



Village of Bayside  
9075 N Regent Road  
Architectural Review Committee Meeting  
December 16, 2024  
Village Board Room 5:00pm

## ARCHITECTURAL REVIEW COMMITTEE AGENDA

**PLEASE TAKE NOTICE** that a meeting of the Bayside Architectural Review Committee will be held at the Village Hall of the Village of Bayside, 9075 N. Regent Road, Bayside, Wisconsin in addition to virtually. Public can access this meeting of the Architectural Review Committee by phone or by computer. The phone number is: **+309 205 3325**. The Zoom Meeting code is **859 5540 5294** and the Passcode is: **596733**. <https://tinyurl.com/36tpzmzv> Persons desiring to speak in the remote format on a specific agenda item should register twenty-four hours in advance by calling (414) 206-3915. The following items of business will be discussed and possibly acted upon:

I. **CALL TO ORDER AND ROLL CALL**

II. **APPROVAL OF MINUTES**

- A. Approval of November 18, 2024, meeting minutes.

III. **BUSINESS**

- A. **9140 North Meadowlark Lane – Renee Gilow** The proposed project is the removal of 2 existing windows and the addition of 3 new windows.
- B. **9141 North Rexleigh Drive – Margaret Combe** The proposed project is the construction of 149 lineal feet of four-foot-high cedar dog ear picket fence with pyramid posts.
- C. **333 West Brown Deer Road – Andy Kolowith/Bayside Garden Center Floral & Gifts** The proposed project is the face change for building cabinet signs.
- D. **1500 East Fairy Chasm Road – Bob & Brenda Biallas** The proposed project is the construction of a single story 725 square foot primary suite addition and a 962 square foot three car garage.

IV. **ADJOURNMENT**

Emma Baumgartner  
Operations Coordinator

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website ([www.baysidewi.gov](http://www.baysidewi.gov)).

## Staff Report to Architectural Review Committee

Proposed Project: Window reconfiguration on the east side of the home

Applicant: Renee Gilow 9140 N Meadowlark Ln

Project Summary: Applicant would like to remove two existing windows on the east side of the home and add three new sets of windows.

### 1. Aesthetics

- a. Materials: Extruded aluminum exterior with a wood interior. Same materials as existing windows.
- b. Style: Ultimate Awning Window with a stone white finish. Photos included. Windows will match existing windows.
- c. Measurements: Measurements included on spec sheet A1, they will measure 3'1" vertically.
- d. Example Photos/Brochures: Photos included from window company. Windows will match existing windows.

### 2. Building Plans

- a. Design Layout: New windows will be on the east side of the home. Reference cut sheet A-4 and A-1.

### 3. Exterior Photos

- a. Included: Photos of the current windows and the space the new windows are proposed to be installed. Photos also show the color of pre-existing window trim that the applicant will be matching.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.

## Staff Report to Architectural Review Committee

Proposed Project: 4' high cedar dog eared fence

Applicant: Margaret Combe 9141 N Rexleigh Dr

Project Summary: The applicant proposes to remove the existing fence on the north and south sides of rear part of lot and replace with 4' high 3"x3" spaced cedar dog ear fence with pyramid posts. The north side will be a total of 85 lineal feet and the south side will be a total of 64 lineal feet.

### 1. Zoning

- a. Setbacks and location: The proposed north side fence will be on the property line and will total 85 lineal feet. The proposed south side fence will be on the property line and will total 64 lineal feet.
- b. Where the chain link fence on the north side of the lot meets existing cedar fence on the west side of the property (and where the chain link fence continues into the property of the neighbor to the west), install one galvanized terminal pole to maintain integrity/ stability of the neighbor's fence.
- c. Plat of survey and aerial survey are included.

### 2. Aesthetics

- a. Materials: Cedar wood
- b. Style: dog eared fence with pyramid posts (this will match existing fencing on property and on neighbor's property)
- c. Measurements: The proposed fences will be four feet tall with 3 inch boards and 3 inch gaps. (this will match existing fencing on property and neighbor's property)
- d. Example photos: Included is a photo from the installers brochure.

### 3. Exterior Photos

- a. Included is a photo showing the south side's existing fence to be replaced, north side's existing fence to be replaced, and the neighbor's to the west fence.

## Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.

## Staff Report to Architectural Review Committee

Proposed Project: Face Change for Building Cabinet Signs

Applicant: 333 W Brown Deer Rd Andy Kolowith/ Bayside Garden Center Floral & Gifts

### Project Summary:

#### 1. Aesthetics

- a. Materials: The provided spec sheet includes proposed sign face and graphic materials.
- b. Style: Matches with Bayside Garden Center logo and other existing business signs in Audubon Court.
- c. Measurements: The provided spec sheet includes proposed sign and graphic measurements. This includes current and proposed measurements.
- d. Example Photos: Included is a photo on the installers spec sheet.

#### 2. Building Plans

- a. Design Layout: Included is a photo of the design layout on the installers spec sheet.
- b. Location: Building is located on West Brown Deer Road, facing north. Included is an aerial image with a X marking where the business is located.

#### 3. Photos

- a. Included is a photo of the current exterior business front, standing at the edge of West Brown Deer Road.

#### 4. Signs in Business Districts (Municipal Code Section 116-6)

- a. Proposed sign complies with Code Section 116-6 in relation to size, location, and illumination standards.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.

## Staff Report to Architectural Review Committee

Proposed Project: Single story addition for primary suite and attached garage expansion

Applicant: Bob and Brenda Biallas 1500 E Fairy Chasm Rd

Project Summary: The applicant proposes to construct a 725 square foot primary suite addition on the southwest side of the home and a 962 square foot three (3) car garage addition on the south side of the home. An extension for unenclosed receptacle use, 1 dumpster and 1 port-o-potty, is also requested to accommodate the construction timeline.

### 1. Zoning

- a. Setbacks: Included on survey. Proposed additions comply with Municipal Code Section 125-89 "A" Residence District Regulations in relation to setbacks.
- b. Impervious Surface: The project complies with impervious surface requirements. The allowable total square footage of impervious surface for the property's district is 25%, and the current & proposed percent of impervious surface for the project is 9.86%.

### 2. Building Plans

- a. Design Layout: Included are cut sheets indicating where the additions are proposed and the specific details. One addition will be on the southwest side of the home, and the second addition will be on the south side of the home.
- b. Elevations/Grade: Included on spec sheet A-001.

### 3. Aesthetics

- a. Materials: Applicant plans to match the additions to existing exterior materials. See page A-201 for material specifications.
- b. Style: Applicant plans to match existing style of home.
- c. Measurements: Specific measurements included in cut sheets.
- d. Example Photos: Included are photos showing the color and design scheme.

### 4. Exterior Photos

- a. Included is a cut sheet showing existing conditions of the home with close up of the two areas getting an addition.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.



Village of Bayside  
9075 N Regent Road  
Architectural Review Committee Meeting  
November 18, 2024  
Village Board Room 5:00pm

## **ARCHITECTURAL REVIEW COMMITTEE MEETING MINUTES**

### **I. CALL TO ORDER AND ROLL CALL**

Due to the absence of Chairperson Krampf, Committee Member Zitzer was acting as Chairperson.

Chairperson Zitzer called the meeting to order at 5:00pm.

#### **ROLL CALL**

Chair:	John Krampf – excused
Members:	Dan Zitzer – acting Chair
	Marisa Roberts
	Tony Aiello – excused
	Kavin Tadamrongwanish
	Christine Duback
Trustee Liaison:	Ben Minkin
Also Present:	Village Manager Andy Pederson
	Assistant Village Manager Leah Hofer
	Village Planner Jackie Mich
	Village Attorney Chris Jaekels

### **II. APPROVAL OF MINUTES**

**A.** Approval of October 14, 2024, meeting minutes.

Motion by Committee Member Roberts, seconded by Trustee Minkin, to approve the October 24, 2024, meeting minutes. Motion carried unanimously.

### **III. BUSINESS**

#### **A. 1055 West Duchess Court – Ron Brahm**

Ron Brahm, homeowner, and Louis Wahl, neighbor at 1021 W Duchess Ct, appeared on behalf of the project. Mr. Wahl stated that he and Mr. Brahm's backyard abut each other and that they would both like to add some privacy between the two properties. The initial proposed project was the construction of 30 lineal feet of six-foot-high cedar privacy fence on the shared property line, which was not compliant with Municipal Code. However, Mr. Brahm and Mr. Wahl decided to update their proposal to be in compliance by making the fence 50% open rather than a privacy fence. The new proposed fence is 30 lineal feet of six-foot-high 50% open

horizontal cedar fence on the shared property line.

Motion by Trustee Minkin, seconded by Committee Member Tadamrongwanish, to approve the project subject to modifications and compliance with the code. Motion carried unanimously.

**B. 9220 North Sleepy Hollow Road – Brent Mackman & Cydney Katz**

Brent Mackman and Cydney Katz, homeowners, appeared on behalf of the project. Mr. Mackman described the proposed project as the construction of 229 lineal feet of four-foot-high white cedar dog ear picket fence on the northeastern side of the property. Mr. Mackman stated the cedar will weather naturally.

Motion by Committee Member Tadamrongwanish, seconded by Trustee Minkin to approve the project as described and presented in the application. Motion carried unanimously.

**C. 1144 East Brown Deer Road – Patrick Gaynor**

Patrick Gaynor, homeowner, and Jim Marriot, construction manager, appeared on behalf of the project. Mr. Gaynor described the proposed project as the demolition of the current existing home followed by the construction of a new single-family home as well as an extension for a 30-yard dumpster on the property for the duration of the project.

Chairperson Zitzer asked the applicants to describe the design choice. Mr. Marriot stated they are following a contemporary shingle design and feel.

Committee Member Tadamrongwanish asked what material the siding will be made of. Mr. Marriot stated that it will be LP siding.

Trustee Minkin asked if the new home will have the same orientation as the current home. Mr. Gaynor stated yes, the proposed home will still have the driveway and garage facing Tennyson Drive, and the front door will remain facing Brown Deer Road.

Motion by Trustee Minkin, seconded by Committee Member Tadamrongwanish, to approve the project as described and presented in the application. Motion carried unanimously.

**D. Lot 2 at OneNorth, Tax Key #022-9002-000 – Matter Development**

Aaron Matter, Matter Development Director and Founder, and Nick Galbraith, Project Architect, appeared on behalf of the project. Also in attendance were Wayne Rappold, Matter Development Partner, and Scott Yauck, Cobalt Partners President. The proposed project is the development of a 153-unit senior living community.

Village Manager Pederson stated that this was a pre-petition conference for the Matter Development team to provide early insights into the project and gather initial feedback and guidance from the Committee prior to a formal submittal.

Mr. Matter and Mr. Galbraith gave a brief overview of the development and design.

Trustee Minkin asked the applicants what type of impact there would be on the lots neighbors, specifically with the lighting. Mr. Matter stated that they will follow code regulations for lighting and that it will be similar to what The Symphony has installed.

