



HOME INSPECTION REPORT

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West Palm Beach, Florida 33415

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12/01/2025



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TABLE OF CONTENTS

1: Inspection Details	6
2: Roof ***	9
3: Exterior***	17
4: Garage ***	21
5: Patio / Porch***	23
6: Interior***	24
7: HVAC	36
8: Electrical	42
9: Plumbing***	50
10: Structural	59
11: Insulation and Ventilation***	64
12: Built-In Appliances***	66
Standards of Practice	69

IMPORTANT INFORMATION ABOUT THIS INSPECTION

This inspection will be conducted in accordance with the **State of Florida Standards of Practice for Licensed Home Inspectors** as defined under [Chapter 468 Part XV of the Florida Statutes](#) and under the [Florida State Administrative Code and Florida Administrative Register](#), this Inspection Agreement, and any Inspectagator additional standards. Please read these documents or request that a copy be emailed to you prior to the inspection. These documents will also be available inside of your Inspection Report. The inspector shall only inspect readily accessible, visually observable, installed systems and components listed in the State of Florida Standards of Practice for Licensed Home Inspectors. The Florida Standards of Practice is the guideline used by inspectors to inspect the home. Only the items that are specifically listed in this report are inspected. If an item is not listed in this report or is not accessible, it was not inspected and it is recommended that all concerns related to this item be resolved prior to closing. **Any recommendations in this report should be further evaluated by the appropriate contractor BEFORE closing on the property.** It is recommended after any repair(s) is performed that you obtain a copy of the repair contract from the seller(s). Our company does not guarantee repairs from contractors. This report does not address environmental hazards.

Re-Inspections:

Max Home Inspections is only determining if there is visual evidence that a repair was made to an item. Max Home Inspections does not guarantee the workmanship, functionality, compliance, or future performance of the repair in any way whatsoever. If you have concerns regarding repair guarantees, workmanship, future performance, compliance, or functionality, it should be resolved with the repair contractor or the property's seller prior to purchase of the property. Client should be aware that some repairs are not fully visible to the inspector and that the inspector will only report on items that are readily accessible and visible. Client should obtain all documentation, receipts, reports, warranties, and guarantees that relate to each repaired item. Max Home Inspections recommends and advises that only reputable, licensed, and insured contractors complete the repair work to the property. Client should resolve all concerns related to a repaired item prior to purchase of the property.

SUMMARY

IMPORTANT INFORMATION ABOUT THIS INSPECTION

Max Home Inspections home inspections are completed in accordance with the **Florida State Home Inspection Standards of Practice**, your **Max Home Inspections Inspection Agreement**, and other **Max Home Inspections Terms & Conditions** which are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items as a general home inspection does have some limitations. The inspector shall only inspect readily accessible, visually observable, installed systems and components listed in the Florida State Home Inspection Standards of Practice. Only the items that are specifically listed in this report are inspected. If an item is not listed in this report or is not accessible, it was not inspected and it is recommended that all concerns related to this item be resolved prior to closing. Any recommendations in this report should be further evaluated by the appropriate contractor BEFORE closing on the property. It is recommended after any repair(s) is performed that you obtain a copy of the repair contract from the seller(s). This report also do not address subterranean system or system components (operational or nonoperational), including Sewage disposal, Water supply, Fuel storage or delivery. Our company does not guarantee repairs from contractors.

If a re-inspection is performed :

Repairs are satisfactory - It is recommended that you obtain a copy of the repair contract from the seller(s). Our company does not guarantee repairs from contractors. We only re-inspect to determine whether or not repairs were performed.

Repairs are NOT adequate - repair is either incomplete or has not been done according to standard workmanlike practice. It is recommended after a proper repair is performed that you obtain a copy of the repair contract from the seller(s). Our company does not guarantee repairs from contractors. We only re-inspect to determine whether or not repairs were performed.

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- ⊖ 2.2.1 Roof *** - ROOF COVERINGS ***: Tree Branches Touching Roof
 - ⊖ 2.2.2 Roof *** - ROOF COVERINGS ***: Drainage Issues (roof surface)
 - ⊖ 2.2.3 Roof *** - ROOF COVERINGS ***: Debris On Roof
 - ⊖ 3.1.1 Exterior*** - EXTERIOR SIDING***: Stucco - Hairline Cracks
 - ⊖ 3.4.1 Exterior*** - WINDOWS(Exterior): Window Screen Damage
 - ⊖ 3.7.1 Exterior*** - VEGETATION, GRADING, DRAINAGE, RETAINING WALLS: Captured Garden
 - ⊖ 4.5.1 Garage *** - VEHICLE DOOR OPENER(s): No Auto Reverse
 - ⊖ 6.3.1 Interior*** - INTERIOR DOORS: Hardware Defects
 - ⊖ 6.4.1 Interior*** - CEILINGS: Microbial Growth Possible
 - ⊖ 7.3.1 HVAC - HEATING & AIR HANDLER EQUIPMENT: HVAC Service
 - ⊖ 7.3.2 HVAC - HEATING & AIR HANDLER EQUIPMENT: Overflow Pan - Missing
 - ⊖ 8.4.1 Electrical - OUTLETS & FIXTURES: Light(s) Not Working

- ⊖ 8.4.2 Electrical - OUTLETS & FIXTURES: Weatherproof Cover-Broken
- ⊖ 8.5.1 Electrical - CIRCUIT BREAKERS & WIRING: Double Tap
- ⊖ 8.6.1 Electrical - GFCI/AFCI: GFCI - Upgrade Specific
- ⊖ 9.4.1 Plumbing*** - SINKS : Weak Water Flow
- ⊖ 9.4.2 Plumbing*** - SINKS : Flex/Accordion Pipe
- ⊖ 9.6.1 Plumbing*** - SHOWERS and TUBS (Plumbing): Tub - Missing Stopper
- ⊖ 9.7.1 Plumbing*** - SHOWERS and TUBS (Non-Plumbing): Seal Handles/Faucets to Wall
- ⊖ 9.8.1 Plumbing*** - WATER HEATER***: Overflow Pan Missing (Garage)
- ⊖ 9.8.2 Plumbing*** - WATER HEATER***: Missing Discharge Pipe
- ⊖ 9.8.3 Plumbing*** - WATER HEATER***: Drain Pipe Clearance
- ⊖ 11.3.1 Insulation and Ventilation*** - KITCHEN and BATHROOM VENTS: Bath Vent Not Working
- ⊖ 12.2.1 Built-In Appliances*** - DISHWASHER: Drain Loop
- ⊖ 12.3.1 Built-In Appliances*** - RANGES/OVENS/COOKTOPS: Anti-tip bracket

1: INSPECTION DETAILS

Information

General: Type Of Building

Single Family Home, Two Story

General: Year of Construction

1996

General: Structure

Concrete Block

General: Additional Structures on the PropertyPool, Sun/Florida Room,
Apartment/Suite, Screened
Enclosure**General: Weather Conditions**

Light Rain

General: Temperature

Above 65

General: In Attendance

Sellers Agent, Seller

General: Elevation Photo(s)

General Photos of the perimeter of the home

Views intended to show the general exterior condition on inspection day.





Limitations

General

OLDER HOME - CONCEALED DEFECTS

Home is older and many repairs and additions have been made. It would be reasonable to assume that concealed defects will be uncovered during future repairs or remodeling. Inspector makes every attempt at uncovering all issues, but it is likely that some possible defects/issues will be concealed.

2: ROOF ***

		IN	NI	NP	R
2.1	VIEWS/MATERIALS/INSPECTION METHOD	X			
2.2	ROOF COVERINGS ***	X			X
2.3	FLASHING	X			
2.4	ROOF PENETRATIONS/SKYLIGHTS***	X			
2.5	GUTTERS and DOWNSPOUTS***	X			
2.6	WATER ENTRY IN ATTIC	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

VIEWS/MATERIALS/INSPECTION

METHOD: Inspection Method

Walked roof

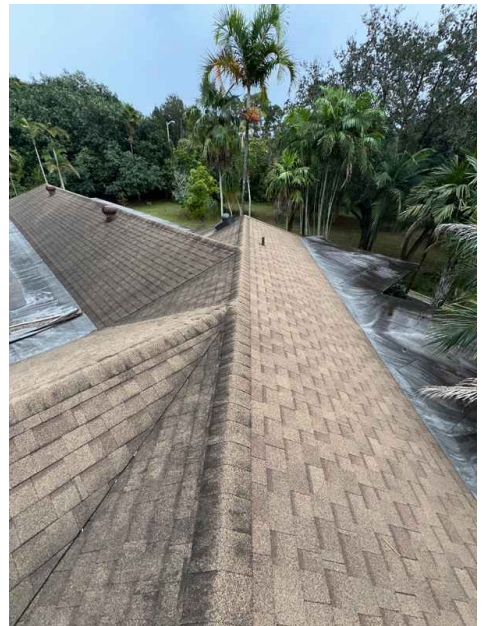
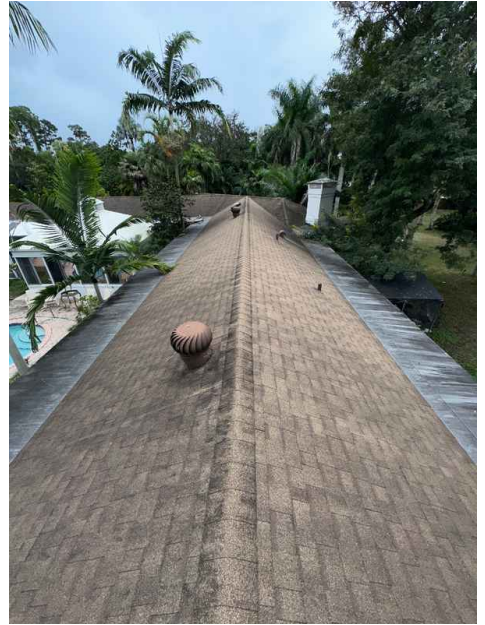
General photo(s) of the roof.

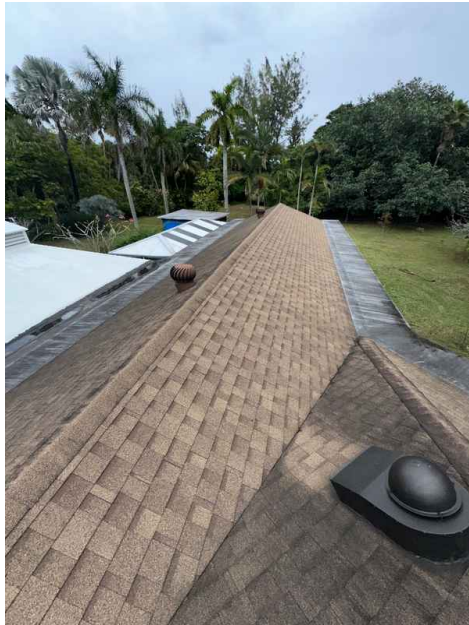
VIEWS/MATERIALS/INSPECTION

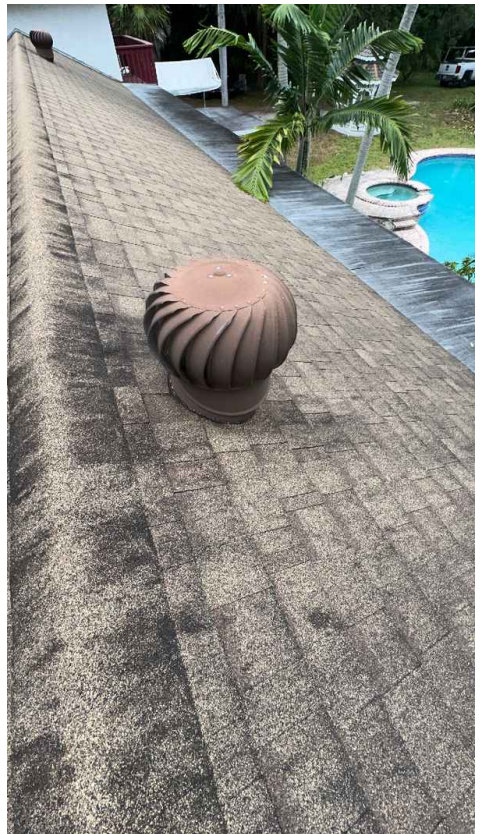
METHOD: Roof Material

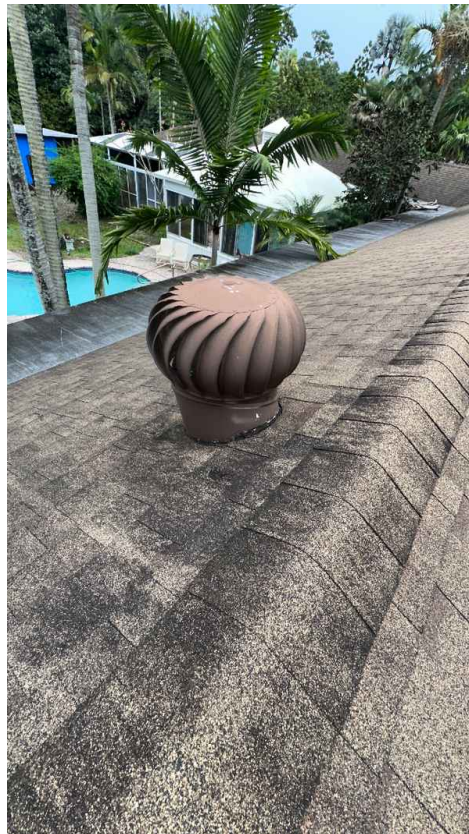
Architectural shingles

VIEWS/MATERIALS/INSPECTION METHOD: Views of Roof/Penetrations









ROOF COVERINGS ***: Roof material life information**

The average life span or reasonable life expectation of the following roof types are as follows (approximates): Fiberglass Asphalt shingle/rolled composition or bitumen 15-20 years; metal 40 years; concrete/masonry tile 30 years; built up/gravel 15-20 years. Roof life expectancy is dependent on the quality of the product, quality of the installation, exposure and maintenance, all of which differ from roof to roof. Nail/screw pops are a common occurrence and should be monitored and patched on a routine basis. All roofs require maintenance and/periodic repairs. The better your maintenance program you have for the roof and it's components, the better any roof will perform.

ROOF COVERINGS ***: Vegetation Overhanging Roof

Vegetation overhanging the roof may increase the chance of damage from excessive debris and/or pieces of the tree falling on the surface. See photo(s).



GUTTERS and DOWNSPOUTS***: Gutter - Recommendation***

Although not required, gutters can be beneficial to help control water drainage from the roof to the ground and help prevent soil erosion around the foundation area.

