



Village of Bayside
9075 N Regent Rd
September 12, 2024
Board of Zoning Appeals Meeting
Village Hall Board Room, 4:00 pm

**BOARD OF ZONING APPEALS
AGENDA**

PLEASE TAKE NOTICE the meeting of the Village of Bayside Board of Zoning Appeals will be held at Bayside Village Hall, 9075 North Regent Road, Bayside, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. August 1, 2024, Board of Zoning Appeals meeting minutes.

III. PUBLIC HEARING

- A. The purpose of the public hearing is to consider the request for a special exception by Bayside & S-L Company, LLP to install a cabinet-style temporary monument sign at the property 8909 N. Port Washington Road for no more than 18 months, contrary to Section 116-8(a) of the Bayside Municipal Code with regard to the 15-day duration of temporary sign permits.
- B. The purpose of the public hearing is to consider the request for a special exception by Katz Properties, Inc., Daniel J. Katz to construct monument sign at the property 9001 N. White Oak Lane with a size greater than 8 feet in height and 8 feet in width contrary to Section 116-6(7) of the Bayside Municipal Code with regard to signs in the business districts.
- C. The purpose of the public hearing is to consider the request for a special exception by Michael and Lynda Barth, 9270 N. Waverly Drive to construct an addition to their home in which the set-back proposed is contrary to Section 125-3(f)(1) of the Bayside Municipal Code with regard to setbacks, elevations and height of structure for residences in "A", "B", and "C" districts.

IV. BUSINESS

- A. Discussion/recommendation on the request for special exception by Bayside & S-L Company, LLP to install a cabinet-style temporary monument sign at the property 8909 N. Port Washington Road for no more than 18 months, contrary to Section 116-8(a) of the Bayside Municipal Code with regard to the 15-day



Village of Bayside
9075 N Regent Rd
August 1, 2024
Board of Zoning Appeals Meeting
Village Hall Board Room, 4:00 pm

**BOARD OF ZONING APPEALS
MEETING MINUTES**

I. CALL TO ORDER AND ROLL CALL

Village Manager Pederson called the meeting to order at 4:00 pm.

Members: Tom Houck
Amy Krier
Bob Rudman
Amy McWilliams
Matt Corr
Jolena Presti – Excused

Also Present: Village Manager Andy Pederson
Village Attorney Chris Jaekels
There were 2 people in the audience.

Village Manager Pederson stated Chair Max Dickman had resigned his position due to relocating out of the Village. It will be necessary for the Board to nominate and approve a Chairperson Pro-tem.

Motion by Board Member Houck, seconded by Trustee Rudman, to nominate Board Member Tom Houck as Chairperson Pro-tem.

Chair Houck proceeded with the meeting.

II. APPROVAL OF MINUTES

A. May 6, 2024 Board of Zoning Appeals meeting minutes.

Motion by Board Member Houck, seconded by Trustee Rudman, to approve the May 6, 2024 Board of Zoning Appeals meeting minutes. Motion carried unanimously.

III. PUBLIC HEARING

A. The purpose of the public hearing is to consider the request for a special

exception by Kenneth S. Collins for stairs on the side of the home at the property located at 202 W. Brown Deer Road, contrary to Section 125-3(f)(1) with regard to front setback of structures.

No one from the public spoke at the Public Hearing.

IV. BUSINESS

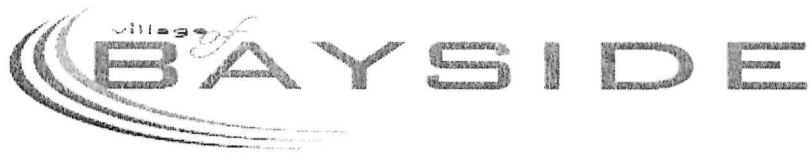
- A. Discussion/recommendation on the request for special exception by Kenneth S. Collins for stairs on the side of the home at the property located at 202 W. Brown Deer Road, contrary to Section 125-3(f)(1) with regard to front setback of structures.

There was minimal discussion on the proposed special exception.

Motion by Trustee Rudman, seconded by Board Member Corr, to recommend the Village Board approve the request for special exception option 1 with the requirement that the property owner enter into a right-of-way license agreement with the Village of Bayside. by Kenneth S. Collins for stairs on the side of the home at the property located at 202 W. Brown Deer Road, contrary to Section 125-3(f)(1) with regard to front setback of structures. Motion carried unanimously.

VI. ADJOURNMENT

Motion by Trustee Rudman, seconded by Board Member Krier, to adjourn the meeting at 4:09 pm. Motion carried unanimously.



**Application for Appearance before the
Board of Appeals**

Owner's Name	Bayside & S-L Company, LLP
Property Address	8909 N. Port Washington Rd., Bayside
Telephone	414-867-8517
Email	kristi@lamacchiaholdings.com

Proposed project details (type of work, size, materials, etc.):

Temporary monument sign to be fabricated out of brushed aluminum composite material (ACM) and aluminum angle framing. The sign is not internally illuminated. Dimensions are: H 6'2" x W 8'0" x D 0'8". The tenant names will be made of vinyl graphics applied to the face of the ACM panels on both sides. Footings will be 4"x4" pressure treated posts that will be buried.

Fee: \$500.00



APPLICATION FOR SPECIAL EXCEPTION TO ZONING CODE REQUIREMENTS

The Board of Appeals, pursuant to Wis. Stats. 62.23(7)(e), and, Section 125-57(e) of the Zoning Ordinance, and after appropriate notice and hearing, may, with regard to any requirement imposed by the Zoning Ordinance, or any other section of the Municipal Code which specifically allows for special exceptions, recommend a special exception to the Village Board for approval. Notice of application for special exception shall be provided to all property owners adjoining or abutting the property proposed for a special exception. Denials of special exceptions shall not be appeal able to the Village Board.

1. State the section of the Village of Bayside Municipal Code for which you are requesting a special exception.

We are seeking a special exception to the 15 day time limit stipulated by the Village of Bayside's Municipal Code for temporary signage.

2. Give a brief description of what you want to do and why.

We would like to fabricate and install a high quality cabinet-style temporary monument sign that closely resembles what the building's permanent monument sign is anticipated to look like. We are pausing with the permanent monument sign for approximately 12-18 months, until the some of the signage and branding for the OneNorth Development has been completed. We want to the opportunity to add some OneNorth branding to the permanent monument sign.

3. State why compliance with Municipal Code is unreasonably burdensome or negatively impacts the use of the property.

We are seeking permission for no more than 18 months mainly due to the cost of the sign, which is approximately \$8,000. The 15-day time limit typically allowed for temporary signs is appropriate for lower-cost signs such as banners; however, our intent is to utilize this sign for up to 18 months; and therefore, propose higher quality materials.

4. State how the Special Exception requested, including any proposed restrictions, will be consistent with the existing character of the neighborhood; will not effectively undermine the application or enforcement of the Code to other properties; and will be in harmony with the purpose and intent of the Code.

The sign, although temporary, will be constructed in a manner consistent with requirements for permanent signs as described by the Village of Bayside Ordinance, Section 166-6 Signs in Business Districts.

Applicant Printed Name

Kristi Laufenberg

Applicant Signature

Kristi L. Laufenberg

Date

7/24/2024

Village of Bayside
Application for Appearance before the Board of Appeals
Bayside and S-L Company, LLP

To whom it may concern:

We are writing in response to #3 on the application for special exception to zoning code requirements, 'state why compliance with Municipal Code is unreasonably burdensome or negatively impacts the use of the property' with our following statement:

As a tenant in the building located at 8909 N Port Washington Rd, owned by Bayside and S-L Company, LLP, we find the lack of signage on the road frontage to be detrimental to our business. We have now occupied this space since December of 2022, and without signage to brand and market our business to the public of Bayside, we are still an unknown brand to the community.

Our real estate agents working from this location are hearing that their customers can't find us, or don't believe we're located in Bayside and out of this location, and they are losing out on potential new business. Without signage, we're not only upsetting our customers, the real estate agents, but also harming our brand by not being visible to their consumers, the buyers and sellers of real estate within the local community of Bayside and surrounding areas.

