



Village of Bayside
9075 N. Regent Rd.
Architectural Review Committee Meeting
January 15, 2018
Village Hall Board Room, 6:00 pm

**ARCHITECTURAL REVIEW COMMITTEE
AGENDA**

PLEASE TAKE NOTICE that a meeting of the Village of Bayside Architectural Review Committee will be held at Bayside Village Hall, 9075 North Regent Road, Bayside, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Approval of the December 4, 2017 minutes.

IV. BUSINESS

- A. Fence
8837 N Iroquois Rd
022-9979-000
- B. New 2-story single family home
1476 E Bay Point Rd
020-9998-002

V. ADJOURNMENT

Cindy Baker
Accounting Assistant
January 4, 2018

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village webs).



I. CALL TO ORDER

Chairperson Marisa Roberts called the meeting to order at 6:00pm

II. ROLL CALL

Trustee Liaison: Mike Barth
Chair: Marisa Roberts
Members: Sandra Muchin Kofman-excused
John Krampf
Dan Zitzer-excused
Tony Aiello-excused
Liz Levins-excused
Tom Noble

Also Present: Accounting Assistant, Cindy Baker
There was no one in the audience.

III. APPROVAL OF MINUTES

- A.** Approval of the November 20, 2017 minutes.

Motion by Trustee Barth, seconded by Tom Noble, to approve the minutes of November 20, 2017.
Motion carried unanimously.

IV. BUSINESS

- A. Commercial Sign-24"x52" vinyl
500 W Brown Deer Rd.
022-9970-000**

No one, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Commercial Sign 24"x52" vinyl.

Motion by John Krampf, seconded by Trustee Barth, to approve the sign as described and presented in the application. Motion carried unanimously.

- B. Second story addition
9140 N Meadowlark Ln.
020-0036-000**

Tyler Kobar, from John Savermilch Jr. GC, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Second story addition.

Motion by Trustee Barth, seconded by Marisa Roberts, to approve the second story addition as described and presented in the application. Motion carried unanimously

V. ADJOURNMENT

Motion by Marisa Roberts, seconded by Trustee Barth, to adjourn the meeting at 6:08pm. Motion carried unanimously.

Cindy Baker
Accounting Assistant

Project Proposal

Date 12/27/2017

Property Address 8837 N Iroquois Road

Zoning Residential

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Install perimeter fence with total length of 265 feet including two gates. See attached plot diagram.

Fence will approach but not directly connect to existing fence on rear (west) property line.

Fence style will be contemporary vertical picket and made of cedar.

Posts will be 4' tall. Slats will be 2-3" wide with appropriately sized gaps to meet "50% open" regulation due to length of fence in relation to property boundary.

***** **For Office Use Only** *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>1/15/2018</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

1/4/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Lindsay and Kory Keeney</p> <p>PROJECT ADDRESS: 8837 N Iroquois Rd</p>	<p>PROJECT SUMMARY: New fence, 265ft total length including 2 gates. 4ft tall, 50% open design, cedar lumber.</p>
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VILLAGE CODE REVIEW

LENGTH

Proposed fence is 50% open design and therefore the length is not limited.

Per Village Code Sec. 14-182 – Fences (l) Fence Type: *No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

Property total perimeter length per recorded dimensions on Plat of Survey:

144.54'(north) + 65.95'(east) + 188.65'(south) + 176.97'(west) = 576.11' total

Proposed 50% open fence length = 265'

PROPOSED LENGTH COMPLIES

HEIGHT

Per Village Code Sec. 14-182 – Fences (k) Fence Height: *Fences constructed behind the rear elevation of the home shall not exceed six feet in height except when adjacent to an active railroad property, state or county highway, or commercial parking lot property, in which case it shall not exceed eight feet. Fences constructed within the side yards of a home but behind the forward most point of the adjacent structures shall not exceed six feet in height.*

Proposed 4ft fence is in the side yard and rear of house, behind the forward most point of the house.

PROPOSED HEIGHT COMPLIES

MATERIAL / FINISH

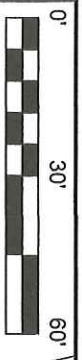
Per Village Code Sec. 14-182 – Fences (l) Fence Type: *Wood fences shall be unfinished or stained or oiled and allowed to weather naturally to help them blend into the landscape.*

Proposed fence is unfinished cedar lumber.

PROPOSED MATERIAL / FINISH COMPLIES

Dan Hatch, RA

Plans Examiner
SAFEbuilt Wisconsin, LLC
920-461-8873
dhatch@safebuilt.com

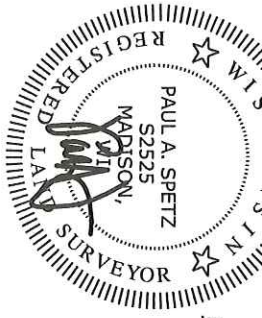


BEARINGS ARE REFERENCED TO WARRANTY DEED DOC. NO. 09855956 NORTH LINE OF PARCEL BEARS S 90°00'00" E



PREPARED FOR:
KORY KEENEY
8837 NORTH IROQUOIS AVENUE
BAYSIDE, WI 53217

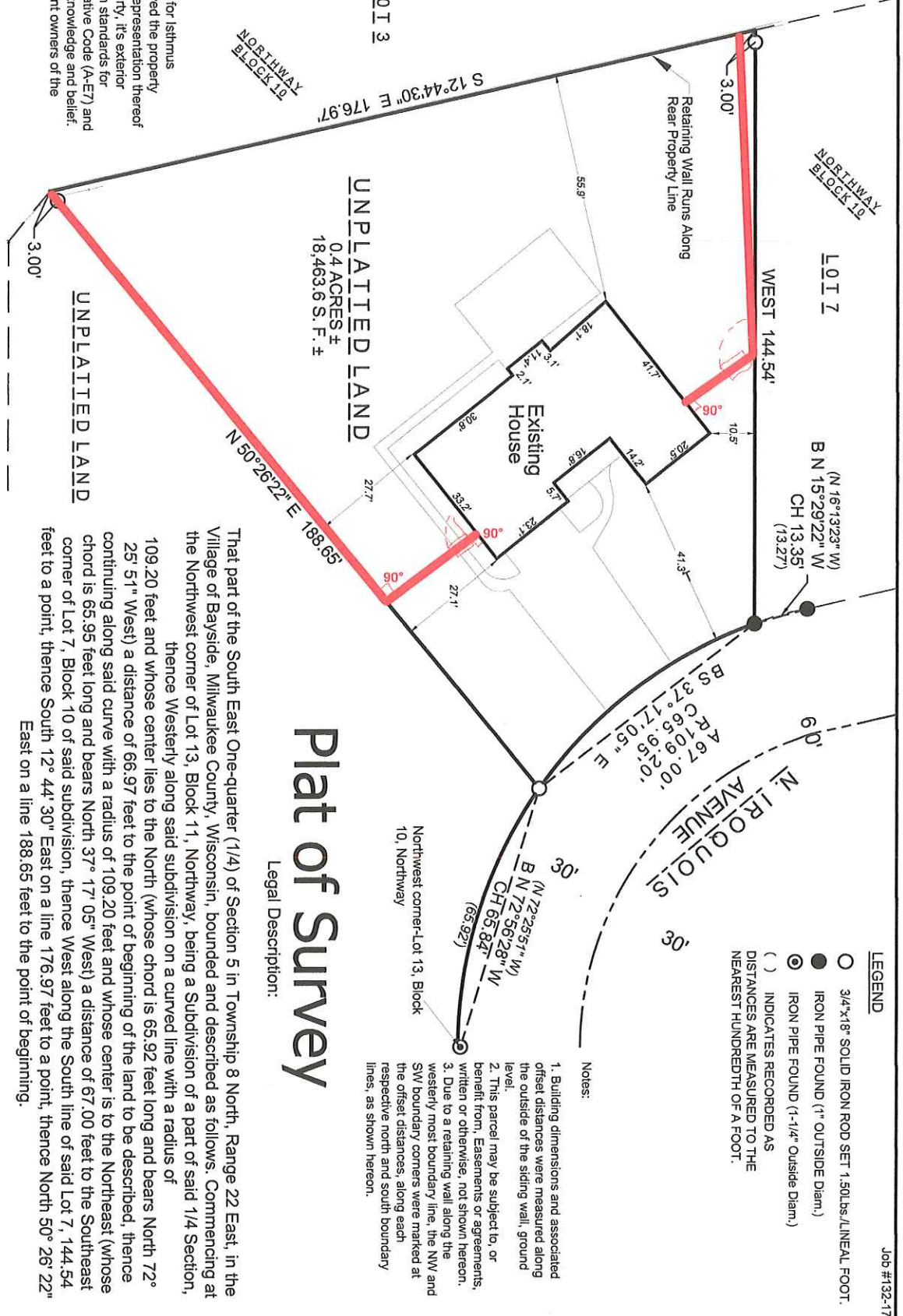
PREPARED BY:
ISTHMUS SURVEYING, LLC
450 NORTH BALDWIN STREET
MADISON, WI 53703
(608) 244-1090
www.isthmussurveying.com



SURVEYOR'S CERTIFICATE

I, Paul A. Spetz, registered land surveyor for Isthmus Surveying LLC, hereby certify that we surveyed for the property described above and that the map is a true representation thereof and shows the size and location of the property, its exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this 14th Day of November, 2017, Paul A. Spetz, S 2525



Plat of Survey

Legal Description:

That part of the South East One-quarter (1/4) of Section 5 in Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin, bounded and described as follows. Commencing at the Northwest corner of Lot 13, Block 11, Northway, being a Subdivision of a part of said 1/4 Section, thence Westerly along said subdivision on a curved line with a radius of 109.20 feet and whose center lies to the North (whose chord is 65.92 feet long and bears North 72° 25' 51" West) a distance of 66.97 feet to the point of beginning of the land to be described, thence continuing along said curve with a radius of 109.20 feet and whose center is to the Northeast (whose chord is 65.95 feet long and bears North 37° 17' 05" West) a distance of 67.00 feet to the Southeast corner of Lot 7, Block 10 of said subdivision, thence West along the South line of said Lot 7, 144.54 feet to a point, thence South 12° 44' 30" East on a line 176.97 feet to a point, thence North 50° 26' 22" East on a line 188.65 feet to the point of beginning.

- LEGEND**
- 3/4"x18" SOLID IRON ROD SET 1.50Lbs./LINEAL FOOT.
 - IRON PIPE FOUND (1" OUTSIDE DIAM.)
 - ⊙ IRON PIPE FOUND (1-1/4" OUTSIDE DIAM.)
 - () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.

- Notes:**
1. Building dimensions and associated offset distances were measured along the outside of the siding wall, ground level.
 2. This parcel may be subject to, or benefit from, Easements or agreements, written or otherwise, not shown hereon.
 3. Due to a retaining wall along the westerly most boundary line, the NW and SW boundary corners were marked at the offset distances, along each respective north and south boundary lines, as shown hereon.





Project Proposal

Date 12/4/17

Property Address 1476 EAST BAY POINT RD BAYSIDE VT 53217

Zoning _____

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction
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<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
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<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

***** For Office Use Only *****

Yes	No	
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<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

12/15/2017

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Aring Ravine LLC</p> <p>PROJECT ADDRESS: 1476 East Bay Point Rd</p>	<p>PROJECT SUMMARY: New 2-story single family home. Project includes interior pool and 7,669 sqft of living space. Total project sqft = 11,384</p>
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VILLAGE CODE REVIEW

Reviewer believes this complies with Village Code Section 14-2 (2) *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

The project is located in Bayside's residential zoning district 'A' and per Bayside code Sec 106.3(a) the dwelling footprint may not exceed 15% of the gross area of the lot. The project's land surveyor, Daniel Bednar, PLS of Chaput Land Surveys provided the following information stating that the dwelling's footprint would only take up 3.88% of the parcel.

