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## AGENDA

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Regular Meeting

March 12, 2024  
7:00 p.m.

555 Frost Rd.  
Streetsboro, Ohio 44241

- 1. Call to Order**
- 2. Pledge of Allegiance and Invocation**
- 3. Roll Call**
- 4. Disposition of Minutes**  
December 12, 2023; January 9, 2024; February 6, 2024
- 5. Old Business**
- 6. Sign Review Chapter 1159**
- 7. New Business:**
  - a. Application #SPA24-1  
Holiday Inn Express | 9459 State Route 14 | Façade modifications to existing hotel
  - b. Application #SPA24-3  
Wildflowers | 9156 State Route 14 | Building expansion, façade modifications, and site improvements to proposed medical/adult use marijuana dispensary
  - c. Appointment of a Planning Commission representative to the Community Reinvestment Area Housing Council
- 8. Reports, Communications, and Correspondence:**  
Administratively approved signs
  - University Hospital Urgent Care | 9449 St Rt 14 | (1) planter sign and (2) wall signs
  - The Valley Smoke Shop | 9760 St Rt 14 | (1) wall sign
  - Smokaholics | 9366 Market Square Dr | (1) wall sign and (1) multi-tenant panel
  - Well Now | 9300 St Rt 14 | (1) planter sign reface
  - Pet Supplies Plus | 1262 St Rt 303 | (1) wall sign and (3) multi-tenant panels
  - Crumbl Cookie | 1274 St Rt 303 | (1) wall sign and (1) multi-tenant panel
  - LayerZero | 10030 Philipp Pkwy | (1) planter sign reface and (2) directional signs
  - Integrity Stainless | 3000 Crane Center | (1) wall sign
- 9. Citizens' Comments**
- 10. Commission Member Comments:**  
The next regularly scheduled Planning and Zoning Commission meeting will be held on Tuesday, April 9, 2024 at 7 p.m. in City Council Chambers, 555 Frost Rd., Streetsboro, Ohio 44241.
- 11. Adjournment**

March 12, 2024

#SPA24-1

# HOLIDAY INN EXPRESS

9459 ST. RT. 14

SITE PLAN AMENDMENT FOR FAÇADE MODIFICATIONS TO THE  
EXISTING HOTEL



- ① Body Option 2   ② Body Option 3   ③ Body Option 4   ④ Lower Body   ⑤ Lower Body 2   ⑥ Lower Body 3
- ⑦ Lower Body 4   ⑧ Upper Body   ⑨ Upper Body 2   ⑩ Upper Body 3   ⑪ Upper Body 4   ⑫ Accent 2   ⑬ Accent 4
- ⑭ Fascia   ⑮ Pop-Outs   ⑯ Portico   ⑰ Soffit   ⑱ Trim   ⑲ Trim 2

SW 7008  
Alabaster

SW 2803  
Rookwood Terra Cotta

SW 7670  
Gray Shingle

SW 7036  
Accessible Beige

SW 7008  
Alabaster

① ⑨ ⑫ ⑰ ⑱

② ⑥ ⑩ ⑲

③ ⑧ ⑪

④ ⑦ ⑬ ⑮

⑤ ⑭ ⑯

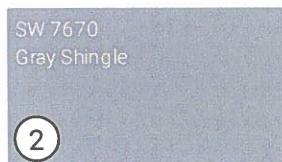
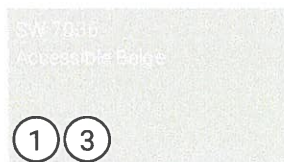
Rocco Palomba

(234) 380-7388 • Rocco.palomba@sherwin.com

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- ① Lower Body    ② Upper Body    ③ Door    ④ Fascia    ⑤ Soffit



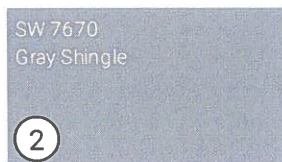
**Rocco Palomba**

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- ① Lower Body
- ② Upper Body
- ③ Door
- ④ Fascia
- ⑤ Soffit



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- ① Lower Body
- ② Upper Body
- ③ Fascia
- ④ Fence
- ⑤ Pop-Outs
- ⑥ Soffit

SW 7036  
Accessible Beige

① ④ ⑤

SW 7670  
Gray Shingle

②

SW 7008  
Alabaster

③ ⑥

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## CITY OF STREETSBORO MEMORANDUM

TO: Planning and Zoning Commission

FROM: Jimmy Hoppel, AICP  
Assistant Planner

DATE: March 6, 2024

RE: Site Plan Amendment Review for Holiday Inn Façade Change

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Company: Holiday Inn  
Address: 9459 State Route 14  
PID: 35-043-00-00-003-002  
Zoning: B (Business)  
Applicant: Rahul Patel, Shreereva Hospitality LLC  
Address: 9371 State Route 14  
Property Owner: SHREEREVA HOSPITALITY LLC  
Tax Mailing Address: 9459 State Route 14, Streetsboro, OH 44241

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I have reviewed the plans received on 1/18/24 and offer the following comments for the Commission's consideration:

**Proposal:** The applicant is proposing a façade change to the existing building that includes repainting of the building. The first floor of the building has been painted brown with the upper two floors being painted a light tan/cream color. The proposed colors are a light "Alabaster" on the first floor with the upper floors painted "Gray Shingle", a medium tone gray. Accent colors on the building, fencing, and doors include a reddish-brown "Rookwood Terra Cotta" and "Accessible Beige".

**Comments:** See below staff's Site Plan Amendment comments. If additional information, clarification, or plan revisions are needed, the item has been added to the list of recommended conditions of approval, contained in the Recommendation section at the end of this memo.

**1. General:**

The applicant has submitted the subject application to retro-actively seek approval for façade changes that were undertaken in the Fall of 2023. Staff has no objections to the building color changes. Comments were not sought from other City and County reviewing parties due to the limited scope of the project.

**2. Staff Comments (other City Depts. and County Agencies):** Not Applicable.

**Recommendation:**

Staff recommends that the Planning and Zoning Commission grant **approval** as proposed.

March 12, 2024

#SPA24-3

# WILDFLOWER DISPENSARY

9156 ST. RT. 14

SITE PLAN AMENDMENT FOR A BUILDING EXPANSION, FAÇADE  
MODIFICATIONS, AND RELATED SITE IMPROVEMENTS FOR THE  
INTENDED USE OF A MEDICAL/ADULT USE MARIJUANA DISPENSARY



MTH Properties, LLC  
17387 Munn Rd,  
Chagrin Falls, OH 44023

City of Streetsboro, Ohio – Planning Commission application

To whom it may concern:

Please find our application to present our proposed project to the Planning Commission at the March MT12, 2024 meeting.

The project includes the redevelopment of an existing commercial/retail building and site, for a proposed recreational marijuana dispensary.

The project includes redevelopment of the site to add landscaped areas, storm water control and paved parking. It also includes changes to the exterior of the building with maintenance free siding and stone per the drawings.

Also, please allow my architect, Stephen Ciciretto, A.I.A., to act as my representative for submitting and presenting the project.

Thank You.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Thomas Hobson', written in a cursive style.

Mark Thomas Hobson  
Owner

MTH Properties, LLC  
17387 Munn Rd,  
Chagrin Falls, OH 44023



*Stephen Ciciretto, A.I.A., Architect*

*270 Park Place • Chagrin Falls, Ohio 44022 • Phone (440) 247-1000 • Fax (440) 247-3100*

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February 12, 2024

Mr. John H. Cieszkowski, Jr.  
Director of Planning and Zoning  
City of Streetsboro Ohio  
9184 State Route 43  
Streetsboro, Ohio 44241

RE: Wildflower recreational and medical marijuana Dispensary  
9156 State Route 14  
Streetsboro, Ohio 44241

Dear Mr. Cieszkowski:

Please be advised that the submission of this project meets the requirements of the Streetsboro Zoning Ordinance, Section 1132.02 AA as follows:

1. There are currently no other medical/recreational facilities in the city.
2. There are no other medical/recreational facilities within 2000 feet of this property
3. This is a free-standing building, and not in a prohibited multi-tenant building.

Respectfully submitted,

Stephen Ciciretto, A.I.A., Architect

TRANSFERRED  
Sec.319.54 (G-2) *1.00*  
Sec.319.202 *1100.00*

APR 26 2022

*Janet Espinoza*  
Portage County Auditor



Doc ID: 006331800006 Type: OFF  
Recorded: 04/26/2022 at 02:06:17 PM  
Fee Amt: \$66.00 Page 1 of 6  
Portage County Ohio  
Lori Calcei County Recorder

File **202207349**

## GENERAL WARRANTY DEED

**KNOW ALL PERSONS BY THESE PRESENTS, THAT, 123 S. Miller Road, L.L.C.,** an Ohio limited liability company (**the Grantor**), who claims right and title by or through prior instrument recorded in Instrument No. 201818731 of the Portage County Recorder's Office, for the consideration of Ten and 00/100 Dollars (\$10.00) received to its full satisfaction of **MT Hobson Properties, LLC**, an Ohio limited liability company, (**the Grantee**), whose tax mailing address will be: 8212 Chagrin Road, Chagrin Falls, Ohio 44023, does **Give, Grant, Bargain, Sell and Convey, with general warranty covenants, unto the said Grantee**, the following described premises:

See Exhibit A attached hereto.

Parcel Number: 35-045-00-00-058-000 & 35-045-00-00-057-002

Property Address: 9156 ST RT 14 and V/L ST RT 303, Streetsboro, OH 44241

**TO HAVE AND TO HOLD** the above granted premises, with all the privileges and appurtenances thereunto' belonging, to the said Grantee, its successors and assigns forever. And said Grantor, does for itself, its successors and assigns, covenant with the said Grantee, its successors and assigns, that at and until the unsealing of these presents, Grantor is well seized of the above described premises, as a good and indefeasible estate in FEE SIMPLE, and has good right to bargain and sell the same in manner and form as above written, and that the same is **free from all encumbrances whatsoever except** all restrictions, easements, conditions, reservations, limitations, zoning ordinances, and taxes and assessments, both general and special, not yet due and payable, and that Grantor will **Warrant and Defend** said premises, with the appurtenances thereunto belonging, to the said Grantee, its successors and assigns, against all lawful claims and demands whatsoever except as above set forth.

**Signature Page to Follow**



**Exhibit "A"**

**THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF PORTAGE, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS**

**Parcel 1:**

**Situated in the City of Streetsboro, County of Portage and State of Ohio:**

**And known as being part of Original Streetsboro Township Lot No. 46 and further described as follows:**

**Beginning at a point in the North line of the Hudson-Braceville Road, S.R. 303, (66' wide here) at the Southwest corner of the Smithfield Estates as recorded in Plat Book 13, Page 31, Portage County Records of Plats;**

**Thence along the North line of the Hudson Braceville, S.R. 303, N. 88 deg. 06' 45" W. a distance of 100.00 feet to an iron pipe found at the Southwest corner of lands now or formerly owned by W. Vanaman and recorded in Portage County Deed Book 984, Page 659, said iron pipe being the true place of beginning for this parcel of land;**

**Thence S. 00 deg. 34' 30" W. a distance of 33.00 feet to a point in the centerline of Hudson-Braceville Road, S.R. 303;**

**Thence along the centerline of Hudson-Braceville Road, S.R. 303, N. 88 deg. 06' 45" W. a distance of 10.31 feet to an iron rod found in a monument box assembly at the P.I. of a Three degree curve for the Cleveland-East Liverpool Road, S.R. 14;**

**Thence continuing along the centerline of the Hudson-Braceville Road, S.R. 303, N. 88 deg. 41' 58" W. a distance of 180.00 feet to a point at the Southeast corner of lands now or formerly owned by Harry Shullo and Maryfaith Trushell Shullo and recorded in Portage County Deed Book 906, Page 308;**

**Thence along the East line of the said Shullo, passing over an iron pipe found at Shullo's Northeast corner at a distance of 200.00 feet, N. 01 deg. 18' 02" E. a distance of 251.79 feet to an iron pipe set;**

**Thence along a line of land now or formerly owned by the Portage County Board of County Commissioners and recorded in Portage County Deed Book 739, Page 482, S. 88 deg. 06' 45" E. a distance of 187.15 feet to an iron pipe set at the Northwest corner of parcel of land now or formerly owned by F. Embrescia and recorded in Portage County Deed Book 874, Page 364;**

**Thence along the West line of said F. Embrescia and the West line of aforementioned W. Vanaman S. 00 deg. 34' 30" W. a distance of 217 feet to the true place of beginning and containing 1.0868 acres of land be the same more or less as surveyed in March, 1983 by**

Donald Trocchio, Registered Surveyor No. 6445.

Property Address: V/L ST RT 303  
Parcel Number: 35-045-00-00-057-002

4-26-2022  
TAX MAP DEPT.  
LEGAL DESCRIPTION  
X SUFFICIENT O DEFICIENT  
R NO DIVISION OF LAND

**Parcel 2:**

Situated in the City of Streetsboro, County of Portage and State of Ohio, and being further described as follows:

Beginning at an iron pin in a monument box at the S.W. corner of Lot 46, at the intersection of the centerline of S.R. #43 (Cleveland-Canton Road) and the centerline of S.R. 303 (Hudson-Braceville Road);

Thence S. 88 deg. 50' 30" E., a distance of 987.65 feet along the centerline of S.R. 303 and the South line of Lot 46 to a point, which is the true place of beginning;

Thence N. 1 deg. 09' 30" E., a distance of 200.00 feet to an iron pipe, passing over an iron pipe at 30.00 feet;

Thence S. 88 deg. 50' 30" E., a distance of 132.00 feet to an iron pipe;

Thence S. 1 deg. 09' 30" W., a distance of 200.00 feet to the centerline of S.R. 303 and the South line of Lot 46, passing over an iron pipe 30.00 feet therefrom;

Thence N. 88 deg. 50' 30" W., a distance of 132.00 feet along the centerline of S.R. 303 to the true place of beginning and containing 0.606 acre of land as surveyed by Terrence R. Hohnhorst, Registered Surveyor No.5065 in February, 1969.

**EXCEPTING FROM THE ABOVE DESCRIBED PREMISES the following:**

Situated in the City of Streetsboro, County of Portage and State of Ohio and bounded and described as follows:

Commencing at an existing monument found on centerline S.R. 14, same being at a point intersection center line S. R. 14 at Station 173+50.88 with centerline S.R. 303 at Station 136+36.58;

Thence S. 88 deg. 50' 30" E., along centerline S.R. 303, a distance of 184.63 feet to the Southwest property corner of grantor, the place of beginning of this conveyed parcel;

Thence N. 01 deg. 09' 30" E., along grantor's Westerly property line, a distance of 80.00 feet to a point on the existing Northerly right of way line of S.R. 14 and S.R. 303;

**Thence along said existing right of way line, these two courses:**

**S. 88 deg. 50' 30" E., a distance of 4.69 feet to a point;**

**Thence S. 01 deg. 09' 30" W., a distance of 25.00 feet to a point;**

**Thence along a proposed Northerly right of way line, bearing S. 84 deg. 21' 02" E., a distance of 127.70 feet to a point on the Easterly property line of the grantor;**

**Thence S. 01 deg. 09' 30" W., along said Easterly property line, a distance of 45.00 feet to the Southeast property line;**

**Thence N. 88 deg. 50' 30" E., along the Southerly property line of the grantor, same being the existing centerline of S.R. 303, same also being the Southerly line of Lot 46 a distance of 132.00 feet to the place of beginning, containing 0.155 acre of land, of which 0.050 acre is to be acquired, and 0.105 acre is within the existing highway right of way. Description for the above parcel is based on a survey made by Clifton M. Newhall, Registered Surveyor Number 2684.**

**Property Address: 9156 ST RT 14**

**Parcel Number: 35-045-00-00-058-000**

**The property address and tax parcel identification number listed herein are provided solely for informational purposes, without warranty as to accuracy or completeness.**

**Resource Title National Agency, Inc.**

**Order Number CLE210051**



# WILDFLOWERS DISPENSARY

9156 STATE ROUTE 14  
STREETSBORO, OHIO

## INDEX OF DRAWINGS

- X-1 PROJECT TITLE SHEET
- 1 CIVIL ENGINEERING TITLE SHEET
- 2 GENERAL NOTES
- 3 EXISTING CONDITIONS/DEMOLITION PLAN
- 4 SITE PLAN
- 5 UTILITY PLAN
- 6 GRADING PLAN
- 7 SUP3 PLAN
- 8 SUP3 NOTES AND DETAILS
- 9 NOTES AND DETAILS
- A-1 FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 ROOF PLAN
- A-4 ELEVATIONS
- A-5 ELEVATIONS
- A-6 SECTION/DETAILS
- A-7 SECTION/DETAILS

## GENERAL DATA

FIRST FLOOR AREA : 2524 SF. (1924 SF. IS MERCANTILE AND 600 SF. IS STORAGE/STOCK/SHIPPING)  
BASEMENT LEVEL AREA : 792 SF. (DEDICATED TO STOCK/STORAGE)

OBC USE GROUP: M (MERCANTILE)

LOWER LEVEL IS SPRINKLERED WITH A LIMITED AREA SPRINKLER SYSTEM (WINDOWLESS STORY)

TOTAL NUMBER OF OCCUPANTS BASED ON USE PER OBC:

FIRST FLOOR: MERCANTILE = 1924 SF. / 60 = 32 OCCUPANTS  
STOCK = 600 SF. / 300 = 2 OCCUPANTS

BASEMENT: STOCK = 792 SF. / 300 = 2 OCCUPANTS  
TOTAL NUMBER OF OCCUPANTS IN BUILDING = 36 OCCUPANTS

NUMBER OF PARKING SPACES FOR MERCANTILE USES : 1 SPACE FOR EACH 600 SF. OF FLOOR AREA  
3,306 SF./200 SF. PER PARKING SPACE = 17 SPACES; 19 PROVIDED

## SPECIFICATIONS

**GENERAL CONDITIONS**  
The latest edition AIA General Conditions shall apply to this project. A copy of this document is available for review at the office of the architect.

The Contractor shall verify all grades, lines, levels, dimensions and field conditions as indicated on the drawings and report all discrepancies to the Architect immediately prior to commencing any work. In all instances where dimensions do not match the field conditions, the dimension shall prevail.

The Contractor is responsible for protecting the existing driveway, sidewalks, building and all other existing property that is to remain, and must replace or repair same if damaged. This contractor shall maintain all insurance and workers compensation as required by law.

No deviations from the Construction Documents shall be made without approval of the Architect and Owner, authorized through written Change Order form as signed by the Architect.