Chairperson Zitzer asked what the setback measurement was off of Brown Deer Road. Mr. Galbraith stated it will be approximately 40 to 50 feet.

Committee Member Duback expressed concerns over the proposed wood material fading over time. Mr. Galbraith stated that the coating on the wood is designed to maintain the color and appearance with no fading over time.

Chairperson Zitzer, Committee Member Tadamrongwanish, and Trustee Minkin stated that the proposed building was thoughtfully designed and had good connections to preexisting structures in the Village.

**E. 110 West Krause Place – Mahmmod Muhamed**

Mahmmod Muhamed, homeowner, and Robert Pledl, attorney representing Mr. Muhamed, appeared on behalf of the project. Attorney Pledl described the proposed project as the construction of four accessibility ramps to the exterior of the home.

Chairperson Zitzer gave an overview of the updated written project proposal submitted by Mr. Muhamed. Chairperson Zitzer asked for clarification on the note of the metal ramps being removed from the property.

Attorney Pledl stated that they are considering, if possible, removing the two front ramps, keeping the two back ramps, and adding landscape screening.

Attorney Jaekels stated that the fire marshal has said that only one ramp is required.

Mr. Minkin asked Mr. Muhamed if he had any example photos of what the ramps would look like along with the landscaping plan. Mr. Muhamed stated that he did not acquire any photos yet.

Village Manager Pederson stated that at the last Architectural Review Committee meeting, the committee requested the applicant come back to this meeting with an updated plan.

Attorney Pledl stated that one of the issues the committee brought up was the number of ramps. Attorney Pledl stated that Mr. Muhamed has two applicants looking to move in, and both applicants would require ramps at entrances in the front and both exits in the back.

Committee Member Roberts asked why they would need two entrance and two exits.

Attorney Pledl stated that there are two separate living areas inside. Attorney Pledl stated that residents would not be able to go in one door and access the entire building. Committee



Member Roberts stated that this was not brought up at the last meeting.

Attorney Pledl stated that the next issue was the appearance of the ramps and that he and Mr. Muhamed have been discussing what the four ramps could look like. Committee Member Roberts asked why it would be four ramps. Committee Member Roberts asked for clarification on the home being subdivided internally. Attorney Pledl stated yes, it is, and that the plan would be to have four occupants on one side and four occupants on the other.

Village Manager Pederson stated that what he heard previously from the Building Inspector was that the home had shared utilities and asked if that was still correct. Attorney Pledl said yes. Village Manager Pederson asked for clarification on how they are shared with the home being divided. Attorney Pledl stated that there are two cooking areas, one on each side. Village Manager Pederson stated that the Building Inspector may need to be involved as this was not what was reported initially.

Trustee Minkin expressed that the application still felt incomplete and that he could not make a judgement based on what was submitted. Mr. Muhamed stated that at the last meeting they were discussing the ramps, not the design of the home. Committee Member Roberts stated that the layout does impact their decision as the preexisting entrances and exits have the attached ramps which are affecting the aesthetics of the property as well as one of the ramps not complying with setback requirements.

Attorney Pledl stated that they will be able to modify the one noncompliant ramp to meet the setback requirements. Committee Member Roberts asked the applicant to clarify if they are planning to keep the ramps in the back of the home even with the expressed concerns from the committee. Attorney Pledl stated yes but that the most concern was over the look and materials of the two front ramps. Committee Member Roberts stated that the concern was over both the front and back ramps appearances, especially how close the back ramps are to the neighbor.

Chairperson Zitzer asked if the applicant plans to remove the temporary ramps in the front yard. Attorney Pledl stated that the plan is to remove the existing front ramps and replace them with concrete sidewalks and place planters around them. Chairperson Zitzer stated that the Committee will need to see the proposed front plan prior to execution. Chairperson Zitzer asked the applicant to confirm the removal of the two front ramps. Attorney Pledl stated yes.

Chairperson Zitzer asked Attorney Pledl if they were to potentially remove one of the back ramps, which one they would like to eliminate. Attorney Pledl stated that one of the ramps could potentially be removed and be backfilled with a concrete ramp with a planter bed around it. Committee Member Zitzer asked Mr. Muhamed the same question. Mr. Muhamed stated that the ramp closest to Santa Monica Blvd. would not be removed but modified to comply with the setback requirements. Mr. Muhamed stated that if they had to consider removing one, they could try to come up with other ramp ideas for the other existing back ramp. Committee Member Roberts asked for clarification that they are proposing to keep both back ramps. Mr.

Muhamed stated yes, we would like to keep both ramps in the back.

Village Manager Pederson stated that the two present issues are the temporary nature of the existing ramps and the lack of plans for permanent ramps. Committee Member Tadamrongwanish agreed that he does not feel comfortable making a decision based on aesthetics due to lack of details. Attorney Pledl stated that it feels appropriate for the committee to ask the applicant to come back with a more finalized plan.

Chairperson Zitzer stated that at the last meeting, the committee agreed that they would ask the applicant to remove the existing temporary ramps if a satisfactory proposal was not submitted.

Village Manager Pederson asked if there needs to be reasonable accommodation made for current occupant at the home. Attorney Pledl stated yes, and their next submittal will contain more details on the occupants of the home and why they require the proposed number of ramps. Village Manager Pederson asked which side of the home the occupant is currently living on. Mr. Muhamed stated the current occupant is living on the east side of the home.

Attorney Pledl asked if the two east side ramps, those closest to Santa Monica Blvd, could remain in the front and back until the next meeting. Committee Member Tadamrongwanish stated that the fire marshal said that only one ramp is necessary. Attorney Pledl stated there is fire egress to consider, but also to consider an occupant wanting to go out into the backyard.

Committee Member Tadamrongwanish stated that they expect to have a submittal similar to the other applications seen at tonight's meeting, including a detailed material list and example photos of what will be the proposed ramps. Mr. Muhamed stated that he did not want to submit a bunch of photos prior to settling on one contractor. Mr. Muhamed stated that he understands their concerns and wants the front ramps to look aesthetically nice.

Committee Member Tadamrongwanish stated that the committee would be in agreeance that the two eastern ramps, front and back, could remain temporarily until the next meeting. Committee Member Tadamrongwanish asked Mr. Muhamed if he thinks the December 2, 2024, submittal deadline for the next meeting would be doable. Mr. Muhamed stated yes that he can submit photos to the committee. Trustee Minkin stated that the pictures are fine, but he also wants to see more details on the ramp placement and yard appearance. Village Manager Pederson gave an example of what a more detailed proposal could look like. Mr. Muhamed asked if he needs to complete landscape work if he is going to be changing the appearance of the ramps. Chairperson Zitzer stated that Mr. Muhamed should bring the committee his best proposal to the next meeting. Committee Member Roberts stated that if the two eastern ramps are to be kept temporarily until the next meeting, the setback issue with the back ramp should be addressed as soon as possible. Mr. Muhamed stated that he can adjust the ramps. Mr. Muhamed stated that his neighbor to the north has plenty of trees along the property line.

Committee Tadamrongwanish asked if the committee was comfortable with the applicant

bringing back a proposal with four ramps to the next meeting. Trustee Minkin stated he was still unsure why four ramps were necessary. Village Manager Pederson stated the Village needs to have a conversation with the Building Inspector as the home being subdivided brings up the conversation of the home being classified as a duplex, which would be a zoning issue. Attorney Pledl stated that they understand that they need to address the necessity of four ramps and addressing the aesthetics of permanent ramp proposals. Village Manager Pederson stated that there must also be the need for reasonable accommodation.

Motion by Chairperson Zitzer, seconded by Committee Member Roberts, to allow the two ramps closest to Santa Monica Blvd. to remain temporarily on the property until the next meeting on December 16, 2024, to modify the back ramp closest to Santa Monica Blvd. to conform with the setback requirements, to remove the other two temporary ramps by November 28, 2024, and to submit a proposal for the permanent ramps which should include renderings, material details, explanation on the need for the ramps, photos, and confirmation from the Building Inspector. Motion carried unanimously.

#### IV. **ADJOURNMENT**

Motion by Trustee Minkin, seconded by Committee Member Tadamrongwanish, to adjourn the meeting at 6:07pm. Motion carried unanimously.

Emma Baumgartner  
Operations Coordinator

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## Staff Report to Architectural Review Committee

Proposed Project: Window reconfiguration on the east side of the home

Applicant: Renee Gilow 9140 N Meadowlark Ln

Project Summary: Applicant would like to remove two existing windows on the east side of the home and add three new sets of windows.

### 1. Aesthetics

- a. Materials: Extruded aluminum exterior with a wood interior. Same materials as existing windows.
- b. Style: Ultimate Awning Window with a stone white finish. Photos included. Windows will match existing windows.
- c. Measurements: Measurements included on spec sheet A1, they will measure 3'1" vertically.
- d. Example Photos/Brochures: Photos included from window company. Windows will match existing windows.

### 2. Building Plans

- a. Design Layout: New windows will be on the east side of the home. Reference cut sheet A-4 and A-1.

### 3. Exterior Photos

- a. Included: Photos of the current windows and the space the new windows are proposed to be installed. Photos also show the color of pre-existing window trim that the applicant will be matching.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.



