



Village of Bayside
9075 N. Regent Rd.
Architectural Review Committee Meeting
May 21, 2018
Village Hall Board Room, 6:00 pm

**ARCHITECTURAL REVIEW COMMITTEE
AGENDA**

PLEASE TAKE NOTICE that a meeting of the Village of Bayside Architectural Review Committee will be held at Bayside Village Hall, 9075 North Regent Road, Bayside, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Approval of the May 7, 2018 minutes.

IV. BUSINESS

- A. Fence
422 E Ravine Baye Rd
017-0183-000
- B. Fence
1030 W Ravine Ln
015-0118-000
- C. Fence
8900 N Bayside Dr
020-0122-000
- D. Fence
9385 N Lake Dr
017-0136-000
- E. Shed
8930 N Regent Rd
021-0206-000
- F. Master suite room addition
605 W Laramie Ln
015-0086-000
- G. Shed
9095 N King Rd
021-0043-000

- H. Fence
9445 N Fairway Circle
016-0106-000
- I. New Home
1400 E Bay Point Rd
018-9980-000
- J. Parking lot lighting – Bayside Middle School
601 E Ellsworth Ln
021-9983-000

V. ADJOURNMENT

Cindy Baker
Accounting Assistant
May 10, 2018

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village webs).



I. CALL TO ORDER

Chairperson Marissa Roberts called the meeting to order at 6:00pm

II. ROLL CALL

Trustee Liaison: Mike Barth
Chair: Marisa Roberts
Members: Sandra Muchin Kofman-excused
John Krampf
Dan Zitzer
Tony Aiello-arrived 6:05pm
Liz Levins

Also Present: Accounting Assistant, Cindy Baker
There were twenty-two people in the audience.

III. APPROVAL OF MINUTES

A. Approval of the April 9, 2018 minutes.

Motion by John Krampf, seconded by Trustee Barth, to approve the minutes of April 9, 2018. Motion carried unanimously.

IV. BUSINESS

**A. Window removal
9025 N Pelham Pkwy
021-0101-000**

Mark Mishefski, from Mishefski Design Works, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Window removal.

Motion by Trustee Barth, seconded by John Krampf, to approve the window removal as described and presented in the application. Motion carried unanimously.

**B. Fence
8639 N Greenvale Rd
054-0294-000**

William and Cynthia Jacobs, homeowners, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Fence.

Motion by Trustee Barth, seconded by Liz Levins, to approve the fence as described and presented in the application. Motion carried unanimously.

**C. Fence
8900 Malibu Dr
022-0246-000**

Clark and Catherine Anderson, homeowners, appeared on behalf of the project. There were four neighbors in attendance, Bruce Troeller, 8894 N Malibu Dr, Kathy and Steve Neufeld, 8908 N Malibu Dr, and Hilary Friedman, 8852 N Malibu Dr. A description of the project is as follows: Fence.

Neighbors expressed concerns over the fence close to neighboring house, the height, the dogs barking and that it was a dog run.

Motion by John Krampf, seconded by Tony Aiello, to approve the fence contingent on reducing length, height and planting of shrubs by fence. Motion carried unanimously.

**D. Window and patio door
132 W Krause Pl
022-0097-000**

Frank Ruebl, homeowner, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Window and patio door.

Motion by Trustee Barth, seconded by John Krampf, to approve the window and patio door as described and presented in the application. Motion carried unanimously.

**E. Front door gable
8635 N Pelham Pkwy
054-0287-002**

Steven Cramey, homeowner, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Front door gable.

Motion by Trustee Barth, seconded by Tony Aiello, to approve the front door gable door as described and presented in the application. Motion carried unanimously.

**F. Parking lot lighting – Bayside Middle School
601 E Ellsworth Ln
021-9983-000**

Brian Reiels, Nicolet Facility Manager and Erv Stern, Engineer representing Bayside Middle School, appeared on behalf of the project. There were four neighbors in attendance, Jim Donnelly, 9041 N King Rd, Caryl Zaar, 8936 N King Rd, Brittany Jackson, 9025 N Pelham Pkwy, and Matt Wooten 9055 N King Rd. A description of the project is as follows: Parking lot lighting – Bayside Middle School.

Neighbors expressed concerns over the number of light poles, comparison of lumen light brightness between old light pole and new light pole, time frame of when lights are on and off, and to be notified of upcoming outside projects at the school.

This item was tabled.

**G. Replace Commercial sign and fence
 310 E Brown Deer Rd
 021-9975-000**

Saul Riveria, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Commercial Sign and fence.

Motion by Trustee Barth, seconded by Tony Aiello, to approve the commercial sign and fence as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Marissa Roberts, seconded by Trustee Barth, to adjourn the meeting at 7:30pm. Motion carried unanimously.

Respectfully submitted,
Cindy Baker
Accounting Assistant

Project Proposal

Date

5/1/18

Property Address

422 E Laurie Bay Rd

Zoning

☐ Accessory Structures/Generators

☐ New Construction

☐ Additions/Remodel

☐ Play Structures

☐ Bluff Management

☐ Recreational Facilities/Courts

☐ Commercial Signage

☐ Roofs

☐ Decks/Patios

☐ Solar Panels/Skylights

☒ Fence

☐ Swimming Pools

☐ Fire Pits

☐ Windows/Doors

☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit

☐ Other

Proposed project details (type of work, size, materials, etc.):

building an open concept fence in backyard
4' High - 150' total in length

- 1) wood option: pickets 2-2 1/2 inches of space betw 4" picket
2) iron option: 3 1/4 " between poles

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee 5/1/2018
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: 5/21/18
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:

Christopher Mildenberg

PROJECT ADDRESS:

422 E Ravine Baye Rd

PROJECT SUMMARY:

New fence. 150ft long, 4' tall in side and rear yards.

Two fence options provided.

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length of 150' is approximately 23% of the total property perimeter length of approximately 647'.

Per the code section copied below a 25% open fence is required.

Option 1: 4" wood pickets w/ 2" gaps = 33% open

Option 2: black metal verticals w/ 3" gaps = more than 50% open

Village code section 14-182 (L): *No solid fence may be constructed with a total horizontal linear length in excess of ten percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. No fence shall be constructed with a total horizontal linear length in excess of ten percent of the linear feet of the perimeter of the property without at least a 25 percent open design. No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

BOTH PROPOSED FENCE LENGTHS / TYPES COMPLY

HEIGHT:

PROPOSED HEIGHT COMPLIES

MATERIAL / FINISH:

Unfinished wood or black metal.

Black metal requires ARC approval.

Dan Hatch, RA

Plans Examiner

920-461-8873

dhatch@safebuilt.com

17-0183

Plat No.

LAND CONSULTANT
SEWER & WATER DESIGN
SUBDIVIDING

W. G. NIENOW ENGINEERING ASSOC.
CONSULTING ENGINEERS - SURVEYORS
1743 W. GREEN TREE ROAD MILWAUKEE WIS
TEL 351-1620

WALLACE G. NIENOW, P. E. L.S.
ASSOCIATES
KENNETH B. WESTERN, P. E.
DAVID E. OBLACK, JR. P. E.

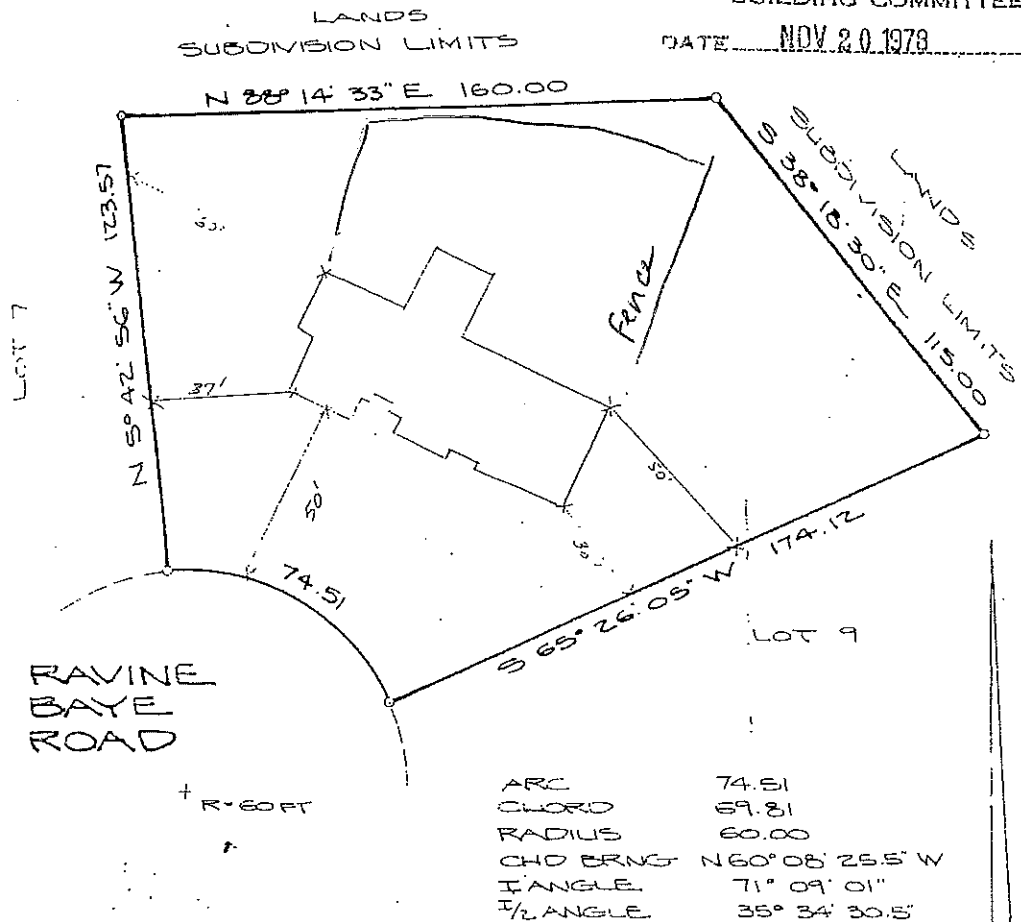
PLAT OF SURVEY

PREPARED FOR Fred Miller

DESCRIPTION OF PROPERTY Lot 8 in RAVINE MEADOWS, a subdivision located in the Northwest 1/4 of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE

DATE NOV. 20 1978



STATE OF WISCONSIN)
MILWAUKEE COUNTY)

- DRAWING ONLY -

I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principle buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any.

This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within one (1) year from date hereof.

Dated at _____, this 11TH day of OCTOBER, 1978

Witnessed _____

Surveyor

From: ~~subfenceguy@att.net~~
Subject: 4' high spaced cedar " dog ear " picket
Date: Mar 29, 2018 at 6:37:51 PM
To: ~~XXXXXXXXXX@gmail.com~~
Cc: ~~XXXXXXXXXX@gmail.com~~



From: [REDACTED]
Subject: 4' high space cedar " dog ear " picket
Date: Mar 29, 2018 at 6:35:54 PM
To: [REDACTED]



Sent from my iPad

Fence Permit Request - Mildenbergs - 422 E Ravine Baye Rd


Flavia Mildenberg [REDACTED] <[REDACTED]>

Wed 5/2/2018 10:30 AM

To: Cindy Baker <cbaker@baysidewi.gov>;

Dear Cindy,

I'm waiting for some pricing on the (aluminum fence, not iron). We are possibly going for wood but I won't know until tomorrow.

 The space between the wood pickets would be 2 to 2 1/2 inches, each picket is about 4 inches wide.

The iron spacing would be 3 1/4. The same specs: 150' total for the fence and 4' high.



I'm not sure if you need us to decide first or if a variation of both would be acceptable. My fence guy is so busy, it's hard to get this moving fast. I need a fence ASAP for my dog :(Thank you!

Project Proposal

Date 5/2/18

Property Address 1030 W. RAULINE LANE, BAYSIDE

Zoning _____

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

Fence

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>paid 5/2/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/2/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Variance Required



SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:

Michael Hogan

PROJECT ADDRESS:

1030 W Ravine Ln

PROJECT SUMMARY:

New fence. 49' long, 4' tall in side and rear yards.

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length of 49' is approximately 7% of the total property perimeter length of approximately 675' and a solid fence is permissible.

Village code section 14-182 (L): *No solid fence may be constructed with a total horizontal linear length in excess of ten percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. No fence shall be constructed with a total horizontal linear length in excess of ten percent of the linear feet of the perimeter of the property without at least a 25 percent open design. No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

PROPOSED FENCE LENGTH & TYPE COMPLY

HEIGHT:

PROPOSED HEIGHT COMPLIES

MATERIAL / FINISH:

PROPOSED FINISH COMPLIES

Dan Hatch, RA

Plans Examiner

920-461-8873

dhatch@safebuilt.com

M.S.S. / MORTGAGE SURVEY SERVICE

6617 West Coldspring Road Greenfield, Wisconsin 53220 (414) 327-4400

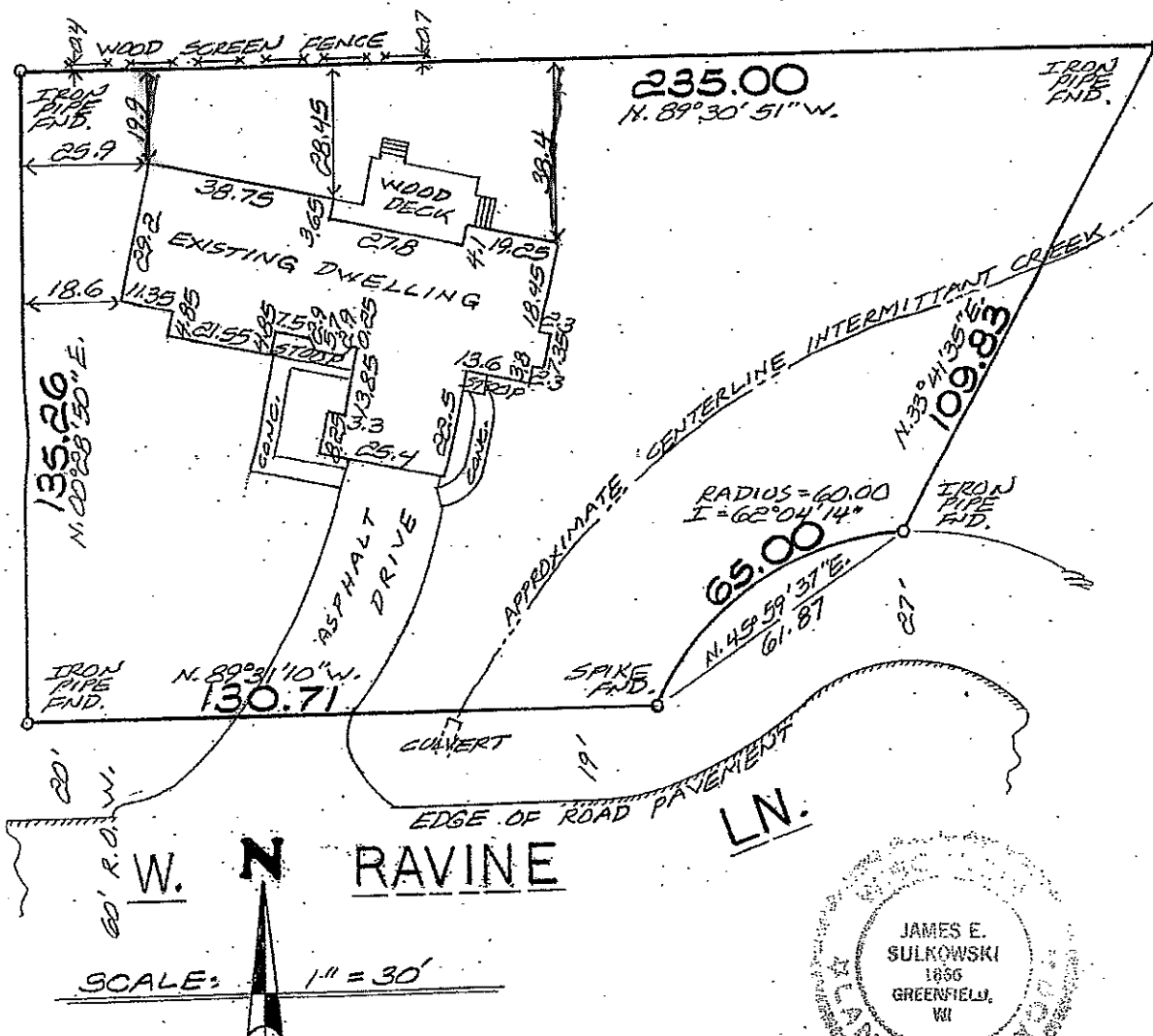
Prepared For Cream City Construction

Location of Property 1030 West Ravine Lane

Bayside, WI

Description of Property

Lot 2 in Block 1 in RAVINESIDE, being a Subdivision of a part of the Northwest 1/4 of Section 5, in Township 8 North, range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.



State of Wisconsin

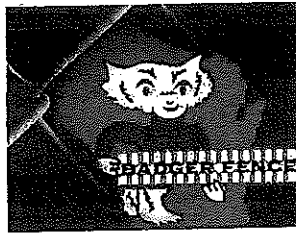
I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owner of the property, and also those who purchase, mortgage, or guarantee the title thereto within (1) year from date hereof.

Dated at Greenfield, WI, this 1st day of August, 20 07

NOTE: All property corners will not be located, verified and/or reset (per Section A-E7.01 Wisconsin Administrative Code) unless specifically requested.

Registered Land Surveyor



101 E. Abert Place, Milwaukee WI 53212

Office (414) 466-7510 ♦ FAX (414) 466-1202 ♦ www.badgerfence.com

"COMMERCIAL AND RESIDENTIAL FENCE SPECIALIST SINCE 1945"

PROPOSAL

Customer Name: MIKE HOGAN AND JANINE GESKE

Site Address: 1030 W RAVINE LANE

Customer Mailing Address (if different)

Contact Info: Home Phone: 852-3376 Cell Phone: MIKE - 206-04222 Office:

Email address: MICHAEL.HOGAN@MU.EDU.COM

BADGER FENCE TO FURNISH ALL LABOR AND MATERIALS FOR THE INSTALLATION OF FENCE DESCRIBED BELOW.
ATTENTION: CUSTOMER IS RESPONSIBLE FOR LOT LINES, DIRT REMOVAL, AND ANYTHING UNDERGROUND NOT MARKED BY
DIGGERS HOTLINE. PERMITS BY CUSTOMER UNLESS SPECIFIED. BADGER FENCE DOES NOT INVOICE FOR BALANCE. PLEASE PAY
FROM PROPOSAL.

ANY LANDSCAPING IN THE PROPOSED FENCE LINE MUST BE COMPLETE PRIOR TO POST INSTALLATION.
PLEASE INITIAL

BADGER TO INSTALL APPROX 49' IN LIEU OF 25' ON ORIGINAL PROPOSAL OF 4' HIGH SPACED CEDAR
DOG EAR FENCE WITH ONE 8' DOUBLE DRIVE GATE AND ONE 4X4 WALK GATE WITH PYRAMID POST TOPS.
INSTALL AFTER CUSTOMER RECEIVES PERMIT. APPROX. 3-4 WEEKS. * ADDITIONAL CHARGE OF \$624.00
WILL BE ADDED TO OLD AMOUNT OF \$1920.00 = \$2544.00 + WALK GATE = \$250.00 TOTAL = \$2794.00

ADDITIONAL INFORMATION

Baffle Core Drills Asphalt All posts set in concrete Private Lines

Badger to Remove Old Fence Leave in Yard Badger to Haul Away

Hotline Needed -- BADGER TO CALL

Additional information: ADD 3% FOR CREDIT CARD PAYMENTS

**PLEASE BE ADVISED NO CHANGES CAN BE MADE DAY OF INSTALL. IF THERE ARE, THIS WILL DELAY INSTALLATION 3-4 WEEKS, AND THERE WILL
BE CHARGES ADDED DEPENDING ON THE CHANGE.**

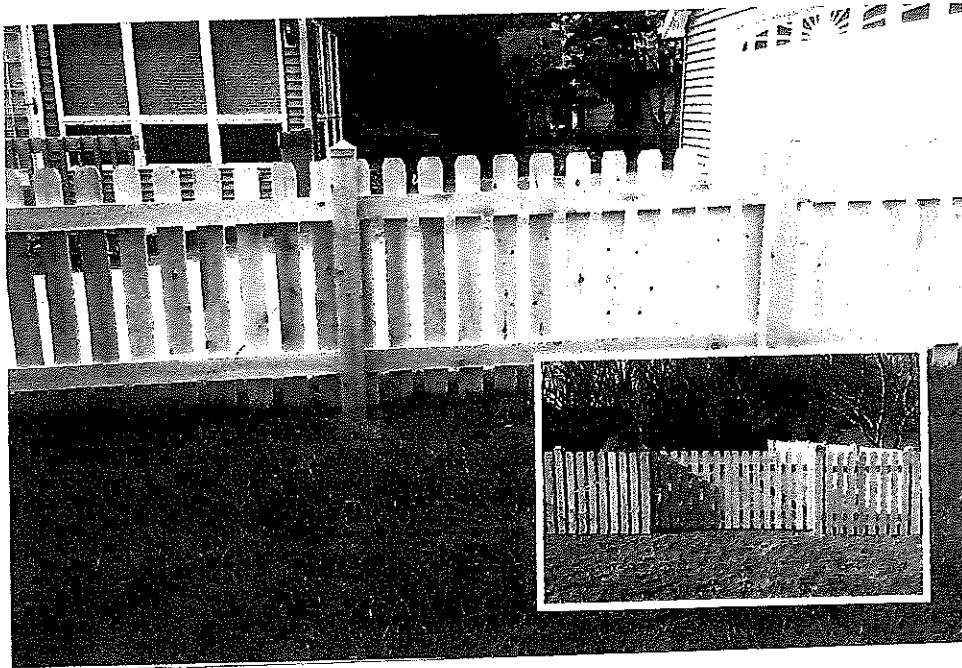
Cost= \$ 2794.00 down payment= balance due upon completion= \$2794.00

The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified.
Payment will be made as outlined above.

ACCEPTED BY TOM R SR DATE 04-06-2018
CUSTOMER SIGNATURE [Signature] DATE 5-1-18

REQUIRED BY FEDERAL LAW: YOU HAVE ENTERED INTO A TRANSACTION WHICH MAY RESULT IN LIEN, MORTGAGE, OR OTHER
SECURITY INTEREST ON YOUR HOME. YOU HAVE THE RIGHT WITHOUT PENALTY TO CANCEL THIS TRANSACTION WITHIN THREE
(3) BUSINESS DAYS FROM THE ABOVE DATE.
BALANCE OF PAYMENT IS DUE UPON COMPLETION. LATE PAYMENTS SUBJECT TO INTEREST CHARGES AT THE RATE OF 1 1/2% PER
MONTH ON UNPAID BALANCE. CUSTOMER TO PAY ALL ACTUAL AND REASONABLE ATTORNEY FEES FOR CONTRACTOR'S ATTORNEY
AND COSTS OF COLLECTIONS IN THE EVENT OF A CONTRACTUAL DISPUTE THAT ULTIMATELY RESULTS IN JUDGEMENT OF ANY
AMOUNT BEING TAKEN BY CONTRACTOR AGAINST CUSTOMER. I HAVE READ AND UNDERSTAND THIS CONTRACT. THE PRICE,
SPECIFICATIONS, AND CONDITIONS ARE SATISFACTORY AND HEREBY ACCEPT. YOU ARE AUTHORIZED TO DO WORK.