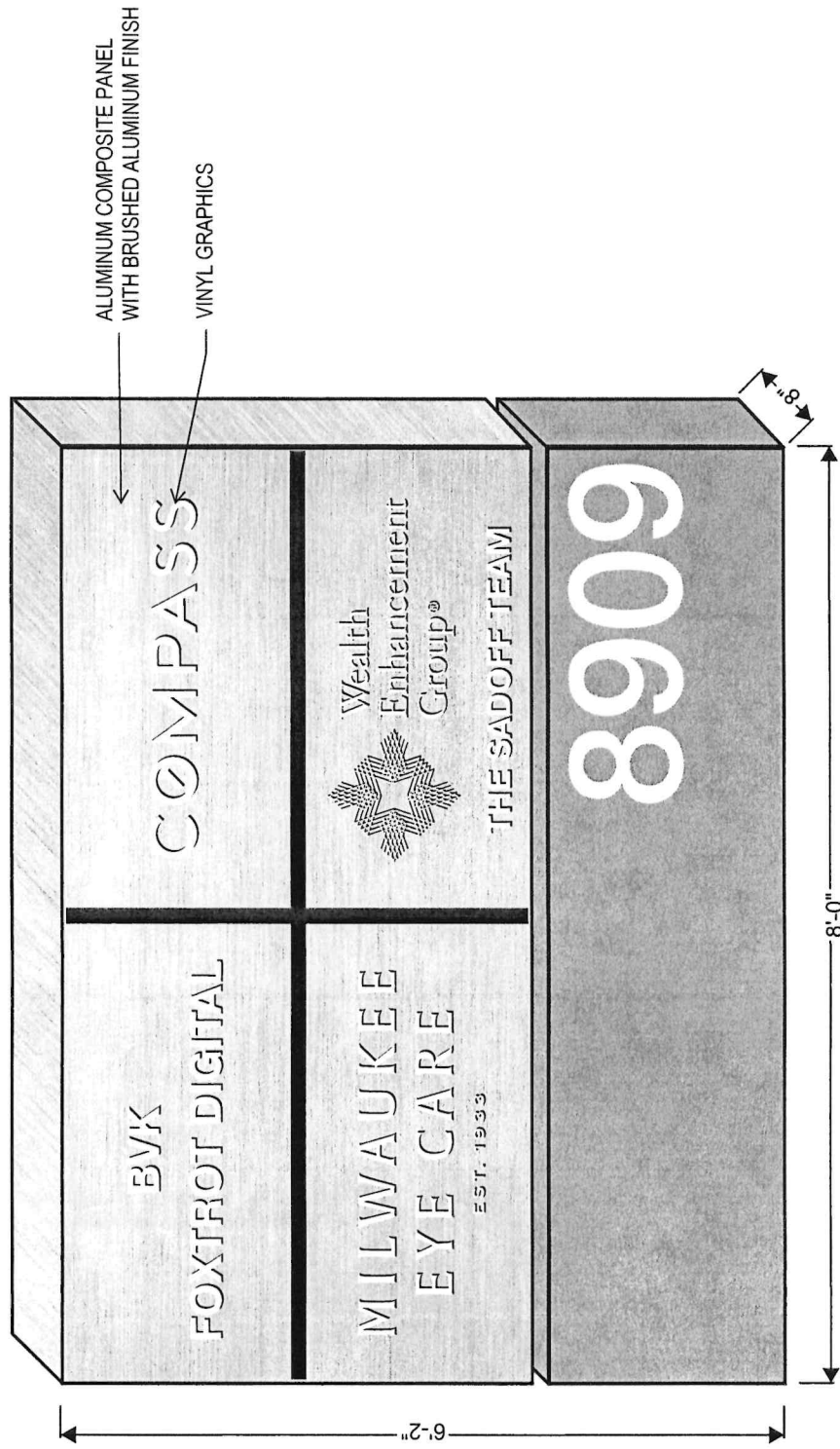
We would greatly appreciate your consideration of this special exception to place a temporary monument sign on N Port Washington Rd as soon as feasible so that we can, after 1-½ years, have some signage up that designates Compass as operating business in Bayside.

Thank you for your consideration,

Kel Svoboda
Managing Director

Katrina Lasch
Regional Operations Manager

Compass RE Wisconsin, LLC



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Village of Bayside
9075 N Regent Road
414-206-3915



BUILDING INSPECTOR
For inspections call 262-420-4732 or
email Wlinspections@safebuilt.com

JOB ADDRESS: 8909 N. Port Washington Rd.

Residential Commercial

OWNER NAME: La Machia Holdings, LLC, c.o. Kristi Laufenberg, SVP-Operations

OWNER PHONE: 414-867-8517 OWNER EMAIL: kristi@lamicchiaholdings.com

COMPANY NAME: La Machia Holdings, LLC

CONTRACTOR NAME: Brilliant dpi LICENSE #: _____

ADDRESS: 6651 N Sidney Place, Milwaukee, WI 53209

PHONE: 414-228-0833 EMAIL: chris@brilliantdpi.com

Check Here if **Homeowner** is the Contractor:

YES, the Homeowner is the Contractor YES, the Homeowner signed the Cautionary Statement (see page 2)

WORK CONSISTS OF:

- New Building*
- Addition*
- Accessory Structure*
- Roof
- Demolition*
- Remodel or Alteration
- Electrical
- Plumbing
- HVAC
- Other Sign

PROJECT & WORK DESCRIPTION/ ADDITIONAL COMMENTS:

Temporary Monument Sign

Unenclosed Receptacle Permit Erosion Control Permit

*Project Square Footage: Approx 33 sq ft Project Estimated Cost: \$8,000.00

The undersigned hereby applies for a permit to do the work herein described and hereby agrees that all work will be done in accordance with all the laws of the State of Wisconsin and all the ordinances of the Village of Bayside.

Applicant's Signature: Kristi L Laufenberg Digitally signed by Kristi L Laufenberg
Date: 2024.07.24 12:46:03 -05'00' Date: 7/24/2024

FEES (OFFICE USE)

Building _____
Electric _____
Plumbing _____
HVAC _____
Other _____

RECEIPT INFO (OFFICE USE)

Amount	_____
Date	_____
Rec. By	_____

Project Requires ARC



All building permits are valid for six months except:
Addition and alteration permits are valid for 12 months
New construction permits for 24 months

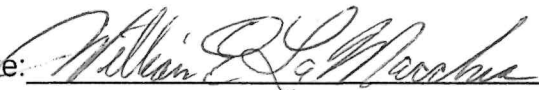
Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

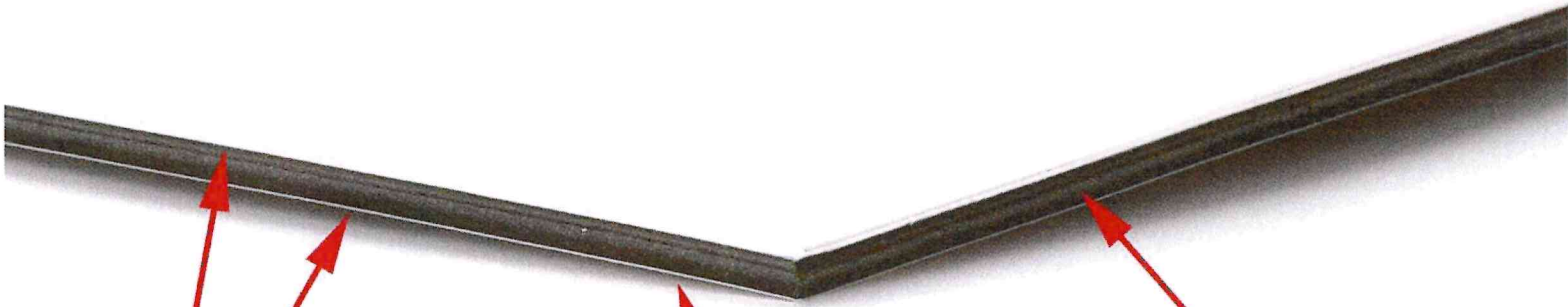
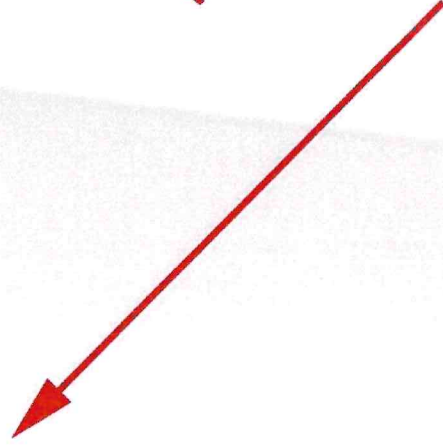
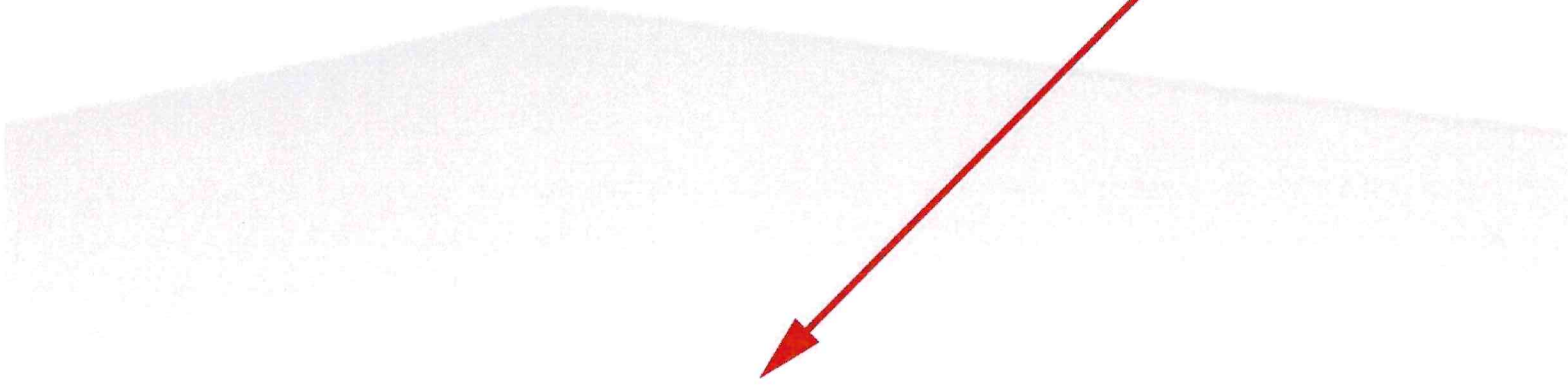
(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Owner's Signature: 

