



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
August 19, 2024
Village Board Room 5:00pm

ARCHITECTURAL REVIEW COMMITTEE AGENDA

PLEASE TAKE NOTICE that a meeting of the Bayside Architectural Review Committee will be held at the Village Hall of the Village of Bayside, 9075 N. Regent Road, Bayside, Wisconsin in addition to virtually. Public can access this meeting of the Architectural Review Committee by phone or by computer. The phone number is: **+309 205 3325**. The Zoom Meeting code is: **894 8171 1081** and the Passcode is: **011745**. <https://tinyurl.com/vzxdswu> Persons desiring to speak in the remote format on a specific agenda item should register twenty-four hours in advance by calling (414) 206-3915. The following items of business will be discussed and possibly acted upon:

I. **CALL TO ORDER AND ROLL CALL**

II. **APPROVAL OF MINUTES**

- A. Approval of August 5, 2024, meeting minutes.

III. **BUSINESS**

- A. **9215 North Pelham Parkway - Jeremy Bennett** The proposed project is the construction of 167 lineal feet of four-foot-high black welded wire open design fence.
- B. **1500 East Fairy Chasm Road – Robert Biallas** The proposed project is the construction of a 200 square foot shed.
- C. **711 Grace Street – The Symphony** The proposed project is the construction of an acrylic and aluminum sign with illuminated letterset attached to building canopy.
- D. **9001 White Oak Lane – Dan Katz** The proposed project is the construction of a 14.5' wide and 10' high monument sign.

IV. **ADJOURNMENT**

Emma Baumgartner
Operations Coordinator

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
August 5, 2024
Village Board Room 5:00pm

**ARCHITECTURAL REVIEW COMMITTEE
MEETING MINUTES**

I. CALL TO ORDER AND ROLL CALL

Chairperson Krampf called the meeting to order at 5:00pm.

ROLL CALL

Chair: John Krampf
Members: Dan Zitzer - excused
Marisa Roberts
Tony Aiello – excused
Kavin Tedamrongwanish
Christine Duback - excused
Trustee Liaison: Ben Minkin

II. APPROVAL OF MINUTES

A. Approval of July 22, 2024, meeting minutes.

Motion by Trustee Minkin, seconded by Committee Member Tedamrongwanish, to approve the July 22, 2024, meeting minutes. Motion carried unanimously.

III. BUSINESS

A. 9000 North Pelham Parkway – Nate & Shainah Grace

Perry Spec, construction manager, and Nate Grace, homeowner, appeared on behalf of the project. Mr. Spec described the project as the construction of a 934 square foot single story addition. Mr. Spec stated the current garage will be razed, and the foundation will be used to build a new family room area. A new two car attached garage will be constructed.

Motion by Trustee Minkin, seconded by Committee Member Tedamrongwanish, to approve the project as described and presented in the application. Motion carried unanimously.

B. 1420 East Bay Point Road – Jeffrey Harrington

Jeffrey Harrington, homeowner, appeared on behalf of the project. Mr. Harrington described the project as the construction of 55-lineal feet of four-foot-high black aluminum open design fence. Mr. Harrington stated the fence’s purpose is to enclose the existing patio.

Motion by Trustee Minkin, seconded by Committee Member Roberts, to approve the project as described and presented in the application. Motion carried unanimously.

IV. ADJOURNMENT

Motion by Trustee Minkin, seconded by Committee Member Tadamrongwanish, to adjourn the meeting at 5:08pm. Motion carried unanimously.

07/30/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|---|---|
| <p>PROJECT/SITE OWNER:</p> <p>Jeremy Bennett</p> <p>PROJECT ADDRESS: 9215 Pelham Pkwy</p> | <p>PROJECT SUMMARY:</p> <p>New four-foot-high black welded wire open design 167 lineal feet</p> |
|---|---|

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration.

1. A current survey was provided.
2. The board always considers matching fences with neighboring fences.
3. There are no issues with this application.

VILLAGE CODE REVIEW

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 7/19/2024

Property Address 9215 Pelham Parkway, Bayside, WI

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

INSTALLATION OF APPROX. 167' OF 4' HIGH BLACK WELDED WIRE WITH CEDAR FRAME FENCE AND ONE 8'X4' HIGH DOUBLE DRIVE GATE. HOLES TO BE DUG 4' DEEP PER BAYSIDE.

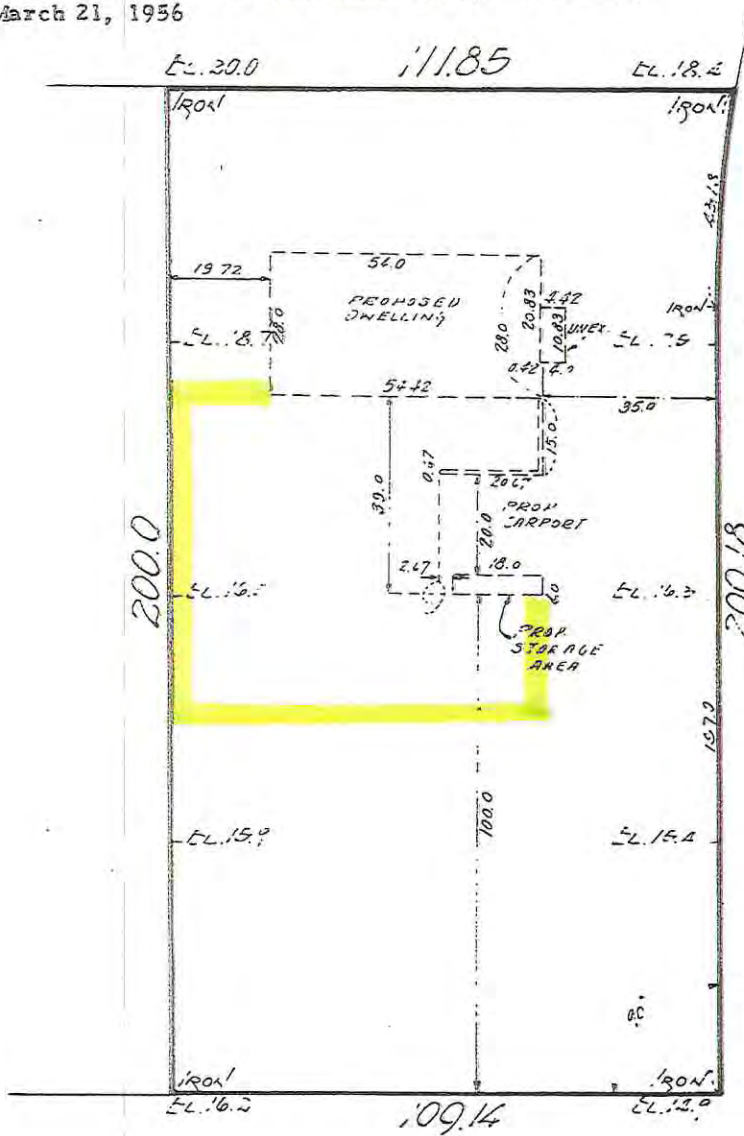
| <ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table> | Y | N | Payment | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Electrical | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | HVAC | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Fill | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dumpster | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | ROW/Excavation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Conditional Use | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Occupancy | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Special Exception/Variance | | | <input type="checkbox"/> | ARC | <ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other |
|---|--------------------------|--------------------------|----------------------------|--|--------------------------|--------------------------|--------------------------|----------|--------------------------|--------------------------|--------------------------|------------|--------------------------|--------------------------|--------------------------|----------|--------------------------|--------------------------|--------------------------|------|--------------------------|--------------------------|--------------------------|------|--------------------------|--------------------------|--------------------------|--------------------|--------------------------|--------------------------|--------------------------|----------|--------------------------|--------------------------|--------------------------|----------------|--------------------------|--------------------------|--------------------------|-----------------|--------------------------|--------------------------|--------------------------|-----------|--------------------------|--------------------------|--------------------------|----------------------------|--|--|--------------------------|-----|---|
| Y | N | Payment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Electrical | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | HVAC | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Fill | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dumpster | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | ROW/Excavation | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Conditional Use | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Occupancy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Special Exception/Variance | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | <input type="checkbox"/> | ARC | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Plat of Survey

