



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
May 20, 2024
Village Board Room 5:00pm

ARCHITECTURAL REVIEW COMMITTEE AGENDA

PLEASE TAKE NOTICE that a meeting of the Bayside Architectural Review Committee will be held at the Village Hall of the Village of Bayside, 9075 N. Regent Road, Bayside, Wisconsin in addition to virtually. Public can access this meeting of the Architectural Review Committee by phone or by computer. The phone number is: **+309 205 3325**. The Zoom Meeting code is: **817 3130 4717** and the Passcode is: **674362**. <https://tinyurl.com/45b5mncn> Persons desiring to speak in the remote format on a specific agenda item should register twenty-four hours in advance by calling (414) 206-3915. The following items of business will be discussed and possibly acted upon:

I. **CALL TO ORDER AND ROLL CALL**

II. **APPROVAL OF MINUTES**

- A. Approval of May 6, 2024, meeting minutes.

III. **BUSINESS**

- A. **500 East Bay Point Road – Pamela Dowing & Patrick Poole** The proposed project is the construction of a 160 square foot storage shed.
- B. **9550 North Wakefield Court – Jon & Caitlin Kiechle** The proposed project is the removal of one window on the north side of the home.
- C. **306 West Ravine Baye Road – Drew Perugino** The proposed project is the construction of a grill island and a 112 square foot pergola on an existing patio.
- D. **711 Grace Street - One North Development; Port Washington Road Sign Relocation** The proposed project is the relocation of an 18-foot tall by 10-foot wide campus monument sign.

Emma Baumgartner
Operations Coordinator

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
May 6, 2024
Village Board Room 5:00pm

**ARCHITECTURAL REVIEW COMMITTEE
MEETING MINUTES**

I. CALL TO ORDER AND ROLL CALL

Chairperson Zitzer called the meeting to order at 5:00 pm.

ROLL CALL

Chair: John Krampf
Members: Dan Zitzer
Marisa Roberts
Tony Aiello - excused
Kavin Tadamrongwanish – excused
Christine Dubach – excused
Trustee Liaison: Ben Minkin

There were 6 people in attendance.

II. APPROVAL OF MINUTES

A. Approval of April 22, 2024, meeting minutes.

Motion by Committee Member Roberts, seconded by Trustee Minkin to approve the April 22, 2024 meeting minutes. Motion carried unanimously.

III. BUSINESS

A. 402 East Ellsworth Lane – Nathan & Lacey Tomczuk

Paul Giesen, project architect, appeared on behalf of the project. Mr. Giesen described the project as the replacement of two windows and one door. Mr. Giesen stated that the new windows and doors will match the existing.

Motion by Committee Member Zitzer, seconded by Trustee Minkin, to approve the project as described and presented in the application. Motion carried unanimously.

B. 500 East Bay Point Road – Pamela Dowing & Patrick Poole

This project was tabled.

C. 320 Miller Court – Kanwalh Kazmi

Gerry Holasek, architect, and Lidio Ramirez, contractor, appeared on behalf of the project. Chairperson Krampf gave an overview of the project stating that the applicant would like to construct a 420 square foot sunroom addition, a 600 square foot deck, and a 1,500 square foot basketball court.

Mr. Ramirez stated that the addition will match the existing home's siding, roofing, and windows.

Trustee Minkin asked if there would be exterior lighting on the basketball court. Mr. Holasek stated that there would not be.

Motion by Trustee Minkin, seconded by Committee Member Zitzer, to approve the project as described and presented in the application. Motion carried unanimously.

IV. ADJOURNMENT

Motion by Trustee Minkin, seconded by Committee Member Roberts, to adjourn the meeting at 5:09pm. Motion carried unanimously.

Emma Baumgartner
Operations Coordinator

04/24/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Pamela Dowling & Patrick Poole</p> <p>PROJECT ADDRESS: 500 E Bay Point Rd</p>	<p>PROJECT SUMMARY: New 10 X 16 160 sq. Ft. storage shed.</p>
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I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

Sec. 125-89. - "A" residence district regulations.

1. Setbacks conform to the ordinance.
2. No issues with this submittal

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 04/19/2024

Property Address 500 E. BAY POINT RD

Zoning District A

Proposed Project Details (type of work, size, materials, location, etc.):

SHED PLACED ON PROPERTY

<p><input checked="" type="checkbox"/> ARC Agenda Date: <u>MAY 6, 2024</u></p> <p><input checked="" type="checkbox"/> Parcel Number: <u>148-33</u></p> <p><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</p> <p><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</p> <p><input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs.</p> <p><input checked="" type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</p> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<p><input checked="" type="checkbox"/> Accessory Structures/Generators</p> <p><input type="checkbox"/> Additions/Remodel</p> <p><input type="checkbox"/> Commercial Signage</p> <p><input type="checkbox"/> Decks/Patios</p> <p><input type="checkbox"/> Fence</p> <p><input type="checkbox"/> Fire Pits</p> <p><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</p> <p><input type="checkbox"/> New Construction</p> <p><input type="checkbox"/> Play Structures</p> <p><input type="checkbox"/> Recreational Facilities/Courts</p> <p><input type="checkbox"/> Roofs</p> <p><input type="checkbox"/> Solar Panels/Skylights</p> <p><input type="checkbox"/> Swimming Pools</p> <p><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</p> <p><input checked="" type="checkbox"/> Other</p>
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A PLAT OF A SURVEY.

FOR MR. THOMAS ALLES

OF LOT 33, BLOCK 1, BAYSIDE RAVINE PARK,
BEING A SUBDIVISION OF A PART OF ASSESSMENT SUBDIVISION NO. 276,
AND A PART OF THE NORTH WEST 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 22
IN THE VILLAGE OF BAYSIDE, MILWAUKEE COUNTY, WISCONSIN.

APPROVED
BAYSIDE RAVINE PARK
ARCHITECTURAL COMMITTEE

Handwritten signatures:
R. A. Eschewitz
Carl Fleckinger



148-33



APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE
DATE FEB 16 1954

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

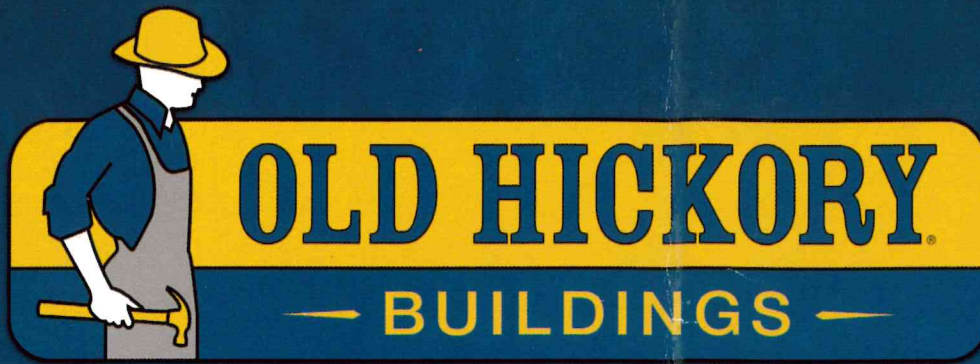
I, Frank J. Holdampf, Surveyor, do hereby certify that I have surveyed
the above described property and that the above plat is an accurate
representation thereof and correctly shows the exterior boundary lines
and location of buildings and other improvements on said property and
the correct measurements thereof.