11,384 SF - Foundation
293,718 SF - Lot 1 CSM No. 8943
 $11,384/293,718=0.0388$ or 3.88%

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
920-461-8873
dhatch@safebuilt.com

PLAT OF SURVEY

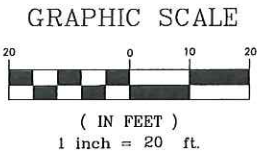
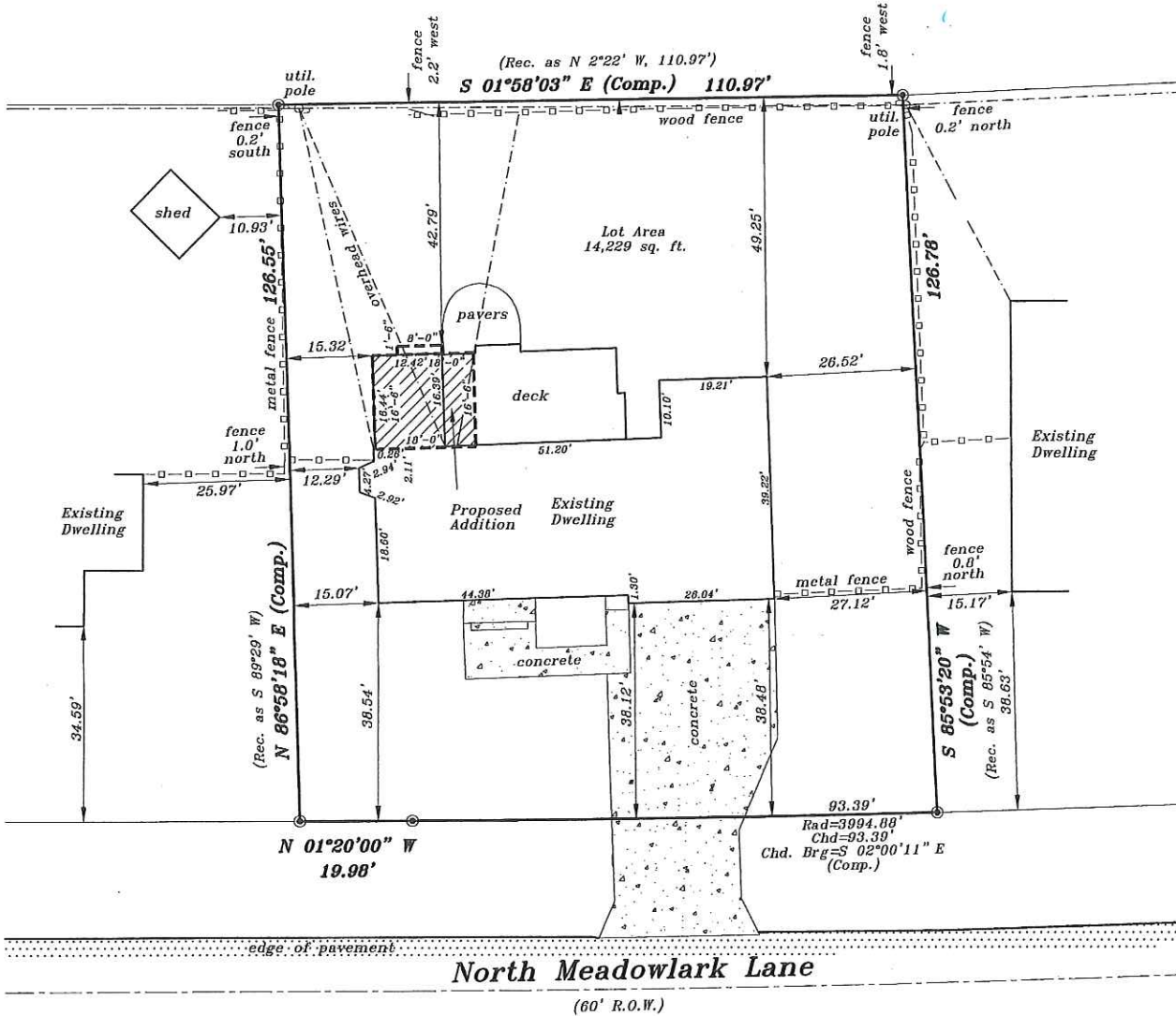
LOCATION: 9140 North Meadowlark Lane, Bayside, Wisconsin

LEGAL DESCRIPTION:

Lot 2, in Block 5, in **BAY SIDE**, a subdivision of 39 acres located in the Southeast 1/4 of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee, Wisconsin.

November 28, 2017

Survey No. 108869



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS AND CIVIL ENGINEERS
9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH. (414) 529-5380 FAX (414) 529-9787
email address: survey@metropolitansurvey.com

- ⊙ — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED _____

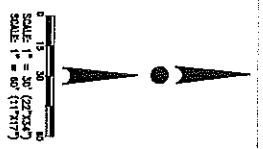
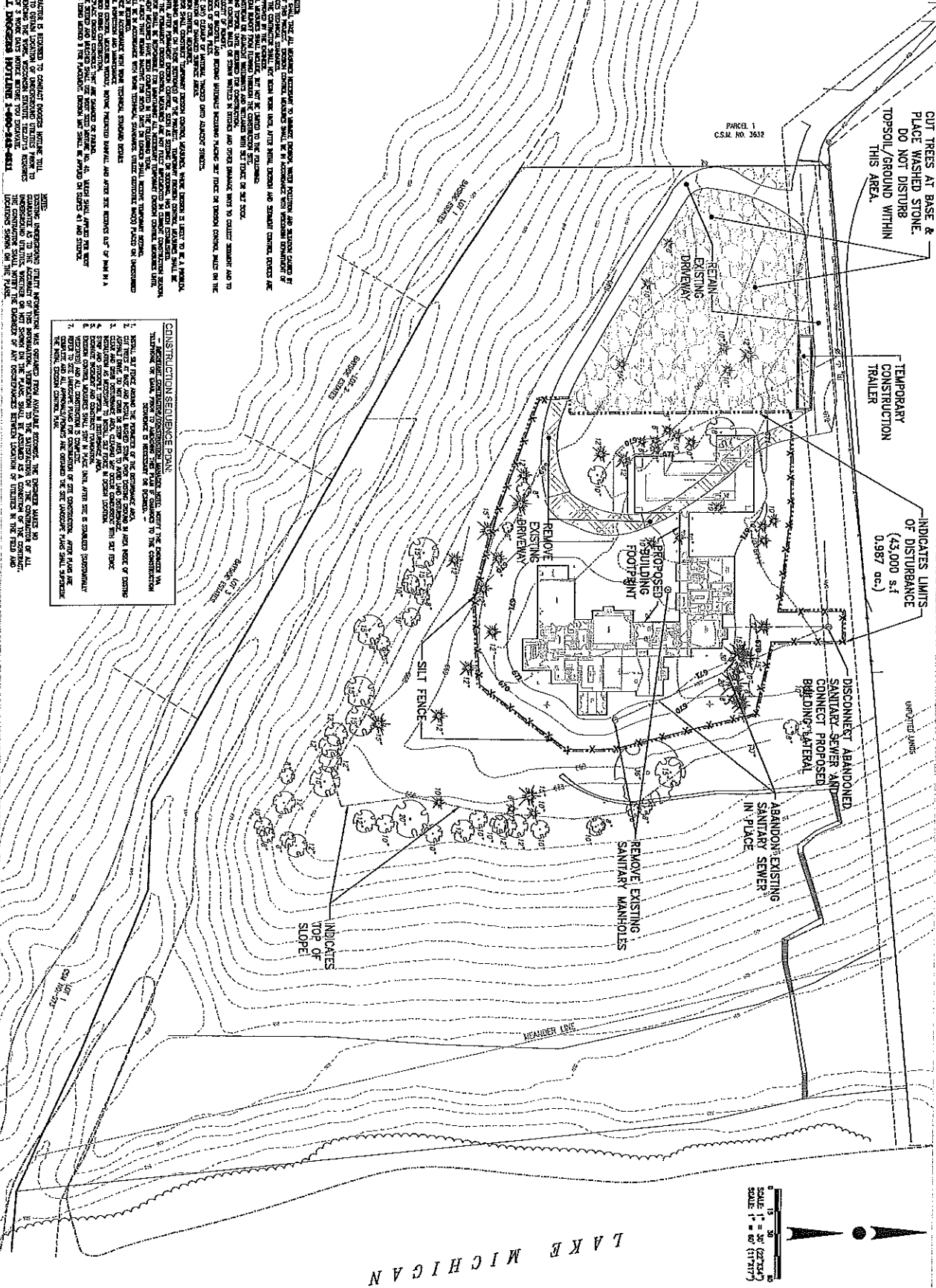
Dennis C. Sauer
Dennis C. Sauer
Professional Land Surveyor S-2421

CONTRACTOR IS REQUIRED TO CONDUCT POST-CONSTRUCTION MONITORING AND MAINTENANCE OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

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- CONSTRUCTION SEQUENCE PLAN**
1. SITE PREP AND EROSION CONTROL MEASURES
 2. EXCAVATION AND FOUNDATION WORK
 3. CONCRETE FOUNDATION AND WALLS
 4. ERECT STEEL FRAMING
 5. ROOFING AND CLADDING
 6. MECHANICAL, ELECTRICAL AND PLUMBING
 7. INTERIOR FINISHES
 8. EXTERIOR FINISHES
 9. LANDSCAPING AND EROSION CONTROL MEASURES

