: Light Brown Slightly Gravelly Sand

Item	SPECIMEN		
	a	b	c
Mold Number	10	11	12
Water added, grams	80	78	76
Initial Test Water, %	9.0	8.9	8.7
Compact Gage Pressure, psi	250	250	250
Exudation Pressure, psi	197	360	421
Height Sample, Inches	2.40	2.31	2.49
Gross Weight Mold, grams	3178	3140	3202
Tare Weight Mold, grams	2088	2086	2085
Sample Wet Weight, grams	1090	1054	1117
Expansion, Inches x 10exp-4	0	0	0
Stability 2,000 lbs (160psi)	21 / 39	19 / 36	20 / 35
Turns Displacement	4.53	4.39	4.34
R-Value Uncorrected	63	66	67
R-Value Corrected	61	62	67
Dry Density, pcf	126.2	127.0	125.0
DESIGN CALCULATION DATA			
Traffic Index	Assumed:	4.0	4.0
G.E. by Stability		0.40	0.39
G. E. by Expansion		0.00	0.00
Equilibrium R-Value	61 by EXUDATION	Examined & Checked: 9 / 6 / 90  Steven R. Marvin, RCE 30659	
REMARKS:	Gf = 1.25		
	Minnesota Modified		
	Method		
The data above is based upon processing and testing samples as received from the field. Test procedures in accordance with latest revisions to Department of Transportation, State of California, Materials & Research Test Method No. 301.			

R-VALUE GRAPHICAL PRESENTATION

PROJECT NO. 19222

J.W. 4115-90-135

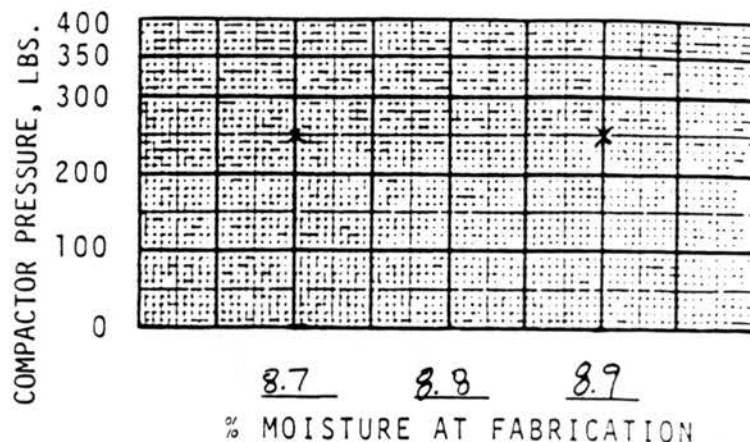
BORING NO. 10 @ 1-3 1/2" Ave N

DATE 9-6-90

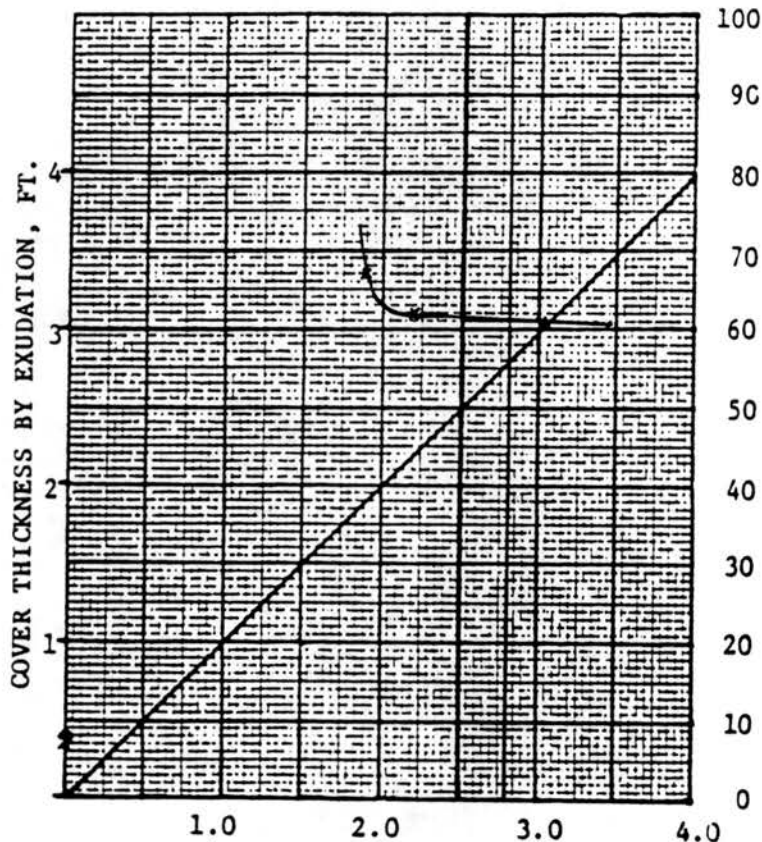
TRAFFIC INDEX 4.0

R-VALUE BY EXUDATION 61

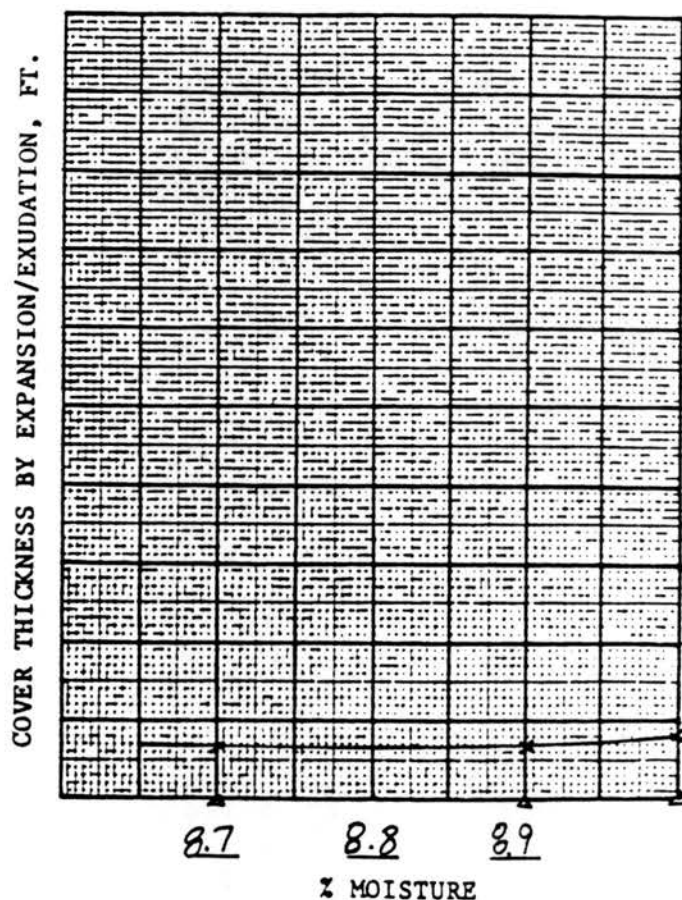
R-VALUE BY EXPANSION —



800 700 600 500 400 300 200 100



COVER THICKNESS BY EXPANSION, FT.



% MOISTURE

R-VALUE vs. EXUD. PRES.

T by EXUDATION

EXUD. T vs. EXPAN. T

T by EXPANSION

REMARKS

Gf = 1.25

Minnesota Modified Method

Exudation read at 240 p.s.i.

R - VALUE DATA SHEET


J.N. 4115-90-135

36th Avenue N

PROJECT NUMBER 19222

BORING NUMBER: 12 @ 1'-3.5'

SAMPLE DESCRIPTION: Medium Brown Fine Sandy Silt

Item	SPECIMEN		
	a	b	c
Mold Number	4	5	6
Water added, grams	0	16	- 10
Initial Test Water, %	10.0	11.2	9.2
Compact Gage Pressure, psi	200	100	250
Exudation Pressure, psi	330	165	478
Height Sample, Inches	2.61	2.64	2.45
Gross Weight Mold, grams	3293	3269	3219
Tare Weight Mold, grams	2085	2085	2083
Sample Wet Weight, grams	1208	1184	1136
Expansion, Inches x 10exp-4	0	0	0
Stability 2,000 lbs (160psi)	36 / 86	51 / 121	29 / 67
Turns Displacement	4.07	4.30	3.80
R-Value Uncorrected	35	16	48
R-Value Corrected	38	17	48
Dry Density, pcf	127.5	122.2	128.7
DESIGN CALCULATION DATA			
Traffic Index	Assumed: 4.0	4.0	4.0
G.E. by Stability	0.63	0.85	0.53
G. E. by Expansion	0.00	0.00	0.00
Equilibrium R-Value	29 by EXUDATION	Examined & Checked: 9 / 6 / 90	
REMARKS:	Gf = 1.25		
	Minnesota Modified		
	Method		
			
<p>The data above is based upon processing and testing samples as received from the field. Test procedures in accordance with latest revisions to Department of Transportation, State of California, Materials & Research Test Method No. 301.</p>			

R-VALUE GRAPHICAL PRESENTATION

PROJECT NO. 19222

Job # 4115-90-135

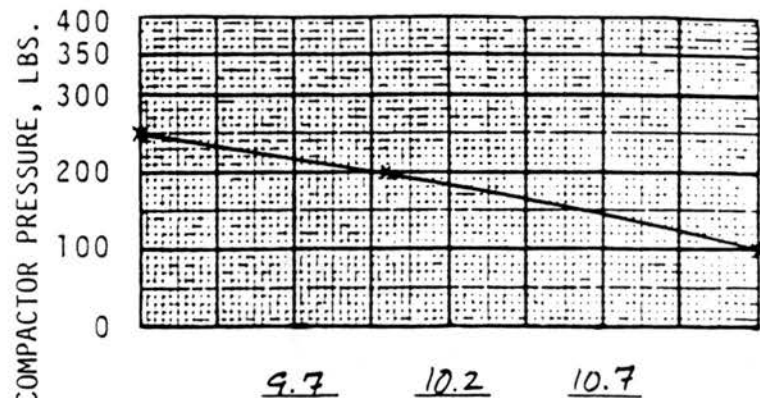
BORING NO. 12@1'-3 1/2', 36th Ave N

DATE 9-6-90

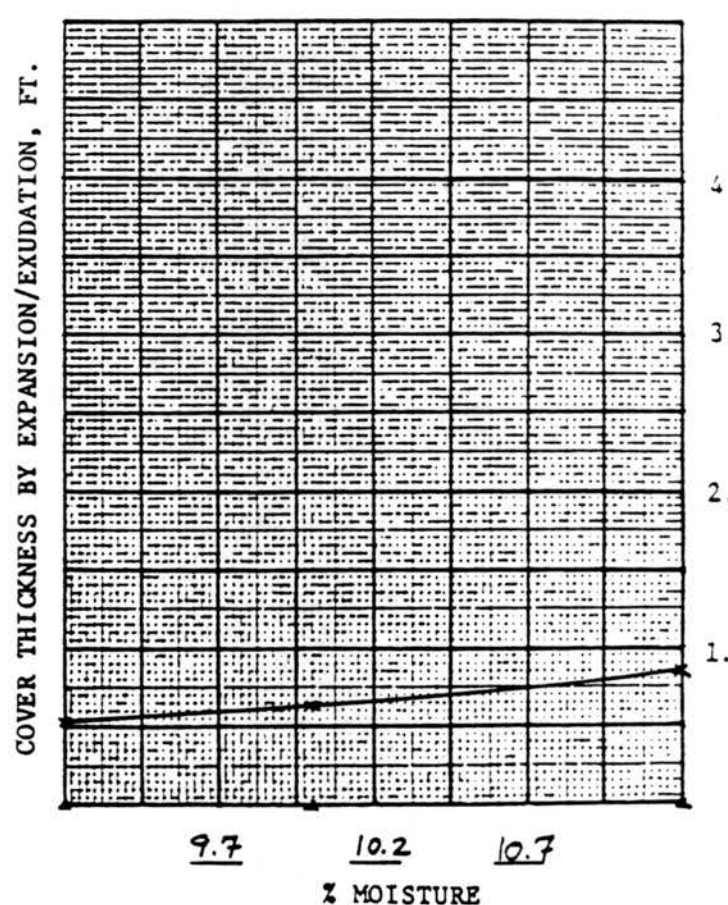
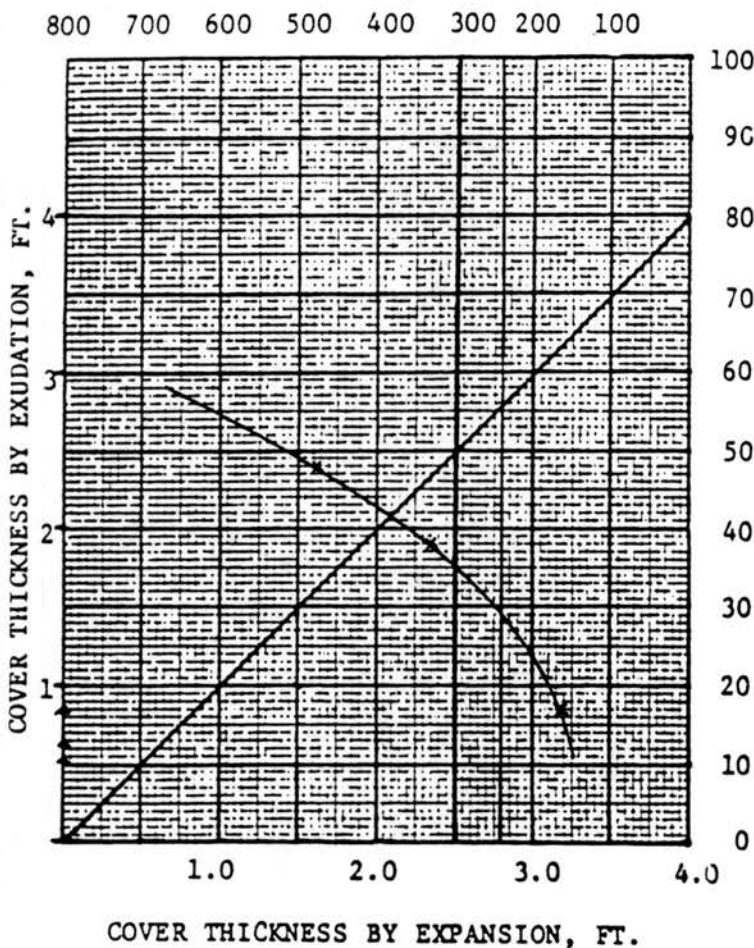
TRAFFIC INDEX 4.0

R-VALUE BY EXUDATION 29

R-VALUE BY EXPANSION —



9.7 10.2 10.7
% MOISTURE AT FABRICATION



— R-VALUE vs. EXUD. PRES.

— T by EXUDATION

— EXUD. T vs. EXPAN. T

— T by EXPANSION

REMARKS Gf = 1.25 Minnesota Modified Method

Exudation at 240 psi.