Milwaukee, Wis. January 12, 1954

Handwritten signature of Frank J. Holdampf
Professional Engineer

500





PRICE GUIDE



Metal Colors

STANDARD METAL

Same price for Standard Metal or Shingle Roof.

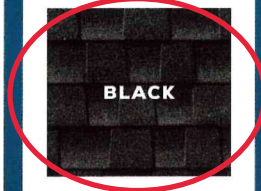
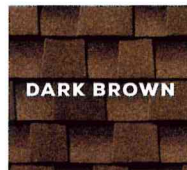
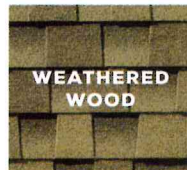
RUSTIC RED	CHARCOAL	BLACK
BURNISHED SLATE	HUNTER GREEN	SILVER

SPECIAL ORDER METAL

Adds one week to the lead-time and has a slight upcharge.

BRILLIANT WHITE	ALAMO WHITE	ASH GRAY
LIGHT STONE	TAN	TAUPE
PEWTER GRAY	BROWN	BRITE RED
BURGUNDY	GALLERY BLUE	OCEAN BLUE

Shingles



Paint & Urethane Colors

STANDARD PAINT

One Standard Paint Color included in price.

BARN WHITE	NAVAJO	BEIGE
CLAY	BUCKSKIN	BROWN
GRAY SHADOW	GAP GRAY	BLACK
EVERGREEN	PINNACLE RED	SCARLET RED

URETHANE STAIN COLORS

MAHOGANY	HONEY GOLD	CHESTNUT BROWN
DARK EBONY	DRIFTWOOD	

Metal color availability and color names vary by region. Please consult your dealer for options in your area. Actual colors may vary from those displayed in brochure. See dealer for actual color swatch. OHB is not responsible for colors not matching the brochure.

OLDHICKORYBUILDINGS.COM
 FACEBOOK.COM/OLDHICKORYBUILDINGS
 INSTAGRAM.COM/OLDHICKORYBUILDINGS

Scan the QR code or visit
oldhickorybuildings.com/brochure
 to view & download our full brochure.







Impervious Surface Calculator

Total Square Footage of Property		41618
Current Impervious Surface		
	Home	3778.64
	Accessory Structure(s)	
	Driveway	3584.93
	Deck/Patio	
	Other	
	Total	7363.57
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		160
	TOTAL	7523.57
Current + Proposed Percent of Impervious Surface		18.07768273

Address	Zone
500 E Bay Point Rd	Zone A - 25%

05/09/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Jon & Caitlin Kiechle</p> <p>PROJECT ADDRESS: 9550 N Wakefield Ct.</p>	<p>PROJECT SUMMARY:</p> <p>Eliminating one window and residing over existing opening</p>
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I have reviewed the proposed application for eliminating one window and residing over existing opening for compliance with the Village’s ordinances and have determined the following for consideration.

1. There are no other issues with this submittal.
2. This review is only for ARC and not permitting.

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

**See comments is red
This is just for ARC review and not for permitting**

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**

Project Proposal

Date 2024-5-3

Property Address 9550 Wakefield Ct.

Zoning District B

Proposed Project Details (type of work, size, materials, location, etc.):

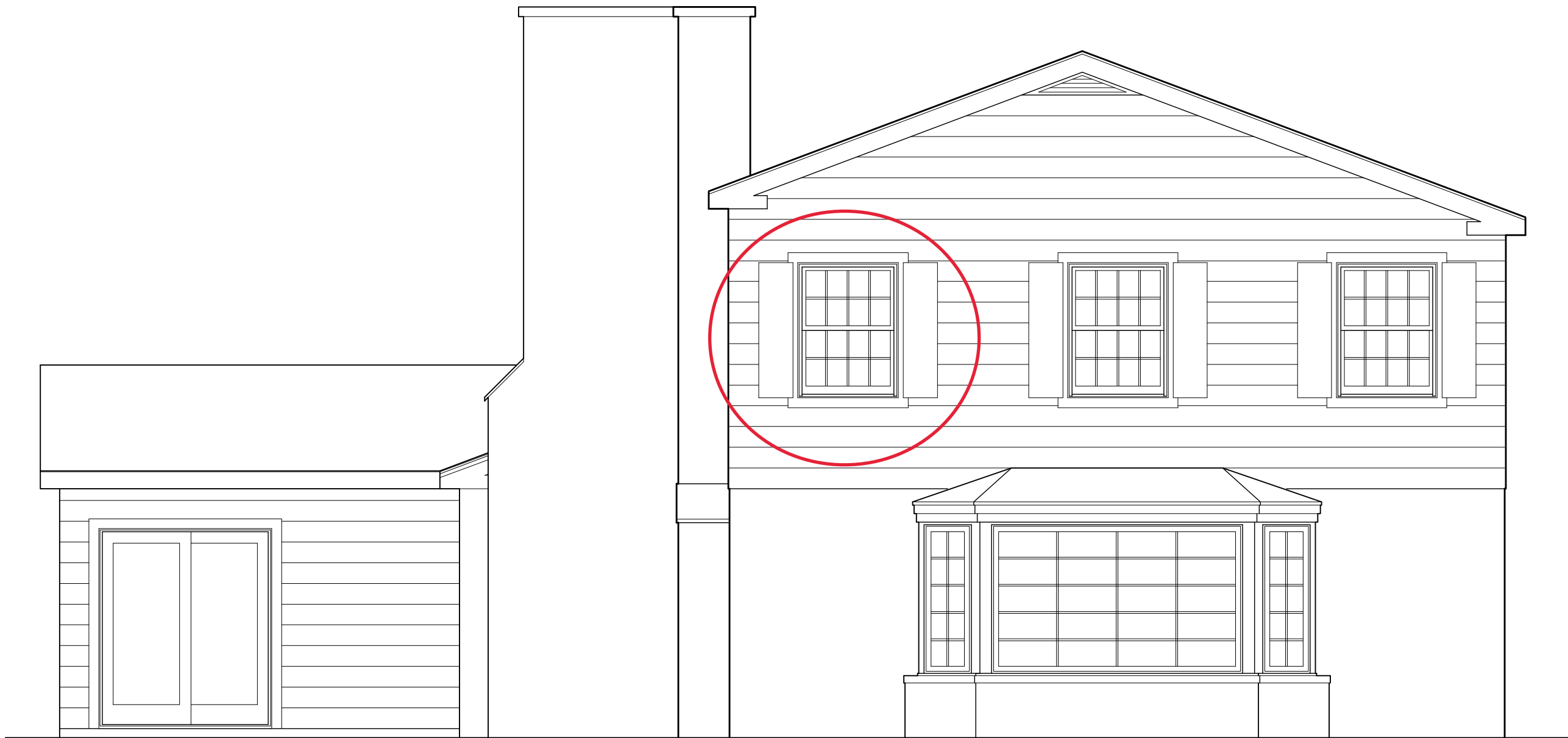
Remove one window on the north side & replace with matching exterior materials

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

*Kiechle Renovation
9550 Wakefield Court
Bayside, WI 53217*



EXISTING NORTH ELEVATION

$\frac{1}{4}'' = 1'-0''$

DRAWN BY
J. HARTLINE

DATE
5-2-2024

PROJECT NO.