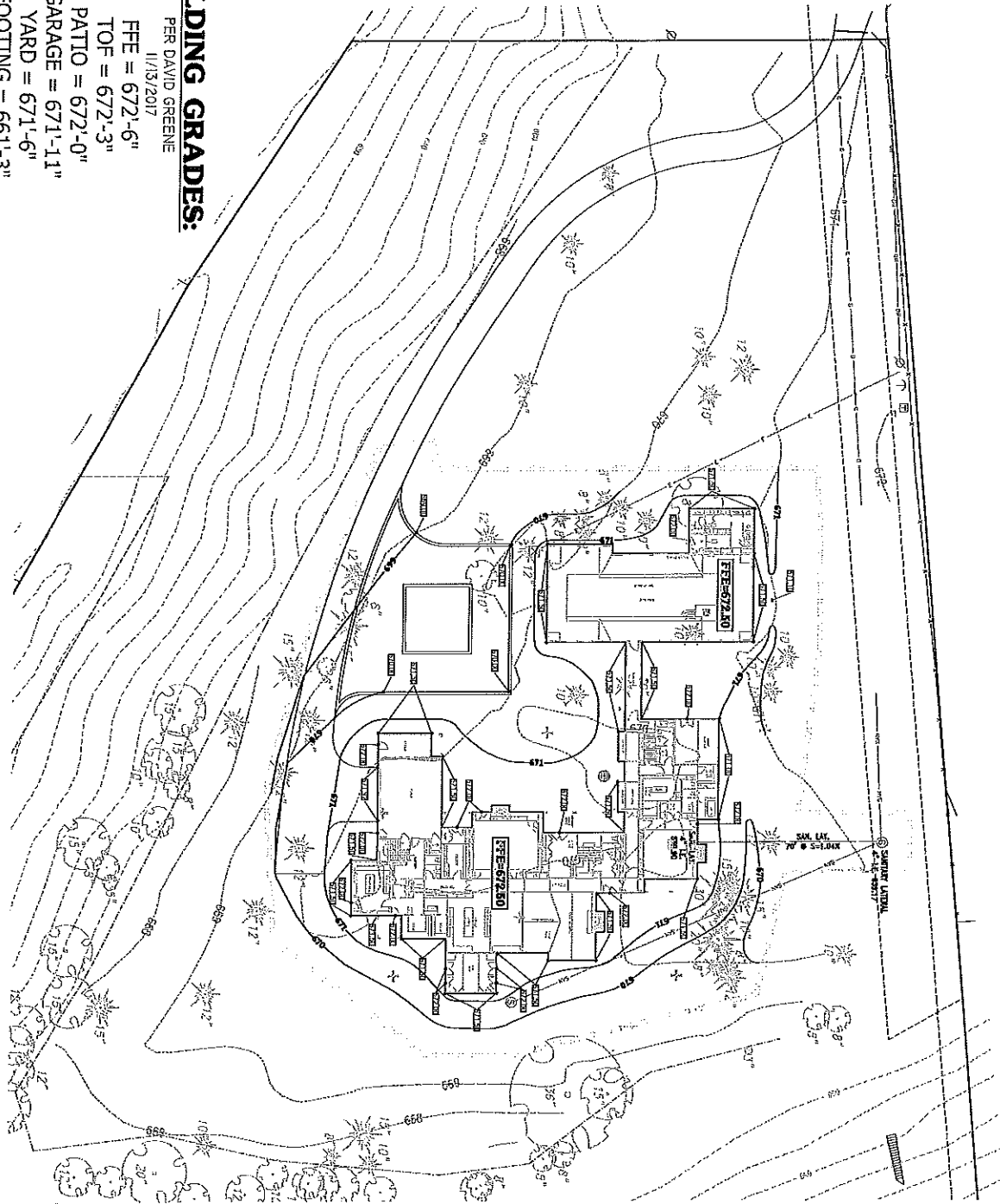


LAKE MICHIGAN

<p>PROJECT: ARING Ravine 1476 EAST BAY POINT ROAD VILLAGE OF BAYSIDE, WISCONSIN BY: BEYER CONSTRUCTION 3080 S. CALHOUN RD. NEW BERLIN, WI 53151</p>											
<p>REVISION HISTORY</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>12/01/2017</td> <td>EROSION CONTROL</td> </tr> <tr> <td>12/01/2017</td> <td>EROSION CONTROL</td> </tr> <tr> <td>12/01/2017</td> <td>EROSION CONTROL</td> </tr> </tbody> </table>	DATE	DESCRIPTION	12/01/2017	EROSION CONTROL	12/01/2017	EROSION CONTROL	12/01/2017	EROSION CONTROL	<p>DATE: DECEMBER 1, 2017</p>	<p>JOB NUMBERS: 77031</p>	<p>DESCRIPTION: EROSION CONTROL PLAN</p>
DATE	DESCRIPTION										
12/01/2017	EROSION CONTROL										
12/01/2017	EROSION CONTROL										
12/01/2017	EROSION CONTROL										
<p>C10</p>											

BUILDING GRADES:

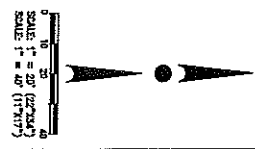
- PER DAVID GREENE
- 11/13/2017
- FEE = 672'-6"
- TOF = 672'-3"
- PATIO = 672'-0"
- GARAGE = 671'-1.1"
- YARD = 671'-6"
- FOOTING = 661'-3"
- BOF = 660'-3"



NOTES:

1. CONSULTING IS REQUIRED TO VERIFY ALL INFORMATION PROVIDED BY THE CLIENT AND TO OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AND STATE AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AND STATE AUTHORITIES.
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CALL SYMBOLS: 1-800-448-8811



		PROJECT: ARING RAVINE 1476 EAST BAY POINT ROAD VILLAGE OF BAYSIDE, WISCONSIN BY: BEYER CONSTRUCTION 3080 S. CALHOUN RD. NEW BERLIN, WI 53151								
		REVISION HISTORY: <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	DESCRIPTION						
DATE	DESCRIPTION									
DATE: DECEMBER 1, 2017	JOB NUMBER: 17031	DESCRIPTION: GRADING PLAN								
SHEET		C20								

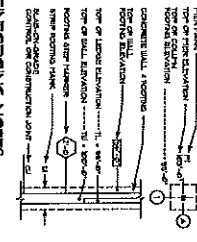
DESIGN LIVE LOADS

Room	Design Live Load (psf)
Office	50
Conference Room	50
Reception Area	50
Waiting Area	50
Stair	100
Elevator	100
Restroom	50
Storage Room	50
Mechanical Room	50
Garage	120
Roof Deck	20
Unfinished Floor	20
Roof	20
Flat Roof	20
Gabled Roof	20
Shed Roof	20
Roof with Snow	20
Roof with Ice	20
Roof with Wind	20
Roof with Rain	20
Roof with Hail	20
Roof with Debris	20
Roof with Equipment	20
Roof with Storage	20
Roof with Access	20
Roof with Drains	20
Roof with Vents	20
Roof with Skylights	20
Roof with Windows	20
Roof with Doors	20
Roof with Stairs	20
Roof with Elevators	20
Roof with Ramps	20
Roof with Bridges	20
Roof with Walkways	20
Roof with Platforms	20
Roof with Benches	20
Roof with Seating	20
Roof with Tables	20
Roof with Chairs	20
Roof with Stools	20
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Roof with Seating	20
Roof with Tables	20
Roof with Chairs	20
Roof with Stools	20

DESIGN STRENGTHS

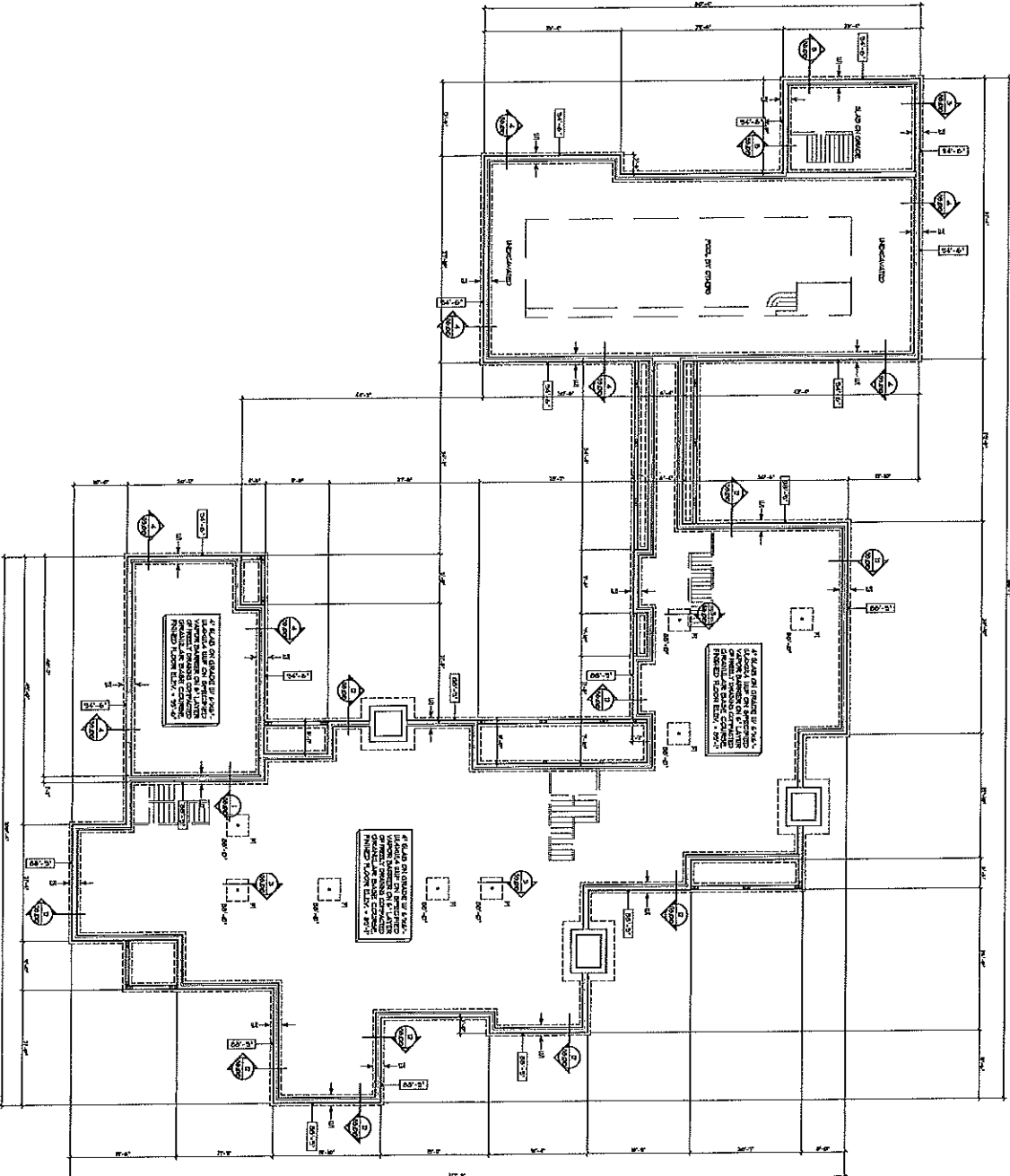
Material	Design Strength
Concrete	4,000 psi
Rebar	60,000 psi
Steel Deck	50 ksi
Steel Joist	50 ksi
Steel Beam	50 ksi
Steel Column	50 ksi
Steel Plate	50 ksi
Steel Angle	50 ksi
Steel Channel	50 ksi
Steel I-Beam	50 ksi
Steel Joist	50 ksi
Steel Truss	50 ksi
Steel Girder	50 ksi
Steel Beam-Column	50 ksi
Steel Moment-Resisting	50 ksi
Steel Braced	50 ksi
Steel Unbraced	50 ksi
Steel Compression	50 ksi
Steel Tension	50 ksi
Steel Shear	50 ksi
Steel Flexure	50 ksi
Steel Axial	50 ksi
Steel Bending	50 ksi
Steel Twisting	50 ksi
Steel Combined	50 ksi
Steel Interaction	50 ksi
Steel Stability	50 ksi
Steel Buckling	50 ksi
Steel Slenderness	50 ksi
Steel Eccentricity	50 ksi
Steel Imperfections	50 ksi
Steel Residual Stress	50 ksi
Steel Welding	50 ksi
Steel Bolting	50 ksi
Steel Connections	50 ksi
Steel Details	50 ksi
Steel Fabrication	50 ksi
Steel Erection	50 ksi
Steel Maintenance	50 ksi
Steel Repairs	50 ksi
Steel Replacement	50 ksi
Steel Renovation	50 ksi
Steel Restoration	50 ksi
Steel Rehabilitation	50 ksi
Steel Reinforcement	50 ksi
Steel Strengthening	50 ksi
Steel Seismic	50 ksi
Steel Wind	50 ksi
Steel Snow	50 ksi
Steel Rain	50 ksi
Steel Ice	50 ksi
Steel Debris	50 ksi
Steel Equipment	50 ksi
Steel Storage	50 ksi
Steel Access	50 ksi
Steel Drains	50 ksi
Steel Vents	50 ksi
Steel Skylights	50 ksi
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Steel Elevators	50 ksi
Steel Ramps	50 ksi
Steel Bridges	50 ksi
Steel Walkways	50 ksi
Steel Platforms	50 ksi
Steel Benches	50 ksi
Steel Seating	50 ksi
Steel Tables	50 ksi
Steel Chairs	50 ksi
Steel Stools	50 ksi

FOUNDATION LEGEND



REINFORCING NOTES

1. REINFORCING SHALL BE DETAIL IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
2. ALL REINFORCING SHALL BE EPOXY ADHESIVE APPLIED TO ALL SPLICED JOINTS.
3. ALL REINFORCING SHALL BE EPOXY ADHESIVE APPLIED TO ALL LAP JOINTS.
4. ALL REINFORCING SHALL BE EPOXY ADHESIVE APPLIED TO ALL WELD JOINTS.
5. ALL REINFORCING SHALL BE EPOXY ADHESIVE APPLIED TO ALL BENT JOINTS.
6. ALL REINFORCING SHALL BE EPOXY ADHESIVE APPLIED TO ALL TIED JOINTS.