07-0095

Known as East Fairy Chasm Road, V of Bayside, Wisconsin
 Lot 9 in Block 5 in BAYSIDE RAVINE PARK, being a Subdivision of a part of Assessment
 Subdivision No. 276, and a part of the N. W. 1/4 of Section 4, T 8 N, R 22 E, in the
 Village of Bayside, Milwaukee County, Wisconsin.
 March 21, 1956

Survey No. 73071-S



EL. 18.4
 EL. 18.9
 60
 PARK
 WILHELM
 EL. 14.9



EL. 14.9
 E. FAIRY CHASM ROAD
 EL. 14.9

We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

NATIONAL SURVEY SERVICE
 CIVIL ENGINEERS AND SURVEYORS
 5723 W. VLIET ST. BLUEMOUND 8-9830
 MILWAUKEE 9, WISCONSIN



Kenneth E. Berke
 SURVEYOR





Badger Fence

Work Order

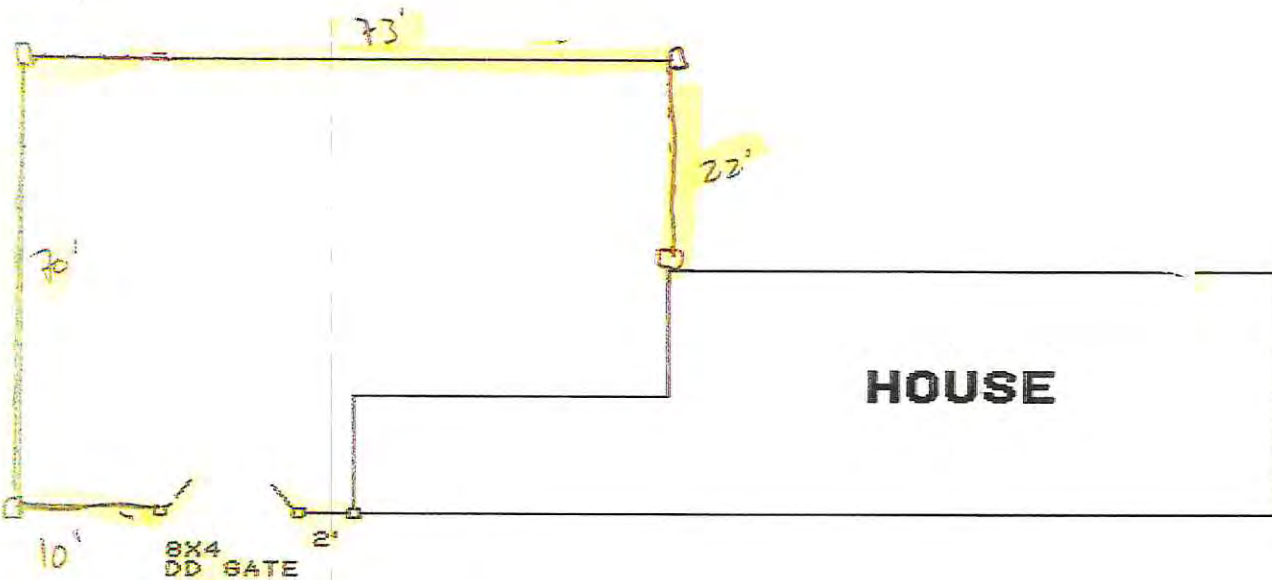
INSTALLED AT: JEREMY BENNETT
 9215 PELHAM PKWY.
 BAYSIDE
 248-396-4182

Salesmen MM

Date 7/9/24

Proposal #8983

| SET DATE: _____ CREW: _____ | | | | COMPLETION DATE: _____ CREW: _____ | | | | |
|--|--------|----|---------|------------------------------------|------|-------|-----------|-------|
| Description | Lineal | HT | Style | Line | Term | Gates | Gate Post | Rails |
| CEDAR FRAMED BLACK WELDED WIRE HOLES TO BE 4' DEEP *BRING EXTENSION FOR AUGER* INSTALLATION TO BEGIN 3-5 WEEKS, WEATHER PERMITTING. | 73' | 4' | FLAT | 4X4 | 4X4 | 8X4DD | 4X4 | 2 |
| All Posts in Concrete | YES | | HOTLINE | | | | | |





08/07/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|--|--|
| PROJECT/SITE OWNER: Robert Biallas PROJECT ADDRESS: 1500 E Fairy Chasm Rd | PROJECT SUMMARY: New 10 X 20 storage shed. |
|--|--|

I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

1. Setbacks conform to the ordinance.
2. **§ 104-5 Requirements for building on ravines and the bluff of Lake Michigan.**
[Code 1967, § 30.001(13); Code 1997, § 14-7; Ord. No. 95-354, 9-7-1995; Ord. No. 01-483, 8-1-2001
3. No building or structure may be built on the flat area of a lot at the top of the lake bluff unless a registered professional engineer has certified that in his opinion the footings and method of construction of the building and materials are adequate from an engineering standpoint so as not to disturb the natural runoff of surface and percolating water or create or add to a problem of erosion on the bank of the lake bluff and also so that any such excavation for the construction shall not adversely affect the structural integrity of any structure located on adjoining lots
4. They submitted picture for the color of the shed to be considered.
5. No issues with this submittal
6. For permitting we will need an engineer's sign off for proper anchoring system