APPENDIX B

Miscellaneous Information



twin city testing
corporation

(Based on Unified Soil Classification System)

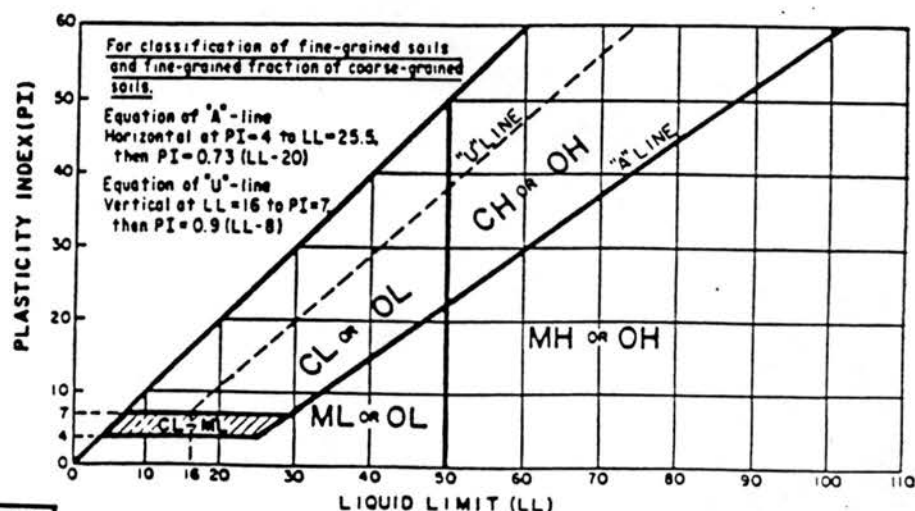
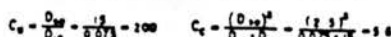
Soil Classification

Group
Symbol

Group Name:


PT	Peat
Sapric Peat	< 33% Fibers

⁹P1 plots below "A" line



GENERAL NOTES

DRILLING AND SAMPLING SYMBOLS

SYMBOL	DEFINITION
HSA	3 1/4" I.D. Hollow Stem Auger
_FA	4", 6" or 10" Diameter Flight Auger
_HA	2", 4" or 6" Hand Auger
_DC	2 1/2", 4", 5" or 6" Steel Drive Casing
_RC	Size A, B, or N Rotary Casing
PD	Pipe Drill or Cleanout Tube
CS	Continuous Split Barrel Sampling
DM	Drilling Mud
JW	Jetting Water
SB	2" O.D. Split Barrel Sample
_L	2 1/2" or 3 1/2" O.D. SB Liner Sample
_T	2" or 3" Thin Walled Tube Sample
3TP	3" Thin Walled Tube (Pitcher Sampler)
_TO	2" or 3" Thin Walled Tube (Osterberg Sampler)
W	Wash Sample
B	Bag Sample
P	Test Pit Sample
_Q	BQ, NQ, or PQ Wireline System
_X	AX, BX, or NX Double Tube Barrel
CR	Core Recovery - Percent
NSR	No Sample Recovered, classification based on action of drilling equipment and/or material noted in drilling fluid or on sampling bit.
NMR	No Measurement Recorded, primarily due to presence of drilling or coring fluid.
	Water Level Symbol

TEST SYMBOLS

SYMBOL	DEFINITION
W	Water Content - % of Dry Wt. - ASTM D 2216
D	Dry Density - Pounds Per Cubic Foot
LL, PL	Liquid and Plastic Limit - ASTM D 4318
Additional Insertions in Last Column	
Qu	Unconfined Comp. Strength-psf - ASTM D 2166
Pq	Penetrometer Reading - Tons/Square Foot
Ts	Torvane Reading - Tons/Square Foot
G	Specific Gravity - ASTM D 854
SL	Shrinkage Limits - ASTM D 427
OC	Organic Content - Combustion Method
SP	Swell Pressure - Tons/Square Foot
PS	Percent Swell
FS	Free Swell - Percent
pH	Hydrogen Ion Content, Meter Method
SC	Sulfate Content - Parts/Million, same as mg/L
CC	Chloride Content - Parts/Million, same as mg/L
C*	One Dimensional Consolidation - ASTM D 2435
Qc*	Triaxial Compression
D.S.*	Direct Shear - ASTM D 3080
K*	Coefficient of Permeability - cm/sec
D*	Dispersion Test
DH*	Double Hydrometer - ASTM D 4221
MA*	Particle Size Analysis - ASTM D 422
R	Laboratory Resistivity, in ohm - cm - ASTM G 57
E*	Pressuremeter Deformation Modulus - TSF
PM*	Pressuremeter Test
VS*	Field Vane Shear - ASTM D 2573
IR*	Infiltrometer Test - ASTM D 3385
RQD	Rock Quality Designation - Percent

* See attached data sheet or graph

WATER LEVEL

Water levels shown on the boring logs are the levels measured in the borings at the time and under the conditions indicated. In sand, the indicated levels may be considered reliable ground water levels. In clay soil, it may not be possible to determine the ground water level within the normal time required for test borings, except where lenses or layers of more pervious waterbearing soil are present. Even then, an extended period of time may be necessary to reach equilibrium. Therefore, the position of the water level symbol for cohesive or mixed texture soils may not indicate the true level of the ground water table. Perched water refers to water above an impervious layer, thus impeded in reaching the water table. The available water level information is given at the bottom of the log sheet.

DESCRIPTIVE TERMINOLOGY

DENSITY TERM	"N" VALUE	CONSISTENCY TERM
Very Loose	0-4	Soft
Loose	5-8	Medium
Medium Dense	9-15	Rather Stiff
Dense	16-30	Stiff
Very Dense	Over 30	Very Stiff

Standard "N" Penetration: Blows Per Foot of a 140 Pound Hammer
Falling 30 inches on a 2 inch OD Split Barrel Sampler

Lamination	Up to 1/2" thick stratum
Layer	1/2" to 6" thick stratum
Lens	1/2" to 6" discontinuous stratum, pocket
Varved	Alternating laminations of clay, silt and /or fine grained sand, or colors thereof
Dry	Powdery, no noticeable water
Moist	Below saturation
Wet	Saturated, above liquid limit
Waterbearing	Pervious soil below water

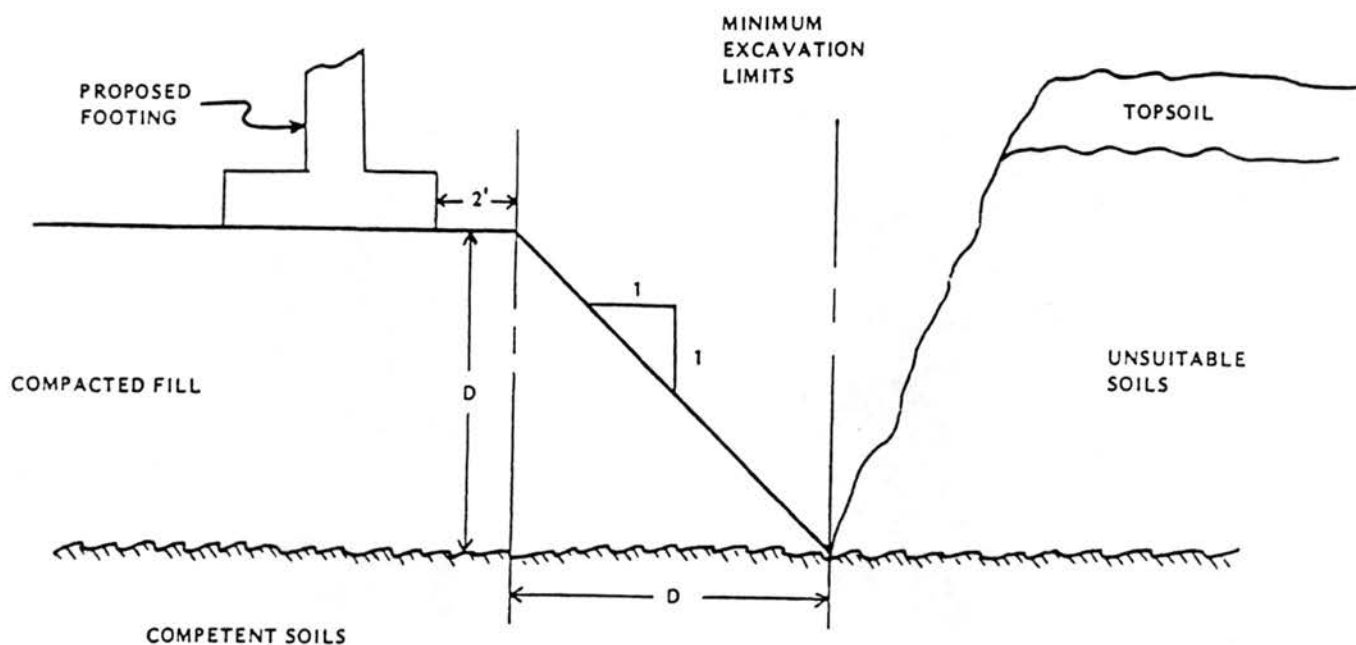
RELATIVE GRAVEL PROPORTIONS

CONDITION	TERM	RANGE
Coarse Grained Soils	A little gravel	2 - 14%
	With gravel	15 - 49%
Fine Grained Soils		
	15-29% + No. 200	A little gravel
	15-29% + No. 200	With gravel
30% + No. 200	A little gravel	2 - 14%
30% + No. 200	With gravel	15 - 24%
30% + No. 200	Gravelly	16 - 49%

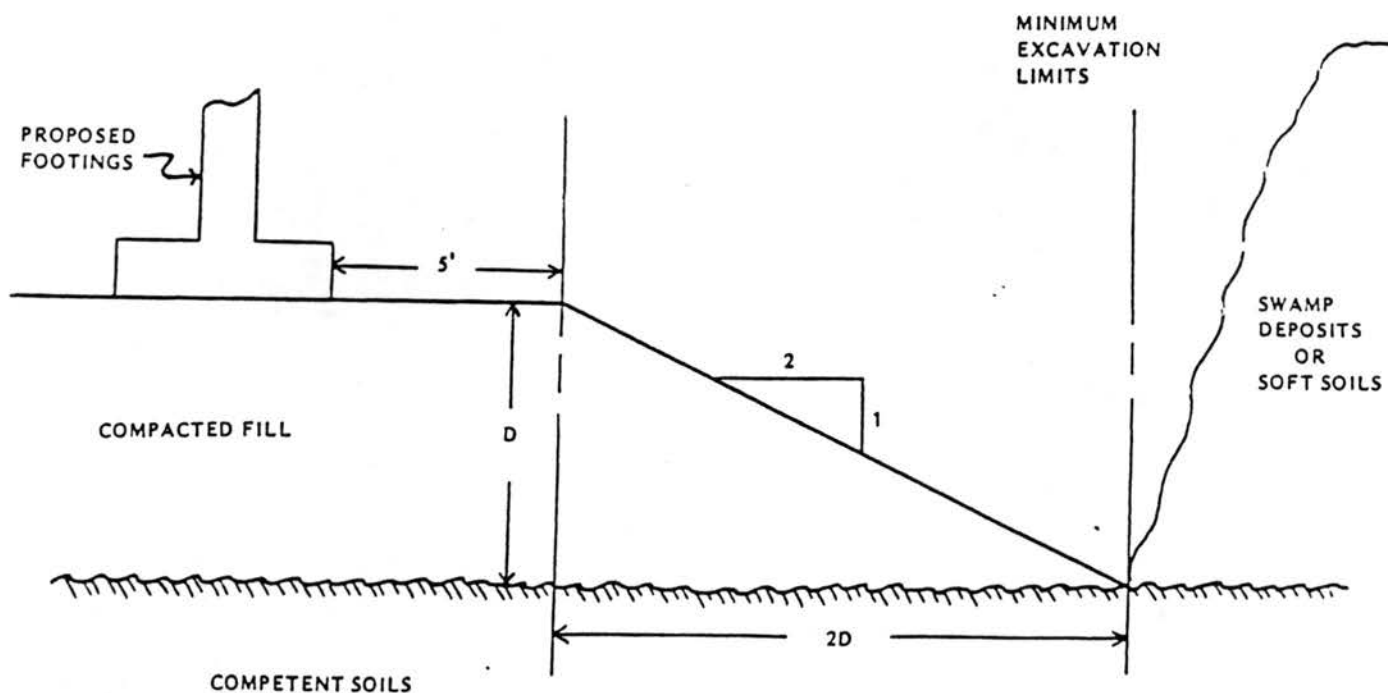
RELATIVE SIZES

Boulder	Over 12"
Cobble	3" - 12"
Gravel	
Coarse	3/4" - 3"
Fine	#4 - 3/4"
Sand	
Coarse	#4 - #10
Medium	#10 - #40
Fine	#40 - #200
Silt & Clay	- #200, Based on Plasticity

NORMAL EXCAVATION OVERSIZE



OVERSIZE FOR SWAMP OR EXTREMELY SOFT SOIL CONDITONS



PREREQUISITES FOR SOUND ENGINEERING PRACTICE

In order to properly evaluate the foundation soils at a building site, it is imperative for our firm to know exactly where the building will be placed, its size, and the elevation of the foundation elements. Without this information, a judgement regarding the adequacy of the preparatory foundation earthwork is not possible.

This project data is especially critical in situations when the excavation extends below the footing grade and compacted fill will be required to attain building elevations. In these situations, the excavation would require lateral oversizing to provide suitable lateral distribution of the footing loads.

Offset batter boards or the building lines stakes provide the best on-site verification of the building location and size. It must be recognized that Twin City Testing and Engineering Laboratory, Inc. does not practice in the field of surveying. We, therefore, must rely on staking by others. If Twin City Testing is required to perform the survey, we will retain a licensed surveyor and invoice our client for the amount per our current fee schedule. Provision of the building foundation plans is also important so that we may properly perform our engineering judgements.

If the construction is redesigned or otherwise moved subsequent to our work, we should be informed so our firm can assess if additional engineering observation is required or suggest sound engineering alternatives. We cannot be responsible for any soil foundation system if the structure has been relocated with respect to the excavation subsequent to our observations.

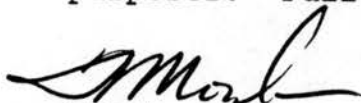
GENERAL OVERSIZE REQUIREMENTS

Because of the lateral distribution of foundation pressures with depth, lateral oversizing is required in an excavation where unsuitable soils extend below plan footing grade. The lateral oversize scheme provides compacted fill material beyond the exterior footing limits where fill is required below footing elevation. The degree of lateral oversizing is dependent upon the surrounding soil's ability to resist lateral movement. Although we generally recommend the lateral oversize be at least 2' plus the depth of fill below bottom of footing elevation, each project must be evaluated separately. For example, in extremely compressible swamp or organic soils, the oversize should be increased to 5' plus twice the depth of excavation below footing grade. Due to the variations in the required oversize, an engineering judgement must be made to establish the necessary extent of the oversizing. Diagrams illustrating typical oversizing dimensions are included below.



DATE: November 14, 1990
TO: Jerry Dulgar, City Manager
FROM: William Monk, City Engineer
SUBJECT: TH100 Improvement Project/MnDOT

As noted in the attached notice, public meetings are scheduled for December 5 and 6 to allow presentation and comment on the Scoping Document for the Trunk Highway 100 Reconstruction Project proposed by MnDOT. The Scoping Document is intended to define the need for the project and outline the issues to be reviewed during the Environmental Impact Statement process. Portions of Scoping Document are included in this packet for information and discussion purposes. Full copies can be furnished for further review.



WM:mb

Encl.



Minnesota Department of Transportation
Transportation Building, St. Paul, MN 55155



296-1344

November 8, 1990

To Whom It May Concern:

Enclosed is a copy or copies of the Scoping Document and the Draft Scoping Decision Document (Appendix A) for the proposed reconstruction of a 5.2 mile section of Trunk Highway (TH) 100 from Glenwood Avenue and TH 100 in the City of Golden Valley, Minnesota to TH 100 and 50th Avenue in Brooklyn Center, Minnesota.

This Scoping Document and Draft Scoping Decision Document have been prepared by the Minnesota Department of Transportation (Mn/DOT) under Mn/DOT's Alternative Environmental Review Process adopted by the Minnesota Environmental Quality Board (MEQB) on August 18, 1983. These documents are being distributed for review to aid in identifying issues and analyses to be contained in the Environmental Impact Statement which Mn/DOT will prepare. The Draft Scoping Decision Document is a preliminary document based on information currently available. It is subject to revision based on the entire record of the scoping process.