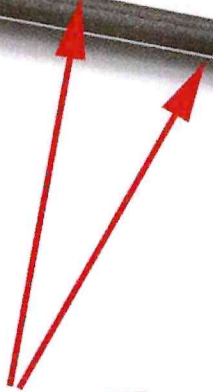
Date: 7/27/2024



**Coil Coating
(White Polyester)**



Aluminum Sheets

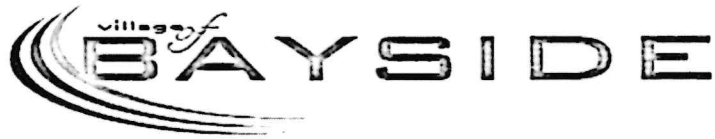


**Mill Finish
(Polished Aluminum)**



Solid Polyethylene Coating





**Application for Appearance before the
Board of Appeals**

Owner's Name Daniel J. Katz for Katz Properties, Inc.
Property Address 9001 N. White Oak Lane
Telephone 414-332-8080
Email kami@katzprop.com

Proposed project details (type of work, size, materials, etc.):

please see attached pdf with details for monument
sign

Fee: \$500.00



APPLICATION FOR SPECIAL EXCEPTION TO ZONING CODE REQUIREMENTS

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- 1. State the section of the Village of Bayside Municipal Code for which you are requesting a special exception:.

11C

- 2. Give a brief description of what you want to do and why.

create monument sign to advertise apartments or rent.

- 3. State why compliance with Municipal Code is unreasonably burdensome or negatively impacts the use of the property.

currently, we cannot advertise our product - apartments or rent.

- 4. State how the Special Exception requested, including any proposed restrictions, will be consistent with the existing character of the neighborhood; will not effectively undermine the application or enforcement of the Code to other properties; and will be in harmony with the purpose and intent of the Code.

sign will mimic Bayside Woods sign - at adjacent property

Applicant Printed Name

Karen Braker,
rent for owner, KPI

Applicant Signature

[Handwritten Signature]

Date

8/11/24

KATZ MONUMENT SIGN RESUBMITTAL

8.5.24

Font of White Oaks to
change - logo to be
incorporated.



White Oaks Fabrication / Install

Miscellaneous (V) - Large Sign Panel

Text:

DS Synthetic Stucco Panel 6ft x 12ft x 6"
Per Your Drawing. Includes a Two color Stucco spray finish.
Includes Recessed / Painted Stucco text (SW/BM colors)
With Wood Substrate per Your Specifications
Horizontal thru holes (2) to accommodate customers 2"x2"

Miscellaneous (V) - Pillars - Fabrication & Install

Text:

Veneer Brick Pillars
Pillar 120"H x 16"W x 16"D
Veneer stone TBD

EXCAVATE FOR CONCRETE FOOTING
FOR SIGN BASE
(2) Sign Pillars

Site Survey
Scope of job
Truck accessibility

Install (2) pillars 10'H
Install (2) custom HDU panel
Hardware
(3) techs (2) trucks (1) trailer
Not responsible for damage to grass or landscaping

CONCRETE FOR FOOTING
Sign Pole 4" x 4" x 10'

STEEL POLE FOR MONUMENT SIGN 4" x 4"
(2) 14' poles

Miscellaneous (V) - Changeable Panel

Text:

Changeable panel
ACM panel with digital vinyl
Hardware for handing to larger sign
8ft Wide by 12" H ; Double Sided



Lower Ryder to be interchangeable. In addition to "Now Leasing" may say things like:

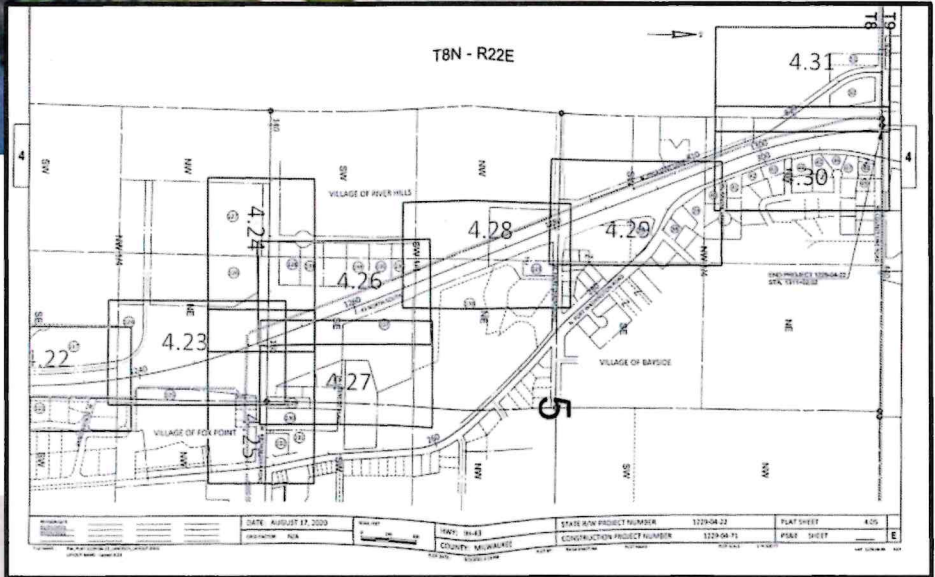
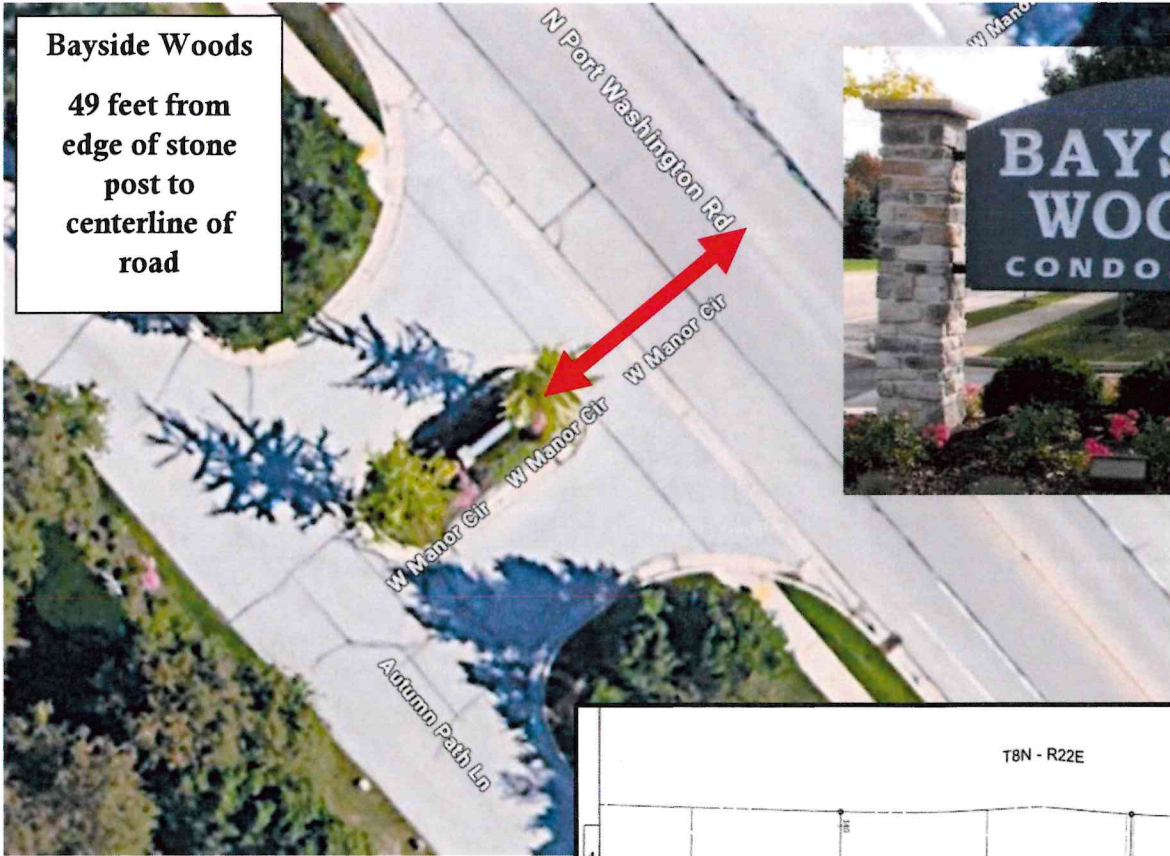
"1-3 Bedroom Apartments For Rent"