Recommendations

2.2.1 ROOF COVERINGS ***

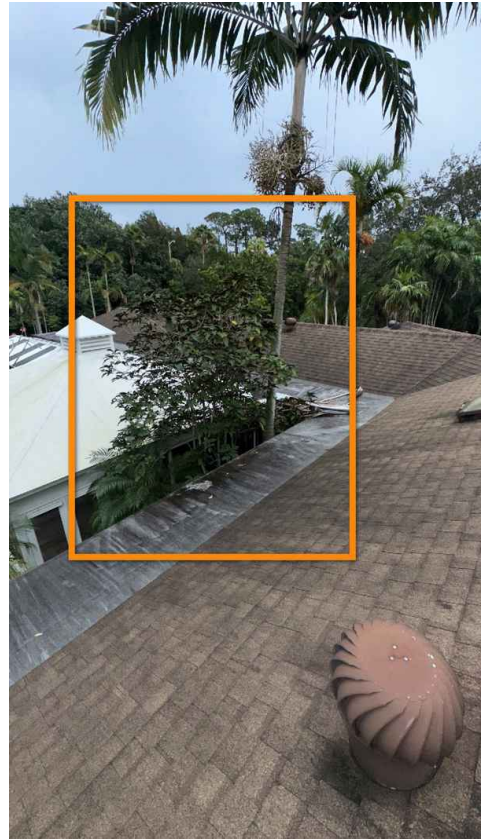
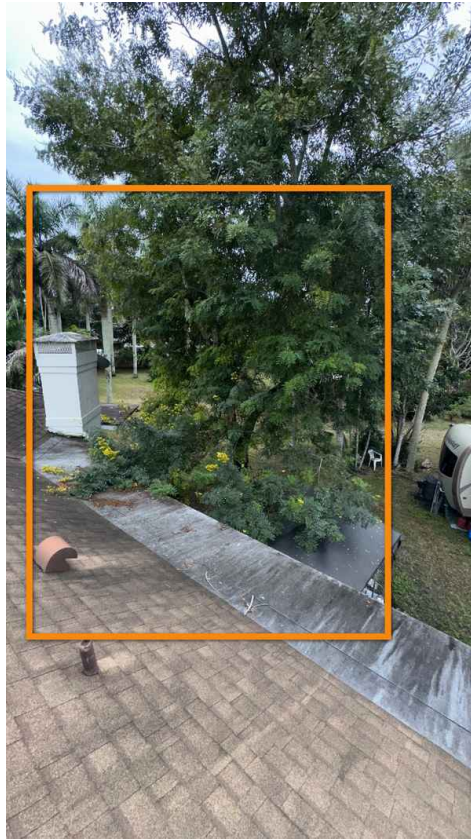
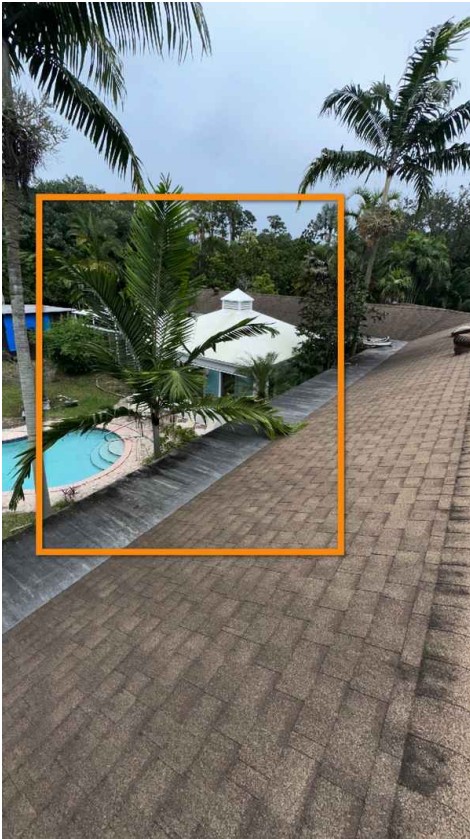
TREE BRANCHES TOUCHING ROOF

FRONT SIDE, REAR SIDE

Tree branches touching roof can cause damage and/or excessive wear. Recommend trimming branches away from the roof surface. See photo(s).

Recommendation

Contact a qualified professional.



2.2.2 ROOF COVERINGS ***

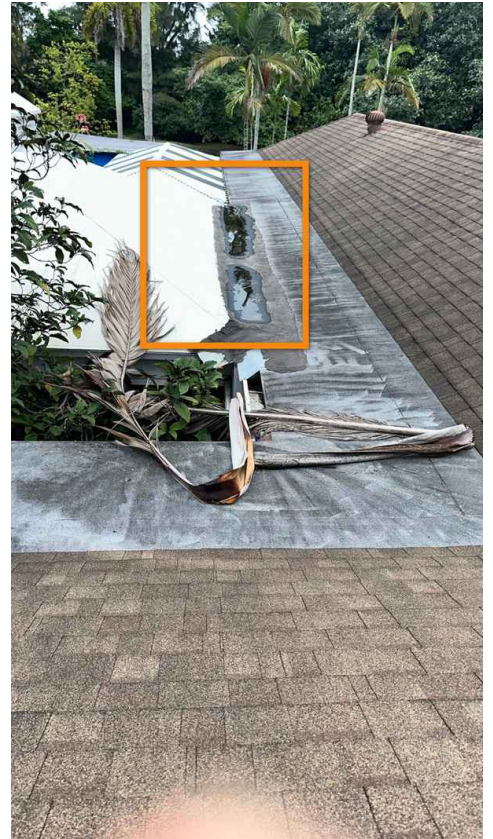
DRAINAGE ISSUES (ROOF SURFACE)

FLAT ROOF

Evidence of poor roof surface drainage found. Further evaluation and improvements recommended to ensure that water will adequately drain to the edges of the roof. Slow moving or standing water on a roof surface increases the probability of a leak. See photo(s).

Recommendation

Contact a qualified professional.



2.2.3 ROOF COVERINGS ***

DEBRIS ON ROOF

REAR SIDE

Excess debris noted on the roof. This debris can act as a sponge and hold water which may encourage leaks and prevent adequate drainage. Recommend to have debris cleared. Debris also somewhat limits visual inspection of the roof surface. See photo(s).

Recommendation

Contact a qualified professional.



3: EXTERIOR***

		IN	NI	NP	R
3.1	EXTERIOR SIDING***	X			X
3.2	EXTERIOR TRIM	X			
3.3	DOORS (Exterior)	X			
3.4	WINDOWS(Exterior)	X			X
3.5	EAVES, SOFFITS AND FASCIAS	X			
3.6	EXTERIOR FLASHINGS	X			
3.7	VEGETATION, GRADING, DRAINAGE, RETAINING WALLS	X			X
3.8	DRIVEWAY & SIDEWALK	X			
3.9	SCREENED ENCLOSURES	X			

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Information

EXTERIOR SIDING*: Siding Material*****

Hardcoat stucco

EXTERIOR SIDING*: WDO Treatment**

No pest treatment observed, No treatment notices, Preventative treatment is recommended

EXTERIOR SIDING*: Wood Destroying Organism Inspection**

This report should not be construed as a termite inspection or termite clearance letter. A complete wood/pest infestation report by a qualified State WDO inspector/cardholder is always recommended, even if not required by another entity. Any inspection or treatment noted, either past or present, should NOT be construed to mean that the property is currently free, and/or will remain free, of pests, wood decay, and/or wood destroying organisms.

EXTERIOR SIDING*: Hard Coat Stucco General *****

Stucco finish is the type that is applied over a concrete block wall. Occasional paint and repair maintenance will be needed since the coating is prone to weather, UV, impact damage and settlement cracks. It is critical that the stucco be well-sealed to any dissimilar material used on the home (utilities, windows/doors, fixtures, etc.). Condition of the structural wall behind the stucco coating is not visible and is not known.

VEGETATION, GRADING, DRAINAGE, RETAINING WALLS: Drainage - Maintenance

Good exterior drainage control includes roof run off control, clear and functional gutters, down spout diversion, surface water control and grading. Maintaining a good exterior drainage is critical to the health and function of the home since water flow over and around the home will eventually cause damage and intrusion. This home may have challenges concerning exterior drainage due to the environment around the home.

Limitations

EXTERIOR SIDING***

EXTERIOR LIMITED OR PREVENTED BY

Vegetation close to the building, Storage

EXTERIOR SIDING***

EXTERIOR LIMITATIONS

Only the outer surface of the exterior wall surface can be viewed, and additional damage may exist within wall cavity areas. The full extent of activity or damage within walls or ceilings is beyond the scope of this visual inspection and therefore cannot be detected. Underlying materials should be reviewed during the course of repairs, and additional repairs made as needed.

VEGETATION, GRADING, DRAINAGE, RETAINING WALLS

VEGETATION - LIMITED INSPECTION

Vegetation around house is preventing and full view and visual inspection of lower foundation and wall areas. Trees, vines and shrubs should remain at least 18-24 inches away to prevent damage to wall and discourage pests from entering the home. See photo(s) for example(s).

Recommendations

3.1.1 EXTERIOR SIDING***

STUCCO - HAIRLINE CRACKS

FRONT SIDE

Cracks noted on the stucco in several areas. The typical threshold for cracks in hard coat stucco is 1/16" and any crack that size or larger should be repaired to help prevent potential water entry. Smaller, hairline cracks are common and more will likely occur as the seasons change (expansion and contraction). It may be beneficial to have a separate stucco inspection to determine severity of cracks and potential water entry locations. See photo(s) for example(s).

Recommendation

Contact a stucco repair contractor



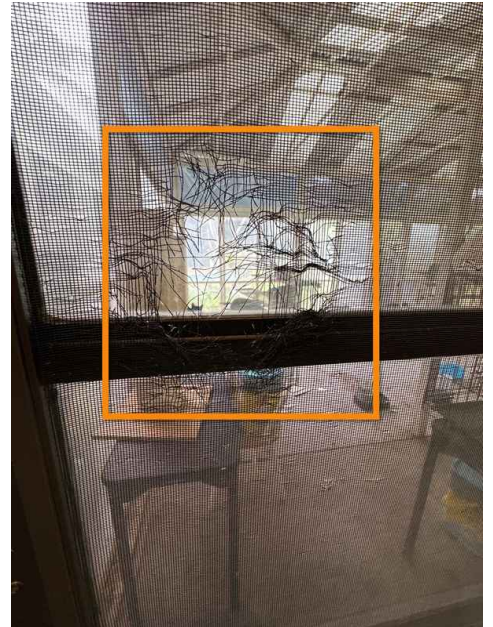
3.4.1 WINDOWS(Exterior)

WINDOW SCREEN DAMAGE

Screens are torn and damaged. Replace as needed. See photo(s) for example(s).

Recommendation

Contact a qualified professional.



3.7.1 VEGETATION, GRADING, DRAINAGE, RETAINING WALLS

CAPTURED GARDEN

VARIOUS LOCATIONS

Garden area(s) between the walls of the home and the driveway/sidewalk may prohibit quick drainage of rain water. These garden areas often are slow to drain and can cause water entry into the home. Recommend to monitor during rain and repair as needed. Some form of drainage may be needed to help correct this issue. See photo(s).

Recommendation

Contact a qualified professional.





4: GARAGE ***

		IN	NI	NP	R
4.1	GARAGE CEILINGS	X			
4.2	GARAGE WALLS***	X			
4.3	GARAGE FLOOR	X			
4.4	VEHICLE DOOR(S)	X			
4.5	VEHICLE DOOR OPENER(S)	X			X
4.6	OCCUPANT DOOR	X			

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Information

OCCUPANT DOOR: Garage

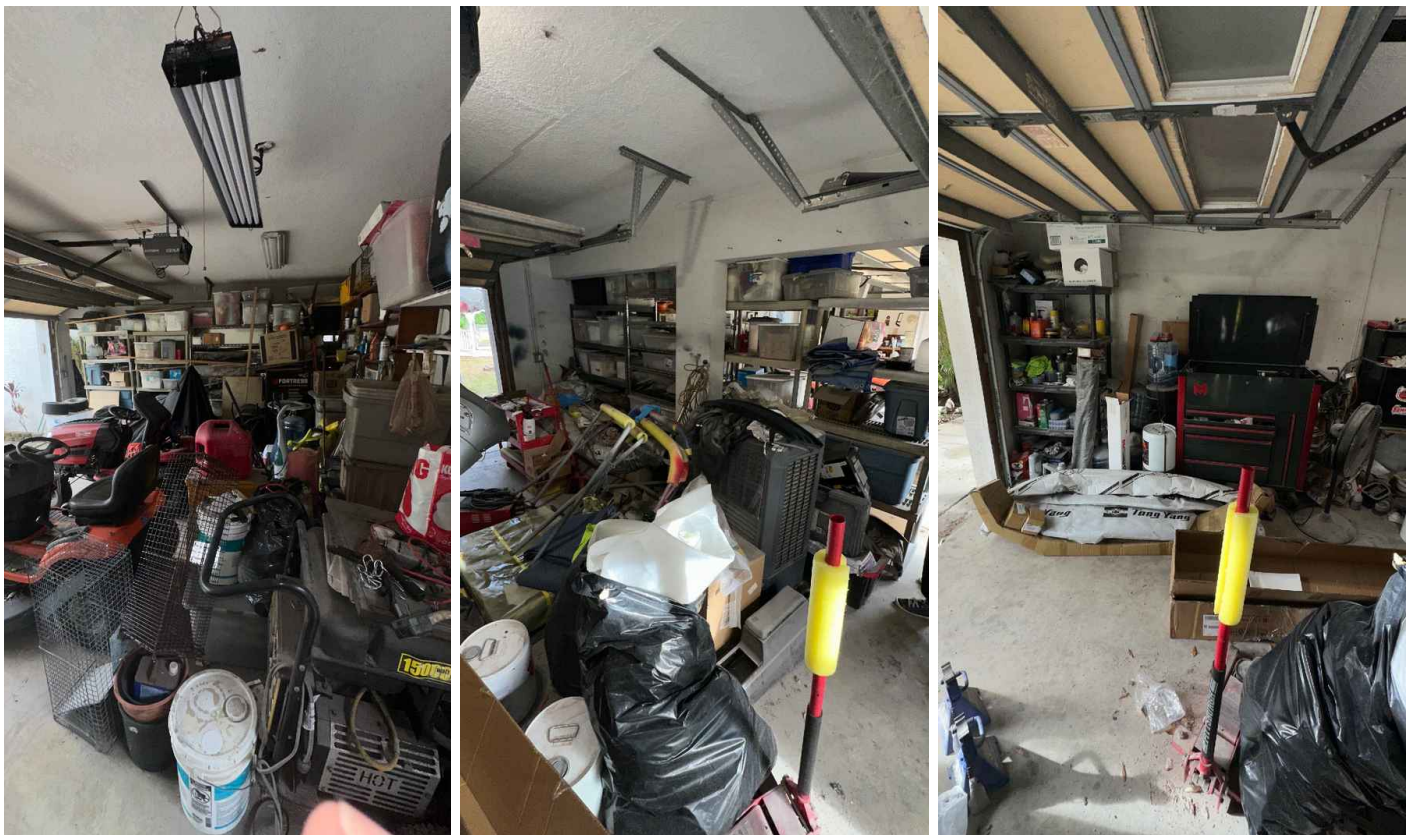
Occupant Door

Fire Rated, Non Self Closing

GARAGE WALLS***: View(s) of Garage

Many stored items. Unable to inspect entire area for potential issues. Buyer should resolve all concerns prior to closing. See photo(s).

View(s) of garage on inspection day



VEHICLE DOOR OPENER(S): Video of Door Opener in Operation

Unable to Test Opener

Routine maintenance (lubrication, alignment check and tightening of fasteners) is required to ensure the door and moving parts are safe.

Limitations

GARAGE WALLS***

WALLS - LIMITED INSPECTION (STORED ITEMS)

Inspection of garage was limited due to stored items being present. Unable to inspect entire area for potential issues. Buyer should resolve all concerns prior to closing. See photo(s) in the Information Tab.

GARAGE FLOOR

LIMITED VISUAL - STORED ITEMS

Garage inspection was limited due to the amount of stored items being in the garage at the time of the inspection. See photo(s) in the Information tab. Buyer should resolve all concerns prior to closing.

VEHICLE DOOR(S)

STORED ITEMS IN GARAGE

Garage doors not tested due to the amount of stored items in the garage. Condition of most of door and moving parts is not known since it was not tested. Buyer should resolve all concerns prior to closing.

Recommendations

4.5.1 VEHICLE DOOR OPENER(S)

NO AUTO REVERSE

Auto reverse sensors could not be located for the garage door(s). Force (pressure) test was not part of this inspection and it is recommended that auto reverse sensors be installed for safety. Recommend to have garage door contractor inspect and repair as needed.

Recommendation

Contact a qualified professional.

5: PATIO / PORCH***

		IN	NI	NP	R
5.1	FLOOR SURFACE***	X			

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Information

FLOOR SURFACE*** : View of Porch/Patio



Limitations

FLOOR SURFACE***

LIMITED/VISUAL

Limited visual of the porch/patio areas. Inspectors attempts to inspect all accessible areas but does not move or remove coverings and/or personal items. Buyer should resolve all concerns prior to closing. See pictures of porch/patio in Views of Porch section.