The Contractor shall guarantee the work and that of his sub-contractors for a period of one (1) year. All work shall be performed in accordance with governing codes, ordinances and authorities having jurisdiction.

No substitutions shall be permitted for specified items unless specifically approved prior to the signing of the contract or agreement to perform services.

The Contractor shall keep the site clear of debris and accumulation of waste material caused by his operations during the course of construction. He shall be responsible for the removal of all debris and waste material from the site. All construction vehicles shall be sufficiently clean upon leaving the site to keep the streets clear of mud and debris.

The use of these drawings and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. It is the Contractor's responsibility to verify all dimensions and quantities shown on these drawings and specifications and to provide the necessary field verification. The Contractor shall constitute prima facie evidence of the acceptance of these restrictions.

### DEMOLITION NOTES

General Contractor is to remove all existing construction as noted including utility (as indicated in drawings), existing masonry walls, existing floor covering, lighting cabinets, and plumbing fixtures. This includes all items required to be removed for new construction whether or not expressly indicated on the drawings. The Contractor shall verify with the Owner all items that shall be salvaged and returned to the Owner. All other items become the property of the Contractor to be salvaged or disposed of properly without consulting his bid.

2. Cap off all existing plumbing lines to that are to be removed.

3. Provide clean, level and smooth surfaces for proper installation of finish floors.

### CONCRETE WORK

1. The work required under this section consists of all concrete work and related items necessary to complete the work as indicated on the drawings and described herein. The following specific items are to be completed under this section: Footings and floor slabs as required. All materials shall conform to the requirements of the ASTM and the Portland Cement Association. Concrete shall be placed in a single lift. Under floor slabs provide 4" porous gravel fill. Slump of concrete shall be 3" max. Provide delivery tickets for each batch of concrete. Pour concrete in accordance with the recommendations of the Portland Cement Association. The Architect has assumed 15000 psi soil bearing pressure on virgin soil.

2. In absence of soil borings, the Architect has assumed 15000 psi soil bearing pressure on virgin soil.

3. Bottom of all footings shall be a minimum of 3'-6" below finish exterior grade for protection from frost.

### MASONRY

1. The Contractor is to finish and install all manufactured stone, concrete block and related items to complete work as indicated on the drawings and as described herein. All masonry shall be laid in a workmanlike manner.

**DATAPROOFING**  
1. Basement walls shall be dataproofed with epoxy applied waterproofing membrane and built up exterior (Tuff) membrane (Tuff) minimum 1/2" thick.

2. New foundation drains shall be 4" PVC (perforated) laid in a bed of gravel with a filter fabric wrap, and laid with a slope and tied into the existing storm ditch where possible. Backfill with crushed stone from the foundation to within 2" of finished exterior grade.

**CALLINGS**  
1. Completely seal with caulking compound, joints around frames and sills of doors, windows and other openings. Use Dap Caulking Compound. Apply caulk to obtain a neat bead.

**CAULKING**  
1. All materials shall comply with the standards of the AIA, NAFSA, NEMA, DPFA AND IIR. All exterior trim shall be rough sash cedar. If not specifically noted, all interior woodwork shall be 2" pine or better. If not specifically noted on the drawings, in design to match the existing.

2. Structural framing lumber (suds, joists and rafters) shall be kiln dried, B200 psi treat stress treated lumber.

3. All exterior sheathing shall be CDX plywood (1/2") for walls and 5/8" for roof sheathing if not specifically noted. Alternates wall sheathing may be 1/2" or 5/8" wall sheathing if not specifically noted.

4. Wood framing to be sized as shown on drawings. All members to be in single lengths between supports. All members to be bolted or glued and braced in substantial manner.

5. All exterior doors and windows shall be installed in accordance with manufacturer's instructions. Pressure treated, corners and angles to be formed blocked and set square and plumb. Stud to be doubled at all openings. All studing shall be 16" o.c. except where noted differently on drawings.

6. Sills and plates resting on masonry to be anchored with 1/2" bolts at 4'-0" o.c. maximum 12" from corners set on compressible sill seal material.

**WINDOWS**  
1. Tempered glass to be applied where required by building codes.

**CERAMIC TILE**  
1. Tile shall be installed with a thin set method. Grout to be non-stink hygienic. All joints shall be straight and true with clean, even cuts. Color and size as selected by Architect or Owner.

2. Underlayment shall be 1/2" Cement board on all walls.

**FRAMES AND GLAZING**  
1. All exterior windows shall be non-staining type (General Electric 700, translucent or equal).

2. Adhesives shall be non-staining type (General Electric 700, translucent or equal).

**PAINING**  
1. All painted interior surfaces to receive primer/sealer and two coats finish. Wall and ceilings shall be 100%.

2. All painted exterior surfaces to be properly prepared per sash glove enamel.

**CLEAN UP**  
1. All debris to be removed from premises and site.

2. All debris to be professionally cleaned with windows washed both inside and out.

3. All tools, equipment and materials of trades to be removed from site.

4. All finish grading shall be complete prior to acceptance by Owner.



FEBRUARY 1, 2024  
STEPHEN CICIRETTO  
#1461  
EXP. DATE: 12/31/25

### REMARKS:

DATE: 2/1/24  
DRAWN BY:

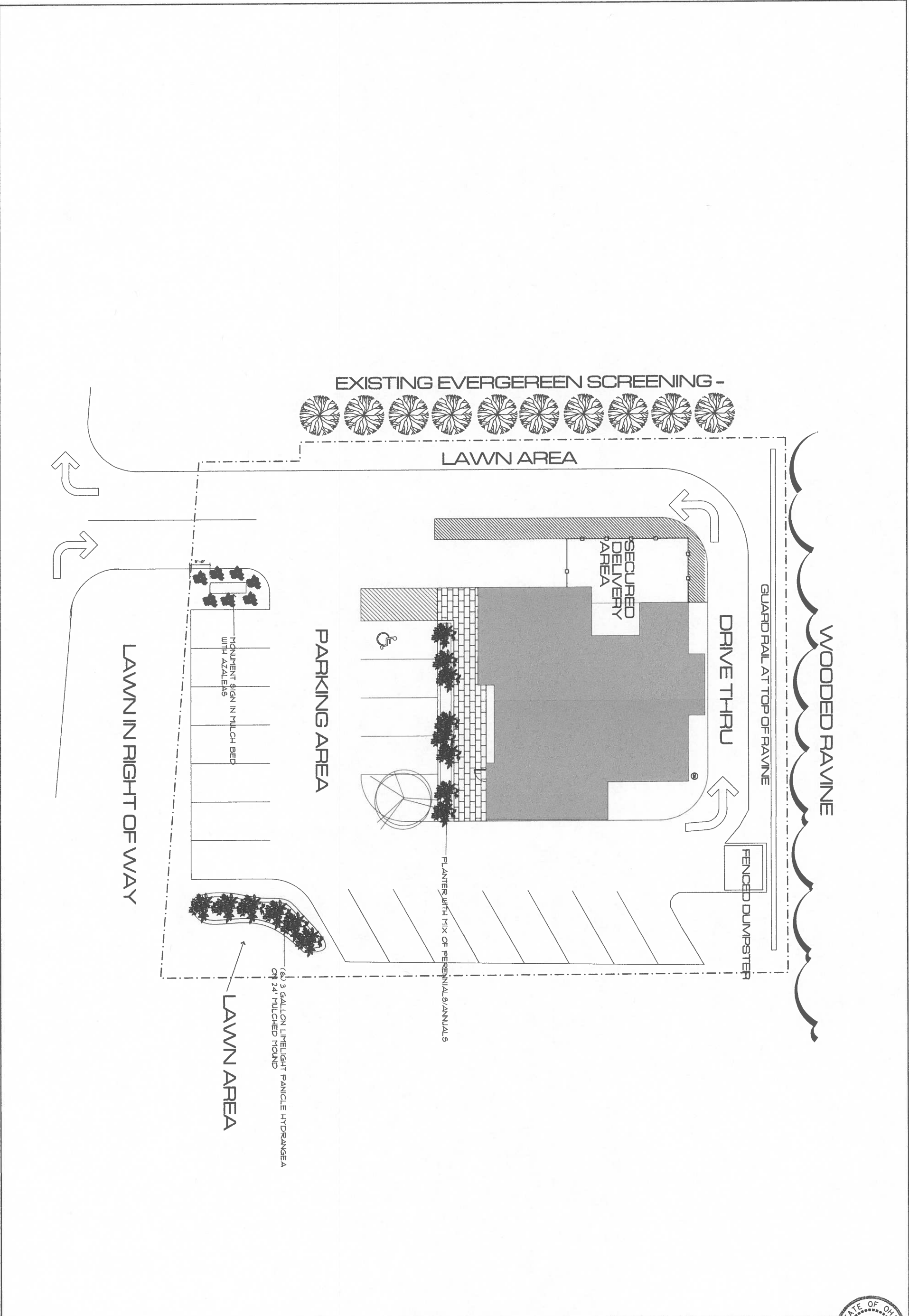
PROJECT TITLE:  
WILDFLOWERS DISPENSARY  
9156 STATE ROUTE 14  
STREETSBORO, OHIO

SHEET TITLE:  
TITLE SHEET

X-1



STEPHEN CICIRETTO, A.I.A. ARCHITECT  
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000 • sc-ai@sbcglobal.net

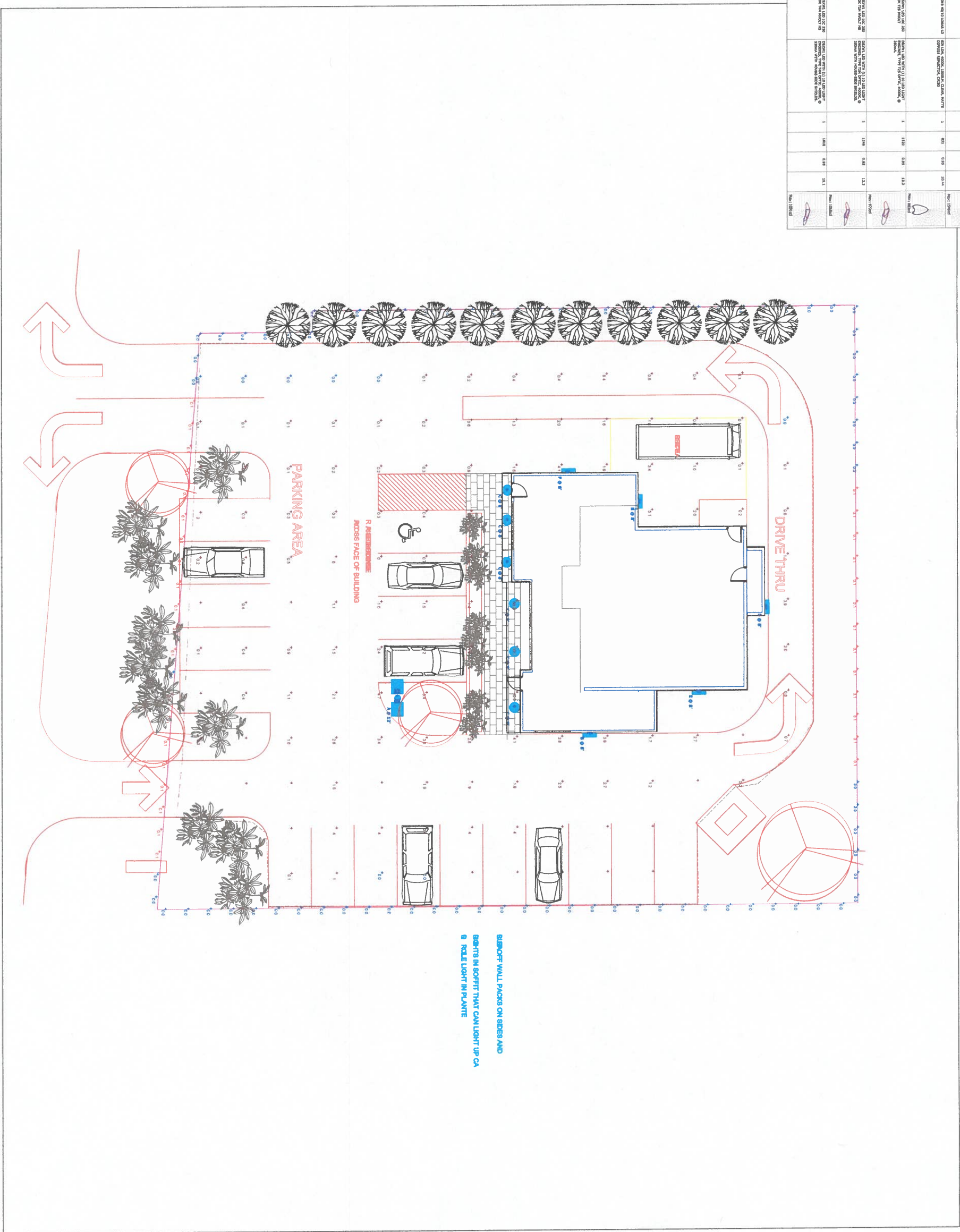


X-2	SHEET TITLE: <b>LANDSCAPE PLAN</b>	PROJECT TITLE: WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	DATE: 2/1/24	REMARKS:
			DRAWN BY:	



Description	Symbol	Qty	Area	Perim	Volume	Weight
RESERVED	+	0.0 E	0.0 E	N/A	N/A	N/A
CHG ZONE #3	+	1.3 E	14.1 E	0.0 E	N/A	N/A

Symbol	Qty	Area	Perim	Volume	Weight
A	1	1.823	0.29	0.43	0.43
B	1	1.248	0.24	0.33	0.33
C	1	1.182	0.29	0.33	0.33
D	1	1.248	0.24	0.33	0.33
E	1	1.488	0.29	0.43	0.43
F	1	1.488	0.29	0.43	0.43



REMOFF WALL PACKS ON SIDES AND RIGHTS IN SOFTTT THAT CAN LIGHT UP CA  
 R RICE LIGHT IN PLANTS

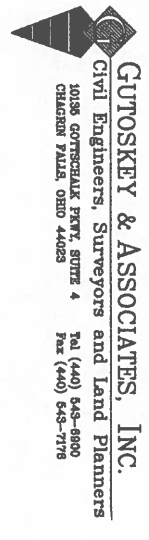
SMALL BUSINESS SITE

SITE RE-DEVELOPMENT  
FOR

WILDFLOWERS DISPENSARY

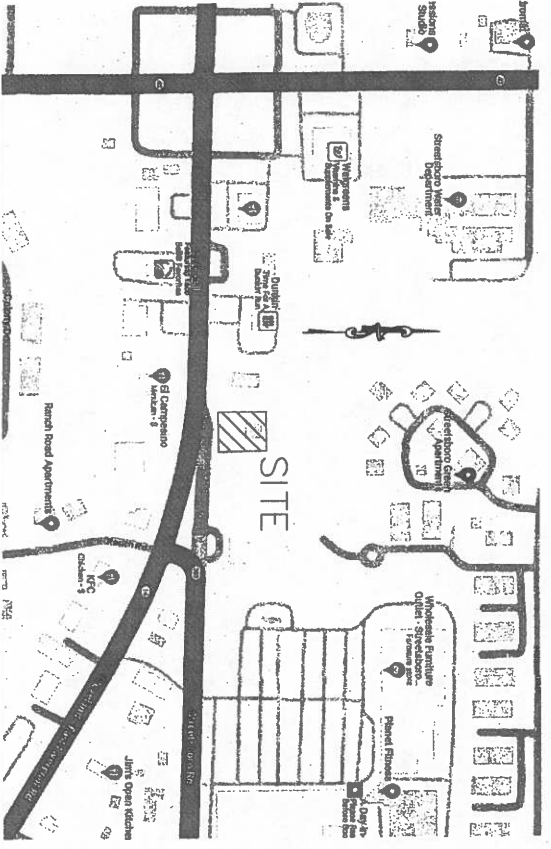
CITY OF STREETSBORO - PORTAGE COUNTY - OHIO

JANUARY, 2024



DRAWING INDEX

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VICINITY MAP  
NOT TO SCALE

APPROVALS

APPROVED \_\_\_\_\_  
JUSTIN A. CZEKAJ, PE CITY ENGINEER  
DATE \_\_\_\_\_

BENCHMARK:  
FINISH FLOOR EXISTING BUILDING  
ELEVATION = 1143.21



OWNER  
MT HOBSON PROPERTIES LLC.  
8212 CHAGRIN RD.  
CHAGRIN FALLS, OH 44023

CONTACT:  
TOM HOBSON  
(330) 839-8338



\_\_\_\_\_  
JOSEPH GUTOSKEY P.E. No. 51851

**GENERAL NOTES**

A PRE-CONSTRUCTION CONFERENCE SHOULD BE HELD BY THE CITY ENGINEER PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL PROVIDE A FOUR HOUR NOTICE TO THE CITY ENGINEER PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.

THE LATEST EDITION OF STANDARD SPECIFICATIONS OF THE STREETSBO RO CONSTRUCTION STANDARDS, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS, SHALL GOVERN THIS PROJECT.

ALL WORK CONTRACTED SHALL BE GOVERNED BY THE RULES, REGULATIONS AND SPECIFICATIONS OF THE CITY ENGINEER AND ALL THESE BE SUBJECT TO HIS DIRECT INSPECTION.

ALL WORK CONTRACTED UNDER THIS CONTRACT SHALL COMPLY WITH THE U.S. DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

CONTRACTOR / BIDDER TO VISIT SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSAL.

THE CONSTRUCTION OF THIS PROJECT WILL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (CURRENT STANDARD DRAWINGS, SPECIFICATIONS AND CONTRACT SPECIFICATION DOCUMENTS) WHERE APPLICABLE.

CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-343-2791) 48 HOURS PRIOR TO BEGINNING WORK.

LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN OBTAINED BY DILIGENT FIELD CHECKS OF INVENTORIES OF AVAILABLE RECORDS, AS REQUIRED BY SECTION 1524.4 OF THE OHIO REVENUE CODE.

IT IS BELIEVED THEY ARE ESSENTIALLY CORRECT. THE ENGINEER MAKES NO GUARANTEE TO THEIR ACCURACY OR COMPLETENESS. EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION.

NO WORK OR OTHER ACTIVITIES ARE TO TAKE PLACE OUTSIDE OF THE PROPERTY LINES OF THIS PROJECT 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES IN THE CONTRACT AREA IN ONE (1) FOOT MEASUREMENTS WITHIN THE BOUNDARY.