SHEET

1

of 2



324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

*Kiechle Renovation
9550 Wakefield Court
Bayside, WI 53217*

DRAWN BY
J. HARTLINE

DATE
5-2-2024

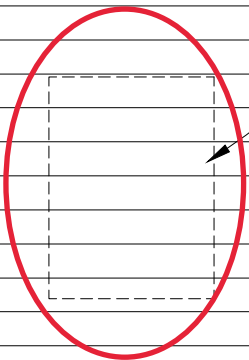
PROJECT NO.

SHEET

2

of 2

REMOVE WINDOW &
REPLACE w/
MATCHING PAINTED
WOOD LAP SIDING



NEW NORTH ELEVATION

1/4" = 1'-0"

JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

Northwest



JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

West



JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

North



JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

East



JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

South



JEREMY HARTLINE ARCHITECT, LLC
324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

North neighbor - 9564 N. Wakefield Ct



JEREMY HARTLINE ARCHITECT, LLC
324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 9550 Wakefield Court

EXTERIOR PHOTOS

North neighbor across the street 9581 N. Wakefield Ct.



05/09/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Drew Perugino PROJECT ADDRESS: 1010 E. Glencoe Pl.	PROJECT SUMMARY: New Pergola and grill island
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I have reviewed the proposed new Pergola and grill island for compliance with the Village's ordinances and have determined the following for consideration.

Sec. 125-90. - "B" residence district regulations.

1. Setbacks conform to the ordinance
2. Confirms with the Impervious requirements

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 4/19/2024

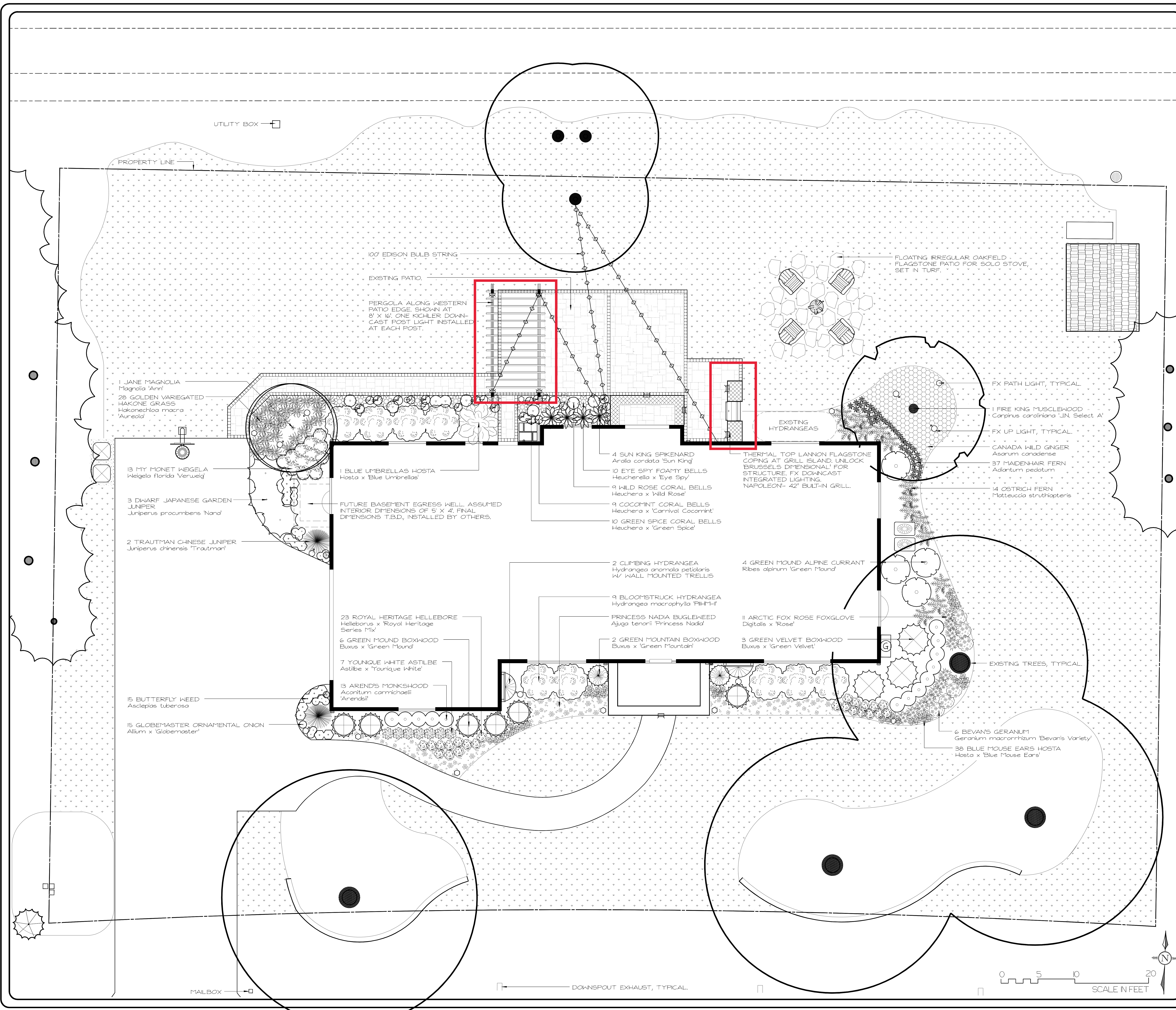
Property Address 306 W Ravine Bay Rd.

Zoning District Residential

Proposed Project Details (type of work, size, materials, location, etc.):

We are slated to construct a grill island in the backyard out of 'Unilock' Brusses Dimensional Block, capped w/ Lannon slabs. This island will take up 16 sq. ft. We are also going to be building a pergola out of cedar lumber in the backyard. This will be 112 sq. ft. in size and 10 ft in height.

