

## **JOSEPH VOLKSWAGEN PUD APPLICATION**

### **3732 MONTGOMERY ROAD, NORWOOD, OH**

The Joseph Family, by and through counsel for their real estate entity, Pond Realty Company, an Ohio corporation, submits this Application for Combined Preliminary and Final PUD Approval to accommodate the relocation and redevelopment of a new Volkswagen dealership in the City of Norwood. The Joseph Family is looking forward to maintaining its long standing relationship with the City of Norwood.

The Joseph Family currently operates a Volkswagen dealership on property it leases located at the corner of Cleneay Avenue and Montgomery Road. Volkswagen Corporate has mandated that The Joseph Family improve the dealership and relocate it to a larger property to accommodate additional inventory and the anticipated growth in the number of employees and the business. To this end, The Joseph Family has acquired approximately 3.35 acres of property east of Montgomery Road, south of Lexington Avenue, and north of the Wasson Way Bike Trail, which property has sat vacant for well over a decade and is approximately 355 feet from the existing dealership location. The new development will consist of (as more specifically set forth in the Application) a 30,210 sq. ft. Volkswagen dealership with supporting parking, landscaping, and lighting. The enclosed plans have been fully vetted with Volkswagen Corporate who has the final decision making authority regarding the site design and layout. Due to the unique configuration of the property, great thought has gone into the site layout and location of improvements and landscaping, which furthers the creative and imaginative objectives of Norwood's PUD regulations.

The Development Team was charged with the task of ensuring that the southern property line of the subject property which abuts the Wasson Way Bike Trail, is something that both the Joseph Family and the City of Norwood could be proud of. Specifically, as noted in Tab E, Pages 10, 11, and 14 of the attached Plan, the Joseph Family will commit, if the City of Cincinnati so permits, to improve part of the Wasson Way Bike Trail property with additional landscaping, a bike rack, an air hose, and a drinking fountain (with a dog bowl). These improvements, coupled with what already exists, elevates functionality of this portion of the Wasson Way Bike Trail as it approaches Montgomery Road. The Joseph Family will use its best efforts to obtain approval from the City of Cincinnati to implement these improvements on the property which is owned by the City of Cincinnati and outside of the municipal limits of the City of Norwood. In light of the environmentally sensitive aesthetic enhancements this PUD will provide in conjunction with improvement of the Wasson Way Bike Trail at the gateway to the City of Norwood, the proposed Planned Unit Development will certainly benefit the neighborhood in which it will be established. Furthermore, on a larger scale, this creative and imaginative PUD will also benefit the City of Norwood as a whole and is consistent with the intent and objectives for Planned Unit Developments.

The Joseph Family looks forward to making presentations to the Planning Commission and Council on this exciting new development and once approved, The Joseph Family will continue its long-standing presence in the City of Norwood.

**JOSEPH VOLKSWAGEN (POND REALTY COMPANY) SUPPLEMENTAL  
NARRATIVE TO PUD APPLICATION SUBMITTED 9-14-2020**

Pursuant to Section 3 of Ordinance 28-2014 and Chapter 1155 "Planned Unit Development" of the Planning and Zoning Code, the submitted application seeks to modify and remove the requirements set forth in Section 2. B. Automotive Service and Repair and Section 2. H. Sale of New Motor Vehicles of Ordinance 28-2014. The requested modification seeks to promote and permit maximum development potential, high quality architecture, and pedestrian oriented design.

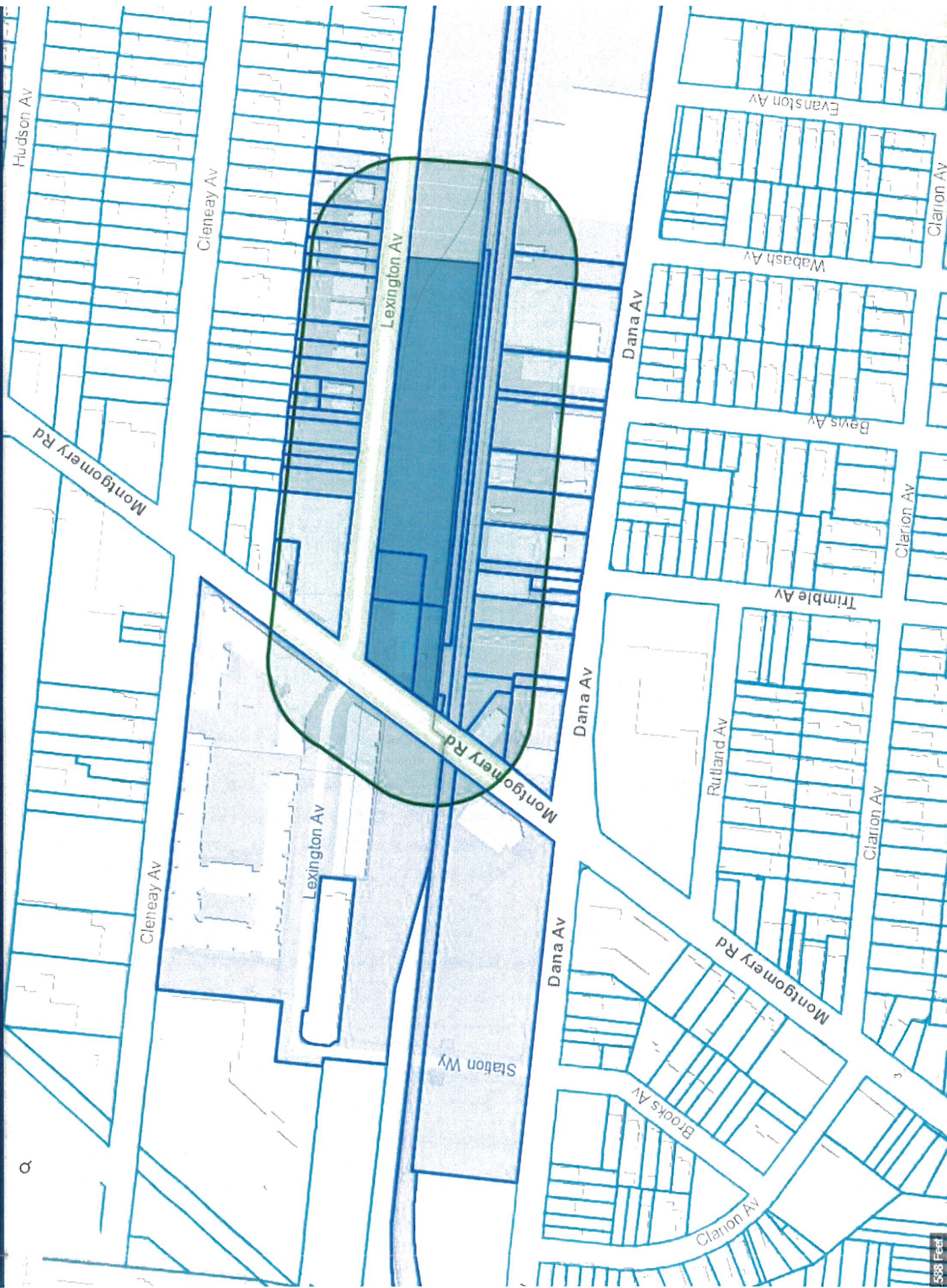
Sincerely,



Peter A. Saba  
(513) 533-2701  
[pas@sspfirm.com](mailto:pas@sspfirm.com)  
Thomas M. Tepe, Jr.  
(513) 639-3947  
[ttepe@kmklaw.com](mailto:ttepe@kmklaw.com)  
**Counsel for Pond Realty Company**







Owner	Owner_Address	City_State_Zip
XAVIER UNIVERSITY	3800 VICTORY PKWY	CINCINNATI OH 45207
DUKE ENERGY OHIO INC	139 EAST FOURTH ST ATTN: REAL ESTATE DEPT	CINCINNATI OH 45202
STONE LANES	3746 MONTGOMERY RD	CINCINNATI OH 45212
STONE LANES	3746 MONTGOMERY RD	CINCINNATI OH 45212
STONE LANES	3746 MONTGOMERY RD	CINCINNATI OH 45212
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STONE LANES	3746 MONTGOMERY RD	CINCINNATI OH 45212
ZAPPASODI FRANK & GABRIELLA	2677 FALCONBRIDGE DR	CINCINNATI OH 45238
XUPROP CO	3800 VICTORY PKY	CINCINNATI OH 45207
XUPROP CO	643 W COURT ST	CINCINNATI OH 45203
RUEVE DAVID T	3700 MONTGOMERY RD	CINCINNATI OH 45207
RUEVE GROUP LLC	3700 MONTGOMERY RD	CINCINNATI OH 45207
RUEVE GROUP LLC	3700 MONTGOMERY RD	CINCINNATI OH 45207
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
RUEVE DAVID T	3700 MONTGOMERY RD	CINCINNATI OH 45208
RUEVE GROUP LLC	3700 MONTGOMERY RD	CINCINNATI OH 45207
MUSKIES LLP	1832 DANA AVE	CINCINNATI OH 45207
WILLIAMS KENARD THOMPSON & JAMES E WILLIAMS	1836 DANA AVE	CINCINNATI OH 45207
J E W PROPERTIES LLC	1836 DANA AVE	CINCINNATI OH 45207
DANA CENTER LTD	946 REDWAY AVE	CINCINNATI OH 45229
DANA CENTER LTD	946 REDWAY AVE	CINCINNATI OH 45229
POND REALTY DANA LLC	250 E FIFTH ST SUITE 285	CINCINNATI OH 45202
DANA AVENUE INVESTMENT LLC	1924 DANA AVE	CINCINNATI OH 45207
DANA AVENUE INVESTMENT LLC	1924 DANA AVE	CINCINNATI OH 45207
MYRTLE ACCOUNT THE	1910 DANA AVE	CINCINNATI OH 45207
MYRTLE ACCOUNT THE	1910 DANA AVE	CINCINNATI OH 45207
EWERS AND MCCOLLOM COMPANY INC	1902 DANA AVE	CINCINNATI OH 45207
EWERS AND MCCOLLOM COMPANY INC	1902 DANA AVE	CINCINNATI OH 45207
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
POND REALTY COMPANY	250 EAST FIFTH ST #285	CINCINNATI OH 45202
BRYAN CARLIER LLC	86 WATCH HILL	NEWPORT KY 41071
CARLIER BRYAN	86 WATCH HILL LN	NEWPORT KY 41071
XU HOLDINGS LLC	6735 MIAMI WOODS DR	LOVELAND OH 45140
JHSN3 LTD	7672 MONTGOMERY RD #305	CINCINNATI OH 45236
LAGEMANN MARK	1962 LEXINGTON AVE	CINCINNATI OH 45212
BFT GROUP LLC	1960 LEXINGTON AVE	CINCINNATI OH 45212
LEXINGTON AVE HOLDINGS LLC	216 LAKELAND DR	LEWISVILLE TX 75077
HUFF DOUGLAS J	1944 LEXINGTON AVE	CINCINNATI OH 45212
STONE LANES	1942 LEXINGTON AVE	CINCINNATI OH 45212
STONE LANES	3746 MONTGOMERY RD	CINCINNATI OH 45212
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### Legal Description

Description: City of Cincinnati Land  
Part of Wasson Way Trail  
Parcel - 0.2696 Ac.