Comments on issues raised in the Scoping Document and Draft Scoping Decision Document are being requested from individuals on the MEQB distribution list, as well as from other persons or agencies to whom the proposed project may be of interest. The comment period will begin November 13, 1990 and will extend until December 21, 1990. All comments may be directed to:

Steve Hay, P.E.
Metro District
Minnesota Department of Transportation
2055 North Lilac Drive
Golden Valley, Minnesota 55422
(612) 593-8535

Comments received will be used by Mn/DOT in determining the scope of the ensuing Environmental Impact Statement (EIS).

November 8, 1990
Page 2

To afford an opportunity for all interested persons, agencies, and groups to comment on the proposed action, public scoping meetings will be held on Wednesday, December 5, 1990, at the Mn/DOT Metro District Office, 2055 North Lilac Drive in Golden Valley and Thursday, December 6, 1990, at the Robbinsdale Junior High School, located at the corner of 42nd Avenue North and Regent Avenue in Robbinsdale. The meeting will begin at 7:00 p.m. An open house will be held prior to each meeting between 5:00 p.m. and 7:00 p.m.

Sincerely,


E. E. Ofstead
Assistant Commissioner
Technical Services Division

Enclosures

SCOPING DOCUMENT
TRUNK HIGHWAY 100 RECONSTRUCTION
MINNESOTA DEPARTMENT OF TRANSPORTATION

State Project Number: S.P. 2735-148
Trunk Highway Number: 100

The proposed project begins at Glenwood Avenue and T.H. 100 in the City of Golden Valley, Minnesota on the south and extends north/northeast for approximately 5.2 miles along T.H. 100, terminating at T.H. 100 and 50th Avenue in Brooklyn Center, Minnesota.

Certification by Responsible Government Unit

11/2/90
Date Approved

William M. Crawford
William M. Crawford, P.E.
District Engineer

11/2/90
Date Approved

L. F. McNamara
Lawrence F. McNamara, P.E.
Assistant Commissioner for Operations

11-2-90
Date Approved

E. E. Ofstead
Eugene E. Ofstead, P.E.
Assistant Commissioner for Technical Services

1.0 INTRODUCTION AND BACKGROUND

1.1 Project Location

Trunk Highway 100 (TH 100) is a major regional transportation facility in the western part of the Twin Cities metropolitan area, in east central Minnesota (Figure 1). The TH 100 corridor is a north-south route extending from I-494 on the south to I-694 on the north, a total length of approximately 16 miles. The proposed project termini are from Glenwood Avenue North to 50th Avenue North, a distance of approximately 5.2 miles (Figure 2). The entire TH 100 corridor is an urban freeway except for the above-referenced 5.2-mile segment, which is an urban expressway. The entire TH 100 corridor is located in Hennepin County. The segment of TH 100 in the project area passes through the Cities of Golden Valley, Crystal, Robbinsdale, and Brooklyn Center.

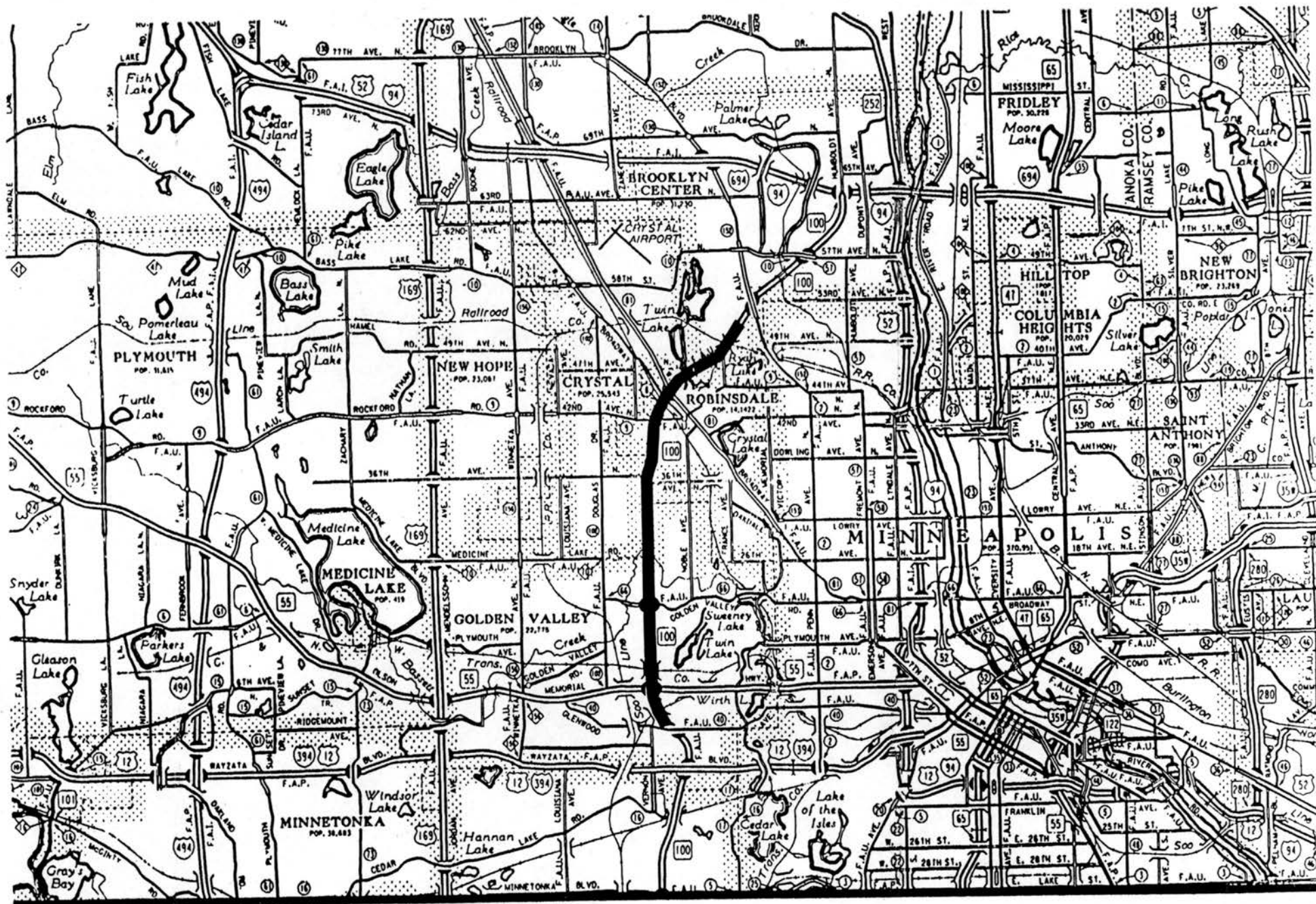
1.2 Project Background

TH 100 served as Minneapolis' first circumferential or "ring road" for more than 50 years. In 1920, the City of Minneapolis plan showed a conceptual location for TH 100. By 1930, the Minnesota Highway Department (now the Minnesota Department of Transportation, MnDOT) implemented the plan and built "Lilac Way." In the 1940s Lilac Way was reconstructed to become TH 100. During the 1950s selected areas of TH 100 were upgraded to provide some of the first freeway-style interchanges in the state. Although these interchanges do not meet today's more rigid geometric design standards, they were considered innovative for their time. As the metropolitan area grew and the interstate system was implemented, TH 100 was replaced as part of the main belt line in the Twin Cities by I-694/I-494.

In the mid-1960s, MnDOT was planning to upgrade the entire TH 100 corridor to freeway standards. Preliminary design work on the project was completed and final design was well underway when, due to funding shortages, the project was suspended. On the basis of the work underway, MnDOT had purchased a substantial amount of the necessary right-of-way from willing sellers. No land condemnation process was initiated.

Since that time, as funding has become available, MnDOT has progressively upgraded TH 100 to freeway standards from I-494 to Glenwood Avenue. The segment of TH 100 from Cedar Lake Road to Glenwood Avenue is presently being reconstructed as part of the construction of I-394. This project will be completed in 1993. An additional project scheduled to begin construction in 1995 will rebuild interchanges with TH 7 and CSAH 5 (Minnetonka Boulevard) and add an additional through lane of traffic in each direction. When the above two projects are completed, TH 100 will be a continuous six-lane freeway from I-494 to Glenwood Avenue.

In addition to the above projects, MnDOT also had programmed projects to replace the Broadway Avenue Bridge and to build interchanges at 36th Avenue North and CSAH 81. Because these three projects are all closely related, the decision was made that they should be developed together and that the potential impacts of this work would classify this as a Class I project,



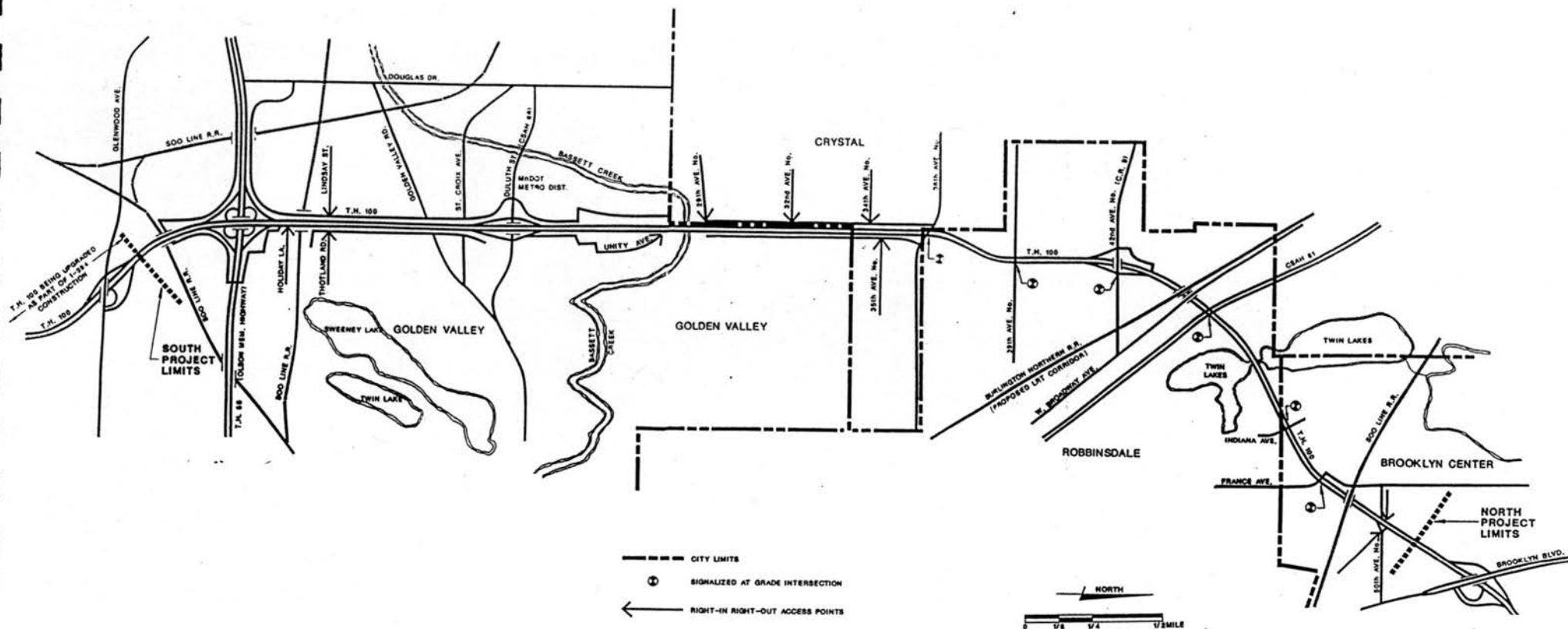
T.H. 100 RECONSTRUCTION
GLENWOOD AVE. TO 50TH AVE. No.

Figure 2



Barton-Aschman Associates, Inc.

Project Location



T.H. 100 RECONSTRUCTION
GLENWOOD AVE. TO 50TH AVE. NO.

Figure 3

requiring an Environmental Impact Statement. To encompass the project area, the limits of the study were defined as 29th Avenue North to 50th Avenue North. During the preliminary stages of development it has become apparent that the additional non-freeway segment from Glenwood Avenue North to 29th Avenue North should be included in the study so that improvements to the corridor would be consistent.

1.3 Project Description

The proposed reconstruction of TH 100 seeks to improve a deteriorating facility which has major design deficiencies and capacity restraints to better serve the transportation needs of the State of Minnesota and the Twin Cities metropolitan area. To meet the transportation objectives of the proposed project, the following project criteria were developed:

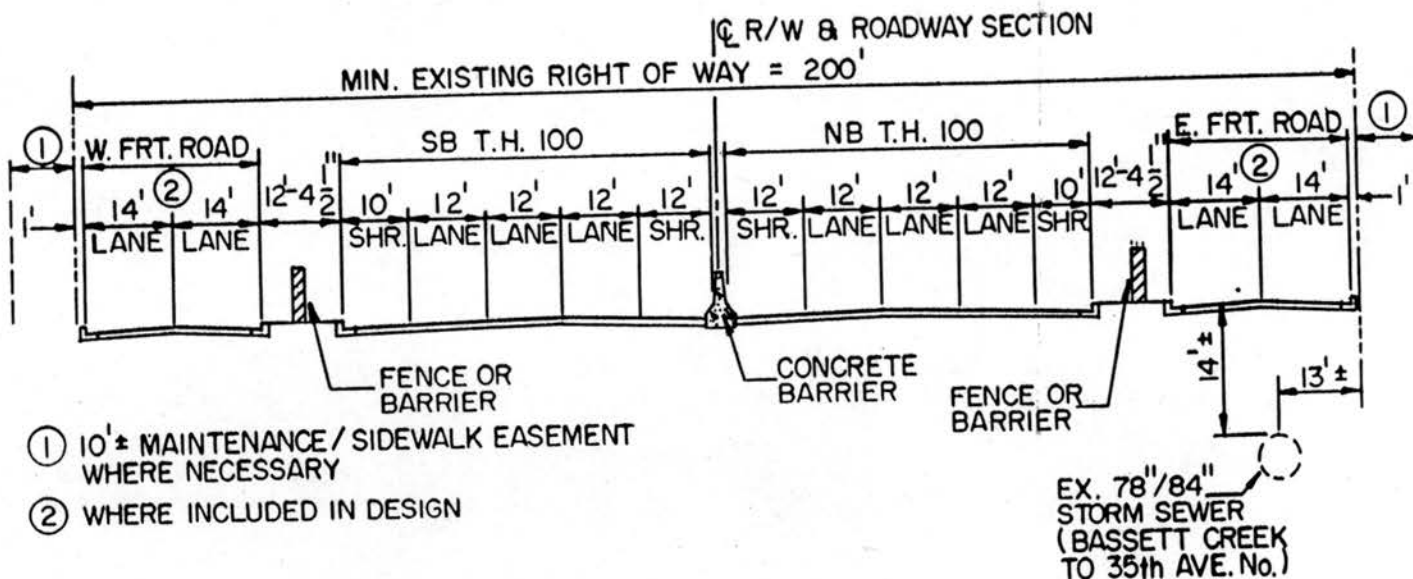
- Reduce congestion and delays
- Improve engineering geometric design
- Improve safety
- Provide route continuity

The proposed project seeks to achieve the transportation criteria while minimizing potentially adverse social, economic, and environmental impacts to the project area.

To reduce congestion and delay, this project proposes that TH 100 be reconstructed to freeway standards within the project limits. This would result in the removal of all at-grade intersections and access locations. New interchanges are proposed to be constructed at 36th Avenue North, County State Aid Highway 81 (CSAH 81), and France Avenue North. Existing interchanges would be modified at Trunk Highway 55, Duluth Street (CSAH 66), and 42nd Avenue North. Direct access to TH 100 would be closed at Holiday Lane, Thotland Road, Lindsay Street, Unity Avenue North, 32nd Avenue North, 34th Avenue North, 35th Avenue North, 39th Avenue North, Indiana Avenue, and 50th Avenue North. See Figure 3 for existing access in the study area.