6: INTERIOR***

		IN	NI	NP	R
6.1	GENERAL INTERIOR VIEWS	X			
6.2	COUNTERS AND CABINETS	X			
6.3	INTERIOR DOORS	X			X
6.4	CEILINGS	X			X
6.5	WALLS	X			
6.6	FLOORS	X			
6.7	BATHROOMS	X			
6.8	WINDOWS***	X			
6.9	PESTS***	X			

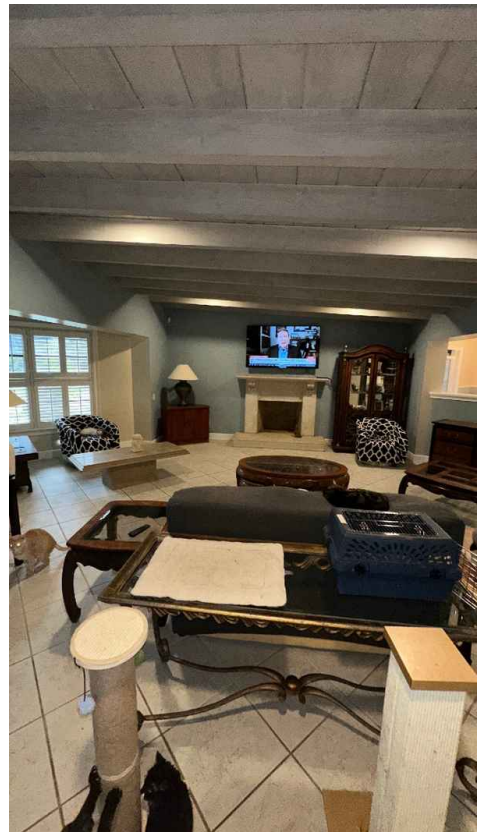
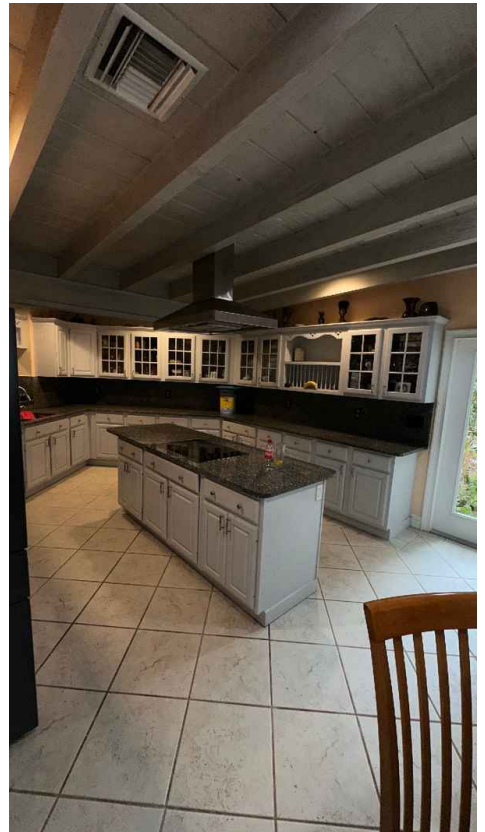
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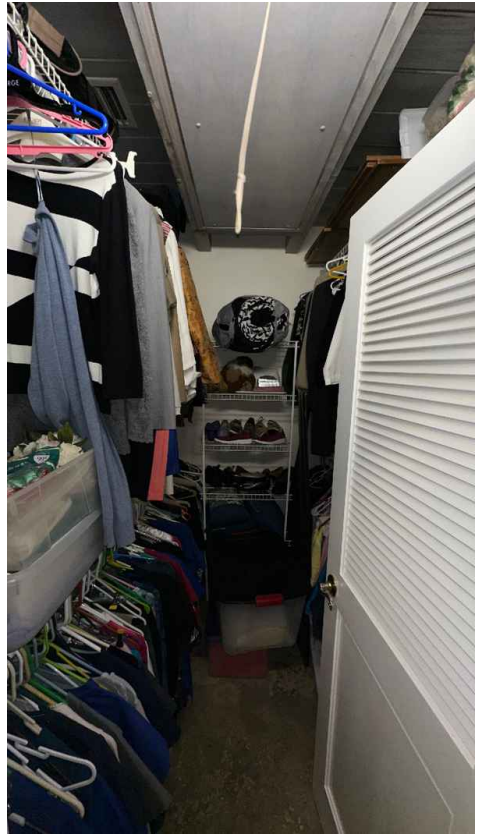
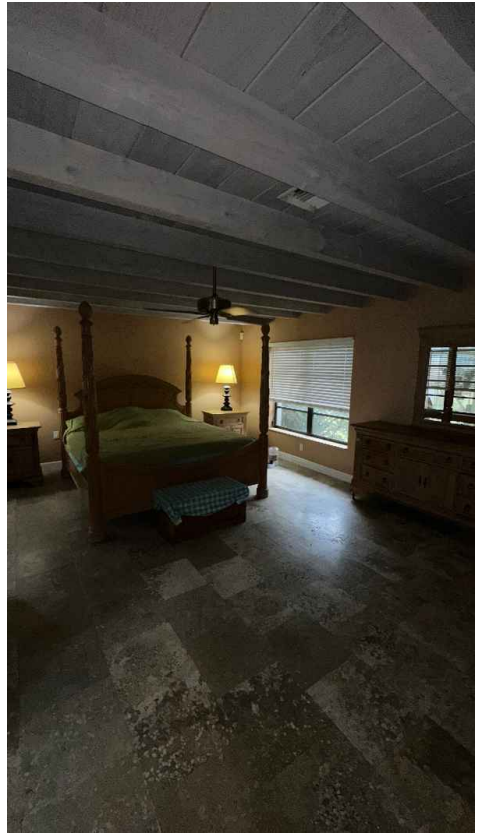
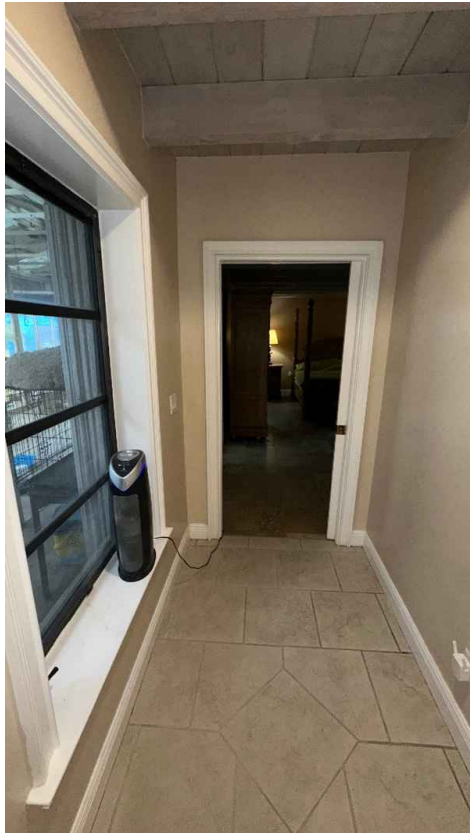
Information

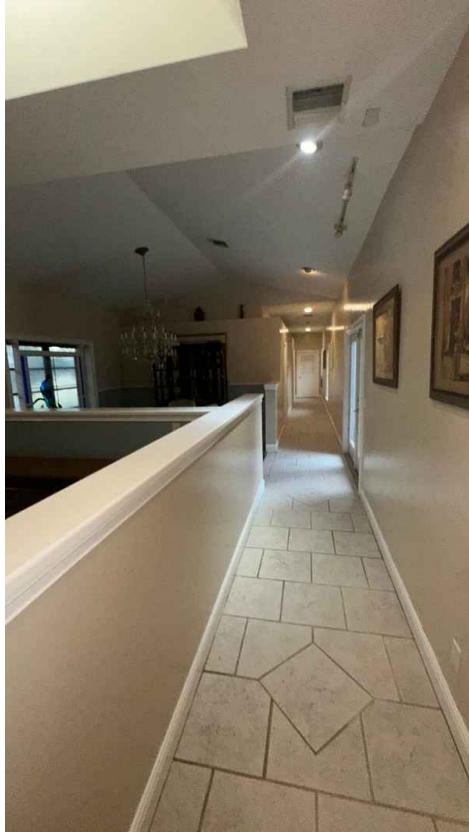
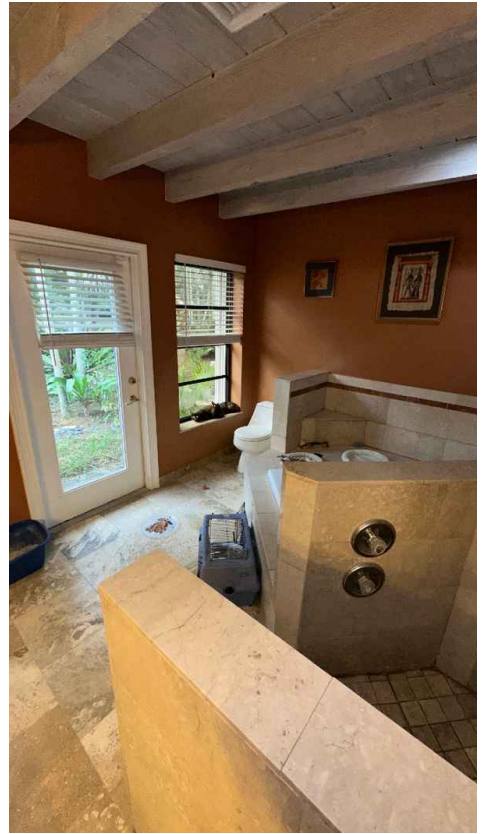
GENERAL INTERIOR VIEWS: Views of Interior Rooms

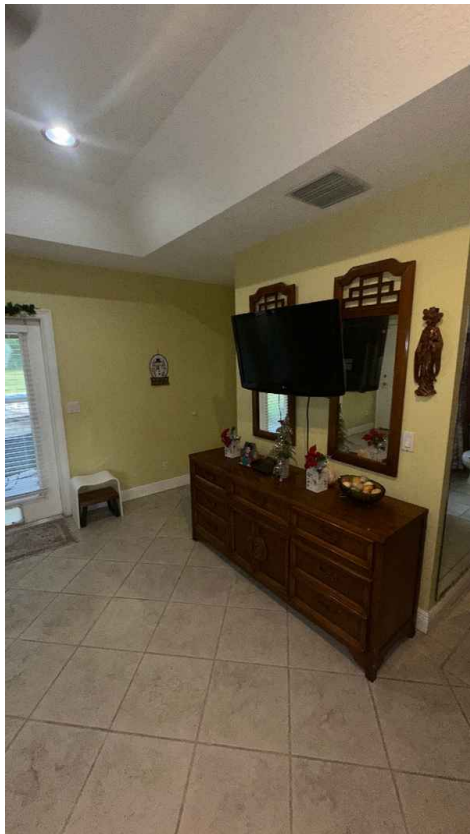
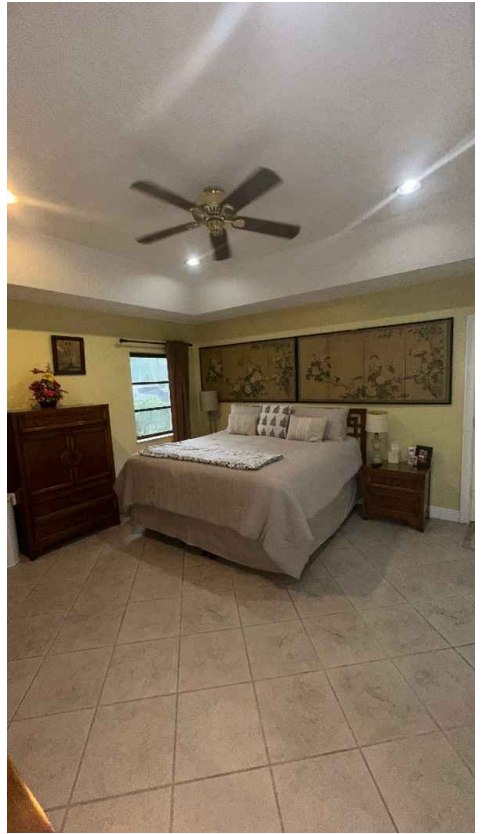
Many stored items. This limits inspectors visual of the space and buyer should resolve all concerns prior to closing., Buyer should resolve all concerns prior to closing, Limited Visual

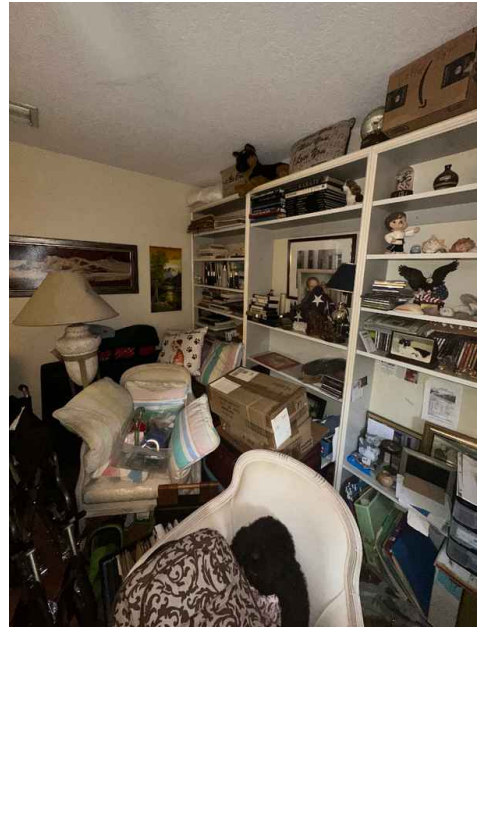
Views are intended to show a sampling of what interior rooms look like during the inspection.

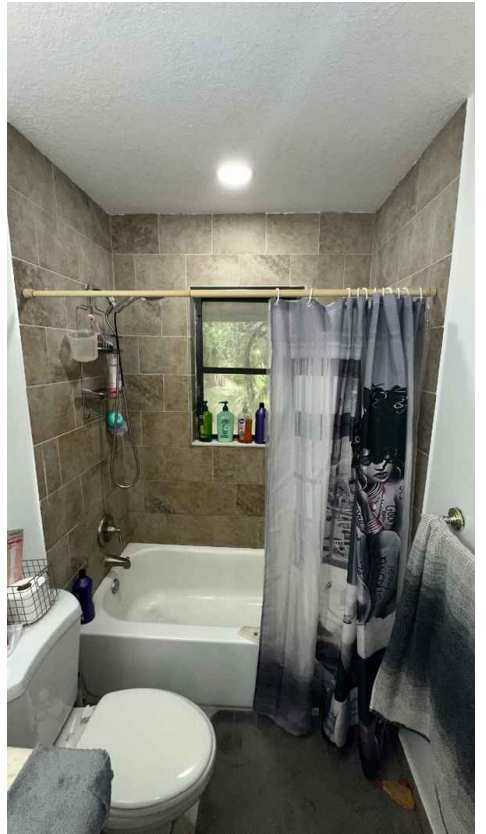
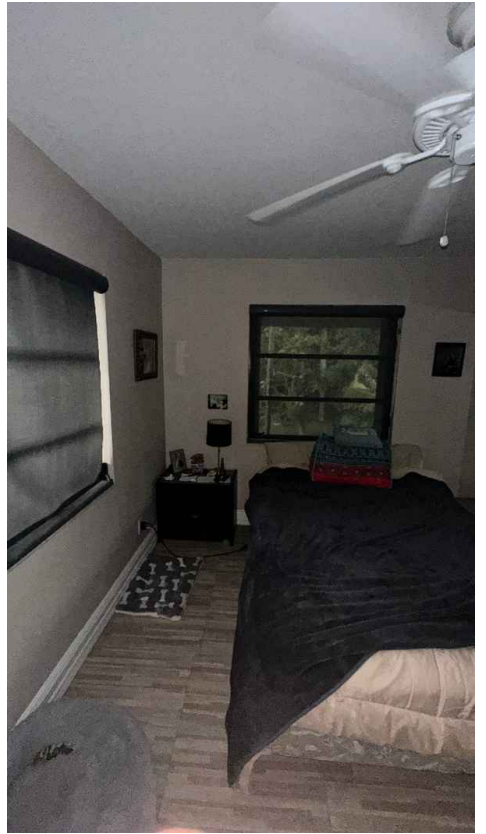