THE EXISTING CONTOURS WERE FROM FIELD TOPOGRAPHIC SURVEY PRIOR TO SITE CLEANING, DEMOLITION AND TOPSOIL STOCKPILING. THE CONTOURS ARE IN ONE (1) FOOT MEASUREMENTS WITHIN THE BOUNDARY.

CONTRACTOR SHALL RESTORE ALL AREAS AND UTILITIES DESTROYED BY HIS WORK TO THE CONDITION EXISTING PRIOR TO CONSTRUCTION AND AS PER CONTRACT DRAWINGS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES, BUILDINGS, ROADWAYS, STRUCTURES AND SITE CONDITIONS RESULTING FROM HIS WORK.

CONTRACTOR SHALL STRICTLY ADHERE TO EROSION CONTROL PLAN. SEE STORM WATER POLLUTION CONTROL SHEETS AND DETAILED EROSION CONTROL PLAN.

CONSTRUCTION AND MATERIAL SPECIFICATIONS:

WHERE IN ANY CASE THE PLANS AND SPECIFICATIONS DO NOT ENTIRELY COVER MATERIALS AND/OR WORKMANSHIP, THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS CURRENT DATE SHALL APPLY AND BE ENFORCED. THROUGHOUT THE PLANS THE REFERENCE TO SPECIFIC ODOT ITEM STANDARDS FOR THE DESIGN AND CONSTRUCTION OF BERMSIDE APPROVEDMENTS OF THE CITY OF STREETSBO RO, WHERE CONFLICTS OCCUR IN THE ABOVE, THE ENGINEER SHALL DETERMINE THE GOVERNING AUTHORITY. ANY DEVIATION IN THE CONSTRUCTION INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPAIRED OR CORRECTED THROUGHOUT THE PROJECT THROUGHOUT THESE PLANS TO THE ENGINEER SHALL BE THE CONSULTING ENGINEER.

**CONSTRUCTION NOTICE:**

THE CONTRACTOR SHALL NOT COMMENCE WITH ANY FORM OF CONSTRUCTION WITHOUT GIVING 48 HOUR NOTICE TO THE OFFICE OF THE ENGINEER OF THE CITY OF STREETSBO RO TO ARRANGE FOR OBSERVATION. IF ANY CHANGE IN THE WORK IS NECESSARY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OBSERVER TO AVOID UNNECESSARY OBSERVATION COSTS.

CONTRACTOR SHALL CONTACT THE OFFICE OF THE CITY ENGINEER TO ARRANGE FOR CONSTRUCTION OBSERVATION FOR ALL WORK THAT IS TO TAKE PLACE IN THE PUBLIC RIGHT OF WAY.

**PRECAUTION AGAINST UTILITY DAMAGE:**

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AT AND BEFORE TO THE OWNER TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**GENERAL UNDERGROUND INSTALLATION:**

THE UNIT PRICE BID FOR THE VARIOUS UNDERGROUND INSTALLATION ITEMS SHALL INCLUDE, BUT NOT LIMITED TO, ALL EXCAVATION, MATERIAL, LABOR, BEDDING, BACKFILL, COMPACTED EQUIPMENT, UTILITY PROTECTION, MAINTENANCE OF ALL ROADWAYS AND DRIVEWAYS, FINAL REPLACEMENT, PUMPING AND/OR DEWATERING, CONSTRUCTION AND REMOVAL OF ALL NECESSARY PROTECTIVE STRUCTURES AND ALL OTHER NECESSARY ITEMS AS NECESSARY TO INSTALL SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES IN THE CONTRACT AREA IN ONE (1) FOOT MEASUREMENTS WITHIN THE BOUNDARY.

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**COMPACTED BACKFILL:**

UNIFORM GRADES CROSS EXISTING DRIVEWAYS OR SIDEWAYS, INCLUDING TO A POINT 5 FEET BEYOND EACH CROSSING, OR WHERE THE CONSTRUCTION METHODS USED BY THE CONTRACTOR RESULT IN THE TRENCH WALL BEING LESS THAN 2 FEET FROM THE EDGE OF THE EXISTING DRIVEWAY OR SIDEWALK, THE ENTIRE TRENCH BACKFILL SHALL BE COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS WITH MECHANICAL WALKER BEING USED TO COMPACT. BACKFILL SHALL NOT BE PLACED OVER FRESH CONCRETE. BACKFILL SHALL BE PLACED OVER EXISTING CONCRETE. BACKFILL SHALL NOT BE PLACED OVER FRESH CONCRETE.

**CONCRETE ENCAUSTION:**

CONCRETE ENCAUSTION SHALL BE USED TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. CONCRETE ENCAUSTION SHALL BE USED TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. CONCRETE ENCAUSTION SHALL BE USED TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION.

**MANHOLES:**

MANHOLES SHALL BE CAST IN PLACE CONCRETE AND CONFORM TO ASTM C-778 AND HAVE JOINTS BETWEEN RISERS AND MANHOLES SHALL BE SET ON A MINIMUM OF SIX (6) INCHES THICK COMPACTED SAND OR GRANULAR MATERIAL. NEW MANHOLES SHALL BE SET ON A MINIMUM OF SIX (6) INCHES THICK COMPACTED SAND OR GRANULAR MATERIAL. NEW MANHOLES SHALL BE SET ON A MINIMUM OF SIX (6) INCHES THICK COMPACTED SAND OR GRANULAR MATERIAL.

**CLEAN WATER CONNECTIONS:**

CLEAN WATER CONNECTIONS SHALL BE MADE TO THE SANITARY SEWER SYSTEM AS PROHIBITED. CLEAN WATER CONNECTIONS SHALL BE MADE TO THE SANITARY SEWER SYSTEM AS PROHIBITED. CLEAN WATER CONNECTIONS SHALL BE MADE TO THE SANITARY SEWER SYSTEM AS PROHIBITED.

**TESTING OF SANITARY SEWERS:**

ALL INSPECTION AND TESTING SHALL BE DONE BY AN EXPERIENCED AND QUALIFIED FIRM EMPLOYED IN THIS TYPE OF WORK. AS APPROVED BY THE CITY OF STREETSBO RO, WRITTEN REPORTS FOR ALL INSPECTION AND TESTING SHALL BE SUBMITTED TO THE CITY OF STREETSBO RO PRIOR TO THE START OF CONSTRUCTION. WRITTEN REPORTS FOR ALL INSPECTION AND TESTING SHALL BE SUBMITTED TO THE CITY OF STREETSBO RO PRIOR TO THE START OF CONSTRUCTION.

**ALLOWABLE LEAKAGE:**

THE MAXIMUM ALLOWABLE LEAKAGE FOR EITHER INFILTRATION OR EXFILTRATION SHALL BE 100 GALLONS PER INCH OF INTERNAL PIPE DIAMETER PER MILE PER DAY.

**DESIGNATION TEST:**

DEFLECTION OF THE PIPE DIAMETER SHALL NOT EXCEED 1 PERCENT OF THE BASE INSIDE DIAMETER OF THE PIPE. ALL INSTALLATION SHALL BE TESTED FOR DEFLECTION 30 DAYS OR MORE AFTER THE TRENCH HAS BEEN BACKFILLED TO FINISH GRADE. THE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.

**WYE BRANCHES, RISERS AND CONNECTIONS:**

WYE BRANCHES, RISERS AND CONNECTIONS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

1. POLYVINYL CHLORIDE (PVC) ASTM D-3034 (SDR 35) WITH GASKET MATERIAL CONFORMING TO ASTM F-417
2. WYE BRANCHES SHALL BE PRE-FORMED WYE.

**PIPE PREPARATION:**

PRECAUTIONS SHOULD BE EXERCISED DURING THE REMOVAL OF THE EXISTING BUILDING STRUCTURES AT THE PROPOSED SITE. ALL EXISTING FOUNDATIONS, FLOOR SLABS, ETC., SHOULD BE COMPLETELY REMOVED FROM THE PROPOSED CONSTRUCTION AREA. THE EXCAVATIONS SHOULD BE CLEARED OF ALL FOREIGN DEBRIS AND THEN PROTECTED WITH COMPACTED ENGINEERED FILL MATERIAL TO LESSER POTENTIAL SETTLEMENT THAN MAY OCCUR.

**FOLLOWING THE SITE CLEANING, STRIPPING AND UNDERSTANDING, AND PRIOR TO PLACING ENGINEERED FILL, THE EXPOSED SUBGRADE SHOULD BE RECORDED WITH A LOADED 20-TON TO 30-TON TAMPER-WALL DUMP TRUCK LIMIT DURING THE ENTIRE CONSTRUCTION PERIOD. THE TAMPER SHOULD BE EXCAVATED AND RECORDED BEARING SURFACE WITH CRUSHED LIMESTONE OR SIMILAR COURSE AGGREGATE AFTER THE EXISTING SUBGRADE MATERIALS ARE EXCAVATED PROPER CONTROL OF SUBGRADE COMPACTION AND THE PLACEMENT AND COMPACTION OF NEW FILL MATERIALS SHOULD BE PERFORMED.**

**IT IS RECOMMENDED THAT THE SITE PREPARATION, PROTECTING AND EXCAVATION ACTIVITIES SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER, WHICH CAN SIGNIFICANTLY REDUCE THE REQUIRED EXTENT OF SOIL STABILIZATION, DRAINAGE AND SURFACE REPAIRS.**

**DURING SITE PREPARATION, GROUT PITS, TRASH PITS OR OTHER ISOLATED DISPOSAL AREAS MAY BE ENCOURAGED. ANY SUCH AREAS SHOULD BE MONITORED DURING THE WORK ON CONSTRUCTION SHOULD BE COMPLETELY EXCAVATED AND REPAIRED FROM THE SITE.**

**ENGINEERED FILL:**

ENGINEERED FILL MATERIALS SHOULD CONSIST OF NON-COAGULATIVE MATERIALS. POTENTIALLY COAGULATIVE MATERIALS SHOULD NOT BE USED AS ENGINEERED FILL MATERIALS. MATERIALS SELECTED FOR USE AS ENGINEERED FILL SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO. THE MATERIALS SHOULD GENERALLY HAVE A STANDARD PROCTOR MAXIMUM DRY DENSITY GREATER THAN 110 POUNDS PER CUBIC FOOT (PCF), AN ATTERBURY LIQUID LIMIT LESS THAN 40, A PLASTICITY INDEX OF LESS THAN 20, AND A MAXIMUM PARTICLE SIZE OF 2 INCHES OR LESS.

**REPRESENTATIVE SAMPLES OF THE PROPOSED FILL MATERIALS SHOULD BE COLLECTED AT LEAST ONE WEEK PRIOR TO THE START OF THE FILLING OPERATIONS. THE SAMPLES SHOULD BE TESTED TO DETERMINE THE MAXIMUM DRY DENSITY OF THE FILLING MATERIALS. THE MATERIALS SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO. THE MATERIALS SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.**

**THE FILL SHOULD BE PLACED IN LAYERS OF NOT MORE THAN 6 INCHES IN THICKNESS. WITH EACH LAYER BEING COMPACTED TO THE MAXIMUM DRY DENSITY OF THE FILLING MATERIALS. THE MATERIALS SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO. THE MATERIALS SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.**

**ENGINEERED FILL OPERATIONS WILL REQUIRE MONITORING/TESTING BY A GEOTECHNICAL CONSULTANT TO ENSURE PROPER COMPACTION RECOMMENDED BY THE FIRM.**

**GROUNDWATER CONTROL AND DRAINAGE:**

**POSITIVE SITE DRAINAGE SHOULD BE PROVIDED TO REDUCE INFILTRATION OF SURFACE WATER AROUND THE PERIMETER OF THE FILL AREA. OVERALL SITE AREA DRAINAGE IS TO BE ARRANGED IN A MANNER SUCH THAT THE POSSIBILITY OF WATER BOUNDING OVER THE STRUCTURAL FILL IS PREVENTED.**

**EXCAVATIONS:**

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATION AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR SHOULD MAINTAIN THE SOIL EXPOSED IN THE EXCAVATION SLOPE INCLINATION OR EXCAVATION DEPTH, INCLUDING UTILITY TRENCH EXCAVATION DEPTH, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.

**WEATHER CONSIDERATIONS:**

THE SOILS ENCOUNTERED AT THIS SITE COULD BE SENSITIVE TO DISTURBANCES CAUSED BY CONSTRUCTION TRAFFIC AND TO CHANGES IN MOISTURE CONTENT DURING THE INSTALLATION OF STREETSBO RO AND SUPPORT CAVELTIES. CARE SHOULD BE EXERCISED DURING THE GRADING OPERATIONS AT THE SITE TRAFFIC OF HEAVY EQUIPMENT, INCLUDING HEAVY CONSTRUCTION EQUIPMENT, TO PREVENT OVERWETTING OF THE SOILS. THE GRADING SHOULD BE PERFORMED DURING A DRY WEATHER. THEREFORE, THE GRADING SHOULD BE PERFORMED DURING A DRY WEATHER. THEREFORE, THE GRADING SHOULD BE PERFORMED DURING A DRY WEATHER.

**STORM SEWER NOTES:**

1. ALL FILL TO BE ENCOUNTERED SHALL BE TESTED INTO THE STORM SEWER. ANY FIELD TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.
2. STORM SEWERS SHALL BE TESTED AFTER INSTALLATION OF ROADWAY AND UTILITIES IN A PERIOD COVERED BY THE BID SHALL BE PROVIDED TO THE CITY.
3. MATERIAL SPECIFICATIONS CALLED FOR ON THE PLANS REPRESENT THE MINIMUM REQUIRED FOR EACH APPLICATION. THE OWNER MAY REQUEST OR THE CONTRACTOR MAY DESIRE TO EXCEED THE MINIMUM SPECIFICATIONS CALLED FOR AND MUST BE APPROVED IN WRITING BY THE CONSULTING ENGINEER, AND MAINTAINING AGENCY.

**SEWER REVISIONS:**

SEWER REVISIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO. SEWER REVISIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.

**PIPE (WITHIN RIGHT OF WAY):**

12" AND 18" PIPE CLASS IV REINFORCED CONCRETE PIPE  
18" AND GREATER CLASS IV REINFORCED CONCRETE PIPE

**HIGH DENSITY POLYETHYLENE (HDPE) (WITHIN RIGHT OF WAY):**

SMOOTH INTERIOR, CONFORMING TO DODOT 707.25 AND THE LATEST AASHTO M-283 SPECIFICATIONS.

**ALL STORM INLET GRATES SHALL BE BICYCLE SAFE.**

**ALL NEW SEWERS, MANHOLES, AND/OR INLET BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED PRIOR TO ACCEPTANCE.**

**ALL STORM SEWER SHALL BE CLEANED, FLUSHED AND VIBRO TAPPED.**

**EARTHWORK OPERATIONS:**

EROSION CONTROL METHODS MUST BE IN PLACE PRIOR TO ANY STRIPPING OR EXCAVATION WORK. EROSION CONTROL METHODS MUST BE IN PLACE PRIOR TO ANY STRIPPING OR EXCAVATION WORK. EROSION CONTROL METHODS MUST BE IN PLACE PRIOR TO ANY STRIPPING OR EXCAVATION WORK.

**ALL STRIPPER, TRUCKS, AND OTHER CONSTRUCTION DEVICES SHALL BE DISPOSED OF BY THE CONTRACTOR UNDER THE SUPERVISION OF THE CITY ENGINEER. ALL FILL MATERIAL SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO. THE MATERIALS SHOULD BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF STREETSBO RO.**

**THE DESIGNATED AREAS OF EXCAVATION AND FILL SHALL BE CLEARED AND STRIPPED BY THE CONTRACTOR PRIOR TO THE START OF ANY EARTHWORK OPERATIONS.**

**THE CONTRACTOR SHALL STRIP ALL TOPSOIL FROM THE SITE AND SPREAD OR STOCKPILE IN AREAS DESIGNATED BY THE IMPROVEMENT PLANS AND/OR THE OWNER.**

**DURING HIS CONSTRUCTION OPERATIONS WITHIN THE FILL AREAS OBSERVED ON THE PLANS, THE CONTRACTOR SHALL STRIP ALL TOPSOIL FROM THE SITE AND SPREAD OR STOCKPILE IN AREAS DESIGNATED BY THE IMPROVEMENT PLANS AND/OR THE OWNER.**

**THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY FACILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

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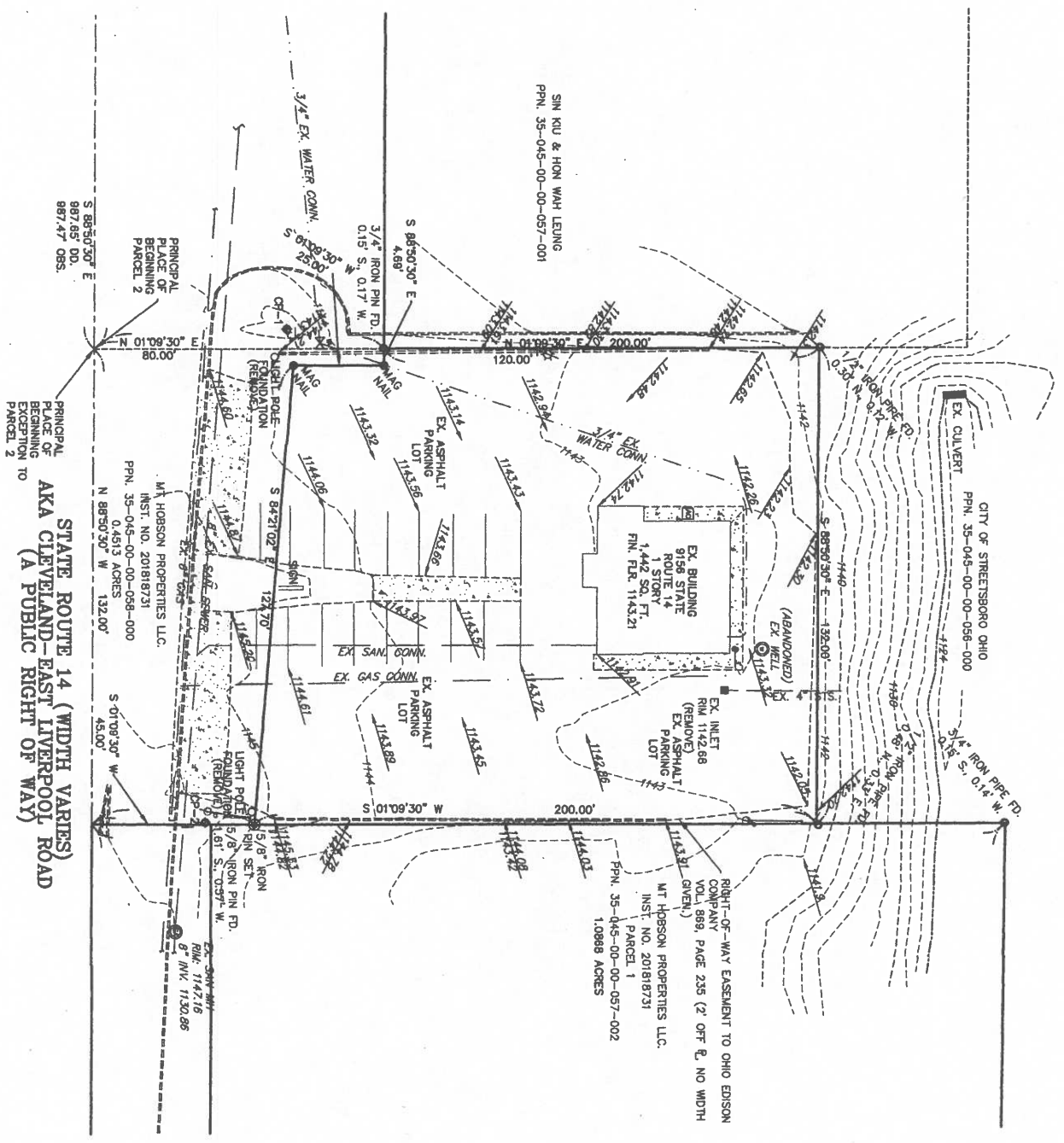
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**WILDFLOWERS DISPENSARY**  
9156 STATE ROUTE 14  
STREETSBO RO - PORTAGE COUNTY - OHIO