SPACED DOG EAR DESIGN



Project Proposal

Date 5/7/18

Property Address 8900 N. Bayside Drive

Zoning District A

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

Construction of a 4' high cedar fence to keep wildlife out of a new raised bed vegetable garden.

fence to be constructed in new landscaped areas to the east of the house. Please note landscape

plans show an area for a shed. No shed is proposed or being applied for at this time. Fenced area

to be a rectangle of approximately 27' x 12'. No grading changes or impervious improvements

are part of this project.

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>\$60</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5-21-18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Variance Required



SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:
Jason Heindel

PROJECT ADDRESS:
8900 N Bayside Drive

PROJECT SUMMARY:
4' tall cedar picket garden fence in backyard

VILLAGE CODE REVIEW
LENGTH AND FENCE TYPE:
PROPOSED LENGTH AND TYPE COMPLY

HEIGHT:
PROPOSED HEIGHT COMPLIES

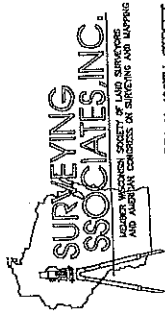
MATERIAL / FINISH:
PROPOSED FINISH COMPLIES

Dan Hatch, RA
Plans Examiner
dhatch@safebuilt.com

PLAT OF SURVEY

LOT 10, BLOCK 2, ALBERTA ACRES, being a subdivision of a part of the Southeast 1/4 of Section 4, Town 8 North, Range 22 East in the Village of Bayside, Formerly in the Town of Milwaukee, Milwaukee County, Wisconsin.

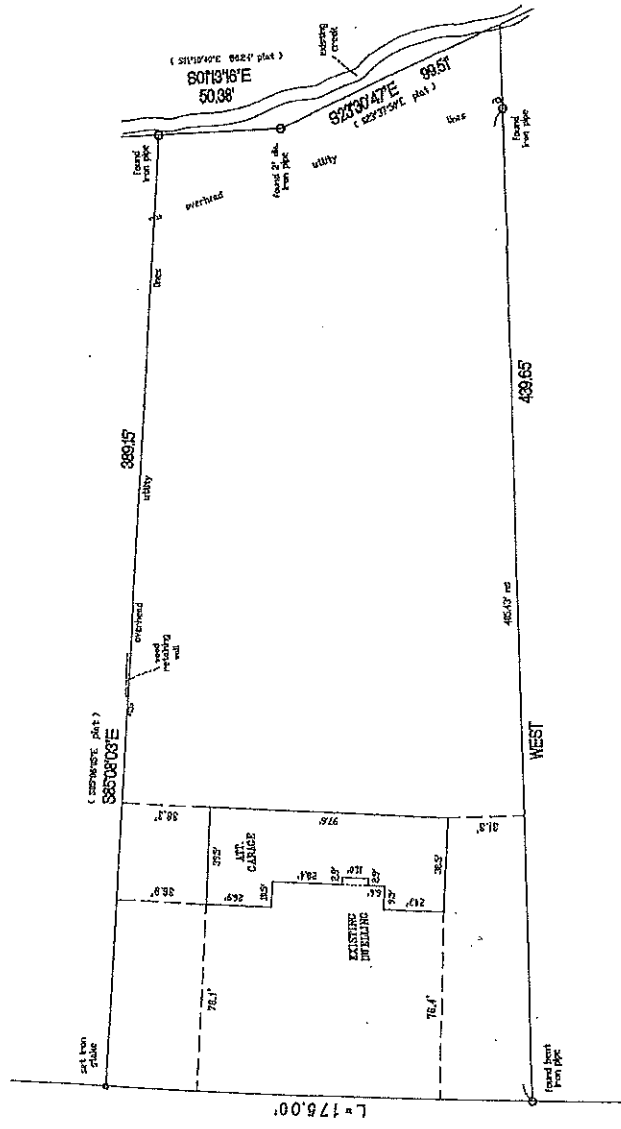
Address: 8900 N. Bayside Drive



2554 N. 100TH STREET
P.O. BOX 26596
WALWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443

WILLIAM J. KAPPEN R.L.S.
FREDERICK W. SHELSKI R.L.S.

N. BAY SIDE DRIVE
(67' VIDE PUBLIC R.O.-V)
edge of pavement



Surveyed for MELEDA LOWRY

I have surveyed the above described property from the legal description furnished by the client and find the same to be correct. This survey is made for purchase, mortgage, or guarantee of property, and I warrant the same to be correct.



William J. Kappen
WISCONSIN REGISTERED LAND SURVEYOR

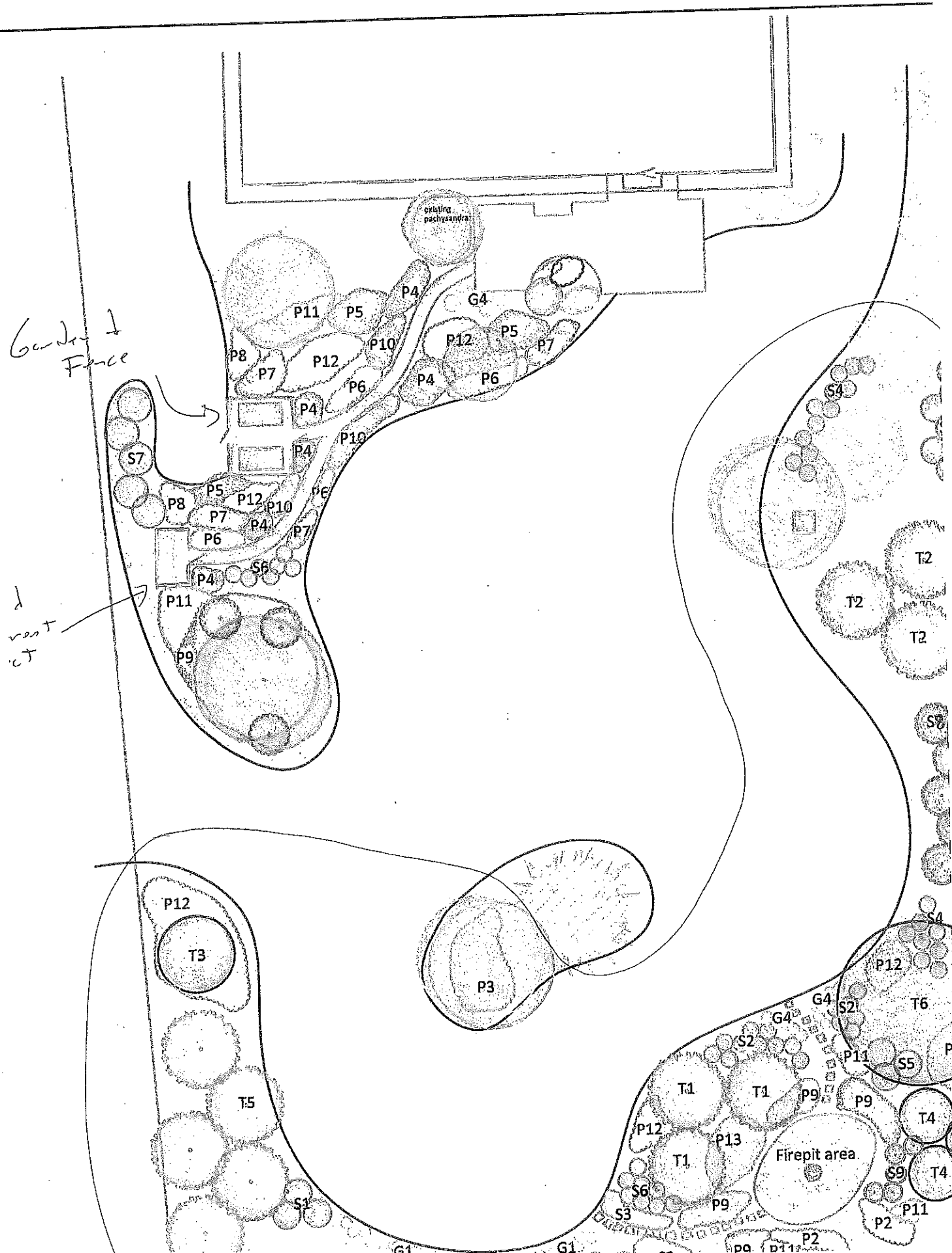
DEC. 30, 2004
DATE

JTY GB
FIELD WORK BY

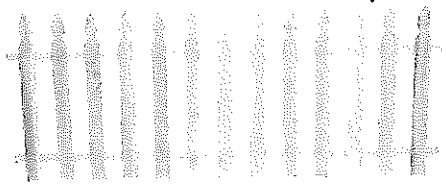
BK
DRAWN BY

50653
JOB NUMBER

NOTE: THIS IS NOT AN ORIGINAL SURVEY PLAT. THIS PLAT IS A COPY.



Raised Vegetable Bed Fencing - example - include chicken wire for rabbit protection



**4' x 8' French Gothic Cedar Spaced Picket
Fence Panel**

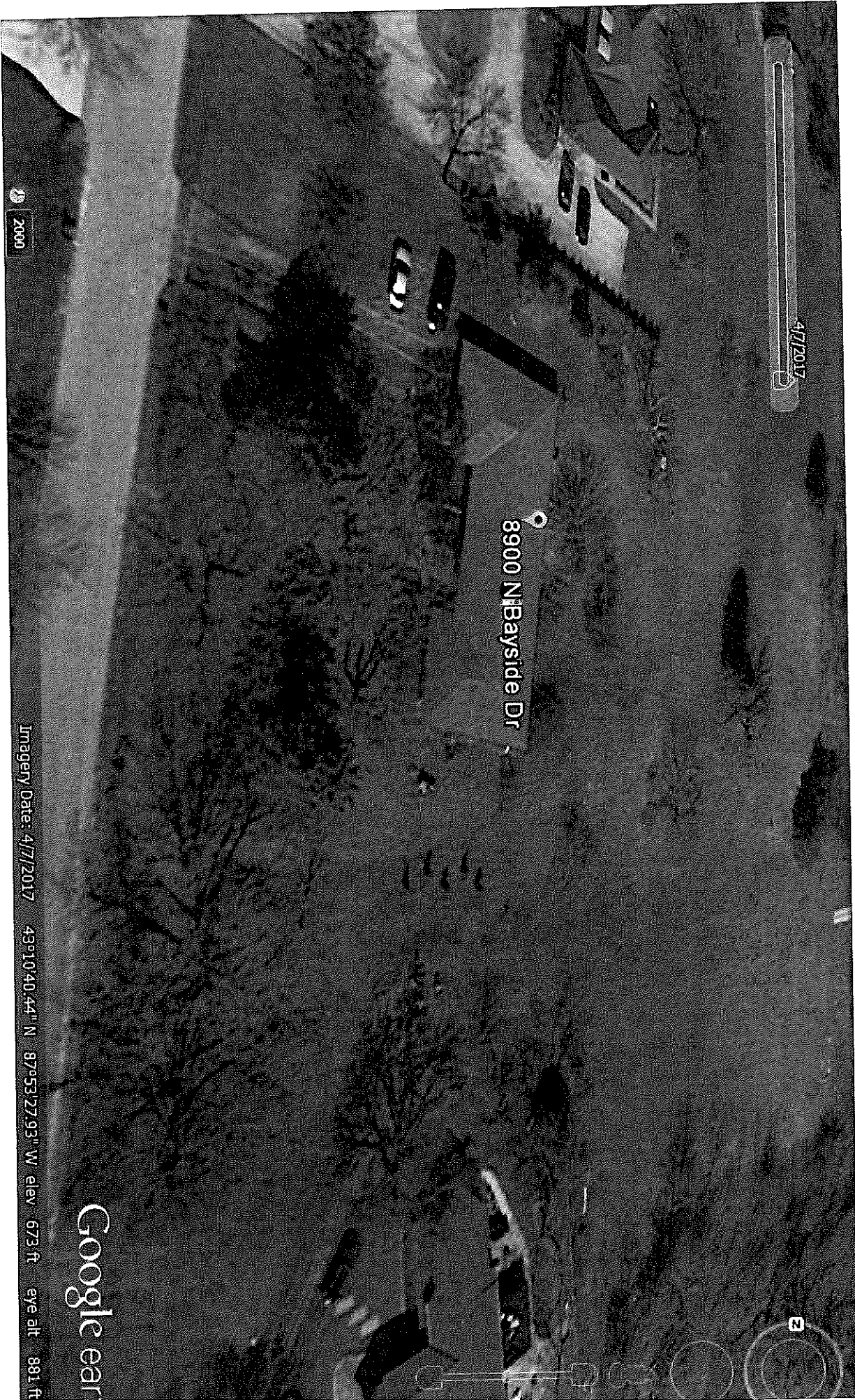
Model Number: 1731491 | Menards® SKU: 1731491
Variation: Natural Cedar Wood

\$249.97

Photos of area



View of proposed garden area looking south towards neighbor's house



4/7/2017

8900 N Bayside Dr

2000

Imagery Date: 4/7/2017 43°10'40.44" N 87°53'27.93" W elev 673 ft eye alt 881 ft

Google ear

Project Proposal

Date 4.28.18

Property Address 9305 N. Lake Dr.

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Replace existing fence w/ same
+ fence around the/Garage. Cars

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>pd 4/30</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/21/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required



SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:
Melissa Tanel

PROJECT ADDRESS:
9385 N Lake Dr

PROJECT SUMMARY:
Replacement fence and garbage can
enclosure.

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length of 86' is approximately 16% of the total property perimeter length of approximately 551' and a 25% open design is required by the code section copied below.

Proposed picket fence is more than 25% open design.

Village code section 14-182 (1): Fence type. *No solid fence may be constructed with a total horizontal linear length in excess of ten percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. No fence shall be constructed with a total horizontal linear length in excess of ten percent of the linear feet of the perimeter of the property without at least a 25 percent open design. No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

PROPOSED FENCE LENGTH & TYPE COMPLY

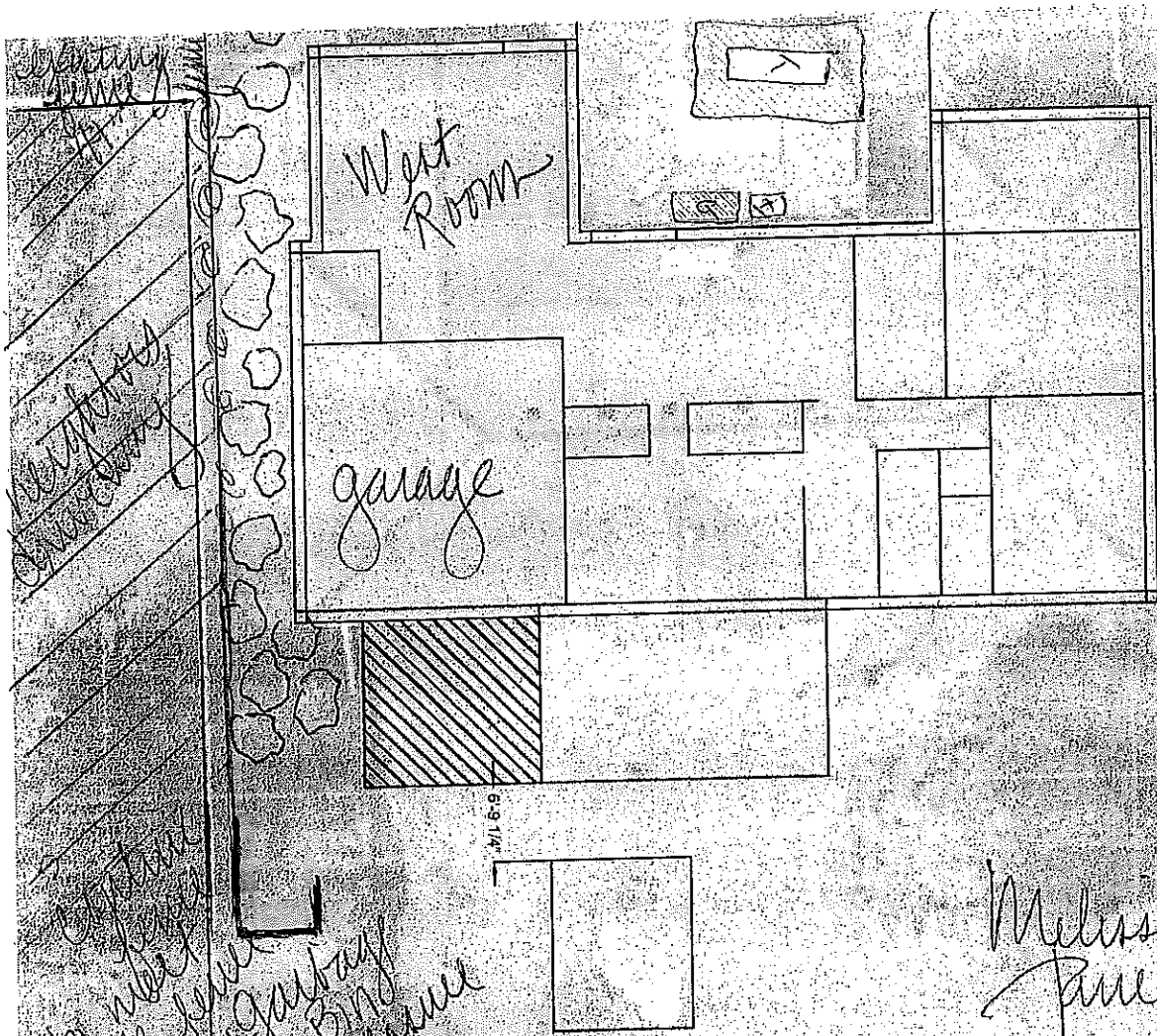
HEIGHT:

PROPOSED HEIGHT COMPLIES

MATERIAL / FINISH:

PROPOSED FINISH COMPLIES

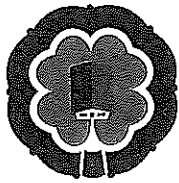
Dan Hatch, RA
Plans Examiner
920-461-8873
dhatch@safebuilt.com



to nicks
or bulk
1/4 mile

garage
enclosure

Melissa
Pavel



CLOVER

• F E N C E •

"No luck needed, we guarantee it!"

Mail signed contract to:
6916 Druid Rd.
Hartford, WI 53027

EMAIL: cloverfence@gmail.com

PHONE: (414) 759-9358

<input checked="" type="checkbox"/> Hotline Needed	<input checked="" type="checkbox"/> Customer to get permit
WORK TO BE PERFORMED AT: <u>Tangle</u>	
NAME <u>Melissa Kitching</u>	BILLING ADDRESS (if different than work location)
STREET <u>9385 W. Lake Dr</u>	NAME
CITY / ZIP <u>Bay Side</u>	STREET
TELEPHONE <u>412-9262</u>	CITY / ZIP
	TELEPHONE

WE PROPOSE TO FURNISH ALL LABOR AND MATERIAL FOR THE ERECTION OF FENCE AS DESCRIBED BELOW:

Fabric <u>Wood</u>	Wire Only <u>Picket Fence</u>
Footage <u>86</u>	Style
Gauge	O.D. of Line Posts in inches <u>4x4 post</u>
Mesh	End & Corner Posts in inches
Height <u>48"</u>	Gate posts in inches QTY.
Top Rail <u>2x4</u>	Gate Size
Tension Wire	<u>None</u>
Top	
Bottom	
Barb Wire	
<input type="checkbox"/> Follow Grade	<input type="checkbox"/> Follow Height
<input checked="" type="checkbox"/> Tear Out /Haul Away	



MC add 12' post

MISC.

all posts set in concrete

western red cedar

Design top post

debts to be removed please?

ID

questions: fence walk

ATTENTION: CUSTOMER RESPONSIBLE FOR LOT LINES AND PERMITS

7 YEARS ON WOOD - 15 YEARS ON CHAIN LINK FENCE - 3 YEARS ON GATES

Haul away

<input checked="" type="checkbox"/> Dirt removal to be done by Customer	<input type="checkbox"/> Dirt removal done by CLOVER = Cost \$	
COST OF TRANSACTION \$	DOWN PAYMENTS	BALANCE DUE ON COMPLETION \$ <u>1980.00</u>

Any alterations or deviations from this proposal or unforeseen expense will be charged for additionally, same to be paid for on completion. Any change from original plan to be done at owner's risk and expense.

The contractor is not responsible for any material or workmanship altered due to weather or ground conditions.

Contractor is not responsible for ruts, grass and lawn damage or neighbor's lawn while trying to complete this contract.

Contractor will not be considered as trespassing during construction and after until job is completed and paid in full.

Owner is responsible for any needs in writing from neighbors and/or Board of Appeals to obtain permits and/or permission to proceed with job.

Owner is responsible for obtaining current Plat of Survey (if necessary).