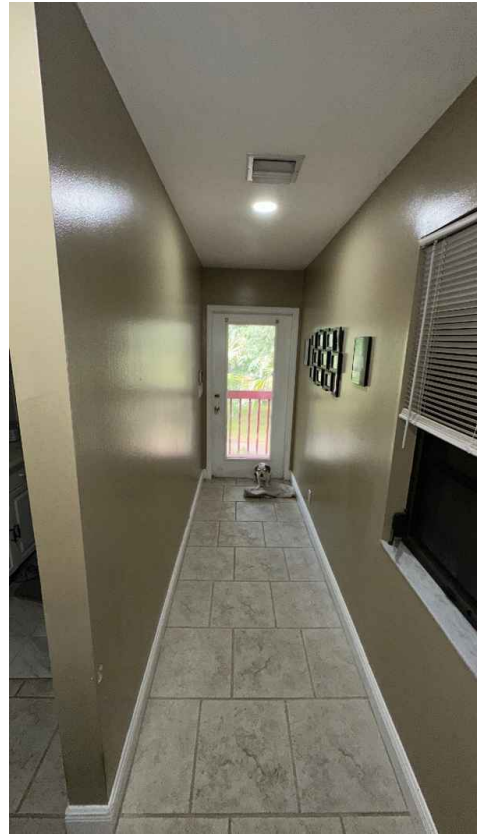
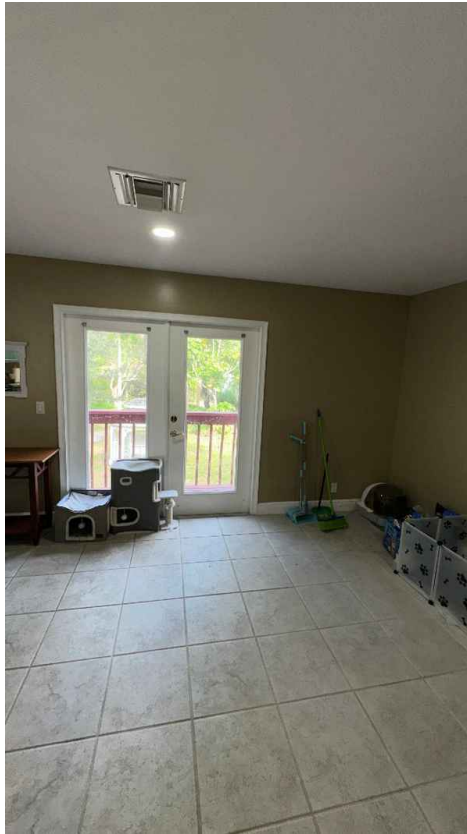
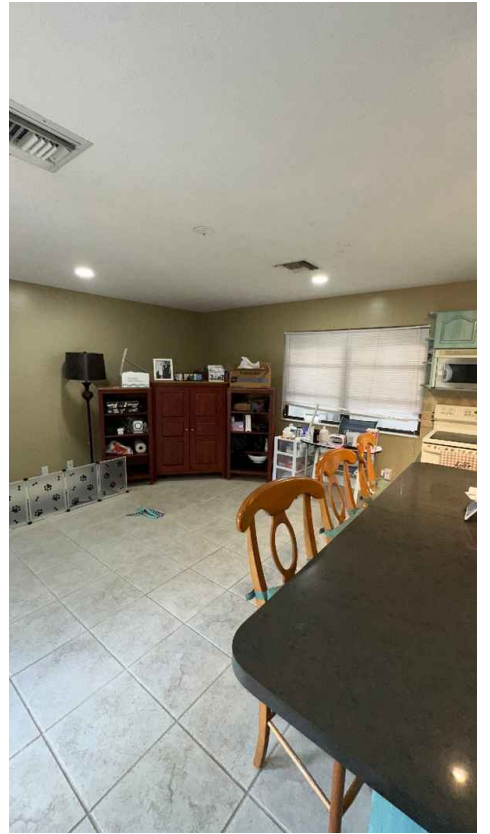


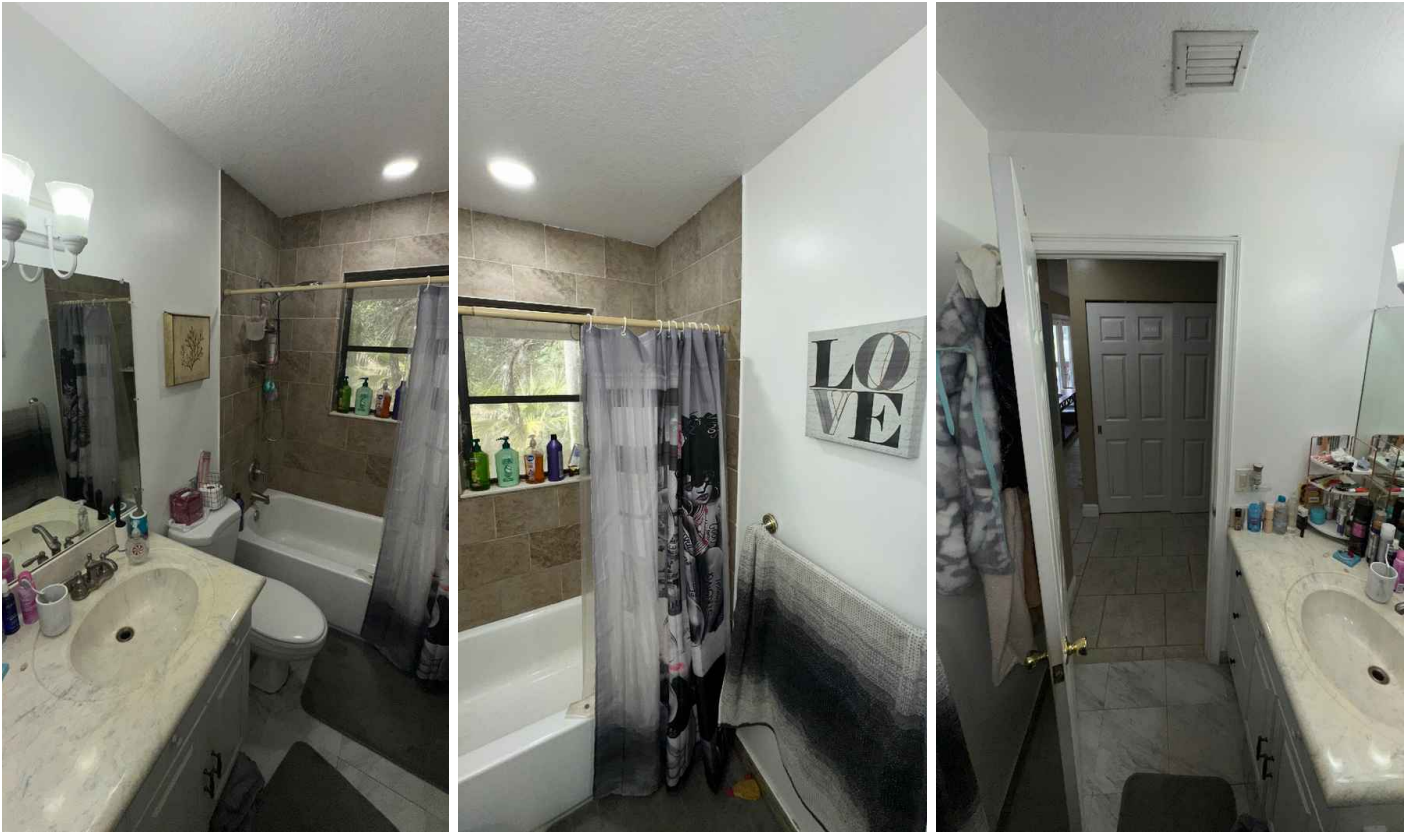












Limitations

COUNTERS AND CABINETS

LIMITED VISUAL - STORED ITEMS

Numerous stored items in cabinet limited visual inspection. Inspector makes every effort to make the best visual inspection possible, but personal items in storage spaces are not removed or disturbed. This comment applies to all cabinets, drawers, closets and general interior storage areas. Buyer should resolve all concerns prior to closing.

WALLS

LIMITED VISIBILITY

Stored items limit full inspection of area(s). No apparent issues noted. It may be beneficial to review these areas prior to occupancy. See photo(s) in the information tab for examples



FLOORS

LIMITED VISUAL

Limited visual of floors, lower walls, some cabinets, and closets due to stored items in the home during the inspection. It is possible that concealed defects will be revealed once the home is empty. Buyer should resolve all concerns prior to closing. See photo(s) in the information tab for examples.

PESTS***

NO WDO INSPECTION PERFORMED

Evaluation of wood destroying organisms, pest and rodent activity were not part of this inspection. No obvious signs of termites or pest were found, but it should be expected that this will occur at some point in time.

Recommendations

6.3.1 INTERIOR DOORS

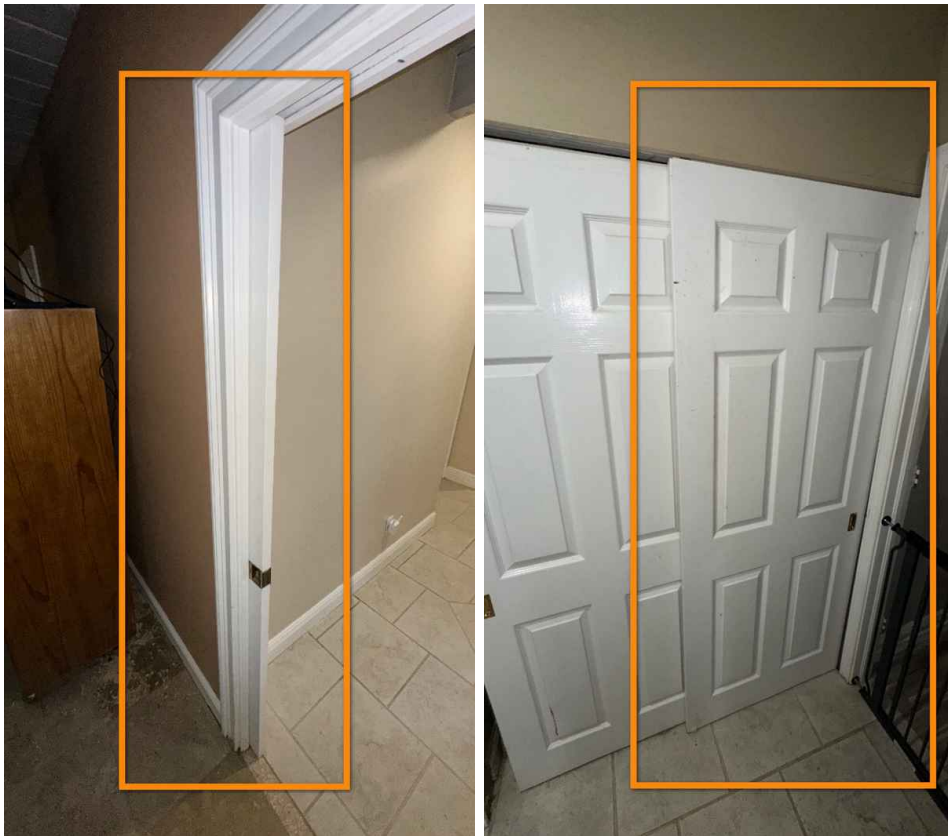
HARDWARE DEFECTS

BEDROOM 1, APARTMENT CLOSET

Defects with the hardware found on interior doors. This can include latches, knobs, locks, stoppers, handles, strikers, etc.... See photos for locations. Repair as needed.

Recommendation

Contact a qualified professional.



6.4.1 CEILINGS

MICROBIAL GROWTH POSSIBLE

BEDROOM 1 CLOSET

Signs suspected microbial growth is present. The underlying cause of microbial growth problems is normally moisture or high humidity. A visual inspection cannot determine the extent of the problem or if any health hazards exist. Testing is recommended and can be completed if desired. Condition of framing behind finished surface is not visible and is not known. Buyer should resolve all concerns prior to closing. See photo(s) for example(s).

Recommendation

Contact a qualified professional.



7: HVAC

		IN	NI	NP	R
7.1	HVAC SYSTEM DESCRIPTION	X			
7.2	COOLING	X			
7.3	HEATING & AIR HANDLER EQUIPMENT	X			X
7.4	NORMAL OPERATING CONTROLS/ THERMOSTAT	X			
7.5	DISTRIBUTION SYSTEMS***	X			
7.6	PRESENCE OF CONDITIONED AIR IN EACH ROOM	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

HVAC SYSTEM DESCRIPTION:

HVAC System Type

Central AC- straight cool

HVAC SYSTEM DESCRIPTION:

Number of HVAC Units

1

HVAC SYSTEM DESCRIPTION:

HVAC System Fuel

Electric

HVAC SYSTEM DESCRIPTION:

Condensing Unit Age

2024, 2023, 2017

HVAC SYSTEM DESCRIPTION: Air

Handler Age

2024, 2017, 2022

HVAC SYSTEM DESCRIPTION:

HVAC System Auto Shut Off

Present

Yes

HVAC SYSTEM DESCRIPTION:

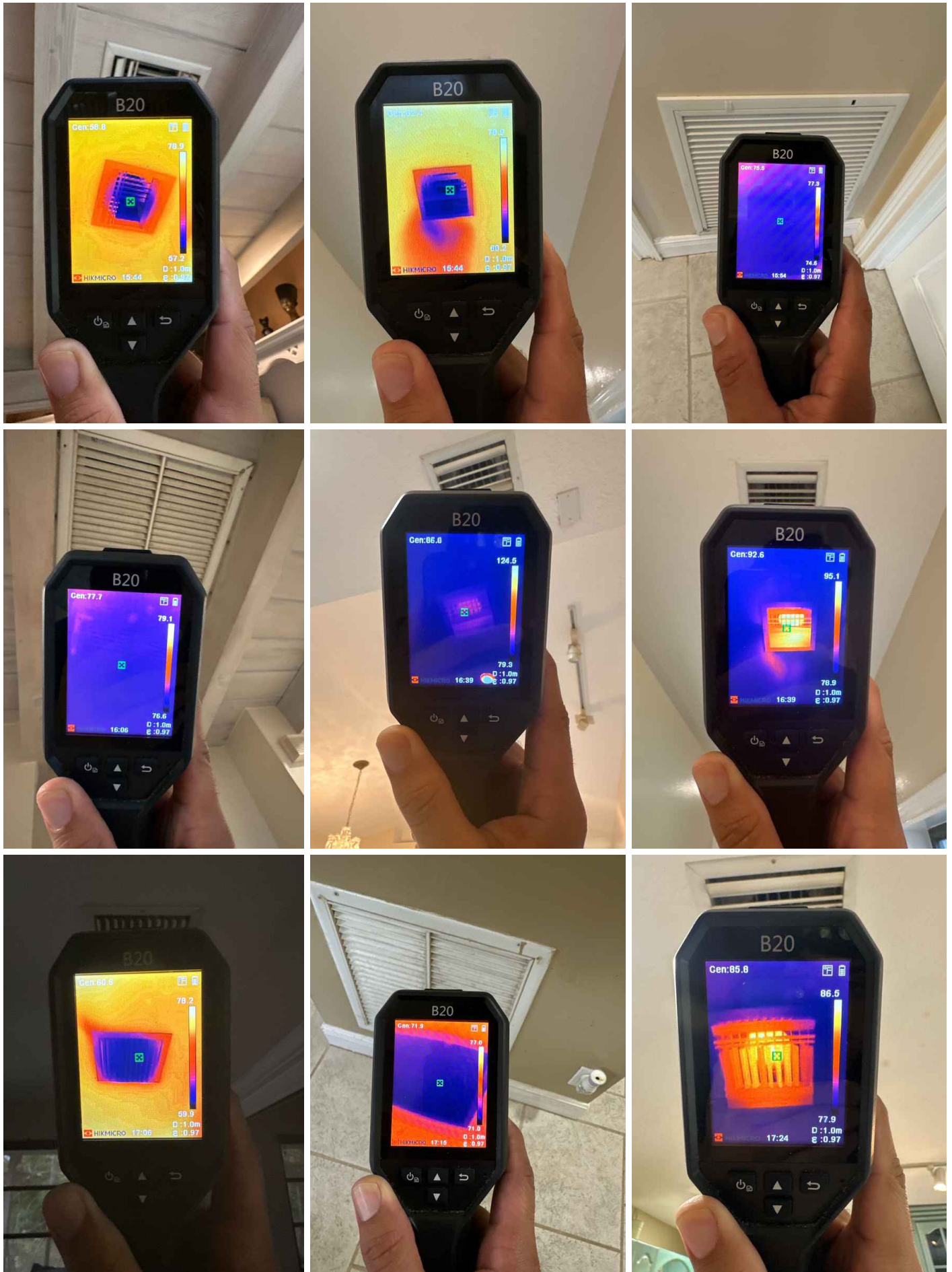
HVAC System Overflow Drain Pan

Present

No

HVAC SYSTEM DESCRIPTION: View of Temperature Differential

Heat Pump was tested in cooling mode, Heat Pump was tested in heating mode, See Photos



HVAC SYSTEM DESCRIPTION: View of Filter/Missing

Filter size and location.