"Tour Your New Home Today"

"Call for Specials: 414.352.9262"

Bayside Woods

49 feet from edge of stone post to centerline of road



White Oaks

49 feet from edge of stone post to centerline of road-proposed location in blue



08/07/2024

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: White Oaks / Katz Properties PROJECT ADDRESS: 9001 N Port Washington</p>	<p>PROJECT SUMMARY: Monument sign 14 ½' wide X 10' high</p>
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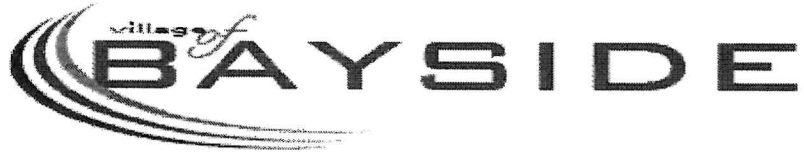
I have reviewed the proposed new signs for compliance with the Village’s ordinances and have determined the following for consideration.

1. The monument sign does not comply with sign ordinance Chapter 116 Signs.
2. The proposed sign is ten feet high and fourteen and a half feet wide
3. On their application they state that the sign is four feet by eight feet. There is a discrepancy from the application and drawing submitted.
4. Per 116-6 (7) signs in business districts
“Freestanding signs shall not exceed eight feet in height above normal grade and eight feet in maximum width.”
5. The board always considers the aesthetics of the signs.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager



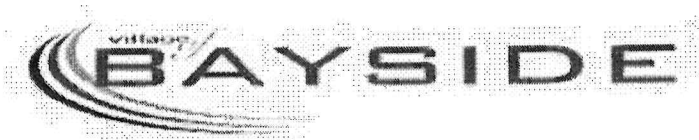
**Application for Appearance before the
Board of Appeals**

Owner's Name Michael + Lynda Barth
Property Address 9270 N WAVERLY DR
Telephone 414 228 7203
Email MJBARTH@YAHOO.COM

Proposed project details (type of work, size, materials, etc.):

SEE ATTACHED

Fee: \$500.00



APPLICATION FOR SPECIAL EXCEPTION TO ZONING CODE REQUIREMENTS

The Board of Appeals, pursuant to Wis. Stats. 62.23(7)(e), and, Section 125-57(e) of the Zoning Ordinance, and after appropriate notice and hearing, may, with regard to any requirement imposed by the Zoning Ordinance, or any other section of the Municipal Code which specifically allows for special exceptions, recommend a special exception to the Village Board for approval. Notice of application for special exception shall be provided to all property owners adjoining or abutting the property proposed for a special exception. Denials of special exceptions shall not be appeal able to the Village Board.

1. State the section of the Village of Bayside Municipal Code for which you are requesting a special exception:

SEE ATTACHED

2. Give a brief description of what you want to do and why.

SEE ATTACHED

3. State why compliance with Municipal Code is unreasonably burdensome or negatively impacts the use of the property.

SEE ATTACHED

4. State how the Special Exception requested, including any proposed restrictions, will be consistent with the existing character of the neighborhood; will not effectively undermine the application or enforcement of the Code to other properties; and will be in harmony with the purpose and intent of the Code.

SEE ATTACHED

Applicant Printed Name

Michael Barth

Applicant Signature

[Handwritten Signature]

Date

8/15/25

ATTACHMENT TO APPLICATION FOR SPECIAL EXCEPTION TO ZONING CODE REQUIREMENTS FOR
MICHAEL & LYNDIA BARTH 9270 N. WAVERLY DR.

Proposed project details (type of work, size, materials, etc.):

Build an addition to our home that will add a mudroom and pantry to the home as well as add extra space in the garage for snowblower etc. Materials will be brick and siding to match existing house.

1. State the section of the Village of Bayside Municipal Code for which you are requesting a special exception:

125-3 General Provisions (f) (1) The front setback of all structures shall match the setback of the adjacent homes wherever possible. In no event shall a structure encroach more than five feet beyond the setback of the average front setback of the nearest two homes on the same or an adjoining block or the nearest single home within 100 feet if no appropriate average can be determined. In measuring the setback of the nearest two homes, no home more than 200 feet away from the home in question shall be considered.

2. Give a brief description of what you want to do and why

We propose adding a mudroom/pantry and expanding the garage storage space to enhance the functionality and appeal of our home. The current layout poses challenges:

- **Direct Entry into Living Areas:** Without a mudroom, inclement weather brings dirt and snow directly into the family room and kitchen, creating a mess and maintenance issue.
- **Limited Storage:** The absence of a mudroom means no designated space for coats, wet boots, and accessories, leading to clutter and disorganization.
- **Inadequate Garage Space:** The existing garage is cramped, making it difficult to store essential items like snowblowers, mowers, and bikes without obstructing car entry.

By adding a mudroom/pantry and expanding the garage storage space by approximately 4 feet, we aim to:

- Create a practical and organized entry point, protecting the living areas from weather-related messes
- Provide ample storage for outdoor gear and accessories
- Enhance the overall functionality and appeal of our home

This project will significantly improve our daily living experience and the value of our property.

3. State why compliance with Municipal Code is unreasonably burdensome or negatively impacts the use of the property.

Complying with the Municipal Code would pose significant challenges and undue burdens on the use of the property, specifically:

- **Insufficient Space:** Adhering to the code would not provide enough room to complete the proposed addition, hindering the functionality of the property.

ATTACHMENT TO APPLICATION FOR SPECIAL EXCEPTION TO ZONING CODE REQUIREMENTS FOR
MICHAEL & LYNDIA BARTH 9270 N. WAVERLY DR.

- **Negative Impact on Property Value:** The current lack of a mudroom and garage space negatively affects the property's value and usefulness, particularly for a 5-bedroom home.
- **Unviable Alternative Options:** The only alternative solution, reconfiguring the first floor with a rear addition, is not feasible due to:
 - Unreasonable layout and flow
 - Exorbitant costs, multiple times the proposed plan
 - Failure to address the garage space deficiency
- **Precedent:** Two similar projects have been approved in the recent past, setting a precedent for flexibility in code compliance.

In light of these points, it is clear that strict compliance with the Municipal Code would be unreasonably burdensome and negatively impact the use and value of the property.

State how the Special Exception requested, including any proposed restrictions, will be consistent with the existing character of the neighborhood; will not effectively undermine the application or enforcement of the Code to other properties; and will be in harmony with the purpose and intent of the Code.

The requested Special Exception will be consistent with the existing character of the neighborhood in the following ways:

- **Design Details and Materials:** The addition's design details and materials, including siding, brickwork, and roofing, will match the existing home, ensuring a seamless integration with the current structure.
- **Roof Pitch Alignment:** The pitch of the roof will align with that of the second story, maintaining a unified street view and harmonizing with the style of neighboring properties.
- **Unified Appearance:** The addition will be designed to appear as if it were part of the original design, avoiding the appearance of a disconnected or "slapped on" addition.