<ul style="list-style-type: none"> <input checked="" type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input checked="" type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input checked="" type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input checked="" type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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No.	Date	Description
01	12-MAR-2024	PLANT UPDATES



PERUGINO RESIDENCE

306 W. RAVINE BAYE RD.
BAYSIDE, WI

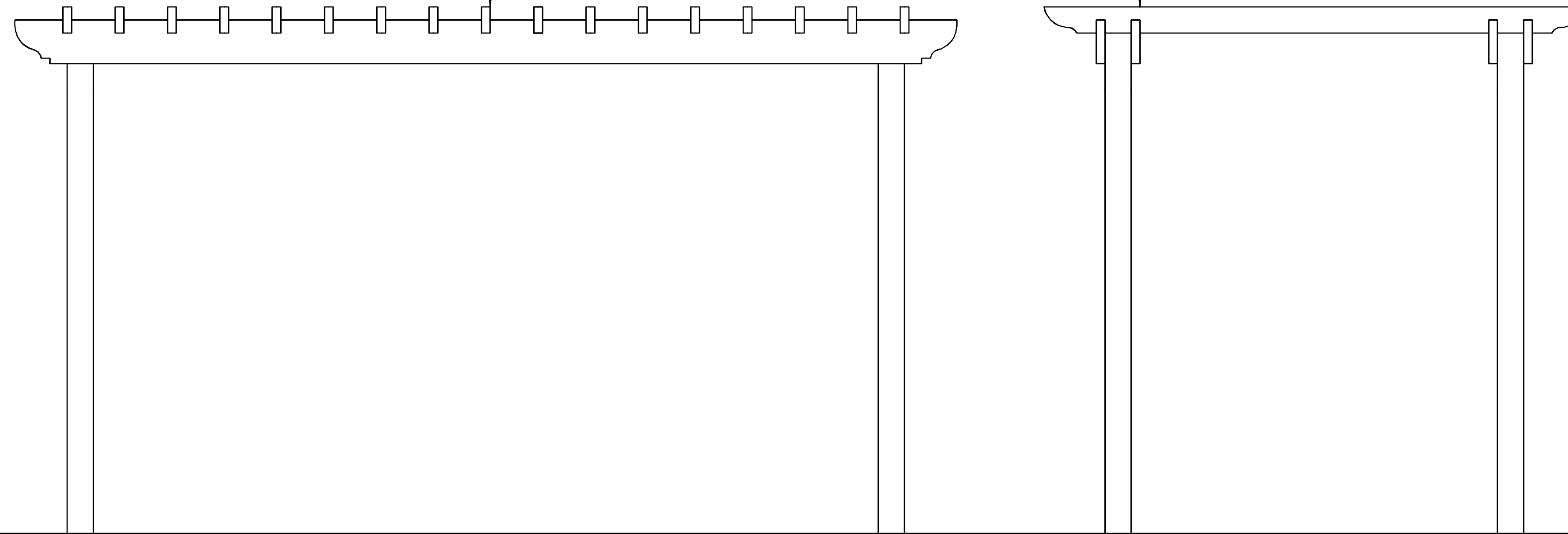
PHASE 02
PLAN A
VERSION 03

SCALE	1/4" = 1'-0"	PROJECT NO.	
DRAWN BY	A.R.L.	SHEET NO.	
CHECKED BY	A.R.L.		
DATE	02OCT2022		
DATE OF PRINT	12-MAR-2024		01 OF 01