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

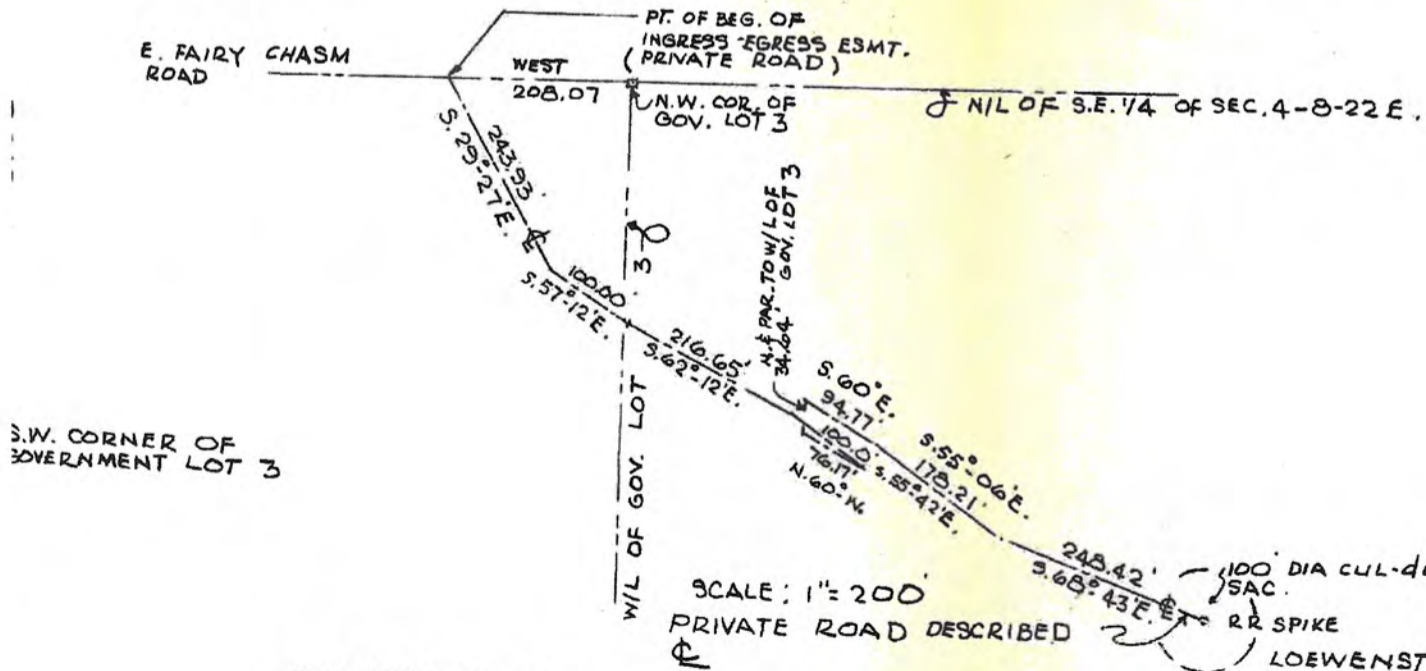
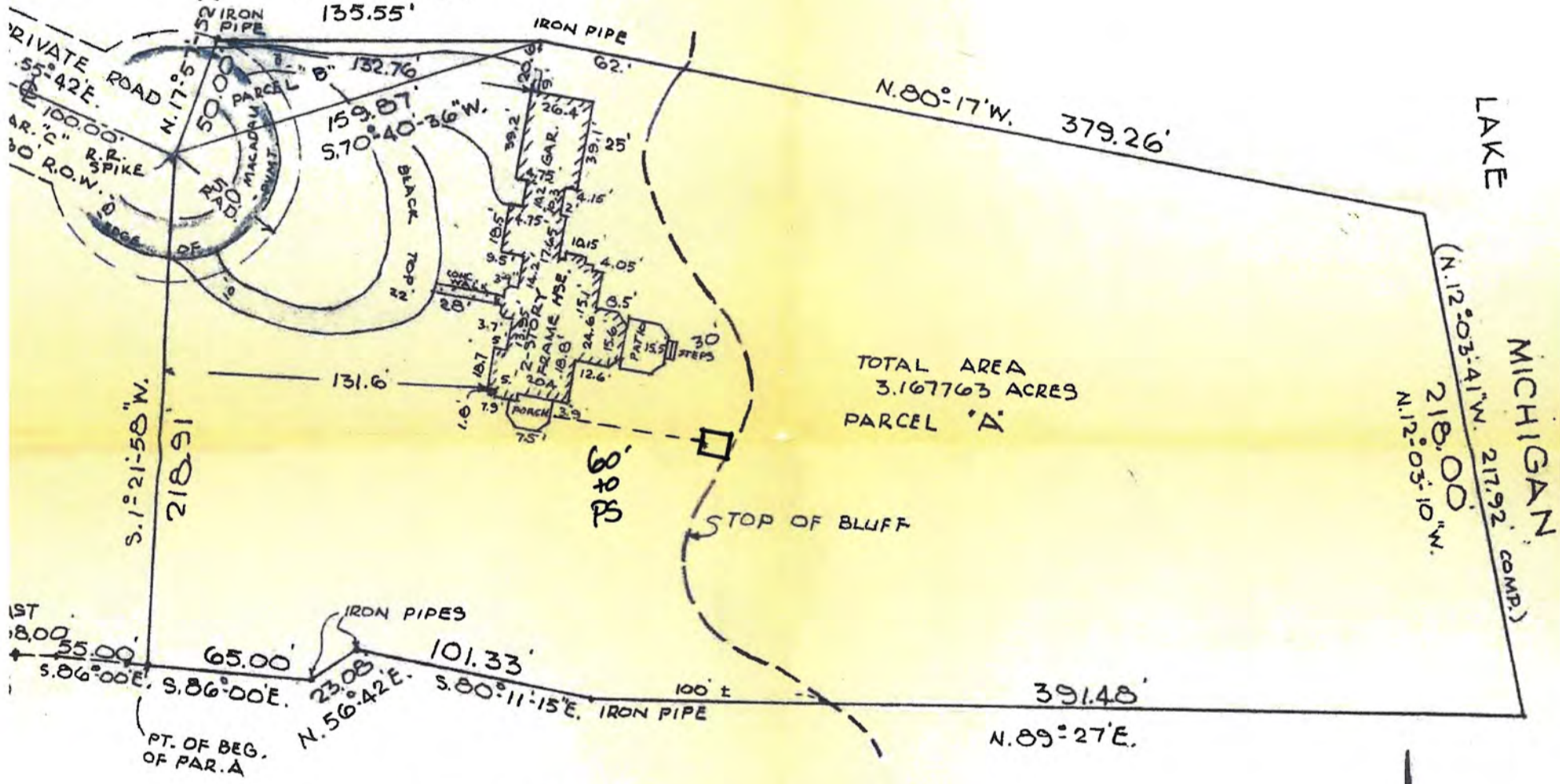
PLAT OF SURVEY

Description of lot or parcel of land For parcels of land of Government Lot 3 in the Southeast 1/4 of Section 4, in Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.
(See Sheet 2 of 2 for complete legal description.)

Name and address of owner Dr. and Mrs. Paul Loewenstein

Address of premises No. 1500 East Fairy Chasm Road, Bayside, Wisconsin.

PARCEL "C"
NON-EXCLUSIVE ESMTS.
FOR INGRESS & EGRESS
AS DESCRIBED IN WARRANTY
DEED DATED JULY 16, 1965
& REC. JULY 16, 1965 IN REEL 257,
IMAGE 190B, AS DOC. NO. 4192247
ROAD LEADS TO E. FAIRY CHASM RD.
N. 07° 44' 34" E.
135.55'



SCALE: 1" = 60'

10-15-98 INFORMATION ADDED TO PLAT.

SCALE: 1" = 200'

PRIVATE ROAD DESCRIBED IN WARRANTY DEED DATED JULY 16, 1965, AS DOC. NO. 4192247, IMAGE 190B, AS DOC. NO. 4192247, ROAD LEADS TO E. FAIRY CHASM RD. (SEE SHEET 2 OF 2 FOR COMPLETE LEGAL DESCRIPTION.)

State of Wisconsin }
County of Milwaukee } SS

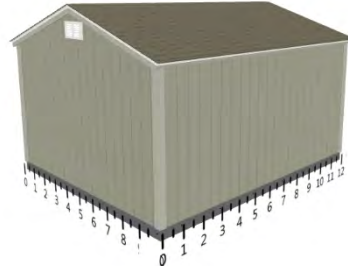
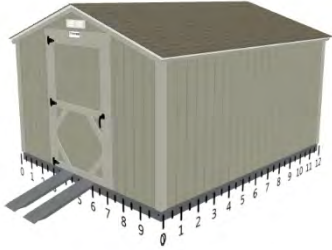
I, WILLIAM H. SCHMITT, hereby certify that I have surveyed the above described property on the 1st day of October, 1998, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof; and as to the accuracy of said survey and map to within those standards generally acceptable in the surveying profession.



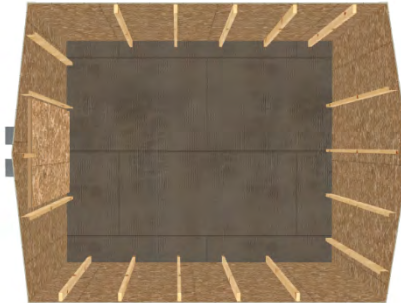


Robert Biallas
1500 East Fairy Chasm Road
Bayside WI 53217
Q-2750199



Wall D

Wall A



Wall C

Wall B

Base Details/Permit Details

Building Size & Style

Garden Ranch - 10' wide by 12' long

Door

4' x 6'2" Single Shed Door, Left Hinge Placement, Diamond, Decorative Door Hardware, Steel Ramp (pair) with Special Sill Nose

Paint Selection

Base: Smoky Slate, Trim: Smoky Slate

Roof Selection

Weathered Wood Dimensional Premium Shingle

Drip Edge

White

Is a permit required for this job?

Yes

Who is pulling the permit?