E-1 PROPOSED EAST ELEVATION  
A-3

Proposed appearance



E-1 PROPOSED EAST ELEVATION  
A-3

Current appearance

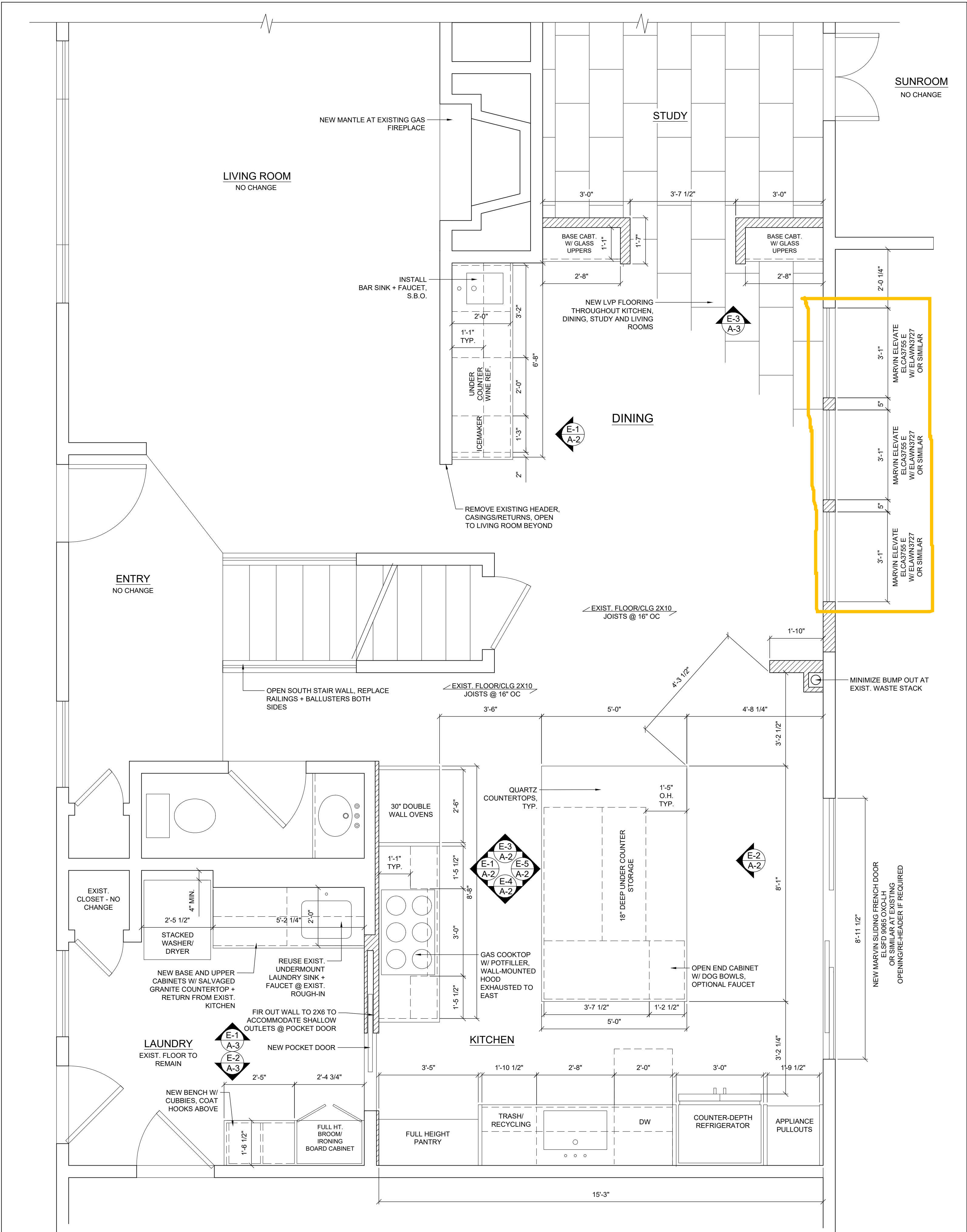
A-4

KATHRYN E. KAMM  
WI R.A.: 10153-005

CONSTRUCTION SET  
REV 10 OCT 2024

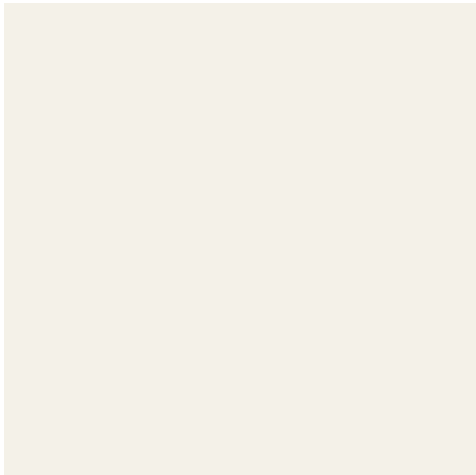
EAST EXTERIOR  
ELEVATIONS  
SCALE: 1/4" = 1'-0"

JOHNSON KITCHEN REMODEL  
9140 MEADOWLARK LANE  
BAYSIDE, WI





Window finish color:



Stone White

Product example photos from the company's brochure:



ULTIMATE AWNING

A top-hinged alternative or complement to a casement window, the Ultimate Awning window is designed for performance and quality. With industry-leading sizes, the Ultimate Awning can be used on its own as a convenient option for hard to reach areas like over a sink or counter, or as a complement to adjacent windows, allowing fresh air access.







Existing siding and windows  
to be replaced - back of home/east facing





Existing siding and windows  
to be replaced - back of home/east facing

New windows will match other existing  
windows





Existing siding and windows  
to be replaced - back of home/east facing





E Fairy Chasm Rd

E Fairy Chasm Rd

E Fairy Chasm Rd

N Meadowlark Ln

N Tennyson Dr

1207

9157

9139

N Meadowlark Ln

N Tennyson Dr

9126

9121

N Meadowlark Ln

N Tennyson Dr

1208

Google

## Staff Report to Architectural Review Committee

Proposed Project: 4' high cedar dog eared fence

Applicant: Margaret Combe 9141 N Rexleigh Dr

Project Summary: The applicant proposes to remove the existing fence on the north and south sides of rear part of lot and replace with 4' high 3"x3" spaced cedar dog ear fence with pyramid posts. The north side will be a total of 85 lineal feet and the south side will be a total of 64 lineal feet.

### 1. Zoning

- a. Setbacks and location: The proposed north side fence will be on the property line and will total 85 lineal feet. The proposed south side fence will be on the property line and will total 64 lineal feet.
- b. Where the chain link fence on the north side of the lot meets existing cedar fence on the west side of the property (and where the chain link fence continues into the property of the neighbor to the west), install one galvanized terminal pole to maintain integrity/ stability of the neighbor's fence.
- c. Plat of survey and aerial survey are included.

### 2. Aesthetics

- a. Materials: Cedar wood
- b. Style: dog eared fence with pyramid posts (this will match existing fencing on property and on neighbor's property)
- c. Measurements: The proposed fences will be four feet tall with 3 inch boards and 3 inch gaps. (this will match existing fencing on property and neighbor's property)
- d. Example photos: Included is a photo from the installers brochure.

### 3. Exterior Photos

- a. Included is a photo showing the south side's existing fence to be replaced, north side's existing fence to be replaced, and the neighbor's to the west fence.

## Recommendation:

- The plan submittal application is compliant with local codes and regulations.
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## SPACED DOG EAR DESIGN

Example of proposed fence:



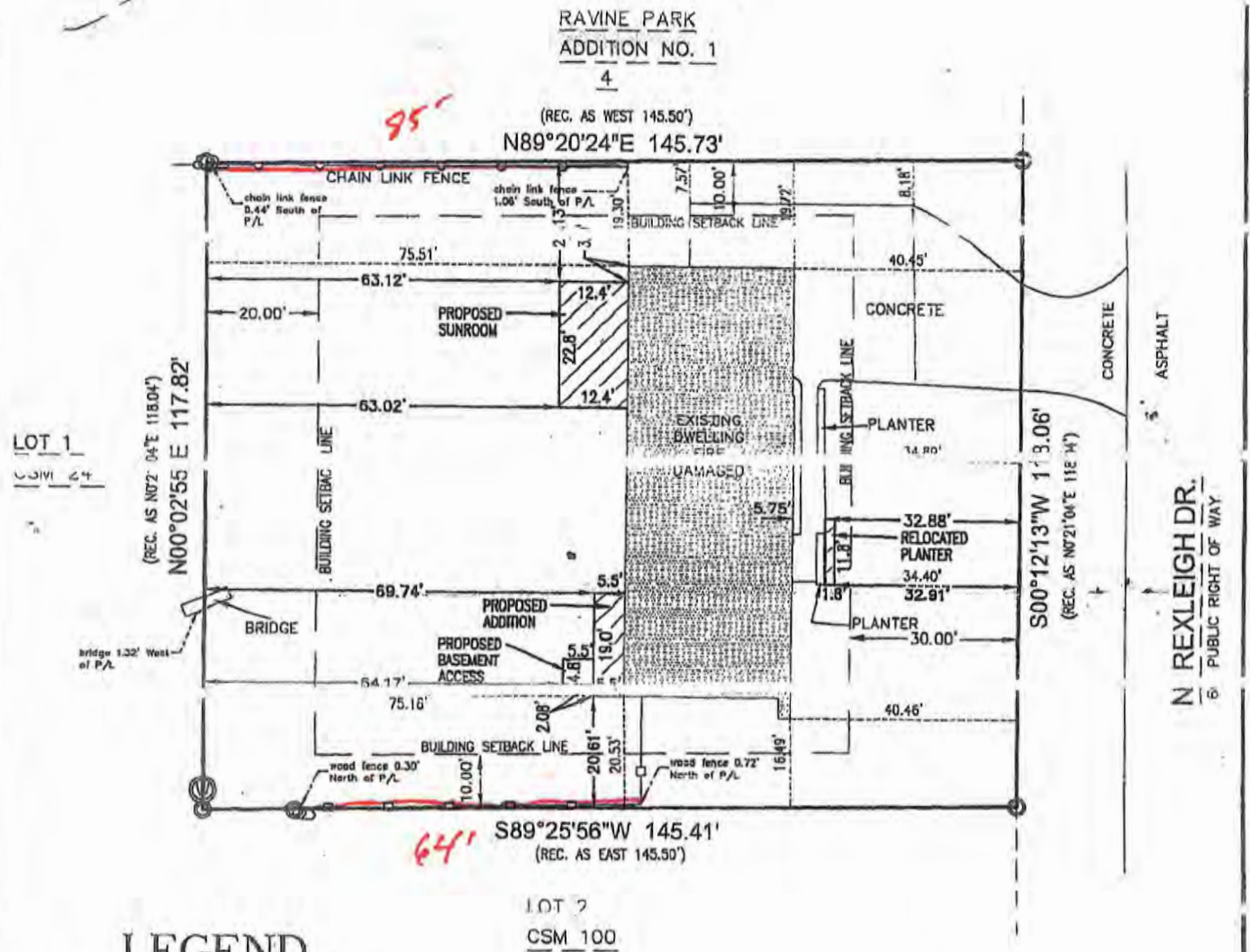
## SPACED CONCAVE DESIGN





**LOT 2, CERTIFIED SURVEY MAP NO. 24**, of a part of the Southwest ¼ of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

**Address:** 9141 N. Rexleigh Drive



## LEGEND

- - DENOTES FOUND IRON PIPE
- - DENOTES SET IRON STAKE
- ⊙ - DENOTES UTILITY POLE
- ⊙ - DENOTES WELL



**SCALE : 1" = 30'**

Area of Property = 17,168 Sq. Ft.

Surveyed for: **B&E GENERAL CONTRACTORS, INC.**

"I have surveyed the above described property from the legal description furnished by the client named on this survey."

"This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof."

NOTE, THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.