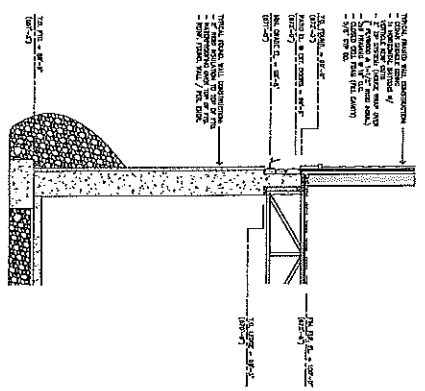
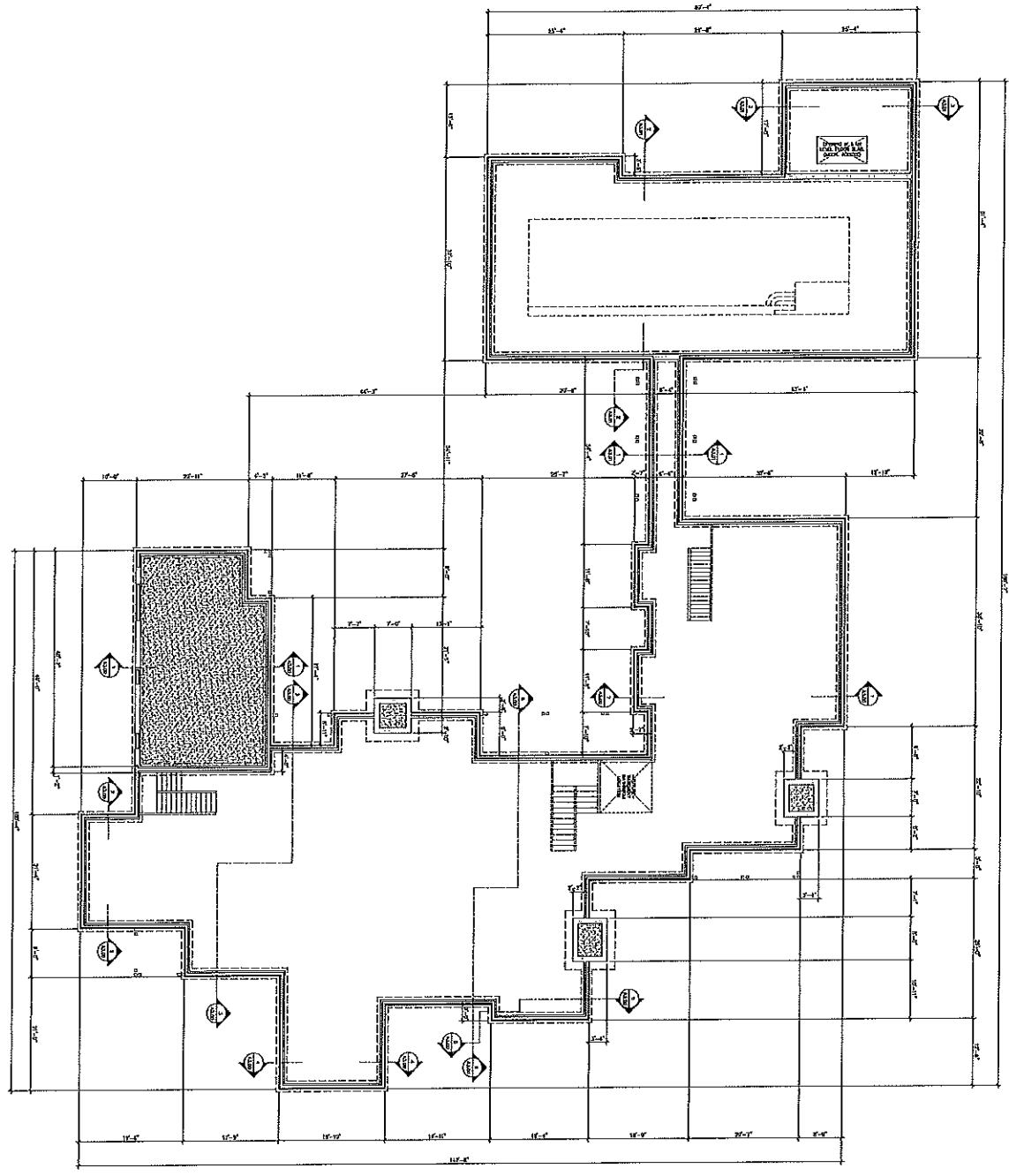
FOOTING SCHEDULE

Footings	Dimensions	Notes
1	12" x 12" x 12"	CONCRETE
2	12" x 12" x 12"	CONCRETE
3	12" x 12" x 12"	CONCRETE
4	12" x 12" x 12"	CONCRETE
5	12" x 12" x 12"	CONCRETE
6	12" x 12" x 12"	CONCRETE
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FOR PERMIT ONLY
 DATED 12/15/2017
 BARBER ENGINEERING, LLC

Sheet Title
 FOUNDATION PLAN

Revisions
 Date 3/1/2017

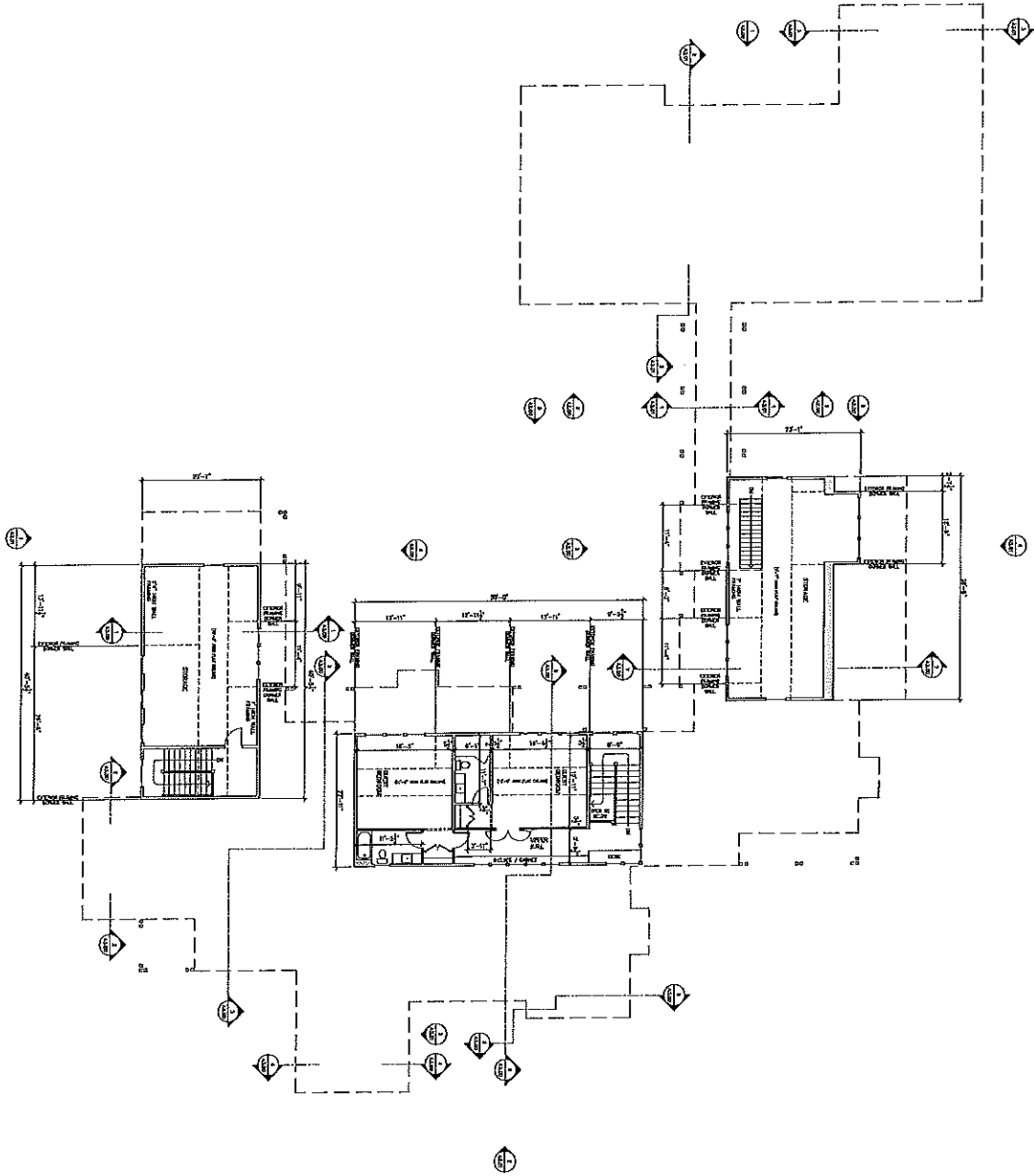


NO.	DESCRIPTION
1	FOUNDATION PLAN
2	TYPICAL FOUNDATION / WALL DETAIL

'ARING RAVINE'
JULIE DIKLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE



DAVID GREENE & ASSOCIATES LTD
DAVID GREENE & ASSOCIATES LTD
10666 BAY SHORE DRIVE
SISTON BAY, WI 54224
PH: 928. 854. 3103
EMAIL: ggreenearch@comcast.net



REVISIONS:
NO. DATE BY
1 11/11/11 JG
2 11/11/11 JG
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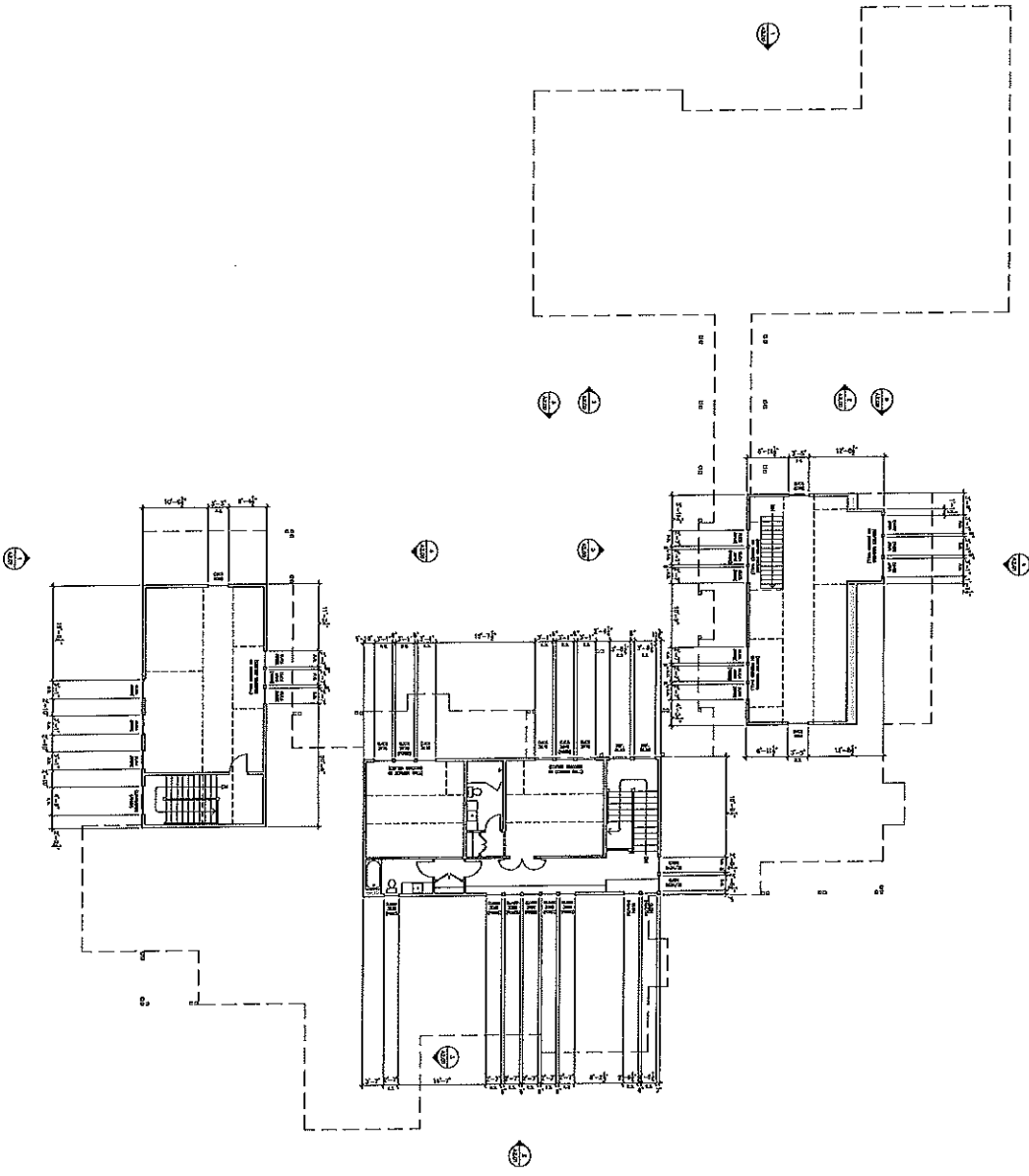
'ARING RAVINE'
JULIE WILHEIN RESIDENCE - 1416 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE



DAVID GREENE & ASSOCIATES, LTD.
DAVID GREENE & 609 EAST PALM, FLA.
13886 BAY SHORE DRIVE
SUNSHINE BAY, FL 32256
PH: 321.834.3184
EMAIL: davidgreeneg@aol.com

DAVID GREENE & ASSOCIATES, LTD.
DAVID GREENE & 609 EAST PALM, FLA.
13886 BAY SHORE DRIVE
SUNSHINE BAY, FL 32256
PH: 321.834.3184
EMAIL: davidgreeneg@aol.com

1 SECOND FLOOR - WINDOW & DOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"



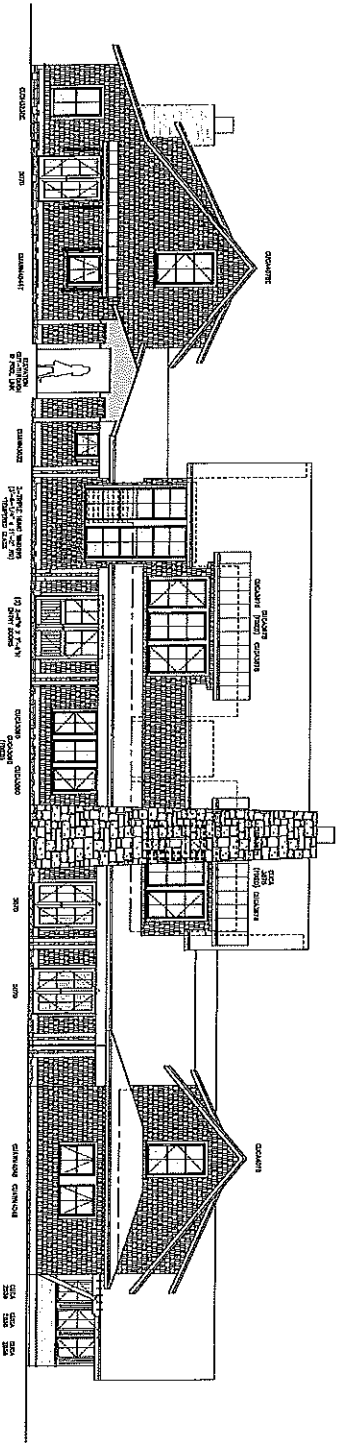
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BY: [Signature]	DATE: 11/10/10
CHECKED: [Signature]	DATE: 11/10/10
APPROVED: [Signature]	DATE: 11/10/10
PROJECT: 11010	

'ARING RAVINE'
JULIE UHLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE

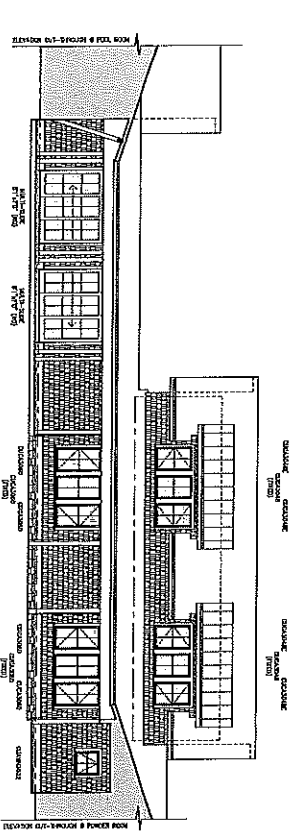


DAVID TORRENCE - ASSOCIATES LTD
DAVID GREEN & ASSOCIATES, LLC
10000 BAY SHORE DRIVE
SISTER BAY, WA 98224
PHONE: 360.534.5108
EMAIL: gtorrence@dtor.com

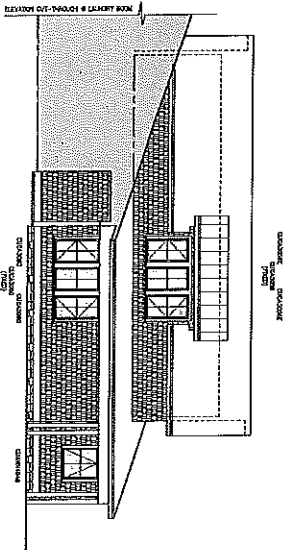




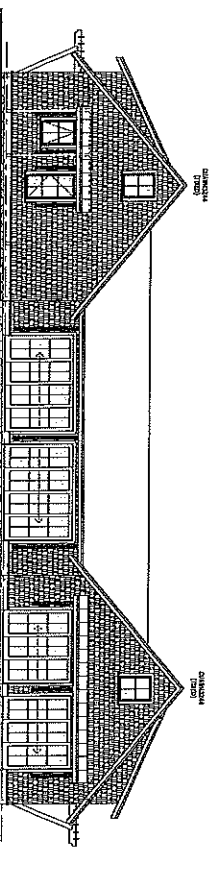
5 GUEST BEDROOMS & FRONT ENTRY & WEST WALL OF GARAGE (WEST WALL OF COURTYARD)
SCALE: 3/8" = 1'



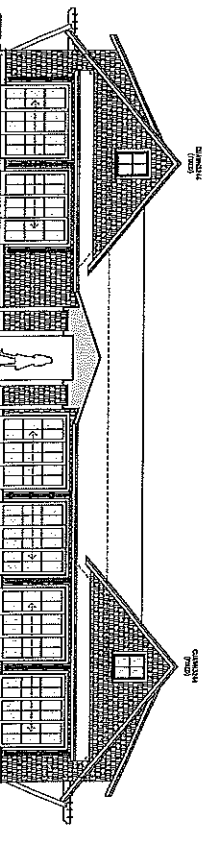
3 POOL LINK & NORTH HALL - SOUTH ELEVATION (NORTH WALL OF COURTYARD)
SCALE: 3/8" = 1'



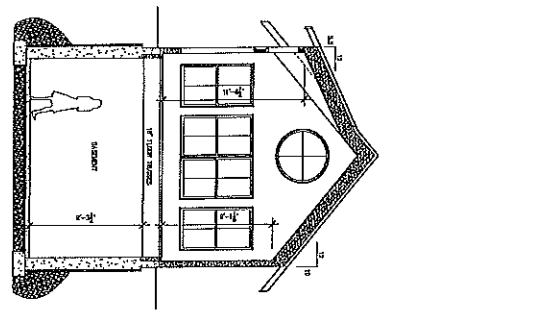
4 GARAGE - NORTH ELEVATION (SOUTH WALL OF COURTYARD)
SCALE: 3/8" = 1'



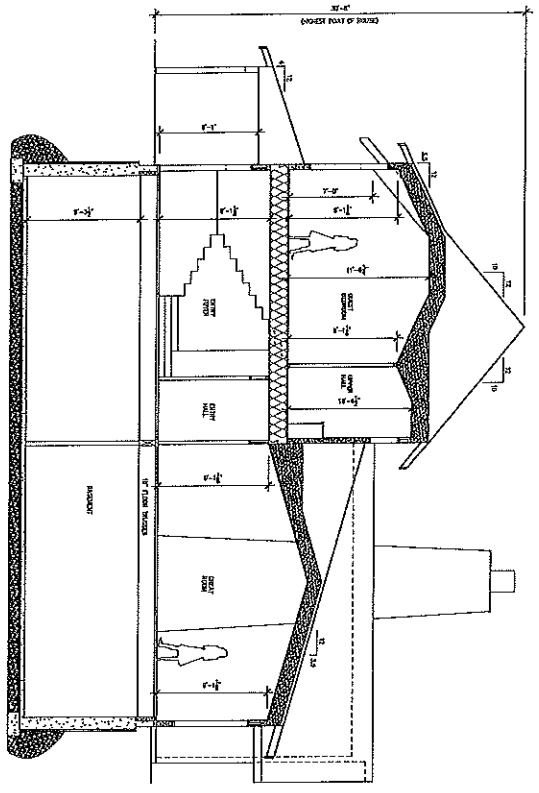
1 POOL ROOM - WEST ELEVATION
SCALE: 3/8" = 1'



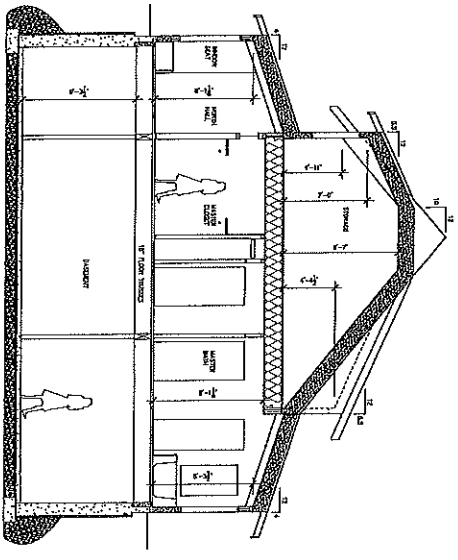
2 POOL ROOM - EAST ELEVATION (WEST WALL OF COURTYARD)
SCALE: 3/8" = 1'



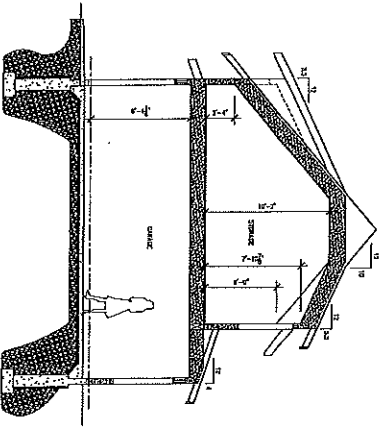
5 GREAT ROOM / EAST GABLE - SECTION
SCALE: 1/8" = 1'-0"



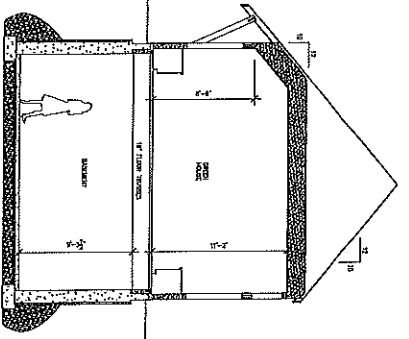
6 GREAT ROOM / ENTRY HALL / ENTRY FOYER / SECOND FLOOR GUEST BEDROOM - SECTION
SCALE: 1/8" = 1'-0"



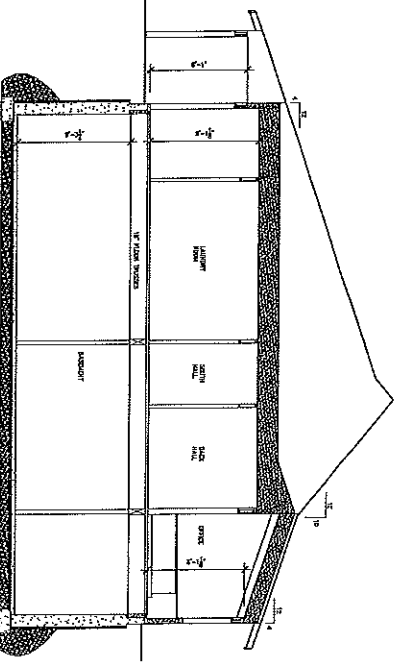
7 NORTH HALL / MASTER CLOSET / MASTER BATH - SECTION
SCALE: 1/8" = 1'-0"