8X16 PERGOLA DETAIL

CONSTRUCTED USING
HIGH QUALITY CEDAR
LUMBER

10' MAX HEIGHT

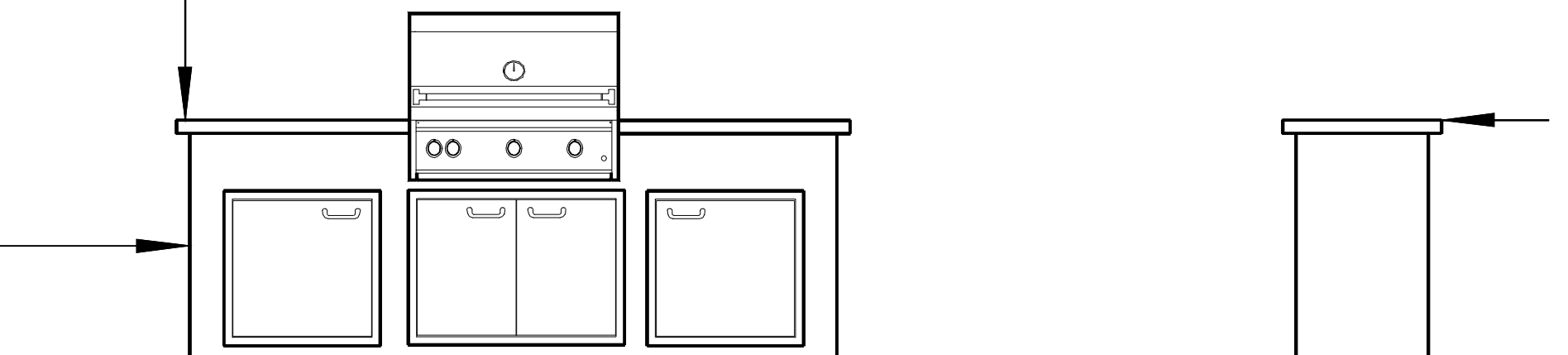


SECURED TO GROUND
WITH 4' DEEP CONCRETE
FOOTINGS

2 X 8 GRILL ISLAND DETAIL

LANNON TOP CAP

CONSTRUCTED WITH
UNILOCK DEMENTIONAL
BLOCKS



SECURED TO GROUND
WITH 4' DEEP CONCRETE
FOOTINGS

NOTES

No.	Date	Description



ELEVATIONS FOR PERGOLA
AND GRILL ISLAND

PERUGINO
RESIDENCE
306 W RAVINE BAY RD.
BAYSDIE, WI

SCALE	1"=2'
DRAWN BY	SL
CHECKED BY	
DATE	04/19/2024
DATE OF PRINT	

PROJECT NO.	
SHEET NO.	02 OF 02

16-0170

28.4
19.3
74.7
43.7

Date July 31, 1978

PLAT OF SURVEY

Job No. BA -1218- M

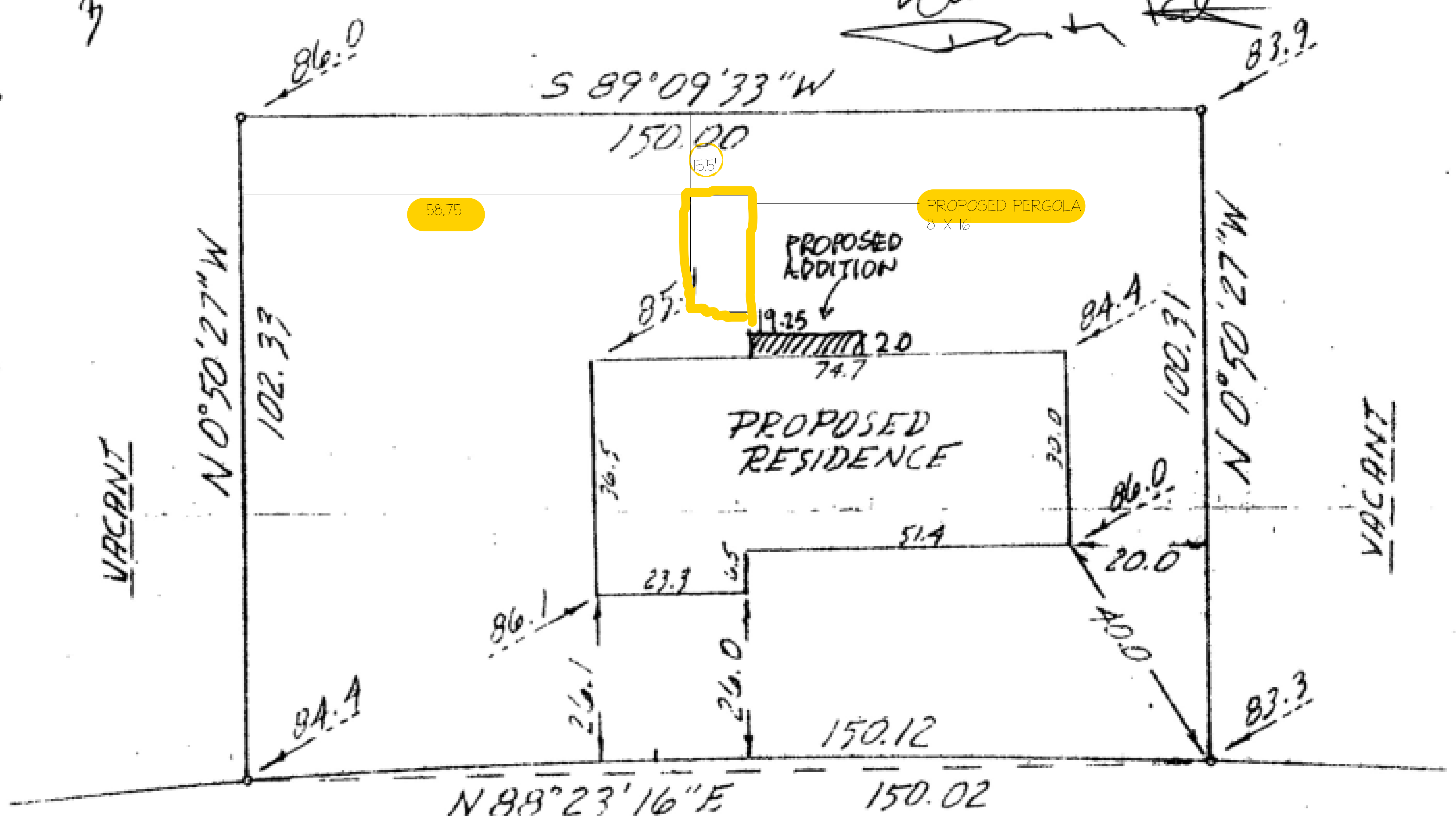
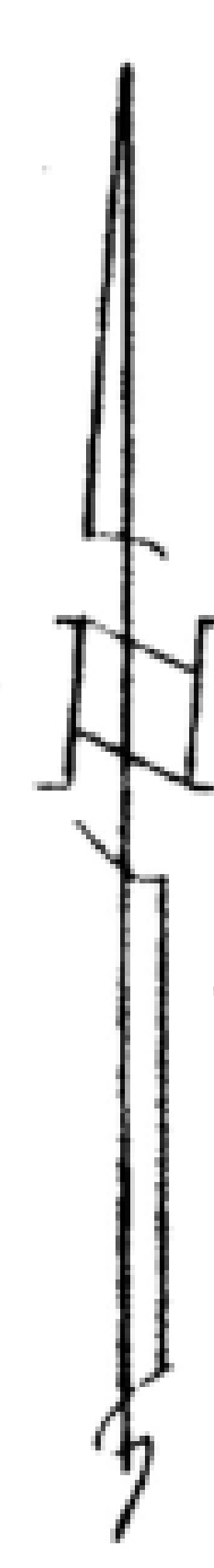
LOT 7, RAVINE BAYE ESTATES NO. 1, being a subdivision of part of the Northeast 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE

DATE **AUG 31 1992**

Jim Mason
Dusan Strait

SCALE:
1" = 30'



RAVINE BAYE ROAD (50')

Surveyed For:
Kingfogl Construction Corp.
3145 N. 124th Street
Brookfield, Wis. 53005

FINISHED GRADE
87.0
*at Bayside
village of Bayside
8/11/92*

SURVEYED BY
PRUDLOW & BUECHL, INC.
233 OAKTON AVENUE
PEWAUKEE, WISCONSIN 53072
Phone 691-4444

I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, roadways and visible encroachments.
This survey is made for the exclusive use of the present owners of the property; also those who purchase, mortgage or guarantee the title thereto, within one year from date hereof, and to them I warrant the accuracy of said survey and map.

REGISTERED LAND SURVEYOR NO. 8-1106 - STATE OF WISCONSIN



Materials
Presentation

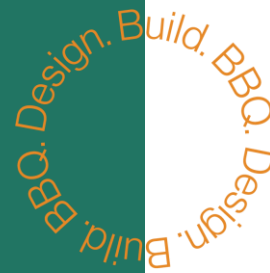


Perugino Residence

306 W Ravine Bay Rd. Bayside, WI

Materials
Presentation

Grill Island



Grill Island

Brick and Bluestone



Size

Custom to fit application, village ordinances, and required setbacks

Fully customizable outdoor grill islands and kitchens. Built to withstand the seasonal fluctuations in humidity and temperature experienced in Wisconsin. Constructed of materials that complement the home with standard counter top heights for maximum comfort. Can be as simple as independent islands for a freestanding grill or as complex as an outdoor kitchen complete with storage, refrigeration, and multiple cooking apparatuses.

Unilock 'Brussels Dimensional'

Cast, man made wall block



Brussels Dimensional Stone has the same antiqued patina as the classic Brussels Block paver. Reflecting the cues of quarried stone, it brings similar timeless warmth and relaxed appearance to any project. Its simple design makes it a popular choice for constructing garden walls, steps, pillars, outdoor kitchens and other landscape features. Round or square firepits can be custom designed using Brussels Dimensional.