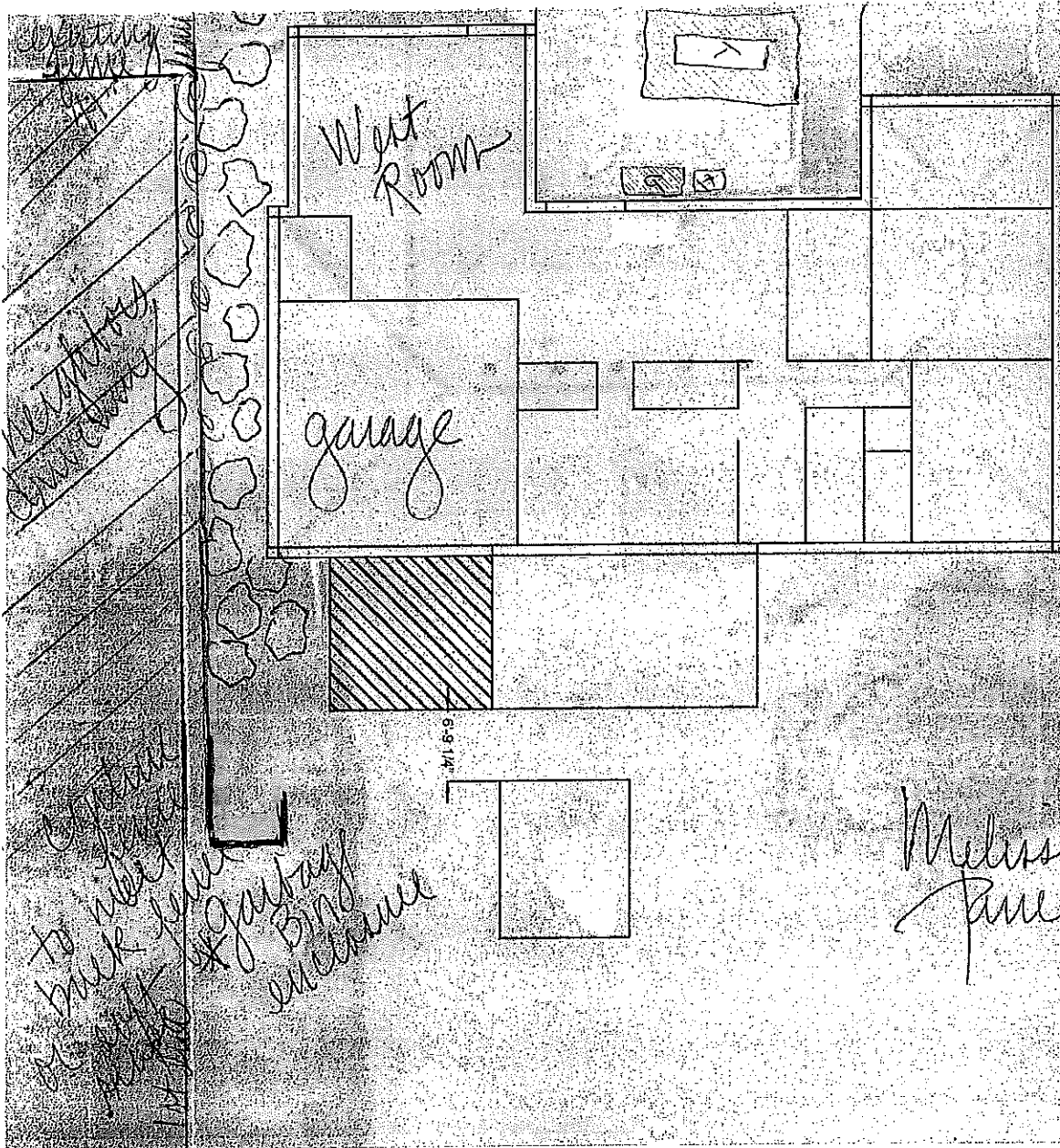
Balance of payment is due upon completion. Late payments subject to interest charges at the rate of 1 1/2% per month on unpaid balance. Lien rights to be activated within 30 days of non-payment.

I have read and understand this contract. The price, specifications, and conditions are satisfactory and I hereby accept.

You are authorized to do the work as specified.

CUSTOMER'S SIGNATURE Melissa Tangle DATE 04/11/18

ACCEPTED BY Eric Roepke DATE 04/11/18

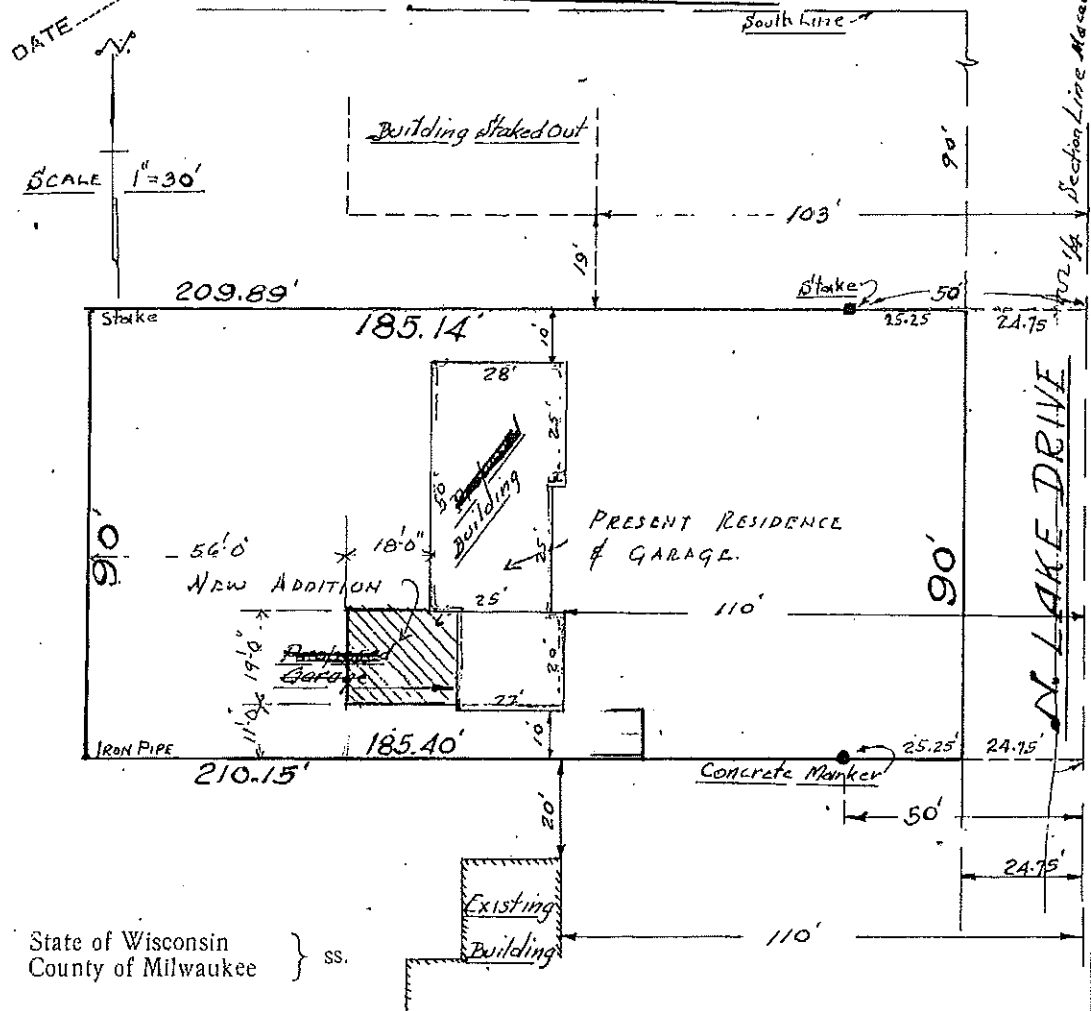


Milwaukee 12, Wis.

NUMBER 276 in the North West 1/4 Section 4 Town 8 North, Range 22 East

VILLAGE SIDE
BUILDING COMMITTEE
OCT 24 1960

E. RAVINE LANE



State of Wisconsin } ss.
County of Milwaukee }

I hereby certify that the above survey is a true representation of the lot lines thereof and of the principle lines of the buildings thereon.

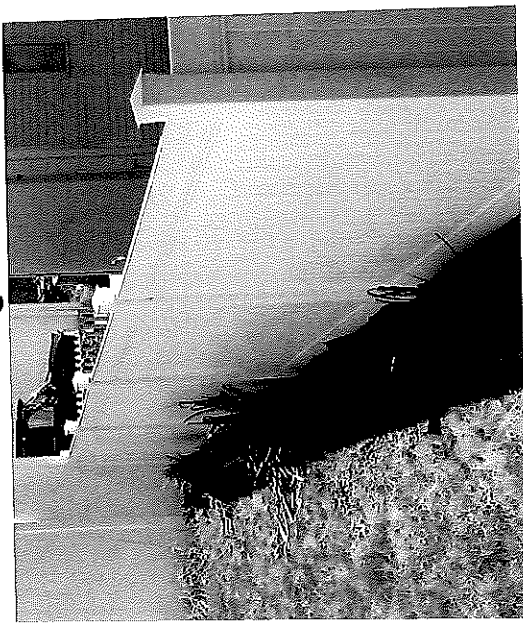
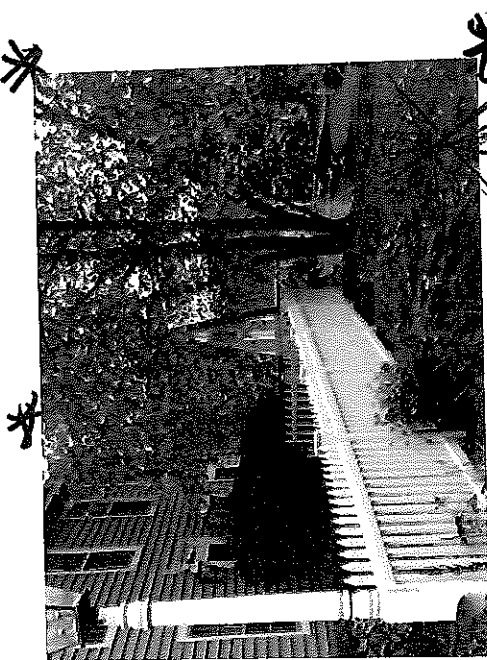
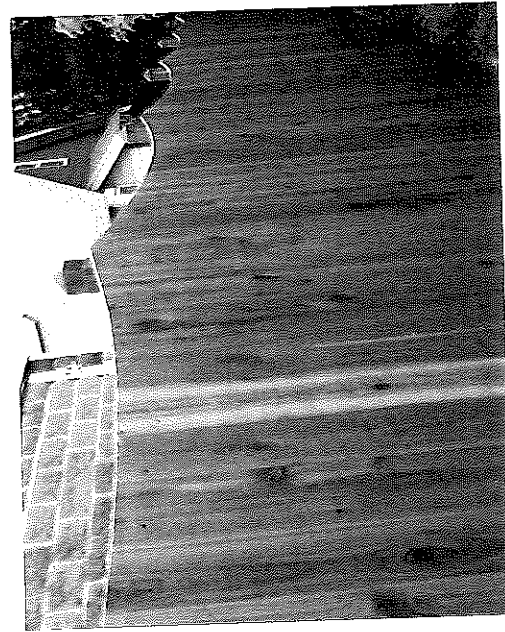
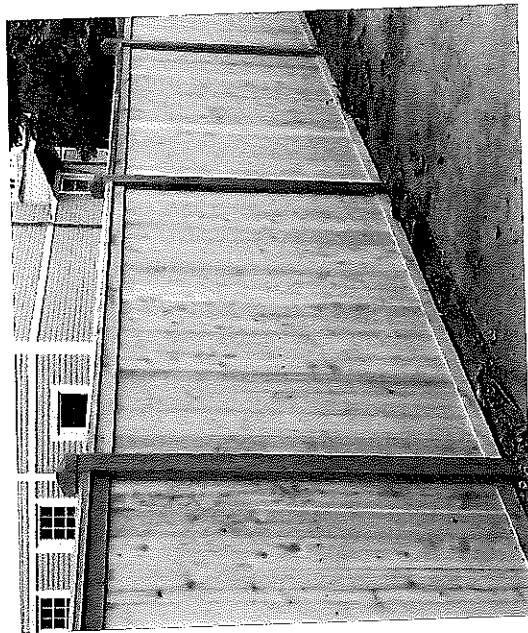
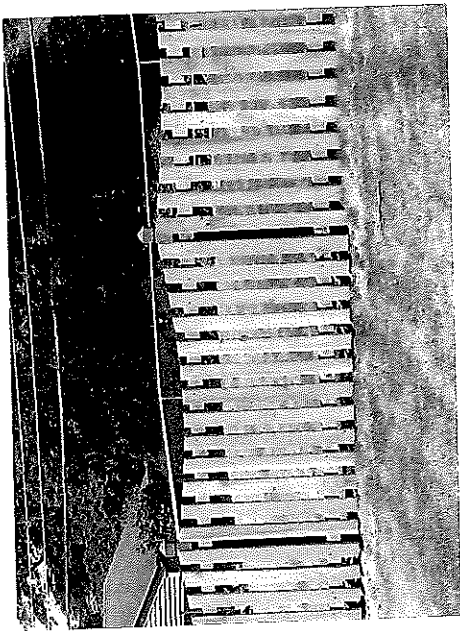
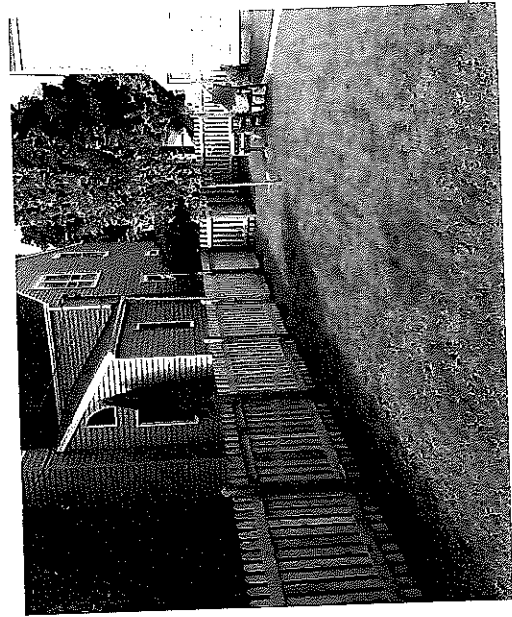
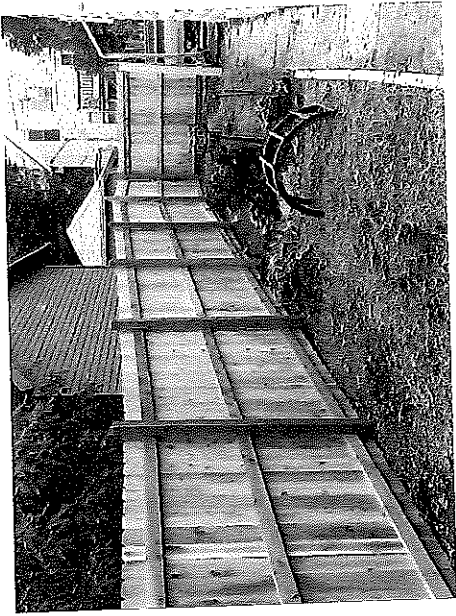
I further certify that I have procured the official description from official records.

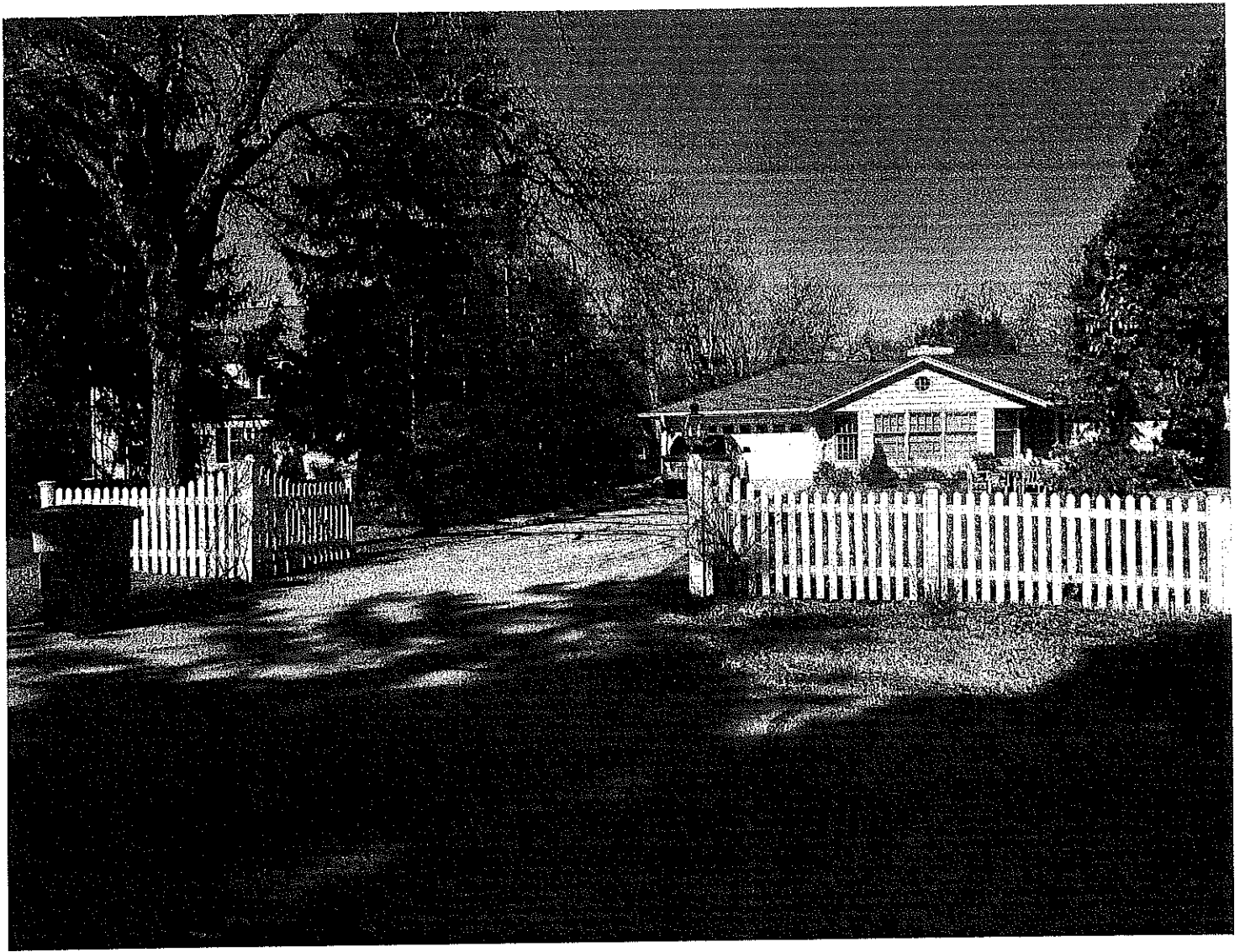
Oliver J. Sechauer

Date of Survey. *APRIL 14, 1951*

Surveyor

017-0136





Project Proposal

Date 5/2/18

Property Address 8932 N. Regent Rd

Zoning _____

☒ Accessory Structures/Generators

☐ Additions/Remodel

☐ Bluff Management

☐ Commercial Signage

☐ Decks/Patios

☐ Fence

☐ Fire Pits

☐ Landscaping requiring Impervious
Surface/Fill/Excavation Permit

☐ New Construction

☐ Play Structures

☐ Recreational Facilities/Courts

☐ Roofs

☐ Solar Panels/Skylights

☐ Swimming Pools

☐ Windows/Doors

☐ Other

Proposed project details (type of work, size, materials, etc.):

~~Remove~~ remove & replace 10x10 Ft shed on
current cement slab
See Review Committee application for materials

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>pd 5/4</u>
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/21/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Variance Required

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: David Rosenberg PROJECT ADDRESS: 8930 N Regent Rd	PROJECT SUMMARY: Replace 10x10 storage shed in back yard on existing concrete slab. Materials / paint to match existing home.
--	---

VILLAGE CODE REVIEW

The owner plans to build an accessory structure storage shed in his back yard. The accessory structure must be located within all building setbacks, including a 10' side yard setback per Village Code section 125-91 "C" residence district regulations and section 104-4(f) Accessory structures. **Project complies.**

Reviewer believes this project complies with the following Village Code sections:

14-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

14-4(g) Accessory Structures: *An accessory structure which allows for human entry or for storage of more than two cubic yards shall have a wood, metal, concrete or masonry support structure and shall substantially match the main structure on the property in architecture and color. The accessory structure does not need to match the main structure exactly in terms of finish materials, and grade of finish, in order to substantially match the main structure.*

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
dhatch@safebuilt.com

21-0206

PLAT NO. PP 8-12

PERCOLATION TESTS
LAND CONSULTANT
SEWER & WATER DESIGN
SUBDIVIDING

W. G. NIENOW ENGINEERING ASSOC.
CONSULTING ENGINEERS-SURVEYORS

1743 W. GREEN TREE ROAD
TELEPHONE 351-1820

MILWAUKEE, WIS.

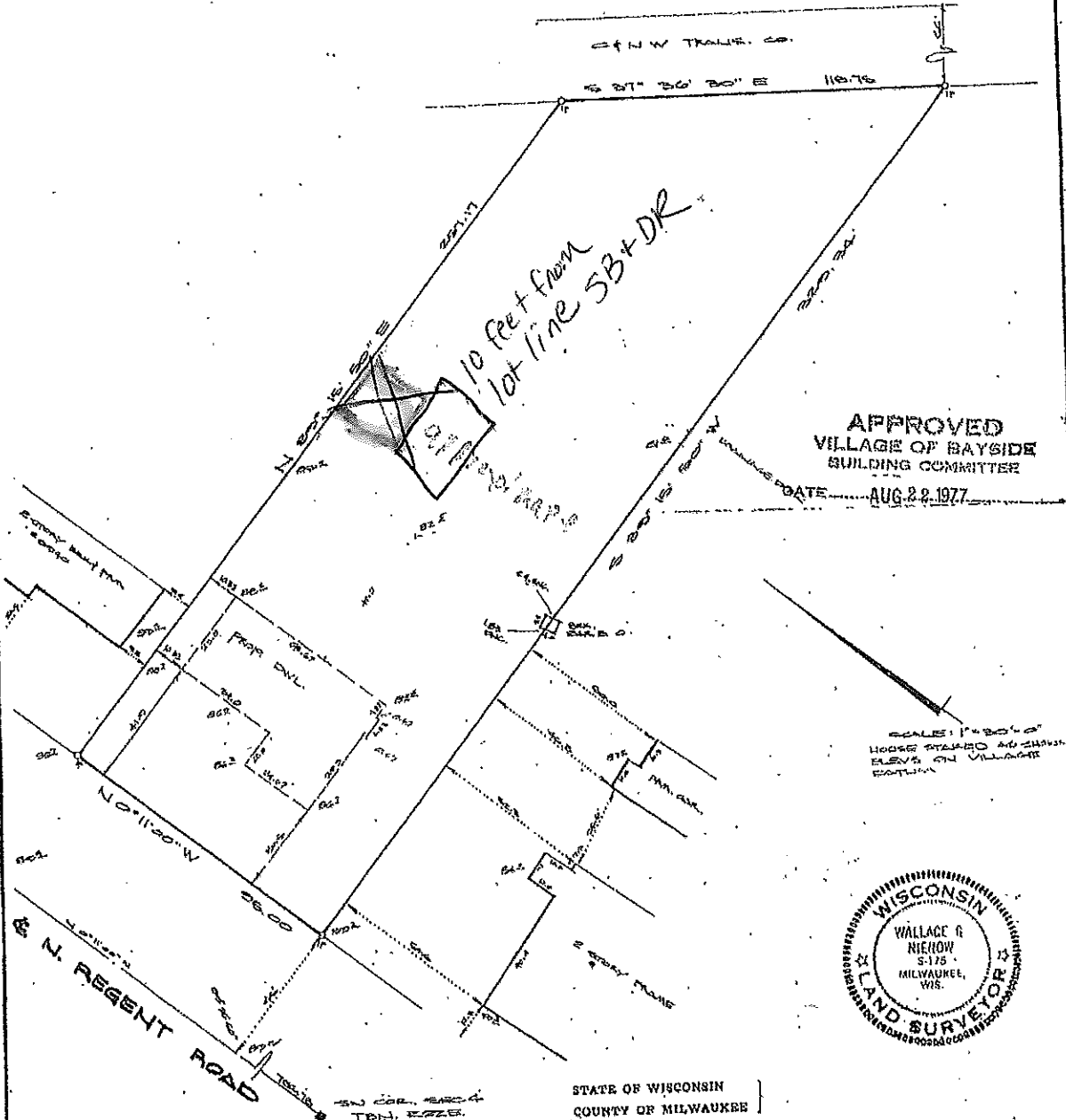
WALLACE G. NIENOW, P.E., L.S.