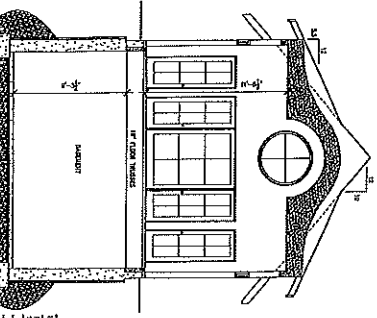
1 GARAGE - SECTION
SCALE: 1/8" = 1'-0"



2 GREENHOUSE - SECTION
SCALE: 1/8" = 1'-0"



3 OFFICE / BACK HALL / SOUTH HALL / LAUNDRY - SECTION
SCALE: 1/8" = 1'-0"



4 KITCHEN SITTING ROOM - SECTION
SCALE: 1/8" = 1'-0"

'ARING RAVINE'

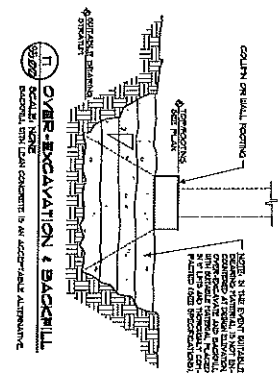
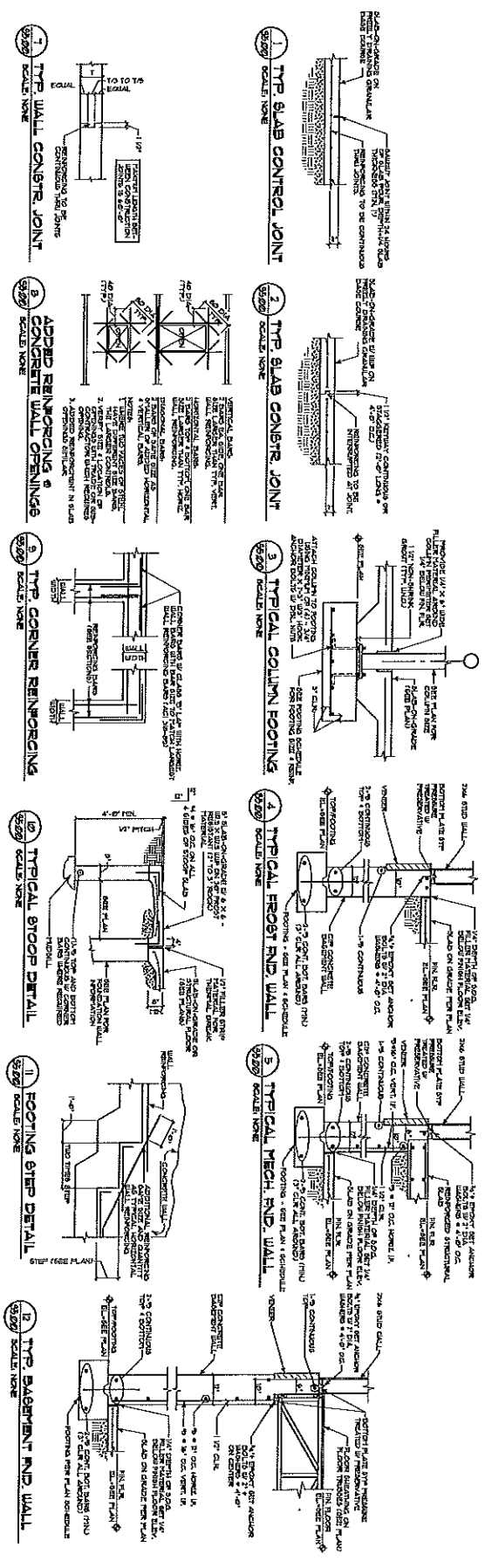
JULIE UHLEIN RESIDENCE - 1496 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE

REVISIONS:

NO.	DATE	DESCRIPTION

DAVID TORREN
DAVID TORREN & ASSOCIATES
ARCHITECTS

DAVID TORREN & ASSOCIATES LTD.
2000 CENTRE FOR COMMERCE
SUITE 201
1112
E. WISCONSIN AVENUE
MILWAUKEE, WI 53212
TEL: 414.224.8541
WWW.DTAA.COM

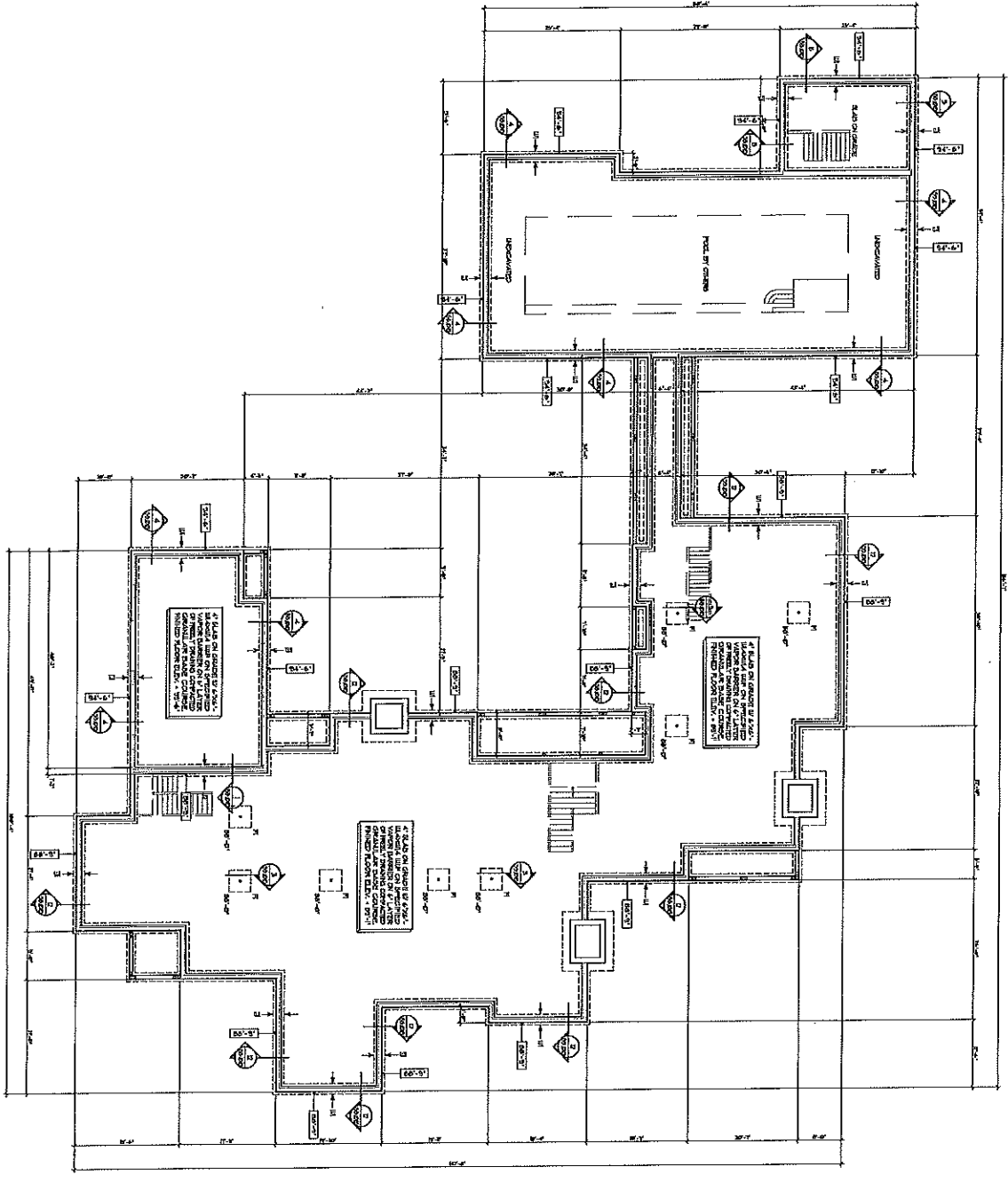


FOR PERMIT ONLY
December 1, 2017
Barber Engineering

Sheets:
FOUNDATION DETAILS

Revision _____ Date _____ By _____

Project Engineer: ME
Drawn By: LS
Checked By: JH
Date: 12/1/17
Sheet No. S5.00



DESIGN LIVE LOADS

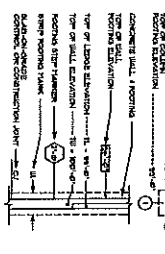
PER FOOTING

RESIDENTIAL	20 PSF
OFFICE	20 PSF
RETAIL	20 PSF
MECHANICAL	20 PSF
STAIRS	20 PSF
ELEVATOR	20 PSF
ROOF	20 PSF
WALKWAY	20 PSF
DRIVEWAY	20 PSF
PAVEMENT	20 PSF
CONCRETE	20 PSF
ASPHALT	20 PSF
GRAVEL	20 PSF
SOIL	20 PSF
WATER	20 PSF
ICE	20 PSF
SNOW	20 PSF
WIND	20 PSF
SEISMIC	20 PSF
OTHER	20 PSF

DESIGN STRENGTHS

CONCRETE	4000 PSI
STEEL	50 KSI
SOIL	2000 PSF
WIND	150 PSF
SEISMIC	0.15g
OTHER	AS NOTED

FOUNDATION LEGEND



REINFORCING NOTES

1. REINFORCEMENT SHALL BE DISPLAYED IN ACCORDANCE WITH ACI 308.
2. ALL LAPS SHALL BE STAGGERED BY 18" AND 50% OF THE LAPS SHALL BE IN THE SAME FACE OF THE MEMBER.
3. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
4. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
5. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
6. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
7. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
8. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
9. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.
10. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308.

FOOTING SCHEDULE

NO.	FOOTING DIMENSIONS	FOOTING REINFORCEMENT	NOTES
1	3'-0" x 3'-0"	4#4 @ 12" O.C.	
2	3'-0" x 3'-0"	4#4 @ 12" O.C.	
3	3'-0" x 3'-0"	4#4 @ 12" O.C.	
4	3'-0" x 3'-0"	4#4 @ 12" O.C.	
5	3'-0" x 3'-0"	4#4 @ 12" O.C.	
6	3'-0" x 3'-0"	4#4 @ 12" O.C.	
7	3'-0" x 3'-0"	4#4 @ 12" O.C.	
8	3'-0" x 3'-0"	4#4 @ 12" O.C.	
9	3'-0" x 3'-0"	4#4 @ 12" O.C.	
10	3'-0" x 3'-0"	4#4 @ 12" O.C.	

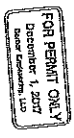
NOTES

1. ALL FOOTINGS SHALL BE 12" MIN. THICK.
2. ALL FOOTINGS SHALL BE 12" MIN. THICK.
3. ALL FOOTINGS SHALL BE 12" MIN. THICK.
4. ALL FOOTINGS SHALL BE 12" MIN. THICK.
5. ALL FOOTINGS SHALL BE 12" MIN. THICK.
6. ALL FOOTINGS SHALL BE 12" MIN. THICK.
7. ALL FOOTINGS SHALL BE 12" MIN. THICK.
8. ALL FOOTINGS SHALL BE 12" MIN. THICK.
9. ALL FOOTINGS SHALL BE 12" MIN. THICK.
10. ALL FOOTINGS SHALL BE 12" MIN. THICK.