Location: City of Cincinnati  
Hamilton County, Ohio

Situated in, Section 3, Town 3, Fractional Range 2, Between the Miami's, Mill Creek Township, The City of Cincinnati, Hamilton County, Ohio being part of the lands of City of Cincinnati as recorded in Official Record 13259, Page 1793 of the Hamilton County Recorder's Office containing 0.2696 acre and being further described as follows:

Commencing at the intersection of the southerly right of way line of Lexington Avenue (60') and the westerly right of way line of Regent Avenue (60'), also being the northeast corner of Lot 31 Cleneay's Subdivision as recorded in Plat Book 9, Page 10; thence, South 06° 08' 00" West, 151.85 feet to a found 5/8" iron pin with cap at the southeast corner of Pond Realty Company as recorded in O.R. 13547, Page 764, being on the northerly Corporation line for the City of Cincinnati; thence, along the southerly line of said Cleneay's Subdivision and said Corporation line, North 83° 52' 29" West, 670.09 feet to a set 5/8" iron pin with cap and the **True Point of Beginning**;

thence, from the **True point of Beginning**, and leaving said Cleneay's Subdivision line and said Corporation line with a new division line through said City of Cincinnati land the next four courses:  
South 05° 42' 39" West, 11.82 feet to a set 5/8" iron pin with cap;

thence, North 84° 17' 21" West, 673.11 feet to a set 5/8" iron pin with cap;

thence, North 83° 37' 37" West, 130.99 feet to a set 5/8" iron pin with cap;

thence, North 06° 07' 31" East, 16.13 feet to a set 5/8" iron pin with cap on the south line of said Cleneay's Subdivision, and said Corporation Line;

thence, along said Pond Realty Company line, said Corporation line, and south line of said Cleneay's Subdivision, South 83° 52' 29" East, 804.00 feet to the **True Point of Beginning** containing 0.2696 acre, more or less and subject to all easements and rights of way of record.

This conveyance is a transfer between adjoining lot owners made in compliance with Section 711.001, Subsection (B)(1) Ohio Revised Code, and does not create an additional building site nor violate any zoning regulation or other public regulation in the parcel hereby conveyed, or the balance of the parcel retained by the grantor herein. The parcel hereby conveyed may not hereafter be conveyed separately from the grantee's adjoining parcel nor any structure erected thereon without the prior approval of the authority having approving jurisdiction of plats.

Basis of Bearings: NAD83(2011) Ohio State Plane Coordinates, South Zone (3402).

All set iron pins are 5/8" x 30" with ID caps "Bayer Becker"

The above description was prepared from a survey made on May 24, 2019 under the direction of Terry W. Cook, Professional Surveyor #7950 in the State of Ohio.



**Tract V: Auditor's Parcel No. 651-0057-0055**

All that certain piece or parcel of land situated in Section 3, Township 3, Fractional Range 2, Millcreek Township, in the City of Norwood, County of Hamilton and State of Ohio and being **the rear 50 feet off of Lots 4 and 5 on Cleneay's Subdivision of Sunnyside recorded in Plat Book 9, Page 10**, in the Recorders Office of the Hamilton County, Ohio, and more particularly described as follows:

Beginning at a point on the northern line of the right of way of the Norfolk and Western Railway 40 feet distant northwardly from and at right angles to a point on the centerline of said right of way about 400 feet distance westwardly from Mile Post 4 as measured from Cincinnati; said point of beginning being also on the dividing line between lots 5 and 6 of Cleneay's Subdivision aforesaid; thence northwardly along said dividing line between said lots 5 and 6, 50 feet to a point; thence westwardly through lots 4 and 5 of said subdivision and parallel with said northern line of the right of way and 50 feet distant northwardly therefrom 100 feet to the northeast corner of Lot 1 of said subdivision; thence southwardly along the dividing line between Lots 4 and 1 of said subdivision 50 feet to a point on the said northern line of said right of way; thence eastwardly along said line of rights of way 100 feet to the place of beginning, being 50 feet of the extreme south end of lots 4 and 5 of Cleneay's Subdivision containing .115 acres, more or less.



**Auditor's Parcel No. 651-0054-0130**

Situate in the City of Norwood, Section 3, Township 3, Fractional Range 2, Miami Purchase, Millcreek Township, Hamilton County, Ohio:

BEGINNING at a point on the south side of Lexington Avenue as shown in Plat Book No. 6, Page 150, Hamilton County, Ohio, Plat Records; which point is distant fourteen hundred (1400) feet west of the southwest corner of Lexington and Regent Avenues, which point is also the northeast corner of Lot No. three (3) of Cleneay's Subdivision of Sunny Side as recorded in Plat Book No. 9, Page 10, Hamilton County Plat Records; thence west along the south side of said Lexington Avenue 121.75 feet to a point on the east side of Montgomery Pike; thence southwardly along the east side of said Montgomery Pike 58.04 feet to a point; thence east on a line parallel with said Lexington Avenue 151.22 feet to a point and thence north 50 feet to the south side of said Lexington Avenue, the place of beginning, **being all of Lot No. 3 of Cleneay's Subdivision of Sunny Side as recorded in Plat Book No. 9, Page 10, Hamilton County, Ohio, Plat Records; EXCEPTING from the foregoing lot or parcel of land a strip of ground five (5) feet in width off the west and thereof, heretofore conveyed to the Village of Norwood at Deed Book 856, Page 93.**

**Auditor's Parcel No. 651-0057-0053, 54 cons.**

Situate in Section 3, Town 5, Fractional Range 2, of the Miami Purchase, Millcreek Township, Norwood, Hamilton County, Ohio, and **being the north one hundred (100) feet of Lots four (4) and five (5) of Cleneay's Subdivision of Sunnyside**, as shown on the plat recorded in the Recorder's Office of Hamilton County, Ohio, in **Plat Book 9, Page 10**, and said parts of said lots herein conveyed being bounded and described as follows:

BEGINNING in a point in the south line of Lexington Avenue thirteen hundred (1300) feet west of the southwest corner of Lexington and Regent Avenues; thence west on the south line of Lexington Avenue one hundred (100) feet to a point; thence southwardly at right angles to Lexington Avenue one hundred (100) feet to a point in the line of the premises of the Norfolk & Western Railway Company; thence east with said Railway property and parallel with Lexington Avenue one hundred (100) feet to a point; thence north at right angles to said Lexington Avenue one hundred (100) feet to the place of beginning.

**Auditor's Parcel No. 651-0054-0131:**

Situate in the City of Norwood, Hamilton County, Ohio, in Section 3, Millcreek Township, and more particularly described as follows:

Beginning at a point in the easterly line of Montgomery Avenue, said point being sixty-nine and 62/100 (69.62) feet southwardly from the intersection of the south line of Lexington Avenue with the easterly line of Montgomery Avenue and eleven and 58/100 (11.58) feet southwardly

from the northwest corner of Lot No. 2, of Cleneay Sunnyside Subdivision; thence running eastwardly along the line parallel to the north line of Lot No. 2, and ten (10) feet south of this line one hundred and fifty-one and 51/100 (151.51) feet is the east line of Lot No. 2; thence running southwardly along the said east line of Lot No. 2, forty (40) feet to the southeast corner of Lot No. 2; thence running westwardly along the south line of Lot No. 2, one hundred and seventy-five and 06/100 (175.06) feet to the easterly line of Montgomery Avenue; thence running northwardly along said easterly line of Montgomery Avenue forty-six and 46/100 (46.46) feet to the place of beginning, being a strip forty (40) feet in width off the south side of Lot No. 2, of Cleneay Sunnyside Subdivision.

Also the following described real estate, situated in the City of Norwood, Hamilton County, Ohio, in Section 3, Millcreek Township and more particularly described as follows:

Beginning at the northeast corner of Lot No. 2, of Cleneay Sunnyside Subdivision; thence running westwardly along the north line of Lot No. 2, of Cleneay Sunnyside Subdivision a distance of sixty-eight (68) feet is a point in the north line of said Lot No. 2; thence southwardly at right angles to the north line of said Lot No. 2, a distance of ten (10) feet to a point; thence eastwardly parallel with the north line of said Lot No. 2, and at a distance of ten (10) feet therefrom sixty-eight (68) feet to a point in the east line of said Lot No. 2; thence northwardly along the west line of said Lot No. 2, a distance of ten (10) feet to the place of beginning.

**Auditor's Parcel No. 651-0054-0131:**

Situated in the City of Norwood, Hamilton County, Ohio, in Section 3, Township 3, Fractional Range 2, Miami Purchase, Millcreek Township, and more particularly described as follows:

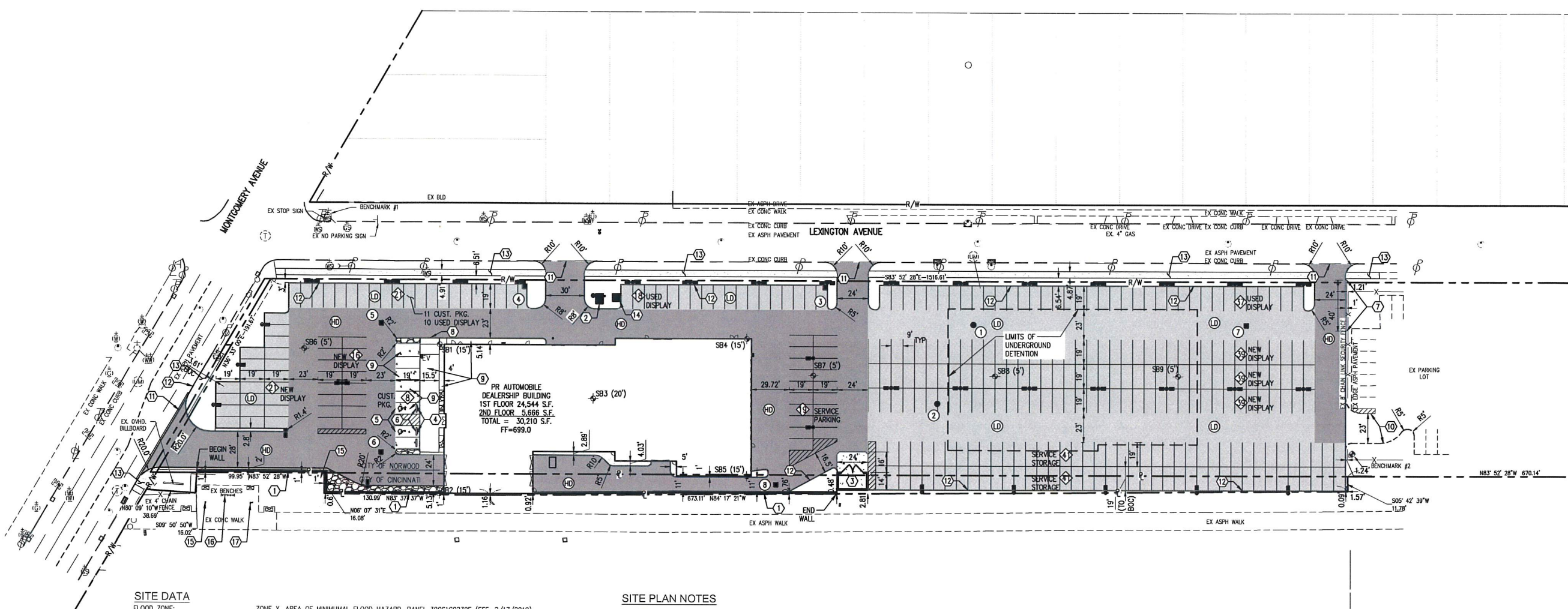
Beginning at a point in the east line of Montgomery Pike fifty-eight and four hundredths (58.04) feet south of Lexington Avenue said point being the northwest corner of Lot 2, as shown on the plat of Cleneay Subdivision of Sunnyside, North Walnut Hills, said plat being made by Joseph S. and G.W.B. Cleneay, and recorded in Plat Book 9, Page 10, of the Records of Hamilton County, Ohio; thence eastwardly along the north line of Lot 2, a distance of seventy-seven and sixty-two hundredths (77.62) feet to a point in the north line of said Lot 2; thence southwardly a distance of ten (10) feet on a line perpendicular to said north line of said Lot 2, to a stake; thence westwardly on a line parallel to the north line of said Lot 2, a distance of eighty-three and fifty-one hundredths (83.51) feet to the east line of Montgomery Pike; thence northwardly along the east line of Montgomery Avenue eleven and fifty-eight hundredths (11.58) feet to the northwest corner of said Lot 2, the place of beginning.