6/28/2012 ADDITION

85'

9141

64'



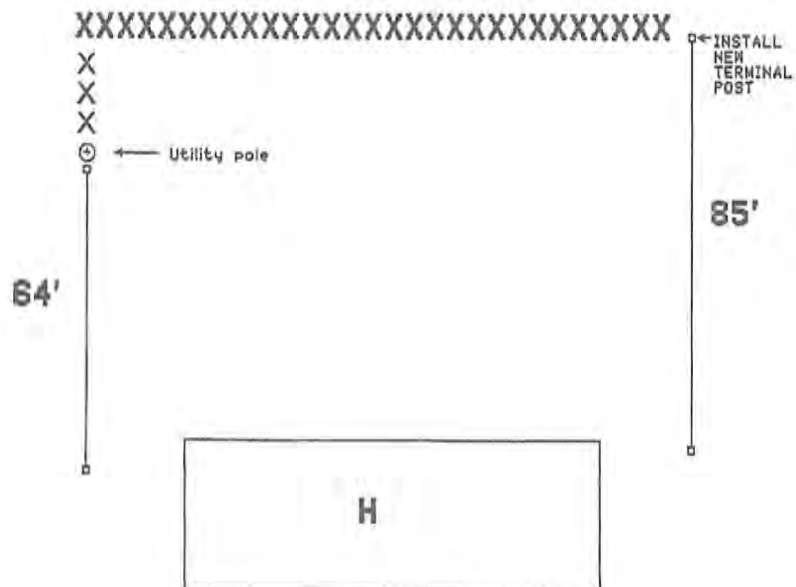
# Badger Fence

# Work Order

INSTALLED AT: MARGE COMBE  
9141 NORTH REXLEIGH DR.  
BAYSIDE, WI 53217  
414-351-3885  
margecombe1@gmail.com

Salesmen DM Date 11/11/2024  
Proposal #

SET DATE: _____ CREW: _____				COMPLETION DATE: _____ CREW: _____				
Description	Lineal	HT	Style	Line	Term	Gates	Gate Post	Rails
CEDAR SPACED DOG EAR 3" BOARDS & 3" SPACING  TEAR OUT AND HAUL WOOD AND CHAIN LINK  INSTALL 1 2 1/2' TERM POST  SPRING '25 INSTALL	144'	4'	Pyramid	4X4	4X4	N/A	N/A	TOP & BOTTOM
All Posts in Concrete	YES		HOTLINE					





South side of lot, showing  
applicant's current fence that will be replaced



Northside of lot, showing  
applicant's current fence that will be replaced







## Staff Report to Architectural Review Committee

Proposed Project: Face Change for Building Cabinet Signs

Applicant: 333 W Brown Deer Rd Andy Kolowith/ Bayside Garden Center Floral & Gifts

### Project Summary:

#### 1. Aesthetics

- a. Materials: The provided spec sheet includes proposed sign face and graphic materials.
- b. Style: Matches with Bayside Garden Center logo and other existing business signs in Audubon Court.
- c. Measurements: The provided spec sheet includes proposed sign and graphic measurements. This includes current and proposed measurements.
- d. Example Photos: Included is a photo on the installers spec sheet.

#### 2. Building Plans

- a. Design Layout: Included is a photo of the design layout on the installers spec sheet.
- b. Location: Building is located on West Brown Deer Road, facing north. Included is an aerial image with a X marking where the business is located.

#### 3. Photos

- a. Included is a photo of the current exterior business front, standing at the edge of West Brown Deer Road.

#### 4. Signs in Business Districts (Municipal Code Section 116-6)

- a. Proposed sign complies with Code Section 116-6 in relation to size, location, and illumination standards.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.



# Proposed new signage with material specs



2500 South 170th  
New Berlin, Wisconsin  
**Proudly Made in the USA!**

Web: [www.bauersignusa.com](http://www.bauersignusa.com)  
Phone: 262-784-0500  
Fax: 262-784-6675

File	Bayside Garden Center
Location	333 W Browndeer rd, Bayside
Client	Andy
Sales rep	Paul Butler
Date	cb 08/01/24
Revision	cb 08/26/24



PROPOSED - NIGHT



PER 2021 D.S. MEASUREMENTS:  
VO LEFT: 21.25" x 190.5"  
VO RIGHT: 21.25" x 189.25"  
1 5/8" RETAINERS

## SPECIFICATIONS

FABRICATE AND INSTALL TWO NEW ROUTED FACES FOR EXISTING S/F WALL CABINETS.

- **FACES** TO BE ROUTED ALUMINUM PAINTED SW 6098 PACER WHITE TO MATCH EXISTING
- **GRAPHICS** TO BE WHITE PUSH THRU ACRYLIC WITH VINYL OVERLAYS - TENTATIVE 3M BLACK, DARK BROWN 3630-59, INTENSE MAGENTA 3630-118 AND BRILLIANT GREEN 3630-106 (CB) OR CLIENT CHOICE
- **INSTALLED** REPLACING EXISTING FACES



PROPOSED

Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

These drawings are the exclusive property of Bauer Sign Company. Not to be duplicated in any way without expressed written permission!

FINAL ELECTRICAL  
CONNECTION IS CLIENT'S  
RESPONSIBILITY

our products are certified by:  
Underwriters Laboratories, Inc.

This sign shall be manufactured in accordance with the American National Standard for Signs and Graphics under the applicable local codes. This includes proper grounding and bonding of the sign. Sign A-122-2007, 1st Edition.

Scale: 3/8" - 1'

Current signage and the view from West Brown Deer Road







Map Title

X- Space



## Legend

Parcels

Tax Parcels

Administrative

Municipal Boundaries



## Notes

0 100 200  
ft

This map is a user generated static output from an Internet mapping site and is for reference only.  
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

MILWAUKEE COUNTY GIS AND LAND INFORMATION

## Staff Report to Architectural Review Committee

Proposed Project: Single story addition for primary suite and attached garage expansion

Applicant: Bob and Brenda Biallas 1500 E Fairy Chasm Rd

Project Summary: The applicant proposes to construct a 725 square foot primary suite addition on the southwest side of the home and a 962 square foot three (3) car garage addition on the south side of the home. An extension for unenclosed receptacle use, 1 dumpster and 1 port-o-potty, is also requested to accommodate the construction timeline.

### 1. Zoning

- a. Setbacks: Included on survey. Proposed additions comply with Municipal Code Section 125-89 "A" Residence District Regulations in relation to setbacks.
- b. Impervious Surface: The project complies with impervious surface requirements. The allowable total square footage of impervious surface for the property's district is 25%, and the current & proposed percent of impervious surface for the project is 9.86%.

### 2. Building Plans

- a. Design Layout: Included are cut sheets indicating where the additions are proposed and the specific details. One addition will be on the southwest side of the home, and the second addition will be on the south side of the home.
- b. Elevations/Grade: Included on spec sheet A-001.

### 3. Aesthetics

- a. Materials: Applicant plans to match the additions to existing exterior materials. See page A-201 for material specifications.
- b. Style: Applicant plans to match existing style of home.
- c. Measurements: Specific measurements included in cut sheets.
- d. Example Photos: Included are photos showing the color and design scheme.

### 4. Exterior Photos

- a. Included is a cut sheet showing existing conditions of the home with close up of the two areas getting an addition.

### Recommendation:

- The plan submittal application is compliant with local codes and regulations.
- The purpose of the Architectural Review Committee is to ensure that all construction and structures within the Village comply with the Code, and to ensure that all structures within the Village meeting minimum standards of architectural quality, consistency, aesthetic design, and finish, as outlined in municipal code.



# **BIALLAS RESIDENCE**

## **1500 FAIRY CHASM RD**

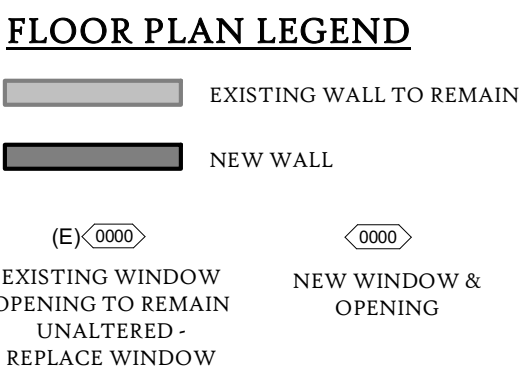
### **EXISTING CONDITION PHOTOGRAPHS**











400 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com



LABONTE CONSTRUCTION

## Garage Expansion & Primary Suite Addition

### Bob and Brenda Biallas Residence

1500 E Fairy Chasm Rd  
Bayside, WI 53217

[illegible]

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

All work shall be done in compliance with local codes, ordinances, rules and regulations.

No work shall be started until plans have been approved by the building inspector and all other agencies having jurisdiction.

## Overall First Floor Plan - Existing & Proposed

Scale	As indicated
-------	--------------

Date 12/2/2024

Sheet No.