This Special Exception will not undermine the application or enforcement of the Code to other properties because:

- **Precedent:** The addition's design and materials will be consistent with the neighborhood's existing character, setting no precedent for non-compliant or inconsistent development.
- **Code Intent:** The proposal aligns with the Code's purpose and intent by maintaining the neighborhood's aesthetic and functional character, ensuring that the addition enhances the property without detracting from the surrounding area.

By incorporating these design elements and considerations, the requested Special Exception will be in harmony with the purpose and intent of the Code, ensuring that the addition complements the existing neighborhood character and maintains the integrity of the community's aesthetic and functional standards.



feindesign
 residential
 design-build
 11124 north wauwatunga road
 suite # 250
 mequon, wisconsin 53092
 (262) 238-0774
 www.feindesign.com

CONTACTS
 GINO
 (414) 711-0888
 MATT
 (920) 251-5813

THE BARTH RESIDENCE
 PROPOSED ADDITION
 9270 NORTH WAYERLY DRIVE
 BAYSIDE, WISCONSIN

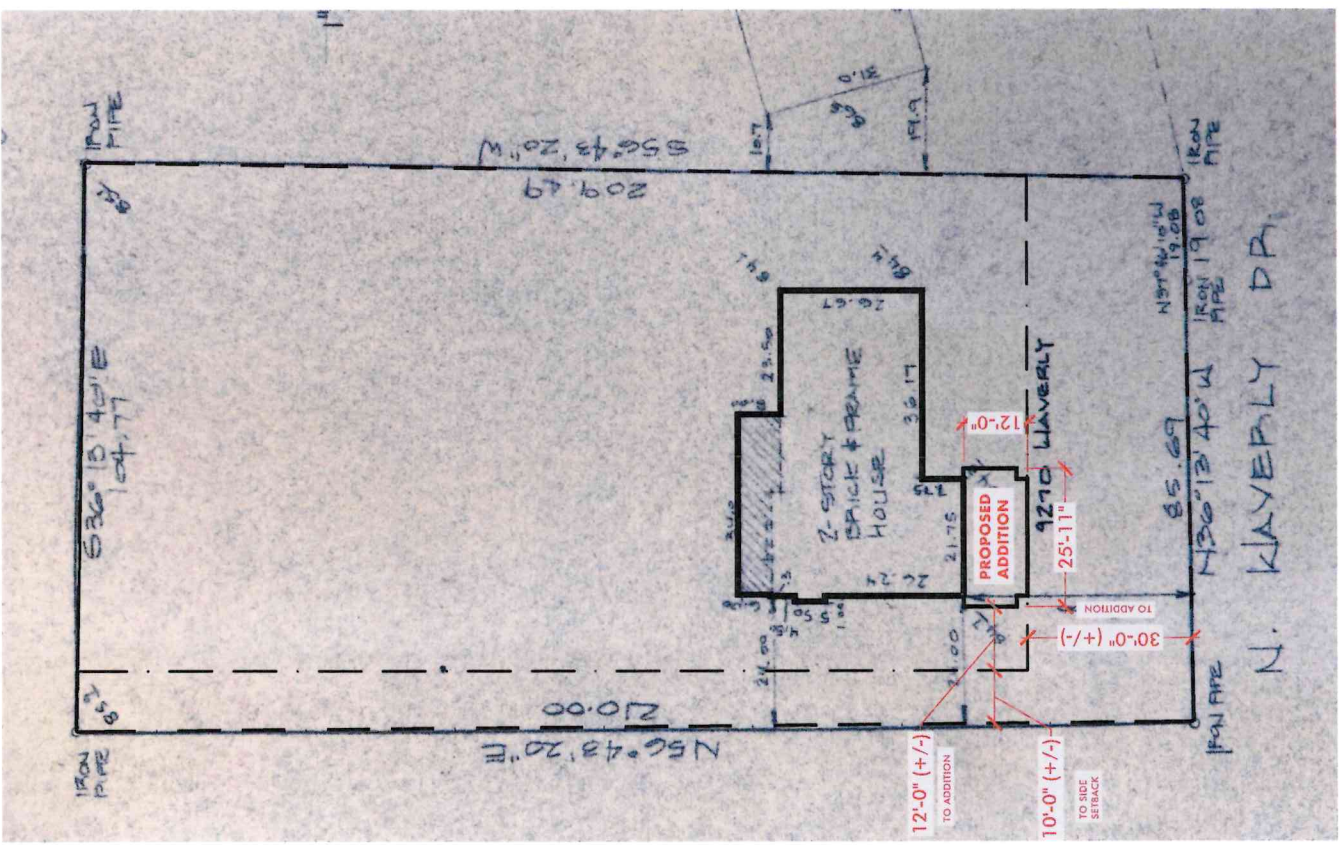
SCALE: N/A
 unless otherwise noted
SHEET CONTENTS
 SITE PLAN

DATE
 08.14.2024

project number
2422

sheet number
1 of 1

© SUBMITTED TO FEIN DESIGN, LLC



PROPOSED SITE PLAN



feindesign
residential
design-build
11124 north oakdaleway road
waukegan, wisconsin 53092
(262) 738-0774
www.feindesign.com

CONTACTS
NATE BROWN
(262) 738-0780
PERRY BROWN
(262) 738-0784

THE BARTH RESIDENCE
PROPOSED ADDITION
9270 NORTH WAWERLY DRIVE
BAYSIDE, WISCONSIN

SCALE : N/A
NOT TO SCALE
SHEET CONTENTS
EXTERIOR PERSPECTIVES
INTERIOR PERSPECTIVES

DATE
08.14.2024

project number
2422
sheet number
COVER

SHEET INDEX:

COVER	.....	EXTERIOR & INTERIOR PERSPECTIVES
SHEET 1	.....	CONSTRUCTION NOTES, PROJECT DATA
SHEET 2	.....	PROPOSED FOUNDATION & MAIN LEVEL PLANS
SHEET 3	.....	EXISTING & PROPOSED EXTERIOR FRONT & REAR ELEVATIONS
SHEET 4	.....	EXISTING & PROPOSED EXTERIOR SIDE ELEVATIONS
SHEET 5	.....	PROPOSED ROOF PLAN, PROPOSED SECTIONS
SHEET 6	.....	PROPOSED INTERIOR ELEVATIONS
SHEET 7	.....	PROPOSED ELECTRICAL PLAN



EXTERIOR PERSPECTIVES



feindesign
residential
design-build
11124 north waukegan road
waukegan, wisconsin 53092
(262) 238-0774
www.feindesign.com