The aforesaid Tract VII, Parcel I and II being all of Lot 2 of Cleneay's Subdivision of Sunnyside as recorded in Plat Book 9, Page 10 except the west five (5) feet thereof deeded to the Village of Norwood for sidewalk purposes at Deed Book 848, Page 329.









**SITE DATA**

FLOOD ZONE:	ZONE X, AREA OF MINIMAL FLOOD HAZARD, PANEL 39061C0239E (EFF. 2/17/2010)	
ZONING:	(GBD-PUD) GENERAL BUSINESS DISTRICT PUD	
LOT COVERAGE:		
GREENSPACE:	0.13 AC (5%)	
IMPERVIOUS (BUILDING OR PWT):	3.22 AC (95%)	
TOTAL LOT:	3.35 AC	
<b>BUILDING SETBACK REQUIREMENTS (1151.11):</b>		
FRONT YARD (MIN/MAX):	REQUIRED: 0'/10'	PROVIDED: 140' MONT. AND 3' LEX.
SIDE YARD:	REQUIRED: NONE	PROVIDED: NONE
REAR YARD:	REQUIRED: NONE	PROVIDED: NONE
MAX. BLDG. HEIGHT:	REQUIRED: 100'	PROVIDED: 30'
MAX. BLDG. HEIGHT W/ 50' OF RES. DIST. (1151.03.A.3):	REQUIRED: 60'	PROVIDED: 30'
<b>LANDSCAPE BUFFER REQUIREMENTS (1151.11):</b>		
COMMERCIAL OR INDUSTRIAL ABUTTING RES. DIST:	REQUIRED: 15' WIDE LANDS. AREA WITH AN EVERGREEN HEDGE + 1 TREE/30'	PROVIDED: 3' WIDE LANDSCAPE AREA EVGRN. AND DEC. HEDGE + 1 TREE/30'
<b>PARKING SETBACK REQUIREMENTS (1153.20):</b>		
ADJACENT RESIDENTIAL USES (1153.20B1):	REQUIRED: 30' (LEXINGTON AVE.)	PROVIDED: 3'
FRONT YARD (W & N - MONT. & LEX.):	REQUIRED: 30' (MONT. RD.)	PROVIDED: MONT 3.6'-9.0' LEX. 3'
SIDE YARD (EAST):	REQUIRED: 0' (SHARED LOT/PRKG.)	PROVIDED: 1.2'-1.7'
REAR YARD (SOUTH):	REQUIRED: 10'	PROVIDED: 0.1'-2.8'
<b>PARKING SPACES (1153.26):</b>		
REQUIRED:	NOT SPECIFIED	
PROVIDED:		
CUSTOMER STANDARD SPACES	16	
SERVICE STANDARD SPACES	19	
CUSTOMER HANDICAP SPACES	2	
USED CAR DISPLAY SPACES	66	
NEW CAR DISPLAY SPACES	154	
SERVICE STORAGE SPACES	82	
TOTAL	339	

**SITE PLAN NOTES**

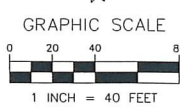
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3' UNLESS NOTED.
- ALL PAVEMENT MARKINGS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE OF 50° MINIMUM. APPLY TWO (2) COATS.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS.
- SEE ARCH. DWGS. SITE LIGHTING POLE, FIXTURE AND BASE DETAILS AND SPECIFICATIONS.

**KEYED NOTES**

- CONCRETE RETAINING WALL WITH 42" HIGH DECORATIVE ALUMINUM FENCE. REFER TO ARCHITECTURAL DRAWINGS.
- DUEL SERVICE WATER METER PIT. REFER TO UTILITY PLAN FOR DETAILS.
- DUMPSTER ENCLOSURE (SEE ARCH DWGS)
- ADA ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET C002)
- ADA VAN ACCESSIBLE PARKING SPACE (SEE DETAIL SHEET C002)
- PARKING BLOCKS (SEE DETAIL SHEET C002)
- SEGMENTAL BLOCK RETAINING WALL (SEE DETAIL ON SHEET C400)
- VEHICLE ACCESS RAMP IN WALK (SEE GRADES ON SHEET C401)
- SPECIALTY CONCRETE (SEE ARCH-DWGS FOR LAYOUT & SPECS)
- FUTURE DRIVEWAY CONNECTION TO EX. PARKING LOT.
- HAMILTON COUNTY DRIVEWAY MANUAL PLATE 5 DROP CURB AT DRIVEWAYS & PLATE 7 DRIVEWAY APRON WITH SIDEWALK AND CURB.
- STANDARD 6" CONCRETE CURB
- CONCRETE SIDEWALK PER HAMILTON COUNTY STANDARDS, 5" THICK.
- ELECTRIC TRANSFORMER. REFER TO UTILITY PLAN FOR DETAILS.
- BIKE REPAIR STATION. (SEE ARCH DWGS. FOR SPECS.)
- BIKE RACK. (SEE ARCH DWGS. FOR SPECS.)
- DRINKING FOUNTAIN. (SEE ARCH DWGS. FOR SPECS.)

**LEGEND**

— P —	PROPERTY LINE	⊕	SOIL BORING
— R/W —	RIGHT-OF-WAY LINE	EV	PR ELEC CAR CHARGING STATION
— X —	EX FENCE	⬢	PR NUMBER OF PARKING STALLS
⊙	EX WATER WELL	●	PR MANHOLE
⊕	EX WATER SERVICE VALVE	■	PR CATCH BASIN
⊕	EX WATER VALVE	□	PR CURB INLET
⊕	EX FIRE HYDRANT	⊕	PR CLEANOUT
⊕	EX ELECTRIC CONDUIT	⊕	PR GAS METER
⊕	EX TELEPHONE POLE	⊕	PR ELECTRIC TRANSFORMER
⊕	EX POWER AND LIGHT POLE	⊕	PR LIGHT POLES
⊕	EX TELEPHONE AND POWER POLE	⊕	PR PARKING COUNT
⊕	EX LIGHT POLE	⊕	PR CONCRETE SIDEWALK
⊕	EX UNIDENTIFIED MANHOLE	⊕	PR CONCRETE PAVEMENT
⊕	EX TELEPHONE MANHOLE	⊕	PR HEAVY DUTY ASPHALT PAVEMENT
⊕	EX PARKING METER	⊕	PR LIGHT DUTY ASPHALT PAVEMENT
⊕	EX CATCH BASIN	⊕	PR RIVER ROCK (SEE ARCH DWGS.)
⊕	EX CURB INLET		
⊕	EX GUY WIRE ANCHOR		
⊕	EX BOLLARD POST		
⊕	EX "BIKETRAIL" SIGN		
⊕	EX BENCH		
⊕	EX STREET SIGN		
⊕	EX BENCHMARK		
⊕	EX SANITARY SEWER MANHOLE		
⊕	EX GAS VALVE		
⊕	EX GAS SERVICE VALVE		



PRELIMINARY  
NOT FOR CONSTRUCTION

10200 ALLIANCE ROAD  
SUITE 135  
CINCINNATI, OH 45242-4754  
TEL: 513.537.3222  
FAX: 513.513.0027  
PROJECT NO: 0819/2020  
PROJECT NO: P5560003  
DRAWN BY:  
CHECKED BY:

TECHNICAL SKILL  
CREATIVE SPIRIT  
**Mannik Smith GROUP**  
www.MannikSmithGroup.com