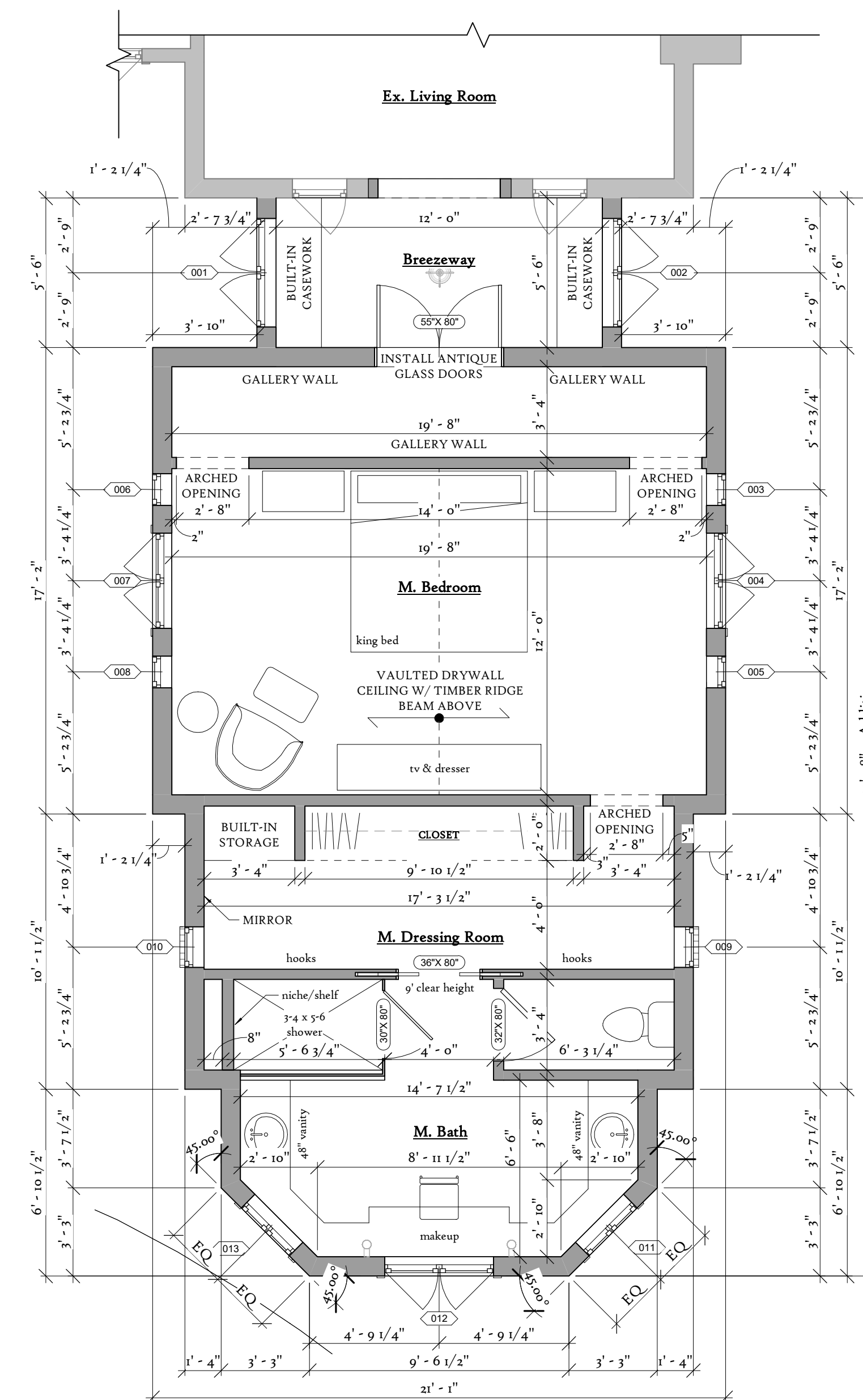
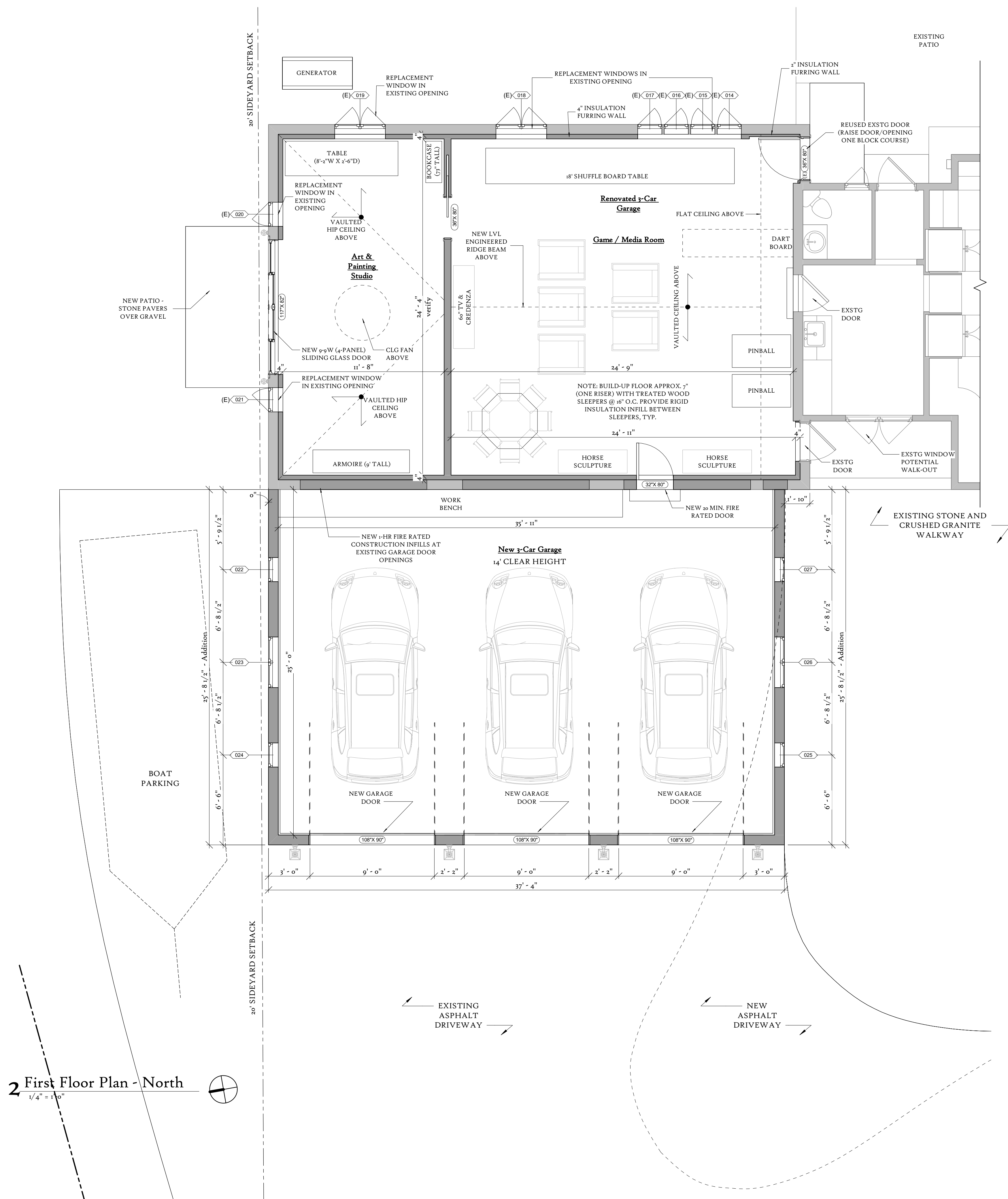
A-101

12/2/2024 9:23:08 AM







12/2/2024 9:23:10 AM





### FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL
	
EXISTING WINDOW OPENING TO REMAIN UNALTERED - REPLACE WINDOW	NEW WINDOW & OPENING

ARCHITECT:



400 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com

CONTRACTOR:



LABONTE CONSTRUCTION

PROJECT:

Garage Expansion &  
Primary Suite Addition

OWNER:

### Bob and Brenda Biallas Residence

PROJECT ADDRESS:

1500 E Fairy Chasm Rd  
Bayside, WI 53217

Drawing Issuance Schedule:

[illegible]

General Notes:

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

All work shall be done in compliance with local codes, ordinances, rules and regulations.

No work shall be started until plans have been approved by the building inspector and all other agencies having jurisdiction.

Stamp:



Sheet Title:

## Enlarged Partial Plans

---

Scale  $1/4" = 1'-0"$

Date 12/2/2024

Sheet No.

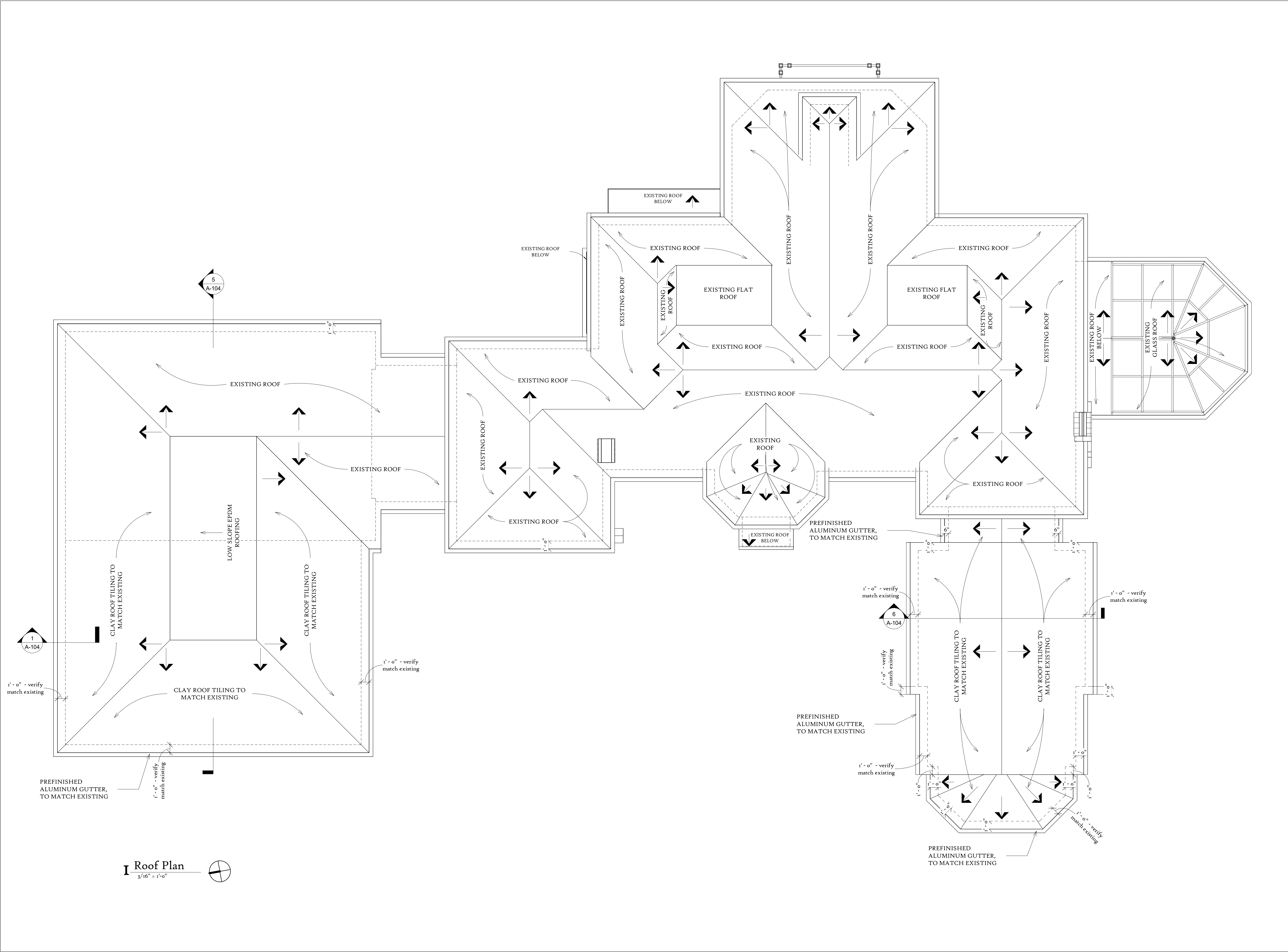
A-103

2/2/2024 9:23:11 AM



12/2/2024 9:23:13 AM





ARCHITECT:



**KCB**  
ARCHITECTURE  
& DESIGN

400 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com

CONTRACTOR:



**LaBonte**  
CONSTRUCTION

LABONTE CONSTRUCTION

PROJECT:

**Garage Expansion &  
Primary Suite Addition**

OWNER:  
Bob and Brenda Biallas Residence

PROJECT ADDRESS:  
1500 E Fairy Chasm Rd  
Bayside, WI 53217

Drawing Issuance Schedule:

No.	Description	Date
1	ARC Submittal	12/02/2024

NOT FOR CONSTRUCTION

General Notes:

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

All work shall be done in compliance with local codes, ordinances, rules and regulations.

No work shall be started until plans have been approved by the building inspector and all other agencies having jurisdiction.

Stamp:



Sheet Title:

**Roof Plan**

Scale: 3/16" = 1'-0"

Date: 12/2/2024

Sheet No.