contacts
NATE BROWN
OWNER
PERRY BROWN
OWNER

THE BARTH RESIDENCE
PROPOSED ADDITION
9270 NORTH WAVERLY DRIVE
BAYSIDE, WISCONSIN

SCALE: 1/4" = 1'
unless otherwise noted
SHEET CONTENTS
EXTERIOR ELEVATIONS

DATE
08.14.2024

project number
2422

sheet number
3 of 7

© BUSINESS CONSULT TO ARCHITECT, LLC



(X) EXISTING REAR ELEVATION

NORTHEASTERN FACING

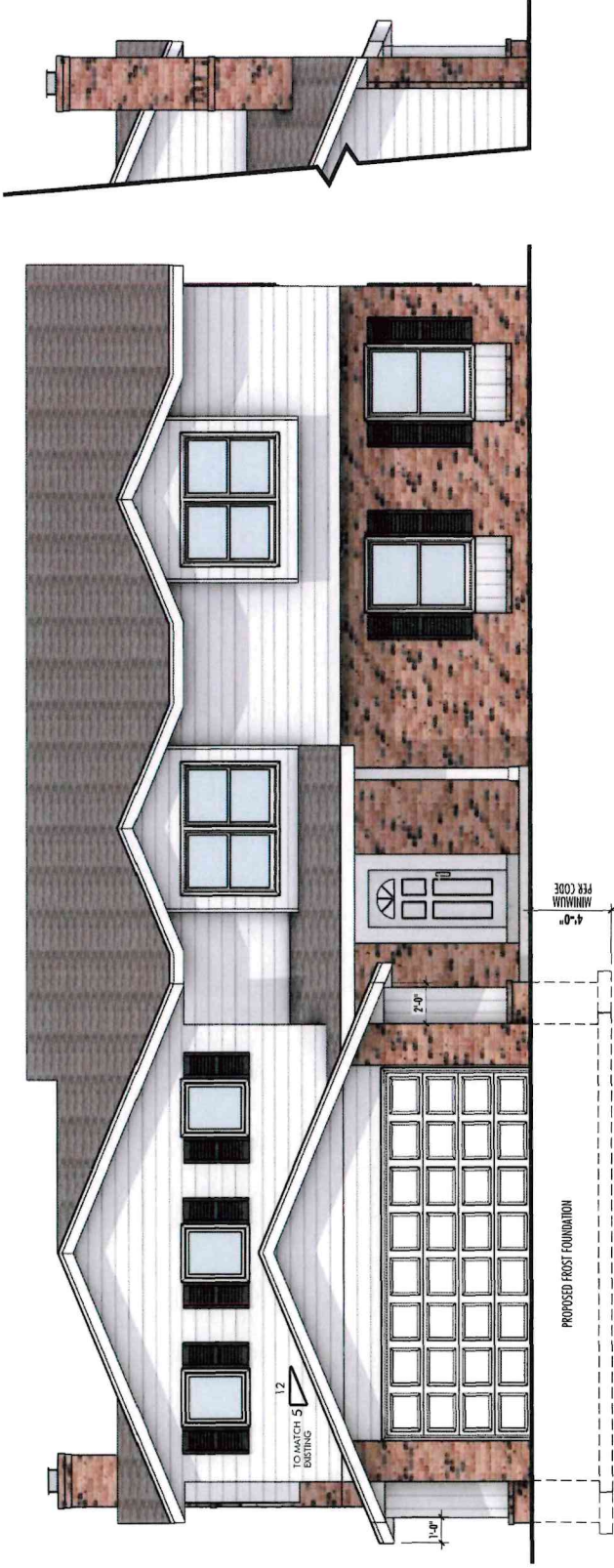


(W) EXISTING FRONT ELEVATION

SOUTHWESTERN FACING

EXTERIOR NOTES :

- 3 DIMENSIONAL ASPHALT SHINGLES TO MATCH EXISTING
- VINYL CORNER BOARDS TO MATCH EXISTING
- VENTED ALUMINUM SOFFIT SYSTEM TO MATCH EXISTING
- ALUMINUM DOOR TRIM DETAILS TO MATCH EXISTING
- ALUMINUM FASCIA DETAILS TO MATCH EXISTING
- BRICK VENEER / BELT TO MATCH EXISTING DETAILS
- 6" VERTICAL ALUMINUM SIDING TO MATCH EXISTING (SEE FRONT FACED)



(W) (X) PROPOSED FRONT (W) & REAR (X) ELEVATIONS

SOUTHWESTERN / NORTH EASTERN FACING



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ARCHITECT
PERRY BROWN
ARCHITECT

THE BARTH RESIDENCE
PROPOSED ADDITION
9270 NORTH WAVERLY DRIVE
BAYSIDE, WISCONSIN

Proposed construction drawings for:

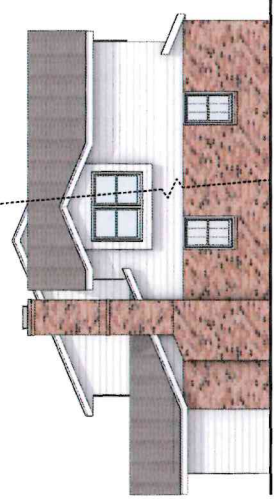
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unless otherwise noted
SHEET CONTENTS
EXTERIOR ELEVATIONS

DATE
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project number
2422

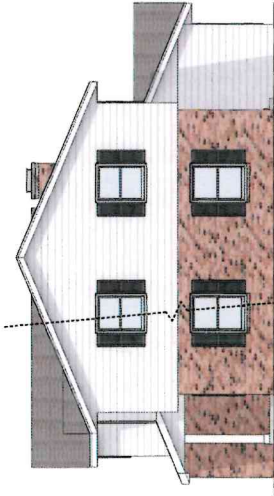
sheet number
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EXISTING SIDE ELEVATION

NORTHWESTERN FACING



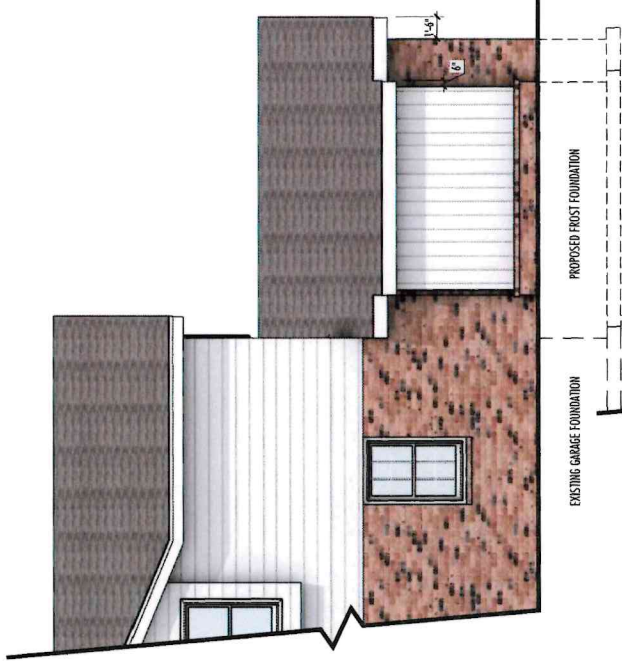
EXISTING SIDE ELEVATION

SOUTHEASTERN FACING



EXTERIOR NOTES :

- 3-DIMENSIONAL ASPHALT SHINGLES TO MATCH EXISTING
- VINYL CORNER BOARDS TO MATCH EXISTING
- VENTED ALUMINUM SOFFIT SYSTEM TO MATCH EXISTING
- ALUMINUM DOOR TRIM DETAILS TO MATCH EXISTING
- ALUMINUM FASCIA DETAILS TO MATCH EXISTING
- BRICK VENEER / BELT TO MATCH EXISTING DETAILS
- 6" VERTICAL ALUMINUM SIDING TO MATCH EXISTING (SEE FRONT FACADE)



PROPOSED SIDE ELEVATION

NORTHWESTERN FACING



PROPOSED SIDE ELEVATION

SOUTHEASTERN FACING





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THE BARTH RESIDENCE
PROPOSED ADDITION
9270 NORTH WAVERLY DRIVE
BAYSIDE, WISCONSIN

SCALE: 1/4" = 1'
unless otherwise noted
SHEET CONTENTS
ROOF PLAN
SECTIONS

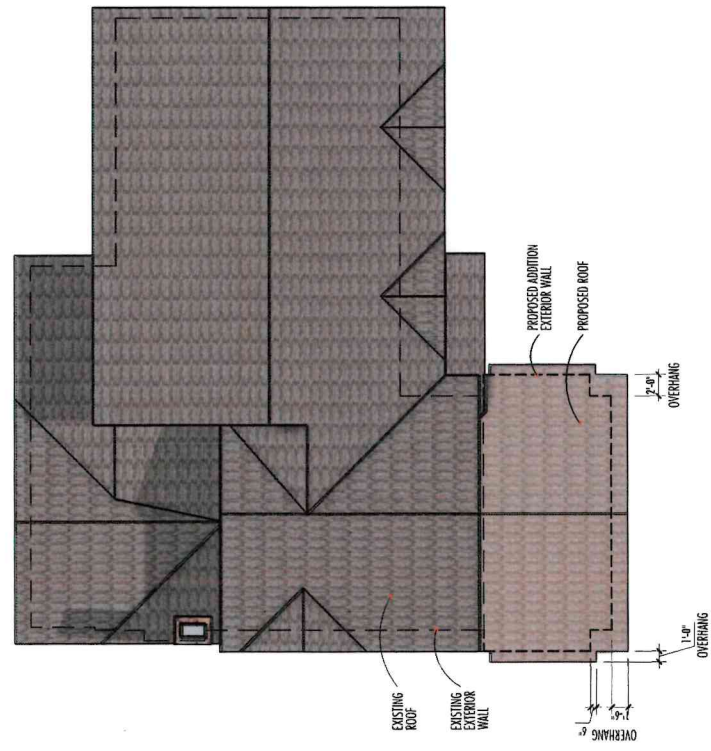
DATE
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ROOF NOTES :

- ONLY WHERE NEEDED PROVIDE - 5" SEAMLESS ALUMINUM GUTTERS AND 4" ALUMINUM DOWNSPOUTS OWNER TO VERIFY COLOR & STYLE
- LUMBERYARD AND/OR WOOD SUPPLIER TO VERIFY ALL BEAM AND MICROLAM SIZES INCLUDING ALL RELEVANT HANGER SIZES AND SPECIFICATIONS
- CARPENTER TO VERIFY WITH DESIGNER THE PROPER ROOF STRUCTURAL LAYOUT LUMBERYARD TO VERIFY AS WELL
- ROOF STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF COMM 21.02 (3)
- PROVIDE ICE-WATER SHIELD OVER ENTIRE HOUSE ROOF PERIMETER & IN ALL VALLEYS AND PENETRATIONS
- PROVIDE ROOF VENTILATION PER CODE REQUIREMENTS