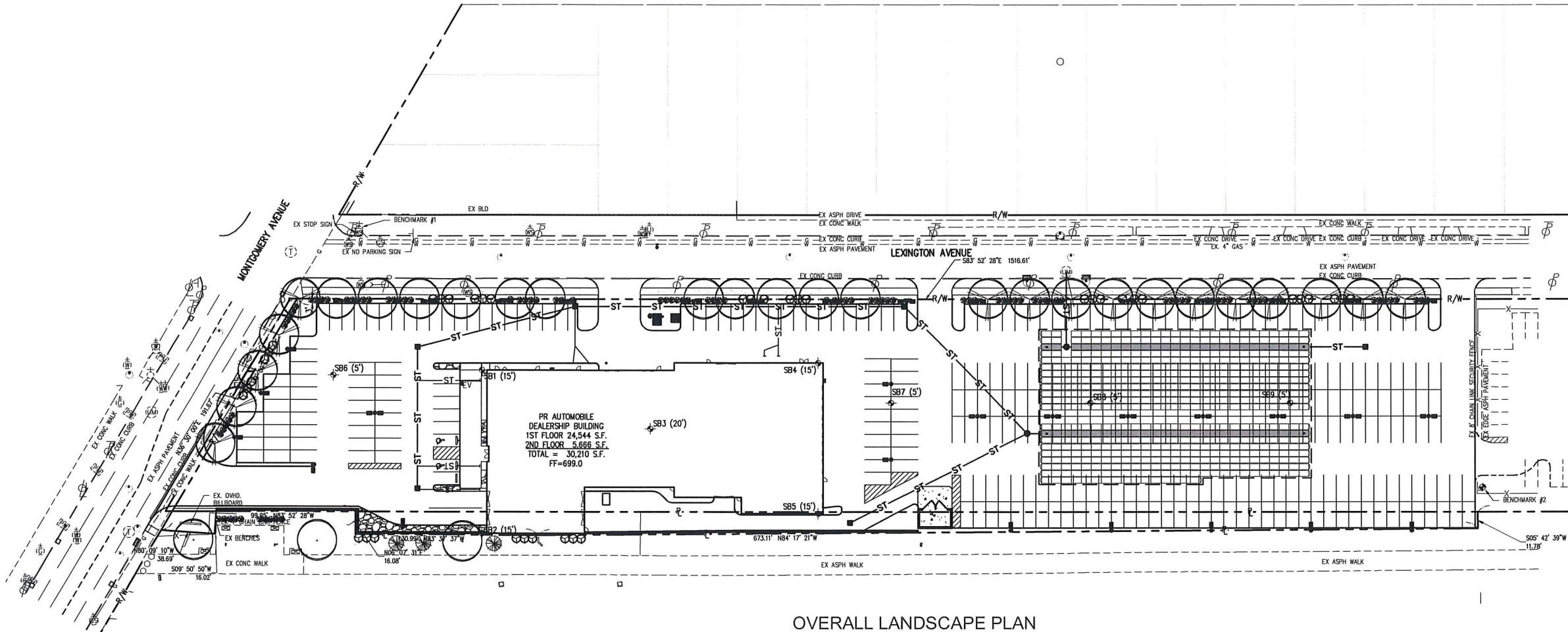
PREPARED FOR:  
PITCHER  
ASSOCIATES  
5970 MAD RIVER ROAD  
DAYTON, OH 45424

SITE IMPROVEMENT PLAN FOR  
**JOSEPH VOLKSWAGEN**  
MONTGOMERY ROAD, NORWOOD, OHIO

**SITE PLAN**

C200

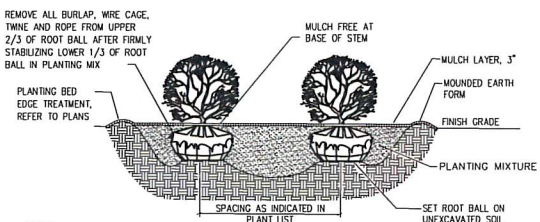




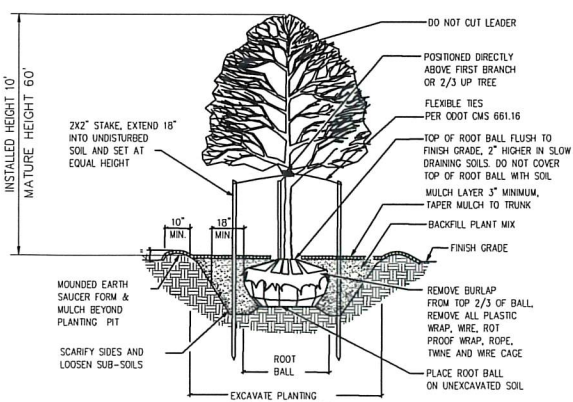
OVERALL LANDSCAPE PLAN

GENERAL LANDSCAPE PLANTING NOTES

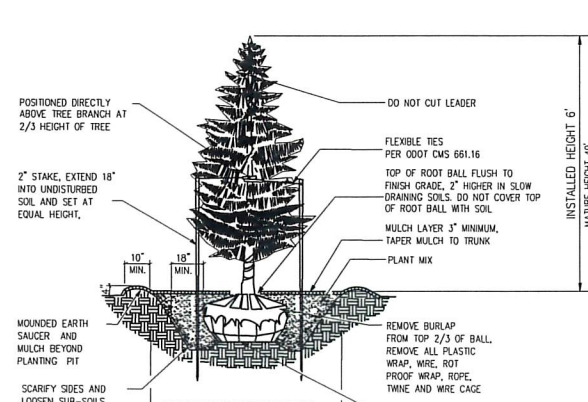
1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF TDOT CONSTRUCTION SPECIFICATIONS.
4. ALL PLANTING MATERIALS SHALL BE PLANTED PER TDOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDES. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTOTILLER.
6. BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:  
A. ONE PART EXCAVATED SOIL.  
B. ONE PART TOPSOIL.  
C. ONE PART EPA RATED CLASS IV COMPOST.  
D. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.  
E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.  
NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK ADED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOWING HORTICULTURAL PRACTICES TO ENSURE THE GROWTH AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, CUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RIDE THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN. ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER KYTC SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESSCO 18-24-12 OR EQUAL).
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUNDCOVER (SEEDING, SEEDED AND SEED MULCHING). ALL SEEDING INSTALLATION SHALL CONFORM TO KYTC SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 S.F. WITH THE FOLLOWING SEED MIXTURE:  
TITAN TALL-TYPE TURF FESCUE 70%  
SR 4100 PERENNIAL RYEGRASS 20%  
MERIT KENTUCKY BLUEGRASS 10%



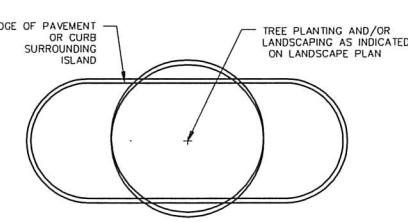
MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)  
NO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NO SCALE

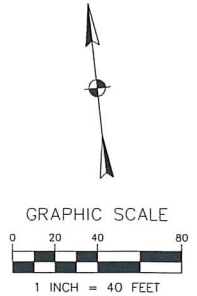


EVERGREEN TREE PLANTING DETAIL  
NO SCALE



TYPICAL ISLAND MULCHING DETAIL  
NO SCALE

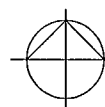
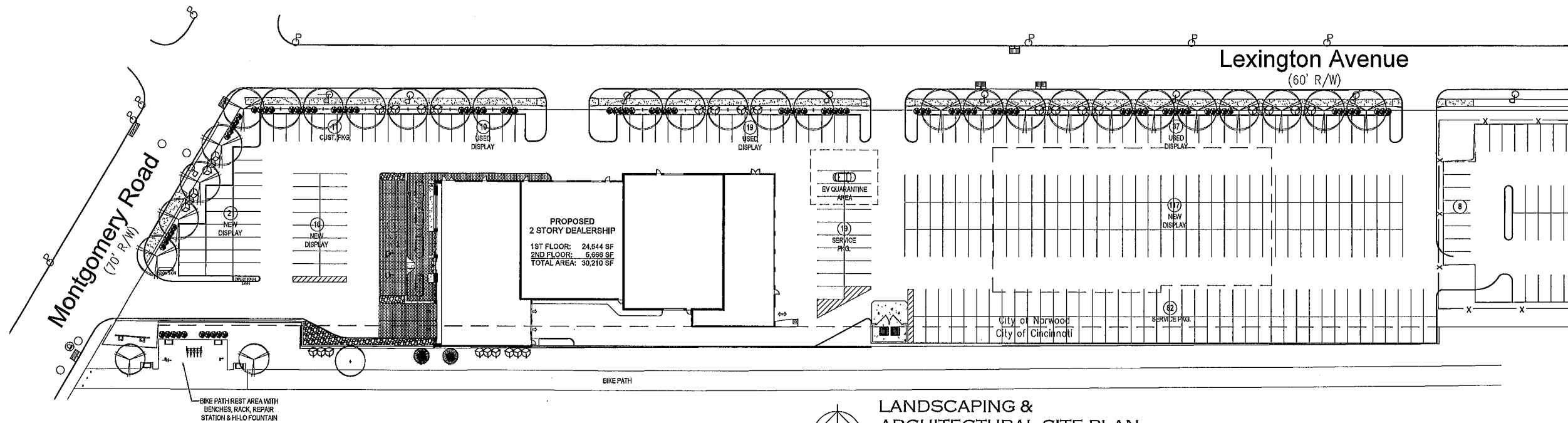
- LEGEND
- PR DECIDUOUS TREE
  - PR DECIDUOUS FLOWERING TREE
  - PR EVERGREEN TREE
  - PR DECIDUOUS FLOWERING SHRUB
  - PR DECIDUOUS FLOWERING SHRUB
  - PR EVERGREEN SHRUB



NO. 1	DATE 08/15/20	BY RJT	BID SET	DESCRIPTION
	<b>PRELIMINARY NOT FOR CONSTRUCTION</b>			
10200 ALLIANCE ROAD SUITE 115 CINCINNATI, OH 45242-4754 TEL: 513.437.3222 FAX: 513.712.0027				PROJECT NO. 08192020 DRAWN BY: PJS60003 CHECKED BY:
<b>TECHNICAL SKILL CREATIVE SPIRIT.</b>				
<b>Mannik Smith GROUP</b> www.MannikSmithGroup.com				
PREPARED FOR:	PITCHER ASSOCIATES 5970 MAD RIVER ROAD DAYTON, OH 45459			
SITE IMPROVEMENT PLAN FOR	JOSEPH VOLKSWAGEN MONTGOMERY ROAD, NORWOOD, OHIO			
OVERALL LANDSCAPE PLAN				L100