**A-105**





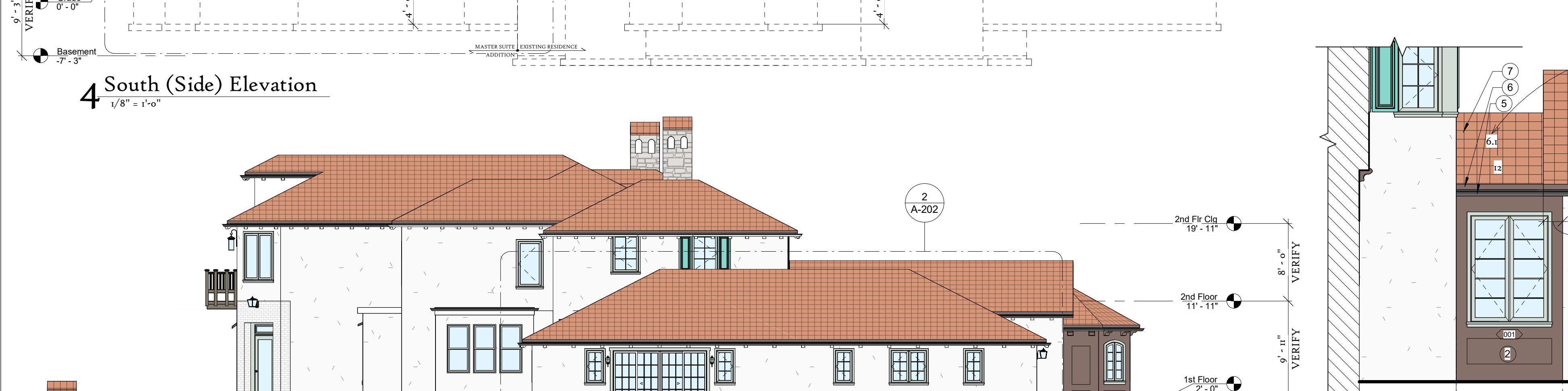
2 East (Rear) Elevation  
1/8" = 1'-0"



3 West (Front) Elevation  
1/8" = 1'-0"



4 South (Side) Elevation  
1/8" = 1'-0"



1 North (Side) Elevation  
1/8" = 1'-0"

#### EXTERIOR GENERAL NOTES

1. FINAL DOWNSPOUT LOCATIONS TBD W/ GC IN ACCORDANCE WITH SITE DRAINAGE PLAN.

#### EXTERIOR KEYED NOTES

- 1 NEW CEMENT STUCCO TO MATCH EXISTING COLOR AND TEXTURE
- 2 NEW COMPOSITE SIDING PANEL (HARDI OR SIMILAR) TO MATCH EXISTING ENTRANCE/VESTIBULE
- 3 ARCHED STONE LINTEL & PAINTED WHITE BRICK SILL TO MATCH EXISTING FRONT WINDOWS
- 4a PAINTED WOOD CORBEL TO MATCH EXISTING
- 4b PAINTED WOOD RAFTER TAIL TO MATCH EXISTING
- 4c PAINTED WOOD RAFTER TAIL TO MATCH EXISTING

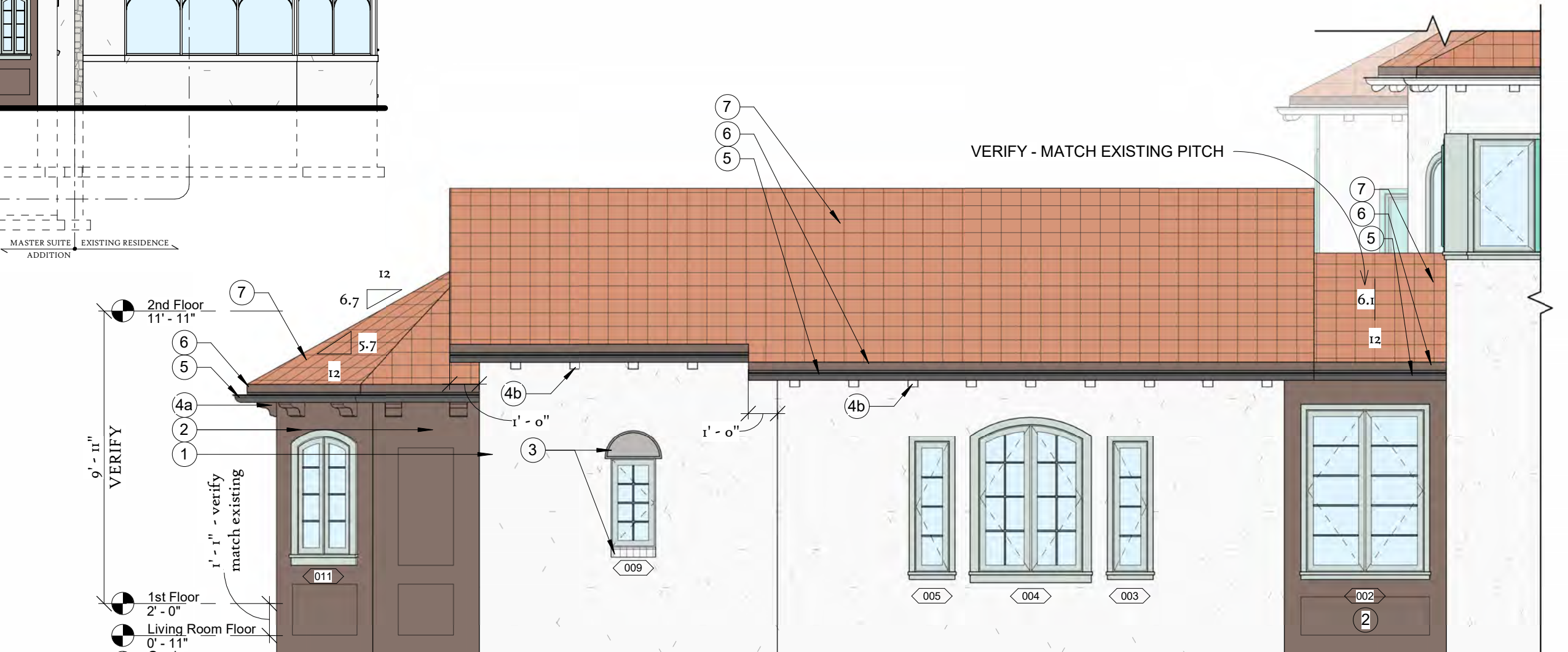
- 5 HALF-ROUND PREFINISHED ALUMINUM GUTTER TO MATCH EXISTING
- 6 PAINTED FASCIA BOARD TO MATCH EXISTING
- 7 CLAY TILE ROOF TO MATCH EXISTING
- 8 NEW COMPOSITE OVERLAY GARAGE DOOR
- 9 REPLACEMENT WINDOWS IN EXISTING OPENING
- 10 GENERATOR
- 11 REUSED EXST'G DOOR (RAISE DOOR/OPENING ONE BLOCK COURSE)
- 12 WALL SCONCES TO BE SELECTED BY OWNER

**WINDOW NOTE:** ALL NEW WINDOWS TO BE MARVIN ULTIMATE WOOD WINDOWS TO MATCH EXISTING - SDLS WITH BLACK SPACER BAR. ALL GLAZING SHALL BE CLEAR INSULATED GLASS WITH ULTRA CLEAR LOW-E COATING.

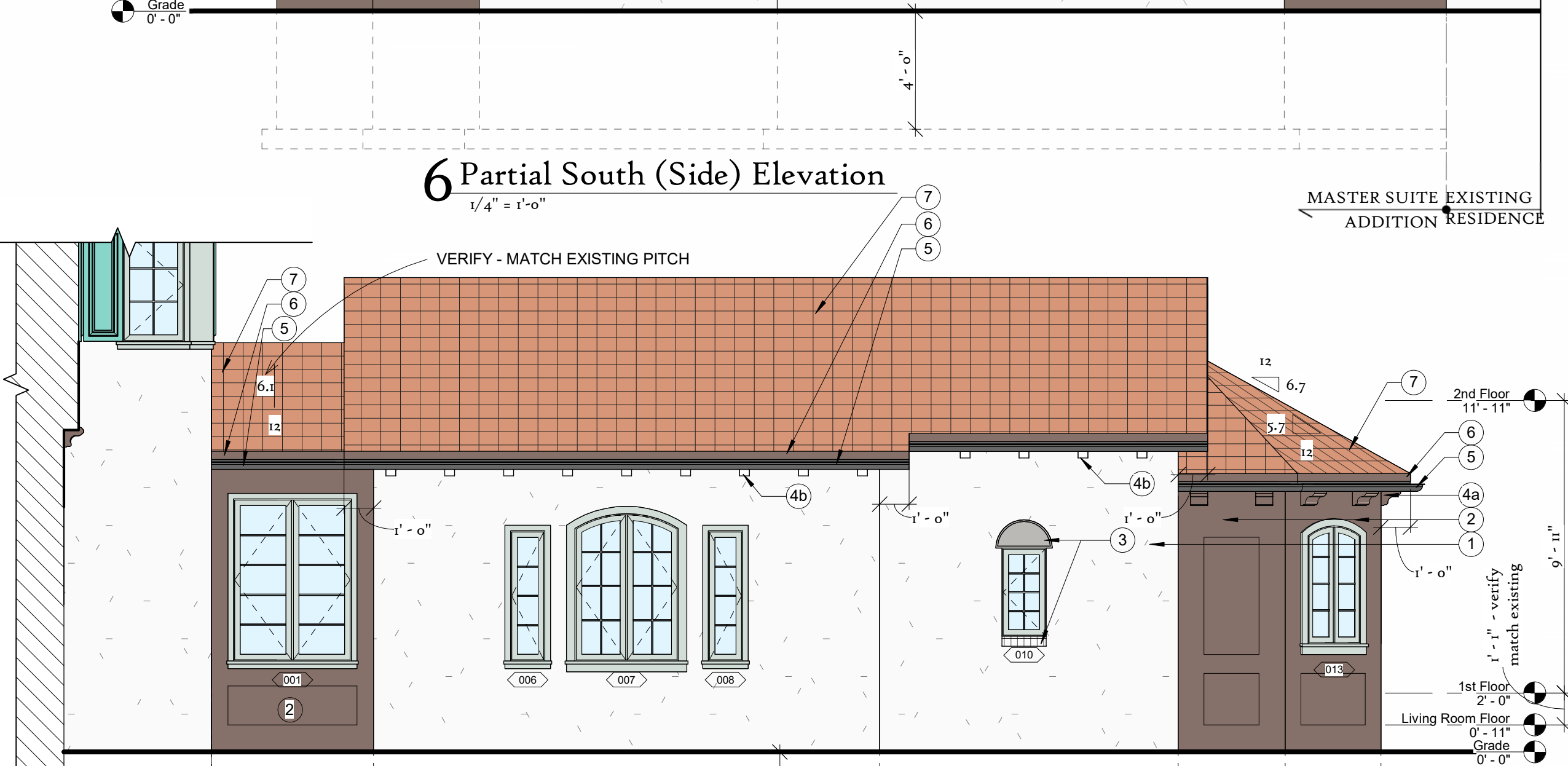
Window Schedule						
TAG	WINDOW TYPE	HEIGHT	WIDTH	ARCH HT	LOCATION	ALTERNATE WINDOW TYPE / SIZE
001	Window-Casement-Double	66"	48.00"		Breezeway North	
002	Window-Casement-Double	66"	48.00"		Breezeway South	
003	Window-Fixed-Single	53"	14.00"		Bedroom South	
004	Window-Casement-Double-Arched	60"	42.00"	6.00"	Bedroom South	Window-Casement-Double (Not Arched): 4'-5" H x 3'-6" W
005	Window-Fixed-Single	53"	14.00"		Bedroom South	
006	Window-Fixed-Single	53"	14.00"		Bedroom North	
007	Window-Casement-Double-Arched	60"	42.00"	6.00"	Bedroom North	Window-Casement-Double (Not Arched): 4'-5" H x 3'-6" W
008	Window-Fixed-Single	53"	14.00"		Bedroom North	
009	Window-Fixed-Single	36"	18.00"		Dressing Room South	
010	Window-Fixed-Single	36"	18.00"		Dressing Room North	
011	Window-Fixed-Double-Arched	48"	30.00"	4.00"	Bathroom SW	
012	Window-Casement-Double-Arched	48"	48.00"	6.00"	Bathroom West	
013	Window-Fixed-Double-Arched	48"	30.00"	4.00"	Bathroom NW	
014	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
015	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
016	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
017	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
018	Window-Casement-Double	40"	44.00"		Media Room East (Replacement in Existing Opening)	
019	Window-Casement-Double	40"	44.00"		Art Studio East (Replacement in Existing Opening)	
020	Window-Casement-Single	40"	21.00"		Art Studio East (Replacement in Existing Opening)	
021	Window-Casement-Single	40"	21.00"		Art Studio East (Replacement in Existing Opening)	
022	Window-Fixed-Single	40"	21.00"		New Garage North	
023	Window-Fixed-Double	40"	44.00"		New Garage North	
024	Window-Fixed-Single	40"	21.00"		New Garage North	
025	Window-Fixed-Single	40"	21.00"		New Garage South	
026	Window-Fixed-Double	40"	44.00"		New Garage South	
027	Window-Fixed-Single	40"	21.00"		New Garage South	
Grand total: 27						