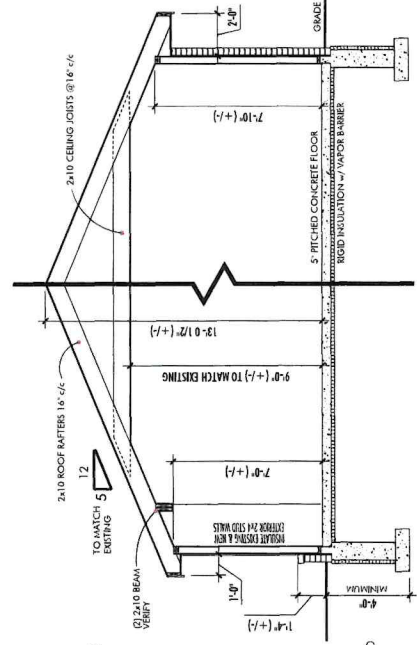


PROPOSED ROOF PLAN

SECTION NOTES :

- PROVIDE ROOF VENTILATION PER CODE REQUIREMENTS
- PREFORMED VENT TUBES BY INSULATION CONTRACTOR BETWEEN ROOF STRUCTURE
- RIDGE VENT SYSTEM PER CODE REQUIREMENTS
- ROOF STRUCTURE TO COMPLY w/ REQUIREMENTS OF COMM 21.02 (3)
- 40 YEAR DIMENSIONAL SHINGLE ROOFING - TO MATCH EXISTING
- 1/2" APA-RATED ROOF SHEATHING WITH CLIPS
- ON 1 5/8" FELT UNDERLAYMENT
- CONVENTIONAL FRAMING ROOF SYSTEM
- SEE PLANS FOR PROPOSED SPECIFICATIONS & LAYOUTS
- FINAL LAYOUTS TO BE PROVIDED BY LUMBERYARD
- PROVIDE ICE-N-WATER SHIELD SYSTEM BY GRADE
- OVER ENTIRE PERIMETER OF ROOF DECKING & VALLEYS (6X FEET FROM EDGE)
- ALUMINUM FASCIA TO MATCH EXISTING HOUSE DETAILS
- ALUMINUM SOFFIT SYSTEM TO MATCH EXISTING WITH VENTILATION PER CODE
- 5" SEAMLESS ALUMINUM GUTTERS AND 4" ALUMINUM DOWNSPOUTS (FIELD VERIFY WHERE NEEDED - ONLY INSTALL WHERE NEEDED)
- EXCAVATOR TO BURY DOWNSPOUTS UNDERGROUND AND DRAIN TO DAYLIGHT
- SIDING VENEER PER ELEVATIONS - TO MATCH EXISTING HOUSE DETAILS
- on HYDRO-GAP DRAINABLE HOUSE-WRAP (for equal) and
- 1/2" APA-RATED OSB EXTERIOR WALL SHEATHING
- 2x4 WALL STUDS (@ 16" c/c)
- WITH POLY VAPOR BARRIER & 1/2" DRYWALL

- SPRAY FOAM INSULATION PER CODE
- BID AL ALTERNATE - BATT INSULATION DETAILS PER CODE (LUMBERYARD TO VERIFY ALL MATERIALS W/ OWNER) (SEE EXTERIOR ELEVATIONS)
- FINISH FLOORING ON
- 3/4" T & G OSB GOLD SERIES FLOOR DECKING ON
- 2x4 TREATED MUD SILL
- WITH METAL FASTENING STRAPS OR ANCHORS PER CODE (4" c/c) AND SILL SEALER APPLIED (TYPICAL)
- 4-0" POURED CONCRETE FOUNDATION WALL SYSTEM
- MINIMUM OF 4-0" BELOW GRADE FOR FROST BARRIER
- 2 - #4 REBAR AT THE TOP AND BOTTOM
- 2 - #4 REBAR VERTICALLY INSTALLED - 6'-0" c/c (OPTIONAL)
- MASSON TO VERIFY ALL REINFORCING DETAILS WITH DESIGNER
- R-5 RIGID INSULATION UNDER SLAB
- T&R BACKPLASTER WEATHER-PROOF PRIOR TO RIGID INSULATION BEING APPLIED
- BACKFILL WITH NO. 1 STONE AROUND DRAIN-TILE FOOTINGS
- BACKFILL WITH EXISTING GRADE SOILS FULL WALL HEIGHT
- 24" x 8" CONTINUOUS CONCRETE FOOTINGS
- FOOTING TO BE BELOW LOCAL FROST LINE



SECTION

SECTION



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THE BARTH RESIDENCE
PROPOSED ADDITION
9270 NORTH WAVERLY DRIVE
BAYSIDE, WISCONSIN

Proposed construction drawings for:

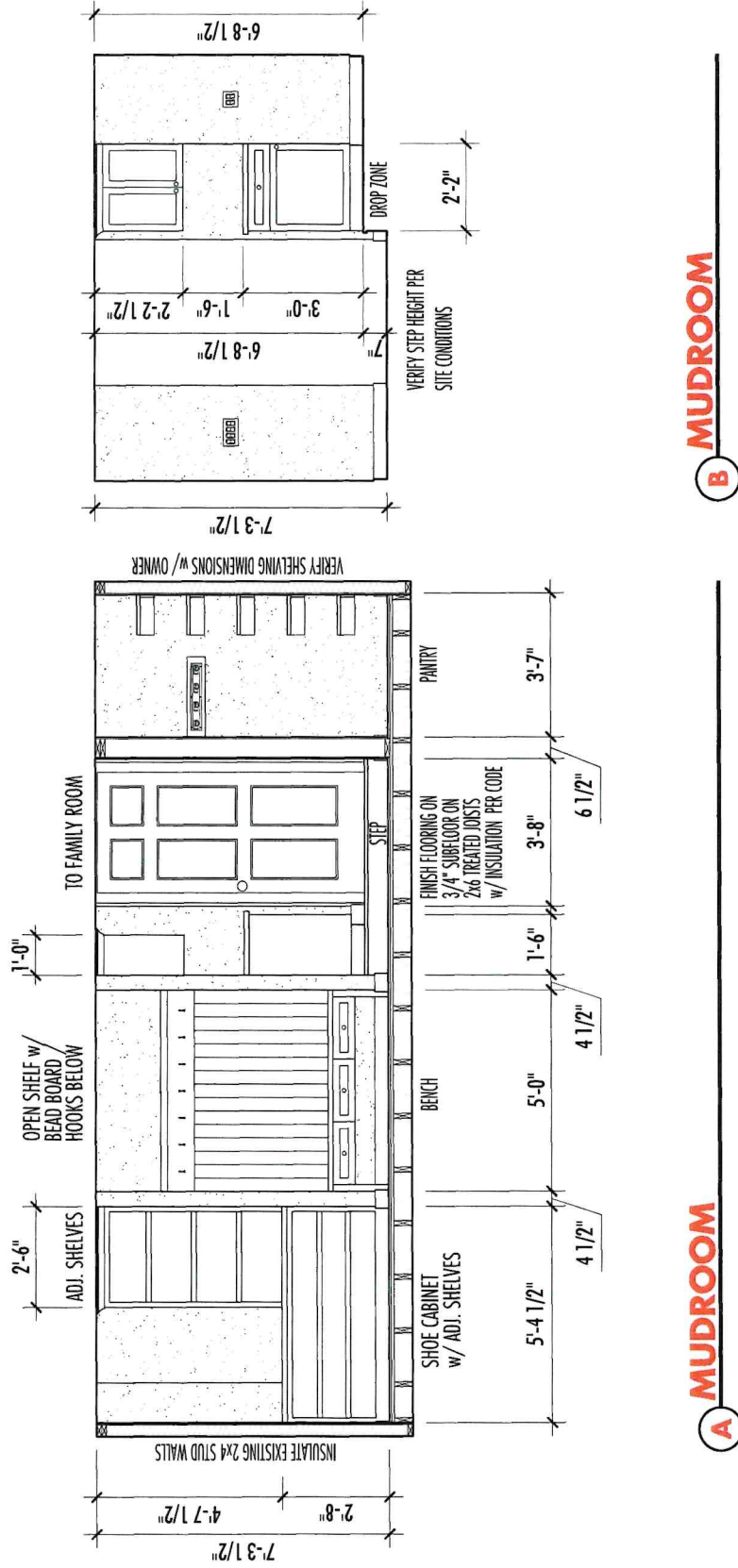
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SHEET CONTENTS
INTERIOR ELEVATIONS