**GUTOSKEY & ASSOCIATES INC.**  
Civil Engineers, Surveyors and Land Planners  
10156 GOTTSCHECK PKWY, SUITE 4  
CHAGRIN FALLS, OHIO 44022  
Tel (440) 543-8900  
Fax (440) 543-7178

**GENERAL NOTES**

Date: <u>Jan. 2024</u>	Scale: <u>Not To Scale</u>
Drawn: <u>W.A.</u>	Checked: <u>W.A.</u>
Reviewed: <u>W.A.</u>	Approved: <u>W.A.</u>
Sheet: <u>2</u> of <u>9</u>	CONTRACT No. <u>24-3963</u>



STATE ROUTE 14 (WIDTH VARIES)  
AKA CLEVELAND-EAST LIVERPOOL ROAD  
(A PUBLIC RIGHT OF WAY)

SURVEY CONTROL POINTS			
NO.	DESC.	NOTHING	EASTING
C-1	MAG NAIL	575102.788	2285984.124
C-2	IRON PIN	575090.217	2287120.891
			1148.39

**DEMOLITION NOTES:**  
SITE UTILITIES SHOWN IN APPROXIMATE LOCATIONS CONTRACTOR TO FIELD VERIFY LOCATIONS.  
CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES ON RE-USE OF THEIR EXISTING CONNECTIONS.  
ALL EXISTING PAVEMENT TO BE REMOVED FOR REGRADING OF SUB-BASE TO PROPOSED ELEVATIONS.  
ALL EXISTING STORM SEWER ON SITE TO BE REMOVED.



I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733.37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS EXPRESSED ARE BASED ON THE US SURVEY FOOT AND ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATES, NORTH ZONE 3401, NAD83 (CONS 2011Z) ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

*Joseph Gutoskey*  
JOSEPH GUTOSKEY, P.S. No. 7967  
DATE 12/12/24



Date: JUN. 2024  
Scale: Hor. 1"=50'  
Vert. N/A  
Filename: G.A.  
Checked By: \_\_\_\_\_  
P.S. No.: \_\_\_\_\_  
Sheet 3 of 9  
CONTRACT No. 24-3963

**EXISTING CONDITIONS & DEMOLITION PLAN**

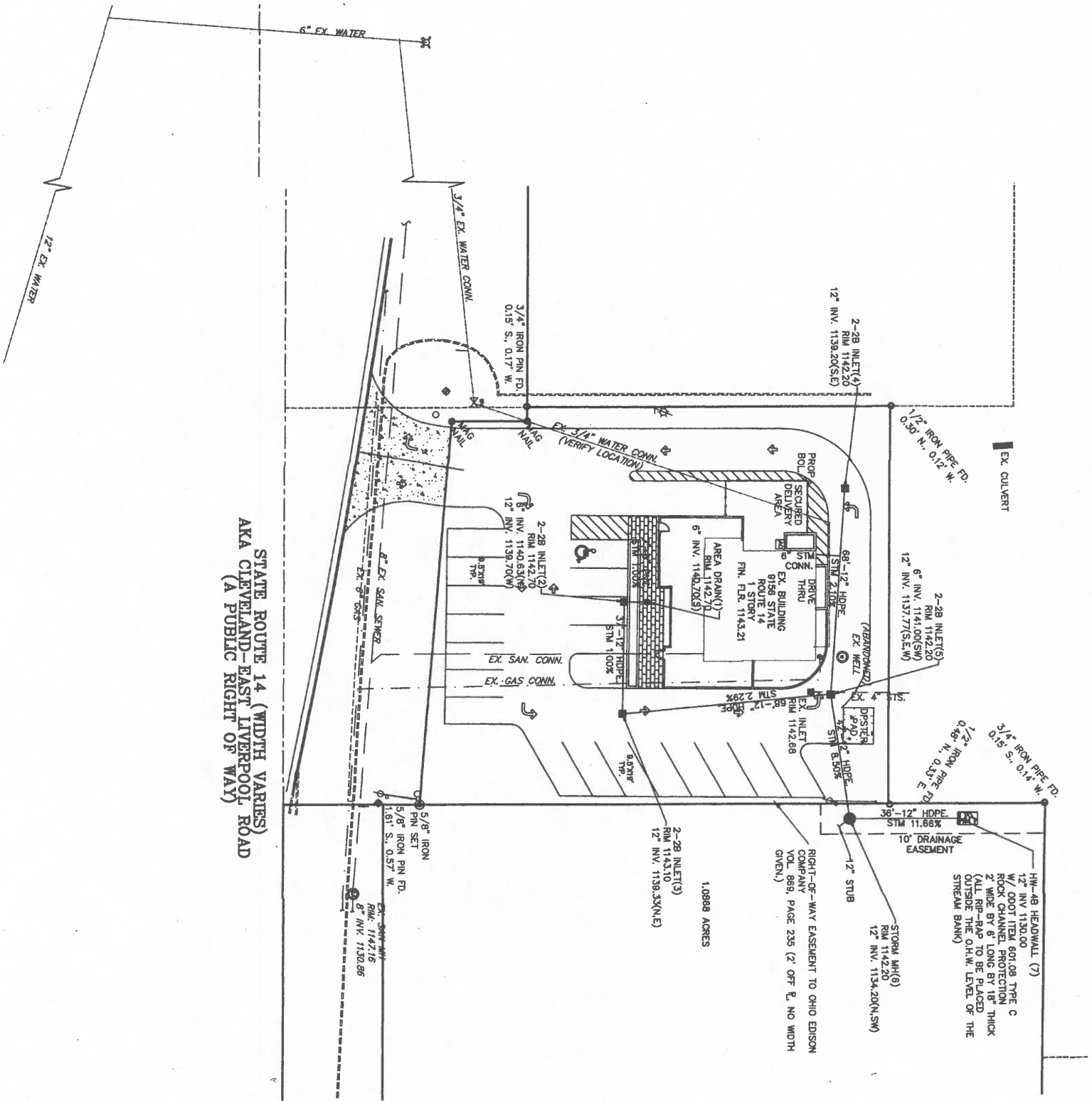
**GUTOSKEY & ASSOCIATES INC.**  
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10136 GOTTSCHALK PKWY, SUITE 4 CHAGRIN FALLS, OHIO 44028  
Tel (440) 643-6900 Fax (440) 643-7176

**WILDFLOWERS DISPENSARY**  
9156 STATE ROUTE 14  
STREETSBORO - PORTAGE COUNTY - OHIO

Revisions:

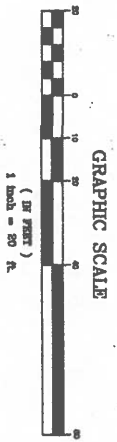
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STATE ROUTE 14 (WIDTH VARIES)  
AKA CLEVELAND-EAST LIVERPOOL ROAD  
(A PUBLIC RIGHT OF WAY)

**NOTE:**  
THIS PLAN MEETS THE REQUIREMENTS OF THE OHIO EPA GENERAL PERMIT AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY OH000006.  
SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS  
CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES-BEFORE CONNECTIONS ARE TO BE INSTALLED.  
CONTRACTOR TO VERIFY RE-USE OF EXISTING SANITARY CONNECTION.  
CONTRACTOR TO COORDINATE WITH WATER DEPARTMENT ON WATER SERVICE CONNECTION.  
CONTRACTOR TO COORDINATE SIZING OF GAS LINE WITH DOMINION ENERGY.  
DOWN SPOUTS CONNECTIONS TO BE 6" PVC EXCEPT WHERE NOTED AND AT 1.00% MINIMUM SLOPE.



Date: JUNE 2024  
Scale: Hor. 1"=20'  
Vert. 1"=4'  
Filename: JVA  
Checked By: GSA  
P.L. No.:  
Sheet 5 of 9  
CONTRACT No. 24-3963

**UTILITY PLAN**

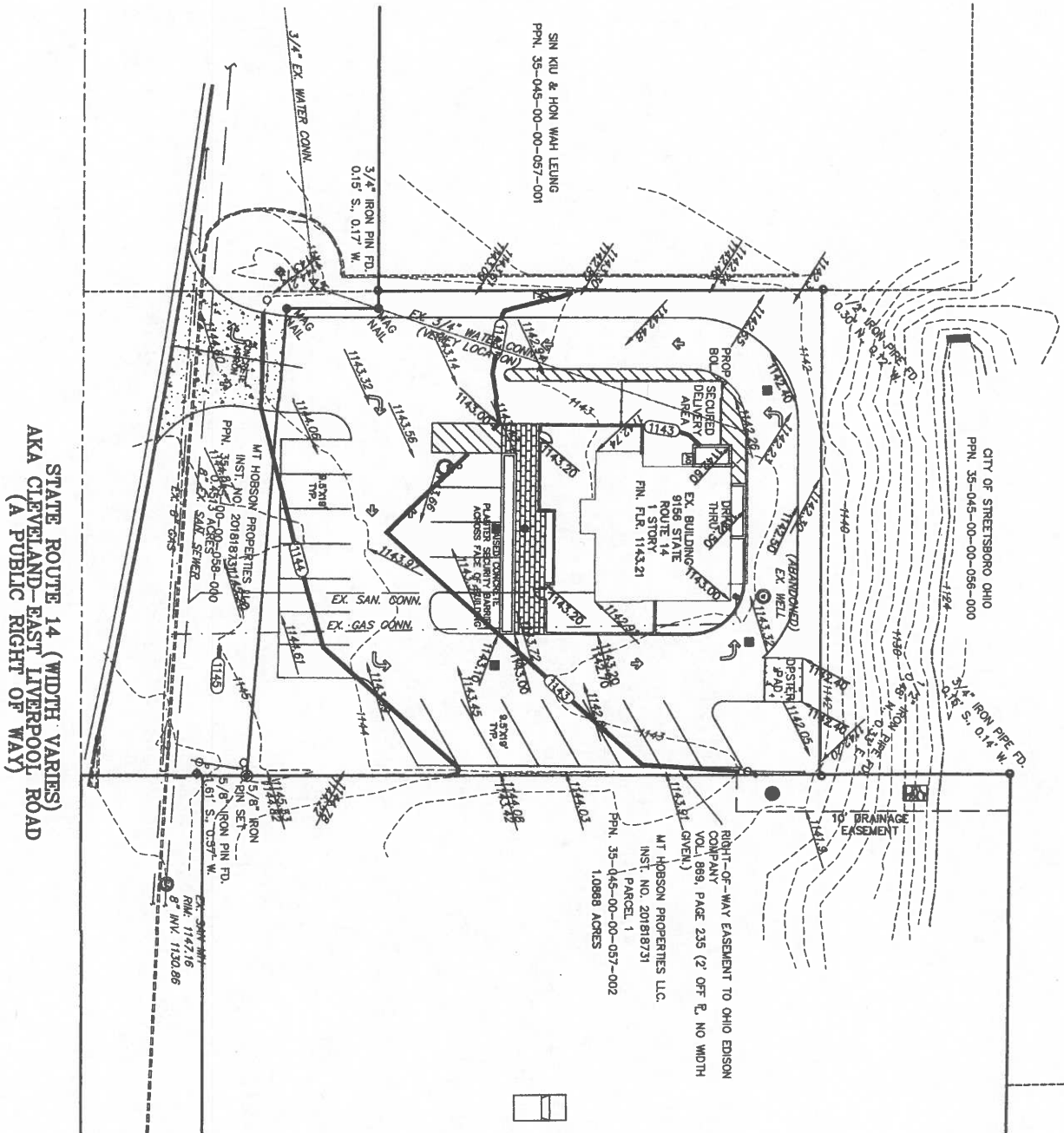
**GUTOSKEY & ASSOCIATES INC.**  
Civil Engineers, Surveyors and Land Planners  
10135 GOTTSCHALK PKWY, SUITE 4 CHAGRIN FALLS, OHIO 44023  
Tel (440) 543-8900 Fax (440) 543-7176

**WILDFLOWERS DISPENSARY**  
9156 STATE ROUTE 14  
STREETSBORO - PORTAGE COUNTY - OHIO

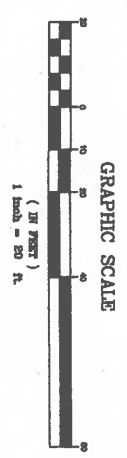
Revisions:

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STATE ROUTE 14 (WIDTH VARIES)  
AKA CLEVELAND-EAST LIVERPOOL ROAD  
(A PUBLIC RIGHT OF WAY)



Date: JAN. 2024  
Scale: Hor. 1"=200'  
Vert. 1"=10'  
Filename: 24-3963.dwg  
Checked By: [Signature]  
F.B. No.: [Blank]

Sheet 6 of 9  
CONTRACT No. 24-3963

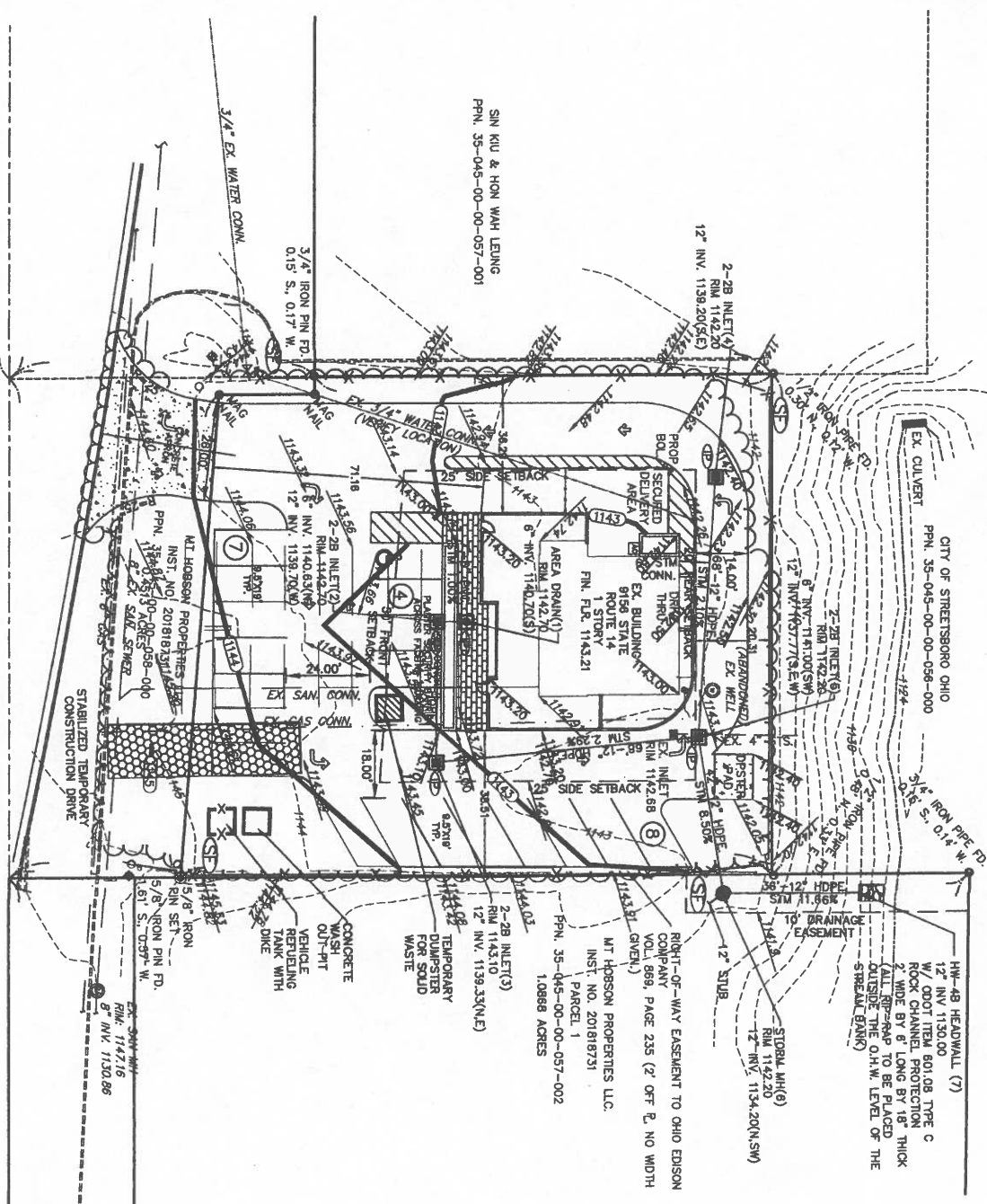
**GRADING PLAN**

**GUTOSKEY & ASSOCIATES INC.**  
Civil Engineers, Surveyors and Land Planners  
10195 GOTTSCHALK PKWY, SUITE 4 Tel (440) 549-8900  
CHAGRIN FALLS, OHIO 44023 Fax (440) 549-7176

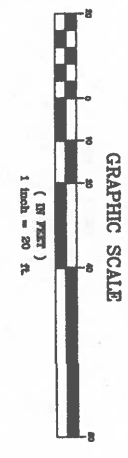
**WILDFLOWERS DISPENSARY**  
**9156 STATE ROUTE 14**  
STREETSBORO - PORTAGE COUNTY - OHIO

Revisions:

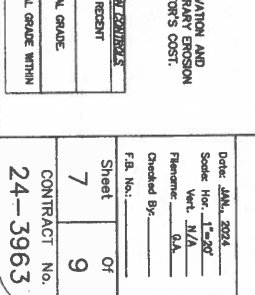
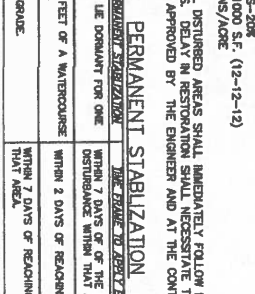
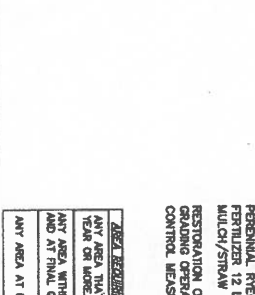
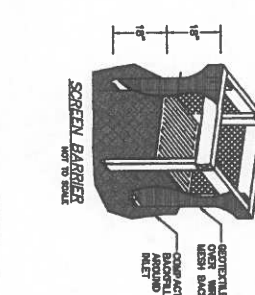
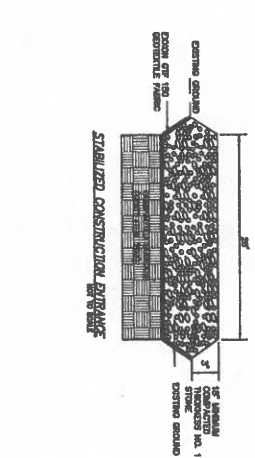
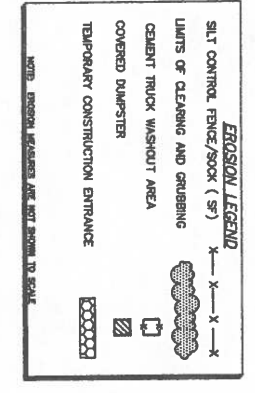
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OHIO EPA IS REQUIRED TO BE CONTACTED IN THE EVENT OF A PETROLEUM OR HAZARDOUS WASTE SPILL OF 25 GALLONS OR MORE.  
OHIO EPA SPILL RESPONSE HOTLINE  
1-800-282-9378



NOTES:  
SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.  
THIS PLAN MEETS THE REQUIREMENTS OF THE OHIO EPA GENERAL PERMIT WITH PROVISION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY 040000008.  
DISTURBANCE UNDER 1 ACRE NO N.O.I. STORM WATER PERMIT REQUIRED.