Tuff Shed

Optional Details

Floor and Foundation

120 Sq Ft 3/4" Treated Floor Decking Upgrade

120 Sq Ft PT to Steel - 24" OC Steel Joists

4 Ea Shed Anchor into Dirt - Auger or MR88

Vents

16"x4" Wall Vent - White

16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Dirt/Gravel

DocuSigned by:

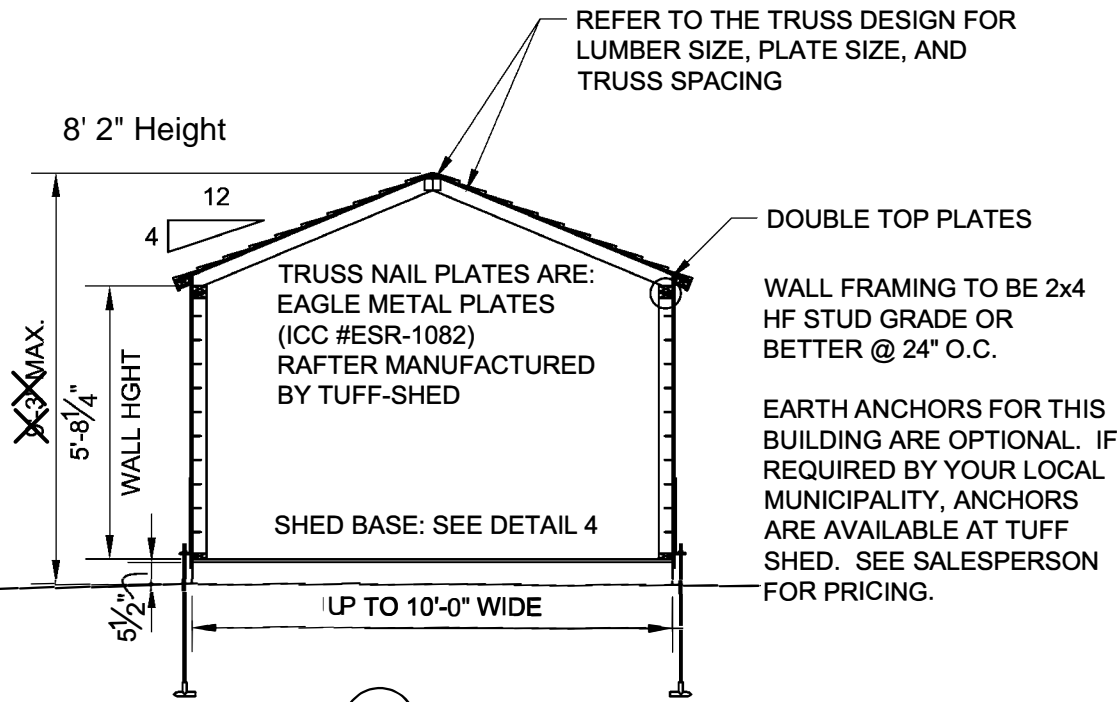
ROBERT BIALLAS

Date: 6/28/2024

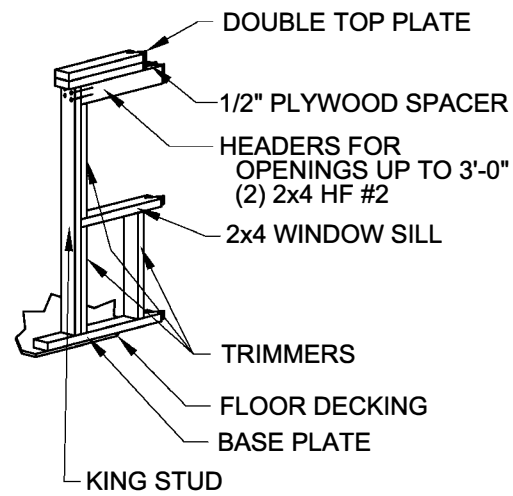
Customer Signature: _____

291270C98352463...

GR SHED 10' WIDE x 12' LONG GARDEN SERIES



1 BUILDING SECTION
SCALE: N.T.S.



FOR WINDOW OPENINGS UP TO 3'-0" ON PREMIER SERIES SIDE WALLS

2A WINDOW HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.

SIDE DOORS ARE NOT AVAILABLE ON THIS MODEL

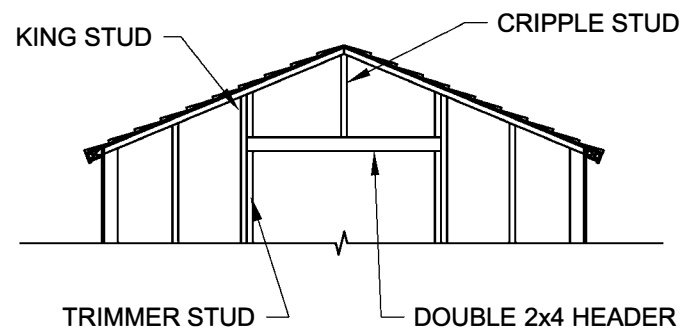
2B DOOR HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.

NOTES:

- BUILDING CODE:** 2015 IBC & 2015 IRC
- DESIGN LOADING:**
WIND SPEED & EXPOSURE: 110C
ROOF LIVE LOAD: 30 PSF
ROOF DEAD LOAD: 10 PSF
- FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2015 IBC & 2015 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.

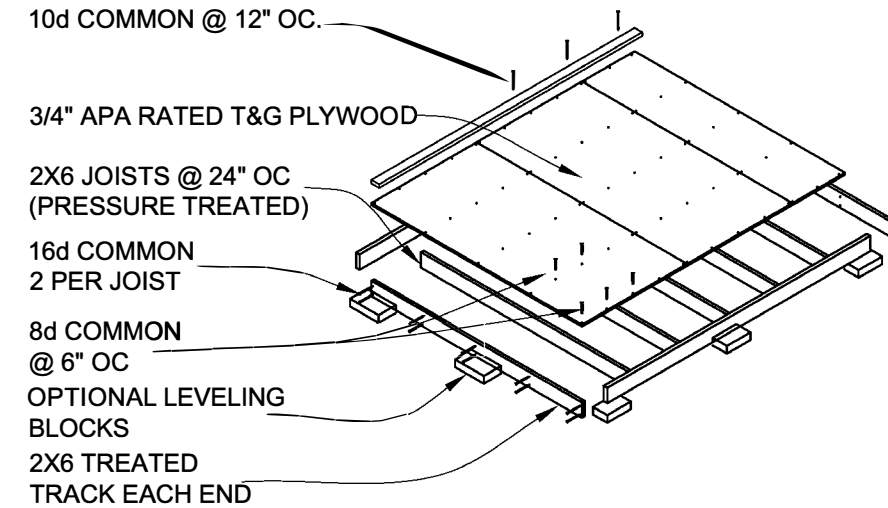
NAILING:

- ROOF:**
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:
8d NAILS @ 6" O.C. AT EDGES
8d NAILS @ 12" O.C. IN FIELD
- WALLS:**
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:
8d NAILS @ 6" O.C. AT EDGES.
8d NAILS @ 12" O.C. IN FIELD
- HEADER:**
ATTACH HEADER TO STUD WITH:
4-8d TOENAIL OR 4-16d END NAIL DOUBLED HEADER-16d @ 16" STAGGERED FACE NAIL



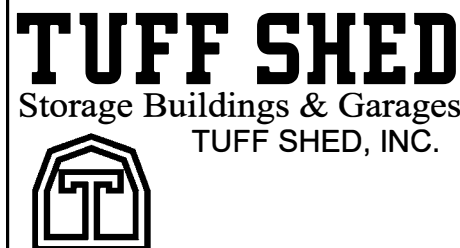
FOR OPENINGS UP TO 4'-0" WIDE

3 HEADER DETAIL FOR NON-LOAD BEARING WALLS
SCALE: N.T.S.



- WOOD SHED FOUNDATION:**
2X6 PRESSURE TREATED TRACKS
2X6 PRESSURE TREATED JOISTS @ 24" OC.
- 3/4" APA RATED TONGUE AND GROOVE FLOOR.
24" MAX PANEL SPAN. NO BLOCKING REQUIRED.
ALL EDGES SHALL LIE ON FLOOR JOISTS.
STAGGER PANEL LAYOUT PER APA CONDITION 1.
NAIL PLYWOOD TO JOISTS AND TRACKS:
BORDER: 8d COMMON SPACED @ 6" OC.
EDGE: 8d COMMON SPACED @ 6" OC.
FIELD: 8d COMMON SPACED @ 12" OC.
- FASTEN SOLE PLATE THROUGH FLOOR-PLY INTO FLOOR JOISTS AND TRACKS WITH 10d GALVANIZED SPACED @ 12" OC.
- ALLOWABLE FLOOR LIVE LOAD: 40 PSF
- USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING: SUGGESTED SIZES: 1-1/4" X 8" X 16", 4" X 8" X 16", OR 8" X 8" X 16". BLOCKS ALONG JOISTS SPACED @ 8'-0" OC MAXIMUM. BLOCKS ALONG TRACK SPACED @ 4'-0" OC MAXIMUM.