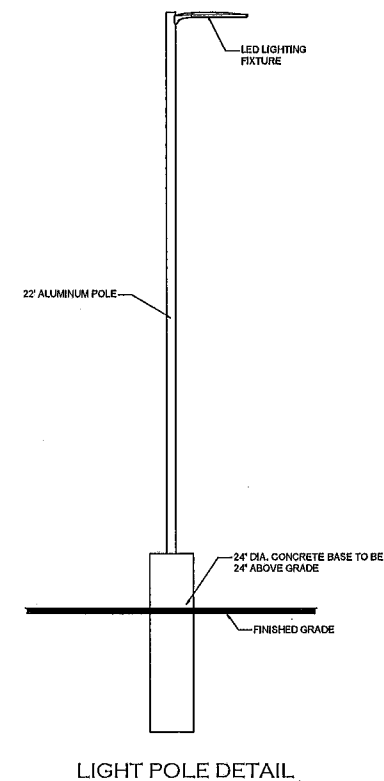
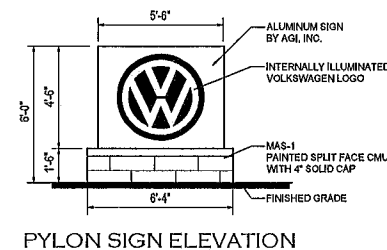
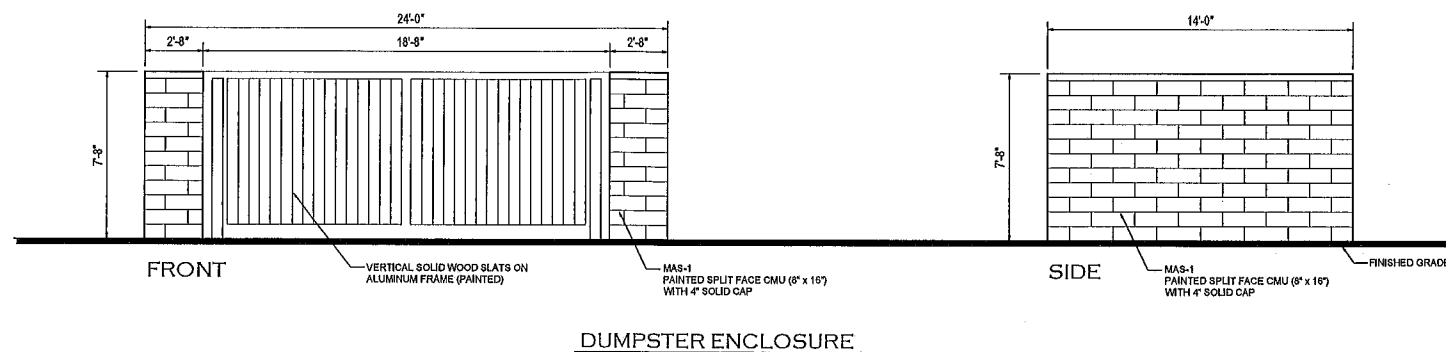
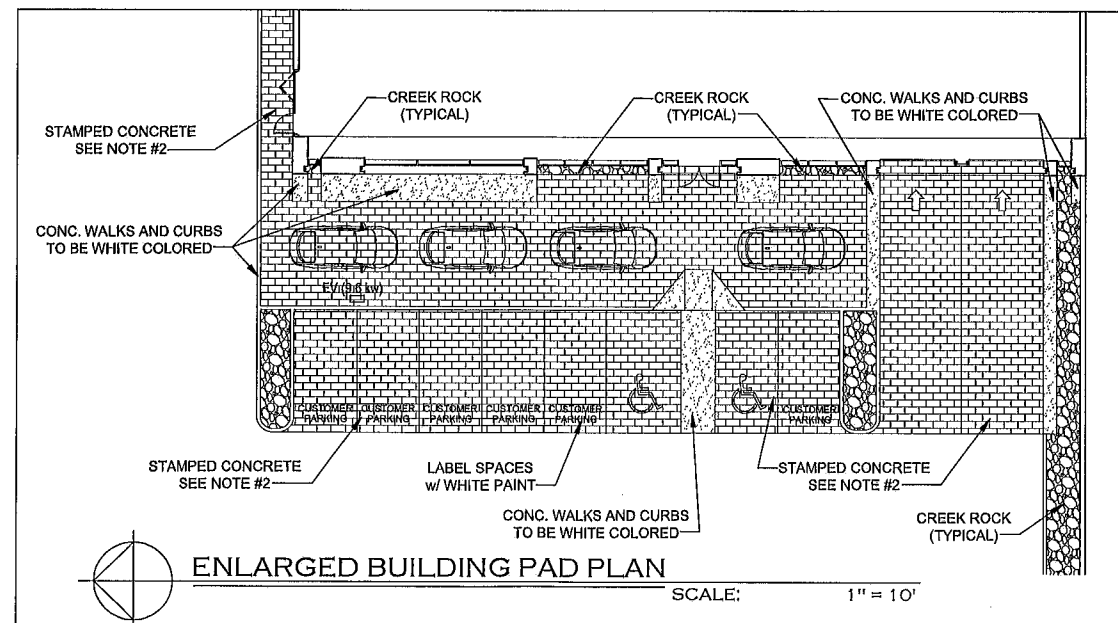




## LANDSCAPING & ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'

- NOTES:**
- 1.) 343 PARKING SPACES PROVIDED.
  - 2.) STAMPED CONCRETE TO BE:  
5" THICK CONCRETE WITH  
COBBLESTONE BRICK PATTERN: SCOFIELD -  
LITHOTEX PAVECRAFTERS, COBBLESTONE,  
4" X 8", GRAY COLOR, RUNNING BOND  
PATTERN.
  - 3.) SEE CIVIL DRAWINGS FOR LANDSCAPING.



8520 Midway Rd.  
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steven@pitchel.com

**PITCHEL ASSOCIATES**  
Architecture  
Interior Design  
Planning

NEW DEALERSHIP FACILITY  
FOR  
**JOSEPH VOLKSWAGEN**  
3732 MONTGOMERY ROAD  
NORWOOD, OHIO 45212

**ARCHITECTURAL  
SITE PLAN**

DATES  
09 / 08 / 2020  
ZONING PERMIT

COMMISSION  
1905

SHEET NUMBER  
A-1.0

# LEGEND - FLOOR PLAN

NOTE: SIZE, GAUGE, & SPACING OF COLD-FORMED METAL FRAMING BY STUD MANUFACTURER

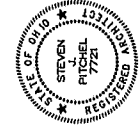
- A** SMOOTH CMU WALL, THICKNESS AS DIMENSIONED. EXTEND TIGHT TO DECK ABOVE.
- AI** SMOOTH CMU WALL, THICKNESS AS DIMENSIONED. 1 1/2" STEEL FURNING CHANNELS w/ 5/8" GYPSUM BOARD ON ONE SIDE. EXTEND TIGHT TO DECK ABOVE.
- B** SMOOTH CMU WALL, THICKNESS AS DIMENSIONED. EXTEND TO PARAPET, SEE SECTIONS. FILL CORES w/ INSULATION @ EXTERIOR LOCATIONS.
- C** SPLIT FACE CMU EXTERIOR WALL, THICKNESS AS DIMENSIONED. EXTEND TO PARAPET, SEE SECTIONS. FILL CORES w/ INSULATION @ EXTERIOR LOCATIONS.
- D** 8" EXTERIOR METAL STUD FRAMING @ 16" o.c. WITH 5/8" EXT. GRADE PLYWOOD ON EXTERIOR AND 5/8" GYPSUM BOARD ON EXPOSED INTERIOR SIDE. EXTEND FULL HEIGHT TO PARAPET. EXTERIOR FINISH ACM PANEL SYSTEM BY SUBMITTER.
- E** 8" EXTERIOR METAL STUD FRAMING @ 16" o.c. WITH INSULATING SHEATHING BOARD ON EXTERIOR AND 5/8" GYPSUM BOARD ON EXPOSED INTERIOR SIDE. EXTEND FULL HEIGHT TO PARAPET. EXTERIOR FINISH EIFS FINISH SYSTEM.
- F** SAME AS TYPE 'E' WITH 1 HOUR FIRE RATING. SEE SECTIONS.
- G** METAL STUD FRAMING @ 16" o.c. (DEPTH PER PLAN DIMENSION) WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES. EXTEND 6" ABOVE CEILING.
- H** METAL STUD FRAMING @ 16" o.c. (DEPTH PER PLAN DIMENSION) WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES AND SOUND ATTENUATION INSULATION. EXTEND 1" ABOVE CEILING.
- I** METAL STUD FRAMING @ 16" o.c. (DEPTH PER PLAN DIMENSION) WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES. EXTEND TIGHT TO DECK ABOVE.
- J** METAL STUD FRAMING @ 16" o.c. (DEPTH PER PLAN DIMENSION) WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES AND SOUND ATTENUATION INSULATION. EXTEND 1" ABOVE CEILING.
- K** METAL STUD FRAMING @ 16" o.c. (DEPTH PER PLAN DIMENSION) WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES AND SOUND ATTENUATION INSULATION. EXTEND TIGHT TO DECK ABOVE.

- INDICATES DEPTH OF FRAMING MEMBERS AT INTERIOR PARTITIONS. 3/8" UNLESS NOTED OTHERWISE.
- INDICATES STEEL LINE "X" SEE STRUCTURAL DRAWINGS
- INDICATES DOOR NUMBER "1" SEE DOOR SCHEDULE
- NEW WINDOW OR STOREFRONT
- INDICATES VIEW WINDOW TYPE "AA" SEE DOOR SCHEDULE
- INDICATES LOCATION OF ITEM OVERHEAD
- INDICATES CODED NOTE "N" ON SHEET "A-X"
- INDICATES ROOM NAME AND NUMBER. SEE ROOM FINISH SCHEDULE FOR MORE INFO.

- WALL-HANG LAVATORY
- COUNTERTOP LAVATORY
- ADA-COMPLIANT ELECTRIC WATER COOLER
- MOP SINK w/ 4-0" FRP PANELS EA SIDE x 6-0" HIGH w/ MOP HOLDER AND SHELF
- TOILET w/ ADA COMPLIANT GRAB BARS
- WALL-HANG URINAL
- EXT LIGHT ARROW INDICATES DIRECTION
- FIRE EXTINGUISHER & CABINET
- TACTILE EXIT SIGN LOCATION

## CODED NOTES

- NOTE: NOT ALL NOTES ARE USED ON THIS SHEET
- STEEL STAIRS AND RAILINGS. SEE SECTIONS & DETAILS FOR MORE INFO.
  - STEEL PIPE BOLLARDS. SEE DETAIL ON SHEET A-3.18.
  - TRENCH DRAIN - SEE PLUMBING.
  - YKK - VISION DOOR 2 1/2" x 15" CURTAIN WALL SYSTEM WITH 1" INSUL. GLASS. OUTSIDE GLAZED w/ CLEAR ANODIZED FINISH.
  - YKK - YES 45 T1, 2" x 4" STOREFRONT SYSTEM WITH 1" INSUL. GLASS. OUTSIDE GLAZED w/ CLEAR ANODIZED FINISH.
  - INTERIOR FRAMELESS ALUMINUM & GLASS WALL SYSTEM. SEE WINDOW AND FRAME DETAILS ON SHEET A-6, A-6.6 & A-6.7.
  - OVERHEAD ROLLING SECURITY GRILLE. SEE DOOR SCHEDULE.
  - STEEL GUARD RAIL. SEE DETAILS ON SHEET A-5.7.
  - OWNER-PROVIDED EQUIPMENT - SEE MEP DRAWINGS FOR RELATED WORK.
  - PROVIDE ADJUSTABLE SHELVING IN CLOSET.
  - "W" WELCOME WALL. SEE INTERIOR ELEVATIONS AND DETAIL.
  - DOOR TO BE SET 8" HIGH FOR OIL CONTAINMENT WITH 8" CONCRETE BLOCK BELOW.
  - 8" SPLIT FACE CMU CLAMPSTER ENCLOSURE. SEE ELEVATIONS & DETAILS.
  - "WHITEFRAME" ACM SYSTEM TO BE MANUFACTURED AND INSTALLED BY SUBMITTER. CONTACT SUBMITTER FOR DETAILS AND PRICING.
  - STAINLESS STEEL COUNTER WITH FLIP UP ACCESS. SEE DETAILS ON SHEET A-8.2.
  - FREESTANDING PARTITION (3'-4" HEIGHT) WITH 1/2" CLEAR TEMPERED GLASS TO CEILING. SEE DETAILS ON SHEET A-8.
  - 4" x 4" CURB MOUNTED "PYRAMID" STYLE SKYLIGHT. DOUBLE GLAZED, INSULATED, ACRYLIC.
  - 3' x 3' ROOF HATCH WITH STEEL WALL MOUNTED LADDER.