INLET PROTECTION NOTES:  
IF SURFPORT PAVING BEHIND CURB CAN NOT BE COMPLETED, AN ALTERNATE INLET FOR THE ABOVE-GRADE BMP OR AN ALTERNATE INLET PROTECTION BMP MUST BE UTILIZED.

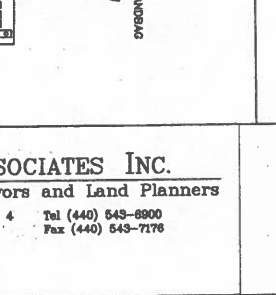
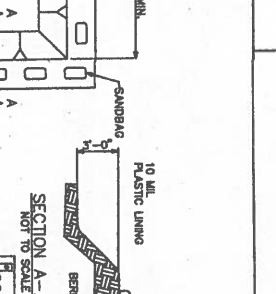
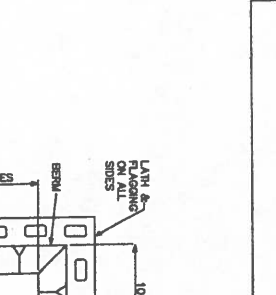
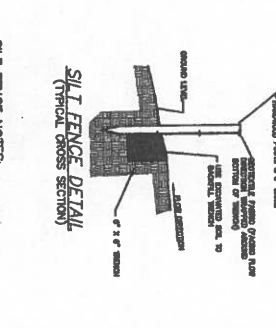
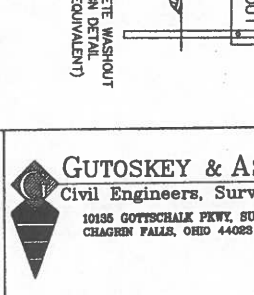
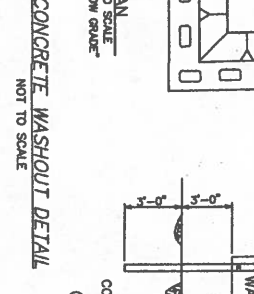
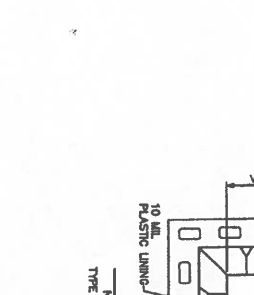
TEMPORARY SEEDING & MULCHING (SEED MIX NO. 1):  
TEMPORARY SEEDING SHALL BE APPLIED WITHIN SEVEN (7) DAYS ON ALL BARE AREAS THAT WILL NOT BE DISTURBED FOR 14 DAYS.  
-PERENNIAL RYE GRASS 2 LBS./1000 S.F.  
-COMMERCIAL FERTILIZER SHALL BE (12-12-12) AND COMPOST TO OARD 10 LBS./1000 S.F.  
-MULCH 2 TONS/ACRE

TEMPORARY STABILIZATION:  
THE FENCE TO BE USED FOR STABILIZATION SHALL BE WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THAT AREA.

PERMANENT SEEDING AND MULCHING (SEED MIX NO. 2):  
SEEDING CONTROL SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OR FILL AND FINISHED GRADING IN ACCORDANCE WITH ORD OR AS DIRECTED BY THE CITY ENGINEER. THE FOLLOWING MIXTURES SHALL BE USED FOR SEEDING IN ACCORDANCE WITH ORD.

PERMANENT STABILIZATION:  
THE FENCE TO BE USED FOR STABILIZATION SHALL BE WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THAT AREA.

SILT FENCE NOTES:  
SILT FENCE SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS AS OUTLINED IN THIS PLAN. THE FENCE SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS AS OUTLINED IN THIS PLAN. THE FENCE SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS AS OUTLINED IN THIS PLAN.



OWNER:  
MT HOBSON PROPERTIES LLC.  
8212 CHAGRIN RD.  
CHAGRIN FALLS, OH 44023

CONTACT:  
TOM HOBSON  
(330) 839-8338

ESTIMATED START DATE: 3/1/24  
ESTIMATED END DATE: 10/1/24

PROPOSED SITE RV = 0.71

PREVIOUS SITE RV = 0.90

WILDFLOWERS DISPENSARY  
9156 STATE ROUTE 14  
STREETSBORO - PORTAGE COUNTY - OHIO

Table with 2 columns: SITE DESCRIPTION (MARK ONE) and TOTAL AREA. Rows include SUBVERSION, COMMERCIAL, RESIDENTIAL, P.U.D., OTHER (INDUSTRIAL), and SOIL TYPES.

Table with 2 columns: SCIENCE OF EROSION AND SEDIMENT CONTROL MEASURES FOR MAJOR CONSTRUCTION OPERATIONS and REVISIONS. Rows include 1. SITE MARKING AND EVALUATION, 2. MAINTENANCE OF LIMITS OF CONSTRUCTION WITH PLASTIC FENCE, 3. PERMETER EROSION AND SEDIMENT CONTROL MEASURES, 4. PERMETER EROSION AND SEDIMENT CONTROL MEASURES, 5. PERMETER EROSION AND SEDIMENT CONTROL MEASURES, 6. PERMETER EROSION AND SEDIMENT CONTROL MEASURES, 7. PERMETER EROSION AND SEDIMENT CONTROL MEASURES.

CONTRACT NO. 24-3963

STORM WATER POLLUTION PREVENTION PLAN

GUTOSKEY & ASSOCIATES INC.  
Civil Engineers, Surveyors and Land Planners  
10185 GOTTSCALK PKWY, SUITE 4  
CHAGRIN FALLS, OHIO 44028  
Tel (440) 643-8800  
Fax (440) 643-7176

WILDFLOWERS DISPENSARY  
9156 STATE ROUTE 14  
STREETSBORO - PORTAGE COUNTY - OHIO



Revisions:

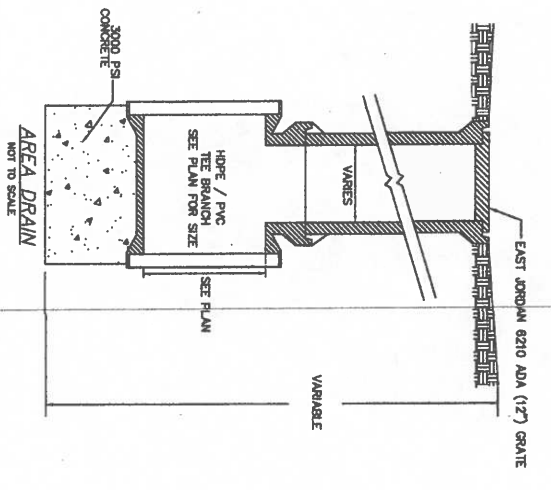
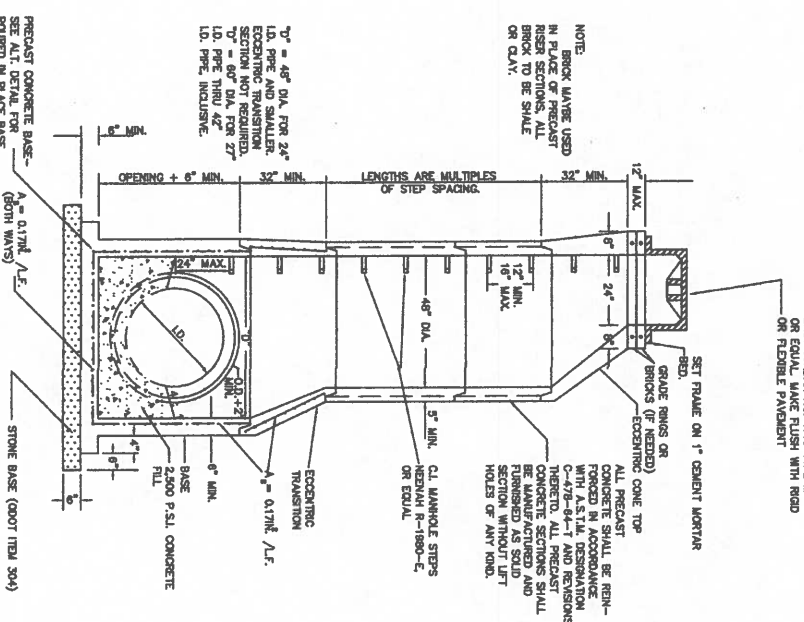
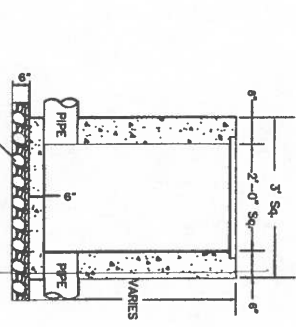
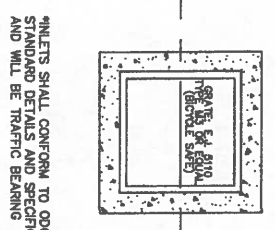
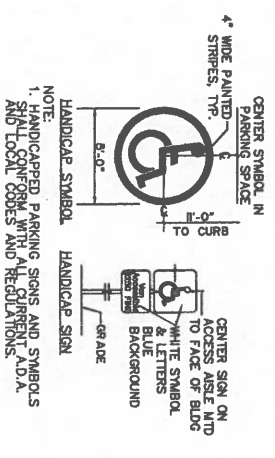
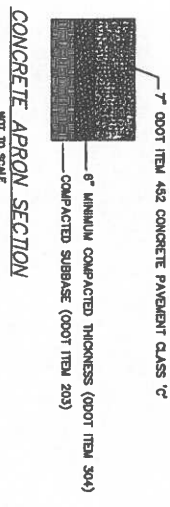
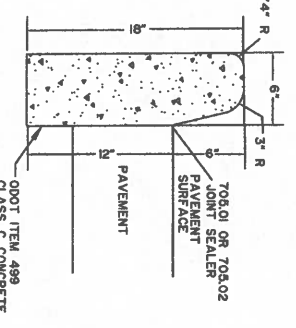
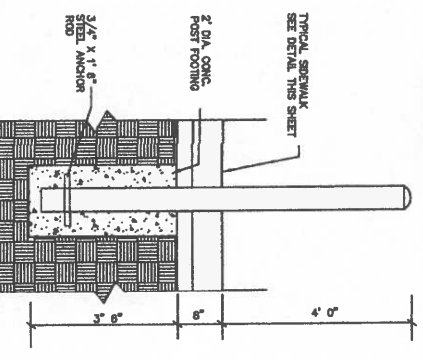
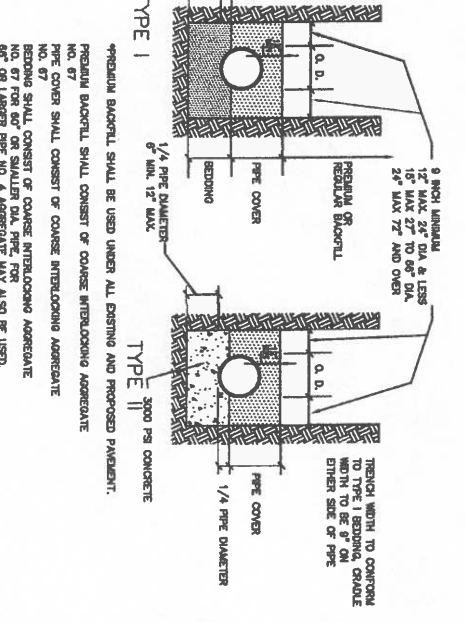
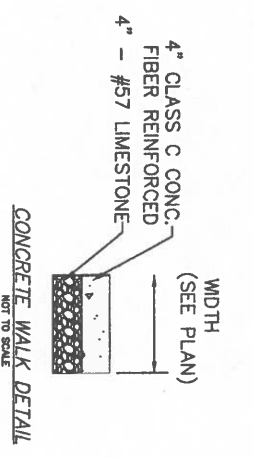
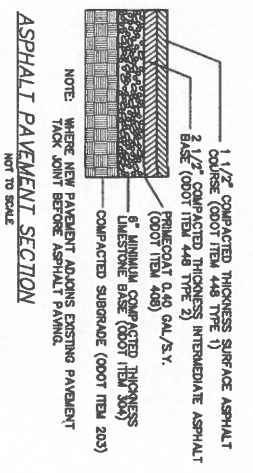
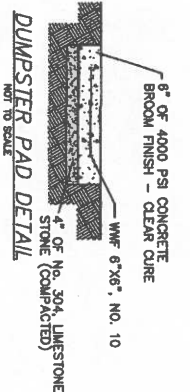
No.	Description
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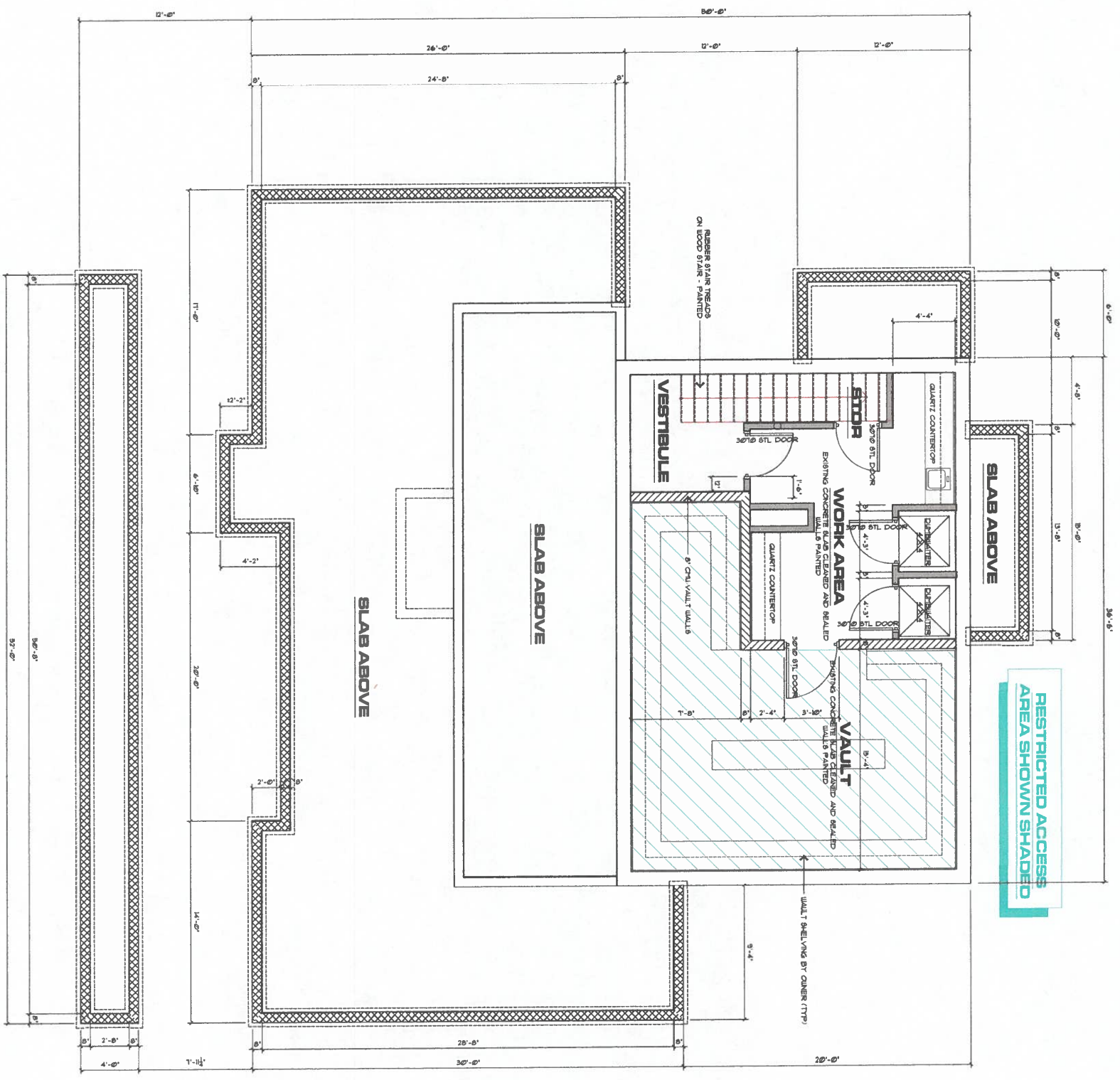
**WILDFLOWERS DISPENSARY**  
9156 STATE ROUTE 14  
STREETSBORO - PORTAGE COUNTY - OHIO