Unilock 'Brussels Dimensional'

Colors and Sizes

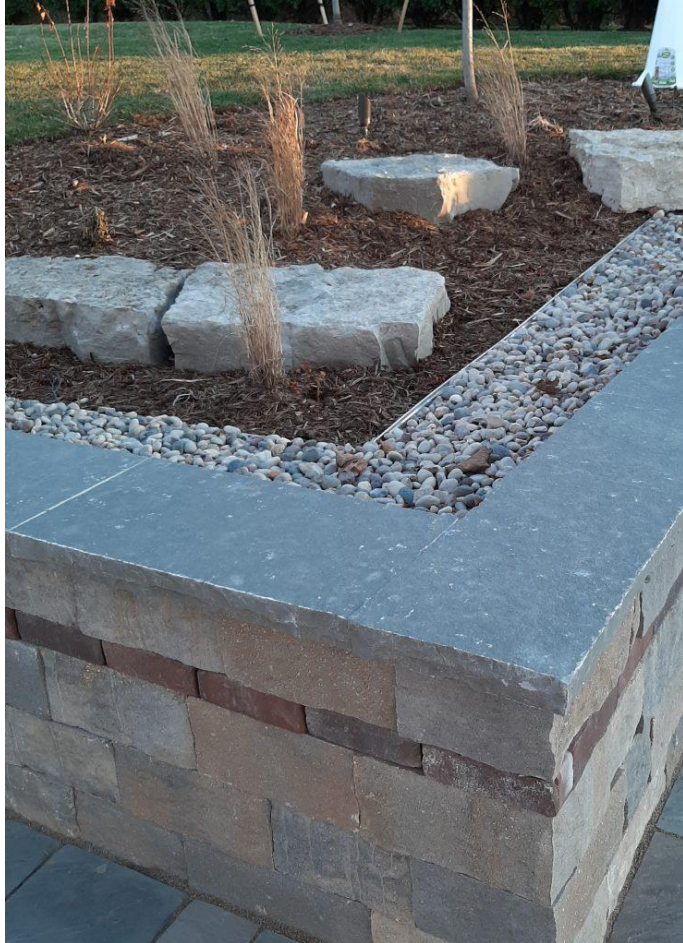


Size
Standard
H. 4"
W. 12"
D. 8"

Small Tapered for round styles
H. 3.875"
W. 9"
D. 7.875"

Lannon Coping and Top Caps

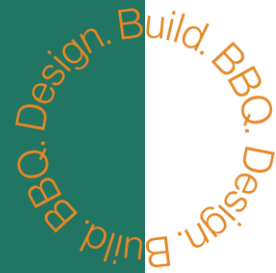
Natural or thermal top, sawed bottom, rock/chisel face



Featuring a thermal or natural top, sawed bottom, and chisel face sides. A natural stone product featuring tones of almost white to gray, to buff with possible orange undertones. Color will vary from piece to piece. Applications vary from wall and fire pit top caps, pool coping, steps, pillar caps, and custom benches. Sizes vary on application.

Materials
Presentation

Pergola



Pergola

Cedar Construction



Size

H. 10'

L. 16'

W. 8'

Custom Cedar construction Pergola. The pergolas style and rafter details will match the wood details that already exist on the property and house to achieve a cohesive look to the property.

Contact Us

(262) 402-2512

stephen.lovett@ideal-landscaping.net

www.ideal-landscaping.net



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Ideal
PROPERTY MANAGEMENT











05/02/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Cobalt Partners PROJECT ADDRESS: 8909 N Port Washington Rd.</p>	<p>PROJECT SUMMARY: Campus Monument Sign 18' tall X 10' wide</p>
--	---

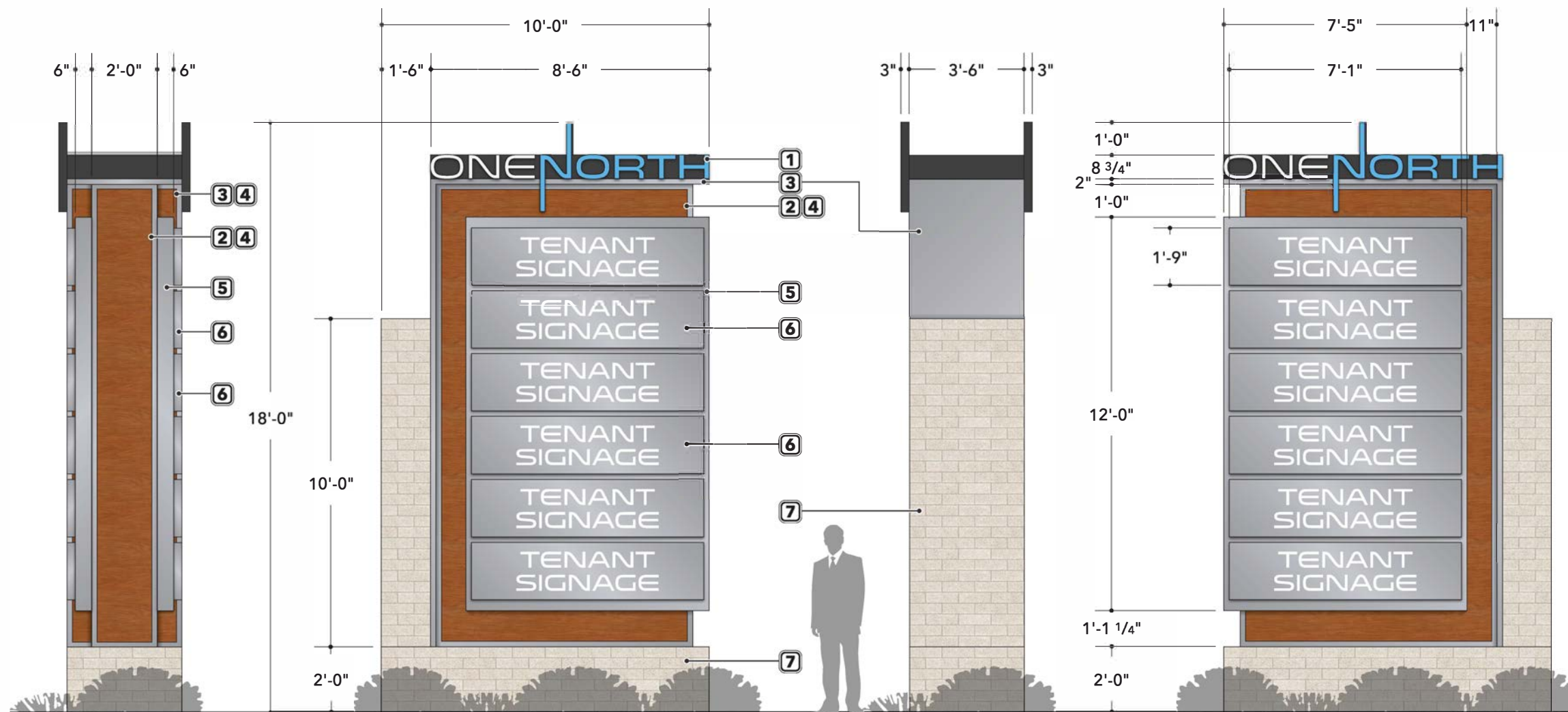
I have reviewed the proposed new signs for compliance with the Village’s ordinances and have determined the following for consideration.