ASSOCIATES
KENNETH B. WESTERN, P.E.
CARL R. RAHMIG, P.E.

PLAT OF SURVEY

PREPARED FOR James Graham

DESCRIPTION OF PROPERTY Lot 3 in Schurman Acres, a subdivision located in the Southwest 1/4 of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.



APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE
DATE AUG 22 1977

SCALE: 1"=20'-0"
HOUSE PLACED AS SHOWN
ELEV. ON VILLAGE
COTTON



AFFIDAVIT:

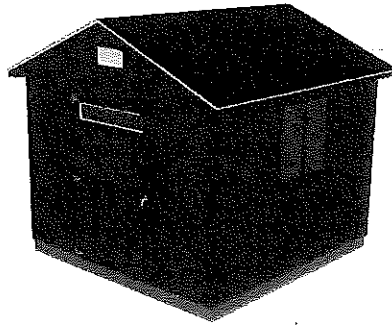
I hereby certify that I have made a survey on 197.....
and that the location of the on above described.
property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, Wallace G. Nienow, Surveyor, do hereby certify that I
have made a survey of the above described property and that the above plat is a true
representation of said survey.

Milwaukee, Wisconsin August 22, 1977
Wallace G. Nienow

Byrne &
Rosenberg
8930 North
Regent



IdeaRoom

Reset

Rotate

Zoom

Type here to search



TUFF SHED
Storage Buildings & Garages



tuffshed.com

Craig Kelly
Sales Design Consultant

6280 South Howell Avenue
Milwaukee, WI 53207

mobile 414-719-4396
toll free 800-BUY-TUFF
email ckelly@tuffshed.com

6280 S. HOWELL AVE. MILWAUKEE, WI 53207
ckelly@tuffshed.com

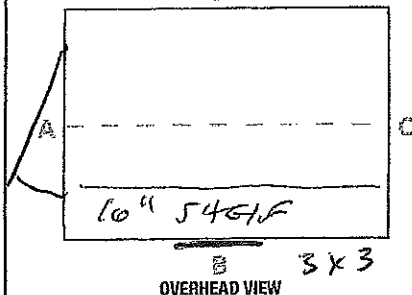
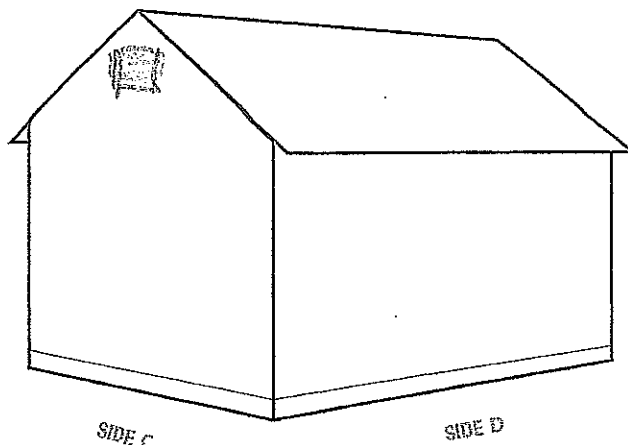
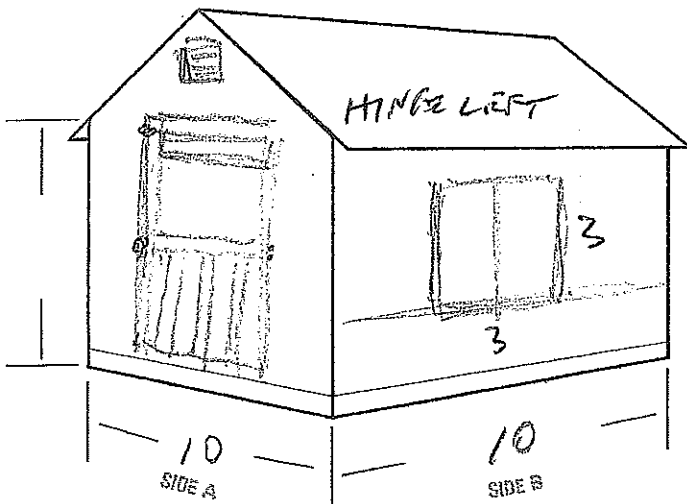


BUILDER'S HELPER

SO #: _____

Sales Consultant: CRAG KERRY Customer Name: BYRNE Roseberry

RANCH MODEL: PRO INSTALL DATE: _____



Base Paint: _____
 Trim Paint: _____
 Accent Paint(AP): _____
 AP Location: _____
 Shingle: BROWNWOOD
 Drip/Vent Color: Brown

Options (List): 3x3 window (1)
IN DOOR TRANSOM
MAINSIDE DOOR
CABLE R/D VENT (2)
16" SHELF (10')

Customer or responsible individual will be at site at time of delivery? YES NO CM
 Is site clean and level? (Customer understands a leveling fee will apply if site is more than 4" out of level.) YES NO CM
 Is there 18" clearance around all 4 sides of the building? YES NO CM
 Is there clear access to the building site? YES NO CM
 Is there a 110-volt/20 AMP power outlet within 100'? YES NO CM
 Customer understands building permits, fees and all related cost of site readiness are customer's responsibility? YES NO CM
 Customer has been presented the "What to Expect" document? YES NO CM
 Customer understands that changes, cancellations or postponement once pre-fab has begun
 will result in restocking/rescheduling fee? YES NO CM
 Is this a NO FLOOR option? YES NO CM
 Does the Customer plan to insulate this building? YES NO CM
 How close to the build site can we park our vehicle? 100 ft. CM

Special Instructions:

CUSTOMER APPROVAL:

Signature: Craig Kerry

Date: 4/28/18

Project Proposal

Date MAY 2, 2018

Property Address 665 W LARAMIE LN

Zoning _____

- ☐ Accessory Structures/Generators
- ☒ Additions/Remodel
- ☐ Bluff Management
- ☐ Commercial Signage
- ☐ Decks/Patios
- ☐ Fence
- ☐ Fire Pits
- ☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit

- ☐ New Construction
- ☐ Play Structures
- ☐ Recreational Facilities/Courts
- ☐ Roofs
- ☐ Solar Panels/Skylights
- ☐ Swimming Pools
- ☐ Windows/Doors
- ☐ Other

Proposed project details (type of work, size, materials, etc.):

MASTER SUITE ADDITION (~300 SQ FT) to match outside trim
and siding. Will have same roof shingle
- crawl space for foundation

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views ✓
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading) ✓
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey NEW NOT REQ'D ✓
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs ✓
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>5/21/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/21/18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required



SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:
Linnea and Brian Head

PROJECT ADDRESS:
605 W Laramie Ln

PROJECT SUMMARY:
300 sq ft master suite addition to match
existing house.

VILLAGE CODE REVIEW

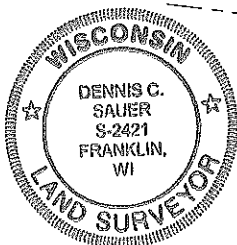
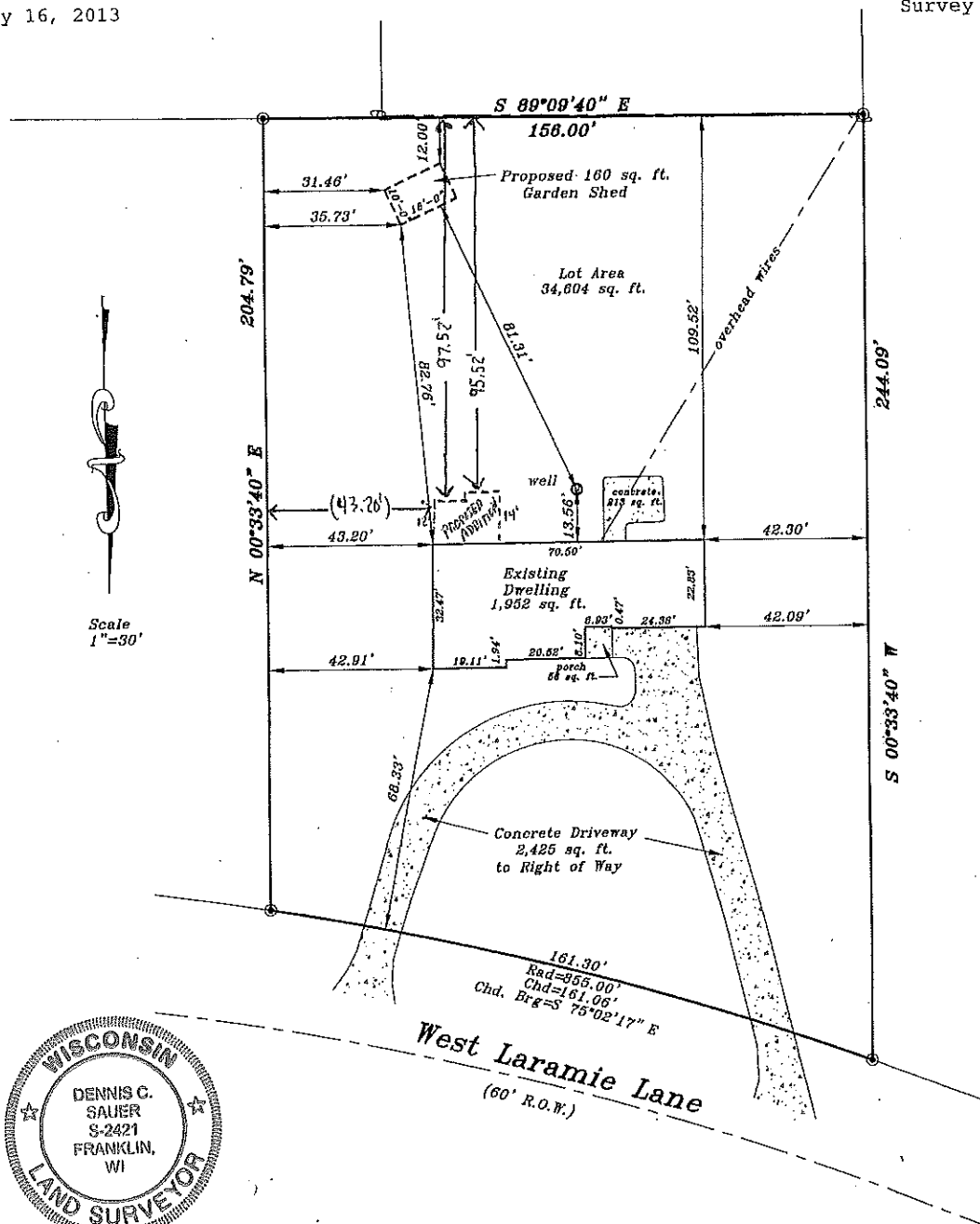
Reviewer believes this complies with Village Code Section 14-2 (2) *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
dhatch@safebuilt.com

LEGAL DESCRIPTION:

May 16, 2013

Survey No. 104039



METROPOLITAN SURVEY SERVICE, INC.

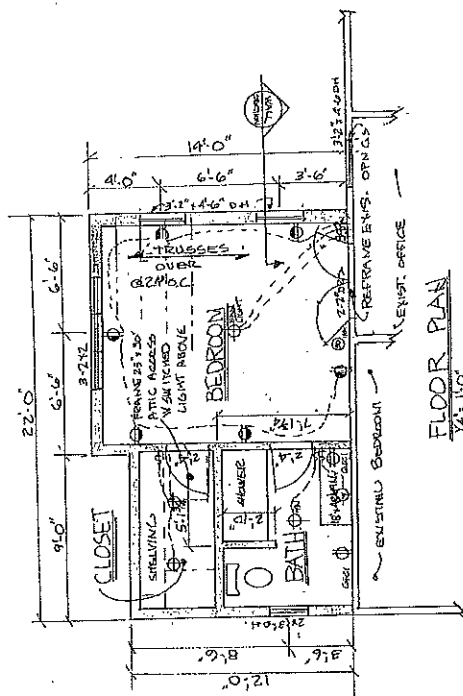
email address: survey@metropolitansurvey.com

○ — Denotes Iron Pipe Set

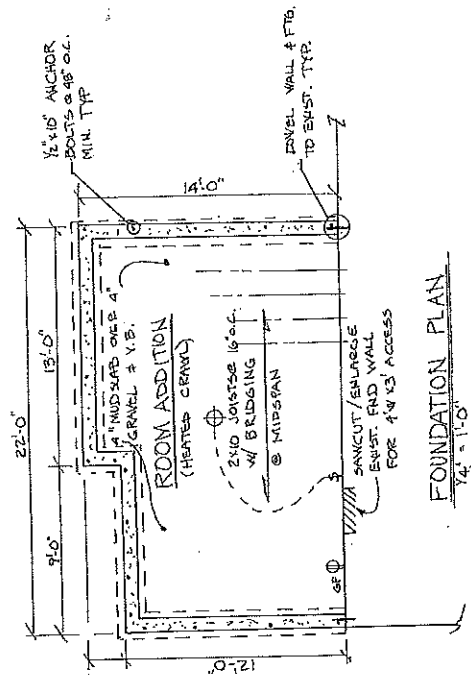
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY,
AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREYO WITHIN
ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

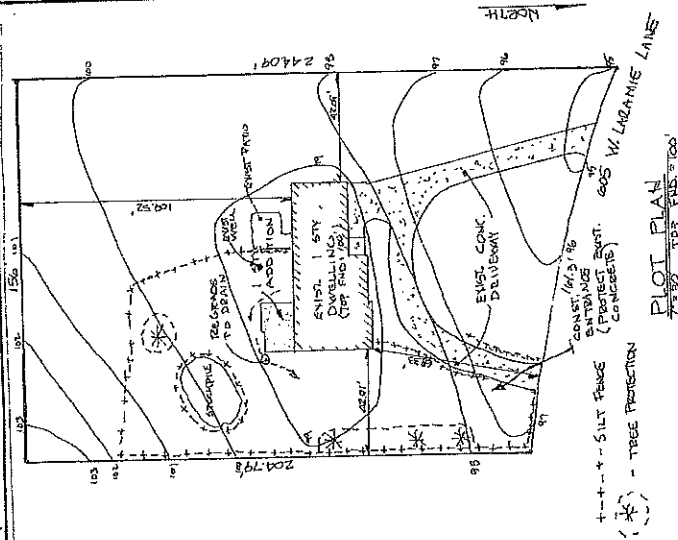
Dennis C. Sauer



FLOOR PLAN
1/4" = 1'-0"



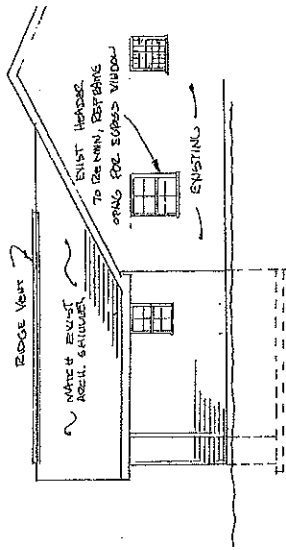
FOUNDATION PLAN
1/4" = 1'-0"



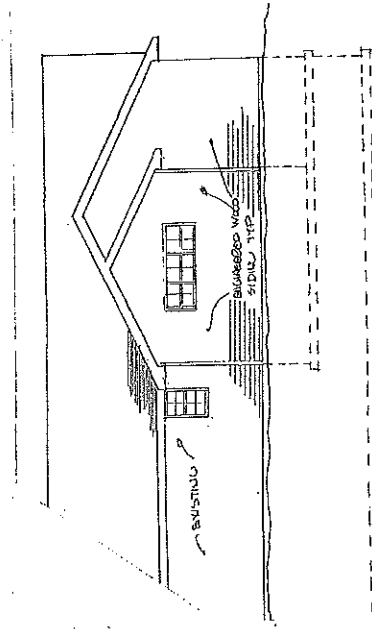
PLOT PLAN
1/4" = 1'-0"

- GENERAL NOTES**
1. ALL CONSTRUCTION TO CONFORM WITH
 2. ALL EXISTING DIMENSIONS, DOOR SIZES, AND CONDITIONS TO BE FIELD VERIFIED
 3. EXTERIOR WALL FINISHING TO BE IN ACCORDANCE WITH 2x4
 4. U.S.O. MEMBERS TO BE 2-2x2 AF
 5. LUMBERWORK BY OWNER
 6. U.S.O. FINISHING MATERIAL DOWNHILL ARE
 7. U.S.O. EXPOSED AIR TO BE EXTENDED WITH 2 SUPPLIES, 1 RETURN
 8. BEDROOM & CLOS. POWER & LIGHTING CIRCuits TO BE ACC. FIRST FLOOR

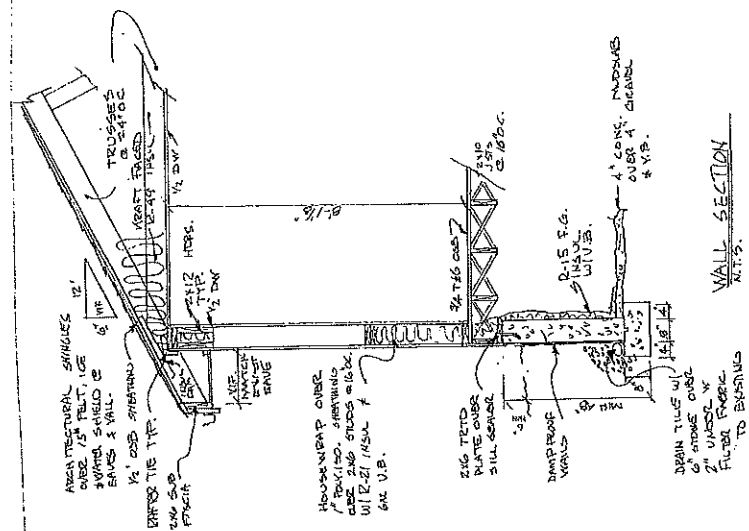
BEDROOM-BATH-ADDITION			
DESIGNED BY	DATE	APPROVED BY	DRAWN BY
DATE 04/20/18	DATE 04/20/18	DATE 04/20/18	DATE 04/20/18
605 W. LARAMIE LN., BAYSIDE			
PLANS/PLOT PLAN			
10F2			



SIDE (E) ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

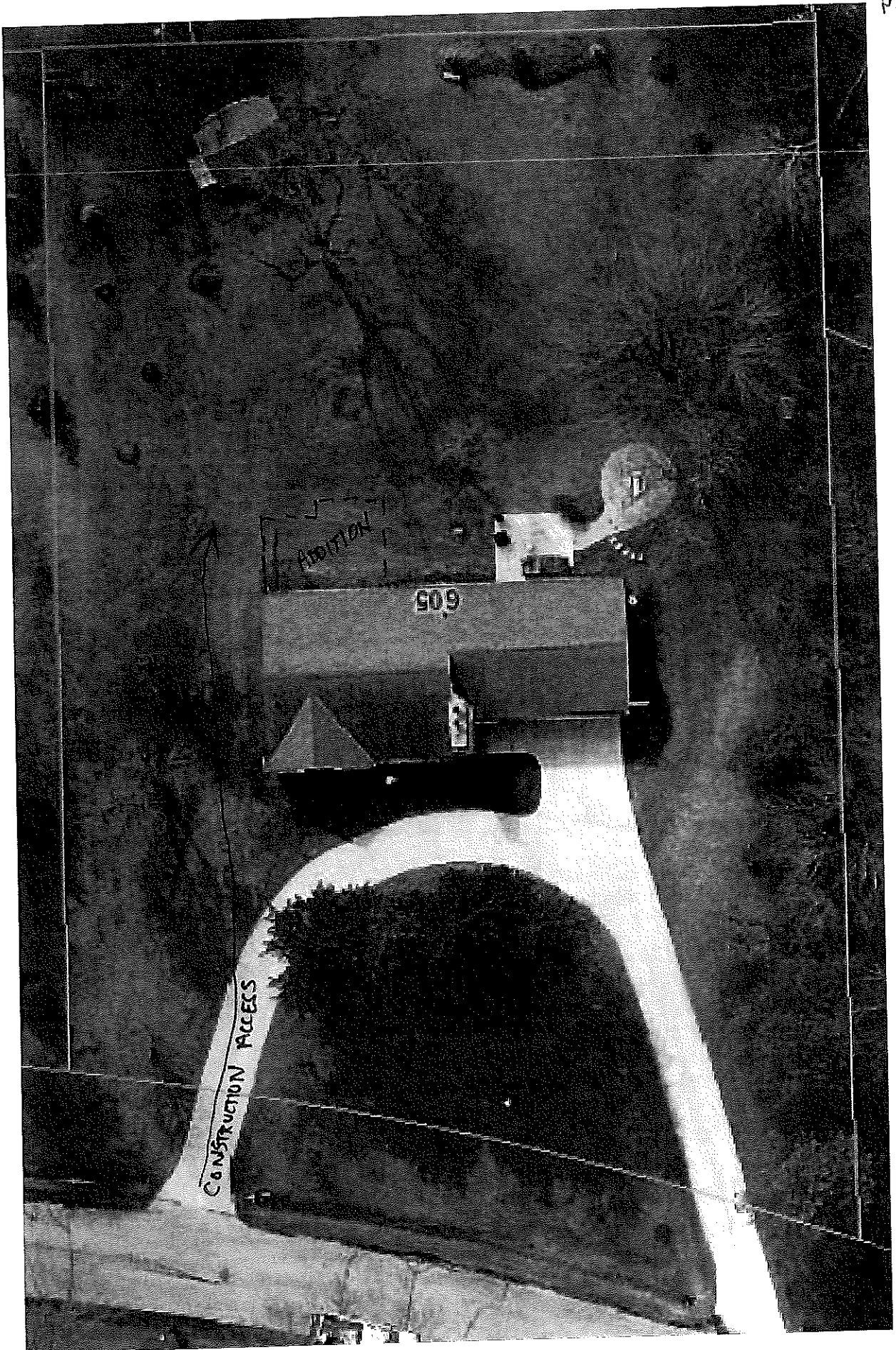


BEDROOM-BATH ADDITION			
DATE: 10/20/18	DESIGNED BY: [blank]	DRAWN BY: [blank]	PROJECT NO: [blank]
605 W. LARAMIE LN., BAYSIDE			
ELEVATIONS - SECTIONS			

WALL SECTION
1/8" = 1'-0"

HEAD-LARAMIE LN

AERIAL VIEW OF
PARCEL





Project Proposal

Date 5/7/18
 Property Address 9095 N. King Rd.
 Zoning Residential "E"

- | | |
|--|---|
| <input checked="" type="checkbox"/> Accessory Structures/Generators | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

Shed 10x16 built of wood on a stone
foundation

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>600</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5-21-18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit <u>Board of Zoning</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Variance Required

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Chaz and Tiffany Rodriguez</p> <p>PROJECT ADDRESS: 9095 N King Rd</p>	<p>PROJECT SUMMARY: 10x16 storage shed on stone foundation</p>
--	--

VILLAGE CODE REVIEW

The owner plans to build an accessory structure storage shed in their back yard. The accessory structure must be located within all building setbacks, including a 10' side yard setback and 10' rear yard setback per Village Code section 125-91 "C" residence district regulations and section 104-4(f) Accessory structures.