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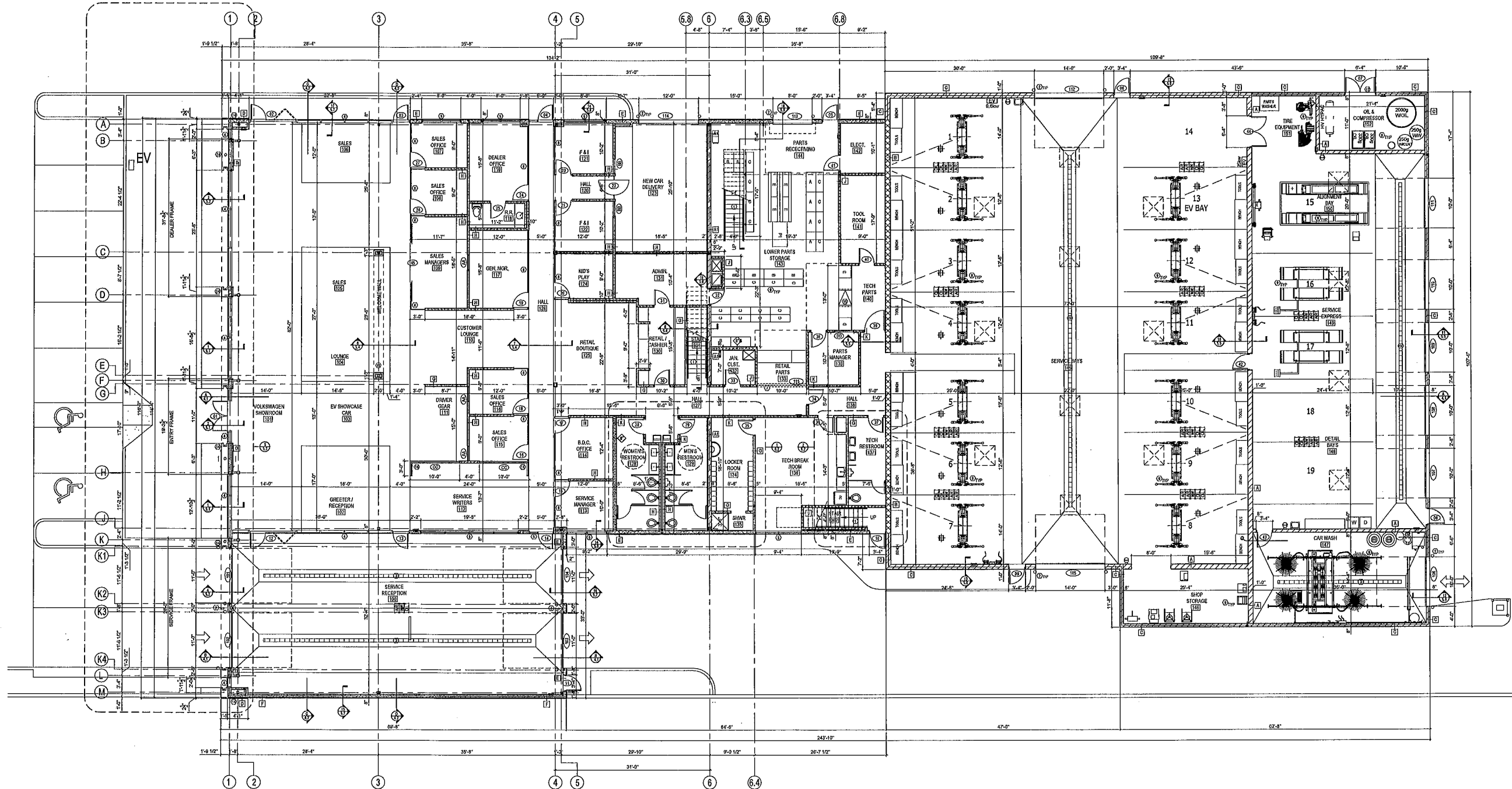
NEW DEALERSHIP FACILITY  
FOR  
**JOSEPH VOLKSWAGEN**  
3732 MONTGOMERY ROAD  
NANTUCKET, MA 02554

FIRST FLOOR PLAN

DATES  
09 / 08 / 2020  
ZONING PERMIT

COMMISSION  
1905

SHEET NUMBER  
A-3.1



FLOOR PLAN - GROUND

SCALE: 1/8" = 1'-0"



LEGEND - FLOOR PLAN

NOTE: SIZE, GAUGE, & SPACING OF COLD-FORMED METAL FRAMING BY STUD MANUFACTURER.

- A. SMOOTH CMU WALL, THICKNESS AS DIMENSIONED, EXTEND TIGHT TO DECK ABOVE.
- A1. SMOOTH CMU WALL, THICKNESS AS DIMENSIONED, 1 1/2" STEEL FURRING CHANNELS w/ 5/8" GYPSUM BOARD ON ONE SIDE, EXTEND TIGHT TO DECK ABOVE.
- B. SMOOTH CMU WALL, THICKNESS AS DIMENSIONED, EXTEND TO PARAPET, SEE SECTIONS, FILL CORES w/ INSULATION @ EXTERIOR LOCATIONS.
- C. SPLIT FACE CMU EXTERIOR WALL, THICKNESS AS DIMENSIONED, EXTEND TO PARAPET, SEE SECTIONS, FILL CORES w/ INSULATION @ EXTERIOR LOCATIONS.
- D. 8" EXTERIOR METAL STUD FRAMING @ 16" o.c. WITH 5/8" EXT. GRADE PLYWOOD ON EXTERIOR AND 5/8" GYPSUM BOARD ON EXPOSED INTERIOR SIDE, EXTEND FULL HEIGHT TO PARAPET, EXTERIOR FINISH: ACM PANEL SYSTEM BY SOBOTEC.
- E. 8" EXTERIOR METAL STUD FRAMING @ 16" o.c. WITH INSULATING SHEATHING BOARD ON EXTERIOR AND 5/8" GYPSUM BOARD ON EXPOSED INTERIOR SIDE, EXTEND FULL HEIGHT TO PARAPET, EXTERIOR FINISH: EIFS FINISH SYSTEM.

- F. SAME AS TYPE 'E' WITH 1 HOUR FIRE RATING, SEE SECTIONS.
- G. METAL STUD FRAMING @ 16" o.c. DEPTH PER PLAN DIMENSION WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES, EXTEND 8" ABOVE CEILING.
- H. METAL STUD FRAMING @ 16" o.c. DEPTH PER PLAN DIMENSION WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES AND SOUND ATTENUATION INSULATION, EXTEND 8" ABOVE CEILING.
- I. METAL STUD FRAMING @ 16" o.c. DEPTH PER PLAN DIMENSION WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES, EXTEND TIGHT TO DECK ABOVE.
- J. METAL STUD FRAMING @ 16" o.c. DEPTH PER PLAN DIMENSION WITH 5/8" GYPSUM BOARD ON EXPOSED SIDES AND SOUND ATTENUATION INSULATION, EXTEND TIGHT TO DECK ABOVE.

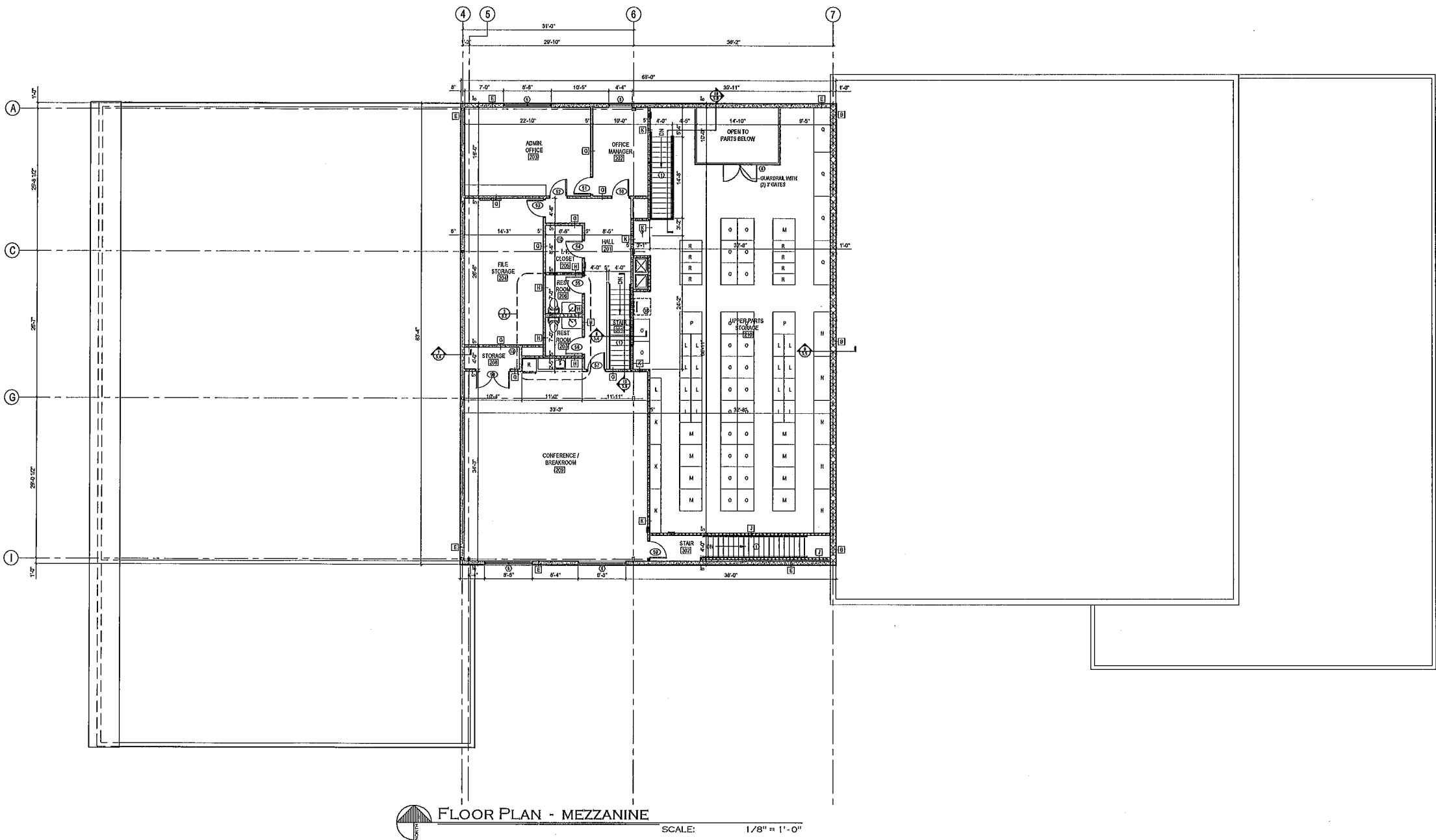
- INDICATES DEPTH OF FRAMING MEMBERS AT INTERIOR PARTITIONS, 3/8" UNLESS NOTED OTHERWISE.
- INDICATES STEEL LINE "A" SEE STRUCTURAL DRAWINGS.
- INDICATES DOOR NUMBER "N" SEE DOOR SCHEDULE.
- NEW WINDOW OR STOREFRONT
- INDICATES VIEW WINDOW TYPE "VA" SEE DOOR SCHEDULE.
- INDICATES LOCATION OF ITEM OVERHEAD
- INDICATES CODED NOTE "N"
- INDICATES DETAIL "X" ON SHEET "A.X"
- ROOM NAME "NN"
- INDICATES ROOM NAME AND NUMBER, SEE ROOM FINISH SCHEDULE FOR MORE INFO.