#### WINDOW SCHEDULE NOTES:

1. FIELD VERIFY EXISTING OPENING SIZE PRIOR TO ORDERING



6 Partial South (Side) Elevation  
1/4" = 1'-0"



5 Master Suite Addition - North Elevation  
1/4" = 1'-0"

#### ARCHITECT:



400 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com

#### CONTRACTOR:



LABONTE CONSTRUCTION

#### PROJECT:

Garage Expansion &  
Primary Suite Addition

#### OWNER:

Bob and Brenda Biallas Residence

#### PROJECT ADDRESS:

1500 E Fairy Chasm Rd  
Bayside, WI 53217

#### Drawing Issuance Schedule:

No.	Description	Date
1	ARC Submittal	12/02/2024

NOT FOR  
CONSTRUCTION

#### General Notes:

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

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#### Stamp:



#### Sheet Title:

Exterior Elevations

#### Scale

As indicated

#### Date

12/2/2024

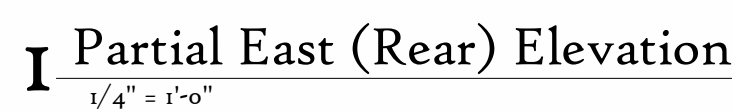
#### Sheet No.

A-201

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1. FINAL DOWNSPOUT LOCATIONS TBD W/ G  
IN ACCORDANCE WITH SITE DRAINAGE  
PLAN.

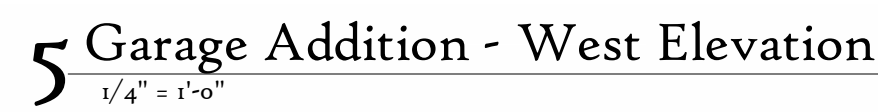
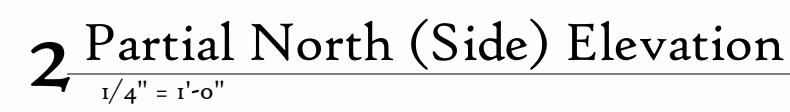
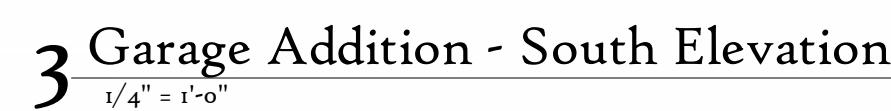


- ① NEW CEMENT STUCCO TO MATCH EXISTING COLOR AND TEXTURE
- ② NEW COMPOSITE SIDING PANEL (HARDI OR SIMILAR) TO MATCH EXISTING ENTRANCE/VESITUBLE
- ③ ARCHED STONE LINTEL & PAINTED WHITE BRICK SILL TO MATCH EXISTING FRONT WINDOWS

- |    |  |   |  |    |   |
|----|--|---|--|----|---|
| 4a | PAINTED WOOD CORBEL TO MATCH EXISTING      | 5 | HALF-ROUND PREFINISHED ALUMINUM GUTTER TO MATCH EXISTING | 9  | REPLACEMENT WINDOWS IN EXISTING OPENING                 |
| 4b | PAINTED WOOD RAFTER TAIL TO MATCH EXISTING | 6 | PAINTED FASCIA BOARD TO MATCH EXISTING                   | 10 | GENERATOR   |
| 4c | PAINTED WOOD RAFTER TAIL TO MATCH EXISTING | 7 | CLAY TILE ROOF TO MATCH EXISTING                         | 11 | REUSED EXSTG DOOR (RAISE DOOR/OPENING ONE BLOCK COURSE) |
|    |  | 8 | NEW COMPOSITE OVERLAY GARAGE DOOR                        | 12 | WALL SCONES TO BE SELECTED BY OWNER                     |

Window Schedule						
TAG	WINDOW TYPE	HEIGHT	WIDTH	ARCH HT	LOCATION	ALTERNATE WINDOW TYPE / SIZE
001	Window-Casement-Double	60"	48.00"		Breezeway North	
002	Window-Casement-Double	66"	48.00"		Breezeway South	
003	Window-Fixed-Single	53"	14.00"		Bedroom South	
004	Window-Casement-Double-Arched	60"	42.00"	6.00"	Bedroom South	Window-Casement-Double (Not Arched): 4'-5" H x 3'-6" W
005	Window-Fixed-Single	53"	14.00"		Bedroom South	
006	Window-Fixed-Single	53"	14.00"		Bedroom North	
007	Window-Casement-Double-Arched	60"	42.00"	6.00"	Bedroom North	Window-Casement-Double (Not Arched): 4'-5" H x 3'-6" W
008	Window-Fixed-Single	53"	14.00"		Bedroom North	
009	Window-Fixed-Single	36"	18.00"		Dressing Room South	
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011	Window-Fixed-Double-Arched	48"	30.00"	4.00"	Bathroom SW	
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013	Window-Fixed-Double-Arched	48"	30.00"	4.00"	Bathroom NW	
014	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
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016	Window-Casement-Single	40"	21.00"		Media Room East (Replacement in Existing Opening)	
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024	Window-Fixed-Single	40"	21.00"		New Garage North	
025	Window-Fixed-Single	40"	21.00"		New Garage South	
026	Window-Fixed-Double	40"	44.00"		New Garage South	
027	Window-Fixed-Single	40"	21.00"		New Garage South	
Grand total: 27						

1. FIELD VERIFY EXISTING OPENING SIZE PRIOR TO ORDERING



400 E. Wisconsin Ave. #201  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com

LABONTE CONSTRUCTION

## Garage Expansion & Primary Suite Addition

Bob and Brenda Biallas Residence

1500 E Fairy Chasm Rd  
Bayside, WI 53217

[illegible]

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

All work shall be done in compliance with local codes, ordinances, rules and regulations.

No work shall be started until plans have been approved by the building inspector and all other agencies having jurisdiction.

WISCONSIN  
 KEITH C. BARNES  
 A-11822-5  
 BROOKLYN, NY  
 MECHANICAL ENGINEER

## Enlarged Exterior Elevations

Date	12/2/202
------	----------

A-202



LEGAL DESCRIPTION :

Parcel A:

That part of Government Lot 3 in the Southeast ¼ of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Government Lot 3; thence North along the West line of said Government Lot 3, 506.00 feet to a point; thence East on a line at right angles to the West Line of said Government Lot 3, 638.00 feet to a point; thence South 86° 00' East on a line 55.000 feet to a point of beginning of the land to be described; thence continuing South 86° 00' East on a line 65.00 feet to a point; thence North 56° 42' East on a line 23.08 feet to a point; thence South 80° 11' 15" East on a line 101.33 feet to a point; thence North 89° 27' East on a line 391.48 feet to a point in the Westerly shoreline of Lake Michigan; thence North 12° 03' 10" West along the Westerly shoreline of Lake Michigan 218.00 feet to a point; thence North 80° 17' 46" West on a line 379.26 feet to a point; thence South 70° 40' 36" West on a line 159.87 feet to a point, thence South 1° 21' 58" West on a line 218.91 feet to a point of beginning.

TOGETHER WITH Parcel D:

That part of Certified Survey Map No. 573, being part of Government Lot 3 in the North ½ of the Southeast ¼ of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Government Lot 3; thence North along the West line of said Government Lot 3, 506.00 feet to a point; thence East on a line at right angles to the West Line of said Government Lot 3, 638.00 feet to a point; thence South 86° 00' East on a line 55.00 feet to a point; thence North 1° 21' 58" East on a line 218.91 feet to the centerpoint of a 100 foot diameter cul-de-sac; thence North 17° 57' 52" East on a line 50.00 feet to a point in the circumference of said cul-de-sac; thence North 87° 44' 34" East along the southerly line of CSM No. 573, 49.01 feet to a point in the Southerly line of CSM No. 573, said point being the point of beginning of the land to be described; thence continuing North 87° 44' 34" East along said southerly line, 86.54 feet to an angle point in said southerly line; thence North 80° 17' 46" West, 28.00 feet; thence South 82° 08' 21" West, 59.43 feet to the point of beginning.

LEGAL DESCRIPTION :

Parcel B:

That part of Government Lot 3 in the Southeast ¼ of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Government Lot 3; thence North along the West line of said Government Lot 3, 506.00 feet to a point; thence East on a line at right angles to the West Line of said Government Lot 3, 638.00 feet to a point; thence South 86° 00' East on a line 55.00 feet to a point; thence North 1° 21' 58" East on a line, 218.91 feet to the centerpoint of a 100 foot diameter cul-de-sac, said point being the point of beginning of the land described; thence North 17° 57' 52" East on a line 50.00 feet to a point in the circumference of said cul-de-sac; thence North 87° 44' 34" East on a line 135.55 feet to a point; thence South 70° 40' 36" West on a line 159.87 feet to the point of beginning.