Plot plan shows accessory structure near the property lines and does not comply with the setback requirement noted above.

Reviewer believes this project complies with the following Village Code sections:

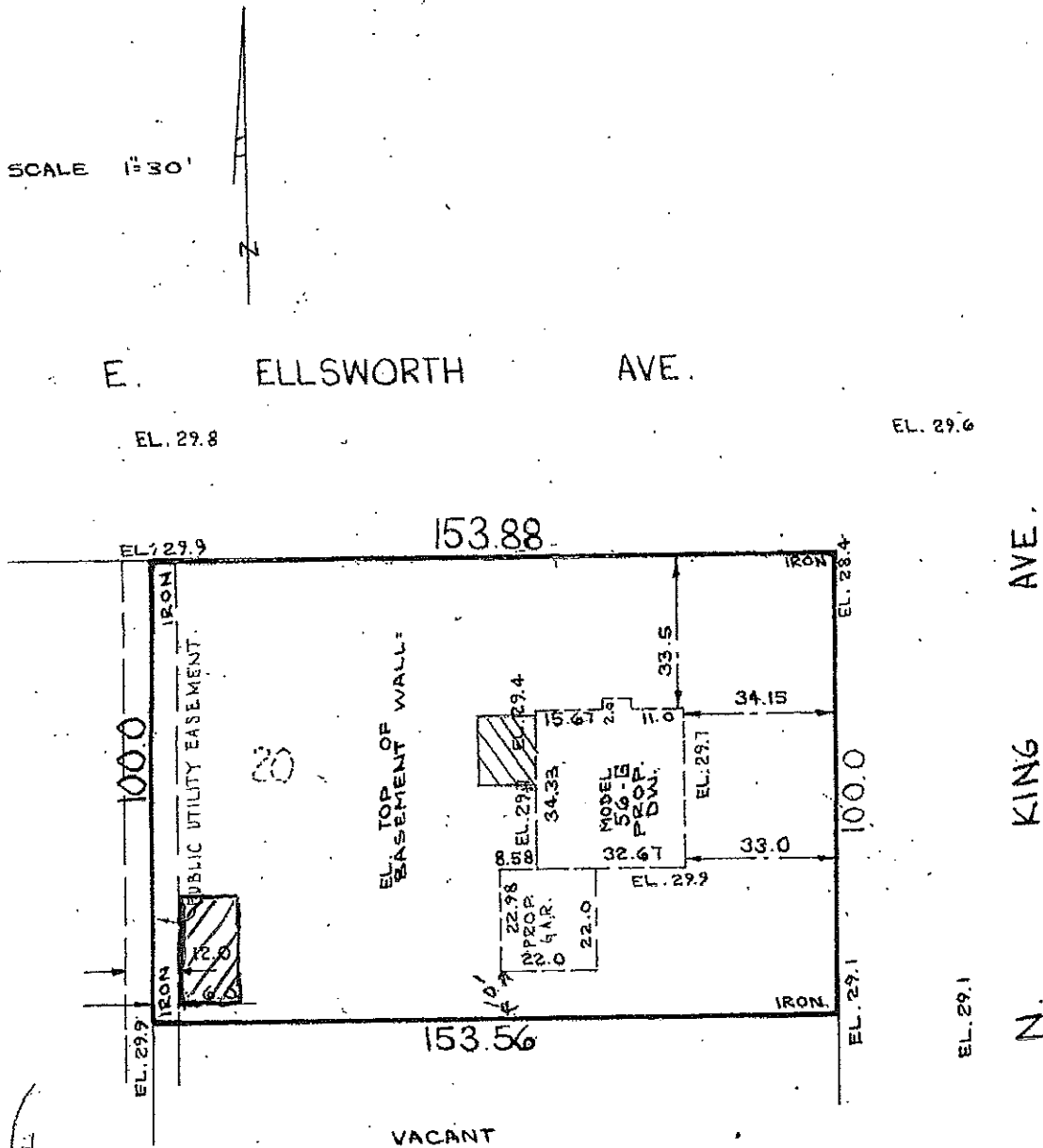
14-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

14-4(g) Accessory Structures: *An accessory structure which allows for human entry or for storage of more than two cubic yards shall have a wood, metal, concrete or masonry support structure and shall substantially match the main structure on the property in architecture and color. The accessory structure does not need to match the main structure exactly in terms of finish materials, and grade of finish, in order to substantially match the main structure.*

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
dhatch@safebuilt.com

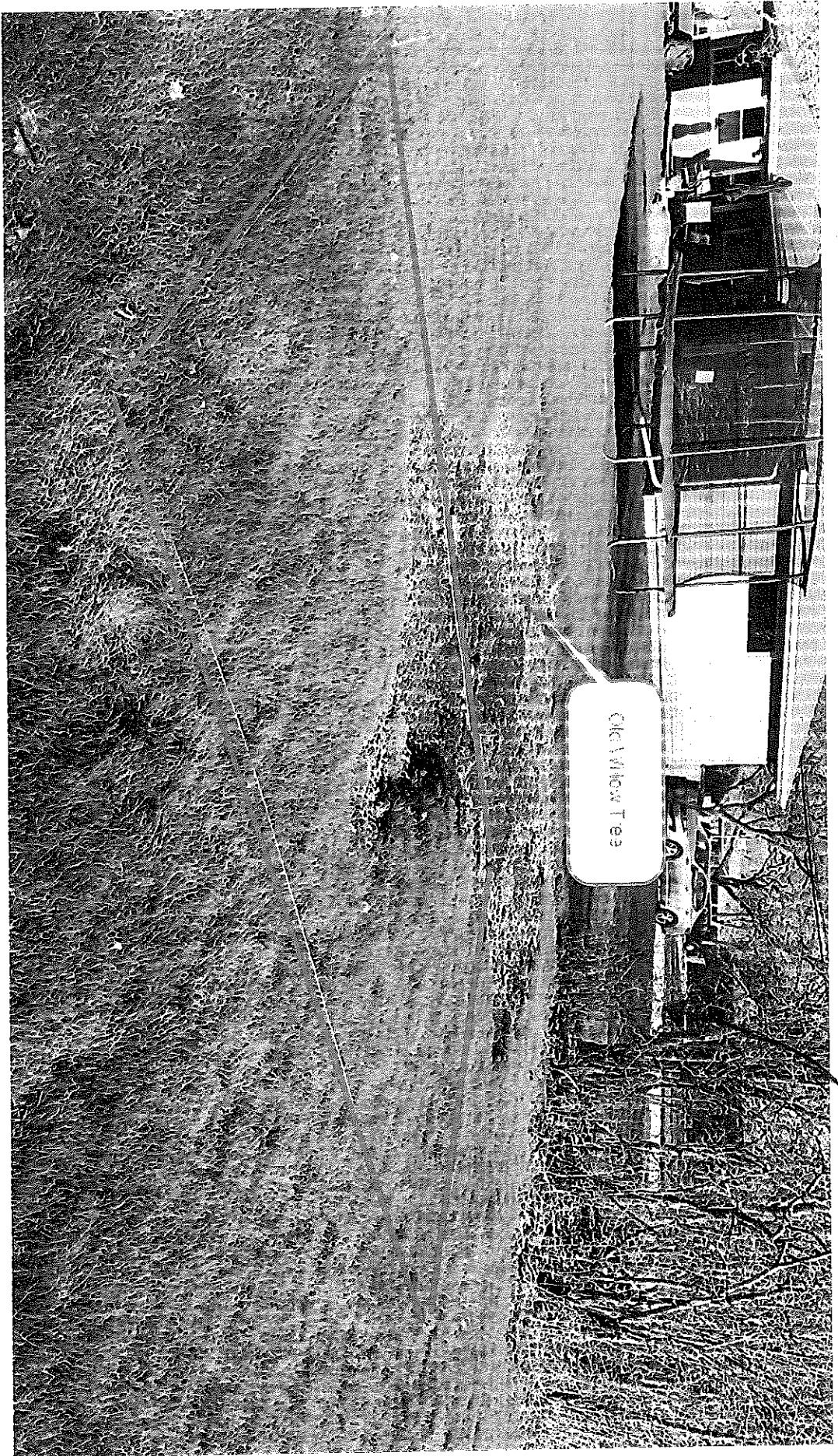
Plat of Survey

Known as 9095 North King Avenue, Village of Bayside, Wisconsin
 Lot 20 in Block 2 in BRANDA ESTATES, being a Subdivision of a part of the S. W. 1/4
 of Section 4, T 8 N, R 22 E, in the Village of Bayside, Milwaukee County, Wisconsin.
 May 4, 1956 Survey No. 74499-S

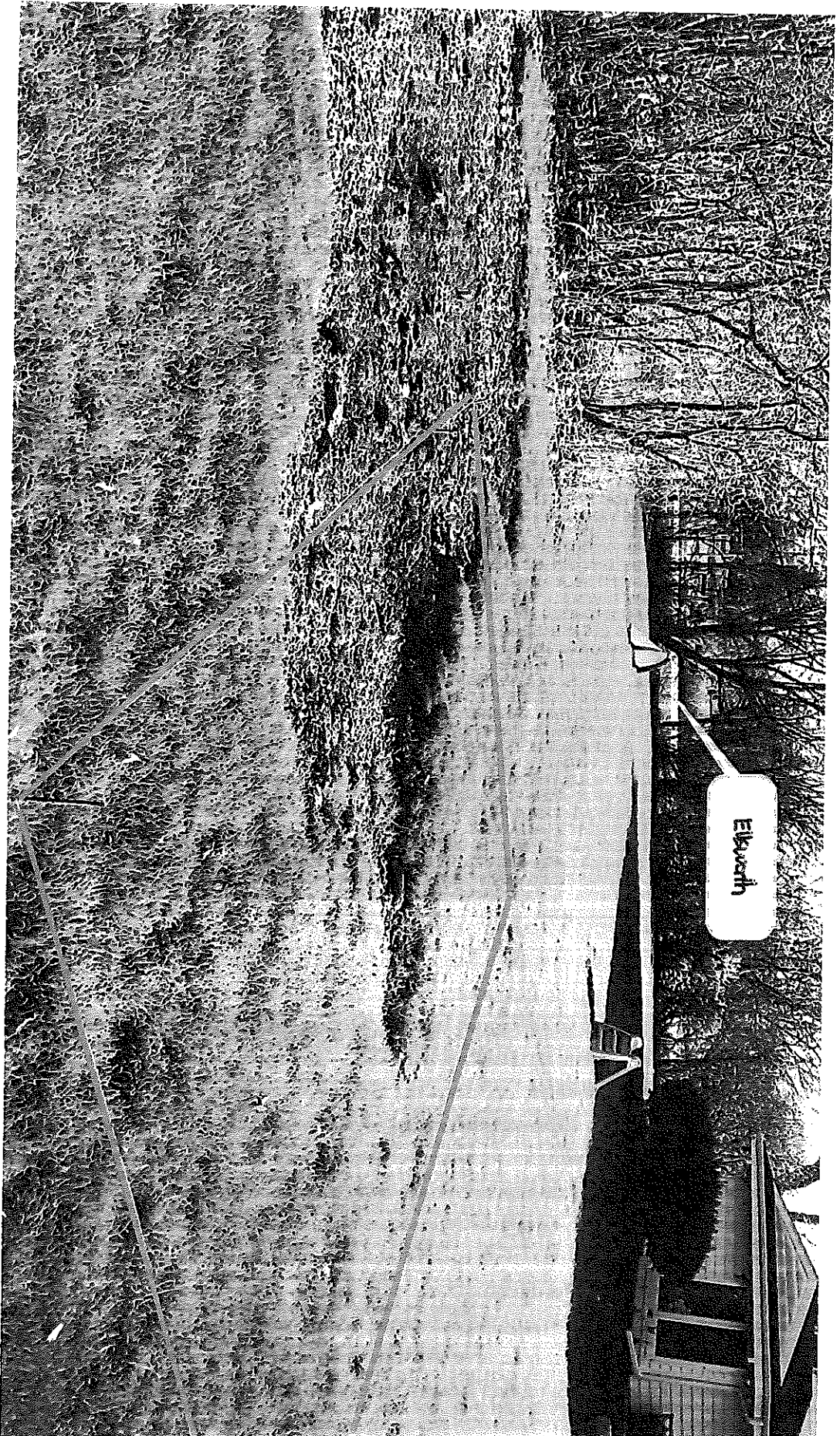








Ellsworth



Home (<https://www.yardlinespecialevents.com/>)

About Us (<https://www.yardlinespecialevents.com/about/>) Current zip code: 53217 (Change)

Sheds (<https://www.yardlinespecialevents.com/assembled-sheds/>)

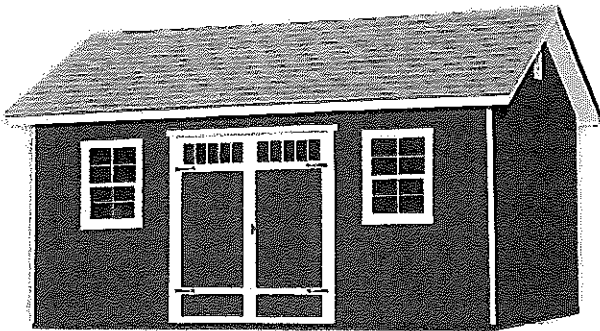
FAQ (<https://www.yardlinespecialevents.com/faqs/>)

Testimonials (<https://www.yardlinespecialevents.com/testimonials/>)

Contact Us (<https://www.yardlinespecialevents.com/contact/>)

HOME » SHEDS » BELLINGHAM 16'X10' SHED

BELLINGHAM 16'X10' SHED



Shown with eave doors.

Spacious Storage Solution Equipped with Tons of Built-in Functionality

- 7' tall side wall height
- Extra-wide 64" wide double doors with full-length continuous hinges

\$3599.99

QUESTIONS? CONTACT US!

([HTTPS://WWW.YARDLINESPECIALEVENTS.COM/CONTACT/](https://www.yardlinespecialevents.com/contact/))



Model: Bellingham

Size: 16' x 10'

Delivery and Assembly Included

Description

Specifications

Accessories

Things to Know

Specifications:

Professional on-site Installation Available


Yes

Warranty

15-year material warranty

Side Wall Height

7'

Flexible Door Location	Yes - Install on Eave or Gable Side
Storage options included	10'W x 12"D shelf 4' deep storage loft
Double Door Size	64"
Type of Handle/Lock Included	3-point locking mechanism
Door Trim Design Options	Horizontal trim, faux strap hinges
Wall Vents	Two arched gable vents included providing necessary ventilation
Wall Framing	2x4
Floor Material	Complete wood floor - 5/8" decking with treated 2x4 joists and 4x4 treated runners
Aluminum Threshold	Included
Siding	Factory-primed, engineered wood siding provides resistance against termites and fungal decay
Instructions	 Download Instructions Instructions.pdf
Shingles and roofing felt	Included - Dimensional shingles with five colors to choose from

Available Shingle Color Options:

https://www.yardlinespecialevents.com/wp-content/themes/yardline/assets/img/shingles_white.jpg

WHITE

https://www.yardlinespecialevents.com/wp-content/themes/yardline/assets/img/shingles_light_brown.jpg

LIGHT BROWN

https://www.yardlinespecialevents.com/wp-content/themes/yardline/assets/img/shingles_dark_brown.jpg

DARK BROWN

https://www.yardlinespecialevents.com/wp-content/themes/yardline/assets/img/shingles_driftwood.jpg

BROWN & GRAY MIX

https://www.yardlinespecialevents.com/wp-content/themes/yardline/assets/img/shingles_black.jpg

BLACK

Items not included - Furnished by Homeowner:

Exterior latex paint needed Siding: 2 1/2 gal. | Trim: 2 qt.

Project Proposal

Date 5/8/2018

Property Address 9445 W. Fairway Circle

Zoning _____

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

take down and replace existing fence.
would like to extend fenced area.
will use cedar fence - picket style
surrounding a pool

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>60</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/21/2018</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Variance Required

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:

Jessica Snyder

PROJECT ADDRESS:

9445 N Fairway Circle

PROJECT SUMMARY:

Replacement and new fence. 6' tall, cedar picket, 318' long, 50% open design

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length of 318' is approximately 50% of the total property perimeter length of approximately 640' and a 50% open design is required by the code section copied below.

Village code section 14-182 (l): Fence type. *No solid fence may be constructed with a total horizontal linear length in excess of ten percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. No fence shall be constructed with a total horizontal linear length in excess of ten percent of the linear feet of the perimeter of the property without at least a 25 percent open design. No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

PROPOSED LENGTH AND TYPE COMPLY

HEIGHT:

PROPOSED HEIGHT COMPLIES

MATERIAL / FINISH:

PROPOSED FINISH COMPLIES

Dan Hatch, RA
Plans Examiner
dhatch@safebuilt.com

16-0106

Plat No. Mat 45-48

PERCOLATION TESTS
LAND CONSULTANT
SEWER & WATER DESIGN
SUBDIVIDING

NIENOW, LANDRY, WEBSTER & ASSOC.

1750 W. SILVER SPRING DRIVE MILWAUKEE, WIS.
850 ELM GROVE ROAD ELM GROVE, WIS.

WALLACE G. NIENOW, P.E.
JAMES W. LANDRY, P.E.

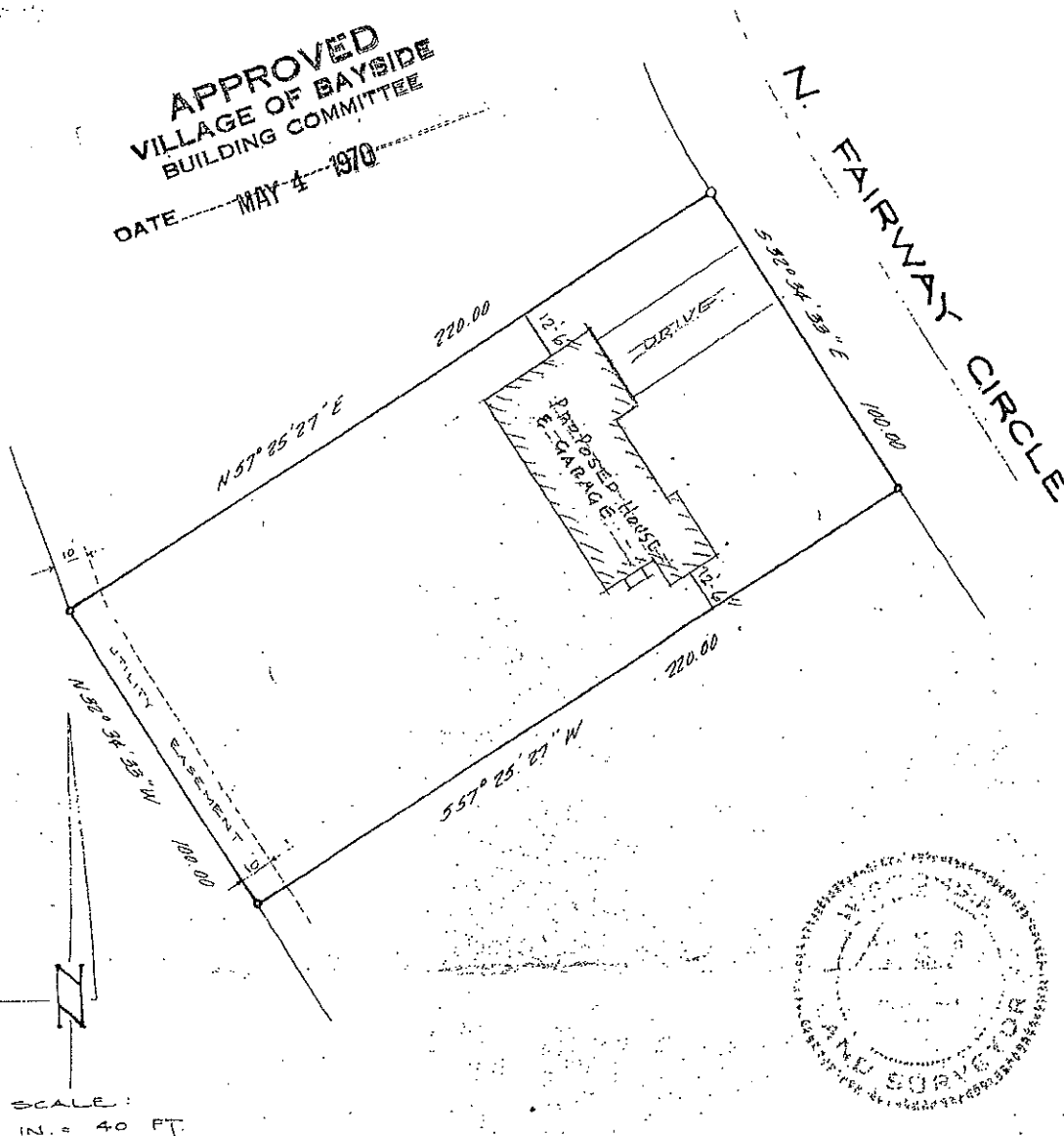
ASSOCIATES
KENNETH B. WESTERN, P.E.
CARL R. RAHMIG, P.E.

PLAT OF SURVEY

PREPARED FOR Fred Miller

DESCRIPTION OF PROPERTY Lot 37 in Block 3, North Shore East, in the Northwest 1/4
of Section 4 and the Northeast 1/4 of Section 5, Town 8 North, Range 22 East, in the
Village of Bayside, Milwaukee County, Wisconsin.

APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE
DATE MAY 4 1970



AFFIDAVIT:

I hereby certify that I have made a survey on
..... 196....., and that the location
of the on above described
property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, Wallace G. Nienow, Surveyor, do hereby
certify that I have made a survey of the above described
property and that the above plat is a true representation
of said survey.

Milwaukee, Wis. APR 14 1970

Wallace G. Nienow

11040 N. Buntrock Avenue, Mequon, WI 53092
262-251-6766 • Fax 262-242-0620 • www.a1-fence.com

Date: 4-30-18

Replace old Fence w/ new yellow highlight
in yellow

Project Proposal

Date 5-7-18

Property Address ~~25~~ 1400 E Bay Point Rd

Zoning A

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

New Home

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs <u>Bring to meeting</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>\$60</u>
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5-21-18</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

Sewer / S



SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

5/10/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Colin M White Trust PROJECT ADDRESS: 1400 E Bay Point Rd	PROJECT SUMMARY: New home
---	------------------------------

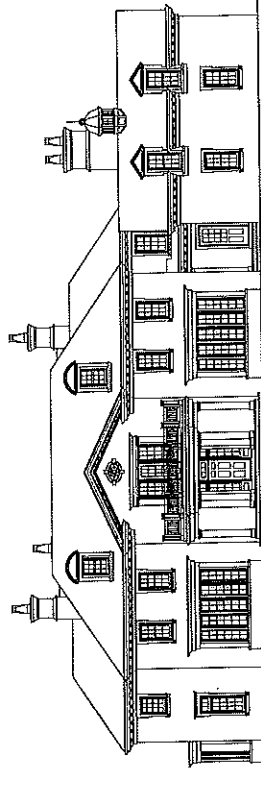
VILLAGE CODE REVIEW

Reviewer believes this complies with Village Code Section 14-2 (2) *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

ARC review does not include UDC plan review as required to receive building permit in accordance with SPS 321-325. Submit for plan review prior to receiving building permit.