4 SHED BASE DETAIL
SCALE: N.T.S.



Order # _____
Customer: _____
Site Address: _____
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____

P.O. # _____
Drawn By: PK
Date: 6/23/19
Checked By: _____
Date: _____
Scale: N.T.S.

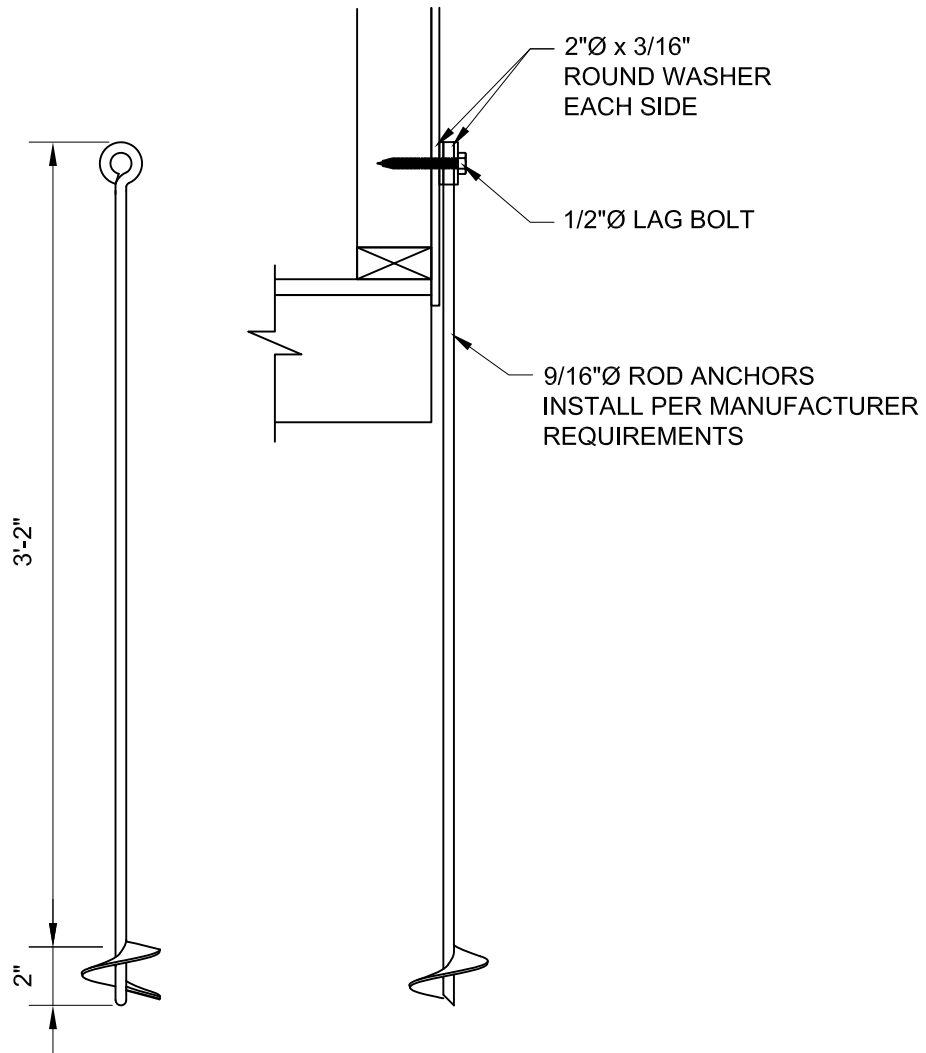
THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC & THE ENGINEER OF RECORD.

DRAWINGS BY:
TUFF SHED, INC.

IN HOUSE DRAFTING DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF
TUFF SHED INC. ASSUMES ALL RESPONSIBILITY FOR THE CONTENT OF THESE DRAWINGS AND THE CONSTRUCTION OF THE BUILDINGS SHOWN HEREIN.

TITLE
BUILDING SECTIONS
SHED BASE DETAILS
HEADER FRAMING DETAILS
NOTES - 2015 IBC & IRC-110C

DRAWING NO.
GR-01
REV. LEVEL 01
SHEET 1
PAGE 1 OF 1



AUGER ANCHOR DETAIL

Scale: NTS



TUFF SHED
Storage Buildings & Garages

Title: AUGER ANCHOR DETAIL
2018/2021 IBC&IRC
115 MPH EXP C

Drawn By: SJ
Date Drawn: 6/23/22
Checked By:
Date Revised:



07/30/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|---|---|
| <p>PROJECT/SITE OWNER: Cobalt Partners PROJECT ADDRESS: 711 Grace St.</p> | <p>PROJECT SUMMARY: Illuminated sign attached to canopy, illuminated letterset acrylic and aluminum sign</p> |
|---|---|

I have reviewed the proposed new signs for compliance with the Village's ordinances and have determined the following for consideration.

1. There is no issue with the canopy mounted sign.
2. The Board should reference any prior agreements for any specific stipulations.
3. The board always considers the aesthetics of the signs.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**

FACE-LIT LETTERS

1 - FACE-LIT LETTERS

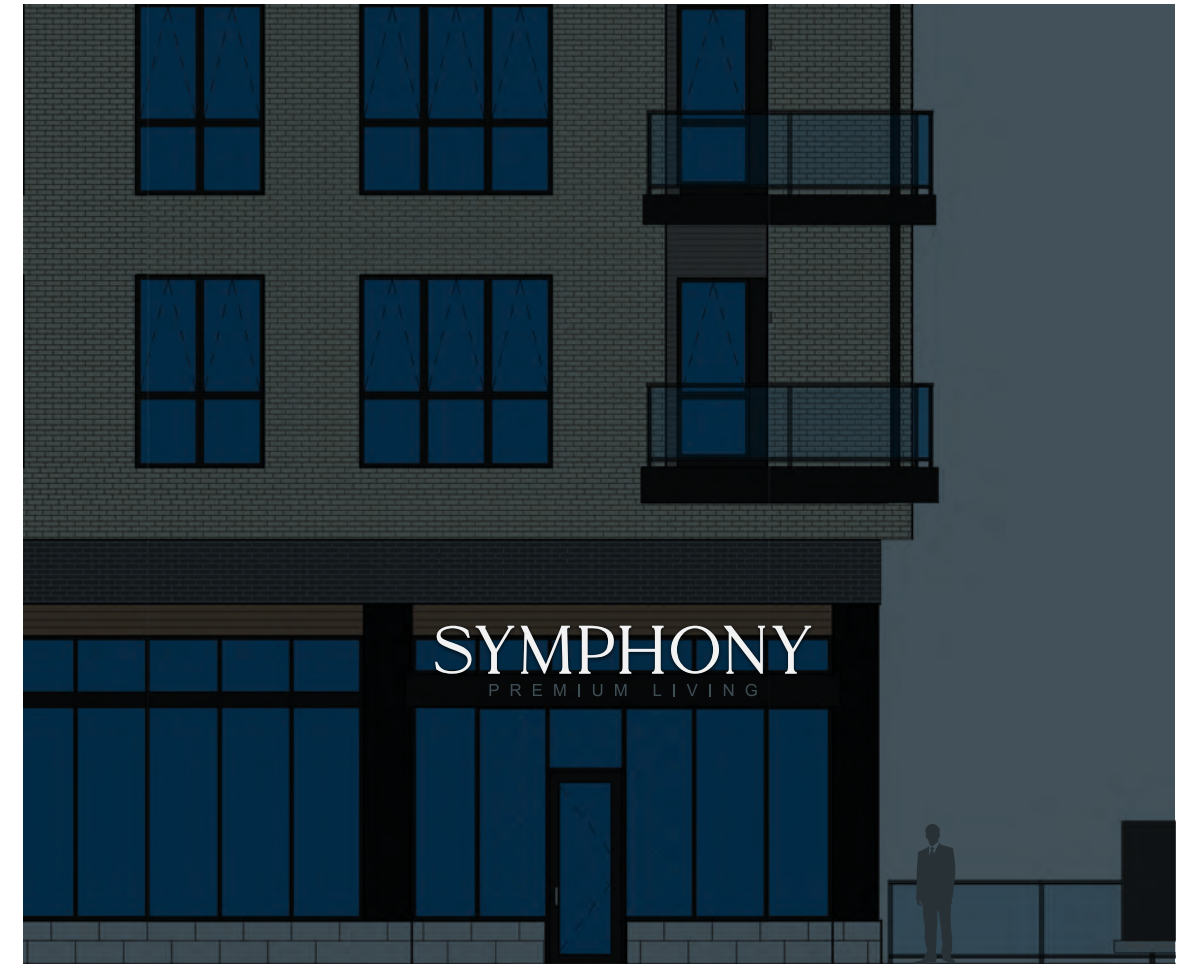
Illumination: Internal White LEDs
Faces: 3/16" 7328 White Acrylic - □
Returns: 3" Deep .063 Coil Welded to Finished 1/8" Aluminum Backs Painted Black, Satin Finish - ■
Trimcap: 1" Black Jewelite - ■
Installation: Mount to Top of Canopy