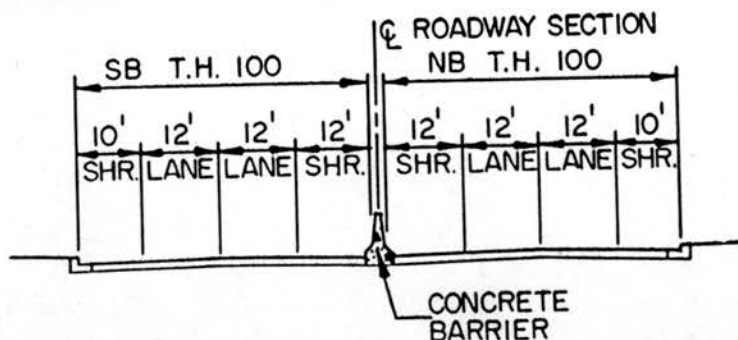
In addition, this project proposes that TH 100 be reconstructed as a six-lane freeway between Glenwood Avenue and CSAH 81 and a four-lane freeway between CSAH 81 and 50th Avenue North. This will match with the six-lane TH 100 freeway presently being constructed at Glenwood Avenue (due to be completed in 1993) and the existing four-lane freeway north of 50th Avenue. See Figure 4 for typical four- and six-lane sections as proposed in this project.

To improve engineering geometric design and safety, some slight modifications are proposed for the horizontal and vertical alignments of TH 100, although the mainline would generally be reconstructed on its present alignments. Two curves would be flattened, improving safety.



TYPICAL SECTION 1 - T.H. 100 6 LANE MAINLINE NO SCALE
GLENWOOD AVE. TO C.S.A.H. 81

NOTE: DIMENSIONS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.



TYPICAL SECTION 2 - T.H. 100 4 LANE MAINLINE NO SCALE
NORTH OF C.S.A.H. 81

T.H. 100 RECONSTRUCTION
GLENWOOD AVE. TO 50th AVE. NO.

Figure 4

Typical Roadway Sections

1.4 Project Setting

TH 100 is located entirely within a suburban setting. It is generally aligned in a north-south direction up to the area of 42nd Avenue and CSAH 81, at which point it angles to the northeast where it intersects with I-94/I-694 (see Figure 5).

The primary land use adjacent to the corridor is single-family residential homes. A limited number of multiple family residences are also located within the project limits. In the areas adjacent to 36th Avenue North and Duluth Street, there are concentrations of commercial properties. An industrial area is located just to the north of TH 55. Commercial and industrial properties are also located around France Avenue North. Robbinsdale High School and Junior High School buildings are located adjacent to the corridor, and are used for community purposes.

Railroad crossings along the corridor are located just to the north and just to the south of TH 55 (Soo Line R.R.), to the south of CSAH 81 (Burlington Northern R.R.), and north of France Avenue (Soo Line R.R.). The Burlington Northern tracks are a proposed corridor for a Light Rail Transit (LRT) line.

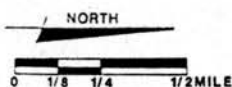
Significant natural resource areas are located at Twin Lakes, to the north of CSAH 81, and at Bassett Creek, to the south of 36th Avenue North.

1.5 Report Purpose

The National Environmental Policy Act (NEPA) of 1969 requires environmental considerations to be included in project planning, along with technical and economic issues. NEPA introduced the concept of an Environmental Impact Statement (EIS). An EIS is both a decision-making and a "full disclosure" document, meaning that it assesses all of the impacts of a proposed project, both positive and negative.

After NEPA was instituted, many states (including Minnesota) introduced their own form of environmental review to complement NEPA's rules. Guidelines promulgated under the Minnesota Environmental Policy Act (MEPA) require a scoping process to precede creation of the EIS. The Scoping Document serves the same purpose as a Scoping Environmental Assessment Worksheet (scoping EAW) under the state process.

"Scoping" is the preliminary phase of project development in which alternatives are developed and issues identified. The scoping process is designed to consider the full range of alternatives for a proposed project and recommend the viable options for consideration in the EIS. All relevant social, environmental, and economic issues are identified and the level of potential impacts is evaluated.



T.H. 100 RECONSTRUCTION
GLENWOOD AVE. TO 50th AVE. No.

Figure 5

This Scoping Document has been created to solicit comments from the public and governmental agencies about what issues and alternatives should be studied in the draft EIS phase of the project development. Based upon these comments, a Scoping Decision Document (SDD) will be published which defines precisely which issues and alternatives will be included in the EIS. A draft copy of the SDD is attached to this document as Appendix A.

1.6 Cost and Funding Sources

The preliminary estimated construction cost of the proposed project ranges from \$40 to \$75 million depending upon which alternatives are chosen. This does not include right-of-way acquisition costs. The proposed project will be funded through federal, state, and local sources. The proposed interchange construction at 36th Avenue North has been funded through the Federal Aid Urban (FAU) program. These FAU funds have a sunset provision of January 1, 1995, which means that the FAU money must be obligated by that date or it could be lost. Approximately \$20 million of funding has already been programmed by MnDOT.

1.7 Project Schedule

A schedule of projected study activities is presented below:

	<u>Date</u>
Draft Scoping Document	November 1990
Public Scoping Meeting	December 1990
Final Scoping Decision Document	December/January 1990
Draft EIS Release	Spring 1991
Draft EIS/Public Hearing and Information Meeting	Summer 1991
Final EIS	Winter 1991/92
Final EIS Adequacy Determination	Winter 1991/92
Record of Decision (ROD)	Spring 1992
Study Report	Summer 1992
First Construction Contract Letting	January 1994

This schedule is subject to change and may be updated as the project advances. Project staging is unknown at this time.

1.8 Responsible Governmental Unit and Project Manager

The Minnesota Department of Transportation is the designated Responsible Governmental Unit (RGU) for the purposes of the Scoping Document and the Environmental Impact Statement.

Contact Person: Steve Hay, P.E.
MnDOT Metro District
2055 North Lilac Drive
Golden Valley, MN 55422
(612) 593-8535

2.0 PUBLIC AND AGENCY INVOLVEMENT

2.1 Public Participation Plan

The scoping process for the TH 100 project allows for public participation as outlined in MnDOT's Highway Project Development Process. A Robbinsdale informational open-house meeting was held in the spring of 1990; Crystal and Brooklyn Center held open-house meetings in the summer of 1990. These meetings informed local citizens about the proposed project and allowed citizens to relay these concerns to the Technical Advisory Committee.

The public scoping meeting(s) will be held after publication of this scoping document in accordance with MEQB rules. Citizens will learn about the different alternatives that have been developed and the potential impacts associated with each design. The scoping meeting provides a forum for local concerns, which are considered when the scoping decision is made. Written comments will be accepted during the 30-day comment period following the notice in the EQB Monitor. Please direct all comments to the contact person listed in Section 1.8.

Public involvement will continue through the EIS stage of this project with future public meetings.

2.2 Technical Advisory Committee

Initial scoping for the TH 100 project was performed with assistance from the Technical Advisory Committee (TAC). The TAC is composed of MnDOT engineers and consultants, engineers and/or public works directors (from Golden Valley, Robbinsdale, Crystal, Brooklyn Center, and Hennepin County), and representatives of federal agencies, railroad authorities, light rail transit (LRT) authorities, and watershed districts. The TAC met on a bi-weekly schedule through the scoping phase of development. The TAC will continue to meet during the EIS phase. TAC members have reviewed and evaluated the project alternatives and traffic network studies prior to the scoping meeting.

2.3 Citizens Advisory Committee

The Citizens Advisory Committee (CAC) is composed of interested citizens appointed by the communities of Golden Valley, Robbinsdale, Crystal, and Brooklyn Center. It serves as a liaison between the project management team and the general public. The CAC offers the project team information on public concerns.

2.4 Public Early Agency Coordination

Early coordination with public agencies is necessary to ensure that agency guidelines are properly met throughout the highway development process. The following agencies have been contacted in the scoping process or will formally review the scoping document:

Federal

US Army Corps of Engineers
US Environmental Protection Agency
US Fish and Wildlife Service
Federal Highway Administration
Urban Mass Transit Administration

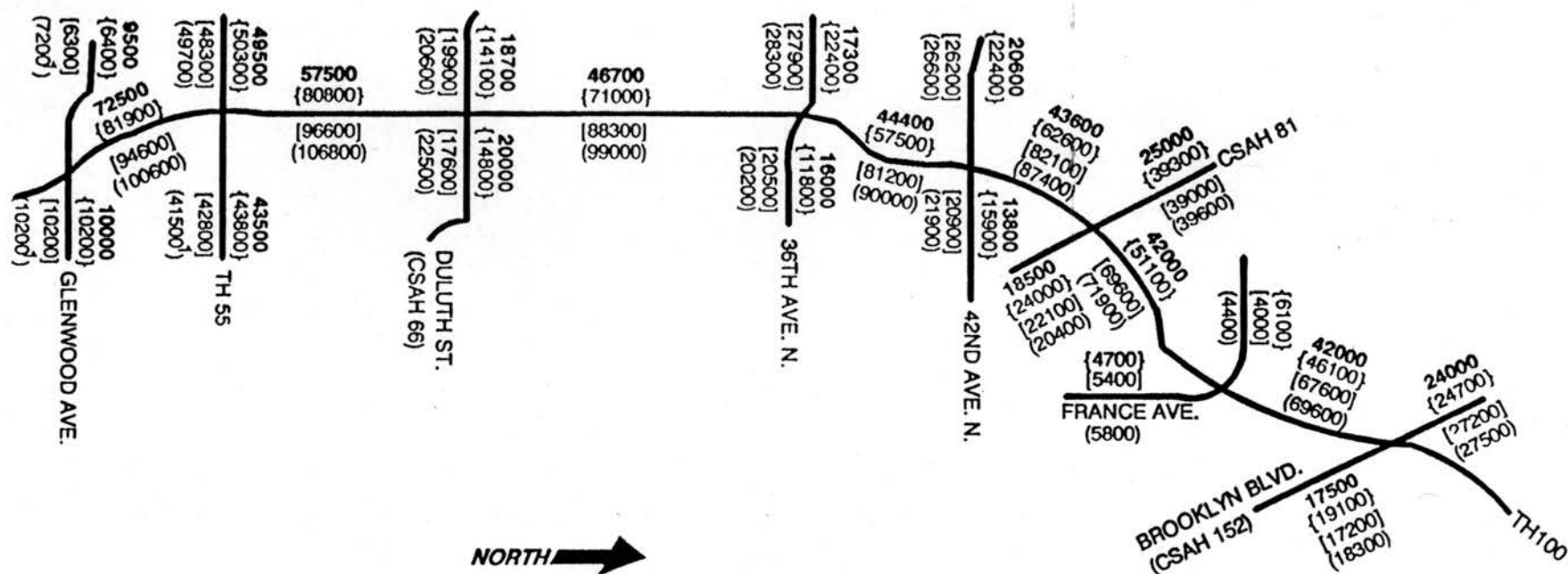
State

Minnesota Department of Natural Resources
Minnesota Pollution Control Agency
Minnesota Department of Health
Minnesota Department of Agriculture
Minnesota Board of Water and Soil Resources
Minnesota Environmental Quality Board
Minnesota Historical Society
Minnesota State Planning Agency
Minnesota State Patrol

Local

Metropolitan Council
Metropolitan Transit Commission
Metropolitan Waste Control Commission
Regional Transit Board
Hennepin County Board
Hennepin County Planning Commission
Hennepin County Department of Energy and Environment
Hennepin County Department of Transportation
Hennepin County Parks Department
Hennepin County Regional Railroad Authority
Hennepin County Department of Public Works
Shingle Creek Watershed District
Bassett Creek Watershed District
Cities of Robbinsdale, Brooklyn Center, Crystal, and Golden Valley

Copies of the scoping document will be available to the public at public libraries and city halls in the project area, the State Environmental Conservation Library, the State Legislative Library, and the Metro Area Regional Development Library.



LEGEND

- 000 - 1988 Counts (Source: MnDOT)
- {000} - Year 2010 (No-Build)
- [000] - Year 2010 (4-Lane Freeway)
- (000) - Year 2010 (4/6-Lane Freeway)

¹ Traffic on Glenwood and TH 55 may decrease below existing levels when I-394 is complete.

Figure 6



Barton-Aschman Associates, Inc.

Existing and Future Average Daily Traffic

Alternative 2A (Figure 17) utilizes a standard diamond interchange at 36th Avenue. The interchange will provide an acceptable level of service at both ramp intersections with 36th Avenue. Special attention will be required to keep the intersections with the east and west frontage roads properly separated from the ramp/36th Avenue intersections. This is necessary to provide adequate storage for queued vehicles, and to allow for proper signal progression between the ramp intersections and the frontage road intersections.

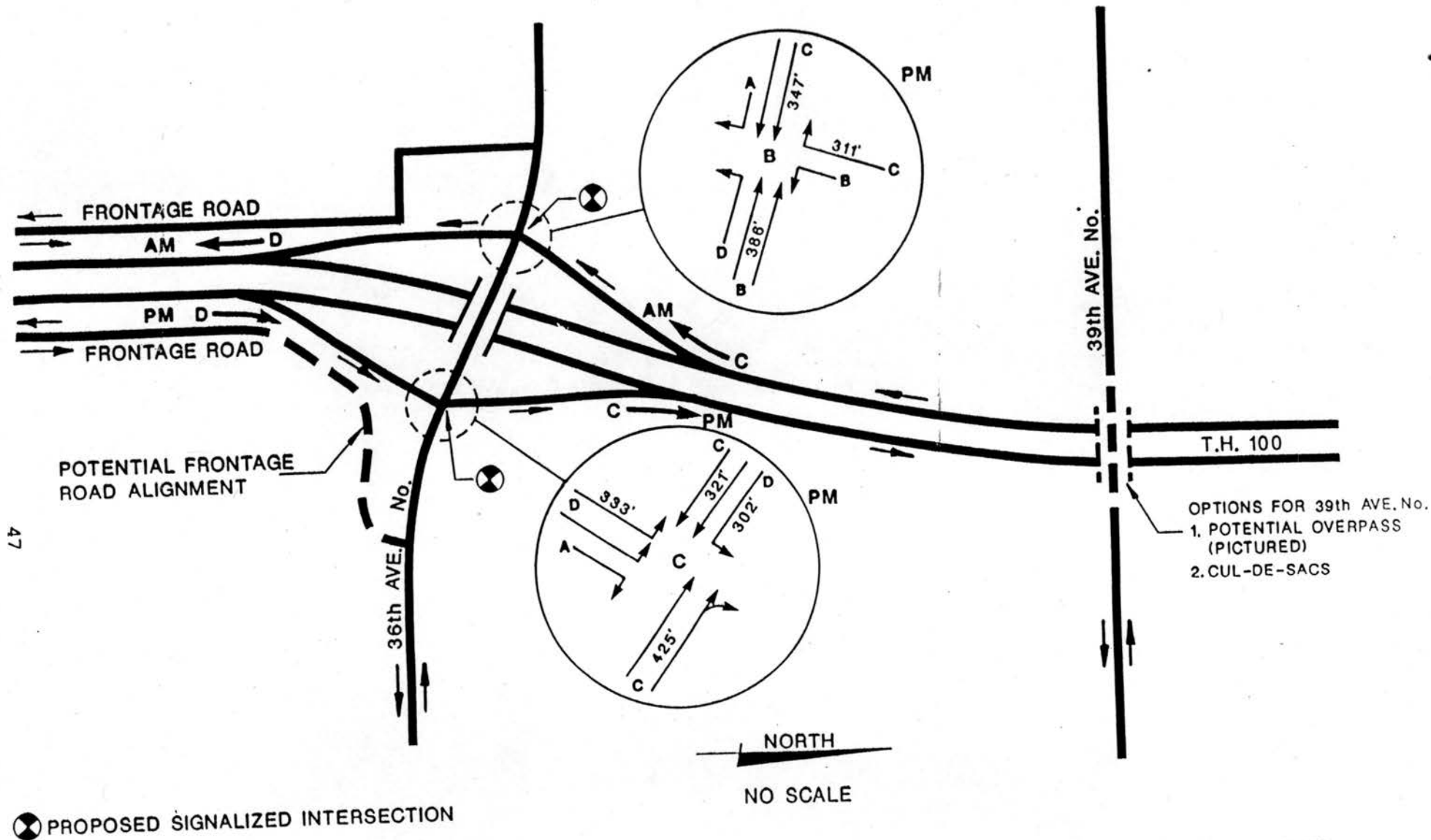
The most critical intersection will be the east ramp/36th Avenue intersection, which would operate in the year 2010 at an overall Level of Service C in the P.M. peak hour (the highest volume hour during an average weekday afternoon). The southbound on-ramp merge and the northbound off-ramp diverge would operate at a Level of Service D during peak hours, due to the large volume of traffic to and from the south using these ramps. North of 36th Avenue, the ramp merge and diverge movements would operate at LOS C in the year 2020.