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
dhatch@safebuilt.com

DESIGN REVIEW DOCUMENTS for a
NEW SINGLE-FAMILY HOME at
1400 EAST BAY POINT ROAD in
BAYSIDE, WISCONSIN



SHEET INDEX

T1.0	PROJECT TITLE AND SHEET INDEX
A1.0	PROPOSED EXTERIOR ELEVATIONS
A2.0	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS AND TYPICAL FLOOR DECK-EXTERIOR WALL-ROOF ASSEMBLY
A4.0	PROPOSED FINISHED BASEMENT FLOOR PLAN AND MISCELLANEOUS NOTES
A5.0	PROPOSED FIRST FLOOR PLAN
A6.0	PROPOSED SECOND FLOOR PLAN, PROPOSED LAKE ROOM ROOF MONITOR PLAN, AND NOTES
A7.0	PROPOSED ROOF PLAN AND NOTES
C1.0	PROPOSED SITE PLAN AND PROPOSED SITE MAP

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

REVISIONS	#	DATE	DESCRIPTION

drawn by: Greg Urban

The Garret Studio
Design and Consulting
3861 N. Menomonee Blvd.
Shorewood, WI 53211
P: 414.384.8388
E: thegarrestudio@gmail.com

FIELD VERIFY DIMENSIONS
AND CONDITIONS
BEFORE ANY CONSTRUCTION
BEGINNING. SEE SET FOR NOTES
P. 1400 E. BAY POINT ROAD
BAYSIDE, WI 53211

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document type:
DESIGN REVIEW
DOCUMENTS for a
NEW SINGLE-FAMILY HOME at
1400 E. BAY POINT ROAD in
BAYSIDE, WISCONSIN

sheet contents:
PROJECT TITLE
SHEET INDEX

SHEET T1.0 OF 1

CURTIS, INC GARRET STUDIO

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

REVISIONS	
#	DESCRIPTION

design by: Greg Uem
drawn by: P.G.

The Garret Studio
Design and Consulting
3681 N. Morris Blvd.
Shorewood, WI 53211
P: 414.364.6368
E: thegarrestudio@me.com

FIELD NOTES, DIMENSIONS
AND CONDITIONS
DRAWING IS TO BE USED
FOR THE PROJECT
DATE: 05-07-2018

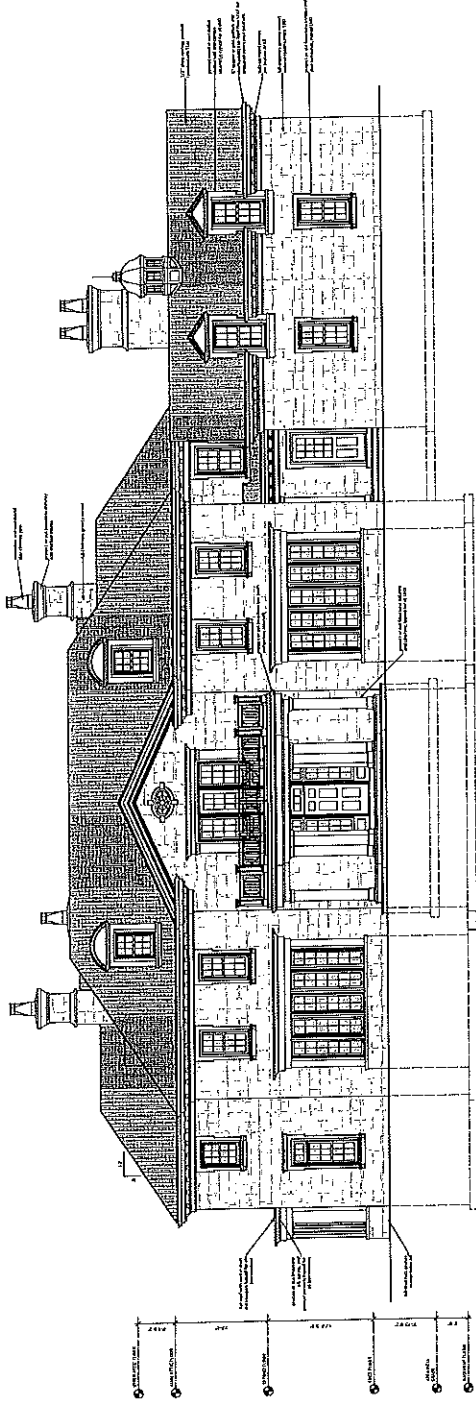
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BAYSIDE, WISCONSIN

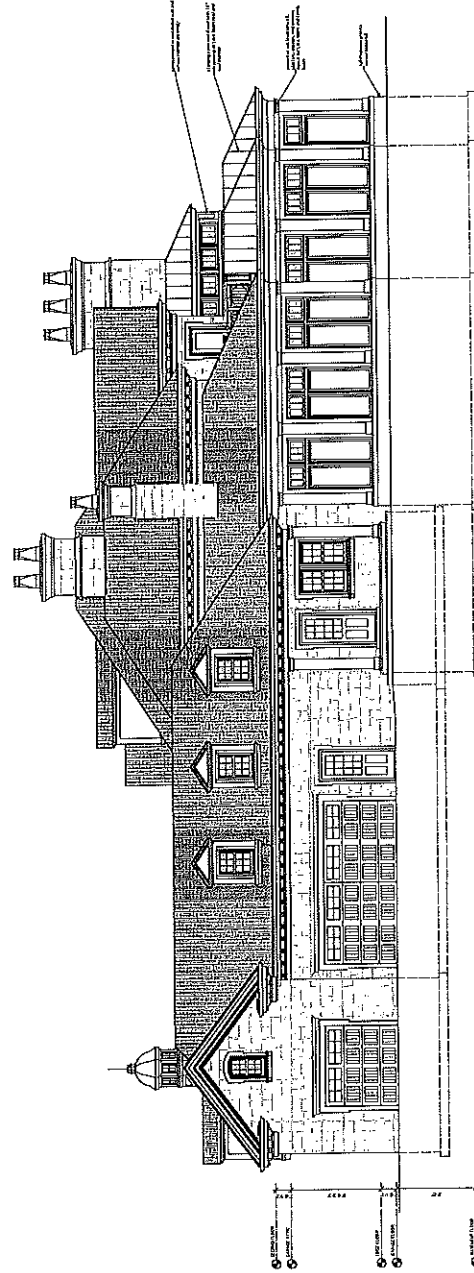
sheet contents:
PROPOSED EXTERIOR
ELEVATIONS

SHEET A1.0 OF 7

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PROPOSED FRONT/WEST ELEVATION
Scale: 3/16" = 1'-0"



PROPOSED SIDE/SOUTH ELEVATION
Scale: 3/16" = 1'-0"

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

REVISIONS	
#	DATE DESCRIPTION

design by: Greg Olsen
drawn by: P.E.

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3861 N. North Blvd.
Shorewood, WI 53211
p. 414.354.1388
e. thegarrestudio@gmail.com

SEE VARIOUS DIMENSIONS
AND CONDITIONS
INDICATED ON ALL SHEETS
FOR THE FULL
PROJECT SET OF PLANS

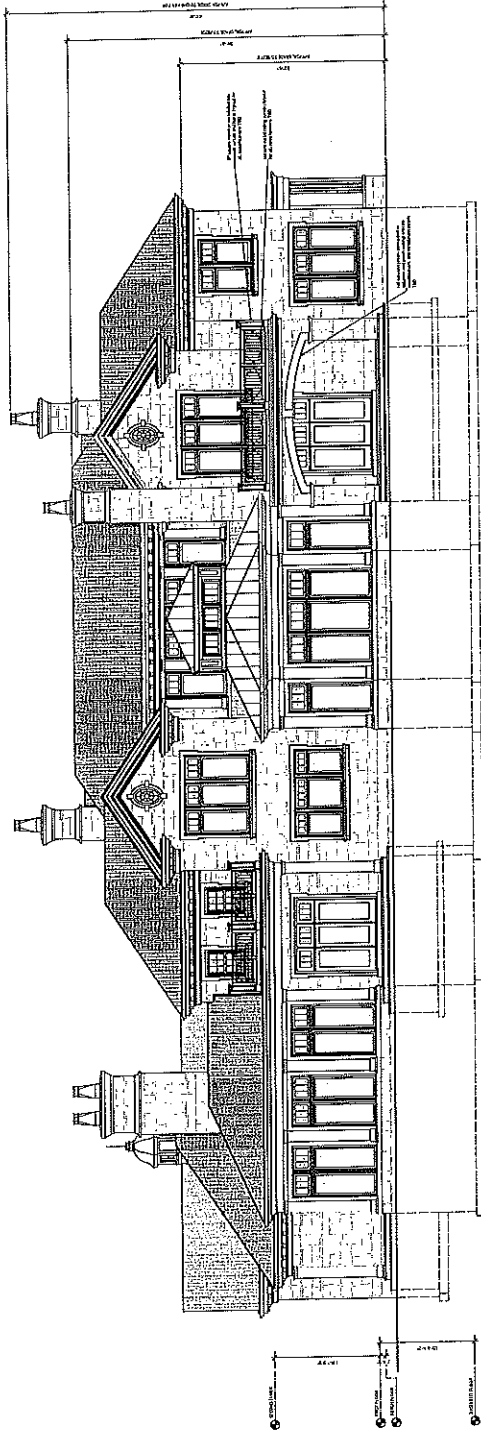
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NEW SINGLE-FAMILY HOME at
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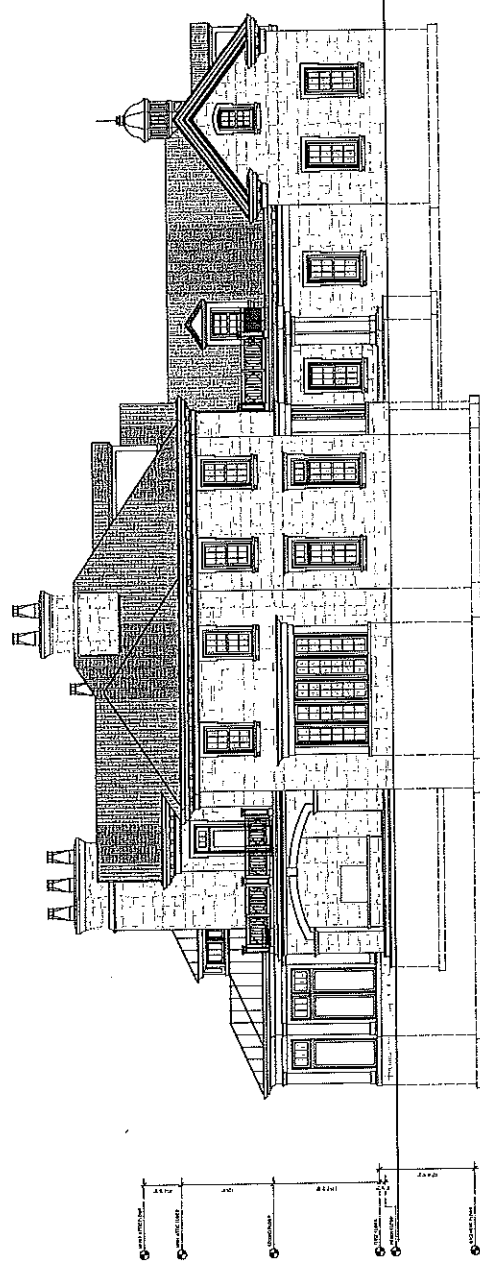
sheet contents:
PROPOSED EXTERIOR
ELEVATIONS

SHEET A2.0 OF 7

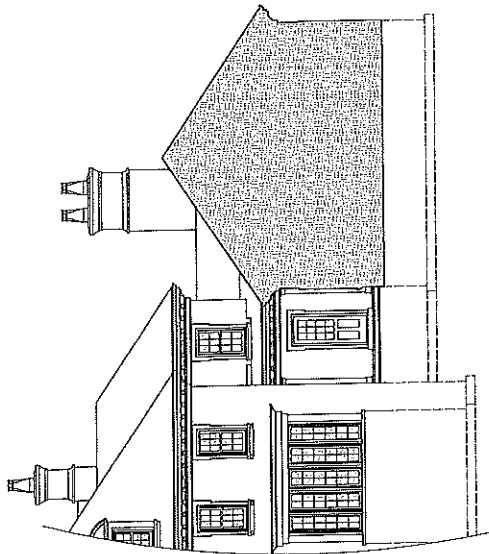
COURTESY THE GARRET STUDIO



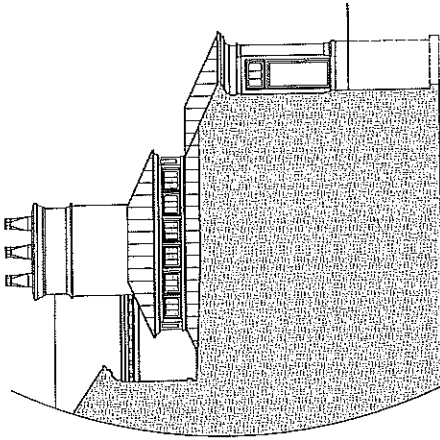
1 PROPOSED REAR/EAST ELEVATION
Scale: 3/16" = 1'-0"



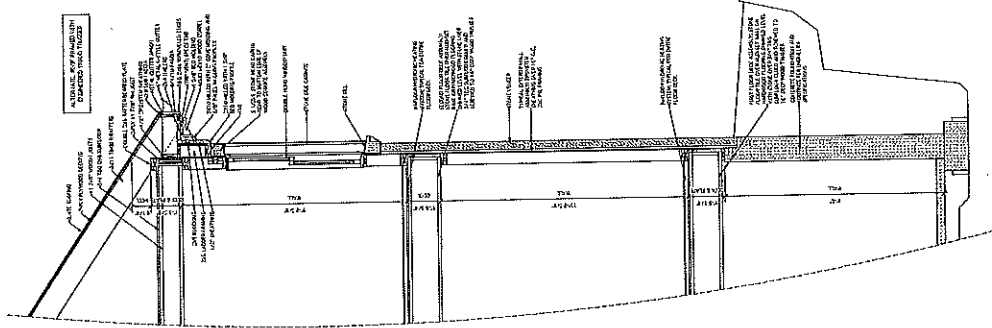
2 PROPOSED SIDE/NORTH ELEVATION
Scale: 3/16" = 1'-0"



PROPOSED ELEVATION AT FRONT/WEST MIDROOM ENTRY
Scale: 3/16" = 1'-0"



PROPOSED SIDE/SOUTH ELEVATION AT LAKE ROOM MONITOR
Scale: 3/16" = 1'-0"



TYPICAL FLOOR DECK/EXTERIOR WALL/ROOF SECTION
Scale: 1/2" = 1'-0"

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2019

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design by: Greg Ullrich
drawn by: PLS

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Shorewood, WI 53411
P. 414.364.6369
E. thegarrestudio@gmail.com

FIELD VERIFY DIMENSIONS
AND CONDITIONS
BEFORE CONSTRUCTION
DIMENSIONS ARE TO FACE
UNLESS OTHERWISE NOTED
1/8" = 1'-0" (SEE)

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NEW SINGLE-FAMILY HOME at
1400 E. BAY POINT ROAD in
BAYSIDE, WISCONSIN

sheet contents:
PROPOSED EXTERIOR
ELEVATIONS
TYPICAL FLOOR DECK/
EXTERIOR WALL/ROOF
SECTION

SHEET A3.0 OF 7

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DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

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drawn by: P.C.

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3861 N. Morris Blvd.
Shorewood, WI 53211
p. 414.354.8368
e. thegarrestudio@gmail.com

FIELD VERY THICKNESS
AND CONCRETE
DRAWINGS ARE NOT TO SCALE
EXCEPT WHERE NOTED
1/8" = 1' FOR PLAN

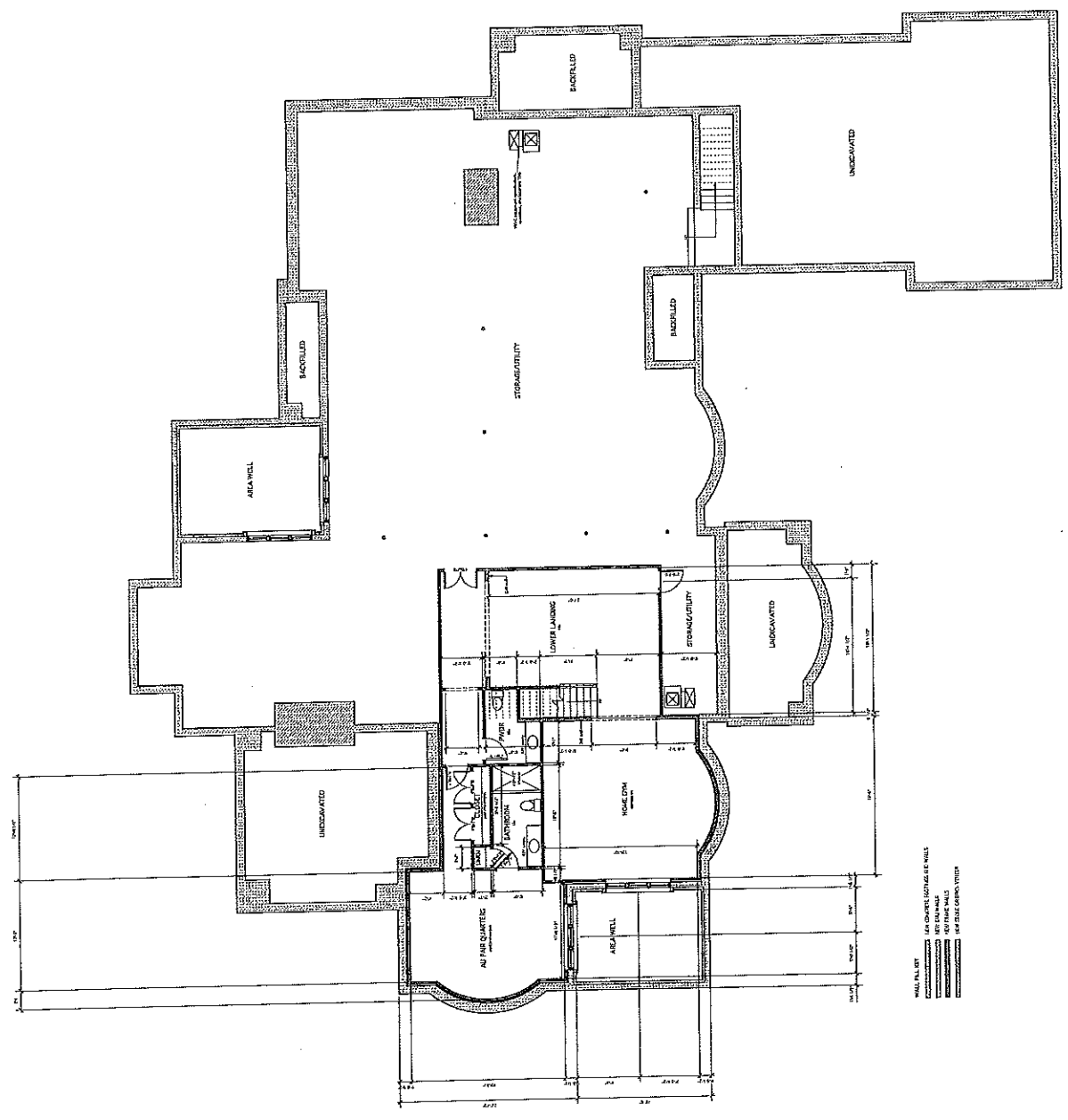
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document type:
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DOCUMENTS FOR A
NEW SINGLE-FAMILY HOME AT
1400 E. BAY POINT ROAD IN
BAYSIDE, WISCONSIN

sheet contents:
PROPOSED FINISHED
BASEMENT FLOOR PLAN
DIMENSIONING NOTES
ABBREVIATIONS LIST

SHEET A4.0 OF 7

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- REVISIONS:
1. General: All dimensions are indicated in feet and inches.
 2. Foundation: All foundation dimensions are indicated in feet and inches.
 3. Walls: All wall dimensions are indicated in feet and inches.
 4. Floors: All floor dimensions are indicated in feet and inches.
 5. Ceilings: All ceiling dimensions are indicated in feet and inches.
 6. Stairs: All stair dimensions are indicated in feet and inches.
 7. Windows: All window dimensions are indicated in feet and inches.
 8. Doors: All door dimensions are indicated in feet and inches.
 9. Cabinets: All cabinet dimensions are indicated in feet and inches.
 10. Appliances: All appliance dimensions are indicated in feet and inches.
 11. Fixtures: All fixture dimensions are indicated in feet and inches.
 12. Miscellaneous: All miscellaneous dimensions are indicated in feet and inches.

- ABBREVIATIONS:
- ALL DIMENSIONS ARE IN FEET AND INCHES.
 - ALL WALLS ARE 8" THICK UNLESS NOTED OTHERWISE.
 - ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
 - ALL CEILINGS ARE 8" THICK UNLESS NOTED OTHERWISE.
 - ALL STAIRS ARE 10" WIDE UNLESS NOTED OTHERWISE.
 - ALL WINDOWS ARE 6" WIDE UNLESS NOTED OTHERWISE.
 - ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 - ALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
 - ALL APPLIANCES ARE 24" WIDE UNLESS NOTED OTHERWISE.
 - ALL FIXTURES ARE 12" WIDE UNLESS NOTED OTHERWISE.
 - ALL MISCELLANEOUS DIMENSIONS ARE AS SHOWN.