COOLING: Heat Pump General

Keeping equipment clean and in good working order are the primary tasks an owner should perform. Change filters frequently, maintain condensate drain lines regularly to prevent backup, and schedule preventive inspections, cleanings, and service by a qualified licensed HVAC professional at least once per year. The average useful/expected life for most heat pump systems is 10 years. If your unit is beyond this age, more frequent maintenance will be required. This will ensure optimum performance of your system and will encourage long life.

Per most manufacturer's specifications, heat pumps should not be operated in heating mode when the outdoor temperature exceeds 65 degrees, and likewise, not operated in cooling mode when the outdoor temperature is below 65 degrees to prevent damage to the internal components of the heat pump

Limitations

DISTRIBUTION SYSTEMS***

DUCT SYSTEM - LIMITED VISUAL ***

Limited visual of the air duct system since it is located in limited access areas.

Recommendations

7.3.1 HEATING & AIR HANDLER EQUIPMENT

HVAC SERVICE

Have an HVAC tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, verify that the heat exchangers are not cracked (gas system), gas piping configuration (gas system), check size of units compared to size of home and ascertain that the equipment is safe to operate and that it is functioning (heating/cooling) properly. Most of internal parts of the HVAC system are concealed from view. This is a visual inspection that is intended to check the function of the systems. This inspection does not make any assessment and excludes all of the internal parts of the air duct system which would include the presence of mold in the system or ductwork. An HVAC tech should evaluate for any concealed defects or hazards that were not detected at time of inspection. Manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Recommendation

Contact a qualified heating and cooling contractor

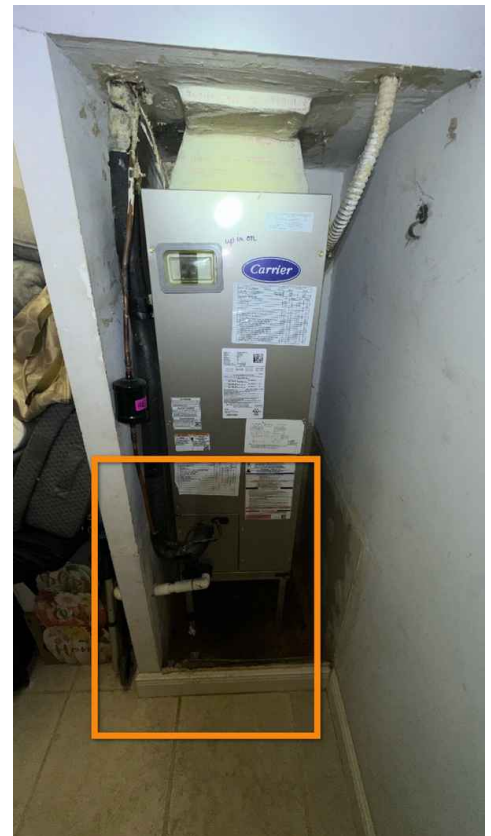
7.3.2 HEATING & AIR HANDLER EQUIPMENT

OVERFLOW PAN - MISSING

Recommend to have an over-flow pan installed under the air handler and/or water heater. An over-flow pan is intended to receive excess condensation and prevent damage to the surrounding area. See photo(s).

Recommendation

Contact a qualified heating and cooling contractor



8: ELECTRICAL

		IN	NI	NP	R
8.1	SERVICE ENTRANCE & MAIN DISCONNECT BREAKER	X			
8.2	GROUNDING & BONDING	X			
8.3	MAIN/SUB PANELS & DISCONNECT BOXES	X			
8.4	OUTLETS & FIXTURES	X			X
8.5	CIRCUIT BREAKERS & WIRING	X			X
8.6	GFCI/AFCI	X			X
8.7	CONDUIT	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

MAIN/SUB PANELS & DISCONNECT BOXES: Main Panel
install Date (estimated)
Original

MAIN/SUB PANELS & DISCONNECT BOXES: Main Panel
Manufacturer
Square D

MAIN/SUB PANELS & DISCONNECT BOXES: Panel Type
& Capacity
Circuit Breakers, 200 AMP, 150
AMP

CIRCUIT BREAKERS & WIRING:
Branch wire 15 and 20 AMP
Copper

MAIN/SUB PANELS & DISCONNECT BOXES: View(s) Of Disconnect(s) & Panel(s)

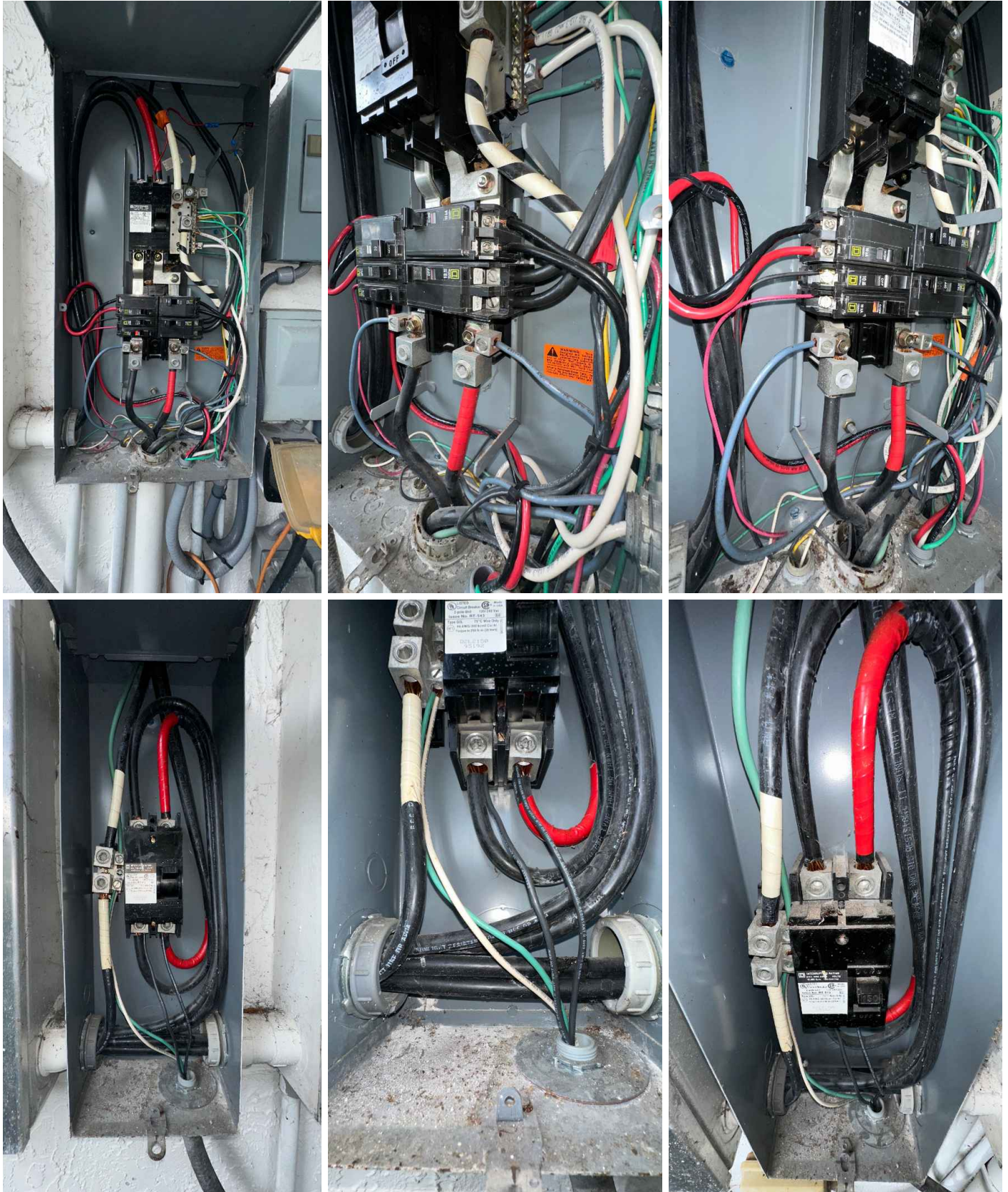
At Meter Outside, Laundry Room, Hallway

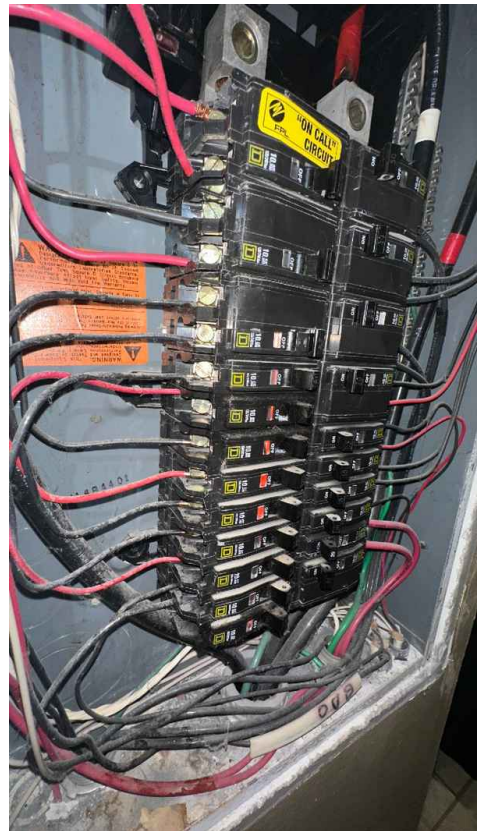
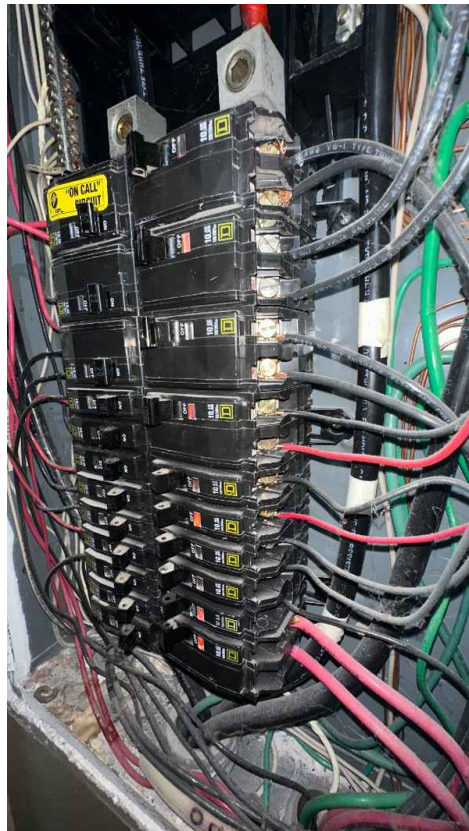
Panel(s) inspected for function only (not code compliance). Building codes and standards have changed over the years.



CIRCUIT BREAKERS & WIRING: Wiring Methods

Non-metallic Sheathed Cable

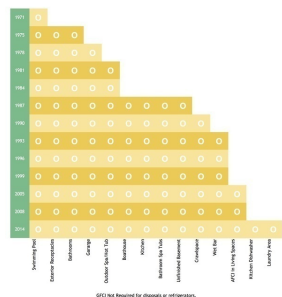




GFCI/AFCI: GFCI Timeline Requirements

Ground Fault Circuit Interrupters are receptacles designed to shut off power if it detects a slight flow of electricity to grounded items as a safety feature to protect people from electrocution. GFCI receptacles were first required on the exterior of homes in the early 1970's. It was not until the mid to late 1990's that GFCI receptacles become required at all exterior, garage, bathroom, kitchen, and foundation areas.

Year of NEC Publication	New GFCI Locations or Conditions Concerning GFCI Applications Introduced in NEC Publication
1971	Receptacles required within 15ft of swimming pool walls All portable swimming pool equipment
1973	All outdoor receptacles
1974	Construction sites
1975	Bathrooms, fountain equipment, 120volt pool lights and boathouses
1978	Exemption for GFCI outlets located above the ground Garages and spas (some local jurisdictions also include hydro-therapy tubs/spas)
1981	Exemption for garage receptacles for dedicated equipment or not readily accessible (i.e. garage door opener power supply that cannot be reached without a ladder)
1984	Replacement of non-grounding receptacles with no grounding conductor Pool cover motors Distance from swimming pool wall extended to 20ft
1987	Unfinished basements Hydro-therapy tubs/spas Kitchen countertop receptacles within 6ft of this sink Crawlspaces (exception — sump pumps and dedicated equip)
1990	Wet bar countertop, within 6ft of sink
1993	Any receptacle replaced in an area that currently requires a GFCI
1996	All receptacles on kitchen counters All exterior receptacles (exception — deicing tape/cable receptacles) Unfinished accessory buildings Receptacles below grade
1999	Exception for dedicated equipment in crawlspace area was removed
2003	"Smart Lock" type GFCI receptacles required
2008	All receptacles in garage (exceptions removed)
2014	Added Dishwasher, laundry areas, bathtubs or shower stalls where receptacles are installed within 6 feet of the outside edge of the bathtubs or shower stall



GFCI/AFCI: AFCI Timeline Requirements

Arc Fault Circuit Interrupters are designed to protect wiring from the negative effects of arcing. AFCI's were first introduced commercially in 1997, but did not become required in bedrooms until 2002. By 2008 they were required to be installed in bedrooms, family rooms, living rooms, parlors, libraries, dens, sunrooms, recreation rooms, closets or similar rooms. In 2014 outlets in kitchens and laundry rooms were required to be afci/gfci protected.

EC AFCI GFCI requirements timeline

Year	NEC Edition	AFCI Req'd	Details
1999	NEC	0	Introduction of Branch-Fault AFCI for The National Electrical Code. Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets as of January 1, 2002.
2002	NEC	3	Limited Branch-Fault AFCI Protection of Branch-Circuit Receptacle Bedroom Outlets.
2005	NEC	3	Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets in Living and Dining Rooms, Family Rooms, Sunrooms, Recreation Rooms, Closets, and Similar Rooms. Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets in Living and Dining Rooms, Family Rooms, Sunrooms, Recreation Rooms, Closets, and Similar Rooms. Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets in Living and Dining Rooms, Family Rooms, Sunrooms, Recreation Rooms, Closets, and Similar Rooms.
2008	NEC	8	Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets in Living and Dining Rooms, Family Rooms, Sunrooms, Recreation Rooms, Closets, and Similar Rooms. Branch-Fault AFCI Protection of Branch-Circuit Receptacle Outlets in Living and Dining Rooms, Family Rooms, Sunrooms, Recreation Rooms, Closets, and Similar Rooms.
2011	NEC	8	Same as 2008 with clarification for kitchen outlets and receptacle wiring.
2014	NEC	14 (3 dual)	Added requirement for an Arc-Fault Protection in Kitchens and Laundry Areas. Added requirement for an Arc-Fault Protection in Kitchens and Laundry Areas. Added requirement for an Arc-Fault Protection in Kitchens and Laundry Areas.

Limitations

SERVICE ENTRANCE & MAIN DISCONNECT BREAKER

ELECTRICAL LIMITS

Sealed boxes are not opened; only a representative number of outlets are checked during this inspection; not all outlets may be accessible/checked; nor are concealed components inspected. During the inspection, inoperative light fixtures are assumed to have burned out bulbs. Light bulbs are not changed during the inspection, and fixtures are not removed. If the problem is not a bad bulb, it is normally necessary to contact an electrician. Please note that the functionality of security system(s) is not checked by state statute. If a security/alarm system is present, we recommend that you contact a licensed alarm company for a specialized security system evaluation/service. Likewise, if a satellite dish, solar panel system, or generator system is present, that service/equipment is also not checked for functionality; please contact installer for evaluation and/or service. Electromagnetic fields (EMF) are not checked.

CIRCUIT BREAKERS & WIRING

AFCI BREAKERS NOT TESTED

If the electrical system has AFCI breakers in panel, they were not tested if the home is occupied.

Recommendations

8.4.1 OUTLETS & FIXTURES

LIGHT(S) NOT WORKING

ATTIC

Light(s) not operating at time of inspection. Recommend ensuring that all light fixtures are operational and wired correctly. This is usually an issue with a burned out bulb but the inspectors do change out light bulbs in the owners house. See photos for example(s) of location(s).

Recommendation

Contact a qualified professional.



8.4.2 OUTLETS & FIXTURES

WEATHERPROOF COVER-BROKEN

REAR SIDE

Weatherproof cover is broken on an exterior outlet. Exterior outlets need this type of cover so they will remain dry where the outlet is being used. See photo(s).