2 - FCO LETTERS

Material: 1/4" Aluminum
Color: Paint White, Satin Finish - □
Installation: Stud Mount Flush



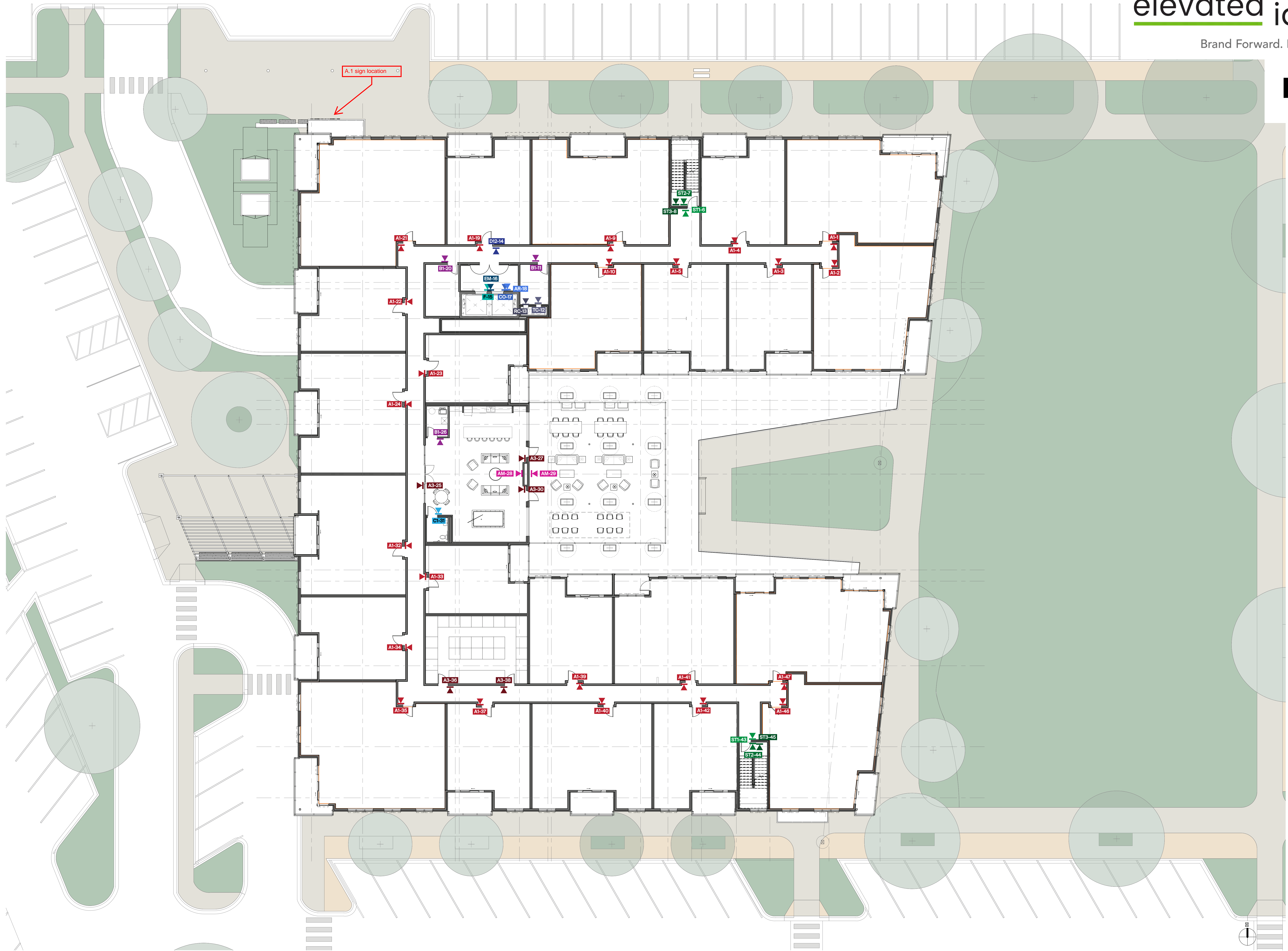
1 Proposed North Elevation - Day View
 SCALE: 1/8"=1'



2 Proposed North Elevation - Night View
 SCALE: 1/8"=1'



3 Sign Detail
 SCALE: 1/2"=1'



OUTLINE OF SIGNAGE MASTER PLAN

Revised to reflect all changes recommended by Village Board on January 18, 2024.

Date: 1.24.24

- A. **Regulated** - No sign shall be erected, posted, painted, or maintained upon any real estate or personal property within PUDD 1 unless it complies with the provisions of this Signage Master Plan. Additionally, all signs shall require recommendation of the Village Architectural Review Committee and a written permit issued by the Village Manager. Any regulation or requirement not addressed by this Signage Master Plan shall be subject to the requirements of Sec. 116 of the Village of Bayside Municipal Code.
- B. **Definition of a sign** – per Sec. 116-6(a)(1) of Village of Bayside Municipal Code
- C. **Other Definitions**
 - a. **Façade Frontage** – the building façade which a tenant has frontage facing a street or sidewalk
- D. **Building Signage Permitted in PUDD 1**
 - a. **MULTIFAMILY BUILDING SIGNAGE:** Each multifamily building to be allowed:
 - For all permitted signage for multifamily buildings, see Figure 1.1 below.
 - b. **INDIVIDUAL TENANT BUILDING COMMERCIAL SIGNAGE:** Each individual tenant commercial building is limited to:
 - For all permitted signage for individual tenant buildings, see Figure 1.1 below.
 - If a building houses more than one retailer / company, see the regulations for Multi-tenant Buildings below.
 - All commercial signage to be submitted as a signage package and will be reviewed by Village prior to approvals per the standards of this Signage Master Plan and the Village of Bayside Sign Code (Chapter 116).
 - c. **MULTI-TENANT BUILDING (MULTIFAMILY & COMMERCIAL) SIGNAGE:** Each Multi-tenant building is limited to:
 - For all permitted signage for multi-tenant buildings, see Figure 1.1 below.
 - All commercial signage to be submitted as a signage package and will be reviewed by Village prior to approvals per the standards of this Signage Master Plan and the Village of Bayside Sign Code (Chapter 116).

Building Signage

- **Building Primary Signs – On-Building**
 - o Sign Types
 - **Architectural Feature Signage** – a **building mounted sign** that is directly affixed to a rigid permanent canopy which is mounted to, or adjacent to, the façade of a building.
 - o Sign copy may be located on the canopy face or project above it but shall not project below the canopy face.