- WALL-HUNG LAVATORY
- COUNTERTOP LAVATORY
- AIA-COMPLIANT ELECTRIC WATER COOLER
- MOP SINK w/ 4-6" FRP PANELS EX. SIDE x 8-0" HIGH w/ MOP HOLDER AND SHELF
- TOILET w/ AIA COMPLIANT GRAB BARS
- WALL-HUNG URINAL
- EXIT LIGHT ARROW INDICATES DIRECTION
- FIRE EXTINGUISHER & CABINET
- TACTILE EXIT SIGN LOCATION

CODED NOTES

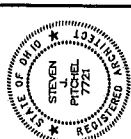
- NOTE: NOT ALL NOTES ARE USED ON THIS SHEET
1. STEEL STAIRS AND RAILINGS, SEE SECTIONS & DETAILS FOR MORE INFO.
2. STEEL PIPE BOLLARDS, SEE DETAIL ON SHEET A3.1A.
3. TRENCH DRAIN - SEE PLUMBING.
4. YKK - YCW750 CO. 2 1/2" x 10" CURTAIN WALL SYSTEM WITH 1" INSUL. GLASS, OUTSIDE GLAZED w/ CLEAR ANODIZED FINISH.
5. YKK - YES 45 RU, 2" x 4 1/2" STOREFRONT SYSTEM WITH 1" INSUL. GLASS, OUTSIDE GLAZED w/ CLEAR ANODIZED FINISH.
6. INTERIOR "FRAMELESS" ALUMINUM & GLASS WALL SYSTEM, SEE WINDOW AND FRAME DETAILS ON SHEET A6.8, A6.9 & A6.7.
7. OVERHEAD ROLLING SECURITY GRILLE, SEE DOOR SCHEDULE.
8. STEEL GUARD RAIL, SEE DETAILS ON SHEET A5.7.
9. OWNER-PROVIDED EQUIPMENT - SEE MEP DRAWINGS FOR RELATED WORK.
10. PROVIDE ADJUSTABLE SHELVING IN CLOSET.

11. 1/4" WELDCOME WALL, SEE INTERIOR ELEVATIONS AND DETAILS.
12. DOOR TO BE SET 8" HIGH FOR OIL CONTAINMENT WITH 8" CONCRETE BLOCK BELOW.
13. 8" SPLIT FACE CMU DUMPSTER ENCLOSURE, SEE ELEVATIONS & DETAILS.
14. "WHITEFRAME" ACM SYSTEM TO BE MANUFACTURED AND INSTALLED BY SOBOTEC, CONTACT SOBOTEC FOR DETAILS AND PRICING.
15. STAINLESS STEEL COUNTER WITH FLIP UP ACCESS, SEE DETAILS ON SHEET A6.2.
16. FREE-STANDING PARTITION (8'-4" HEIGHT) WITH 1/2" CLEAR TINTED GLASS TO CEILING, SEE DETAILS ON SHEET A6.6.
17. 4" x 4" CURB MOUNTED, "PYRAMID" STYLE SKYLIGHT, DOUBLE GLAZED, INSULATED, ACRYLIC.
18. 3' x 3' ROOF HATCH WITH STEEL WALL MOUNTED LADDER.



FLOOR PLAN - MEZZANINE

SCALE: 1/8" = 1'-0"



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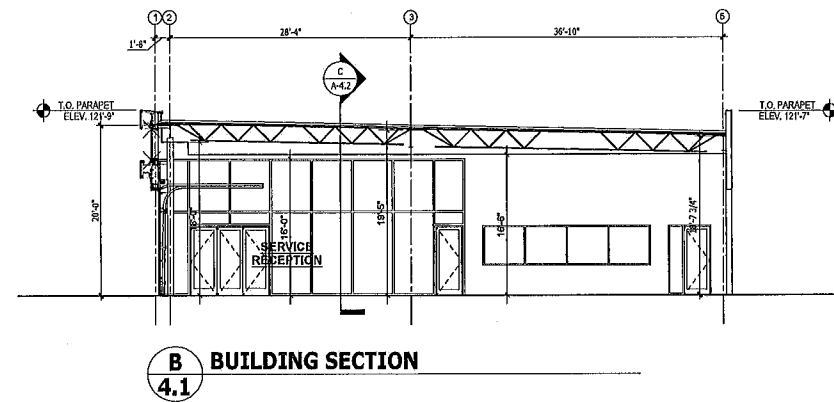
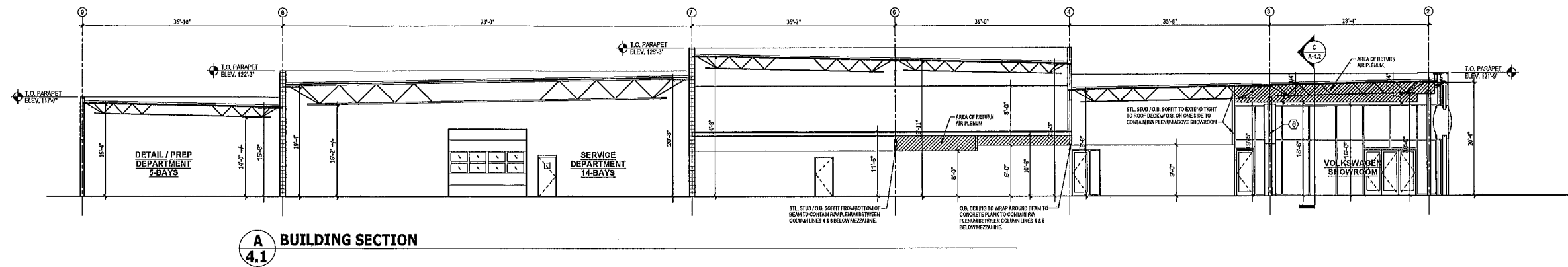
NEW DEALERSHIP FACILITY  
FOR  
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VOLKSWAGEN  
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NORWOOD, OHIO 45212

MEZZANINE PLAN

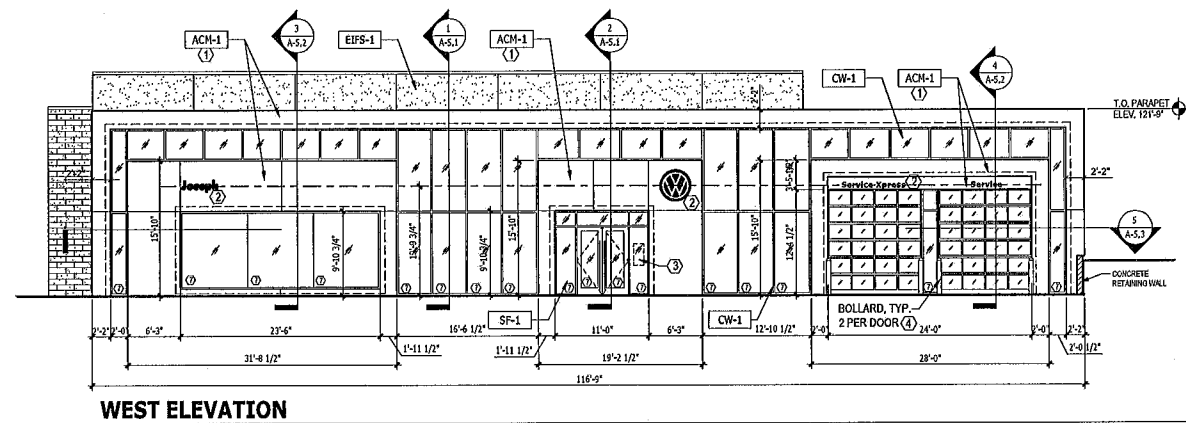
DATES  
09 / 08 / 2020  
ZONING PERMIT

COMMISSION  
1905

SHEET NUMBER  
A-3.2



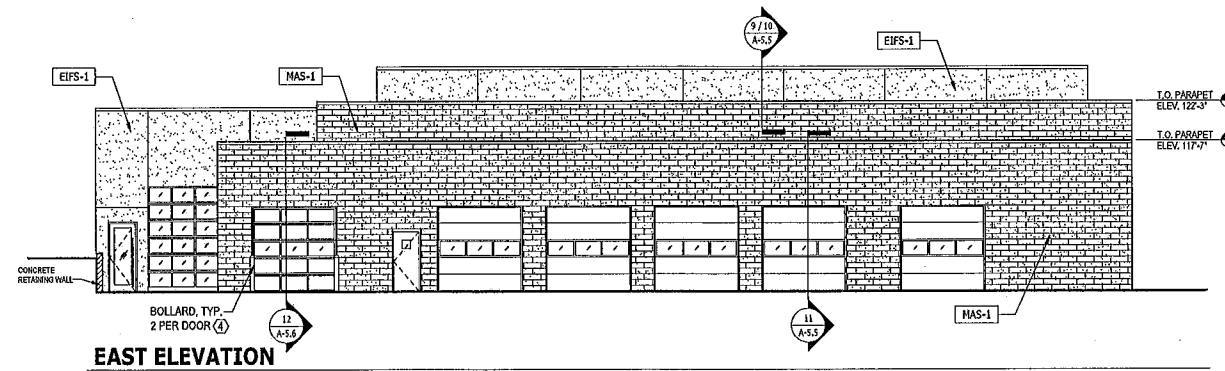
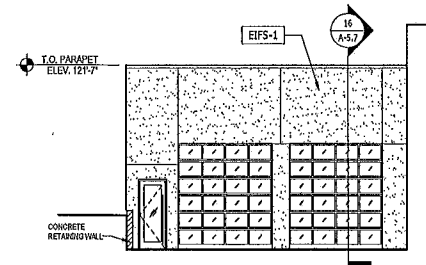
EXTERIOR FINISH MATERIAL SCHEDULE							
CODE	MATERIAL	MANUFACTURER	PRODUCT	COLOR	DIMENSION	LOCATION	ADDITIONAL INFORMATION
ACH-1	ALUMINUM COMPOSITE PANELS	SOBOTEC LTD.		DAS WHITE FINISH: 30% GLOSS	PANEL SIZES BY SOBOTEC	BUILDING FRAME, ENTRY FRAME, SERVICE FRAME	SOBOTEC IS THE EXCLUSIVE ACH SUPPLIER AND INSTALLER. CONTACT: FLORIN ROSU AT SOBOTEC, LTD. (905) 578-1278 EMAIL: PRODU@SOBOTEC.COM
CW-1	CURTAIN WALL SYSTEM	YKK AP AMERICA	YCW750 OG OUTSIDE GLAZED	CLEAR ANODIZED FINISH	2 1/2" x 10"	EXTERIOR FACADE	CONTACT: IVAN ZUNIGA AT YKK AP AMERICA, INC. (678) 838-5000 EMAIL: IVANZUNIGA@YKKAP.COM
SF-1	STORE FRONT	YKK AP AMERICA	YES 45 TU OUTSIDE GLAZED	CLEAR ANODIZED FINISH	2" x 4 1/2"	EXTERIOR FACADE	CONTACT: IVAN ZUNIGA AT YKK AP AMERICA, INC. (678) 838-5000 EMAIL: IVANZUNIGA@YKKAP.COM
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	STO CORP.	STOLIT LOTUSAN 1.5 FINISH: SANDBLAST	COLOR: SOOTHING WHITE SW 6539		EXTERIOR FACADE	
EIFS-2	EXTERIOR INSULATION FINISHING SYSTEM	STO CORP.	STOLIT LOTUSAN 1.5 FINISH: TEXTURE, STOCKCAST LOTUSAN INTERIOR COATING, "RIBBED" SURFACE - 4" BETWEEN VERTICAL REVEALS	COLOR: GRAY SHINGLE SW 7076		EXTERIOR FACADE	
MAS-1	PAINTED SPLIT-FACE CONCRETE MASONRY UNITS	LOCALLY SOURCED	SPLIT-FACE CONCRETE MASONRY UNITS	PAINT: PT-45 SOOTHING WHITE SW 6539	8" x 16" NOM. DEPTH PER PLAN	EXTERIOR SIDE AND REAR	