**GUTOSKEY & ASSOCIATES INC.**  
Civil Engineers, Surveyors and Land Planners  
10135 GOTTSCHEK PKWY, SUITE 4, TOL (440) 649-6900  
CHAGIN FALLS, OHIO 44026 FAX (440) 649-7176

**NOTES & DETAILS**

Date: **JUL 2024**  
Scale: **HW 1/2"=1'**  
Wet: **N/A**  
Filename: **EA**  
Checked By:  
F.B. No.:  
Sheet **9** OF **9**  
CONTRACT No. **24-3963**



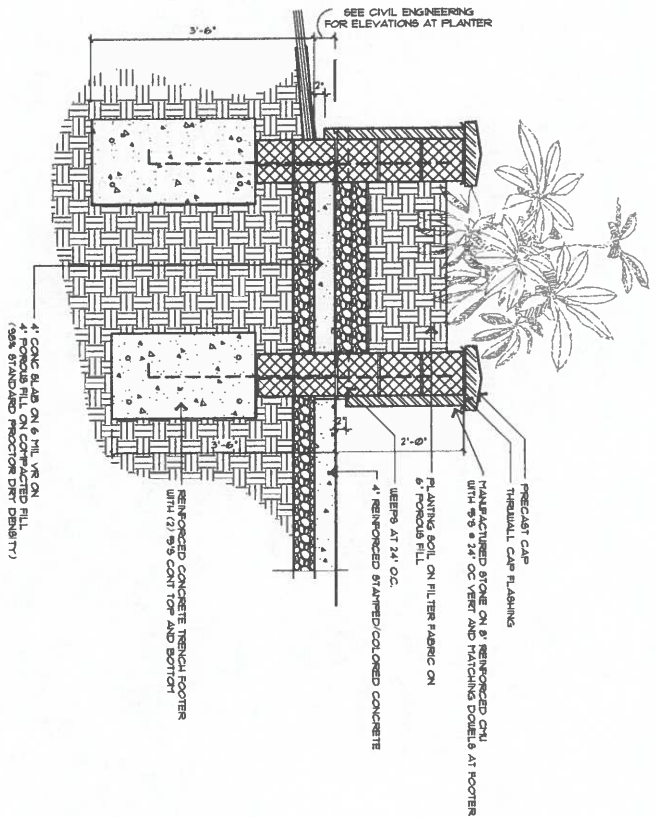


**BASMENT PLAN**  
SCALE: 1/4" = 1'-0"  
182 SF

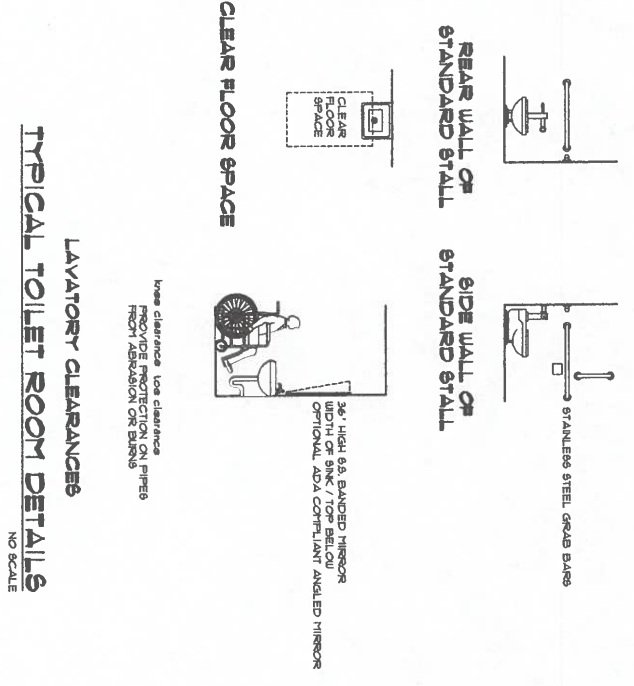


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			DRAWN BY:	

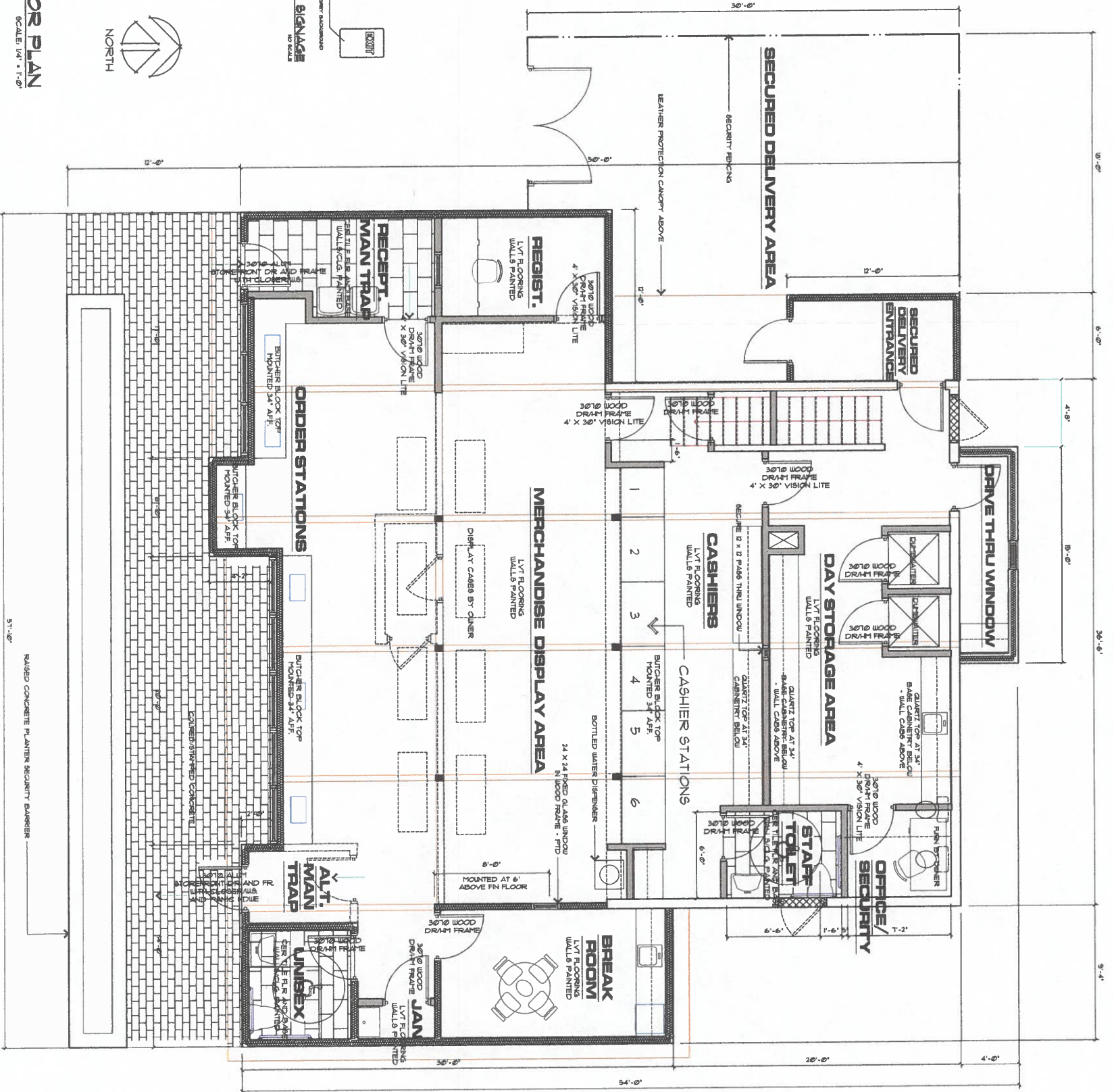
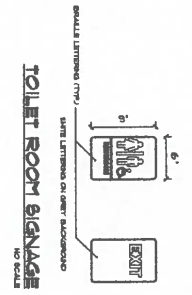




**PLANTER DETAIL**  
SCALE: 3/4" = 1'-0"



**LAVATORY CLEARANCES**  
**TYPICAL TOILET ROOM DETAILS**  
NO SCALE



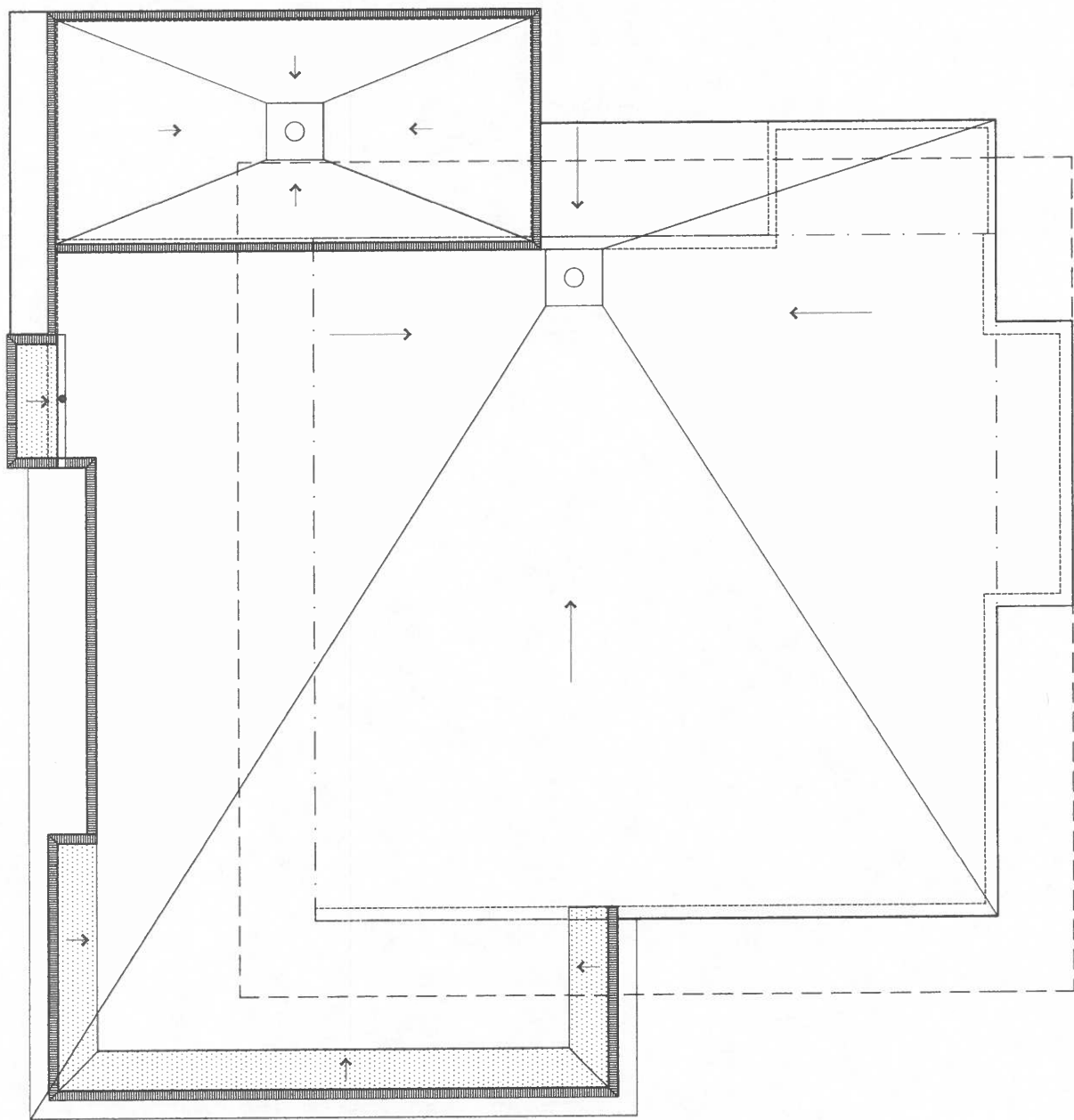
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
2524 SF



SHEET TITLE: <b>FIRST FLOOR PLAN</b>	PROJECT TITLE: WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	DATE: 2/1/24	REMARKS:
	DRAWN BY:		



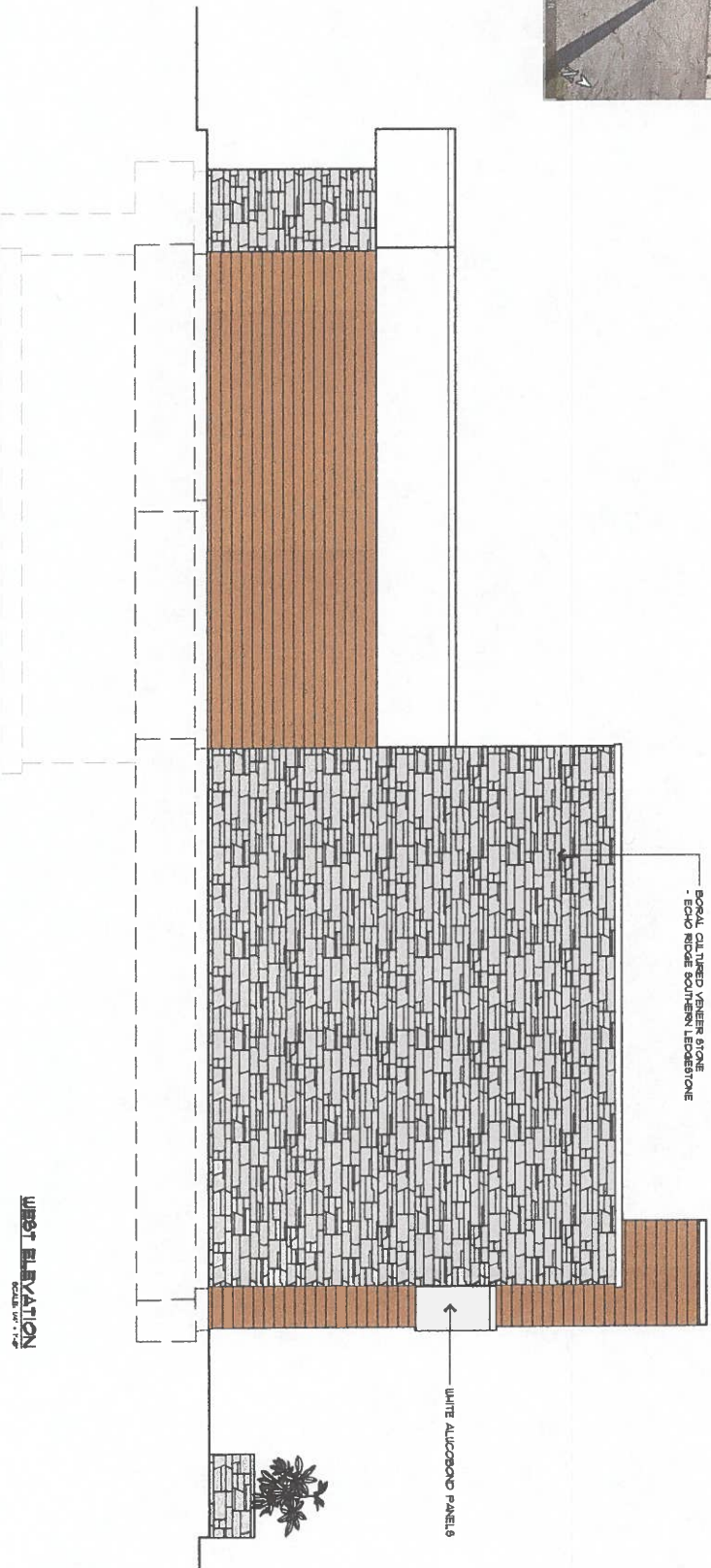
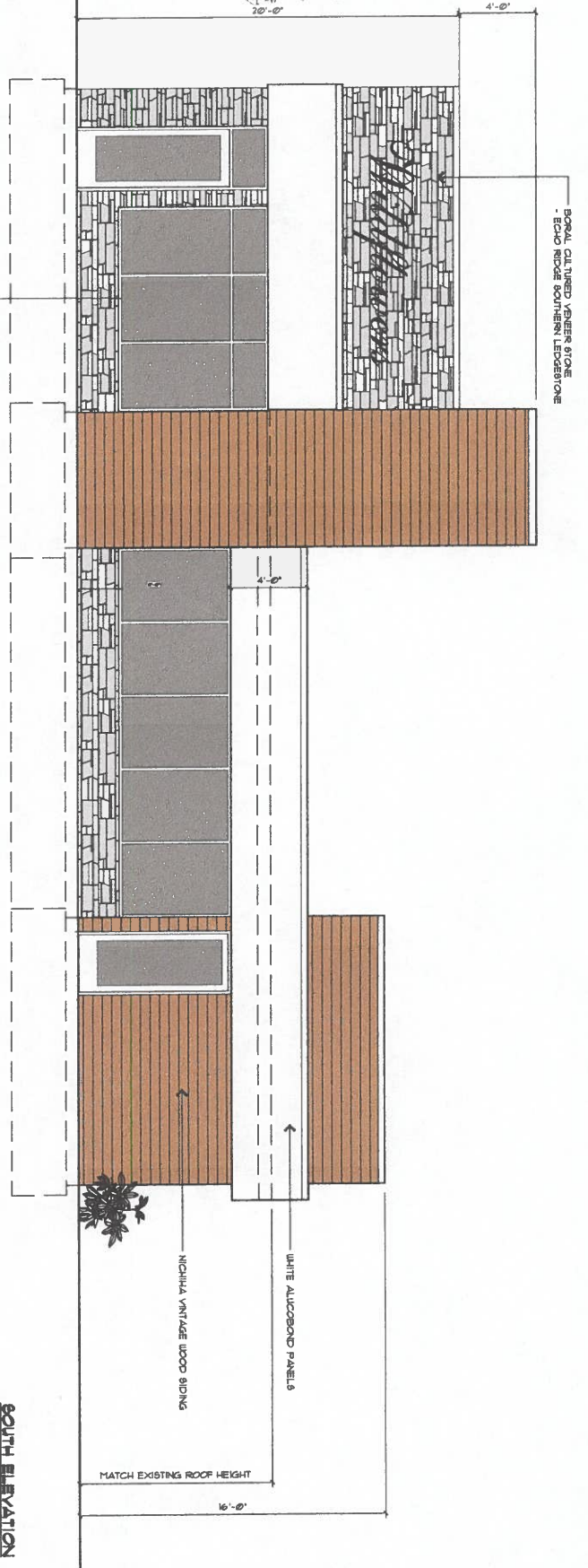
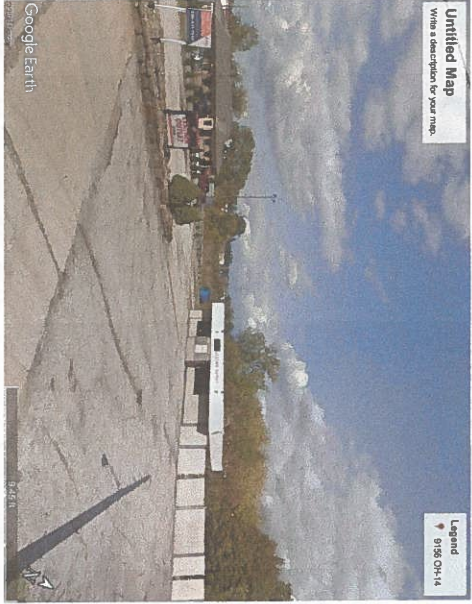
**ROOF PLAN**  
SCALE 1/4" = 1'-0"