- Extruded signage – a building mounted sign composed of three-dimensional letters that may include a light source
 - Cut-out signage – a building mounted sign composed of flat cutout one-dimensional letters cut from a sheet
 - For the number of signs permitted, signage height, width, and area regulations, see Figure 1.1 below.
 - Permitted Materials:
 - Translucent durable plastic
 - Stainless steel
 - Steel channel
 - Aluminum
 - Wood
 - Durable, high-quality composite materials that simulate any of the above
 - Sign Location Requirements:
 - Cannot project over or impede visibility of any roadway or vehicular traffic condition
 - All projections must be located 8’ above adjacent sidewalks
 - No sign shall project above the building parapet or eaves.
- **Building Secondary Signs – On-Building**
 - Sign Types
 - Blade signage - A building mounted sign that projects perpendicular to the building. Wall mounted or suspended.
 - Awning signage – A signage graphic affixed to a nonrigid removable awning which is mounted to the façade of a building.
 - Sign copy shall not project above, below, or beyond the awning surface.
 - Applied Vinyl Graphic Signage - Located on glazing, maximum 10% glazing coverage area
 - For the number of signs permitted, signage height, width, and area regulations, see Figure 1.1 below.
 - Permitted Materials:
 - Translucent durable plastic
 - Stainless steel
 - Steel channel
 - Aluminum
 - Wood
 - High quality Fabric (Awning signage only)
 - Durable, high-quality composite materials that simulate any of the above
 - Vinyl Lettering/Graphics on glazing
 - Sign Location Requirements:
 - Cannot project over or impede visibility of any roadway or vehicular traffic condition
 - All projections must be located 8’ above adjacent sidewalks
 - No sign shall project above the building parapet or eaves.

- **Building Ground Monument Signs – Freestanding**
 - o Sign Type:
 - Ground Monument Sign - a type of freestanding sign in which the bottom edge of the sign face is located on a ground-mounted pedestal.
 - o For the number of signs permitted, signage height, width, and area regulations, see Figure 1.1 below.
 - o Permitted Materials:
 - Translucent durable plastic
 - Stainless steel
 - Steel channel
 - Aluminum
 - Wood
 - Durable, high-quality composite materials that simulate any of the above

- **Building Pedestrian Wayfinding Signs – Freestanding**
 - o Sign Types
 - Ground Wayfinding Sign:
 - o A small freestanding sign in which the bottom edge of the sign face is located on a ground-mounted pedestal or two posts.
 - o Freestanding signs located for pedestrians to assist in wayfinding through the site. Located at key gathering nodes, trail systems, and entries.
 - o For the number of signs permitted, signage height, width, and area regulations, see Figure 1.1 below.
 - o Permitted Materials:
 - Durable plastic
 - Stainless steel
 - Steel channel
 - Aluminum
 - Wood
 - Durable, high-quality composite materials that simulate any of the above

E. Development Gateway Signage Permitted in PUDD 1

- **Development Gateway Signage**
 - o Sign Type:
 - Ground Monument Sign - a type of freestanding sign in which the bottom edge of the sign face is located on a ground-mounted pedestal, oriented to the site as a whole. Located along main entry points to the development.
 - o For the number of signs permitted, signage height, width, and area regulations, see Figure 1.1 below.
 - o Ground monument signs may include permanent display of development brand or its tenants and/or a combination thereof.

- Development monument signs should be a solid, regular shape (i.e., rectangular with solid base). Solid base must be a minimum of 36 inches tall. Signs should have two main sides, each facing the main direction of travel.
- A digital/electronic sign shall be allowed only for the Development Gateway Sign located on Brown Deer Road.
 - Said digital/electronic sign may change a message or display by an electronic process as frequently as desired, so long as it does not interfere with, confuse, or present as a distraction to traffic. Messaging must be changed at least once every two weeks. Signage must have dimming capabilities. Signage to be high quality, full color and integrate cohesively with monument sign.
 - Said digital/electronic sign shall be placed in such a manner so as to not interfere with, confuse or present any hazard to traffic.

F. Illuminated Signs – Illuminating signs or signs containing illuminating material shall be subject to the following:

- Internal illumination for signs must be nonintermittent.
- A single-sided sign with internal illumination must have an opaque backing or be mounted on a wall. A two-sided sign with internal illumination does not require the opaque backing.
- The light source for signs with external sources of illumination shall be focused and shielded to illuminate the sign only, avoid light spill, and conceal the light source from view.
- No illuminated sign may create glare, light spill, or reflection onto adjacent property or on to a street or alley such as to create a traffic hazard or to exceed 0 footcandles at the property line of a residential property. No unshielded light, string of lights, or flashing light shall be permitted.
- An internally illuminated sign shall light only lettering and images. The background portion of the sign shall be opaque and not illuminated. There shall be an exception for portions of signs depicting changeable information. Such signs may incorporate a lighted background around the changeable portion only.

G. Sign Prohibitions and Limitations

- Electronic Message Signs / Screens – prohibited except for Development Gateway Monument Sign described above
- Pennants, banners, balloons, etc. – prohibited per Section 116-6(c)
- Box Signs – signs that are self-enclosed in a typically square or rectangular structure with or without internal lighting are prohibited.

H. Permitted Sign Locations within PUDD1 – No sign shall be located off-premises, within the right-of-way, within sidewalks or pedestrian ways, or inside of the established vision triangle. All ground-mounted signs including monument signs must be set back a minimum of 3 feet from the curb of a private street and/or the public right-of-way.

I. Sign Measurement – per Section 116-6(a)(10)

J. Sign Permits – per Sec. 116-2

K. Maintenance – per Sec. 116-3

L. Removal of Sign and Sign Structures where Business is no Longer in Operation —When a business or entity operating out of a tenant space ceases operation or moves out of the tenant space, the Village shall be notified in writing and all signage associated with the entity shall be removed within 45 days.

M. Temporary Signs – per Sec. 116-8

Figure 1.1: One North Signage Master Plan Permitted Signage Chart

| | | | Multi-Tenant Buildings (Multifamily & Commercial) | Individual Tenant Commercial Buildings | Multi-Family Buildings | | | | | |
|-------------------------|--|--|--|--|------------------------|---|--|--|--|--|
| | | Sign Types/ Configuration | Number and Type of Signs Allowed | | | Entire Site | Max Area | Maximum height | Maximum width | Sign Lighting allowed |
| Building Signage | Building Primary Signs (mounted on-building) | Architectural features sign, extruded signage, cut-out signage, wall signage | 1 per tenant. 2 per corner tenant | 1 per tenant | 1 per tenant entrance | n/a | 30 square feet per sign | 3 feet | 20 feet | Yes |
| | Building Ground Monument Sign (freestanding) | Ground monument sign | 1 per building (shared among tenants) & 1 per large tenant with 15,000 square feet floor area or more | 1 per building | 1 per building | n/a | Multi-family: 48 square feet per side Commercial/Mixed: 50 square feet per side | Multi-family: 6 feet from grade Commercial/Mixed: 8 feet from grade | Multi-family: 8 feet including base Commercial/Mixed: 8 feet including base | Yes |
| | Building Secondary Signs (mounted on-building) | Blade signage, awning signage, applied vinyl graphic signage | 1 per façade frontage per tenant | 1 per façade frontage per tenant | 1 per tenant entrance | n/a | 6.25 square feet (6.25 square feet per side for blade sides) | 2 feet, 6 inches | 2 feet, 6 inches | Yes |
| | Building Pedestrian Wayfinding Sign (freestanding) | Ground wayfinding sign | n/a | n/a | n/a | As needed to provide adequate wayfinding. Limit 4 per road intersection | 10 square feet signable area | 4 feet including base | 3 feet including base | Yes |
| | Development Gateway Signage (freestanding) | Ground monument sign | n/a | n/a | n/a | 2 for the entire development | 180 square feet on Port Washington Road 200 square feet on Brown Deer Road | 18 feet on Port Washington Road 22 feet on Brown Deer Road | 10 feet | Yes + 1 digital/electronic sign on Brown Deer Road |

All signs shall require recommendation of the Village Architectural Review Committee and a written permit issued by the Village Manager.