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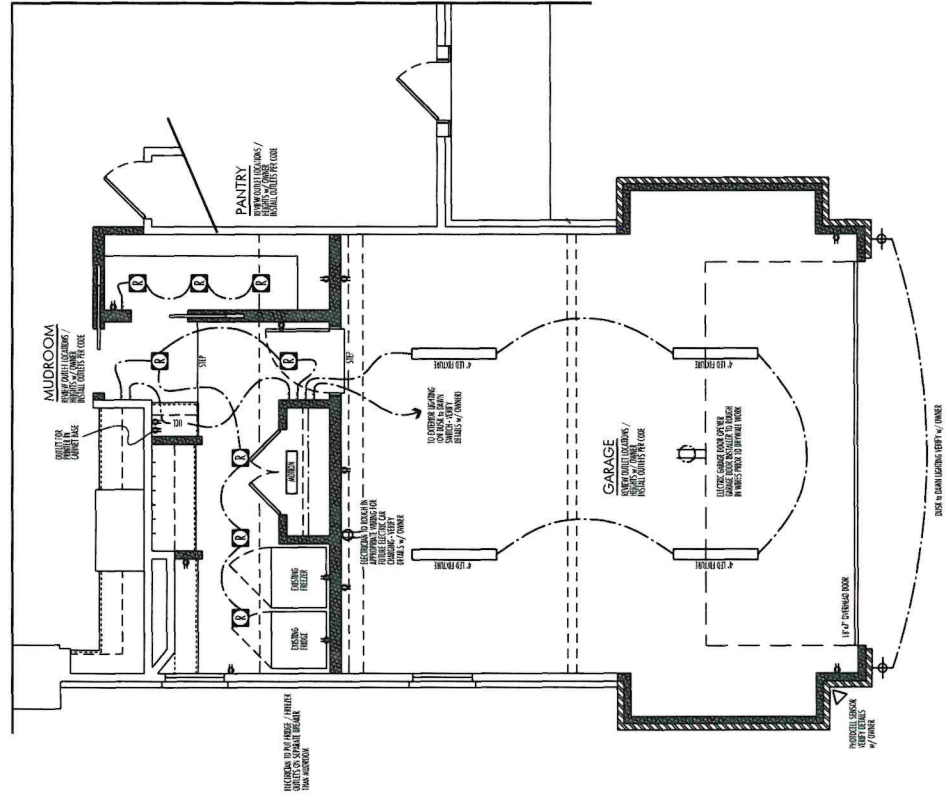
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THE BARTH RESIDENCE
PROPOSED ADDITION
2720 NORTH WAYERLY DRIVE
BAYSIDE, WISCONSIN
Proposed construction drawings for:

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SHEET CONTENTS
ELECTRICAL PLAN

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sheet number
7 of 7
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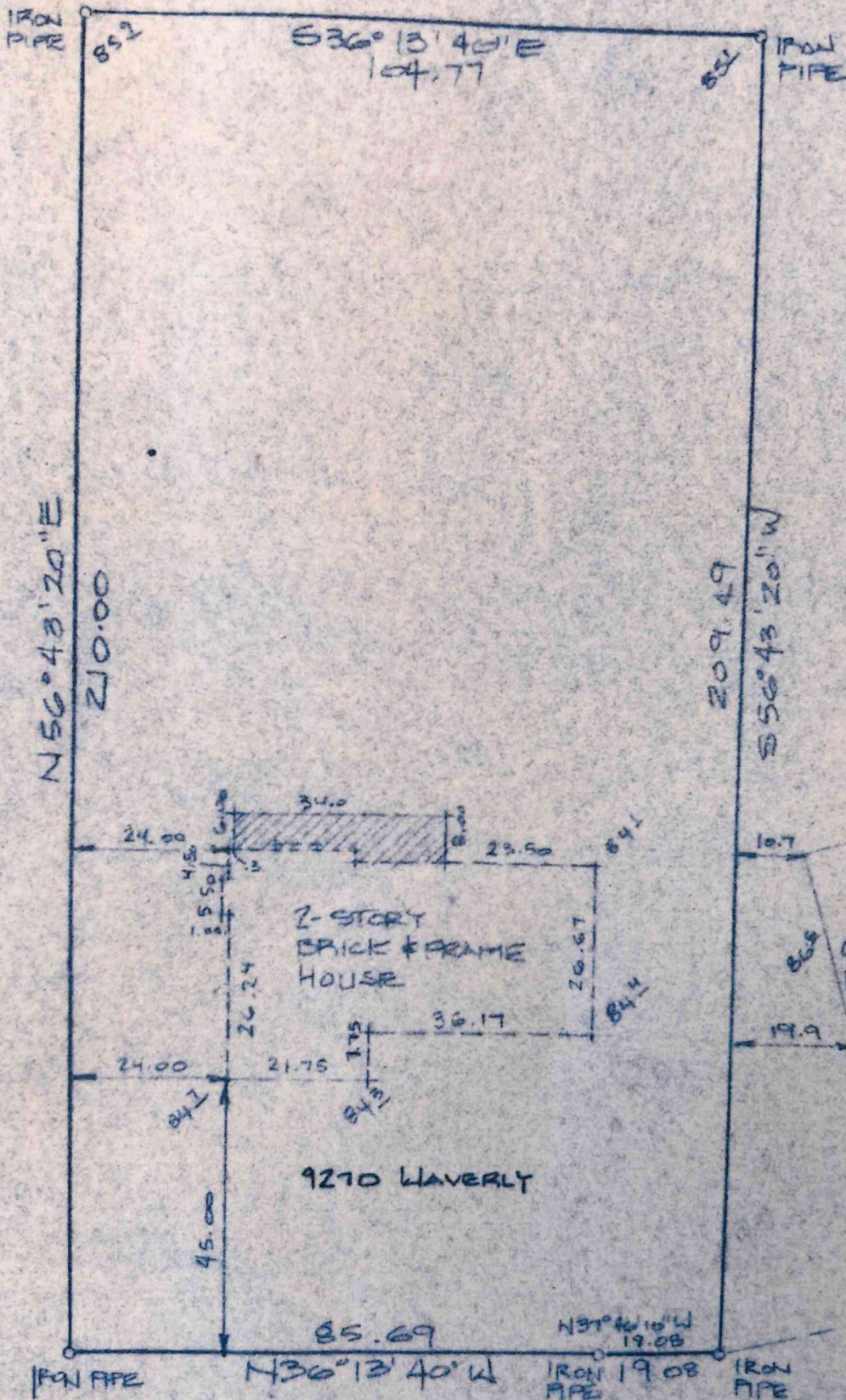
PROPOSED ELECTRICAL PLAN

ELECTRICAL NOTES :

- OUTLETS SHOWN ON PLAN ARE FOR REFERENCE ONLY. ELECTRICIAN TO PROVIDE OUTLETS PER CODE & DISCUSS ADDITIONAL OUTLET LOCATIONS WITH OWNER.
- ELECTRICAL CONTRACTOR TO VERIFY WITH BUILDER THE LOCATION OF ELECTRICAL FIXTURES AND THE HEIGHTS ABOVE THE FINISH FLOOR, etc.
- OWNER TO VERIFY WITH ELECTRICAL CONTRACTOR FOR PROPER SWITCHING & LIGHTING FOR ALL LIGHT FIXTURES - CONFIRM WITH DESIGNER.
- ALL MAIN LIGHT FIXTURE SWITCHES TO ACCOMMODATE DIMMERS (OWNER TO VERIFY EXACT SWITCH LOCATIONS).
- SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER 'COMM' 21.09 & 21.097 & 'COMM' 28 FIELD (VERIFY LOCATIONS) AND AMOUNT NEEDED.
- ELECTRICAL CONTRACTOR TO REVIEW EXISTING ELECTRICAL LAYOUT WITH PROPOSED DESIGN REVIEW w/ OWNER / DESIGNER.
- CABINET MAKER TO REVIEW ELECTRICAL PLAN & MODIFY CABINETRY AS NECESSARY FOR SWITCHES & OUTLETS.
- ELECTRICIAN TO VERIFY SWITCHES THAT MAY REQUIRE DEDICATED CIRCUITS & VERIFY ALL DETAILS w/ OWNER.

LEGEND

Ⓡ	RECESSED CAN - VERIFY SIZE	⊕	OUTLET (verify GF / switched)
⊕	LIGHT FIXTURE	⚡	SWITCH (verify dimmer)



1" = 30'-0"

N. LAVERLY DR.

DESCRIPTION OF PROPERTY: LOT 4 IN BLOCK 2 OF LAVERLY



