A-3	SHEET TITLE:	PROJECT TITLE:	DATE:	REMARKS:
	<b>ROOF PLAN</b>	WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	2/1/24	
			DRAWN BY:	

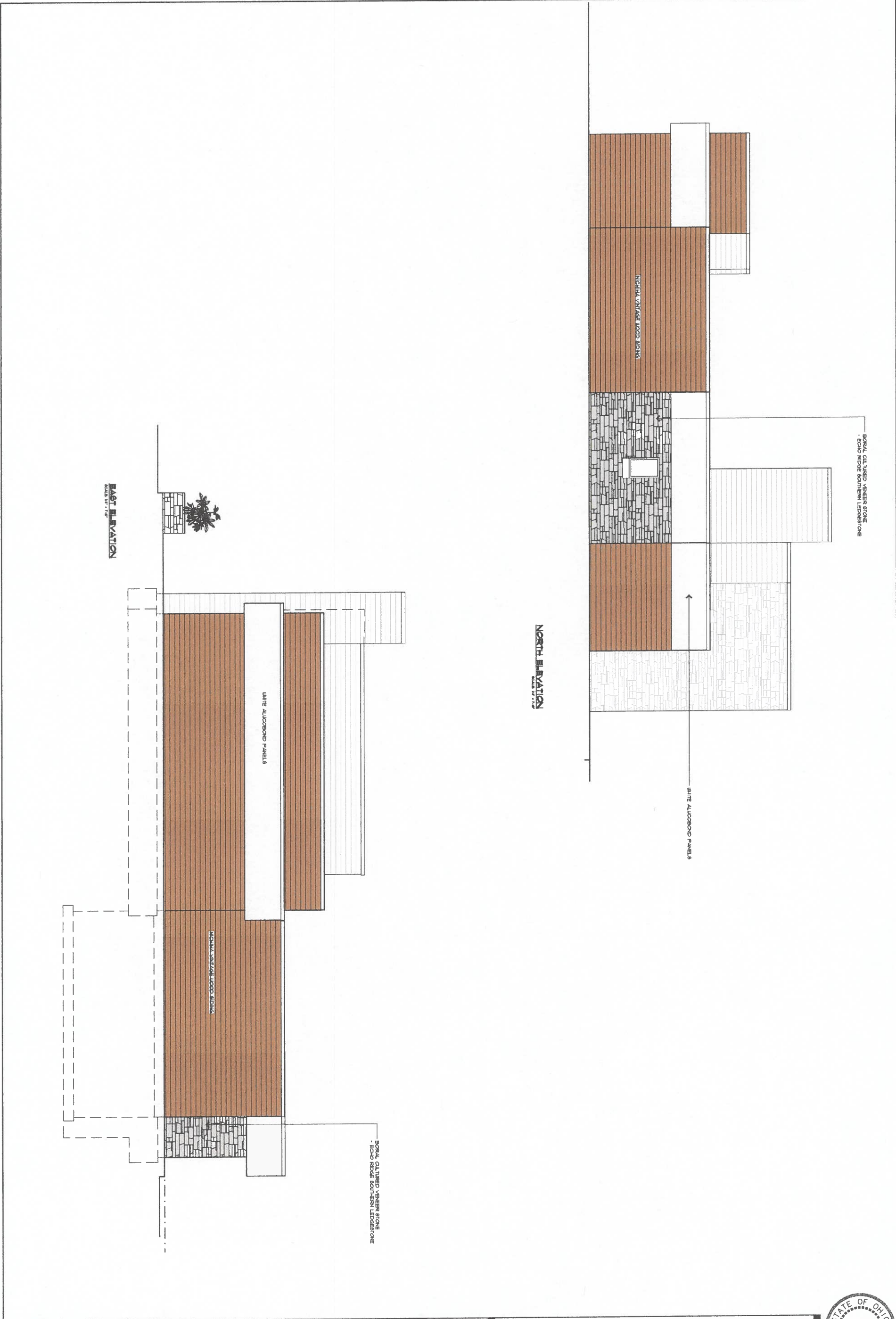


**STEPHEN CICIRETTO, A.I.A. • ARCHITECT**  
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000



A-4	SHEET TITLE:	PROJECT TITLE:	DATE:	REMARKS:
	ELEVATIONS	WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	2/1/24	
			DRAWN BY:	





EAST ELEVATION  
SCALE: 1/8" = 1'-0"

NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

WHITE ALUCOBOND PANELS

BOVAL CULTURED VENERE STONE

BOVAL CULTURED VENERE STONE  
- BOVO RIDGE SOUTHERN LEADSTONE

BOVAL CULTURED VENERE STONE

BOVAL CULTURED VENERE STONE  
- BOVO RIDGE SOUTHERN LEADSTONE

WHITE ALUCOBOND PANELS

A-5

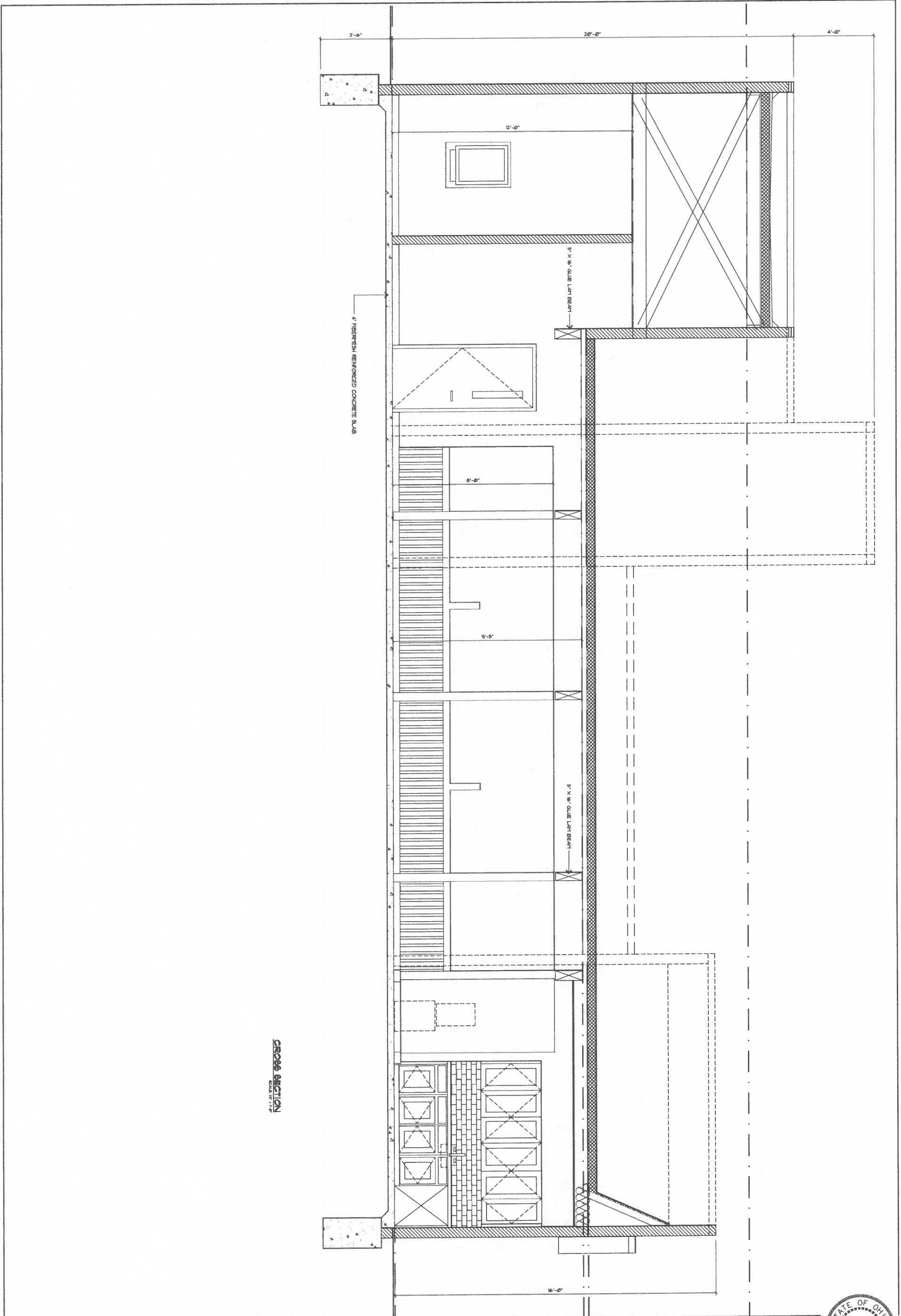
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**ELEVATIONS**

PROJECT TITLE:  
WILDFLOWERS DISPENSARY  
9156 STATE ROUTE 14  
STREETSBORO, OHIO

DATE:  
2/1/24  
DRAWN BY:

REMARKS:





4' FIBERGLASS REINFORCED CONCRETE SLAB

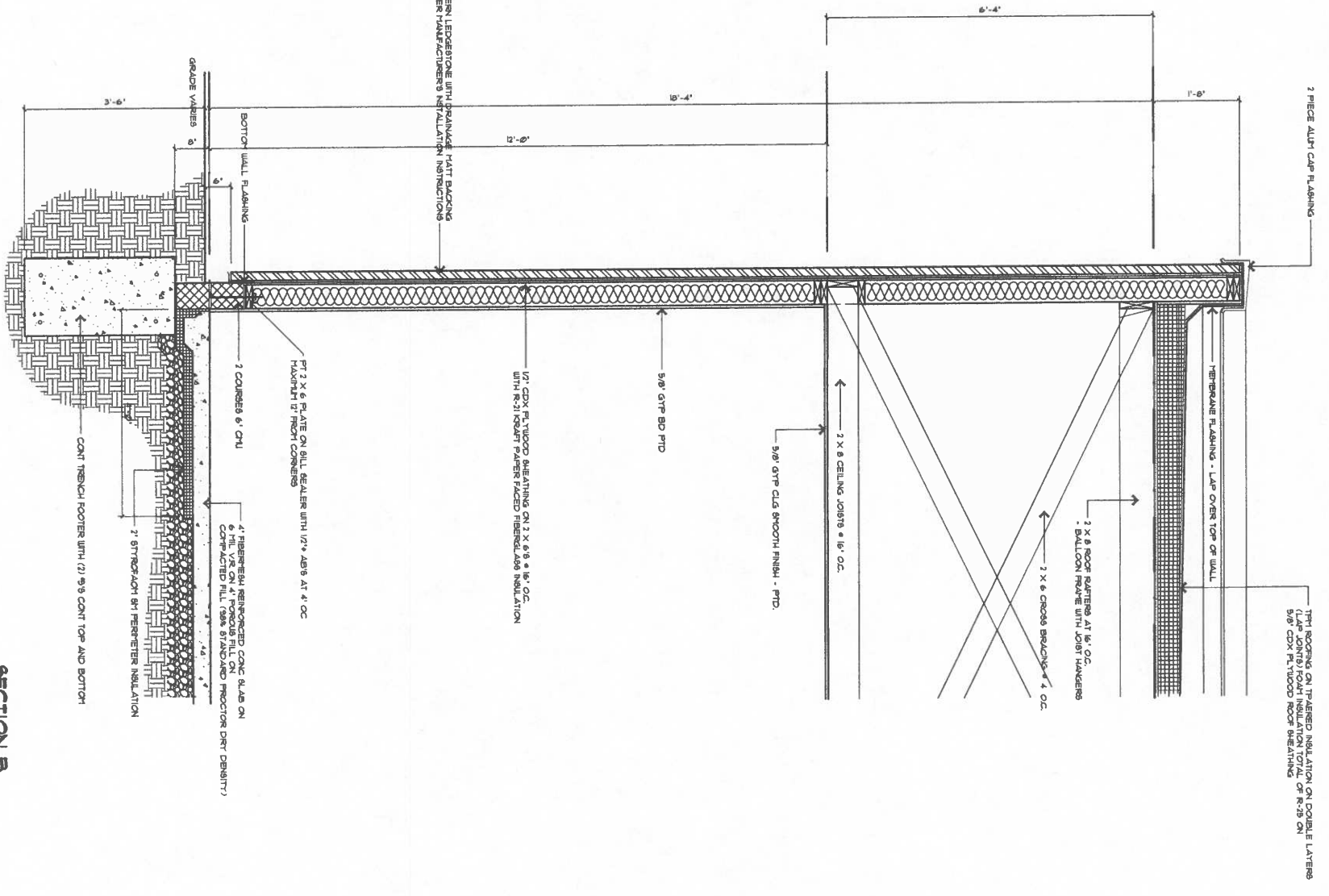
5' X 8' GLUE LAM BEAM

5' X 8' GLUE LAM BEAM

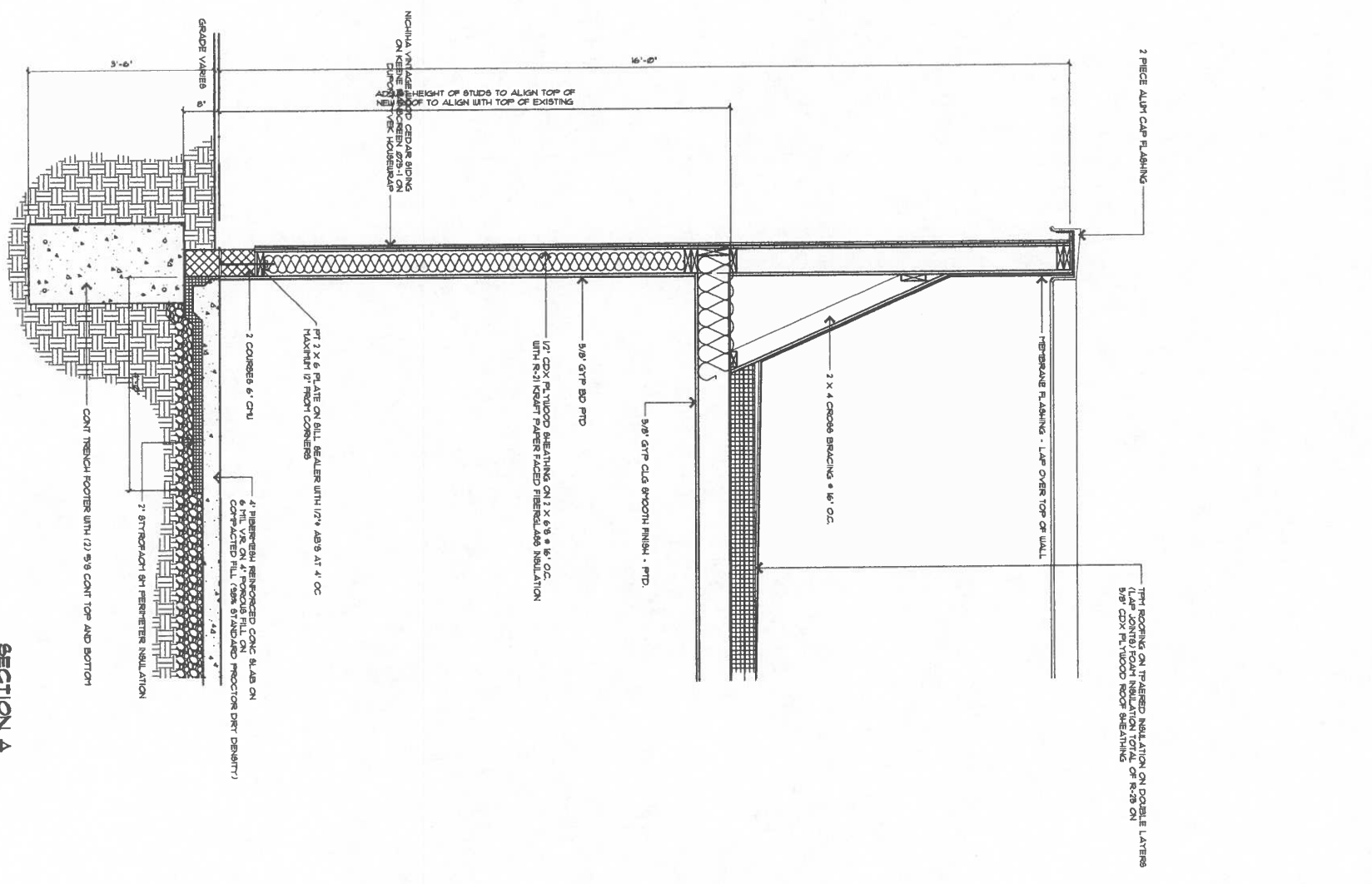
CROSS SECTION  
SCALE: 1/4" = 1'-0"

<b>A-7</b> <b>9-6</b>	SHEET TITLE:	PROJECT TITLE:	DATE:	REMARKS:
	<b>SECTIONS</b>	WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	2/1/24	
			DRAWN BY:	





**SECTION B**  
SCALE: 3/4" = 1'-0"



**SECTION A**  
SCALE: 3/4" = 1'-0"

A-7	SHEET TITLE:	PROJECT TITLE:	DATE:	REMARKS:
	<b>SECTIONS</b>	WILDFLOWERS DISPENSARY 9156 STATE ROUTE 14 STREETSBORO, OHIO	2/1/24	
			DRAWN BY:	



**CITY OF STREETSBORO  
MEMORANDUM**

TO: Planning and Zoning Commission

FROM: Jimmy Hoppel, AICP  
Assistant Planner

DATE: March 6, 2024

RE: Site Plan Amendment Review for Wildflower Medical Marijuana/Adult Use Cannabis  
Dispensary

---

Company: Wildflower Medical/Adult Use Marijuana Dispensary  
Address: 9156 State Route 14  
PID: 35-045-00-00-058-000  
Zoning: B (Business)  
Applicant: Stephen Ciciretto, Architect  
Address: 270 Park Place, Chagrin Falls, OH 44022  
Property Owner: MT HOBSON PROPERTIES LLC  
Tax Mailing Address: 8212 Chagrin Road, Chagrin Falls, OH 44023

---

I have reviewed the plans received on 2/13/24, 2/14/24, and 3/4/24 and offer the following comments for the Commission's consideration:

**Proposal:** The applicant is proposing façade changes, building expansion, and related site improvements for the intended use of a medical/adult use marijuana dispensary. The existing 1,442-square-foot building is proposed to expand to 2,524 square feet, with an additional 782 square foot basement area for stock and storage. The exterior of the building that is currently distressed, is proposed to be finished primarily in a mix of Nichiha vintage wood and Boral cultured veneer stone. Awning extensions will be accented with white Alucobond panels. Windows and doors will also be finished with white aluminum frames. A security fence is proposed in an area on the northwest corner of the building for secure deliveries. A new dumpster enclosure is also proposed on the property.