Recommendation

Contact a qualified professional.



8.5.1 CIRCUIT BREAKERS & WIRING

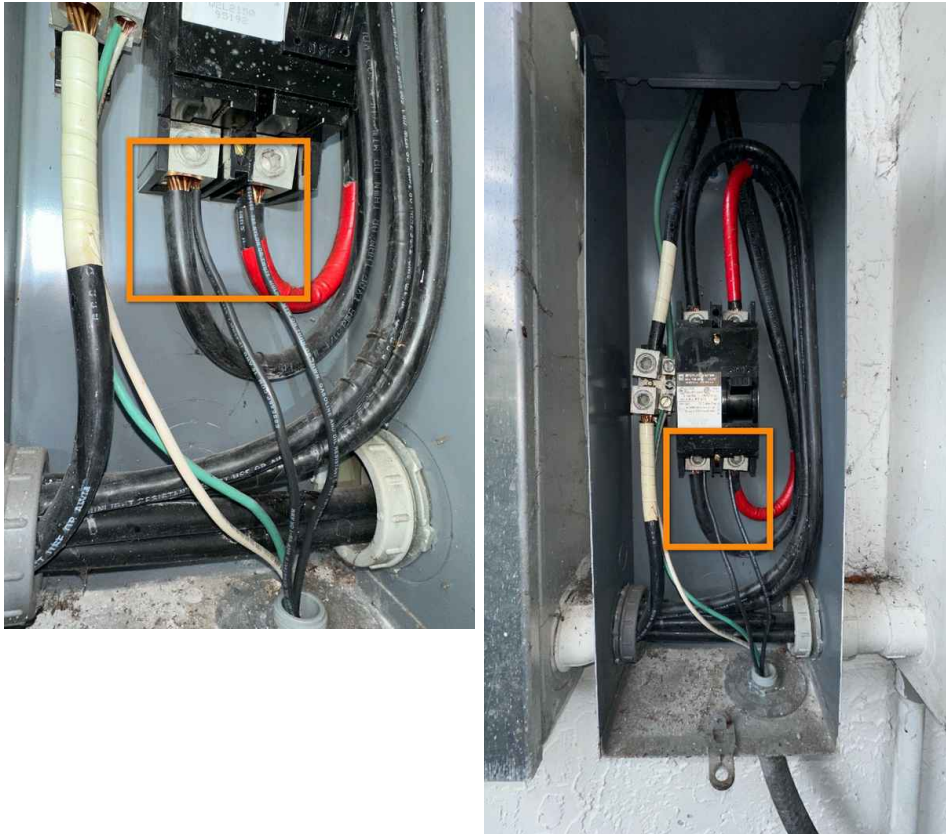
DOUBLE TAP

MAIN PANEL

Double-wired breaker(s) noted in the electrical panel. Usual wiring methods suggest one wire for each breaker to avoid over-heating. See photo(s).

Recommendation

Contact a qualified electrical contractor.



8.6.1 GFCI/AFCI

GFCI - UPGRADE SPECIFIC

REAR SIDE

GFCI protection recommended in all potentially wet locations to help prevent against shock. See photo(s) for example(s).

Recommendation

Contact a qualified electrical contractor.



9: PLUMBING***

		IN	NI	NP	R
9.1	PLUMBING DRAINS AND VENTS	X			
9.2	WATER SUPPLY/DISTRIBUTION***	X			
9.3	FIXTURES	X			
9.4	SINKS	X			X
9.5	TOILETS	X			
9.6	SHOWERS and TUBS (Plumbing)	X			X
9.7	SHOWERS and TUBS (Non-Plumbing)	X			X
9.8	WATER HEATER***	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

PLUMBING DRAINS AND VENTS:

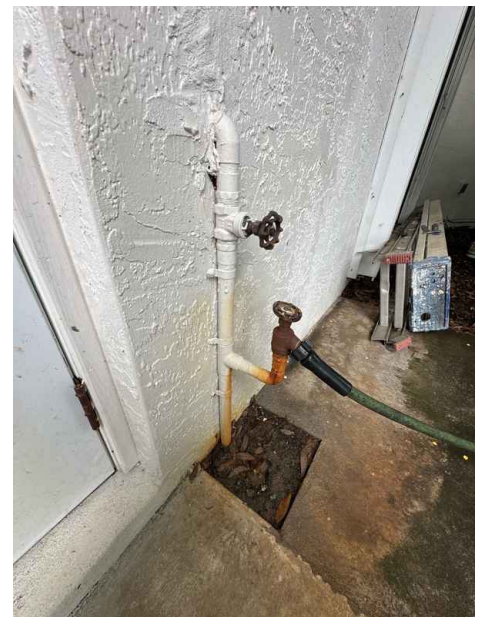
Drain/Vent Pipe Material
PVC

PLUMBING DRAINS AND VENTS:

Sewer Clean-Out Location
Front of home

WATER

SUPPLY/DISTRIBUTION*:** View of Main Water Shut Off
Front Wall



WATER

SUPPLY/DISTRIBUTION*:** Water Source
Well is not inspected and should be evaluated by a plumber, Well

WATER

SUPPLY/DISTRIBUTION*:** Water Supply Material (from street)
Copper

WATER

SUPPLY/DISTRIBUTION*:** Water Distribution Material (inside home)
Copper

WATER HEATER*:** Water Heater Power Source
Electric

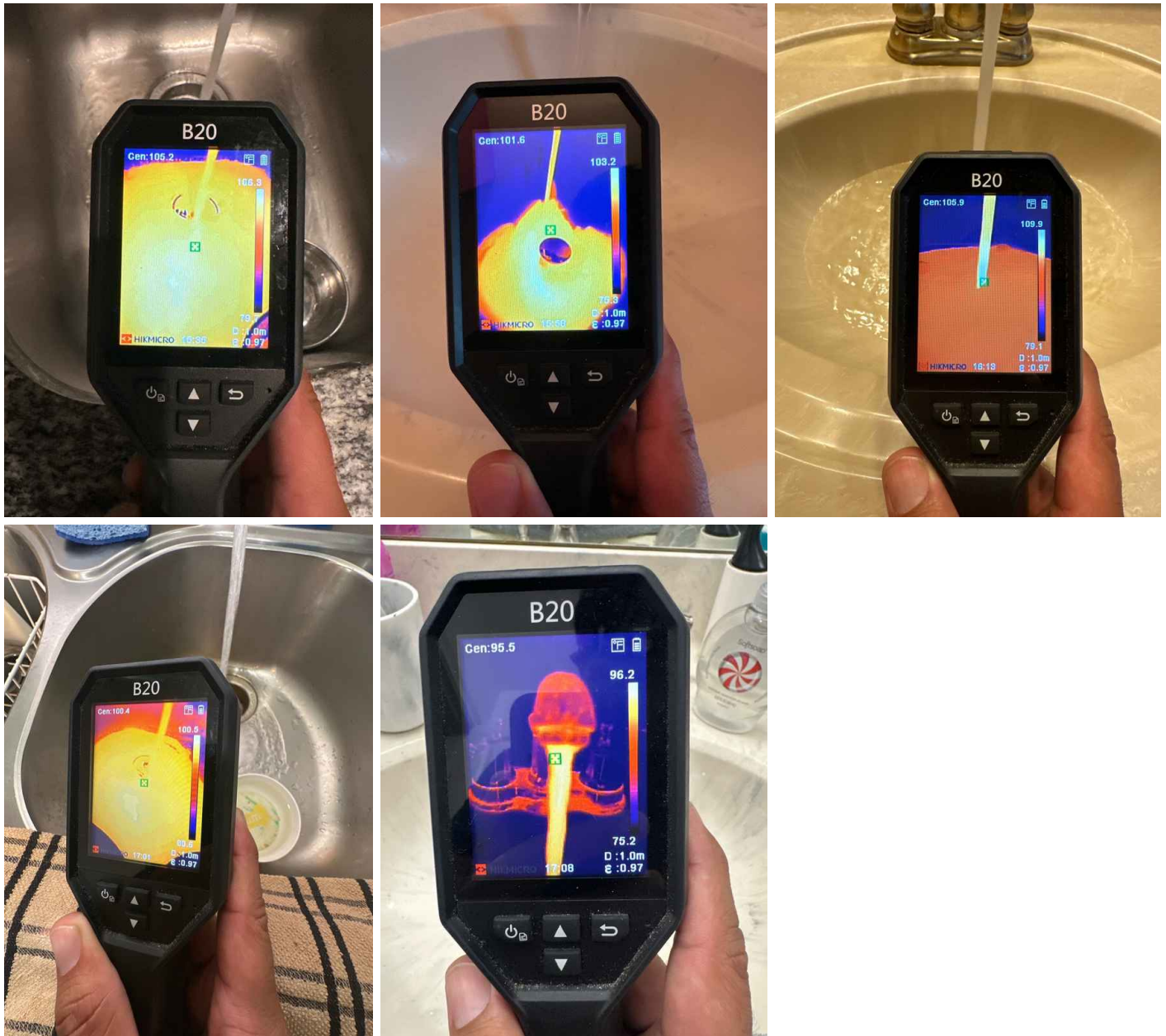
WATER HEATER*:** Water Heater Capacity
30 Gallon

PLUMBING DRAINS AND VENTS: Septic tank may be present

It is suspected that this home may be on a septic system, but it is outside of the scope of this inspection to determine if it is serviced by a septic system or public sewer. This should be confirmed with the current homeowner and with the local authorities. The septic system and related equipment is not part of this inspection. It is recommended that the system be evaluated by a septic inspection company and that a copy of the septic permit be obtained from the county to determine size and location of the system.

WATER SUPPLY/DISTRIBUTION***: View of Hot Water Flow

Normal



WATER SUPPLY/DISTRIBUTION***: View of Water Pressure

Could not get a reading due to lack of an accessible/suitable spigot

Water pressure readings can vary but the acceptable range is between 40 to 80 psi. High water pressure can put stress on pipe connections, valves and plumbing related equipment/appliances. Lower water pressure (closer to 40 psi) is not necessarily problematic for the plumbing system but can be inconvenient. Pressure reading in this report only represents the pressure on inspection day.

WATER SUPPLY/DISTRIBUTION***: Washing Machine Hoses

Steel braided hoses are highly recommended for the washing machine hook up. This type of hose is far less likely to leak or fail than the typical rubber type of hose.

WATER SUPPLY/DISTRIBUTION*: Hose bibs - Vacuum Breakers**

Recommend to have vacuum breakers installed on each of the exterior faucets. This will help prevent cross contamination when the faucets are used. This was not required on older homes.

FIXTURES: Fixtures - Older

Many fixtures in the house appear to be older and will likely need repair or replacement. Older fixtures tend to leak at the rubber washers and seals. Older drain pipes will begin to leak as they deteriorate. Due to age, it is possible that leaks may occur in the near future.

TOILETS: Fixtures - Older

Many fixtures in the house appear to be older and will likely need repair or replacement. Older fixtures tend to leak at the rubber washers and seals. Older drain pipes will begin to leak as they deteriorate. Due to age, it is possible that leaks may occur in the near future.

WATER HEATER***: View of Water Heater and Data Plate***

2020

Water heater age and location.



Limitations

PLUMBING DRAINS AND VENTS

SEWER-LINE INSPECTION NOT PERFORMED

A sewer-line inspection was not performed at the time of the inspection. Water was ran at all wet locations during the inspection, with no visual cues indicating a sewer line defect. However, issues could arise during continued use in the future. A sewer-line inspection can be performed separately for an additional charge; contact our office for pricing.

WATER SUPPLY/DISTRIBUTION***

ITEMS NOT INCLUDED AS PART OF BUILDING INSPECTION

Well, Water quality, Septic systems, Isolating relief valves/main shut off valves, Concealed plumbing, Water features, Shower pans, Water treatment systems, Fire suppression systems, Washing machine connections, Solar water heating systems, Backflow preventers

Underground portion of the main sewer pipe and supply lines is of unknown material and condition

WATER SUPPLY/DISTRIBUTION***

WATER CONDITIONING EQUIPMENT

Water conditioning equipment operation, effectiveness nor condition was evaluated during this inspection. Buyer should resolve all concerns prior to closing.

Recommendations

9.4.1 SINKS

WEAK WATER FLOW

BATHROOM 3

Low water flow was noted at the sink at the time of the inspection. There may be debris in the aerator or the shut-off may be defective. See photo(s).

Recommendation

Contact a qualified plumbing contractor.



9.4.2 SINKS

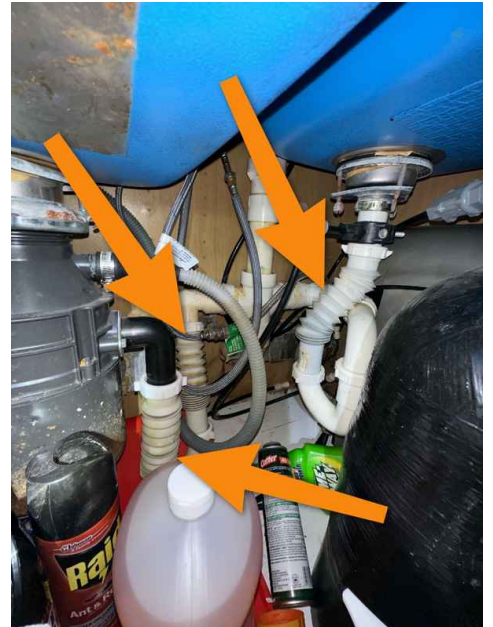
FLEX/ACCORDION PIPE

KITCHEN

Flexible drain pipe noted. This type of pipe is functional, but tends to trap debris. It may be beneficial to have a smooth wall pipe installed as a replacement to allow proper flow. See photo(s).

Recommendation

Contact a qualified plumbing contractor.



9.6.1 SHOWERS and TUBS (Plumbing)

TUB - MISSING STOPPER

BATHROOM 1

Stopper missing in the tub drain. Replace as needed. See photo(s).

Recommendation

Contact a qualified professional.



9.7.1 SHOWERS and TUBS (Non-Plumbing)

SEAL HANDLES/FAUCETS TO WALL

BATHROOM 1

Recommend sealing the gaps where the faucets/handles meet the wall to help prevent water entry and damage into the wall cavity behind. See photo(s).

Recommendation

Contact a qualified professional.



9.8.1 WATER HEATER***

OVERFLOW PAN MISSING (GARAGE)

Over-flow pan not installed under the water heater. Pans are intended to receive any leaks from the water heaters and should be piped to the exterior or a safe location where it cannot cause damage to the surrounding areas. Most manufacturers specs call for a pan to be installed under the tank. Water heater is installed in an unfinished garage and it is likely that a leak from the tank would not cause significant damage to any finished surfaces. Install as needed. See photo(s).

Recommendation

Contact a qualified plumbing contractor.



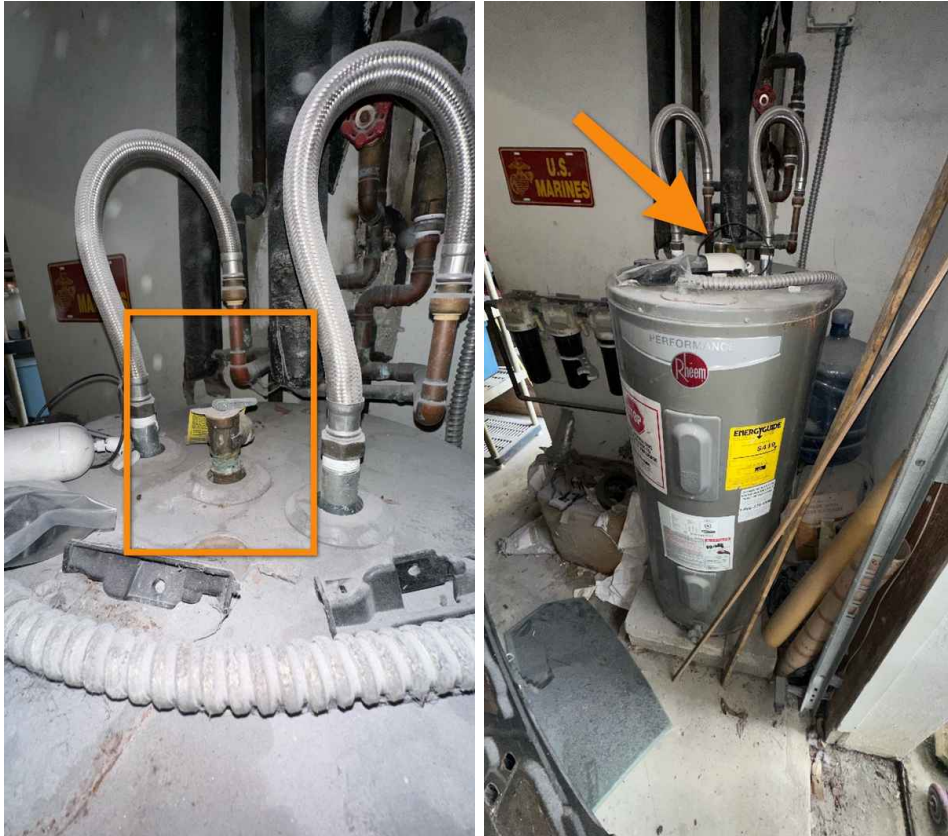
9.8.2 WATER HEATER***

MISSING DISCHARGE PIPE

Drain pipe for the Temperature & Pressure Relief Valve is missing for the water heater. This pipe should extend to the exterior or safe location as it may purge extremely hot or high pressure water. This is a potential safety issue. See photo(s).