Advantages:

- Interchange generally fits within existing right-of-way limits
- Driver familiarity
- Pedestrian movements easily accommodated
- Good level of service on ramp merge points
- Good level of service at ramp intersections

Disadvantages:

- Frontage road alignment modifications may require additional right-of-way acquisition



T.H. 100 RECONSTRUCTION
GLENWOOD AVE. TO 50th AVE. No.

Figure 17

Alternative 2A
Standard Diamond Interchange
at 36th Ave. No.

SOCIAL, ECONOMIC, AND ENVIRONMENTAL ISSUES

A comprehensive review of a wide range of social, economic, and environmental (SEE) impacts will be contained in the EIS for this project. Those issues with a greater possibility of significant impact will be studied in greater detail; those issues with a lower projected level of impact will be studied in less detail.

A. Issues Requiring In-Depth Study

- Air Quality
- Bicycle and Pedestrian Movement
- Historical and Archaeological Impacts
- Noise
- Parklands, Recreational, 4(f) and 6(f) Lands
- Right-of-Way Impacts
- Stream and Lake Modification
- Traffic
- Vegetation
- Water Quality
- Wetland and Floodplain Impacts

B. Issues Requiring Analysis

- Construction Impacts
- Land Use
- Socioeconomic Impacts
- Soil and Groundwater Contamination
- Transit Impacts
- Fish, and Wildlife
- Visual Quality (Aesthetics)

C. Issues Requiring Description or Qualitative Discussion But Not Analysis

- Critical Areas
- Endangered Species
- Energy
- Erosion
- Prime and Unique Farmland
- Wild and Scenic Rivers

6.0 GOVERNMENTAL APPROVALS AND PERMITS

A list of all known federal, state, and local permits and formal approvals that may be required for this project are listed below:

TABLE 8

<u>Government Agency</u>	<u>Type of Approval or Permit</u>
Federal:	
Federal Highway Administration	<ul style="list-style-type: none">• Access Change Approvals• Location and Design Approvals• Record of Decision• EIS Approval as Joint Lead Agency
US Army Corps of Engineers	<ul style="list-style-type: none">• Section 404 Permit for Filling of Wetlands
State:	
MN Department of Natural Resources	<ul style="list-style-type: none">• Work in Protected Waters• Groundwater Appropriation Permit
MN Pollution Control Agency	<ul style="list-style-type: none">• Air Quality Indirect Source Permit• 401 Water Quality Certification
MN Department of Transportation	<ul style="list-style-type: none">• EIS Approval as Joint Lead Agency• EIS Adequacy Determination
Regional:	
Local Watershed Districts	<ul style="list-style-type: none">• District Approvals/Permits• Grading and Land Alteration Permits
Metropolitan Council	<ul style="list-style-type: none">• Controlled Access Highway Approval
Cities of Golden Valley, Crystal, Robbinsdale, and Brooklyn Center; and Hennepin County	<ul style="list-style-type: none">• Layout Approvals and Continued Review of Construction Plans

JAMES M. STROMMEN
Attorney at Law

Direct Dial (612) 337-9233

HOLMES & GRAVEN
CHARTERED

470 Pillsbury Center, Minneapolis, Minnesota 55402

Telephone (612) 337-9300

Facsimile (612) 337-9310

November 9, 1990

Rolf E. Sonnesyn, Esq.
Gregory J. Van Heest, Esq.
Foster Waldeck & Lind, Ltd.
121 South 8th Street
Suite 1404
Minneapolis, MN 55402

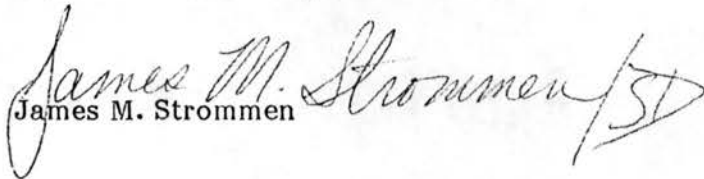
Re: Veit & Co. v. City of Crystal, Court File No. 89-20556
Our File No. CR205-36

Gentlemen:

By this letter, you are hereby served with the Notice of Filing of Order in the above matter on November 7, 1990. Please contact me when you are prepared to discuss possible final settlement of this matter.

Very truly yours,

HOLMES & GRAVEN, CHARTERED


James M. Strommen

JMS:sd
Enclosure

cc: Bill Monk

FILED

STATE OF MINNESOTA

1990 NOV -7 AM 10:40

DISTRICT COURT

COUNTY OF HENNEPIN

FOURTH JUDICIAL DISTRICT

Veit & Company, Inc.,

Plaintiff,

Court File: CT 89-20566

vs.

ORDER

City of Crystal,

Defendant.

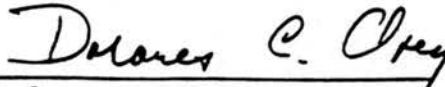
The above-captioned matter came on for hearing on August 14, 1990, before the Honorable Dolores C. Orey, Judge of District Court, on defendant's motion for summary judgment.

Rolf E. Sonnesyn, Esquire, and Gregory Van Heest, Esquire, appeared on behalf of the plaintiff; James A. Strommen, Esquire, appeared on behalf of the defendant.

Based on the files, submissions, and arguments of counsel,
IT IS ORDERED:

1. Defendant's motion for summary judgment is granted in part and denied in part.
2. The attached memorandum is made a part of this order.

BY THE COURT:


Dolores C. Orey
Judge of District Court

DATED: November 7, 1990

MEMORANDUM

Defendant, the City of Crystal ("City"), brings a motion for summary judgment. It claims as a matter of law that (1) the contract between it and plaintiff Veit & Company, Inc. ("Veit"), was not rescinded, (2) Veit is not entitled to damages for owner-caused delay, (3) Veit is not entitled to extra compensation under the contract, and (4) it is entitled under the contract to recover liquidated damages from Veit.

The court may render summary judgment "when the pleadings, depositions, answers to interrogatories and admissions on file, together with the affidavits, if any, show that there is no genuine issue as to any material fact and that either party is entitled to judgment as a matter of law." Minn. R. Civ. P. 56.03 (1989); see Grondahl v. Bulluck, 318 N.W.2d 240, 242 (Minn. 1982). In deciding the motion, the court must view the facts in the light most favorable to the nonmoving party. Id. A party opposing a motion for summary judgment may not simply rest on the averments of the complaint but must affirmatively demonstrate by affidavit or otherwise that material issues of fact remain to be decided. Eakman v. Brutger, 285 N.W.2d 95, 97 (Minn. 1985).

At oral argument, Veit informed the court it has dropped its rescission-quantum meruit claim. The court therefore deals only with issues two, three, and four.

The court determines the second issue, whether there is a material issue of fact concerning owner-delay, against the

following factual background, viewed in the light most favorable to Veit.

In June of 1988 the City solicited bids for the excavation of Memory Lane Pond.¹ Before making its bid, Veit's estimator and project manager, Don Rachel, inspected the site, digging a hole about four feet deep without encountering any water (Rachel Depo., p. 15, ll. 11-18²). Vaughn Veit, Veit's president, thought the job could be done in about two weeks (Veit Depo., p. 75, ll. 18-22³).

Veit's expectation was that it would be at the site within ten days of the bid date, June 28, 1988. This was based on Vaughn Veit's apparent misreading of General Condition No. 6 of the contract, which provides for execution of the contract within ten days of the bid award, and that Veit believes this to be customary in the business (Veit Depo., pp. 32-33; Rachel Depo., pp. 21, ll. 16-25).⁴

¹When citing to the contract the court is referring to the copy provided in Strommen Afft., Ex. 1. For convenience the court will also cite to the exhibit pages the defendant provided. The parties do not dispute what constitutes the actual contract or bid documents.

²A copy of this deposition is attached to Strommen's affidavit as exhibit 3, and a copy of portions of it is attached to Van Heest's affidavit as exhibit 1. The court will simply cite to the deposition.

³A copy of this deposition is attached to Strommen's affidavit as exhibit 2, and a copy of portions of it is attached to Van Heest's affidavit as exhibit 2. The court will simply cite to the deposition.

⁴Furthermore, the contract, in relevant part, provides only that the City "shall act upon these [bid] proposals within thirty (30) days from the date of opening bids" (Contract, p. 7, General

Veit had picked up the contract documents on or about June 14, 1988 (Veit Depo., p. 14, ll. 19-21). Veit had given the documents at least a cursory review before bidding (Veit Depo., p. 17, ll. 9-25, p. 18, ll. 1-11).⁵ The due date for proposals was June 28, 1988 (Contract, p. 5); Veit was awarded the bid; the contract was executed on July 6, 1988, with Veit ready to mobilize immediately (Veit Depo., p. 48, ll. 17-22).⁶

Despite being ready, Veit could not begin work until a DNR permit was obtained (Contract, p. 15, Special Provision No. 1,; Rachel Depo., p. 31, ll. 18-25, p. 32, ll. 1-7). The City had applied for the permit on June 15, 1988 (Van Heest Afft., Ex. 3, City Engineer, William Monk Depo. [hereafter "Monk Depo."], p. 25, ll. 9-10). Veit and the City expected that the permit would be obtained by the time of contract execution (Rachel Depo., p. 32, ll. 5-7; Monk Depo., p. 30, ll. 3-4). Special Provision No. 1 provides in pertinent part that

[p]ermits required by the D.N.R. and Water Management Organization have been applied for by the City and approvals are expected prior to the start of the

Condition No. 6). Site access is not guaranteed by a time certain.

⁵These documents were the Advertisement for Bids, the Instructions for Bidders and General Conditions, the Special Provisions, the Affidavit and Information Required by Bidders, the Proposal and certain maps and drawings. Plaintiff's Memo., citing Strommen Afft.

⁶Throughout its memorandum the City refers to the contract date as July 5, 1988, and Veit July 6, 1988. This is not a material difference. The contract itself at p. 3 recites July 5, 1988.

contractors operations on the project.

Contract, p. 15.

The permit was not received until August 5, 1988 (Veit Depo., p. 59, ll. 18-20). Although Veit wishes to hold the City liable for the DNR's delay, it does not contend that the City in any way contributed to the delay in the receipt of the permit.

A preconstruction meeting was held on August 9, 1988, before Veit's operations began (Veit Depo., p. 61, ll. 17-19). Between the time of contract execution and the beginning of operations, it had rained and there was standing water on the site (Van Heest Afft., Ex. 5, Local Climatological Data; Monk Depo., p. 35, ll. 6-17). Although the rain had been heavy, and had occurred in a time of drought, Veit does not dispute that the amount of rainfall in the City was not unusual for the months of July and August, as detailed by the City's affiant, meteorologist Paul Huttner (Huttner Afft., accompanying Defendant's Memo.). Nor does Veit dispute that rain was a foreseeable risk normally borne by the contractor (Plaintiff's Memo., p. 11).

The record leaves no doubt that the project caused Veit a large loss (see, e.g., Strommen Afft., Ex. 13, Veit's cost itemization). Veit asserts that but for the lack of access occasioned by the delay in issuance of the permit by DNR, it could have employed rain management techniques (Veit Depo., p. 52, ll. 1-9; p. 29, ll. 16 through p. 31, l. 1). For this motion, the court will assume Veit's contention is true.

The contract completion deadline was initially September 1, 1988 (Contract, p. 3, Article II; p. 16, Special Provision, No. 8). The contract is silent about when work was to begin. After Veit requested an extension by letter dated August 16, 1988 (Strommen Afft., Ex. 5), the City extended the deadline to October 1, 1988 (Strommen Afft., Ex. 6, letter dated August 25, 1988, from City Engineer). ~~The work was substantially completed~~ on November 11, 1988 (Veit Depo., p. 85, ll. 14-17).

As a general rule, "[w]here a general custom or usage prevails in the conduct of a trade or business it enters into and becomes a part of the contract made in that business, unless there is a repugnancy between the custom and the terms of the contract in which case the latter control." McDonald v. Union Hay Co., 143 Minn. 40, 42-43, 172 N.W. 891, ____ (Minn 1919) (citations omitted). Although the evidence Veit offers is slight that site access is customarily available within ten days of the bid award (supra, p. 3), the court assumes for purposes of deciding this motion that access is a custom in Veit's business. Nonetheless, this would be repugnant to the terms of the contract. The contract, in relevant part, states specifically:

Permits required by the D.N.R. and Water Management Organization have been applied for and are expected prior to the start of the contractors operations on the project.

Contract, p. 15, Special Provision No. 1. This provision, as a matter of law, sufficed to put Veit on notice that the contract

did not contemplate a guarantee of access within ten days; to the contrary, because the permits were required, it sufficed to alert Veit that access to the site was contingent on the approval of a third party, the DNR. Moreover, although it is not clear from the record whether it was before or after contract execution, Veit was apparently informed of the permit requirement on July 6, 1988, the date Veit says the contract was executed (Rachel Depo., p. 31, ll. 16-22).

Veit offers absolutely no evidence that the City guaranteed access to the site by a certain time, guaranteed the DNR's timeliness in approving the permits, or contributed to the DNR's delay.

Because of Special Provision No. 1, the cases Veit cites for support in it's memorandum at pp. 10-11 do not apply. Rather, Special Provision No. 1 puts this case under the rule recited in Buchman Plumbing Co., Inc. v. Regents of the Univ. of Minnesota, 298 Minn. 328, ___, 215 N.W.2d 479, 486-87 (owner was not held liable for the delay caused by another contractor in the absence of an express guarantee of that other contractor's performance). Veit's attempt to distinguish Buchman fails. That the Buchman Court held the plaintiff was not a third-party beneficiary to a contract between the owner and another contractor only reinforces this court's determination that the City did not have a contractual duty to ensure that the DNR performed in providing permits. The DNR was a third party over which the City had even less control than the University in Buchman had over the other

contractor, which was in privity with the University.

Likewise, the City did not guarantee that conditions at the site would not change. If anything, the contract puts the risks of general and local conditions on the contractor, places the risks of work under the contract on the contractor except where the City is at fault, and specifically places the risks of rain and flood on the contractor (see, Contract, p. 7, General Conditions Nos. 10 and 12; p. 8, General Condition No. 19). Moreover, as is undisputed, the amount of rain that occurred in July and August is a foreseeable risk in Minnesota.