08/07/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|---|--|
| PROJECT/SITE OWNER: White Oaks / Katz Properties PROJECT ADDRESS: 9001 N Port Washington | PROJECT SUMMARY: Monument sign 14 ½' wide X 10' high |
|---|--|

I have reviewed the proposed new signs for compliance with the Village's ordinances and have determined the following for consideration.

1. **The monument sign does not comply with sign ordinance Chapter 116 Signs.**
2. **The proposed sign is ten feet high and fourteen and a half feet wide**
3. **On their application they state that the sign is four feet by eight feet. There is a discrepancy from the application and drawing submitted.**
4. Per 116-6 (7) signs in business districts
"Freestanding signs shall not exceed eight feet in height above normal grade and eight feet in maximum width."
5. The board always considers the aesthetics of the signs.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager



KATZ MONUMENT SIGN RESUBMITTAL

8.5.24

Font of White Oaks to
change - logo to be
incorporated.



White Oaks Fabrication / Install

Miscellaneous (V) - Large Sign Panel

Text:

DS Synthetic Stucco Panel 6ft x 12ft x 6"
Per Your Drawing. Includes a Two color Stucco spray finish.
Includes Recessed / Painted Stucco text (SW/BM colors)
With Wood Substrate per Your Specifications
Horizontal thru holes (2) to accommodate customers 2"x2"

Miscellaneous (V) - Pillars - Fabrication & Install

Text:

Veneer Brick Pillars
Pillar 120"H x 16"W x 16"D
Veneer stone TBD

EXCAVATE FOR CONCRETE FOOTING
FOR SIGN BASE
(2) Sign Pillars

Site Survey
Scope of job
Truck accessibility

Install (2) pillars 10'H
Install (2) custom HDU panel
Hardware
(3) techs (2) trucks (1) trailer
Not responsible for damage to grass or landscaping

CONCRETE FOR FOOTING
Sign Pole 4" x 4" x 10'

STEEL POLE FOR MONUMENT SIGN 4" x 4"
(2) 14' poles

Miscellaneous (V) - Changeable Panel

Text:

Changeable panel
ACM panel with digital vinyl
Hardware for handing to larger sign
8ft Wide by 12" H ; Double Sided



Lower Ryder to be interchangeable. In addition to "Now Leasing" may say things like:

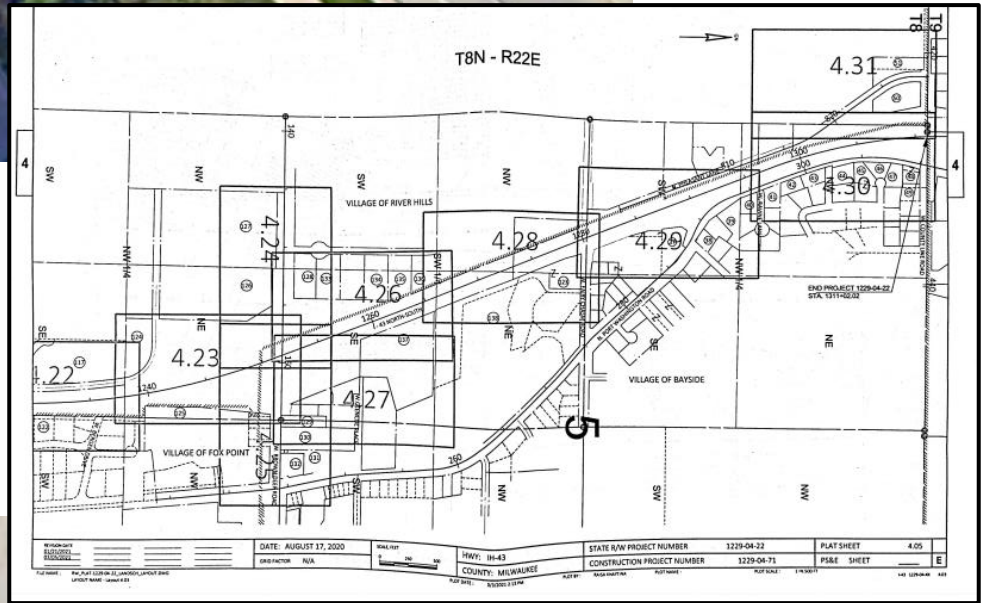
"1-3 Bedroom Apartments For Rent"

"Tour Your New Home Today"

"Call for Specials: 414.352.9262"

Bayside Woods

49 feet from edge of stone post to centerline of road



White Oaks

49 feet from edge of stone post to centerline of road-proposed location in blue



Previous submittal:

Project Proposal

Date 12/6/23
Property Address 9001 N. WHITE OAK LANE
Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

wood acrylic sign (14' x 8' feet)

| | |
|--|--|
| <ul style="list-style-type: none"><input type="checkbox"/> ARC Agenda Date:<input type="checkbox"/> Parcel Number:<input type="checkbox"/> Color photographs showing project location, elevations, and surround views.<input type="checkbox"/> Complete digital set of building plans (including elevations and grading).<input type="checkbox"/> Samples or brochures showing materials, colors, and designs.<input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial | <ul style="list-style-type: none"><input type="checkbox"/> Accessory Structures/Generators<input type="checkbox"/> Additions/Remodel<input type="checkbox"/> Commercial Signage<input type="checkbox"/> Decks/Patios<input type="checkbox"/> Fence<input type="checkbox"/> Fire Pits<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit<input type="checkbox"/> New Construction<input type="checkbox"/> Play Structures<input type="checkbox"/> Recreational Facilities/Courts<input type="checkbox"/> Roofs<input type="checkbox"/> Solar Panels/Skylights<input type="checkbox"/> Swimming Pools<input type="checkbox"/> Windows/Doors – change exceeds 25% of opening<input type="checkbox"/> Other |
|--|--|

| | | | |
|--------------------------|--------------------------|--------------------------|----------------------------|
| PERMITS: | | | |
| Y | N | Payment | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Electrical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | HVAC |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Fill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dumpster |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | ROW/Excavation |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Conditional Use |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Occupancy |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Special Exception/Variance |
| | | <input type="checkbox"/> | ARC |



Large Directional Sign (96" W x 72" H)

Aluminum .080 - Large Directional Sign (72" W x 96" H)

Text:

*This order dropped-off at Site

Location

*Customer will be installing all signs

Oracle 3651 - Vinyl Graphics

Briteline Shield - 3 mil UV Matte - Overlamine

Miscellaneous (V) - 6x6 Posts (2)

Text:

8 Foot Long - Green Treated

Miscellaneous (V) - Toppers (2)

Miscellaneous (V) - Brackets - 24" (4)

Miscellaneous (V) - Paint Posts White



Large Directional Sign (96" W x 72" H)

Aluminum .080 - Large Directional Sign (72" W x 96" H)

Text:

*This order dropped-off at Site

Location

*Customer will be installing all signs

Oracle 3651 - Vinyl Graphics

Briteline Shield - 3 mil UV Matte - Overlamine

Miscellaneous (V) - 6x6 Posts (2)

Text:

8 Foot Long - Green Treated

Miscellaneous (V) - Toppers (2)

Miscellaneous (V) - Brackets - 24" (4)

Miscellaneous (V) - Paint Posts White

BAYSIDE WOODS CONDOMINIUM 1

WHITE OAK LANE

PRIVATE ROAD

White Oaks Apts LLC



565.06'

AREA
0.3852 Acres

35' OF HIGHWAY EGRESS ENCROACHMENT
SEE 0001-380 5/13/2011

250.85'

70.03'

25.48'

16.91'

15.91'

27.0'

LOT 2
C.S.M. NO. 3917

N. PORT WASHINGTON RD.
27' DEDICATED FOR PUBLIC STREET
PURPOSES PER CSM NO. 3917

Mark 9999 Building

PARCEL 1