WEST ELEVATION

**DRAWING NOTES** NOTE: NOT ALL NOTES ARE INDICATED ON ELEVATIONS

- "WHITERFRAME" ACM SYSTEM TO BE MANUFACTURED AND INSTALLED BY SOBOTEC. CONTACT SOBOTEC FOR DETAILS AND PRICING.
- BUILDING SIGNAGE BY OTHERS. SOBOTEC TO PROVIDE SUPPORT BEHIND ACM PANELS IN ALL SIGNAGE LOCATIONS.
- HOURS OF OPERATION SIGNAGE BY OTHERS.
- STEEL PIPE BOLLARDS. SEE DETAILS ON SHEET A-6.1.
- NOT USED.
- "WELCOME WALL". SEE DETAILS ON SHEETS A-6.6.
- PROVIDE TEMPERED GLASS AT THE FOLLOWING LOCATIONS:
  - WITHIN 1' OF A WALKING SURFACE
  - WITHIN AN OPERABLE OR OVERHEAD DOOR
  - ADJACENT TO AN OPERABLE DOOR
- PAINTE SPLIT-FACE CONCRETE MASONRY UNITS. DOORS PFT, GRAY SHINGLE, SW7076



EAST ELEVATION

**EXTERIOR ELEVATIONS**

SCALE: 1/8" = 1'-0"



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NEW DEALERSHIP FACILITY  
FOR  
**JOSEPH VOLKSWAGEN**  
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NORWOOD, OHIO 45212

EXTERIOR  
ELEVATIONS  
&  
BUILDING  
SECTIONS

DATES  
09 / 08 / 2020  
ZONING PERMIT

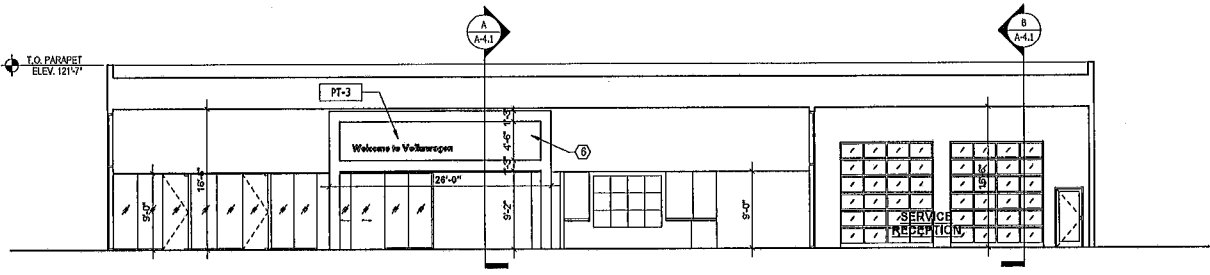
COMMISSION  
1905

SHEET NUMBER  
A-4.1

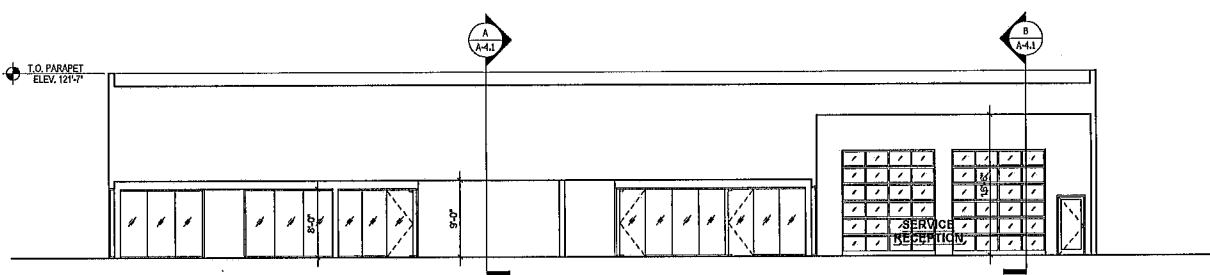
EXTERIOR FINISH MATERIAL SCHEDULE							
CODE	MATERIAL	MANUFACTURER	DESCRIPTION			LOCATION	ADDITIONAL INFORMATION
			PRODUCT	COLOR	DIMENSION		
ACH-1	ALUMINUM COMPOSITE PANELS	SOROTEC LTD.		DAB WHITE FINISH: 30% GLOSS	PANEL SIZES BY SOROTEC	BUILDING FRAME, ENTRY FRAME, SERVICE FRAME	SOROTEC IS THE EXCLUSIVE ACM SUPPLIER AND INSTALLER. CONTACT: FLORIAN ROSU AT SOROTEC, LTD. (955) 574-1278 EMAIL: FLORIAN.ROSU@SOROTEC.COM
CW-1	CURTAIN WALL SYSTEM	YKK AP AMERICA	YCW250 DG OUTSIDE GLAZED	CLEAR ANODIZED FINISH	2 1/2" x 10"	EXTERIOR FACADE	CONTACT: IVAN ZUNIGA AT YKK AP AMERICA, INC.(678) 838-6000 EMAIL: IVANZUNIGA@YKKAP.COM
SF-1	STORE FRONT	YKK AP AMERICA	YES 45 TU OUTSIDE GLAZED	CLEAR ANODIZED FINISH	2" x 4 1/2"	EXTERIOR FACADE	CONTACT: IVAN ZUNIGA AT YKK AP AMERICA, INC.(678) 838-6000 EMAIL: IVANZUNIGA@YKKAP.COM
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	STO CORP.	SILOTT LOTUSAN 1.5 FINISH: SANDBLAST	COLOR: SOOTHING WHITE SW 6539		EXTERIOR FACADE	
EIFS-2	EXTERIOR INSULATION FINISHING SYSTEM	STO CORP.	SILOTT LOTUSAN 1.5 SWILL TEXTURE, STOCOAST LOTUSAN INTERIOR COATING, "RIBBED" SURFACE - 4" BETWEEN HORIZONTAL REVEALS	COLOR: GRAY SHINGLE SW 7670		EXTERIOR FACADE	
MAS-1	PAINTED SPLIT-FACE CONCRETE MASONRY UNITS	LOCALLY SOURCED	SPLIT-FACE CONCRETE MASONRY UNITS	PAINT: PT-46 SOOTHING WHITE SW6539	8" x 16" NOM. DEPTH PER PLAN	EXTERIOR SIDE AND REAR	

DRAWING NOTES

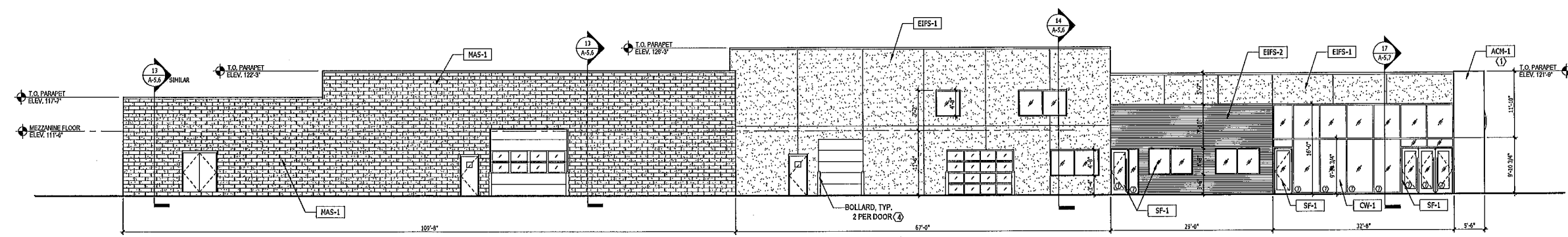
- NOTE: NOT ALL NOTES ARE INDICATED ON ELEVATIONS
- "WHITEFRAME" ACM SYSTEM TO BE MANUFACTURED AND INSTALLED BY SOROTEC. CONTACT SOROTEC FOR DETAILS AND PRICING.
  - BUILDING SOUNGE BY OTHERS. SOROTEC TO PROVIDE SUPPORT BEHIND ACM PANELS IN ALL SOUNDGE LOCATIONS.
  - HOURS OF OPERATION SOUNGE BY OTHERS.
  - STEEL PIPE BOLLARDS. SEE DETAILS ON SHEET A-4.1.
  - NOT USED.
  - "WELCOME WALL". SEE DETAILS ON SHEETS A-4.8.
  - PROVIDE TEMPERED GLASS AT THE FOLLOWING LOCATIONS:
    - WITHIN 18" OF A WALKING SURFACE
    - WITHIN AN OPERABLE OR OVERHEAD DOOR
    - ADJACENT TO AN OPERABLE DOOR
  - PAIN ALL EXTERIOR DOORS, FRAMES AND GIL. DOORS PT-47, GRAY SHINGLE, SW7670.



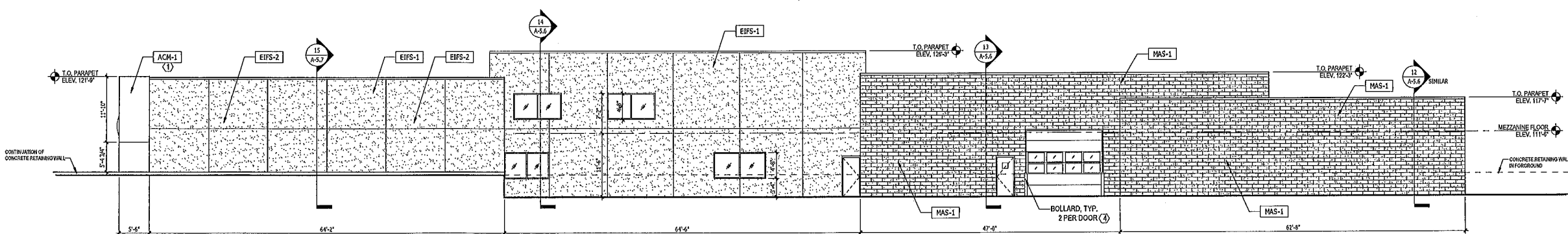
C BUILDING SECTION



D BUILDING SECTION



NORTH ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



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