1. The sign meets the ordinance setback.
2. From the submitted drawing the sign is not in the Right of Way and confirms with the vision triangle requirements.
3. The board always considers the aesthetics of the signs.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**



- 1**

DESCRIPTION: 3" Deep, Face-Lit Fabricated Aluminum Letter
FACE: White, Light Blue Vinyl
RETURNS: Black
LIGHTING: Internal White LEDs
INSTALLATION: Aluminum Raceway, Painted Black
- 2**

DESCRIPTION: 24" Deep Fabricated Aluminum Cabinet
COLOR: Paint Brushed Aluminum
- 3**

DESCRIPTION: 2" Deep Fabricated Aluminum Accent Fin
COLOR: Paint Brushed Aluminum
- 4**

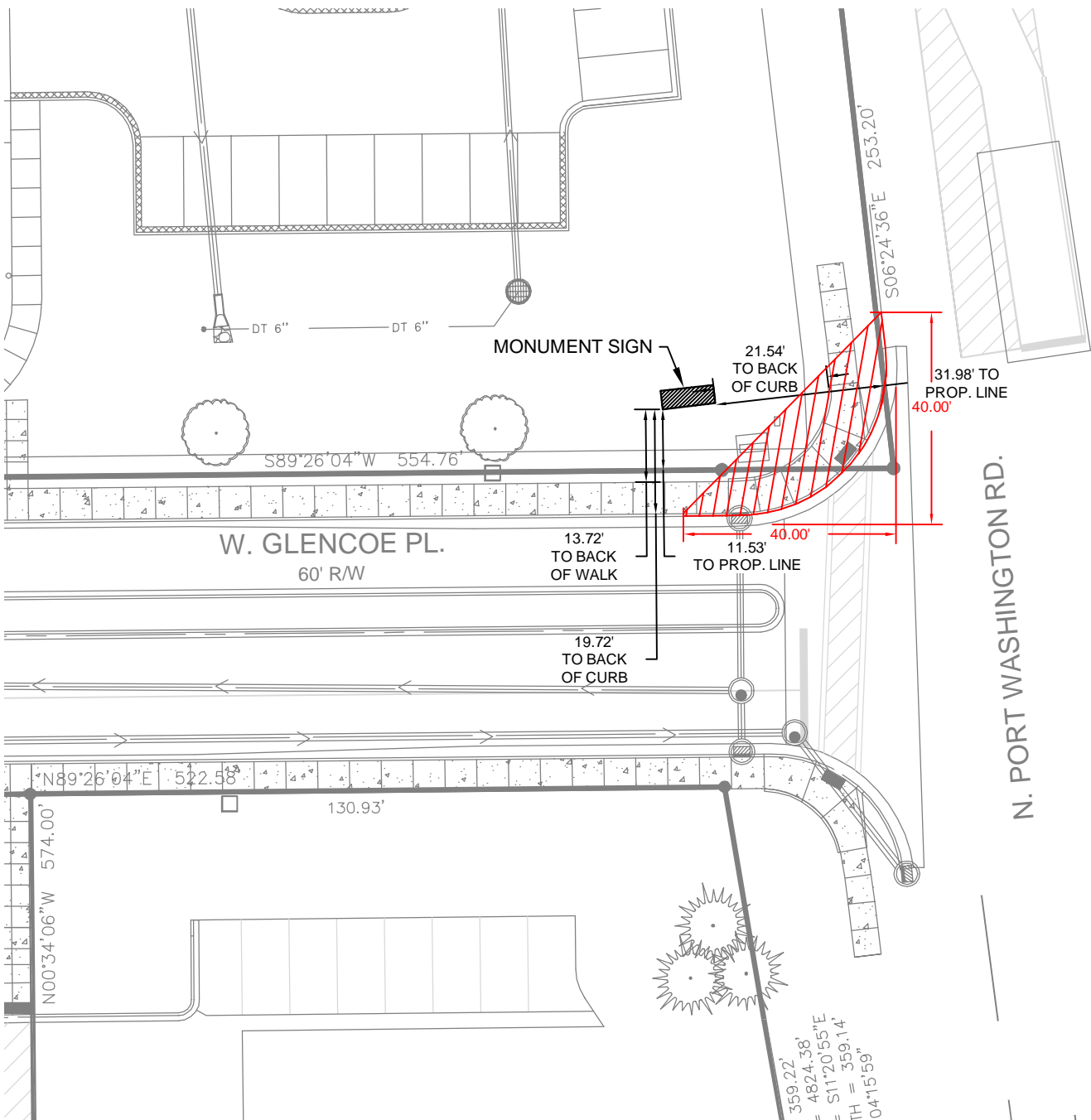
DESCRIPTION: Vinyl, Inset 2" All Sides
COLOR: Belbien/DiNoc Woodgrain [TBD]
- 5**

DESCRIPTION: 6" Deep Lit Fabricated Aluminum Cabinet
COLOR: Paint Brushed Aluminum
LIGHTING: Internal White LEDs
- 6**

DESCRIPTION: 3" Deep Fabricated Aluminum Tenant Pans
COLOR: Paint Brushed Aluminum
GRAPHICS: Backed-Up White Acrylic
- 7**

DESCRIPTION: Masonry Base & Column
COLOR: Match Building [TBD]

EXHIBIT MONUMENT SIGN LOCATION



LEGEND

- = PROPOSED PROPERTY LINES
- = MONUMENT SIGN
- = PROPERTY CORNERS (IRON PIPE)

ARC = 359.22'
 RADIUS = 4824.38'
 CH. BRG. = S11°20'55"E
 CH. LENGTH = 359.14'
 D = 04°15'59"