Project Engineer: _____
 Drawn By: _____
 Checked By: _____
 Date: _____
 Sheet No. _____

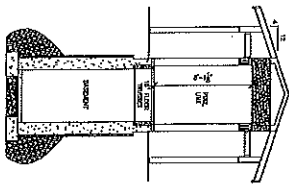
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325 West Viro Street • Milwaukee, WI 53212
 414-263-5500 • info@barberengineer.com

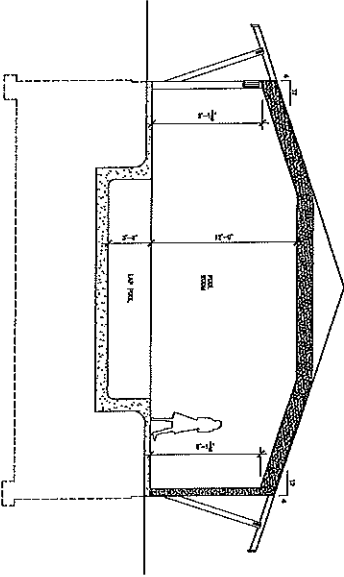


Scale: _____
 Foundation Plan

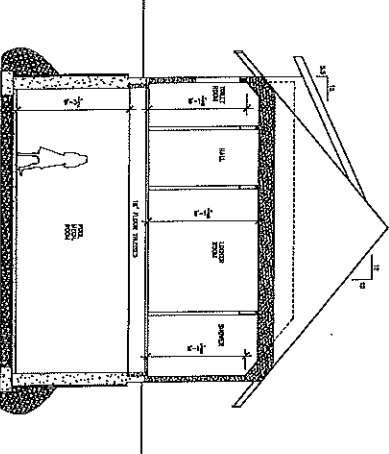
1 POOL LINK - SECTION
SCALE: 1/8" = 1'-0"



2 POOL ROOM - SECTION
SCALE: 1/8" = 1'-0"



3 POOL ROOM - SECTION
SCALE: 1/8" = 1'-0"



13 SQUARE	1/8"
1/4"	1/4"
1/2"	1/2"
3/4"	3/4"
1"	1"
1 1/4"	1 1/4"
1 1/2"	1 1/2"
1 3/4"	1 3/4"
2"	2"
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6 3/4"	6 3/4"
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40 3/4"	40 3/4"
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41 1/4"	41 1/4"
41 1/2"	41 1/2"
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46"	46"
46 1/4"	46 1/4"
46 1/2"	46 1/2"
46 3/4"	46 3/4"
47"	47"
47 1/4"	47 1/4"
47 1/2"	47 1/2"
47 3/4"	47 3/4"
48"	48"
48 1/4"	48 1/4"
48 1/2"	48 1/2"
48 3/4"	48 3/4"
49"	49"
49 1/4"	49 1/4"
49 1/2"	49 1/2"
49 3/4"	49 3/4"
50"	50"

AS01

'ARING RAVINE'

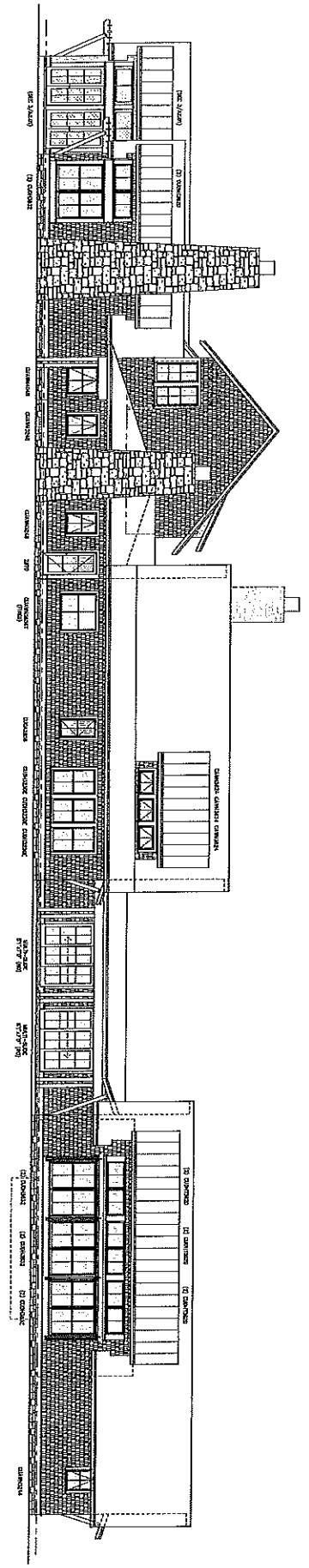
JULIE UHLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE



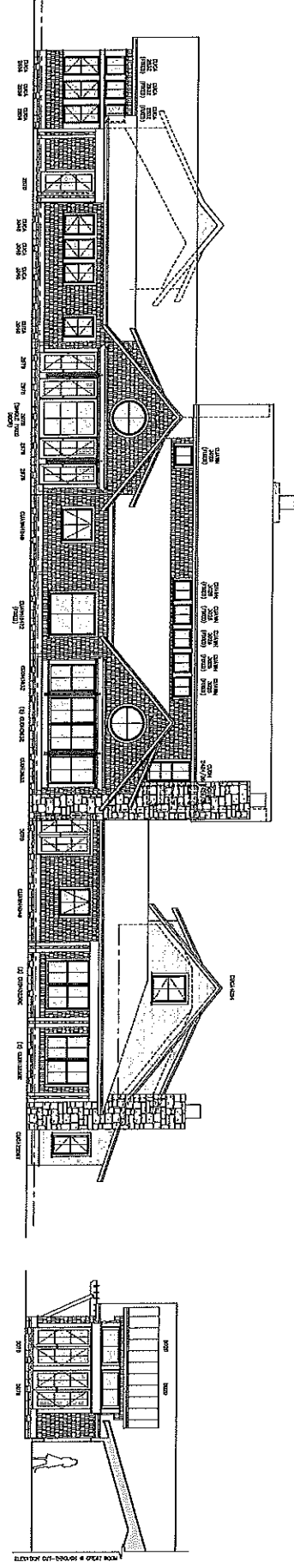
DAVID GREENE ASSOCIATES LTD
 1808 BAY SHORE DRIVE
 BAYSIDE, WI 54209
 PH: 920.254.2100
 EMAIL: davidgreene@daa.com

DAVID GREENE
 DGA
 ASSOCIATES

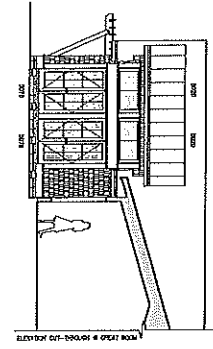
4 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



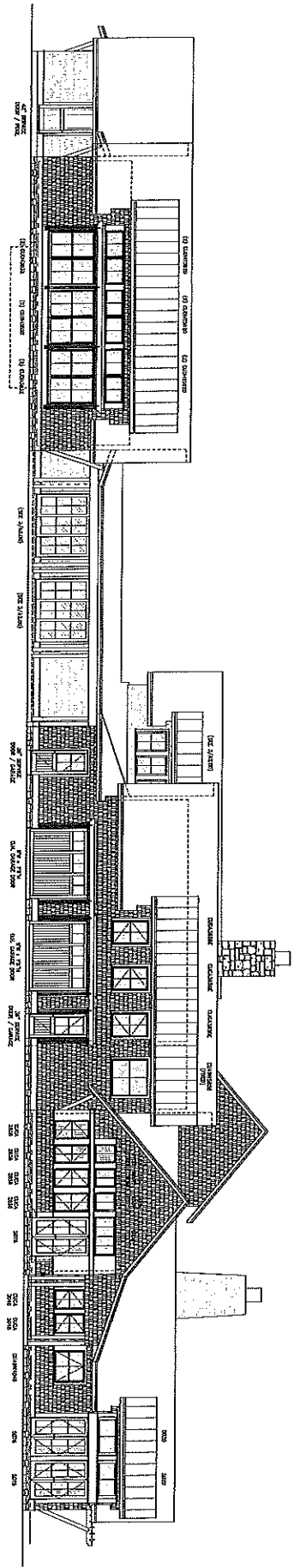
2 EAST ELEVATION (LAKE MICHIGAN SIDE)
SCALE: 3/8" = 1'-0"



3 KITCHEN SITTING - NORTH ELEVATION
SCALE: 3/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



'ARING RAVINE'

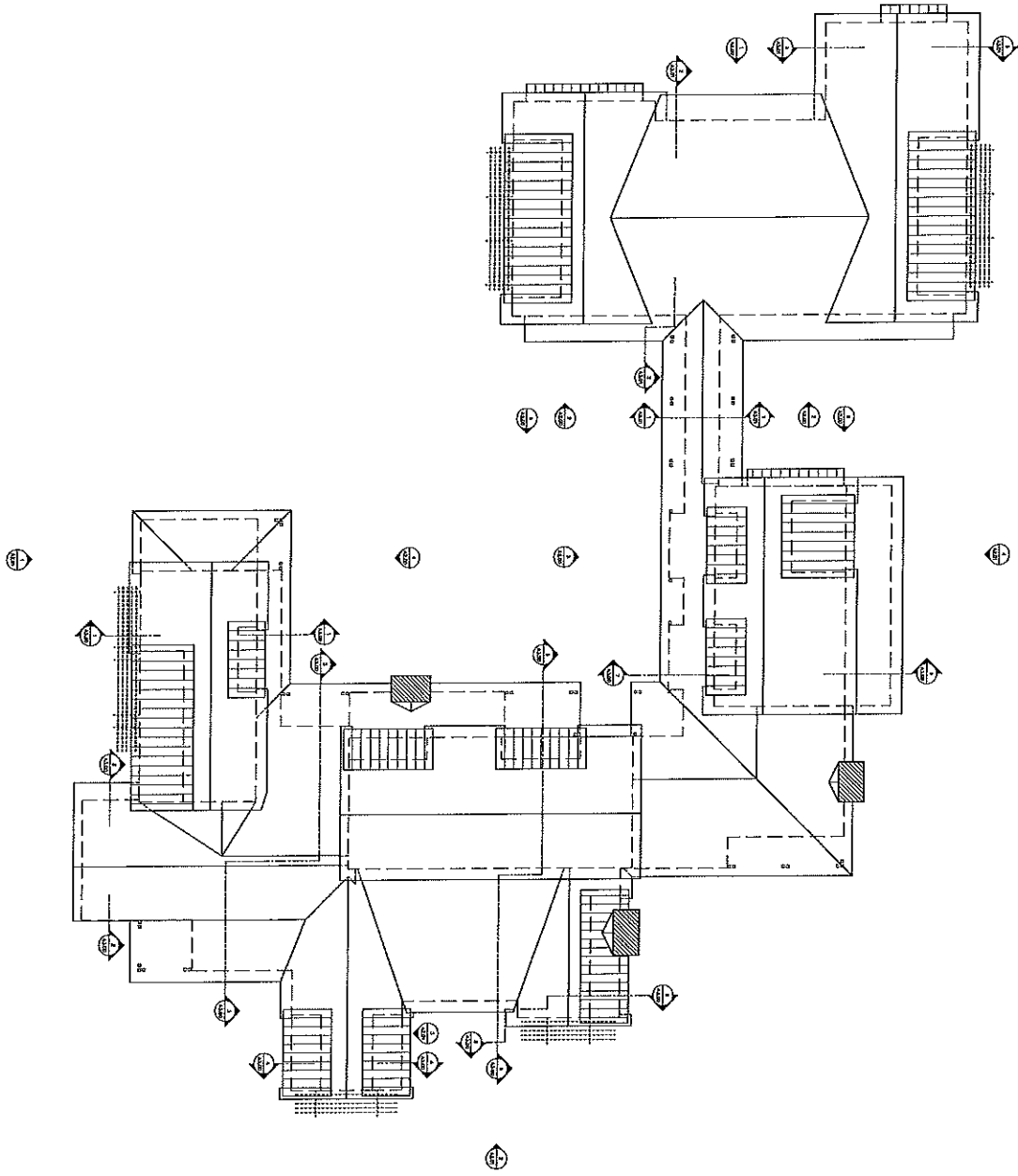
JULIE UHLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE

REVISIONS:
DATE: 12/20/07
BY: [Signature]
CHECKED: [Signature]
DATE: 12/20/07
BY: [Signature]
SCALE: 3/8" = 1'-0"
DRAWING NUMBER: A2.01

DAVID TORRES & ASSOCIATES LTD.
16636 BAY SHORE DRIVE
51516A BAY, MI 48224
PH: 920.154.3100
EMAIL: gtorres@dtal.com

DAVID TORRES
ASSOCIATES
DTA

1 ROOF PLAN
SCALE: 1/8" = 1'-0"



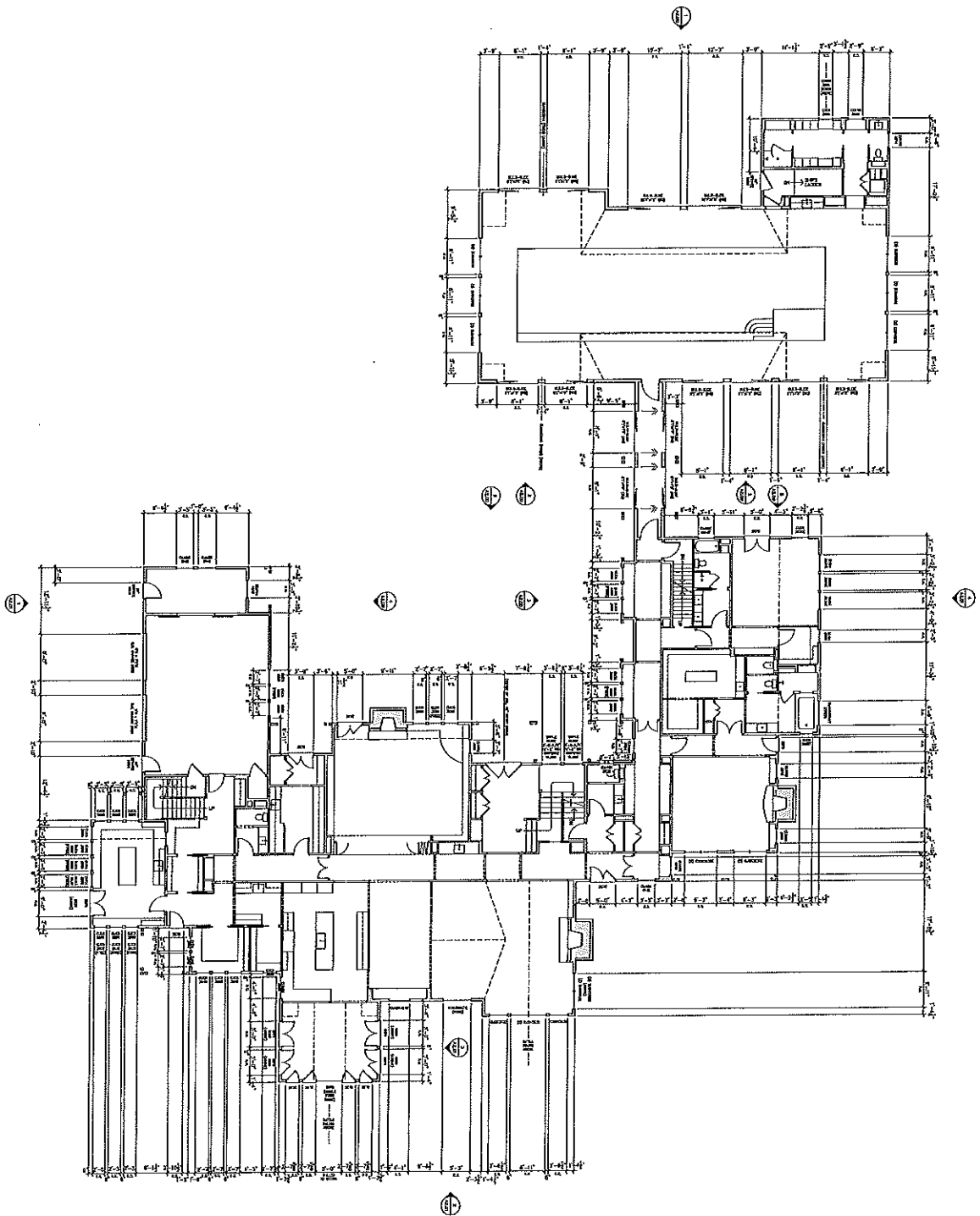
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PROJECT:	
REVISIONS:	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT

'ARING RAVINE'
JULIE UTHLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE



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DAVID GREENE
ARCHITECT
ASSOCIATES
P.A.



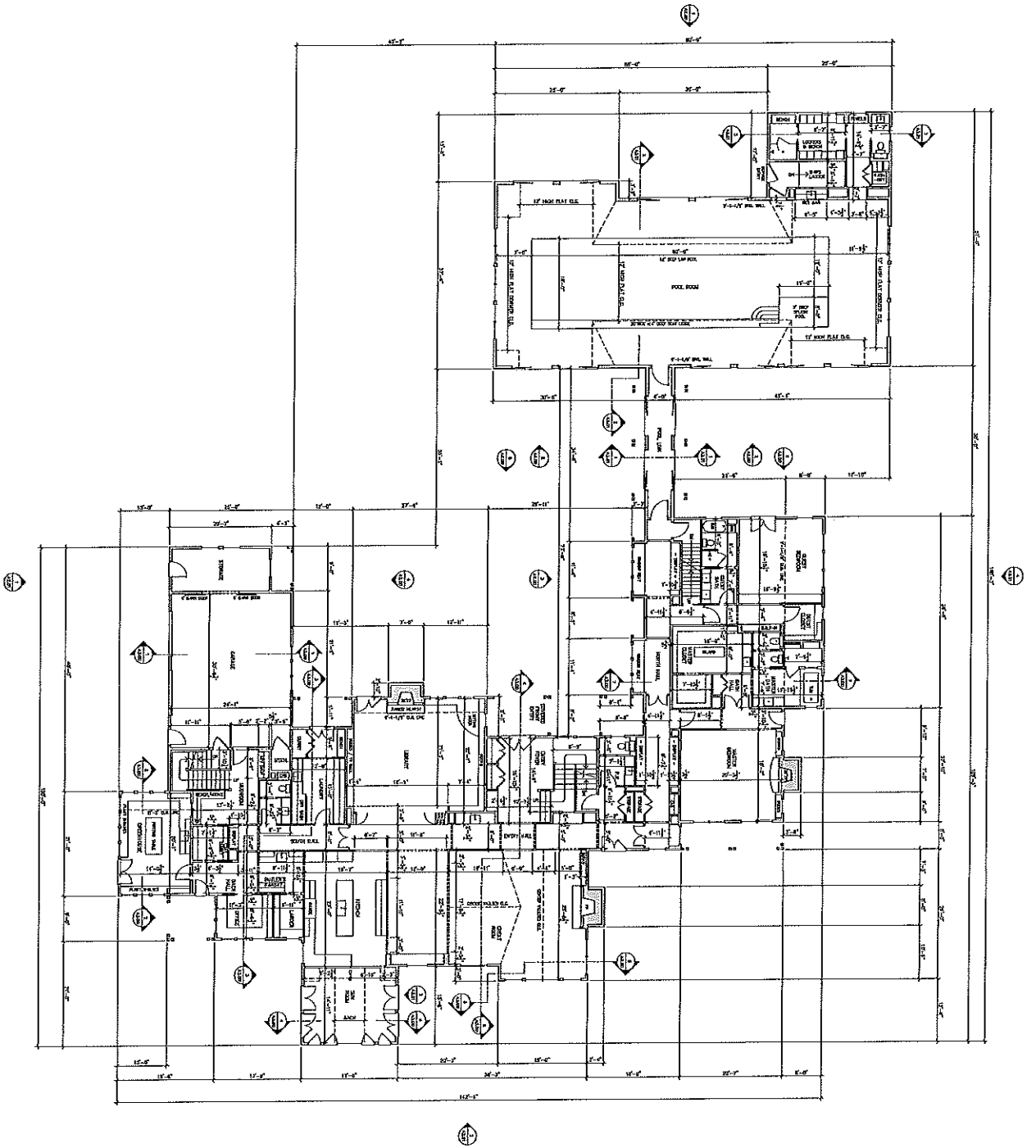
REVISIONS:
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 10 11/15/05 [Signature]

'ARING RAVINE'
 JULIE UINLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE



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 EMAIL: greig@dmh.com





DATE:	10/10/10
BY:	DAVID TORRES
CHECKED BY:	DAVID TORRES
PROJECT:	1476 EAST BAY POINT ROAD
NO:	AT 01

'ARING RAVINE'
JULIE UHLEIN RESIDENCE - 1476 EAST BAY POINT ROAD - VILLAGE OF BAYSIDE

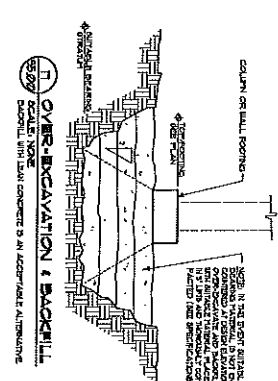
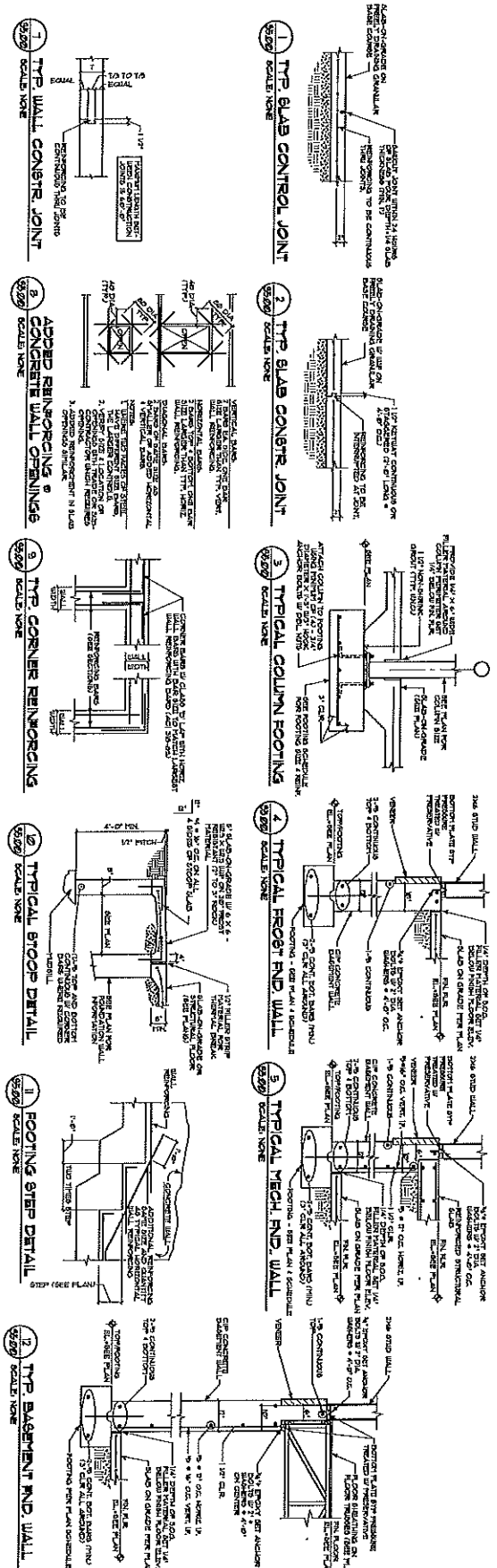


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FOR PERMIT ONLY
December 1, 2017
Date of Issue

Sheet Title
FOUNDATION DETAILS

Revisions
Date

Project Engineer
Drawn By
Checked By
Date
Scale
Sheet No.

55.00