Recommendation

Contact a qualified plumbing contractor.



9.8.3 WATER HEATER***

DRAIN PIPE CLEARANCE

Discharge pipe for the water heater does not terminate within approved specifications to the surface. Pipe should be no more than 6" above the surface but not less than 2 pipe diameters to the surface (1.5"). Correction needed on the length and clearance of the relief valve drain pipe. See photo(s).

Recommendation

Contact a qualified plumbing contractor.



10: STRUCTURAL

		IN	NI	NP	R
10.1	ROOF STRUCTURE & ATTIC	X			
10.2	CEILINGS (structural)	X			
10.3	WALLS (Structural)	X			
10.4	FLOORS (Structural)	X			
10.5	WATER ENTRY AGAINST FOUNDATION	X			
10.6	Water stains wet	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

ROOF STRUCTURE & ATTIC: Attic Framing

2x4 Trusses 24" On Center

Access is limited to the walk areas provided.

ROOF STRUCTURE & ATTIC: Method used to observe attic

From entry

WALLS (Structural): Wall Structure

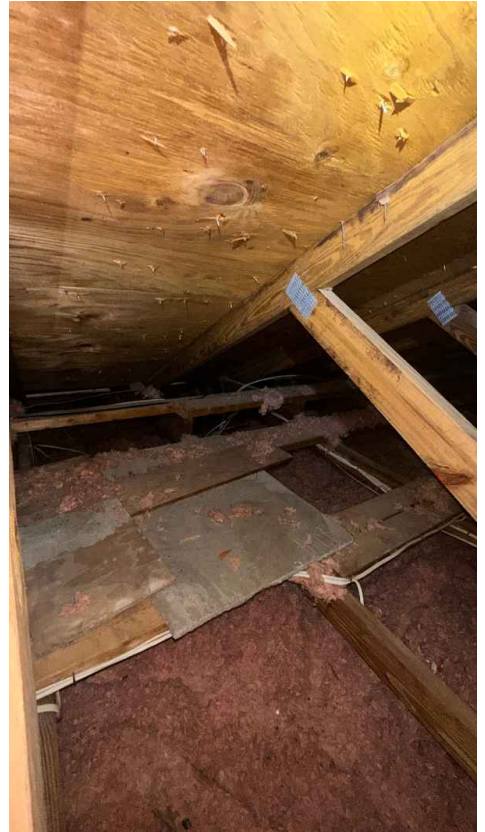
Concrete block

FLOORS (Structural): Floor Structure

2x4 Floor Trusses

ROOF STRUCTURE & ATTIC: Views of Attic

View of attic.



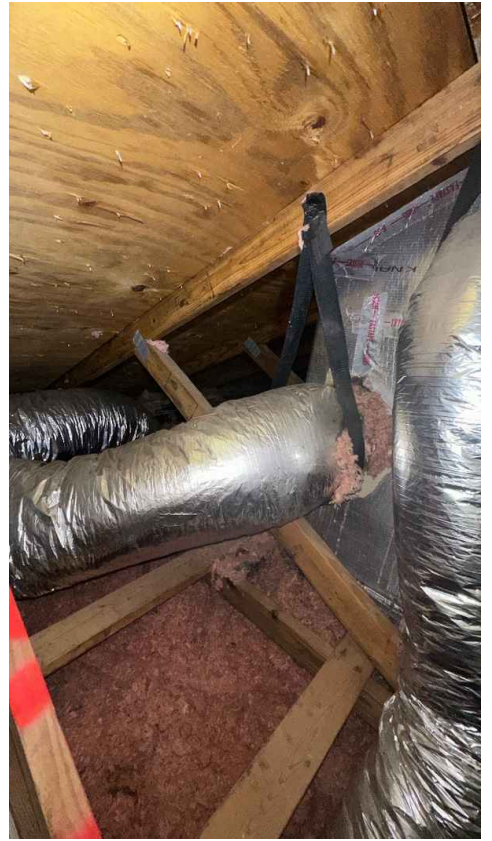


Limitations

ROOF STRUCTURE & ATTIC

ATTIC - PARTIALLY INACCESSIBLE (CLEARANCE)

Parts of the attic space were observed from the closest point possible due to low clearance which limited physical entry. Inspector makes the best effort to inspect all parts of the attic area. See photo(s).



CEILINGS (structural)
LIMITED VISUAL

Limited visual of ceiling joist due to insulation cover.

WALLS (Structural)

LIMITED VISUAL

Limited visual of structural wood wall framing due to finish material covering wall.

FLOORS (Structural)

INSULATION LIMITS VISUAL

Insulation limited the visual of some structural framing, some electrical/plumbing and other components beneath or behind the insulation. Inspection is the visual type and components hidden behind insulation were not visible nor inspected. Insulation was not removed for further inspection.

11: INSULATION AND VENTILATION***

		IN	NI	NP	R
11.1	INSULATION IN ATTIC	X			
11.2	VENTILATION OF ATTIC AND FOUNDATION	X			
11.3	KITCHEN and BATHROOM VENTS	X			X
11.4	LAUNDRY VENTS	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

INSULATION IN ATTIC: Type of Attic Insulation

Blown

VENTILATION OF ATTIC AND FOUNDATION: Roof Ventilation

Soffit Vents, Turtle/Box Vents, Turbines

LAUNDRY VENTS: View of Dryer Vent Termination

Roof

LAUNDRY VENTS: Dryer Duct General Information

Dryer duct maintenance is often overlooked and failure to care for the vent can lead to adverse conditions in the home. Lint build up and clogs in dryers can lead to fires in the home. It is important that the duct and outlet damper be periodically cleaned and checked to ensure it is in good condition. Dryer ducts in attics and crawlspaces often become damaged, loose and detached which allows the warm, damp exhaust to vent inside the house, attic or crawlspace. It is best to check for good flow from the dryer outlet damper with the dryer running.

Limitations

INSULATION IN ATTIC

INSULATION LIMITS VISUAL (ATTIC)***

Insulation limited the visual of some structural framing, some electrical/plumbing and other components beneath or behind the insulation. Inspection is the visual type and components hidden behind insulation were not visible nor inspected. Insulation was not removed for further inspection.

Recommendations

11.3.1 KITCHEN and BATHROOM VENTS

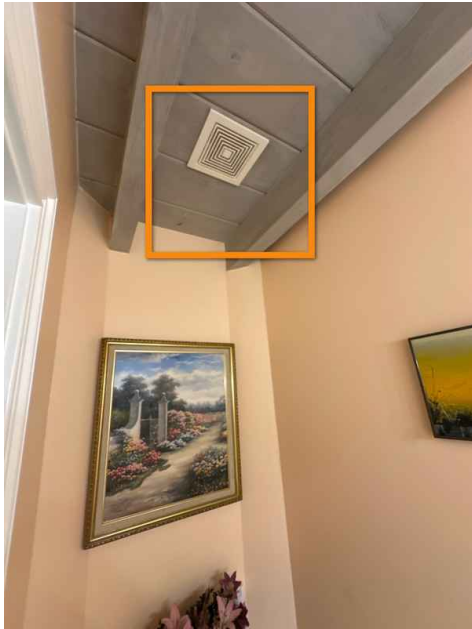
BATH VENT NOT WORKING

BATHROOM 1

Bath vent(s) did not work when tested. These are needed to remove moisture and odors from the bath area. See photo(s).

Recommendation

Contact a qualified professional.



12: BUILT-IN APPLIANCES***

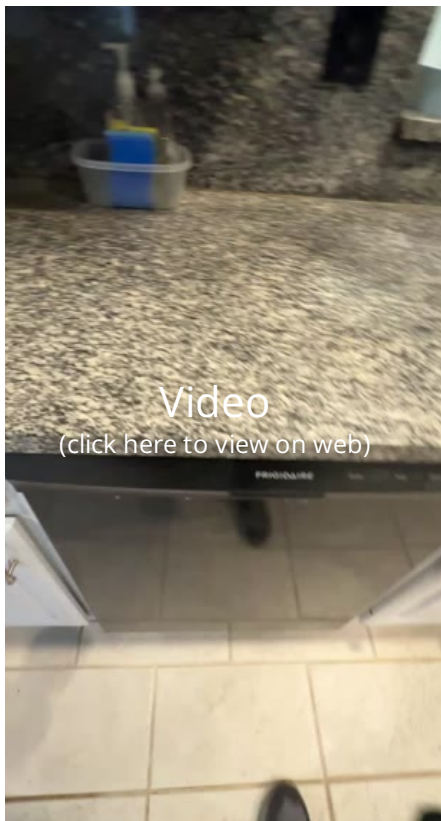
		IN	NI	NP	R
12.1	OVERALL CONDITION	X			
12.2	DISHWASHER	X			X
12.3	RANGES/OVENS/COOKTOPS	X			X
12.4	VENT HOOD/DOWN DRAFT	X			
12.5	GARBAGE DISPOSAL	X			
12.6	MICROWAVE	X			
12.7	REFRIGERATOR	X			
12.8	WASHER/DRYER***	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendation

Information

DISHWASHER: Video of Dishwasher

Dishwasher was operational at time of inspection. Unit was tested for basic function. The efficiency of the unit is not known.



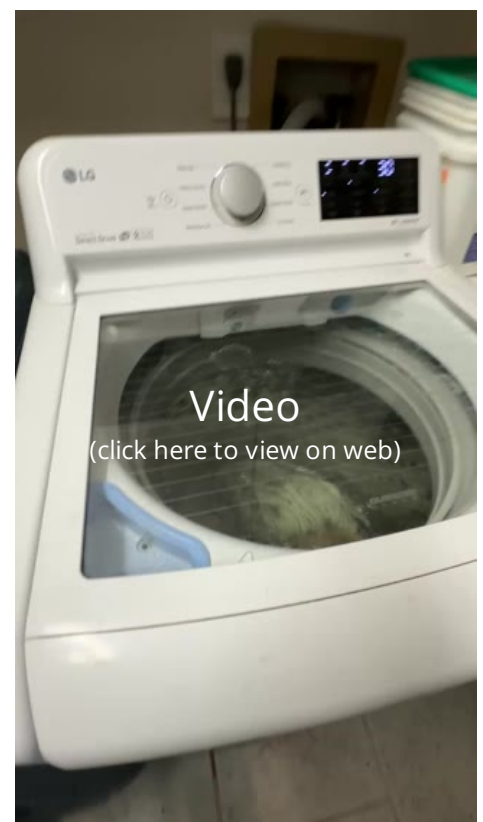
RANGES/OVENS/COOKTOPS: View of Oven On

Oven was operational at time of inspection. Unit was tested for basic function.



WASHER/DRYER***: Video of Washer and Dryer

Tested



RANGES/OVENS/COOKTOPS: View of Range On

Range was operational at time of inspection. Unit was tested for basic function.



REFRIGERATOR: Refrigerator Works

Refrigerator was operational at time of inspection. Unit was tested for basic function

Recommendations

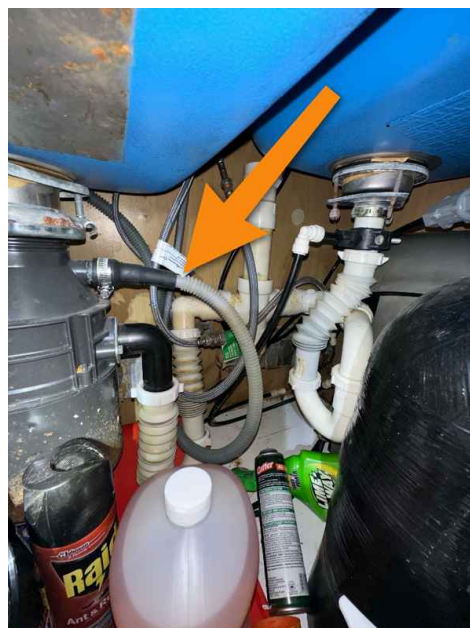
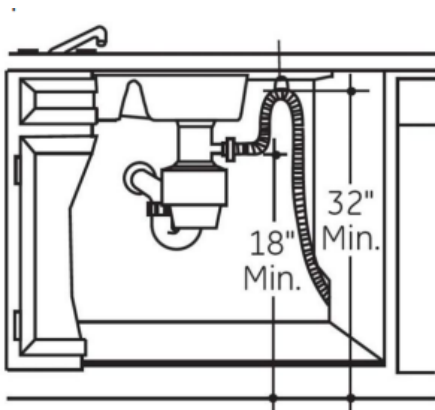
12.2.1 DISHWASHER

DRAIN LOOP

Drain line for the dishwasher is not installed properly. This line should loop above the sink drain line to prevent potential garbage and debris from entering into the dishwasher. Recommend to have this condition corrected. See photo(s).

Recommendation

Contact a qualified appliance repair professional.



12.3.1 RANGES/OVENS/COOKTOPS

ANTI-TIP BRACKET

Anti tip bracket is not installed on the oven. These brackets help prevent a free standing over from tipping forward. These are recommended by the manufacturers. Install as needed. See photo(s).

Recommendation

Contact a qualified professional.



STANDARDS OF PRACTICE

Inspection Details

61-30.801 Standards of Practice, General.

- (1) Home inspections performed to these Standards of Practice are intended to provide the client with information regarding the overall condition of installed systems and components of the home based on observation of the visible and apparent condition of the structure and components at the time of the home inspection and to report on those systems and components inspected that, in the professional opinion of the inspector, are significantly deficient or at the end of their service lives. A home inspection does not include the prediction of future conditions.
- (2) These standards shall not be construed as limiting the scope of the inspection process in those areas where the inspector is qualified and/or has special knowledge.
- (3) The inspector shall inspect readily accessible, installed systems and components of homes listed in these Standards of Practice by using normal operating controls and opening readily operable access panels. Where multiple instances of the same component exist, a representative number shall be inspected.
- (4) The inspector shall inspect and report as required by Section 468.8323, F.S., when required by these standards, systems or components by their type and/or significant characteristics.
- (5) If not self-evident to the client at the time of inspection, the inspector shall give a reason why, in his or her opinion, the system or component was reported as significantly deficient or near the end of its service life.
- (6) The inspector shall make recommendations for correction and/or monitoring, or further evaluation of the deficiencies that the inspector observed.
- (7) These Standards of Practice do not limit inspectors from:
 - (a) Including other inspection services, in addition to those required by these Standards of Practice;
 - (b) Specifying repairs, provided the inspector is appropriately qualified;
 - (c) Excluding systems and components from the inspection if agreed upon in writing by the inspector and client.

Roof ***

61-30.805 Standards of Practice, Roof Covering.

- (1) Roof covering systems and components include the following: (a) Roofing materials; (b) Flashings; (c) Skylights, chimneys, and roof penetrations; (d) Roof drainage systems; (e) Ventilation of attics; and (f) Insulation of attics.
- (2) The inspector shall inspect all of the visible and readily accessible roof covering systems and components.
- (3) **The inspector is not required to inspect:** (a) Components or systems that are not readily accessible; (b) Antenna or other installed accessories; (c) Interiors of flues or chimneys which are not readily accessible.
- (4) The inspector is not required to walk on the roof surface when, in the opinion of the inspector, the following conditions exist: (a) Roof slope is excessive to safely walk on; (b) There is no safe access to the roof; (c) Climatic conditions render the roof unsafe to walk on; (d) Condition of the roofing material or roof decking renders the roof unsafe to walk on;
- (e) Walking on the roof may cause damage to the roof covering materials; and (f) Walking will place any liability or danger to the homeowner or other representatives involved in the home inspection process.
- (5) The inspector is not required to disturb insulation.