PROPOSED FINISHED BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

**FIELD VISIT OPPORTUNITIES
AND CONDITIONS**

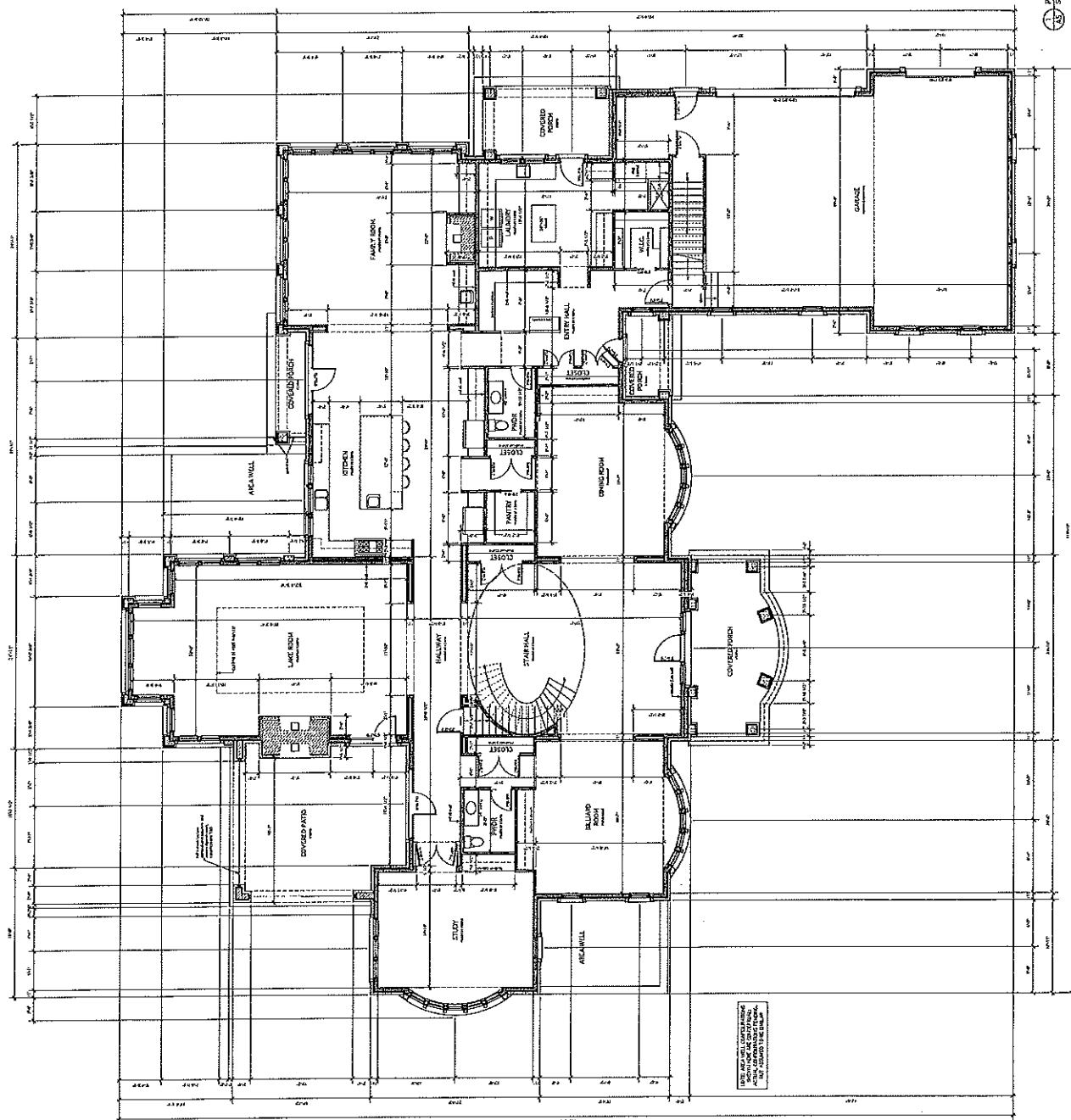
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NEW SINGLE-FAMILY HOME at
1400 E. BAY POINT ROAD in
BAYSIDE, WISCONSIN

sheet contents:
PROPOSED FIRST FLOOR
PLAN

SHEET A5.0 OF 7

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87003 250000 2015 001
 27766 30000 2015 001
 27766 30000 2015 001
 27766 30000 2015 001
 27766 30000 2015 001

1 PROPOSED FIRST FLOOR PLAN
AS SCALE 3/16" = 1'-0"

AND AREA WELL-CONSTITUTIONED
SOCIETY AND ARE CAPABLE OF
ACTING COOPERATIVELY TOGETHER.

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

REVISIONS	
#	DATE DESCRIPTION

design by: Greg Urban
drawn by: P.S.

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Design and Consulting
3881 N. Morris Blvd.
Shorewood, WI 53211
P. 414.364.6388
E. thegarrestudio@gmail.com

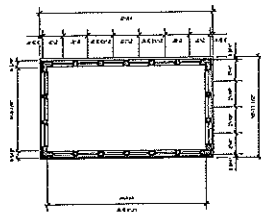
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AND CONDITIONS
CONSTRUCTION
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CONSTRUCTION

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DOCUMENTS for a
NEW SINGLE-FAMILY HOME at
1400 E. BAY POINT ROAD in
BAYSIDE, WISCONSIN

sheet contents:
PROPOSED SECOND
FLOOR PLAN
PROPOSED LAKE ROOM
ROOF MONITOR PLAN
ROOF MONITOR PLAN NOTES

SHEET A6.0 OF 7

ISSUED BY THE GARRET STUDIO

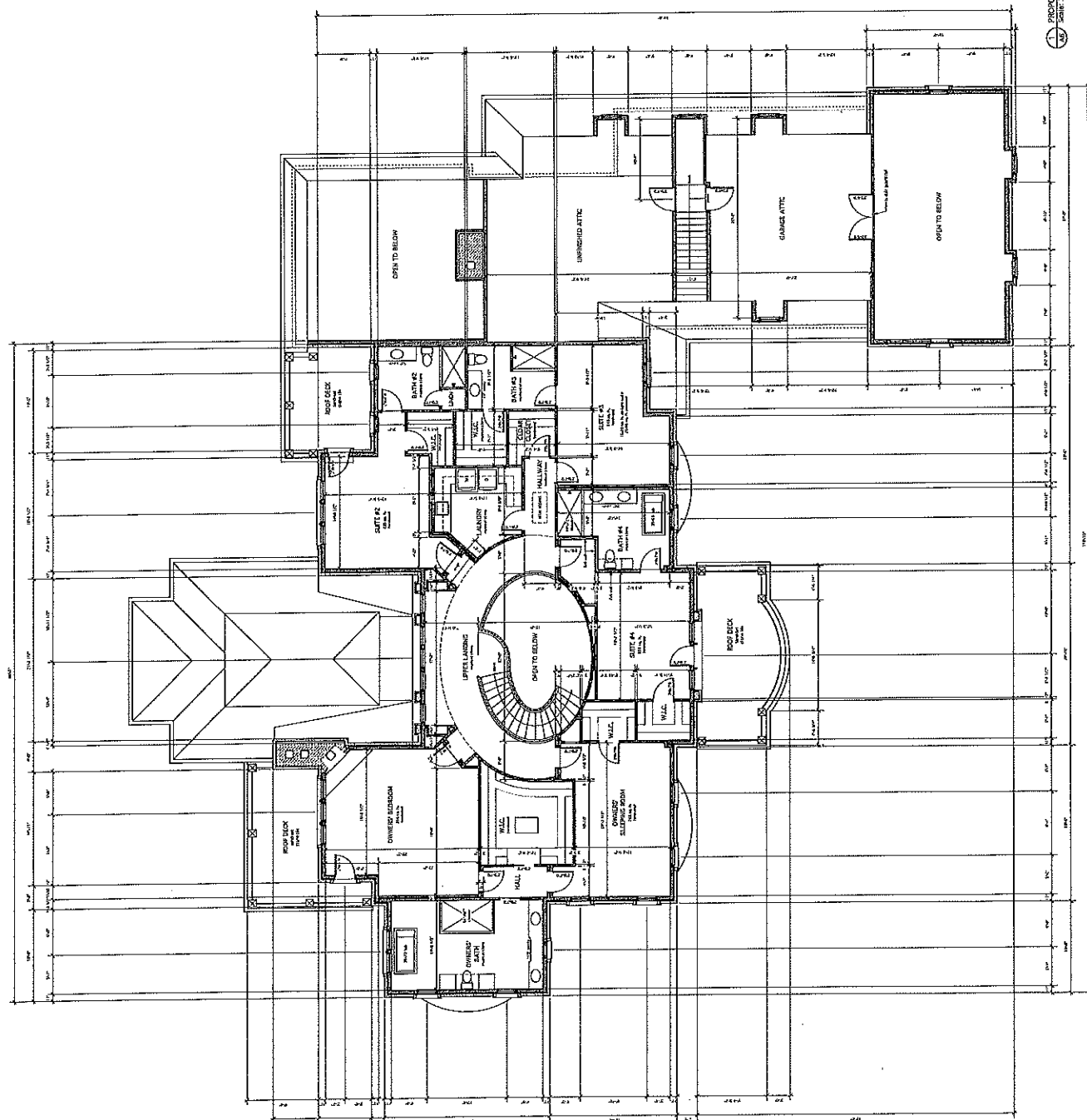


PROPOSED ROOF MONITOR PLAN
SCALE: 3/16" = 1'-0"

- NOTES TO THE OWNER:
1. Monitor will be constructed of 2x4 framing and 1/2" plywood sheathing.
 2. All framing members shall be minimum 2x4 SPS.
 3. See structural engineer's report for details.
 4. Verify existing foundation 180.

WALL, FLOOR, ROOF
1/2" GYPSUM BOARD AND WALLS
1/2" GYPSUM BOARD
1/2" GYPSUM BOARD
1/2" GYPSUM BOARD

PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



DESIGN REVIEW DOCUMENT
ISSUE DATE MAY 17, 2016

REVISIONS	
#	DATE DESCRIPTION

design by: Greg Olson
drawn by: J.S.

The Garret Studio
Design and Consulting
3461 N. North Blvd.
Sheboygan, WI 53081
P: 414.364.6369
E: thegarrestudio@gmail.com

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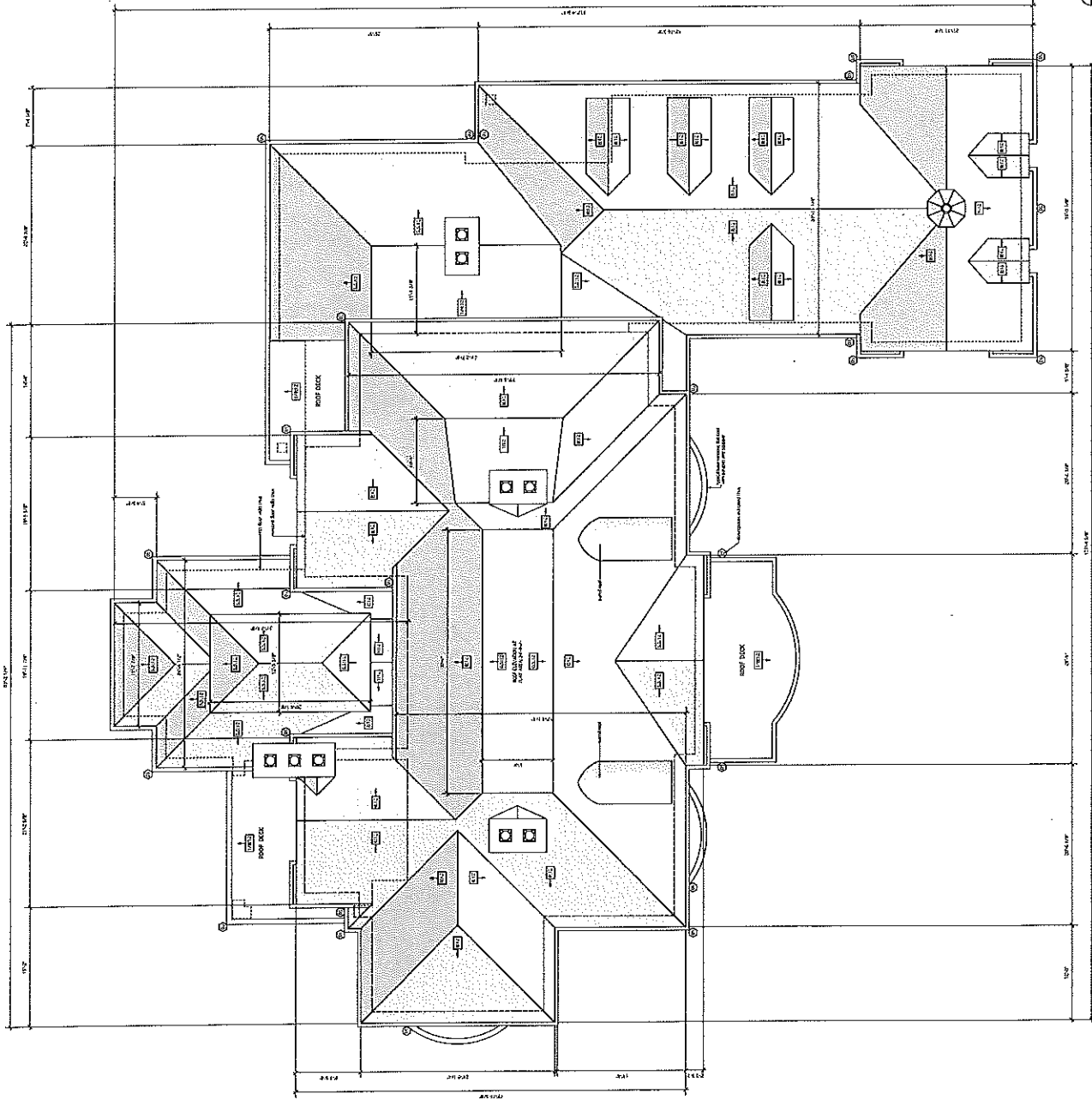
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sheet contents:
PRELIMINARY ROOF PLAN
ROOF PLAN NOTES

SHEET A7.0 OF 7

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PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

DESIGN REVIEW DOCUMENT
ISSUE DATE: MAY 7, 2018

REVISIONS	
#	DATE DESCRIPTION

design by: Cing Chen
drawn by: P.S.

The Garret Studio
Design and Consulting
3861 N. Harris Blvd.
Shorewood, WI 53211
P: 414.364.6368
E: thegarrestudio@gmail.com

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CONSENT OF THE DESIGNER.

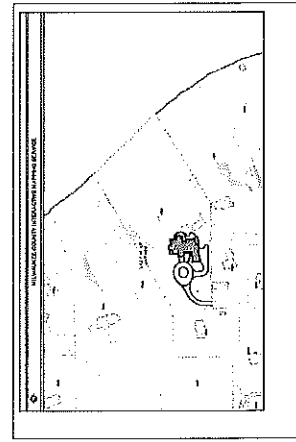
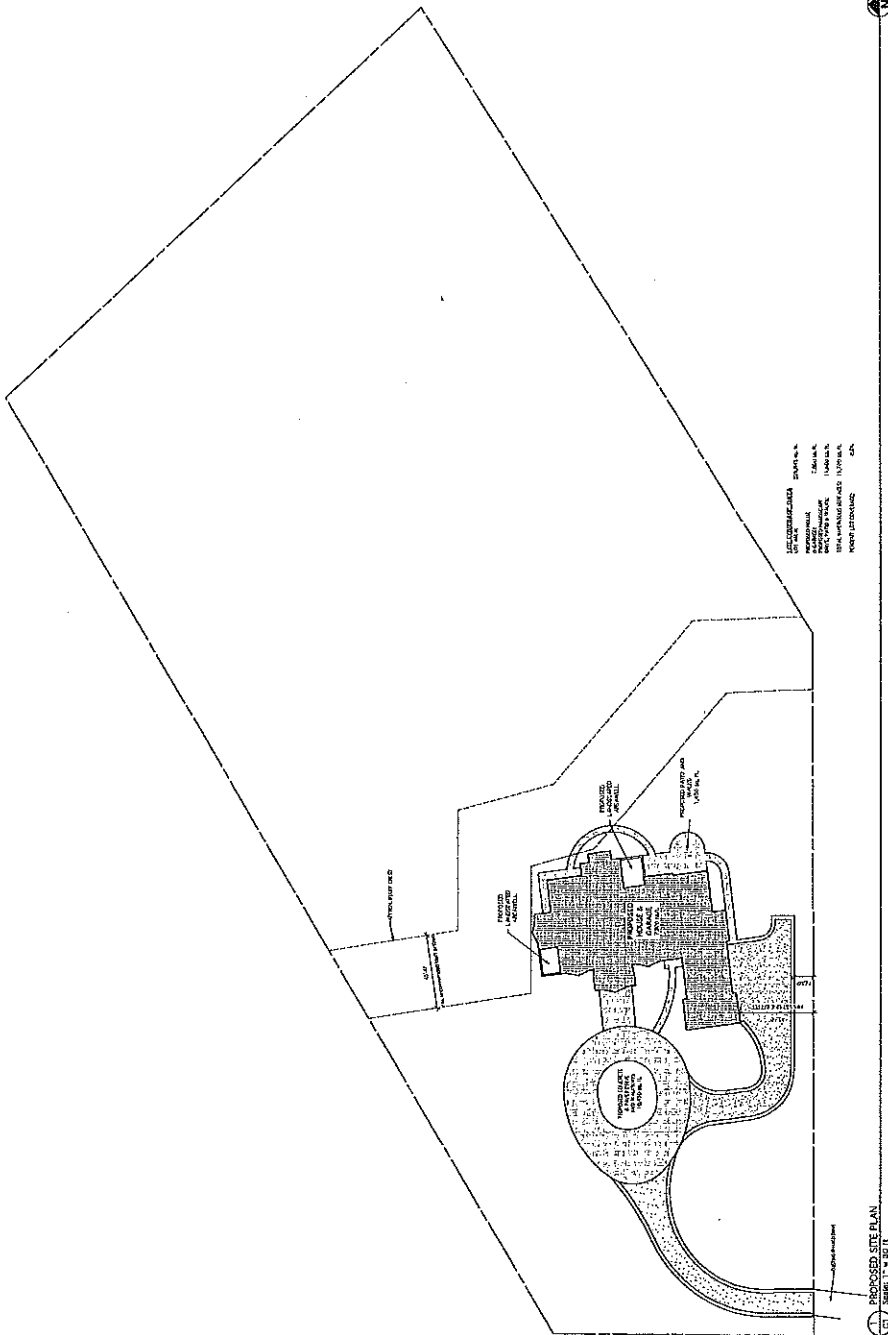
DOCUMENT RELEASED FOR
DESIGN REVIEW ONLY;
NOT FOR PERMITTING OR
CONSTRUCTION

document type:
DESIGN REVIEW
DOCUMENTS FOR A
NEW SINGLE-FAMILY HOME at
1400 E. BAY POINT ROAD in
BAYSIDE, WISCONSIN

sheet contents:
PROPOSED SITE PLAN
PROPOSED SITE MAP

SHEET C1.0 OF 1

DATE: 05-07-2018



Project Proposal

Date _____
 Property Address 601 E. Elsworth Ln.
 Zoning _____

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> Other lighting |

Proposed project details (type of work, size, materials, etc.):

New lighting is planned as part of the parking lot and driveways reconstruction.

021-9983-000

***** For Office Use Only *****

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>May 7</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

4/26/2018

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:
Fox Point Bayside School Dist

PROJECT ADDRESS:
601 E Ellsworth Ln

PROJECT SUMMARY:
New lighting is planned as part of the
parking lot.

VILLAGE CODE REVIEW

Reviewer believes this complies with Village Code Section 14-2 (2) *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Dan Hatch, RA
Plans Examiner
SAFEbuilt Wisconsin, LLC
920-461-8873
dhatch@safebuilt.com

Cree Edge™ Series

LED Security Wall Pack Luminaire

Product Description

The Cree Edge™ wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

Applications: General area and security lighting

Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

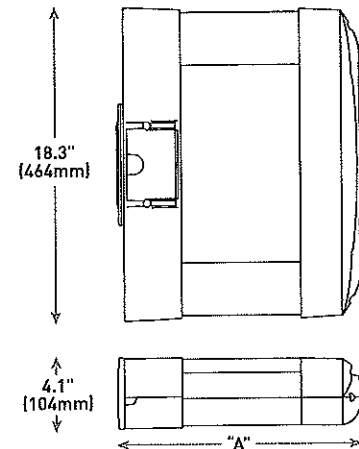
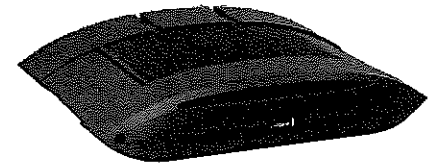
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	Hand-Held Remote
Bird Spikes XA-BRDSBK	XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required



LED Count (x10)	Dim. "A"	Weight
02	9.9" (251mm)	20 lbs. (9.1kg)
04	11.9" (303mm)	22 lbs. (10.0kg)
06	13.9" (353mm)	25 lbs. (11.3kg)
08	15.9" (404mm)	27 lbs. (12.2kg)
10	17.9" (455mm)	31 lbs. (14.1kg)
12	19.9" (505mm)	32 lbs. (14.5kg)

Ordering Information

Example: SEC-EDG-2M-WM-06-E-UL-SV-700

SEC-EDG		WM		E				
Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG	2M Type II Medium 2MB Type II Medium w/BLS 2S Type II Short 2SB Type II Short w/BLS 3M Type III Medium 3MB Type III Medium w/BLS 4M Type IV Medium 4MB Type IV Medium w/BLS	WM Wall Mount	02 04 06 08 10 12	E	UL Universal 120-277V UH Universal 347-480V 34 347V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA -Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to <u>Dimming spec sheet</u> for details - Can't exceed specified drive current F Fuse - Refer to <u>ML spec sheet</u> for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to <u>ML spec sheet</u> for details - Intended for downlight applications with 0° tilt P Photocell - Refer to <u>ML spec sheet</u> for availability with ML options - Must specify UL or 34 voltage PML Programmable Multi-Level - Refer to <u>PML spec sheet</u> for details - Intended for downlight applications with 0° tilt 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V3 09/06/2017

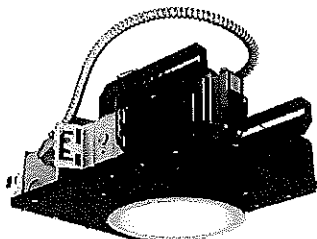
Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507



Luminaire Type:
Catalog Number
(autopopulated):



Gotham Architectural Downlighting
LED Downlights

6" Incito® Downlight

Solid-State Lighting
(US and International Patents Pending)



FEATURES

INTENDED USE

- Achieve the lowest installed power density and operating costs while achieving every layer of light via the optimized general illumination distributions from the EVO family, and the high centerbeam accent layers from the highly flexible Incito family. The EVO and Incito families maintain consistent luminous apertures, dimming characteristics, and color quality to ensure the blending of families in common spaces renders an unparalleled, tailored visual experience.

OPTICAL SYSTEM

- Ten optimized distribution patterns allow designers to achieve tailored effects.
- Self-flanged semi-specular or matte-diffuse lower reflector utilized in combination with a highly transmissive lens.
- Patented Bounding Ray™ Optical Principle design (U.S. Patent No. 5,800,050) provides smooth and continuous transition from lensed source to the top of the reflector down to the bottom of the reflector.