Given the record detailed above, the court can only conclude, as a matter of law, the City did not breach the contract simply because the DNR did not grant permits sooner and the site conditions became more difficult as a result. As a matter of law, under the contract, Veit bore the risks of DNR delay and of rain. Veit's general, unsupported allegations that the City was responsible for the delay are insufficient to raise a material issue of fact. Therefore, concerning Veit's claim for damages flowing from owner delay, the court rules in the City's favor.

Turning to the third issue, whether there are material issues of fact for Veit's contract modification claim, the court applies the summary judgment standard to an alleged parol modification of a written contract. Although a written contract may be orally modified, and although in lieu of an express verbal agreement an implied modification may be established by

subsequent acts and conduct of the parties, such "[a] parol modification of a written contract must be shown by clear and convincing evidence." Reliable Metal, Inc. v Shakopee Valley Printing, Inc., 407 N.W.2d 684, 687 (Minn. Ct. App. 1987) (citations omitted).

There appear to be no material disputes regarding the evidentiary facts in the record; rather, the question is whether these facts, viewed in the light most favorable to Veit, could constitute clear and convincing evidence of a parol modification. The specific issue is whether there are sufficient facts raised that the parties modified the requirement for written authorization for extra work.

The court first turns to the written contract provisions regarding extra work. General Condition No. 24, in relevant part, is clear:

EXTRA WORK: No bill or claim for extra work or material shall be allowed or paid unless the doing of such extra work or furnishing of such extra material shall have been authorized in writing by the Engineer.

Contract, p. 9. Veit does not dispute that it did not comply with this provision in seeking additional compensation; rather, it contends that this aspect of the contract was waived or modified. Veit asserts that the City authorized major contract changes without a writing. The claimed changes it points to are the mining of sand and burying of topsoil, the construction of a berm, and the City's having assumed dewatering after Veit

informed the City at the August 9 preconstruction meeting that it could not perform the contract at the original contract price. The significance of these claims crumbles, however, when the relevant contract provisions and the record--in the light most favorable to Veit--are examined.

Construction of the berm, and the mining of sand and burying of topsoil were within the language of the contract. General Condition No. 31 sweepingly provides:

INTENT: All work that may be called for in the specifications and not shown on the plan, or shown on the plan and not called for in the specifications, shall be executed and furnished by the Contractor as if described in both of these ways; and should any work or materials be required which is not detailed in the specifications or plans, either directly or indirectly, but which is nevertheless necessary for the proper carrying out of the intent thereof, the Contractor is to understand the same to implied and required, and shall perform all such work and furnish all such material as fully as if they were particularly delineated or described herein. In case of contradiction between the plans and specifications, the Engineer shall determine which is to apply.

Contract, p. 11. Assuming the facts to be as Veit portrays, the City orally agreed to the mining of sand and the burying of mud (Veit Depo., p. 69 l. 22 through p. 70; Monk Depo., p. 59 l. 14 through p. 60, l. 7). Veit provides no specific facts, however, about how these two activities changed the nature of the project or were additional to it. It appears from the record that any changes that were made were for Veit's benefit, not the City's. Indeed, concerning construction of the berm, Vaughn Veit wrote

the City requesting to do this "[t]o keep the project costs within budget" (Strommen Afft., Ex. 7, Letter from Vaughn Veit to City dated September 29, 1988). The fact that the pond was not enlarged as much as the City originally planned (Monk Depo., p. 56, ll. 15-21) is not material to the written authorization requirement for extra work. Written authorizations were not required under the contract for the work Veit did, and would have been superfluous. Therefore, the City's oral approval of mining sand, burying topsoil, and constructing the berm is insufficient, as a matter of law, to raise a material issue of fact for modification or waiver of the requirement for written authorization to receive extra compensation.

The City's having assumed dewatering also fell within the express provisions of the contract, and likewise is insufficient as a matter of law to constitute a modification of the writing requirement for extra compensation. Although dewatering was Veit's responsibility (Contract, p. 15, Special Provision No. 5), the City "reserve[d] the right to perform any contract items with his [sic] own forces" (Contract, p. 10, Special Provision 26).

At various points, from the August 9 preconstruction meeting on, Veit informed the City that it believed it was entitled to extra compensation (Veit Depo., p. 62, ll. 1-19; p. 91, l. 14 through p. 92; Strommen Afft., Exs. 7, Veit's letter to City dated September 29, 1988, ll. 11, Veit's letter to City dated January 27, 1989, ll. 13, Veit's letter to City dated February 20, 1989). At most, however, the City agreed only to consider Veit's claim for

extra compensation (Veit Depo., p. 92, ll. 3-23; Strommen Afft., Ex. 12, Monk letter to Veit dated February 1, 1989). The record provides no facts from which an actual agreement about extra compensation could be inferred, let alone any waiver or modification of the written contract's requirement of written authorization for extra work pursuant to General Condition No. 24.

Veit also claims entitlement to force account payments, pursuant to the Minnesota Department of Transportation Standard Specifications (1983 ed.) ("MnDot Specifications"), which the contract incorporates "where applicable, except as modified herein" (Contract, p. 15, Special Provision No. 3). Veit claims entitlement to extra work compensation pursuant to MnDot Specifications sections 1904 and 2105.5 for muck excavation.⁷ Even if, as Veit contends, it performed muck excavation which then was subject to the extra work provisions, a supplemental agreement was necessary pursuant to MnDot Specifications sections 1904 and 1403. Veit offers no evidence of a supplemental agreement. This, as the City asserts, puts Veit in the pale of section 1512, which treats such work as "unauthorized" and accordingly allows the City to deny payment for it.

Considering the record in the light most favorable to Veit, the court finds insufficient evidence to raise a material issue of fact whether the City waived or modified the written

⁷The court notes that neither party has cogently argued about what constitutes "muck excavation" under the MnDot Specifications or otherwise, and the court will not speculate.

contract's requirement for written authorization in order to pay extra compensation, or waived or modified the MnDot Specifications' requirement for a supplemental agreement. The court must accordingly grant the City's summary judgment motion in those respects. Having decided the issue of extra compensation on this basis, the court does not take up the other arguments about when force account rates would apply under the contract.

Turning to the City's motion for summary judgment on its counterclaim for liquidated damages for the period from October 2, 1988, through November 11, 1988, the court must deny it. Although Veit does not contest the validity of the liquidated damages provision (Contract, p. 10, General Condition No. 29), it raises a material issue of fact whether the City granted it reasonable time. Although the City was not responsible for the DNR's delay, and even though the City granted Veit an extension, the reasonableness of the extension is in dispute. Veit contends that the City did not perform the dewatering by August 22, 1988, as it "guaranteed" (Rachel Depo., p. 41, l. 11 through p. 42, l. 8). This failure may have delayed Veit, as it claims, from meeting the revised deadline. The claimed failure to dewater apparently occurred after Veit requested an extension (Strommen Afft., Ex. 5, Veit Letter to City dated August 16, 1988). The City alleges that inefficiencies and delays were of Veit's own making. Thus there is a material issue of fact about the cause of delay for project completion. Therefore, the court must deny

summary judgment on this issue.

The court concludes as follows: summary judgment need not be granted or denied against Veit's rescission-quantum meruit claim, because Veit has dropped it. Under the contract, as a matter of law, Veit bore the risks of DNR delay and rain, and the court accordingly grants summary judgment in favor of the City against Veit's claim for damages flowing from alleged owner delay. The written contract required written authorizations for compensation for extra work or for force account rates. Veit does not produce sufficient evidence to raise a material issue of fact for a parol modification the written contract's requirements. The City is therefore entitled to summary judgment against Veit's claim for extra compensation or for force account rates. There is, however, a material issue of fact concerning the reasonableness of the project deadline, as extended. The City's motion for summary judgment on its counterclaim for liquidated damages is accordingly denied.

D.C.O.

**CITY OF CRYSTAL
POLICE DEPARTMENT
MEMORANDUM**

DATE: November 15, 1990

TO: Jerry Dulgar
City Manager

FROM: James F. Mossey
Chief of Police

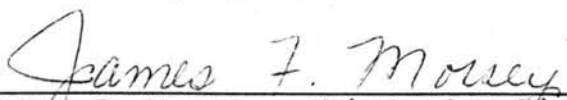
SUBJECT: Council Information

In response to the Council's inquiries at the meeting on the evening of November 14th, I have had a survey done of the surrounding communities who do prisoner bookings. In an attempt to do some comparisons on the fee structure, we discovered that we are one of the last communities to maintain a 24 hour jail facility. Most other communities merely book the prisoner and then transfer them to the County Jail. The one exception to this was the City of Brooklyn Park who charges \$15 per day to book and hold prisoners. As I stated at the meeting on the 14th, we charge \$50 a day to book and hold prisoners.

We checked with the County Jail and beginning in 1991, they will be charging \$85.08 as a booking fee and then \$15.57 per 1/4 day to hold the prisoners. There is a 12 hour grace period which means if the prisoner is booked and released within the first 12 hours, the only fee is the booking fee (\$85.08).

We reviewed our jail register and find that for a one year period commencing 11/1/89 - 11/1/90, we booked 852 prisoners and 188 of them were from outside police departments. I hope this information is of value to the Council in their consideration of adjustment in our booking fees.


Secondly, as I mentioned to you earlier, I have been in contact with the Police Chiefs of Brooklyn Center and Robbinsdale who have indicated an interest in forming some sort of joint venture for enforcement of noise ordinance and Department of Natural Resource Restrictions as affecting snowmobile use on upper, middle and lower Twin Lake. This is just in the discussion stage. We will be continuing our meetings in order to determine whether we will be able to do joint enforcement on these lakes. I will keep you apprised of our final proposal.


James F. Mossey, Chief of Police

JFM:ds1

City of Crystal

Memorandum

DATE: November 15, 1990
TO: Jerry Dulgar, City Manager
FROM: Miles Johnson, Finance Director 
SUBJECT: Prisoner Lock-up for other Communities

We have reviewed the billing on lock-ups for other communities. We annually bill out the Cities for their lock-ups. For 1989, we billed out the following communities at \$50.00/day:

Maple Grove	-	84 days
Plymouth	-	38 days
Golden Valley	-	15 days
Osseo	-	3 days
Champlin	-	1 day

We raised our rate from \$20.00/day to \$50.00/day as of January 1, 1989.

MJ:jls

Memorandum

DATE: November 16, 1990
TO: Jerry Dulgar, City Manager
FROM: Nancy Gohman, Assistant Manager
SUBJECT: 1991 Budget Information Adventure Club

As you know, the Council requested additional information regarding Adventure Club run through District 281. Attached is such information.

The \$4,000 for funding of Adventure Club has been included in the 1991 proposed budget.

Adventure Club

OLSON EARLY CHILDHOOD CENTER
1751 Kelly Drive
Golden Valley, Minnesota 55427
(612) 546-7126

November 13, 1990

Dear Mayor Herbes and Crystal City Council Members;

Thank you for this opportunity to provide additional information about Adventure Club's sliding fee program. The sliding fee program is designed to serve low income families who are not receiving child care subsidies from other sources. Families who benefit from Adventure Club's sliding fee program are eligible for funding through county and state programs, but are unable to use those resources due to long waiting lists. Parents applying for Adventure Club sliding fee must contact the appropriate funding source to have their name added to the list to assure their participation when funding becomes available. Current waiting lists are estimated to be two years long.

Sliding fee is essential to low income families in order for parents to maintain employment and to have their children in safe, reliable child care programs. Research is beginning to support our belief that school age children spending extended periods of time at home alone are more likely to be involved in inappropriate behaviors. Adventure Club offers children the opportunity to be with caring adults and participate in a wide variety of enriching activities.

This school year Adventure Club has 165 children enrolled who live in Crystal. Nine children receive funding from county or state programs. An additional ten Crystal families have submitted Adventure Club sliding fee applications. Eight of the ten have incomes below 60% of the state median income. The increase in funding to \$4,000 was requested due to the extensive waiting lists and in order to begin to assist low income families who wish to use the Adventure Club summer program. For families who struggle to pay before and after school care, the full day child care needs for summer are overwhelming.

Enclosed is:

- general Adventure Club information
- sample enrichment activity offerings
- School Age Child Care Alliance "Speak Out for Kids Sake"

I would be happy to answer any additional questions or attend a city council meeting to provide additional information.

Thank you.

Sincerely,
ADVENTURE CLUB

Sue Gabrielson

Sue Gabrielson
Financial Director

SG:ml



INDEPENDENT SCHOOL DISTRICT 281
Robbinsdale Area Schools
Learning for a lifetime of growing

Adventure Club

Before- and After-school Program

Adventure Club is a high-quality school-age child-care program for District 281 students in grades K-five. The program is designed to provide a relaxed, trusting and fun recreational environment for children before and after school while their parents are at work. Children in the program are encouraged to pursue their own interests, develop friendships, and grow in confidence, independence and respect for themselves and others. The program is headed by licensed teachers who are trained to develop programming that is developmentally appropriate for a variety of children's needs.

Adventure Club operates throughout the year, including winter, spring and summer vacations, from 6:30 a.m.-6 p.m. During the school year, special full-day programming and field trips are planned for school conference and in-service days. Children are enrolled in the program on a first-come, first-served basis and fees are based on the child's enrollment in the program. Parent fees support the operation of the program. Parents using the program are given first opportunity to register for the next session, either school year or summer.



For the Kindergarten Child

Adventure Club provides kindergarten children with the opportunity for a full day of activities which both enrich and complement their school day. Children have a chance to participate in a variety of activities which include active play, arts and crafts, computers and field trips.

School Vacations

Adventure Club provides a wide range of full-day activities during winter, spring and summer vacations. Swimming, sports, cooking and field trips are just some of the weekly summer events. Summer day-camp opportunities are coordinated with the YMCA and Camp Fire program. An energetic staff help to see that each child has a memorable vacation experience.

Registration

The annual registration fee is \$25. Weekly fees are based upon the child's enrollment in the program. Information about fee assistance is available. Adventure Club operates at both Cavanagh Early Childhood Center, 5400 Corvallis Avenue North, Crystal, and Olson Early Childhood Center, 1751 Kelly Drive, Golden Valley. Both sites are accredited by the National Academy of Early Childhood Programs.

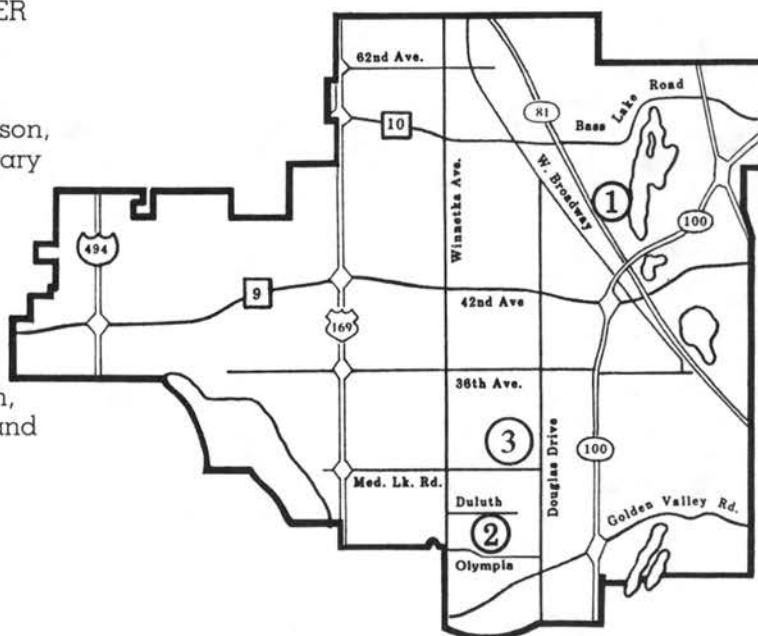
Join Adventure Club Today!

An enriching place for children to be before and after school while their parents are at work. A fun place for children who like to explore, create, discover, make friends and be with caring adults.