EXCEPTING THEREFROM Parcel E:

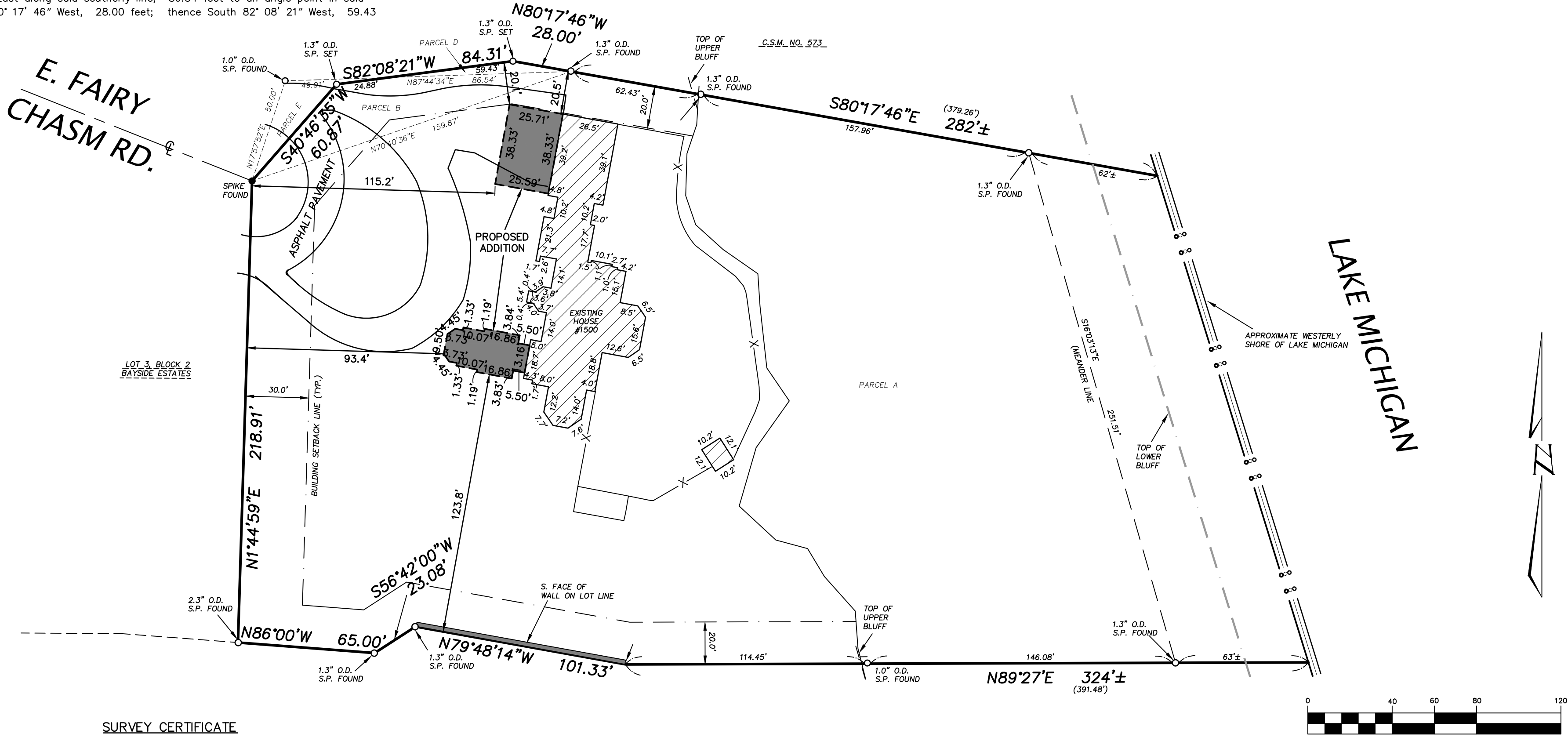
That part of Government Lot 3 in the Southeast ¼ of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Government Lot 3; thence North along the West line of said Government Lot 3, 506.00 feet to a point; thence East on a line at right angles to the West Line of said Government Lot 3, 638.00 feet to a point; thence South 86° 00' East on a line 55.00 feet to a point; thence North 1° 21' 58" East on a line, 218.91 feet to the centerpoint of a 100 foot diameter cul-de-sac, said point being the point of beginning of the land to be described; thence North 17° 57' 52" East, 50.00 feet to a point in the circumference of said cul-de-sac; thence North 87° 44' 34" East along the southerly line of Certified Survey Map No. 573, 49.01 feet; thence South 82° 08' 21" West, 24.88 feet; thence South 40° 46' 35" West, 60.87 feet to the point of beginning.

LEGAL DESCRIPTION :

Parcel C:

Non-exclusive Easements for ingress and egress as contained in Warranty Deed dated July 16, 1965 and recorded July 16, 1965 in Reel 257, Image 1908, as Document No. 4192247 and Quit Claim Deed dated March 21, 1966 and recorded July 1, 1966 on Reel 316, Image 1141, as Document No. 4264456, over and across the following described land: Easement for private road purposes over and across a 60 foot strip of land and 100 foot diameter cul-de-sac, bounded and described as follows: Commencing at the Southwest corner of said Government Lot 3; thence North along the West line of said Government Lot 3, 506.00 feet to a point; thence East on a line at right angles to the West line of said Government Lot 3, 240.00 feet to a point; thence North on a line parallel to the West line of said Government Lot 3, 320.00 feet to a point; thence N20°00'E on a line 110.97 feet to the point of beginning of the easement to be described; thence N60°00'W on a line 94.77 feet to an angle point; thence S55°06'E on a line 178.21 feet to an angle point; thence S68°43'E on a line 248.42 feet to a point in the circumference of the 100 foot diameter cul-de-sac; thence along the circumference of said cul-de-sac (whose center lies to the Southeast, having a radius of 50.00 feet, with a chord of 60.00 feet, bearing S21°17'W) a distance of 249.81 feet to a point; thence N68°43'W on a line 255.58 feet to an angle point; thence N55°06'W on a line 176.11 feet to a point, thence N20°00'E on a line 31.04 feet to the point of beginning. AND, together with an easement for private road purposes in, along, and across the following strip of land: A strip or parcel of land 26.0 feet in width lying 13.0 feet on either side of the following described centerline, being situated in the Southeast 1/4 of Section 4, Township 8 North, Range 22 East, the Village of Bayside, Milwaukee county, Wisconsin, to-wit: Commencing at a point in the North line of said Southeast 1/4 Section; 208.07 feet West of the Northwest corner of said Government Lot 3, running thence S29°27'E, 243.93 feet to a point; also a strip or parcel of land, 30.0 feet in width lying 15.0 feet on either side of the following described centerline; commencing at the above last mentioned point, continuing thence S57°12'E, 100.0 feet to a point; thence S62°12'E, 216.65 feet to a point; thence S55°42'E, 100.00 feet to a point.

Said Parcels containing 106,083 sq. ft./2.44 acres of land, more or less to the meander line.

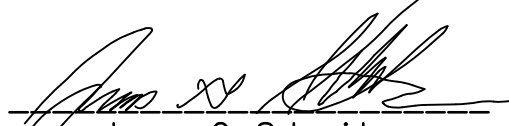


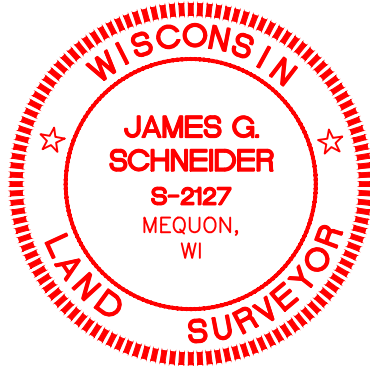
SURVEY CERTIFICATE

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadway, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase mortgage, or guarantee the title thereto within one (1) year from date hereof.

Dated at City of Mequon, State of Wisconsin this 21st day of November, 2024


  
James G. Schneider  
Surveyor - S-2127



THIS IS AN ORIGINAL PRINT  
ONLY IF STAMPED IN RED

NOTES :

- ALL BEARINGS REFERENCED TO THE EAST LINE OF LOT 3, BLOCK 2, "BAYSIDE ESTATES", WHICH BEARS N1°21'58"E.
- ( ) DENOTES BEARING PER DEED.

1	12/4/2024	ADD SETBACK LINES AND REVISE LOT LINE ADJ.	JRS	JGS	
MARK	DATE	REVISION	BY	APVD	
 www.thesigmagroup.com 1300 West Canal Street Milwaukee, WI 53233 Phone: 414-643-4200 Fax: 414-643-4210					

"PROPERTY SURVEY"		
for Robert Biallas		
1500 E. Fairy Chasm Rd. Bayside, WI		
DATE:	NOVEMBER 21, 2024	DRAWN BY: J.R.S.
FIELD CREW:	S.F.Z.	Plat No. 23322

# Impervious Surface Calculator

Total Square Footage of Property		124,431.77
Current Impervious Surface		
	Home	4,513.77
	Accessory Structure(s)	123
	Driveway	5210.87
	Deck/Patio	1344.23
	Other	
	Total	11191.87
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		1079
TOTAL		12270.87
Current + Proposed Percent of Impervious Surface		9.861524914
Address	Zone	
1500 E Fairy Chasm Rd	Zone A - 25%	





**Dumpster/Roll-Off Box/Pod/Storage Container/Port-o-Potty PERMIT**  
**Exceeding 2 1/2 cubic yards in size**

Applicant Name LaBonte Construction ←  
Address 1500 E Ferry Chase Road, Bayside, WI 53217  
Applicant phone number(s) [REDACTED]  
Applicant email [REDACTED]

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**Storage Description:**

Item(s) being stored 30 or 40 yd dumpsters & Portable Toilet

Size \_\_\_\_\_

Materials Remodeling debris

Dates of storage TBD - (March is target) through TBD (10-12 month duration)

Location TBD - Front yard Somewhere

Reason for storage Addition & Remodel

Don LaBonte Date 12-2-24  
Signature of applicant

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**OFFICE USE ONLY:**

Sec 32-48(8)

☐ 1<sup>st</sup> unenclosed storage permit (\$50/60 days) ☐ 2<sup>nd</sup> unenclosed storage permit (\$60/60 days)

☐ 1<sup>st</sup> Port-o-Potty permit (\$50/60 days) ☐ 2<sup>nd</sup> Port-o-potty permit (\$60/60 days)

\*One unit per address and not to exceed two permits issued in any 12 months

\_\_\_\_\_  
Village Manager / or designee

Approved \_\_\_\_\_ Denied \_\_\_\_\_