The site improvements include repaving of the parking lot, which will reduce the amount of pavement on the property, as it will introduce lawn areas that frame the drive-thru lane. Landscaping for the site is proposed, including a concrete planter in front of the building that will also serve as a security barrier. The access to the site will be reduced from two driveways down to one driveway that will only allow vehicles to turn right onto State Route 14.

An existing riparian setback of 50-feet currently extends into the back portion of the property. The building improvements are entirely out of the riparian setback. Some of the pavement and the dumpster enclosure are within the riparian setback. As the pavement is replaced, the impervious area will be reduced, rather than expanded, improving the situation in the riparian setback. Staff has discussed with the applicant the need to relocate the dumpster enclosure outside of the riparian setback.

At the time of application there were three specific requirements that applied to medical marijuana dispensaries in the B-district, all of which the applicant would currently satisfy. Those requirements were related to the maximum number of dispensaries in the city, minimum separation distance between dispensaries, and limits on location due to building type or development area. Due to a recent code update, the third requirement has been removed, however, the proposed uses meet the respective former and current code regulations based on present-day circumstances in the City. That being said, per current code section 1151.32(c)(1-3), a zoning certificate authorizing the establishment of a medical marijuana or adult use cannabis retail dispensary cannot be issued until verification and documentation required in stated sections are provided. Only after a zoning certificate has been issued and Building permits have been applied for, will the medical marijuana/adult use cannabis retail dispensary be considered “established” and count towards the maximum permitted number (of 2) dispensaries in the city and will be identified as a location that will require a 2,000-foot separation distance from another dispensary in the City.

**Comments:** See below staff’s Site Plan Amendment comments. If additional information, clarification, or plan revisions are needed, the item has been added to the list of recommended conditions of approval, contained in the Recommendation section at the end of this memo.

**1. General:**

- a. Prior to a zoning certificate being issued, the applicant will have to provide the verification and documentation listed in Section 1151.32(c) of the zoning code.
- b. A note should be added that states all signage shown is for reference only and will be applied for separately. It should be noted by the applicant that the proposed monument sign location does not meet setback requirements.
- c. The photometric plan shows a base site plan that is different than the proposed site plan. While it doesn’t appear that the photometric readings will change in relation to the property line, the base site plan should be consistent with the rest of the plan sheets.

**2. Architectural:**

- a. The site plan and elevations should be updated to show the relocated dumpster enclosure attached to the building, showing height and materials of the enclosure and the gate.
- b. Detail of the security fence height, type, and material should be provided for review and approval.
- c. Applicant should provide a material board at the Planning Commission meeting of the proposed exterior building materials.

**3. Landscaping:**

- a. Two notes should be added to the landscape plan that state: 1) That all dead or damaged plantings shall be replaced in perpetuity; 2) That any changes to the approved landscape plan are subject to review and approval of the Planning and Zoning Director.
- b. Landscaping around a monument sign is required to include at least a mix of coniferous plant material, providing year-round landscaping. The materials shown should be updated prior to formal application to the Planning Commission for sign approval.
- c. Landscape table should be included showing all proposed planting types, counts, and sizes at time of planting. Current plans also do not identify some trees shown on site.

**4. Staff Comments (other City Depts. and County Agencies):**

- a) Police: Comment letter received 2/26/24 included in Commission packet.
- b) Fire: Comment email dated 2/24/24 included in Commission packet. No Comments.
- c) Engineering: Comment letter dated 3/5/24 included in Commission packet.
- d) Water: Comment letter dated 2/23/24 included in Commission packet.
- e) Portage County Water Resources (PCWR): Comment letter dated 2/29/24 included in Commission packet.

**Recommendation:**

Staff recommends that the Planning and Zoning Commission grant approval with conditions subject to administrative review to ensure that the following items have been addressed prior to issuance of a Zoning Certificate:

- a. Applicant shall provide the verification and documentation listed in Section 1151.32(c) of the zoning code, as recently adopted in Ordinance 2024-20;
- b. Applicant shall add a note to plan sheets identifying that all signage shown is for reference only and will be applied for separately;
- c. Applicant shall update photometric plan to show a base site plan that is consistent with the proposal;
- d. Applicant shall update site plan and elevations to only show a proposed dumpster location against the building and outside of the riparian setback, as well as show the proposed height and materials;
- e. Applicant shall provide details of the security fence;
- f. Applicant shall include two notes on the landscape plan that state: 1) That all dead or damaged plantings shall be replaced in perpetuity; 2) That any changes to the approved landscape plan are subject to review and approval of the Planning and Zoning Director;
- g. Applicant shall provide a landscape table showing a complete proposal of planting types, counts, and sizes at time of planting.
- h. Applicant shall comply with Police comment letter dated 2/26/24;
- i. Applicant shall comply with Engineering (GPD) comment letter dated 3/5/24;
- j. Applicant shall comply with Water Department comment letter dated 2/23/24; and,
- k. Applicant shall comply with PCWR comment letter dated 2/29/24.



**STREETSBORO POLICE DEPARTMENT**

2080 State Route 303  
Streetsboro OH 44241-1707  
www.streetsboropolice.org

**Patricia J. Wain**  
Chief of Police  
Phone: 330.626.4976  
Fax: 330.626.5239  
info@streetsboropolice.com

To: Planning Department

From: Chief Patricia Wain

Date: February 26, 2024

Re: Wildflowers Dispensary

After reviewing the plans for Wildflowers Dispensary, 9156 State Route 14, my only concern is the exit which indicates a right turn only but does not 'force' the driver to turn right. The intersection, until it is reconfigured has the straight lane coming from SR 303 east and the SR 14 westbound merging right at the exit. The unrestricted ability (no concrete block/divider) to turn left there would be dangerous to westbound motorists especially during rush hours.

Thank you,

*Patricia Wain*

Patricia J. Wain  
Chief of Police



Robert A. Reinholz  
Fire Chief

## STREETSBORO FIRE DEPARTMENT

9184 State Route 43 • Streetsboro, Ohio 44241  
330-626-4664  
Fax: 330-626-5918

### **FIRE PREVENTION BUREAU SITE PLAN REVIEW**

**PROJECT:** Wildflowers  
9156 State Route 14

**COMMENTS:**

1. No issues with site plan as presented. Additional considerations will be addressed during the Building Plan Review process.

**REVIEWED:** February 22, 2024

Contact signed Fire Prevention Officer with any questions, comments, or concerns. All tests and inspections shall be scheduled with the Fire Prevention Bureau no less than 24 hours in advance.

*/s/ Kevin S. Grimm*  
Captain Kevin S. Grimm  
Fire Prevention Officer

*Providing the Citizens of Streetsboro with Prompt,  
Courteous, Professional Emergency Service*





March 5, 2024  
2024008.08

Mr. John H. Cieszkowski, Jr., AICP  
Planning & Zoning Director  
9184 State Route 43  
Streetsboro, Ohio 44241

## 9156 SR 14 Wildflowers Site Plan and SWP3 Review

Dear Mr. Cieszkowski,

We have reviewed the Site Plan & SWP3 for the subject project and offer the following comments:

### General Comment

1. There is a future intersection improvement project at SR 303/SR14 that affects the driveway design at this location. The intersection project will not commence until 2025. Therefore, this design must account for keeping the westbound slip lane open. Eliminating the easternmost driveway for this project is still required for access management. The future intersection project will then adjust the new driveway for this property to properly align with the new roadway.

### Sheet 3

2. Show existing shrubs, stone wall and mailbox that are to be removed, or protected.
3. Is the existing curb to remain or be removed? Please denote the curb and identify its intention.
4. There is an existing gas valve in the easternmost driveway. Please identify it.

### Sheet 4

5. The proposed driveway will need to be redesigned as an interim until the intersection project commences. Show the existing curb as new curb with the redesign.
6. Add a Right Turn Only sign for the exit to alert drivers.
7. It is difficult to differentiate between curbing and striping on the plan. Identify each differently.
8. Show the driveway width to the secure delivery area.
9. Show driveway opening width at SR 14.
10. After the existing pavement is removed, what surface will be installed in non-driving areas? Identify proposed surfaces.
11. Details are needed for parking stall striping, hatching, arrows, ADA space symbol and ADA signage. Include angle of the angled parking stalls in the stall striping detail.
12. Show the width of the ADA parking stall and hatched area for van accessibility.
13. It appears that there is fencing around the secure delivery area. Please identify it.

### Sheet 5

14. The existing inlet with rim elevation 1142.68 is shown to be removed on the demo plan. Show it on this sheet as to be removed as well.
15. Provide storm sewer capacity calculations and a drainage area map to each catch basin. Use a 10-year design storm and a 25-year HGL check storm.
16. Provide minimum vertical clearance between proposed storm and existing sanitary and gas.

### Sheet 6

17. More spot elevations are needed to determine if slopes are compliant with ADA requirements.
18. Show elevations of the top and bottom of the proposed concrete planter.
19. If there is curbing around the perimeter of the site, show elevations of top of curb and bottom of curb at various points.

### Sheet 7

20. Add a note that SWPP controls shall be inspected once every 7 calendar days and after any rainfall event of ½" or greater over a 24-hour period.



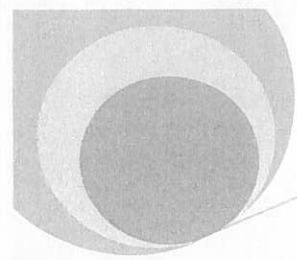
# GPD GROUP

Please provide a revised submittal per the above comments.

Sincerely,



Matthew D. Glass, P.E



# City of Streetsboro

## WATER DEPARTMENT Site Plan Review Report

2/23/2024

**Project:** 9156 S.R. 14 Wildflowers Dispensary

**Reviewed By:** Thomas Weidele Water Operator 1 / GIS Administrator

Streetsboro Water Department  
2094 State Route 303  
Streetsboro, Ohio 44241  
Phone: (330) 626-2856  
Email: Tweidele@cityofstreetsboro.com

**Site Plan:**  Approved as Submitted  Site Plan Requires Revisions

**#1- Required Revision:** Utility Plan- The drawing shows an existing  $\frac{3}{4}$ " water connection after the water shut off valve. This property is currently not connected to City Water. A service line will need to be installed from the water shut off into the building. All tap in fees and other related fees will need to be paid. If you require a larger size line than a  $\frac{3}{4}$ ", the existing tap will need to be abandoned and a new tap installed at the owner's expense.

**Reason for Revision:** Streetsboro Rules and Regulations

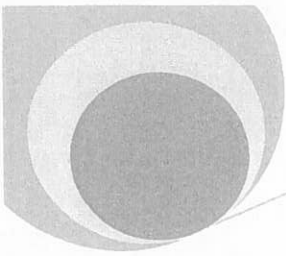
**#2- Required Revision:** Utility Plan- Shows and existing abandoned well. You must show proof that the well was properly sealed or the well will need to be properly sealed as part of the project and documentation submitted to the Water Department.

**Reason for Revision:** Streetsboro Rules and Regulations

**#3- Required Revision:** The following language must be on the drawing. All service taps shall be from the water main along the frontage of the property within the green space (no service taps shall be placed within the driveway unless otherwise approved in writing by the City Service Director). §102.01 of the Water rules and regulations, Ordinance No. 2005-40, Passed March 28, 2005.

**Reason for Revision:** Streetsboro Rules and Regulations

- #4- Required Revision:** In addition to the Site Plan Drawings, the City of Streetsboro Water Department requires a detailed drawing of the proposed interior plumbing at entry point (Utility Room(s)) for Domestic and Fire, and to include: Service and Fire Lines, meters, backflow devices, and pumps with descriptions of each. A reduced principal backflow preventer will be required as backflow protection for this property. In the detail drawing there must be shut off valves before the



## *City of Streetsboro*

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### **WATER DEPARTMENT Site Plan Review Report**

meter and after the meter and there cannot be any ports or connections prior to the backflow device. Email plumbing design to [Tweidele@cityofstreetsboro.com](mailto:Tweidele@cityofstreetsboro.com)

**Reason for Revision:** Streetsboro Rules and Regulations

**#5- Required Revision:** Include in the site plan drawing the City of Streetsboro Engineering specification drawings. These can be located on the City of Streetsboro's website

**Reason for Revision:** Streetsboro Rules and Regulations

**Additional Comments:** The City of Streetsboro Water Department requires all Proposed and As-Built drawings be submitted electronically to pass final inspection. Also included in this submission shall be a detailed drawing of the interior plumbing at entry point (Utility Room(s)) for domestic and fire, and to include meters, backflow devices, and pumps with descriptions of each. Electronic submittals should be forwarded to [Tweidele@cityofstreetsboro.com](mailto:Tweidele@cityofstreetsboro.com). The City of Streetsboro will not accept CAD files as electronic submission.



**Board of Commissioners**

**Anthony J Badalamenti, President**  
**Sabrina Christian-Bennett, Vice President**  
**Mike Tinlin, Board Member**

**Water Resources Department**

Date: February 29, 2024

To: Angella Fausset: Streetsboro Planning and Zoning Clerk

Re: Site Plan Submittal Report Request  
Wildflower Dispensary Project  
9156 S.R. 14  
Streetsboro, Ohio 44241

Wildflower Dispensary Project requires further coordination and approval from our office. The construction drawings will be reviewed once our office has received all the information required as outlined below and note that sanitary sewer service is available for connection.

1. Contact our office and complete a commercial sewer application for review, approval, and permit. The sanitary sewer capacity connection fee required shall be determined after receipt of these items. John Evans, our Permit/Project Coordinator can be reached at [jevans@portageco.com](mailto:jevans@portageco.com) or 330-298-2066 to discuss application and permit requirements as needed.
2. Contact our office and complete an "Industrial Pre-Treatment Program Short Form" to provide our department with project information about the industry process that will take place within the proposed building and its exposure to the wastewater effluent that will be produced. The form is available on Portage County Water Resources' website under "Commercial and Restaurant Forms" (REF: [www.portagecounty-oh.gov/water-resources/pages/permits-rates](http://www.portagecounty-oh.gov/water-resources/pages/permits-rates)).
3. Architectural floor, interior plumbing, and site utility plans shall be included in the project plans for review as part of the sanitary sewer application. Electronic plans shall be sent to [pcwr.permits@portageco.com](mailto:pcwr.permits@portageco.com).
4. Our office requires all sanitary sewer related work to be inspected. Our Permit/Project Coordinator can be reached at 330-298-2066 to discuss construction inspection requirements.

Should you have any question please contact me at 330-697-6775.

Respectfully,

*Andrew Neff*

Andrew Neff, EI  
Project Engineer  
Portage County Water Resources  
Email: [aneff@portageco.com](mailto:aneff@portageco.com)



8116 Infirmity Rd. □ Ravenna, OH 44266 □ 330.297.3670 □ 330.297.3689 (fax)

"An Equal Opportunity Employer"

"To provide public water and wastewater services in order to preserve and promote the health and safety of the Portage County Community."

# COMMUNITY REINVESTMENT AREA HOUSING COUNCIL

APPOINT A MEMBER OF PLANNING COMMISSION TO SERVE ON THE  
COMMUNITY REINVESTMENT AREA HOUSING COUNCIL

# Need A PC Member for CRA Housing

Wednesday, March 6, 2024 6:16 PM

Subject	Need A PC Member for CRA Housing
From	Patrick O'Malia
To	John Cieszkowski; Angella Fausset
Sent	3/6/2024, 2:30:28 PM

John / Angella,

When the Economic Development Department grants a tax abatement to a business, we ask the applicant to provide estimated number of jobs and associated payroll so we can figure out if it is an arrangement where the city can see a return on our investment. No one likes to pay taxes, but most of us do and the City Administration has to perform a cost/benefit analysis on if giving up some taxes for a short period of time ends up being a bigger benefit to us than not.

If we chose to abate taxes, we require the recipient to report to the city annually on how well they are performing relative to the expectations set forth. This committee is called the CRA Housing Committee. Most recipients of tax abatement are generally pretty close to where they thought that they would be but there are occasional bad actors who, for whatever reason, haven't paid taxes and are not even close to what they promised us. If and when these situations pop up, the CRA Housing Committee determines if we should pull the abatement entirely, give them more time to comply, or recommend that the abatement is cut down in either rate or term. This committee's recommendation is then brought to the Streetsboro City Council but, since the taxes were abated by council, only council action can repeal the legislation that gave the tax break. As such, the CRA Housing Committee is not the final judge and jury, but they certainly play an important role.

This year the CRA Housing Committee will meet on Wednesday, March 20<sup>th</sup>, at 5:15. I am hopeful that our meeting will be short as I know many in the community wish to attend the ribbon cutting of the senior center. I do my best to move these along for the citizen members. By ordinance we must have a member of the Planning Commission on the CRA Housing Council. If you have any members who wish to spare a half hour or hour for this important undertaking, I would be glad to see them.

Respectfully,

Patrick O'Malia, MPA / EDFP  
City of Streetsboro, OH  
Economic Development Director  
[pomalia@cityofstreetsboro.com](mailto:pomalia@cityofstreetsboro.com)  
330-626-4942 ext. 4104

555 Frost Road, Streetsboro, OH 44241 (physical address)  
9184 St Rt 43, Streetsboro, OH 44241 (mailing address)