Watch for additional information about an exciting new program at Sandburg Middle School for children in grades three-six. Youth will be involved in many new opportunities including a variety of community resources such as park and recreation, Camp Fire and YMCA programs.

LOCATIONS

1. CAVANAGH EARLY CHILDHOOD CENTER
5400 Corvallis Avenue North
Crystal, MN 55429
Serving: Forest, Lakeview, Lincoln, Meadow Lake, New Hope, Northport, Olson, St. Raphael's and Sacred Heart Elementary Schools.
2. OLSON EARLY CHILDHOOD CENTER
1751 Kelly Drive
Golden Valley, MN 55427
Serving: Neill, New Hope, Noble, Olson, Pilgrim Lane, Sonnesyn, Zachary Lane and St. Margaret Mary Elementary Schools
3. SANDBURG MIDDLE SCHOOL
2400 Sandburg Lane
Golden Valley, MN 55427



ANNUAL REGISTRATION FEE - \$25

REGISTRATION OPENS APRIL 2 FOR SUMMER 1990

REGISTRATION OPENS MAY 1 FOR FALL 1990-91

Adventure Club is accredited by the National Academy of Early Childhood Programs. Early childhood programs accredited by the academy have voluntarily undergone a comprehensive process of internal self-study, invited external professional review to verify compliance with the academy's criteria for high quality early childhood programs, and been found to be in substantial compliance with the criteria. A copy of the criteria can be obtained from the academy.



INDEPENDENT SCHOOL DISTRICT 281
Robbinsdale Area Schools
Learning for a lifetime of growing

Adventure Club

OLSON EARLY CHILDHOOD CENTER

1751 Kelly Drive
Golden Valley, Minnesota 55427
(612) 546-7126

ENRICHMENT ACTIVITY INFORMATION FALL 1990-SESSION 2 OCTOBER 29-DECEMBER 21

Adventure Club is offering an exciting enrichment activity program for all children enrolled in Adventure Club. Children are encouraged to participate in these activities, and many of the activities are new offerings. Trained leaders will share their enthusiasm and "know how" to help kids develop new skills and interests.

Registration for this session will be held Monday October 22-Friday October 26 on a first come, first serve basis. Children will have a chance to sample different activities. Enrollment may be limited so sign up early. Please note that a few activities have a participation fee. These fees are due at the time of registration. Registration cards are available in home bases.

Following is a description and schedule of the enrichment activities offered this session.

Cooking Creations

Head through the kitchen into a tasty, healthy world of culinary delights. All cooks sample their tasty creations, which adds to this delightfully savory experience.

Mondays, 4:15-5:00 p.m. Grades 1-5
Tuesdays, 4:15-5:00 p.m. Grades 1-5
Thursdays, 4:15-5:00 p.m. Kindergarten-
gardeners only
Fridays, 4:15-5:00 p.m. Grades 1-5

Mystery Games

Join this group for fun and mystery! Each week a new active game will be introduced and enjoyed! For kids who love surprises!

Mondays, 4:15-5:00 p.m. Grades 1-5

Chess

Join Chess Club to learn basics of chess and have fun competing with other children.

Mondays, 4:15-5:00 Grades 1-5

Fall Sports for Girls

Learn skills and enjoy fall sports together! Here's a chance for girls to have fun with these active games.

Mondays, 3:40-4:10 p.m.

Kindergarten

Tuesdays, 4:15-5:00 p.m.

Grades 1-5

Jewelry Making

Be Creative! Imagine designing and making the latest in "designer" jewelry.

Mondays, 4:15-5:00 p.m. Grades 1-5

The Draw Squad

Launch into the world of 3-dimensional drawing with Captain Barb Kobe. Blast off with the Draw Squad! Travel to the Secret City to obtain pencil power! Return registration card with a drawing of a house and an airplane.

Tuesdays, 4:15-5:00 p.m. Grades 2-5

Safe 'n' Sound

How can kids be safe when they aren't sure who is unsafe? How can kids assertively protect themselves when too often they have been taught to be nice? This class is an opportunity for kids to learn when to be strong, how to be strong, and what to be strong against. These verbal and physical skills will make a difference.

Tuesdays, 4:15-5:00 p.m. Grades 1-5



INDEPENDENT SCHOOL DISTRICT 281

Robbinsdale Area Schools
Learning for a lifetime of growing

Nerf Out!

A new activity for Nerf fans! Join this group to explore the many ways to use all of Adventure Club's Nerf equipment.

Wednesdays, 3:40-4:10 p.m.

Kindergarten only

Wednesdays, 4:15-5:00 p.m. Grades 1-5

Computer Club

Here's a chance for new computer students to join the Computer Club! Experience fun computer software while learning important skills for the future. Explore word processing, problem solving and creative arts programs. This session is for new computer students.

Wednesdays 4:15-5:00 p.m. Grades 1-5

Kids for Saving Earth

Be a part of activities such as recycling, creating posters and games, endangered animals and much more. A chance for kids to help save the earth!

Thursdays, 4:15-5:00 p.m. Grades 1-5

Clay Creations

Explore many elementary clay working techniques including: making impressions with natural objects and rubber stamps, and slab building techniques.

Fridays, 4:15-5:00 p.m. Grades 1-5

Brownie/Girl Scouts

Troop meetings continue as scheduled. All sessions are full.

Camp Fire

Take a journey in the five trails of Camp Fire fun! Learn about nature, you and your community and creative arts. Earn emblems and make new friends. Open to boys and girls.

Tuesdays, 3:30-4:15 p.m.

Kindergarten

Other sessions continue as scheduled.

FEE: \$14 yr. for previous member

\$24 yr. for new members (includes vest)

Sing It!

Move it on over to the Magic Carpet and imagine the adventures. Let's sing and shout and dance about with Jane and Lily!

Wednesdays, 4:15-5:00 p.m. Grades 1-5

Science Experiments

Bubble, Bubble, Toil and Trouble! Explore the world of science with hands-on experiments.

Thursdays, 4:15-5:00 p.m. Grades 1-5

Jazz Dance

Move over Paula Abdul and New Kids on the Block! This new class will teach you all the right moves!

Learn rhythm and Jazz movements!

Thursdays, 4:15-5:00 p.m. Grades 2-5

Baton Twirling and Rhythmic Gymnastics

Have fun and get some exercise while learning the basic moves of baton twirling and other rhythmic gymnastics. For beginning and experienced Baton twirlers!

Fridays, 4:15-5:00 p.m. Grades 1-5

FEE: \$17.50 payable to Sue Gustafson

(\$7 additional fee if you need to purchase a baton)

Swimming

Swimming lessons are available in cooperation with the Northwest YMCA. Transportation is provided to the YMCA by a district 281 bus. Parents must pick up their children at the YMCA. To register for swimming lessons, please complete the YMCA form in your child's homebase. There is no need to complete the Adventure Club activity registration card for this activity.

This is a six week session.

November 2-December 14

(No lessons Thanksgiving week)

FEE: \$16.50 Member

\$33.00 Non-member

Checks payable to Northwest YMCA

Speak Out, For Kids' Sake

SACCA

School-Age Child Care Alliance
Legislative Committee

Advocating for Quality Programs
for Kids Throughout Minnesota

Michelle Bisbee
Kids Corner, Fairmont

Judee Brone
Key Kids, Winona

Anita Clafin
Kid Connection, Duluth

Ardis Kyser
Discovery Club, St. Paul

Diane Landaas
Community Child Care,
Albert Lee

Linda Sisson
Kids Club, Edina

Pat Riebau
Extended Day, White Bear

Joanne Foley
Kids Club, Spring Lake Park

Roz Anderson
Adventure Club,
Robbinsdale Area Schools

Pat Linden
Discovery Club, St. Paul

Laura Gilkey
Kids Company, Chaska

Deb McKenzie
Project Kids, Burnsville

Rita Sand
Kids Corner, Austin

Kristi Tschida
Discovery Club, St. Paul

Diane Mozol
Kids Connection,
Two Harbors

Sharon Adochio
Latchkey, Lakeville

Mallory Jacobson
Kids' Quest, Bloomington

Geruth Buetow
Recreation Plus+
Minneapolis Park and Recreation Board

Paula McClung
Extended Day, West St. Paul

Dave Borgert
Boys & Girls Club, St. Cloud

Diane Friebe
Minneapolis

Rhoda Jaffe
Golden Valley

Grace Norris
GMDCA, Minneapolis

Judee Brone and
Roz Anderson, Co-Chairs
Olson Early Childhood Center
1751 Kelly Drive
Golden Valley, MN 55427
612/546-7126

SO WHAT DO KIDS AGES 5 TO 12 DO WHILE THEIR PARENTS WORK?

Emphasis on the need for quality child care has focused primarily on the preschool child. Yet, there is an equally significant crisis in the availability of quality programs for the school-age child, 5-12 years of age. Over 75% of school-age children's parents are in the labor force. It is projected 80% of parents will be working by 1995.

Many school-age children spend long hours after school and during school vacations without appropriate leisure-time activities or adult supervision. The risk to children, families and communities, in a state that has one of the highest working-parent populations, is alarming. Risks of substance abuse, vandalism, poor school performance and low self-esteem have all been linked to the failure of providing adequate adult supervision to this population. Fragmented schedules of school-age children demand that community programs collaborate to develop affordable, quality resources children will enjoy and be challenged by.

Programs need to be designed with and for children offering positive development through experiential learning opportunities. Children need to be introduced to a balance of leisure-time options which they can continue to build. Quality interaction with caring adults who give appropriate feedback and continued encouragement to expand their skills is important to children. In other words, we cannot just tell kids to say "no" to drugs. We must teach healthy leisure-time choices and give opportunities to participate.

Some areas that kids seem to have very limited access for developing and practicing skills are:

- physical fitness and healthy lifestyles
- community service and leadership
- exploring the arts and leisure
- career exploration
- developing friendships

SPEAK OUT, FOR KID'S SAKE

Page 2

Between the ages of 5 and 12 years, opportunities to develop skills in these areas must be intentional and available to all youth if we are going to expect healthy, responsible citizens in the future.

Kids starting first grade this fall already have too many challenges ahead of them. Spending half of their childhood alone while their parents work should not be added. Some of the grim realities for the kids who started first grade in the fall of 1990 are:

- 1 in 4 will be poor
- 1 in 5 will be a teen parent
- 1 in 6 will have no health insurance
- 1 in 7 will drop out of high school
- 1 in 2 will live with a single parent

Ensuring that all Minnesota kids have quality before- and after-school programs, as well as school vacation programs, could make a difference how this first grade class turns out.

YOU CAN MAKE A DIFFERENCE!



League of Minnesota Cities

183 University Ave. East
St. Paul, MN 55101-2526
(612) 227-5600 (FAX: 221-0986)

November 15, 1990

TO: LMC Member Cities
FROM: Robert Benke, LMC President (Mayor, City of New Brighton)
SUBJECT: League of Minnesota Cities Board of Directors

Vacancy -- Office of Vice President

The League's vice president, Mayor Joanell Dyrstad of Red Wing, is now Minnesota's Lt. Governor Elect. She will be leaving municipal office and, therefore, has tendered her resignation as LMC vice president effective December 15, 1990.

The LMC Constitution provides the board of directors may fill vacant board seats subject to the confirmation of the members at the next annual meeting. At its November 14, 1990, meeting the board considered this matter and decided it would attempt to fill the office of LMC vice president at its December 19 meeting. The board also designated a screening committee to review candidates willing to serve the remaining six months of the vice presidential term.

Any LMC member city official, having an interest in serving as vice president of the League of Minnesota Cities should express that interest in writing by December 12 to:

Millie MacLeod
League of Minnesota Cities
183 University Avenue E.
St. Paul, MN 55101

Past President MacLeod has agreed to chair the screening committee. The committee expects to recommend a candidate to the board for consideration at its December 19 meeting. It should be noted that Mayor Dyrstad is a greater Minnesota city official. I particularly encourage greater Minnesota city officials to consider applying for this office.

Board of Directors Seat Vacancy

Boardmember Lorraine Hostetler, who serves as a councilmember in the City of Anoka, did not run for reelection in November and will

LMC Member Cities

Page 2

November 15, 1990

resign her board seat in December. The screening committee will also recommend a candidate to serve the balance of her board term, which expires in June, 1991.

Ms. Hostetler will be vacating a metropolitan area seat on the board. Therefore, the screening committee will give primary consideration to metro area candidates for this position. The person selected to fill the remaining months of Ms. Hostetler's term would be eligible for nomination and election to the board in June at the annual meeting to fill one of the board seats which would be vacant at that time. The screening committee expects to recommend a candidate to the board at its December 19 meeting. The board plans to make a decision to fill the vacancy at that time.

Any member city official interested in serving in this capacity should send a letter indicating their interest to the address listed above by December 12.

CRYSTAL PARK AND RECREATION DEPARTMENT
MONTHLY REPORT
OCTOBER 1990

PROGRAM ACTIVITIES: OCTOBER START

ACTIVITY NAME	REGISTRATION 1990 1989		LOCATION	AGE GROUP	DAY/TIME
MEN VOLLEYBALL LGE	47T	43T	Area Schools and Community Center	Adults	Evenings
Monday Night	24T	22T			
Thursday Night	23T	21T			
WOMEN VOLLEYBALL LGE	30T	27T	Area Schools/CCC	Adults	Tuesday evenings
CO-REC VOLLEYBALL LGE	52T	43T	Area Schools and Community Center	Adults	Evenings
Wednesday Night	39T	37T			
Sunday Night	13T	6T			
OPEN GYM - VOLLEYBALL	25	27	Forest School	Adults	Weekday evening
OPEN GYM - BASKETBALL	25	25	Neill School	Adults	Weekday evening
ARTS SCHOOL-OCTOBER Theatre Class	14	12	Becker Park	Grades 1 - 8	Weekend-morn/aft
HALLOWEEN PARTY	54	40	Community Center	Age 4 - Grade 6	Weekend afternoon
GYMNASTICS	71	73	Sandburg	Age 4 - Grade 6	Weekday evening
DANCE	47	39	Community Center	Age 4 - Grade 6	Weekday evening
KIDS KAPERS	10	7	Community Center	Age 4 - 6	Saturday morning
KIDS COOKING	10	7	Community Center	Age 6 - 9	Saturday afternoon
WALK	47	45	Sandburg	Adults	Weekday evening
TEEN DANCE	300	225	Hosterman	Grade 6 - 8	Friday evening
BOWLING	48	68	Doyle's	Grade 1 - 8	Weekday evening
DRAWING W/MIRIAM	15	8	Community Center	Adults	Weekday morning
MESSY MASTERPIECES	10	N/A	Community Center	Age 4 - 6	Weekday evening
NERF SOCCER	29	N/A	Forest/Lincoln	Grades K - 1	Weekday evenings
MOVIN' ON	10	N/A	Community Center	Preschool	Weekday morning
ART X-PERIENCE	7	N/A	Community Center	Preschool	Weekday morning

ONGOING PROGRAMS - OCTOBER 1990

SENIORS

CENTER MEMBERSHIP: 1030

(September 1990 - 990/October 1989 - 650)

CRIBBAGE: 44 (44)

WELCOME: 2 (4)

500 DAY: 92 (72)

500 NITE: 60 (40)

SCRAPBOOK: 2 (2)

POKER FOR FUN: 24 (21)

BRIDGE DAY: 80 (56)

BRIDGE NITE: 48 (40)

DUPLICATE BRIDGE: 72 (48)

POOL: 20 (16)

EXECUTIVE COMMITTEE: 11 (12)

Last quarter in ()

SPECIAL EVENTS:

OTLB: 48 to Two Guys from Italy

BRUNCH BUNCH: 72

NCO CLUB: 34

HALLOWEEN PARTY AT GV: 200

MOSCOW CIRCUS: 48

SPELLING BEE: 6 (36 total registered/co-sponsored with Robbinsdale)

SENIOR FORUM: 78 (co-sponsored with NW Hennepin Human Services)

YOUTH

COMMUNITY CENTER OPEN GYM

FLAG FOOTBALL

ADULTS

COMMUNITY CENTER OPEN GYM

OTHER ACTIVITIES

TMH-EMH/ADAPTED** (Fall 1990 Enrollment)

Friday Night Fever: 42 Total/ 2 Crystal

Sports Skills: 10 Total/1 Crystal

Bowling: 108 Total/5 Crystal

Teen Bowling: 10 Total/1 Crystal

Saturday Sunshine Kids: 7 Total/0 Crystal

TOTAL CLASS ENROLLMENT: 177/TOTAL CRYSTAL: 9

GETAWAY**

ROCHESTER

42 Total/8 Crystal

COMMUNITY CENTER RENTALS

42 October rentals representing 32 groups

**CO-SPONSORED WITH OTHER AGENCIES

4 MAN FOOTBALL

1990: 6 Teams 1989: 6 Teams

OBJECTIVES: To provide adults with a low structured unofficiated weekly play opportunity.