The complete water tightness of a roof may be unknown unless there is heavy rainfall during the inspection which produces visible signs of water. The COMPANY does not guarantee that the roof will remain leak free for any period of time. This inspection does not include hail damage. The roof may not have been mounted. During times of extreme weather conditions, such as heavy rains or tropical storms, water entry or leaks may occur throughout areas of the roof, which may not be points of water entry in normal weather patterns, and may not be evident at the time of inspection. The roof inspection is completed with consideration given for the age of the roof shingle and normal wear and tear.

Asphalt/fiberglass shingles have a normal life of 15-20 years, depending on weather conditions, before needing replacement. If your roof falls within this age range, replacement or repairs should be expected in the near future and should be evaluated by a licensed roofing contractor.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Exterior***

61-30.810 Standards of Practice, Exterior Components.

(1) Exterior systems and components include the following:

(a) Exterior wall cladding/siding, flashing and trim; (b) All exterior doors; (c) Attached decks, balconies, stoops, steps, porches, and their associated railings; (d) Eaves, soffits and fascias where accessible from the ground level; (e) Walkways, patios, and driveways leading to the dwelling entrances.

(2) The inspector shall inspect all of the visible and readily accessible exterior systems and components.

(3) The inspector is not required to inspect: (a) Window and door screening, shutters, awnings, and similar seasonal or protective accessories and devices; (b) Fences; (c) Recreational facilities; (d) Outbuildings; (e) Swimming pools, seawalls, break-walls, boat lifts and/or docks.

(4) The inspector is not required to move furniture, appliances, lawn and garden equipment, tools, stored items, wall decorations, floor covering, clothing or any items that block the view and access to components or structures.

The inspector is not required to: 1. Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; 2. Fences; 3. For the presence of safety glazing in doors and windows; 4. Garage door operator remote control transmitters; 5. Geological conditions; 6. Soil conditions; 7. Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), except as otherwise provided in this rule; 8. Detached buildings or structures; or 9. For the presence or condition of buried fuel storage tanks. **Trim or structural rot may be present on wood and building components not reported on due to weather, concealment, or occupancy conditions during the inspection.**

The inspector shall inspect: Attached decks, balconies, stoops, steps, porches, and their associated railings; The inspector shall inspect for basic function only and report any significant deficiencies or unsafe conditions.

The inspector is not required to: Inspect for current code or cosmetic issues. Inspect attachment methods concealed behind walls or ceilings. **Trim or structural rot may be present on wood and building components not reported on due to weather, concealment, or occupancy conditions during the inspection.**

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Garage ***

The inspector shall inspect: All readily accessible and visible garage door components and test basic function of the garage doors and garage vehicle door operators with installed wall controls. The occupant door between the garage and dwelling.

The inspector shall: 1. Operate garage doors manually or by using permanently installed controls for any garage door operator; 2. Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and

The inspector is not required to: Remove any personal belongings.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a

qualified contractor prior to closing.

Patio / Porch***

The inspector shall inspect: The decks, stoops, steps, stairs, porches, and railings readily accessible from the ground or from the occupant side of the deck, stoop, or porch. The inspector shall inspect for basic function only and report any significant deficiencies or unsafe conditions.

The inspector is not required to: Inspect for current code or cosmetic issues. Inspect attachment methods concealed behind walls or ceilings. **Trim or structural rot may be present on wood and building components not reported on due to weather, concealment, or occupancy conditions during the inspection.**

If the deck is over 10 years old, periodic repairs/replacement of deck floor boards and framing members will be required as normal maintenance. Deck boards will weather over time and will require replacement.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Interior***

61-30.807 Standards of Practice, Interior Components.

(1) The interior components that shall be inspected include the following: (a) Interior walls, ceilings, and floors; (b) Steps, stairways, and railings; (c) Countertops and representative number of installed cabinets; (d) Garage doors; *Separate Garage Section in this report. See for details;* (e) Interior and exterior doors and windows and their operating locks and latches or other opening mechanisms; (f) Insulation and vapor retarders in unfinished spaces; *See Insulation and Ventilation Section in this report for more details;* (g) Fireplaces and solid fuel burning appliances; *See HVAC section in this report for more details on fireplaces* (h) Vent systems, flues, and chimneys; *See HVAC Section in this report for more details on venting* (i) Household appliances. *See Built-In Kitchen Appliance Section in this report for more details*

(2) The inspector shall inspect all of the visible and readily accessible interior components that have not been excluded in the scope of services disclosure. When inspecting doors and windows, the inspector may inspect a representative number of doors and windows. The inspector shall inspect household appliances to determine whether the appliances are significantly deficient using normal operating controls. Inspectors will not operate systems or appliances if they have been excluded in the scope of services disclosure or if there is a risk to the property being inspected. Inspectors will first review the system to be operated and use professional judgment as to whether it is safe to operate using normal operating controls and report accordingly. *Built-in Kitchen Appliance Section details further down in this report.*

(3) The inspector is not required to inspect:

(a) Paint, wallpaper, window treatments, and other specialty finish treatments; (b) Carpeting; (c) Window treatments; (d) Central vacuum systems; (e) Recreational facilities; (f) Fire screens and doors, if not permanently attached; (g) Seals and gaskets on fireplaces; (h) Automatic fuel feed devices; (i) Mantles and fireplace surrounds; (j) Combustion make-up air devices; (k) Heat distribution assists whether gravity controlled or fan assisted in fireplaces.

(4) The inspector is not required to:

(a) Open or operate any windows or doors and access covers that are permanently or temporarily secured by mechanical means, are painted shut, or are blocked by stored items or furniture; (b) Ignite or extinguish fires; (c) Light gas fireplaces or heaters, or other unlit pilot light devices; (d) Determine draft characteristics for fireplaces and chimneys; (e) Move fireplace inserts or stoves or firebox contents; (f) Disturb insulation; (g) Activate any system or appliance that is shut down, disconnected, or otherwise rendered inoperable; (h) Operate or evaluate any system, component or appliance that does not respond to normal user controls; (i) Operate any gas appliance that requires the manual lighting of a pilot light or burner device; (j) Operate any system, appliance or feature that requires the use of special codes, keys, combinations, or devices or where user manual reference is required; (k) Operate any system, component, or appliance where in the opinion of the inspector, damage may occur; (l) Determine thermostat(s) calibration, adequacy of heating elements, operate or evaluate self cleaning cycles, door seals, indicator lights, timers, clocks or timed features, defrost cycles or frost free features, or other specialist features as it applies to the appliance device; (m) Determine leakage from microwaves ovens; (n) Determine the presence or operation of back draft damper devices in exhaust devices; (o) Move any appliance;

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

HVAC

61-30.804 Standards of Practice, HVAC Systems.

(1) HVAC systems and components include heating and air conditioning systems and components and HVAC distribution systems and components.

(2) Heating and air conditioning systems and components.

(a) The heating and air conditioning (HVAC) systems and components include the following:

1. Installed heating equipment;
2. Fuel storage and fuel distribution systems;
3. Vent systems, flues, and chimneys;
4. Ductwork and air distribution components;
5. Mechanical ventilation systems;
6. Heating system energy source(s);
7. Heating system capacity in BTUs or kilowatts.

(b) The inspector shall inspect all readily accessible heating and air conditioning systems and components.

(c) The inspector is not required to inspect:

1. Interiors of flues or chimneys which are not readily accessible;
2. Heat exchangers;
3. Humidifiers or dehumidifiers;
4. Electronic air filters, sanitizers, or UV lights;
5. Solar space heating systems;
6. Internal components such as coils and pans.

(3) HVAC distribution systems and components.

(a) The heating and air conditioning (HVAC) distribution systems and components include the following:

1. Energy source;
2. Cooling method by its distinguishing characteristics;
3. The presence of condensate over flow warning/shutoff devices.

(b) The inspector shall inspect readily accessible HVAC distribution systems.

(c) With regards to HVAC distribution systems, the inspector is not required to inspect:

1. Electronic air filters, sanitizers, or UV lights;
2. Humidistats;
3. Automatic HVAC zoned systems, dampers, controls, that are not readily accessible;
4. Removable window air conditioning systems.

(4) The inspector is not required to:

(a) Determine heat supply adequacy or distribution balance;

(b) Operate heat pump systems when ambient temperatures pose the potential for damage to the air conditioning system;

(c) Determine cooling supply adequacy, distribution balance or indoor air quality;

(d) Operate the air conditioning system when ambient temperatures pose the potential for damage to the air conditioning system.

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This inspection does not include the interior section of ductwork or HVAC systems for mold, dirt, or harmful substances since the interior of the ductwork and/or HVAC system is not accessible or visible.

The typical life span of heating and cooling systems is 20-25 years and 8-15 years respectively. If your systems fall within this range, you should expect failure and the need for repairs or replacement. All systems should be serviced bi-annually as a part of routine home owner maintenance.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Electrical

61-30.803 Standards of Practice, Electrical Systems.

(1) Electrical systems and components include the following: (a) Service entrance conductors, drip loop, cables, and raceways; (b) Main service equipment and main disconnects; (c) Service grounding; (d) Interior components of main service panels and sub panels; (e) Conductors; (f) Over current protection devices; (g) Readily accessible installed lighting fixtures, switches, and receptacles; (h) Ground fault circuit interrupters; (i) Amperage and voltage rating of electrical service; (j) Main disconnect(s); (k) Methods or types of wiring; (l) Smoke detectors; (m) Carbon monoxide detectors; (n) Arc fault circuit interrupters.

(2) The inspector shall inspect all of the visible and readily accessible electrical systems and components.

(3) The inspector is not required to inspect: (a) Remote control devices; (b) Security alarm systems and components; (c) Low voltage wiring, systems and components, ancillary wiring and systems and components not a part of the primary electrical power distribution system; (d) Generators, photovoltaic solar collectors or battery or electrical storage devices and associated equipment.

(4) The inspector is not required to: (a) Measure amperage, voltage or impedance; (b) Perform a load calculation; (c) Insert any tool, probe, or device into any electrical component; (d) Determine the accuracy of circuit labeling.

The electrical is inspected while giving consideration to the age of the system and older systems are not inspected to modern standards.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Plumbing***

61-30.806 Standards of Practice, Plumbing System.

(1) Plumbing systems and components include the following: (a) Interior water supply piping and distribution systems including all fixtures, faucets, and components; (b) Drain, waste and vent systems, including all plumbing fixtures; (c) Plumbing related vent systems, flues, and chimneys; (d) Drainage sumps, sump pumps, and related piping; (e) Materials used for water supply, drain, waste, and vent piping; (f) Water heating equipment including the energy source; (g) Main water and main fuel shut-off valves.

(2) The inspector shall inspect all of the visible and readily accessible plumbing systems and components.

(3) **The inspector is not required to inspect:** (a) Wells or water storage related equipment; (b) Water conditioning systems; (c) Solar water heating systems; (d) Fire sprinkler systems;

(e) Private waste disposal systems; (f) Irrigation system(s).

(4) The inspector is not required to: (a) Test shower pans, tub and shower surround for leakage; (b) Operate safety valves or shut-off valves; (c) Determine whether water supply and waste disposal systems are public or private; (d) Determine the quantity or quality of the water supply, or if the function flow at the time of the inspection or thereafter will meet the client's needs.

This inspection will not determine the condition of the underground main water pipe or main sewer pipe. The type of material used for the underground main water pipe and sewer pipe is unknown and can not be inspected. Cast iron drain pipe has a life expectancy of approx. 40-60 years before corrosion and rust will occur. If the home has cast iron drain pipes, there is the possibility that repairs/replacement will be needed in the near future. It is recommended that any cast iron drain lines still in use in the home be further evaluated by

a plumber. Also, a sewer scope is recommended to assess the condition of the main underground sewer pipe as this condition is unknown to the general home inspector.

The typical life span of water heaters is 10-12 years. If your water heater falls within this range, you should expect failure and the need for replacement in the near future.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Structural

61-30.802 Standards of Practice, Structure.

(1) Structural system and components include the following: (a) Foundation; (b) Floor structure; (c) Wall structure; (d) Ceiling structure; (e) Roof structure; (f) Posts; (g) Beams; (h) Columns; (j) Joists; (k) Rafters; (l) Trusses; (m) Other framing; and (n) Ventilation of foundation areas.

(2) The inspector shall inspect all of the visible structural systems and components by probing structural components where deterioration is visible or suspected or where clear indications of possible deterioration exist. Probing is not required when, in the opinion of the inspector, probing would only further damage any area already identified as defective or where no deterioration is visible or presumed to exist.

(3) The inspector is not required to enter or traverse any under-floor crawl space or attic, if in the opinion of the inspector: (a) An unsafe or unsanitary condition exists; (b) Enter areas in which inadequate clearance exists to allow the inspector safe entry or traversing; (c) The potential exists to cause damage to insulation, ductwork, other components or stored items.

(4) The inspector is not required to provide any engineering or architectural services or offer an opinion as to the adequacy of any structural system or component.

The inspection is in no way a guarantee that the home will remain water tight in the future. The inspector can only report on the conditions present at the time of inspection. While every attempt will be made to locate any current water entry, the buyer should be aware that future water entry may occur due to weather conditions and other causes that were not present during the home inspection.

Any mold related comments in this report are only inserted as a courtesy to the buyer. The scope of this inspection does not include a full mold evaluation of the home. There is always the possibility that mold will be present in areas that are not accessible or visible or that mold will grow in the home after the inspection. If mold conditions are suspected or if there is a mold concern, mold testing is recommended to be completed prior to closing.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Insulation and Ventilation***

The inspector shall inspect: 1. Insulation and vapor retarders in unfinished spaces; 2. Ventilation of attics and foundation areas; 3. Kitchen, bathroom, and laundry venting systems; and 4. The operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control.

The inspector shall describe: 1. Insulation in unfinished spaces; and 2. The absence of insulation in unfinished space at conditioned surfaces.

The inspector is not required to: Inspect any concealed insulation and vapor retarders, or venting equipment that is integral with household appliances. Disturb insulation or report on the adequacy or energy efficiency of any items. Inspect any concealed or the interior sections of vent pipes or flues.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.

Built-In Appliances***

Inspector shall inspect all of the visible and readily accessible interior components that have not been excluded in the **scope of services disclosure**. The inspector shall inspect household appliances to determine whether the appliances are significantly deficient using normal operating controls. Inspectors will not operate systems or appliances if they have been excluded in the **scope of services disclosure** or if there is a risk to the property being inspected. Inspectors will first review the system to be operated and use professional judgment as to whether it is safe to operate using normal operating controls and report accordingly.

The inspector shall inspect and operate the basic functions of the following kitchen appliances: 1. Permanently installed, dishwasher(s) through a normal cycle; 2. Range(s), cook top(s), and permanently installed oven(s); 3. Garbage disposal(s); 4. Ventilation equipment or range hood(s); and 5. Permanently installed microwave oven(s).

The inspector is not required to inspect: Non built-in appliance, activate any system or appliance that is shut down, disconnected, or otherwise rendered inoperable. Washers and dryers and their components/hook ups were not tested since they are not built-in units. Refrigerators, coolers, freezers or any similar equipment was not part of this inspection.

(h) Operate or evaluate any system, component or appliance that does not respond to normal user controls;

(i) Operate any gas appliance that requires the manual lighting of a pilot light or burner device;

(j) Operate any system, appliance or feature that requires the use of special codes, keys, combinations, or devices or where user manual reference is required;

(k) Operate any system, component, or appliance where in the opinion of the inspector, damage may occur;

(l) Determine thermostat(s) calibration, adequacy of heating elements, operate or evaluate self cleaning cycles, door seals, indicator lights, timers, clocks or timed features, defrost cycles or frost free features, or other specialist features as it applies to the appliance device;

(m) Determine leakage from microwaves ovens;

(n) Determine the presence or operation of back draft damper devices in exhaust devices;

(o) Move any appliance;

Kitchen appliances last approximately 9-15 years before needing repairs or replacement.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any recommendations by the inspector should be followed up with a qualified contractor prior to closing.