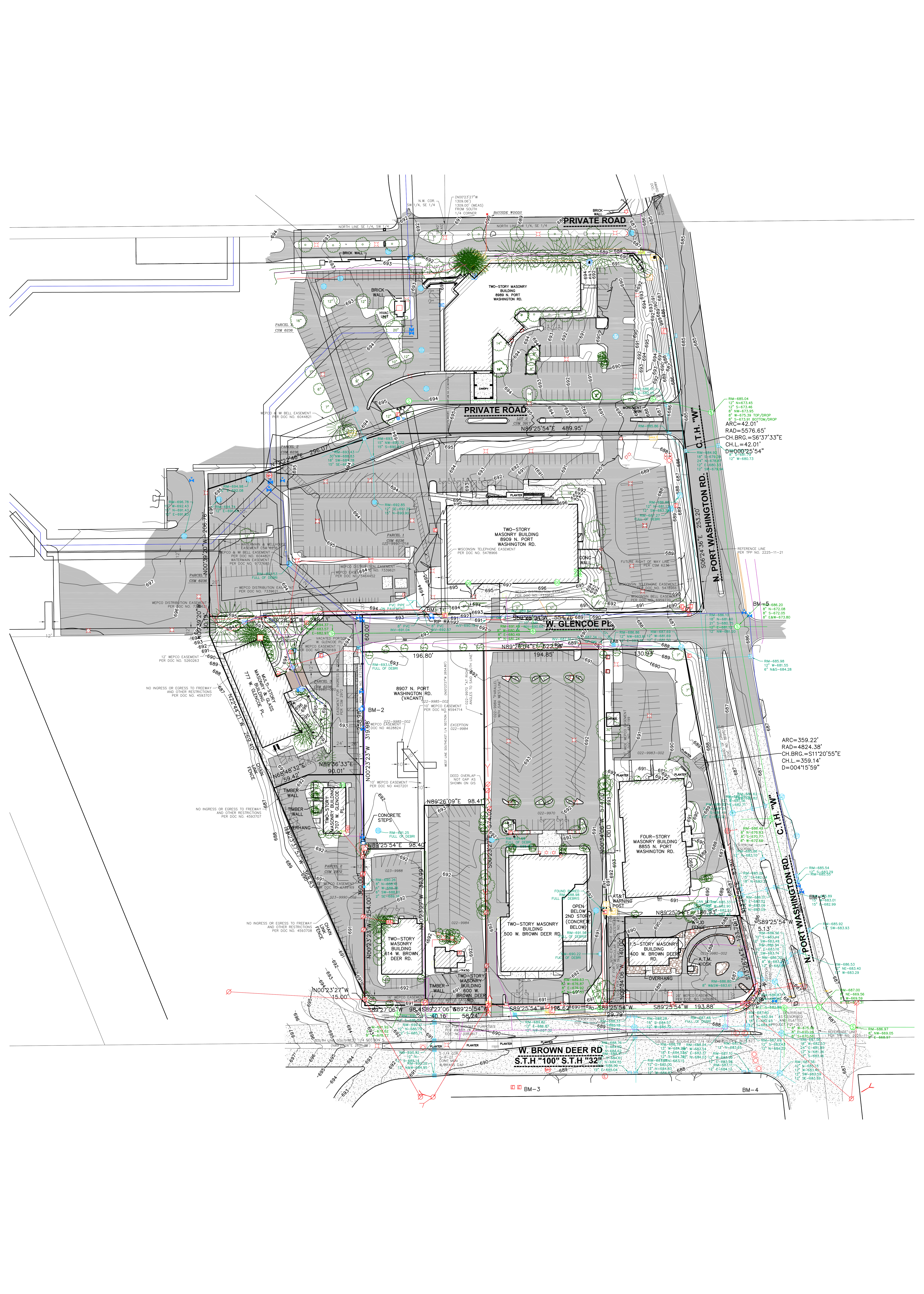


MONUMENT SIGN LOCATION

W. GLENCOE PL. & N. PORT WASHINGTON RD.
 BAYSIDE, WI 53217

REVISIONS:	DATE: 04/18/2024
	SCALE: 1" = 30'
	SHEET NUMBER:
	1

DRAWN: BS



RM-685.04
12" N-673.45
12" S-673.46
8" NW-673.95
8" W-679.39 TOP/DROP
8" S-673.91 BOTTOM/DROP
ARC=42.01'
RAD=5576.65'
CH.BRG.=S6°37'33"E
CH.L.=42.01'
D=000°25'54"

ARC=359.22'
RAD=4824.38'
CH.BRG.=S11°20'55"E
CH.L.=359.14'
D=004°15'59"

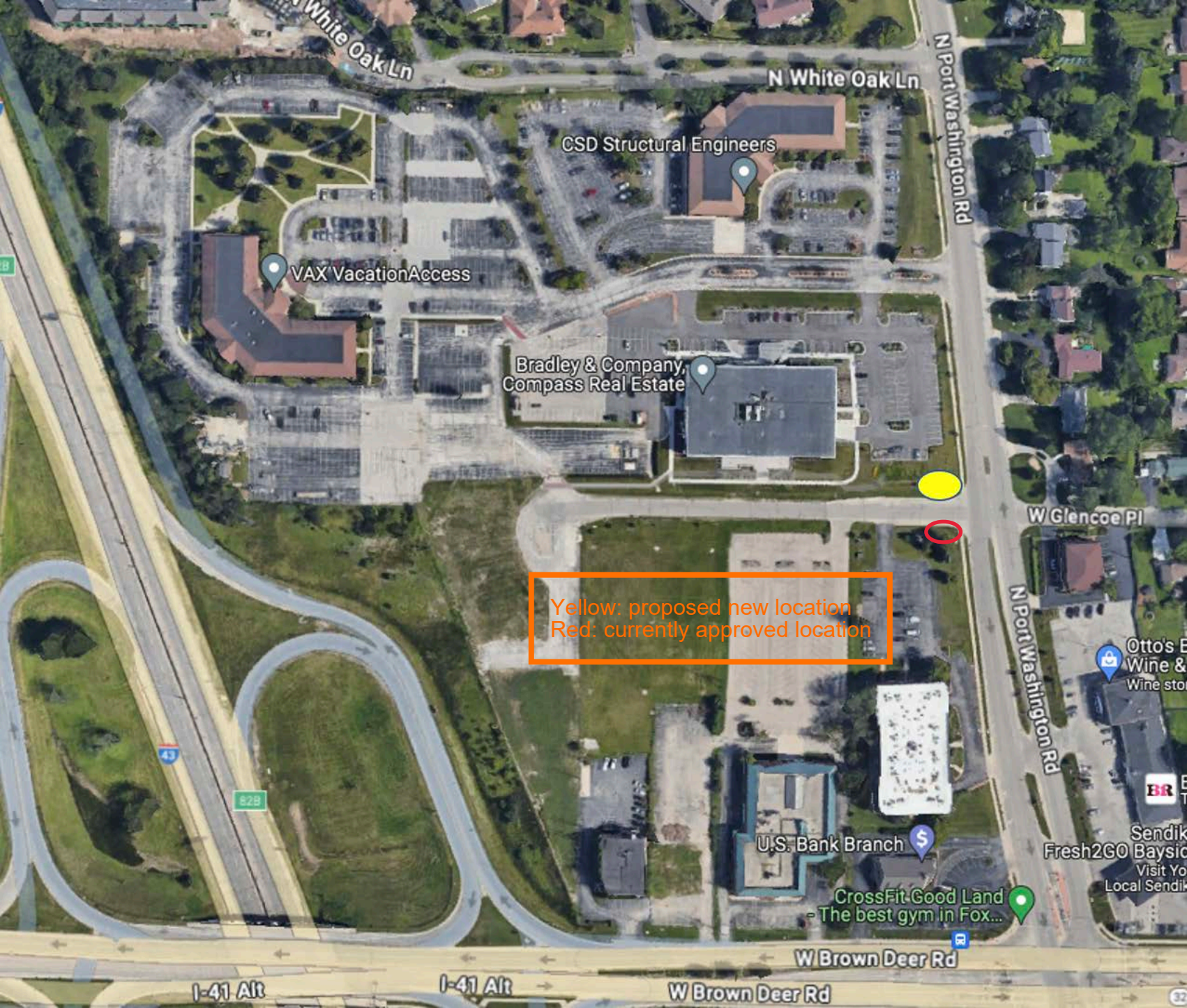
BM-3

BM-4

W. BROWN DEER RD
S.T.H "100" S.T.H "32"

N. PORT WASHINGTON RD.
S06°24'36"E 253.70'

N. PORT WASHINGTON RD.
S58°25'54" C.T.H. "W"



Yellow: proposed new location
Red: currently approved location



N Port Washington Rd





N Port Washington

7

ROAD WORK AHEAD