SUCCESSSES: Popular activity. Activity ran well with no problems. Participants enjoyed the activity.

PROBLEMS: None

RECOMMENDATIONS: Continue present format. Teams have requested using one ref.

YOUTH SOCCER

1990: 91 (5 Teams) 1989: 105 (7 Teams)

OBJECTIVES: To teach the fundamentals of soccer.

SUCCESSSES: Activity ran well. Good cooperation with Robbinsdale.

PROBLEMS: None

RECOMMENDATIONS: Try same divisions next year.

ADULT SOFTBALL LEAGUES:

MENS: 1990 - 52 Teams 1989 - 47 Teams

WOMENS: 1990 - 16 Teams 1989 - 16 Teams

CO-REC: 1990 - 16 Teams 1989 - 16 Teams

MEN FALL LEAGUES: 1990 - 22 Teams 1989 - 23 Teams

WOMENS FALL LEAGUE: 1990 - 4 Teams 1989 - 5 Teams

CO-REC FALL LEAGUES: 1990 - 15 Teams 1989 - 13 Teams

OBJECTIVES: To provide organized league play for adults in a variety of skills.

SUCCESSSES: All leagues ran well. Platinum division was added and was well received.

PROBLEMS: Some player suspensions for behavior.
Hard time recruiting field attendants.

RECOMMENDATIONS: Keep present formats for all divisions.
Develop an umpire training program.

SUBURBAN RATE AUTHORITY

MEMBERS

BLOOMINGTON
BROOKLYN PARK
BURNSVILLE
CHAMPLIN
CIRCLE PINES
COLUMBIA HEIGHTS
DEEPHAVEN
EDEN PRAIRIE
EDINA
FRIDLEY
GREENWOOD
HASTINGS
HOPKINS
LAUDERDALE
MAPLE PLAIN
MAPLEWOOD
MINNETONKA
MINNETRISTA
NEW BRIGHTON
NORTH ST. PAUL
ORONO
OSSEO
PLYMOUTH
RICHFIELD
ROBBINSDALE
ROSEVILLE
SAVAGE
ST. LOUIS PARK
SHAKOPEE
SHOREVIEW
SPRING PARK
WAYZATA
WEST ST. PAUL
WOODLAND

November 8, 1990

Jerry Dulgar, Administrator
City of Crystal
Crystal City Hall
4141 Douglas Drive North
Crystal, MN 55422

Re: Suburban Rate Authority-MWCC

Dear Mr. Dulgar:

You probably have by now received a proposal from Metro Relations, Inc. (MRI) to monitor activities of the Metropolitan Waste Control Commission on behalf of cities. MRI's proposal makes no reference to the Suburban Rate Authority's (SRA) activities in this area, and the SRA was not contacted by MRI about it.

As you may recall from our previous mailing to your city, the SRA is a joint powers organization of cities formed in 1963 to regulate and participate in rate regulation of public utilities on behalf of its municipal members. Several years ago, SRA's joint powers agreement was amended to permit it to participate in matters growing out of relations between the MWCC and SRA members. Since that time the SRA has been quite active in the area, dealing directly with the MWCC on a host of issues, keeping its members informed of Commission activities, and establishing a good working relationship with the Commission.

If your City sees merit in a cooperative venture with other cities in monitoring the MWCC - and we think you will - we urge you to consider SRA membership. The cost is low, the effect on the Commission is persuasive, and SRA membership provides an array of other benefits to the City and its public utility customers. We think the MRI proposal lays out some strong reasons for your City joining the SRA.

We'd appreciate your sharing this letter with your City Council.

Sincerely,



Robert DeGhetto
Chairman, SRA Executive Committee

cc: Jim Strommen
Dave Kennedy
Glenn Purdue
Executive Committee

Memorandum

DATE: November 15, 1990

TO: Jerry Dulgar, City Manager
Ed Brandeen, Park & Recreation Director
Bill Monk, City Engineer
Charlie Tostenson, Park Foreman
John Hill, Sewer & Water Superintendent
Sante Davidson, Street Superintendent

FROM: Nancy Gohman, Assistant Manager

SUBJECT: Safety Inspection - November 9, 1990

Attached is a report from Mark Casey, Loss Control Representative for EBA, our insurance company. Along with this are two recommendations specifically for improving safety of work in our Parks Department.

I recommend that you review this and implement these recommendations as soon as possible. This means that specifically the wood chipper must be checked out or either removed from service due to its possible safety hazard.

Secondly, there is a discussion on hockey rinks and boards and I recommend that we follow Mark's recommendation. If you have any questions, please ask.

NG/js



EMPLOYEE BENEFIT ADMINISTRATION CO.

8441 Wayzata Blvd. Suite 200
P.O. Box 59143
Minneapolis, Minnesota 55459-0143
Phone (612) 544-0311

November 9, 1990

City of Crystal
ATTN: Nancy Gohman, Safety Director
4141 Douglas Drive North
Crystal, MN 55422

Dear Ms. Gohman:

This letter will confirm my visit and discussion with several of your Parks Department employees on October 24, 1990. I discussed several procedures conducted by the Parks Department and looked at a wood chipper machine.

As pointed out by the Parks Department, there is considerable moving and lifting of boards used for both the hockey rink and baseball field. Apparently, these boards are transferred from the baseball field back to the maintenance shop and then out to the hockey arena during the hockey season. These boards apparently weight from 80 to 100 pounds. There are approximately 540 boards that are involved in this process. These boards must be painted and positioned for either the hockey rink or baseball field. It is my recommendation that the amount of handling be reduced due to the weight of the boards and the awkward positions employees must assume while lifting and turning the boards. Many back injuries have occurred from moving this type of equipment manually. An alternative would be to purchase a lifting device such as a crane with a fixture mounted on the crane designed for lifting these boards.

The Parks Department employees also discussed the operation of a Wayne 351 wood chipper. This wood chipper is of the older design with no safety device for automatically shutting off the chipper at the operating end. In addition, the log material is fit directly into the cutter rather than into a feed roller. Consequently, an employee who was caught on a branch or limb may be pulled directly into the machine with no chance to deactivate the chipper. Therefore, I would strongly recommend that the manufacturer be contacted to determine whether a retrofit safety device is available. Another option would be to remove the chipper from service and discontinue use.

I have included a municipal safety program guideline for your use in evaluating the city of Crystal safety program.

Attention to recommendations is important and we urge your prompt action. It must not be assumed that every unsafe condition or procedure has been covered in our survey.

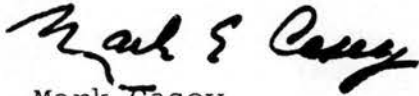
Further, we make no representation nor assume any responsibility that locations, products, work places, operations, machinery and equipment are safe, or healthful, or in compliance with any law, rule or regulation.

Self-Funded Insurance Specialists

I would like to thank you for your assistance and will be looking forward to working with you on the safety program at the city of Crystal.

Sincerely,

E.B.A. Company

A handwritten signature in dark ink, appearing to read "Mark Casey". The signature is written in a cursive, flowing style.

Mark Casey
Loss Control Representative

MC/bd

cc: Mr. Peter Tritz, LMC
cc: File



**DEPARTMENT OF GAMING
OFFICE OF THE COMMISSIONER**

1711 West County Road B
Suite 300 South
Roseville, MN 55113
(612) 639-4091

October 29, 1990

The Humphrey Institute of Public Affairs and the Minnesota Gaming Department are sponsoring a one-day symposium on gambling on Friday, December 14. The theme will be "Gambling in Minnesota: An Issue for Policy Makers." The agenda will include presentations, discussion and analyses of the many questions surrounding the development and future of betting on horse races, the lottery, lawful gambling and Indian gaming, plus such future possibilities as off-track betting, casino gambling and slot machines. In addition, a comprehensive report on gambling in Minnesota, prepared by the Gaming Department, will be released.

The objectives of the symposium are to generate conversation that sheds light on the pluses and minuses of rapidly expanding gambling operations in the state and to develop a broad context against which individual new gambling initiatives can be assessed.

Minnesota has adopted an ad hoc approach to gambling in contrast to having a broad, conceptual vision and plan as the basis for decision and action. As a result, individual programs have been allowed to start up without regard to a broader strategy for the development of these important economic activities. This conference will attempt to bridge the chasm between plan and action through broad ranging discussions and presentations aimed at developing a deeper understanding of the complex issues surrounding gambling operations.

Due to space limitation the symposium will be limited to 250 participants. Continental breakfast, lunch and a reception are included in the day's activities. The advance registration fee is \$40. Provided that space is available, the fee will be \$50 at the door.

Gambling is an issue that cries out for a full, frank discussion of its complex ramifications. This symposium is an attempt to stimulate such a dialogue and to produce the sort of understanding that will invest future actions with knowledge and wisdom.

We sincerely hope you will be able to attend what we hope and expect will be a stimulating conversation.

Sincerely,

G. Edward Schuh

G. Edward Schuh, Dean
Humphrey Institute of Public Affairs

Anthony V. Bouza
Anthony V. Bouza, Commissioner
Department of Gaming

Enclosure



AN EQUAL OPPORTUNITY EMPLOYER

GAMBLING IN MINNESOTA

An Issue For Policy Makers

FRIDAY, DECEMBER 14, 1990

HUMPHREY INSTITUTE OF PUBLIC AFFAIRS,
UNIVERSITY OF MINNESOTA

4135/10.8.90

CONFERENCE GOALS

TO PROVIDE perspectives and information on current operations and trends for gambling in Minnesota.

TO ESTABLISH a context for discussion about future possibilities, costs and benefits, and public policy implications of gambling in Minnesota.

CONFERENCE SCHEDULE

7:30 a.m.	FINAL REGISTRATION Moderator: <i>Virginia Greenman</i> , Consultant, Health and Human Services	11:45	• FUTURE TRENDS AND ISSUES • OFF-TRACK WAGERING, CASINOS, RIVERBOAT GAMBLING, VIDEO GAMING, SPORTS BETTING <i>Eugene Christiansen</i> , Christiansen/Cummings Associates, Inc., New York • QUESTION AND ANSWER
8:00	• WELCOME <i>Paul Light</i> , Associate Dean Humphrey Institute of Public Affairs <i>Rudy Perpich</i> , Governor, State of Minnesota (Invited) • INTRODUCTION TO THE CONFERENCE <i>Tony Bouza</i> , Commissioner, Department of Gaming, State of Minnesota	12:15	LUNCHEON
8:45	• KEYNOTE PRESENTATION <i>William Eadington</i> , Director, Institute for the Study of Gambling and Commercial Gaming, University of Nevada • QUESTION AND ANSWER PERSPECTIVES ON GAMING IN MINNESOTA—TRENDS AND ISSUES	1:15 p.m.	• SOCIAL AND ECONOMIC BENEFITS Moderator: <i>H. Yvonne Cheek</i> , Director, Citizen Education Program, Humphrey Institute of Public Affairs Panelists: <i>Carolyn Allmon</i> , Minnesota Racing Commission; <i>Richard Kostohryz</i> , Minnesota House of Representatives; <i>Will Munger</i> , Minnesota Multiple Sclerosis Society; <i>Kenneth Webster</i> , Executive Director, Minnesota Financial Counsel- ing Services; <i>Charles LeDoux</i> , Automated Wagering Program, Control Data Corporation • QUESTION AND ANSWER
9:30	• HORSE RACING AND PARIMUTUEL WAGERING <i>Michael Shagan</i> , Vice President of Development, Ladbroke Racing Corporation <i>Ralph Strangis</i> , Chair, Minnesota Racing Commission and Chair, Sports Betting Committee, Association of Racing Commissions International • Question and Answer • Lawful (Charitable) Gambling <i>Robert Franklin</i> , Minneapolis Star and Tribune • Question and Answer	2:15	REFRESHMENT BREAK
10:30	COFFEE BREAK	2:30	• SOCIAL AND ECONOMIC COSTS Moderator: <i>Ron McKinley</i> , Executive Director, Minority Education Partnership, Augsburg College, St. Paul Panelists: <i>Betty George</i> , Executive Director, Minnesota Council on Compulsive Gambling; <i>Henry LeSieur</i> , St. John's University, New York; <i>Rod Radich</i> , Gambling Intervention Service; <i>Lynn Rambeck</i> , Psychologist; <i>James Schaefer</i> , Center for Addiction Studies, University of Minnesota, Duluth
10:45	• GAMBLING ON AMERICAN INDIAN RESERVATIONS <i>Leonard Prescott</i> , Chair, Shakopee-Mdewankanton Sioux Community • QUESTION AND ANSWER • LOTTERY <i>George Andersen</i> , Director, Minnesota State Lottery • QUESTION AND ANSWER	3:30	• QUESTION AND ANSWERS
		4:00	CLOSING REMARKS <i>John Brandl</i> , Professor, Humphrey Institute of Public Affairs
		4:30	RECEPTION

The University of Minnesota is an equal opportunity educator and employer.

LOCATION

The conference will be held at the Cowles Auditorium, Hubert H. Humphrey Center, 301 19th Avenue South, on the west bank campus of the University of Minnesota. Parking is available in the West Bank Parking Ramp, (enter from 21st Avenue South only) at a rate of \$.80 per hour (\$7.85 maximum daily rate.) A map showing the Humphrey Center and West Bank Parking Ramp will be sent with your registration confirmation.

REGISTRATION AND FEES

The conference fee is \$40 for an advance registration and \$50 at the door. This fee includes lunch, refreshment breaks, and instructional materials. Advance registration should be received by December 7. Registration is limited and will be accepted on a first-come, first-served basis. A refund of \$25 will be issued if an advance registration is cancelled in writing by December 11, 1990. If you have any special health or mobility needs, please attach a note to the registration form indicating those needs.

For Further Information Contact:
Deborah A. Plattes, (612) 625-1806

REGISTRATION FORM

GAMBLING IN MINNESOTA
DECEMBER 14, 1990

MAIL TO: Registrar,
Department of Professional
Development, University of
Minnesota, 235 Nolte Center,
315 Pillsbury Drive S.E.,
Minneapolis, MN 55455

First Name		Last Name	
Employer		Title	
Street Address			
City	State	Zip	Work Phone
<input type="checkbox"/> 01 I enclose \$40 in payment of the advance conference fee (check or money order payable to the University of Minnesota.)		<input type="checkbox"/> Please bill my agency.	

GAMBLING IN MINNESOTA

An Issue for Policy Makers

FRIDAY, DECEMBER 14, 1990

HUMPHREY INSTITUTE OF PUBLIC AFFAIRS, UNIVERSITY OF MINNESOTA

Sponsors: *Department of Gaming,
State of Minnesota; University of Minnesota -
Citizen Education Program, Humphrey Institute
of Public Affairs; Department of Professional
Development, Continuing Education and
Extension*