MECHANICAL SYSTEM

- Light engine and driver are accessible from above or below ceiling.
- 16-gauge black painted steel mounting frame with C-channel mounting bars included. Post-installation adjustment possible from above or below ceiling.
- Galvanized steel junction box with hinged access covers and spring latch. Three combination 1/2"-3/4" and one 1/2" knockout for straight-through conduit runs. Capacity: 8 (4in, 4out) No. 12 AWG conductors rated for 90°C.
- Accommodates up to 1 1/2"-thick ceilings.

ELECTRICAL SYSTEM

- Solid-state LED light engine available in 2700 K, 3000 K, 3500 K or 4000 K color temperatures. CRI: 85 typical.
- eldoLED ecoDrive 0-10V driver available with 10% dimming level.
- eldoLED ecoDrive 0-10V driver available with 1% dimming level.
- eldoLED SOLOdrive 0-10V driver available with <1% dimming level.
- eldoLED SOLOdrive DALI driver available with <1% dimming level.
- eldoLED POWERdrive DMX with RDM (remote device management) available with <1% dimming level.
- Rated system life of 60,000 hours at >70% output.
- Emergency battery pack with remote test switch available.
- Tested in accordance with LM-79 and LM-80 standards.

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling.

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.



A+ Capable options Indicated
by this color background.

EXAMPLE: ICO 30/50 6ARFL LD 20D 120 EZB

Series	Color temperature	Nominal delivered lumen values ¹				Aperture/Trim color		Trim style		Finish		Beam		Volt-age
ICO	27/ 2700 K	20	2000 lumens	55	5500 lumens	6AR	Clear	(blank)	Self-flanged	LSS	Semi-specular	20D	20° beam angle	120
	30/ 3000 K	25	2500 lumens	60	6000 lumens	6PR	Pewter					25D	25° beam angle	277
	35/ 3500 K	30	3000 lumens	65	6500 lumens	6WTR	Wheat	FL	Flangeless	LD	Matte diffuse	30D	30° beam angle	347 ²
	40/ 4000 K	35	3500 lumens	70	7000 lumens	6GR	Gold					35D	35° beam angle	
		40	4000 lumens	75	7500 lumens	6WR ²	White					40D	40° beam angle	
		45	4500 lumens	80	8000 lumens	6BR ²	Black					45D	45° beam angle	
												55D	55° beam angle	
												60D	60° beam angle	
												65D	65° beam angle	
		50	5000 lumens	85	8500 lumens							70D	70° beam angle	

Driver	Options				
EZ10	eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	SF	Single fuse	HA0	High ambient capability up to 40°C. Fixture height is 10-3/8"
EZ1	eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	TRW ⁴	White painted flange	NPS80EZ	nLight® dimming pack controls 0-10V eldoLED drivers.
EZB	eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	TRBL ⁵	Black painted flange	NPS80EZ ER ¹	nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
EDAB	eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	ELR ⁶	Emergency battery pack with remote test switch, CEC compliant	LTV ⁹	Lutron ECOSystem interface for compatibility with 0-10V EZ10, EZ1 or EZB.
EDXB	eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Includes termination resistor. Refer to <u>DMXR Manual</u> .	CP ⁷	Chicago plenum	RRL	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to <u>RRL</u> for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
		BGTD	Bodine generator transfer device		
		CRI90	High CRI (90+)		

ACCESSORIES order as separate catalog numbers (shipped separately)

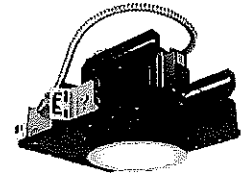
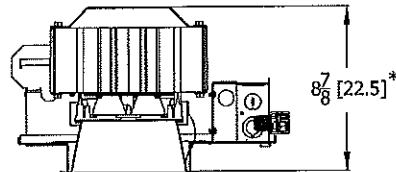
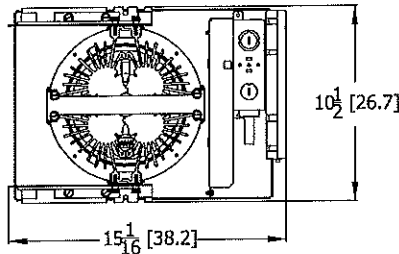
SCA Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to TECH-190.

6" INCITO
Open Reflector
Solid-State Lighting



DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



Incito Round Downlight - Flanged

Aperture: 6-1/4 [15.8]
Ceiling opening: 6-15/16 [17.6]
Overlap trim: 7-1/2 [19.1] self-flanged
6-5/8 [16.8] flangeless

* HIGH AMBIENT FIXTURE HEIGHT - 10-5/8"



Incito Round Downlight - Flangeless (FL)

ELECTRICAL

WATTAGE CONSUMPTION MATRIX

LUMENS	BEAM ANGLES									
	20	25	30	35	40	45	55	60	65	70
8500	93 W	93 W	93 W	93 W	93 W	106 W	106 W	106 W	106 W	106 W
8000	88 W	88 W	88 W	88 W	88 W	97 W	97 W	97 W	97 W	97 W
7500	80 W	80 W	80 W	80 W	80 W	93 W	93 W	93 W	93 W	93 W
7000	73 W	73 W	73 W	73 W	73 W	84 W	84 W	84 W	84 W	84 W
6500	69 W	69 W	69 W	69 W	69 W	80 W	80 W	80 W	80 W	80 W
6000	62 W	62 W	62 W	62 W	62 W	72 W	72 W	72 W	72 W	72 W
5500	57 W	57 W	57 W	57 W	57 W	65 W	65 W	65 W	65 W	65 W
5000	49 W	49 W	49 W	49 W	49 W	62 W	62 W	62 W	62 W	62 W
4500	45 W	45 W	45 W	45 W	45 W	54 W	54 W	54 W	54 W	54 W
4000	40 W	40 W	40 W	40 W	40 W	43 W	43 W	43 W	43 W	43 W
3500	34 W	34 W	34 W	34 W	34 W	37 W	37 W	37 W	37 W	37 W
3000	29 W	29 W	29 W	29 W	29 W	31 W	31 W	31 W	31 W	31 W
2500	26 W	26 W	26 W	26 W	26 W	29 W	29 W	29 W	29 W	29 W
2000	26 W	26 W	26 W	26 W	26 W	26 W	26 W	26 W	26 W	26 W

EL/ELR AVAILABILITY / COMPATIBILITY -- Initial Lumens

LED			Initial Lumens	
Product	Lumens	Watts	EL/ELR	ELRHL
ICO 6"	2000-8500	24-101	580	N/A

nLight® Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

WallPod stations	Model number	Occupancy sensors	Model number
On/Off	nPODM [color]	Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPODM DX [color]	Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX [color]	Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model number	Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
On/Off & Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model number
		10', CAT5 10FT	CAT5 10FT J1
		15', CAT5 15FT	CAT5 15FT J1

NOTES

ORDERING NOTES

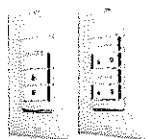
- Nominal downlight lumens.
- Not available with finishes. Not available with flangeless (FL) trim style.
- Add 2" to overall height.
- Not available with white reflector. Not applicable with FL option.
- Not available with black reflector. Not applicable with FL option.
- For dimensional changes, refer to **TECH-140**. Not available with CP option. Must specify 120V or 277V. Not available with 347V.
- Chicago plenum available 7500 lumens and below.
- For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Shipped installed from the factory. Not available with CP.



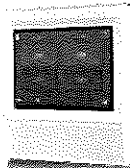
CONSULT WWW.GOTHAMLIGHTING.COM FOR PHOTOMETRY

Choose Wall Controls.

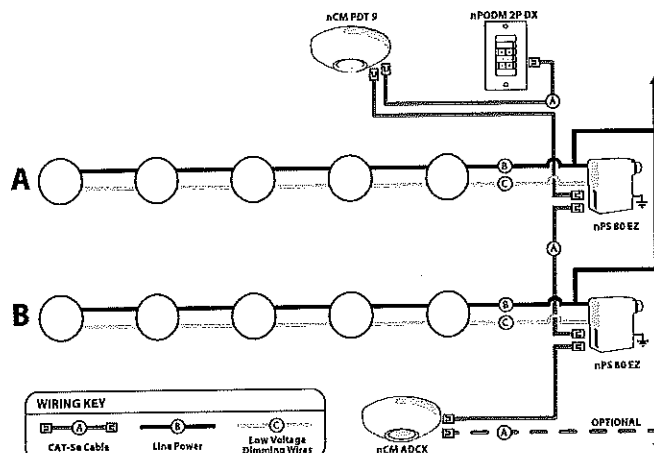
nLIGHT offers multiple styles of wall controls – each with varying features and user experience.



Push-Button WallPod
Traditional tactile buttons
and LED user feedback



Graphic WallPod
Full color touch screen
provides a sophisticated
look and feel



EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

nPS 80 EZ Dimming/Control Pack (qty 2 required)
nPODM 2P DX Dual On/Off/Dim Push-Button WallPod
nCM ADCX Daylight Sensor with Automatic Dimming Control
nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a shaded background*
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

Cree Edge™ LED Security Wall Pack Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance aluminum heat sinks specifically designed for LED applications
- Housing is rugged aluminum
- Furnished with low copper, light weight mounting box designed for installation over standard and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Allows mounting for uplight or downlight
- Designed and approved for easy through-wiring
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimensions and Weight Chart on page 1

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight J-Box with leads (wire nuts) for easy power hook up
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA;
20LED (525 & 700 mA) and 40-120 LED: 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529 when ordered without P, PML or ML options
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Recommended Cree Edge™ Series Lumen Maintenance Factors (LMF) ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times

[6X] the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

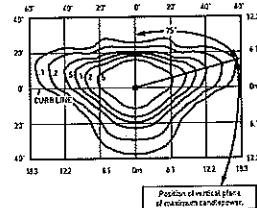
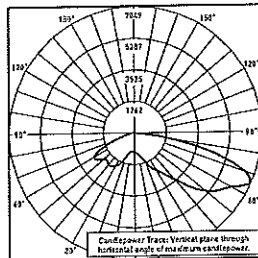
³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times [6X] the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

Cree Edge™ LED Security Wall Pack Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

2M

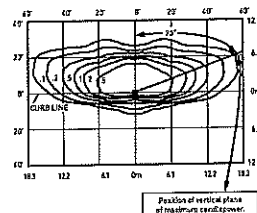
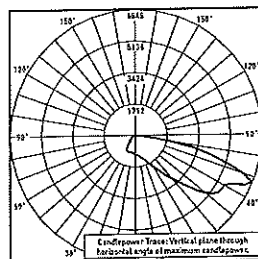


Type II Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,138	B1 U0 G1	2,220	B1 U0 G1
04	4,276	B1 U0 G1	4,440	B1 U0 G1
06	6,340	B2 U0 G2	6,584	B2 U0 G2
08	8,454	B2 U0 G2	8,779	B2 U0 G2
10	10,542	B3 U0 G3	10,947	B3 U0 G3
12	12,650	B3 U0 G3	13,137	B3 U0 G3
525mA				
02	2,993	B1 U0 G1	3,108	B1 U0 G1
04	5,986	B2 U0 G2	6,216	B2 U0 G2
06	8,876	B2 U0 G2	9,218	B2 U0 G2
08	11,835	B3 U0 G3	12,290	B3 U0 G3
700mA				
02	3,656	B1 U0 G1	3,796	B1 U0 G1
04	7,311	B2 U0 G2	7,593	B2 U0 G2
06	10,842	B3 U0 G3	11,259	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

2MB



Type II Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,610	B0 U0 G1	1,672	B0 U0 G1
04	3,221	B0 U0 G1	3,345	B0 U0 G1
06	4,776	B1 U0 G1	4,959	B1 U0 G1
08	6,368	B1 U0 G1	6,613	B1 U0 G2
10	7,941	B1 U0 G2	8,246	B1 U0 G2
12	9,529	B1 U0 G2	9,895	B1 U0 G2
525mA				
02	2,254	B0 U0 G1	2,341	B0 U0 G1
04	4,509	B1 U0 G1	4,682	B1 U0 G1
06	6,686	B1 U0 G2	6,943	B1 U0 G2
08	8,915	B1 U0 G2	9,258	B1 U0 G2
700mA				
02	2,754	B0 U0 G1	2,860	B0 U0 G1
04	5,507	B1 U0 G1	5,719	B1 U0 G1
06	8,167	B1 U0 G2	8,481	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

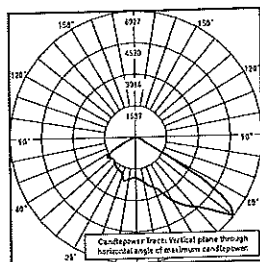


Cree Edge™ LED Security Wall Pack Luminaire

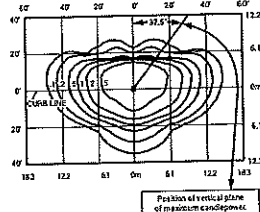
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

2S



ITL Test Report #: 79175
SEC-EDG-2S-06-E-UL-700-40K
Initial Delivered Lumens: 11,704



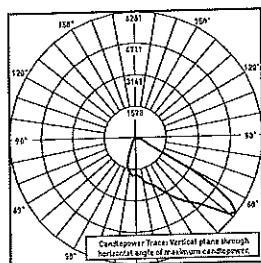
SEC-EDG-2S-06-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 12,604
Initial FC at grade

Type II Short Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,277	B1 U0 G1	2,364	B1 U0 G1
04	4,553	B1 U0 G1	4,728	B1 U0 G1
06	6,752	B2 U0 G2	7,012	B2 U0 G2
08	9,003	B2 U0 G2	9,349	B2 U0 G2
10	11,226	B3 U0 G3	11,658	B3 U0 G3
12	13,472	B3 U0 G3	13,990	B3 U0 G3
525mA				
02	3,187	B1 U0 G1	3,310	B1 U0 G1
04	6,375	B2 U0 G2	6,620	B2 U0 G2
06	9,453	B2 U0 G2	9,816	B3 U0 G3
08	12,604	B3 U0 G3	13,088	B3 U0 G3
700mA				
02	3,893	B1 U0 G1	4,043	B1 U0 G1
04	7,786	B2 U0 G2	8,086	B2 U0 G2
06	11,546	B3 U0 G3	11,990	B3 U0 G3

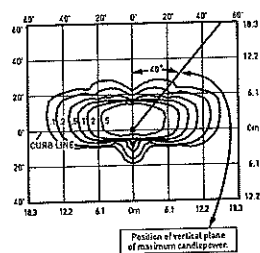
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

2SB



CSA Test Report #: 6454
ARE-EDG-2SB-06-E-UL-700-40K
Initial Delivered Lumens: 9,202



SEC-EDG-2SB-06-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 9,683
Initial FC at grade

Type II Short Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,749	B0 U0 G1	1,816	B0 U0 G1
04	3,498	B1 U0 G1	3,633	B1 U0 G1
06	5,180	B1 U0 G1	5,387	B1 U0 G1
08	6,917	B1 U0 G1	7,183	B1 U0 G1
10	8,625	B2 U0 G1	8,957	B2 U0 G1
12	10,350	B2 U0 G2	10,748	B2 U0 G2
525mA				
02	2,449	B1 U0 G1	2,543	B1 U0 G1
04	4,898	B1 U0 G1	5,086	B1 U0 G1
06	7,263	B1 U0 G1	7,542	B1 U0 G1
08	9,683	B2 U0 G2	10,056	B2 U0 G2
700mA				
02	2,991	B1 U0 G1	3,106	B1 U0 G1
04	5,982	B1 U0 G1	6,212	B1 U0 G1
06	8,871	B2 U0 G1	9,212	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

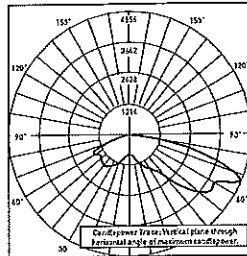
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge™ LED Security Wall Pack Luminaire

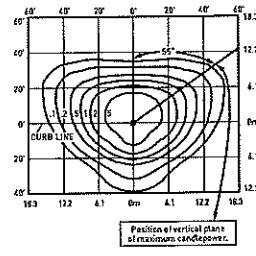
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

3M



ITL Test Report #: 79173
SEC-EDG-3M-**-06-E-UL-700-40K
Initial Delivered Lumens: 10,343



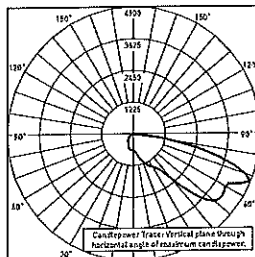
SEC-EDG-3M-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,220
Initial FC at grade

Type III Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,027	B1 U0 G1	2,105	B1 U0 G1
04	4,054	B1 U0 G1	4,209	B1 U0 G1
06	6,011	B2 U0 G2	6,242	B2 U0 G2
08	8,015	B2 U0 G2	8,323	B2 U0 G2
10	9,994	B3 U0 G3	10,379	B3 U0 G3
12	11,993	B3 U0 G3	12,454	B3 U0 G3
525mA				
02	2,837	B1 U0 G1	2,947	B1 U0 G1
04	5,675	B2 U0 G2	5,893	B2 U0 G2
06	8,415	B2 U0 G2	8,739	B2 U0 G2
08	11,220	B3 U0 G3	11,652	B3 U0 G3
700mA				
02	3,466	B1 U0 G1	3,599	B1 U0 G1
04	6,932	B2 U0 G2	7,198	B2 U0 G2
06	10,279	B3 U0 G3	10,674	B3 U0 G3

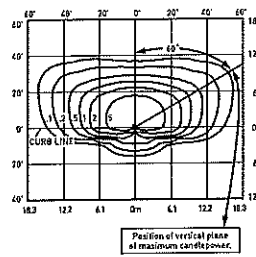
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3MB



CSA Test Report #: 6448
ARE-EDG-3MB-**-06-E-UL-700
Initial Delivered Lumens: 7,740



SEC-EDG-3MB-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,300
Initial FC at grade

Type III Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,499	B1 U0 G1	1,557	B1 U0 G1
04	2,999	B1 U0 G1	3,114	B1 U0 G1
06	4,446	B1 U0 G1	4,617	B1 U0 G1
08	5,929	B1 U0 G2	6,157	B1 U0 G2
10	7,393	B1 U0 G2	7,677	B1 U0 G2
12	8,872	B1 U0 G2	9,213	B1 U0 G2
525mA				
02	2,099	B1 U0 G1	2,180	B1 U0 G1
04	4,198	B1 U0 G1	4,359	B1 U0 G1
06	6,225	B1 U0 G2	6,464	B1 U0 G2
08	8,300	B1 U0 G2	8,619	B1 U0 G2
700mA				
02	2,564	B1 U0 G1	2,662	B1 U0 G1
04	5,127	B1 U0 G2	5,325	B1 U0 G2
06	7,603	B1 U0 G2	7,896	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

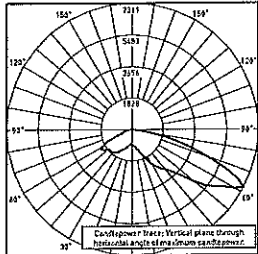


Cree Edge™ LED Security Wall Pack Luminaire

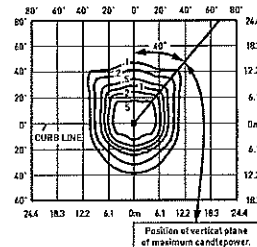
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

4M



ITL Test Report #: 78793
SEC-EDG-4M-**-06-E-UL-700-40K
Initial Delivered Lumens: 11,607



SEC-EDG-4M-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,835
Initial FC at grade

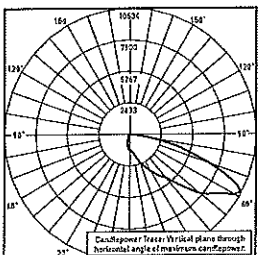
Type IV Medium Distribution

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,138	B1 U0 G1	2,220	B1 U0 G1
04	4,276	B1 U0 G1	4,440	B1 U0 G1
06	6,340	B2 U0 G2	6,584	B2 U0 G2
08	8,454	B2 U0 G2	8,779	B2 U0 G2
10	10,542	B2 U0 G2	10,947	B3 U0 G3
12	12,650	B3 U0 G3	13,137	B3 U0 G3
525mA				
02	2,993	B1 U0 G1	3,108	B1 U0 G1
04	5,986	B2 U0 G2	6,216	B2 U0 G2
06	8,876	B2 U0 G2	9,218	B2 U0 G2
08	11,835	B3 U0 G3	12,290	B3 U0 G3
700mA				
02	3,656	B1 U0 G1	3,796	B1 U0 G1
04	7,311	B2 U0 G2	7,593	B2 U0 G2
06	10,842	B3 U0 G3	11,259	B3 U0 G3

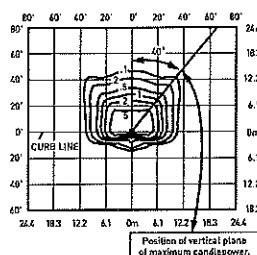
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

4MB



CSA Test Report #: 6449
ARE-EDG-4MB-**-12-E-UL-525-40K
Initial Delivered Lumens: 13,155



SEC-EDG-4MB-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,915
Initial FC at grade

Type IV Medium Distribution w/BLS

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,610	B0 U0 G1	1,672	B0 U0 G1
04	3,221	B1 U0 G1	3,345	B1 U0 G1
06	4,776	B1 U0 G1	4,959	B1 U0 G1
08	6,368	B1 U0 G2	6,613	B1 U0 G2
10	7,941	B1 U0 G2	8,246	B1 U0 G2
12	9,529	B1 U0 G2	9,895	B1 U0 G2
525mA				
02	2,254	B0 U0 G1	2,341	B0 U0 G1
04	4,509	B1 U0 G1	4,682	B1 U0 G1
06	6,686	B1 U0 G2	6,943	B1 U0 G2
08	8,915	B1 U0 G2	9,258	B1 U0 G2
700mA				
02	2,754	B0 U0 G1	2,860	B0 U0 G1
04	5,507	B1 U0 G1	5,719	B1 U0 G2
06	8,147	B1 U0 G2	8,481	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

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US: lighting.cree.com

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Canada: www.cree.com/canada

T (800) 473-1234 F (800) 890-7507



Cree Edge™ Series

LED Area/Flood Luminaire

D, E, & F

Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm [details on page 2]. Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

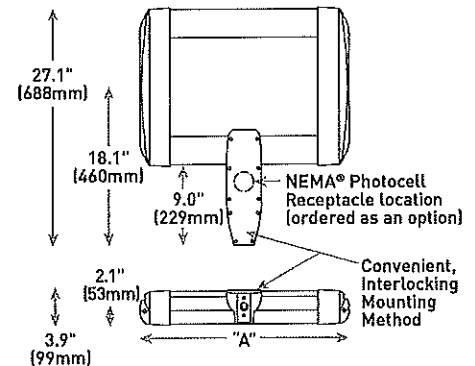
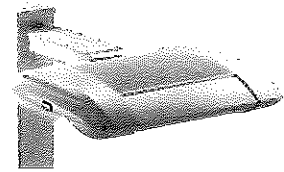
CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms

DA Mount



Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM	
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

LED Count (x10)	Dim. "A"	Weight
02	12.1" [306mm]	21 lbs. [10kg]
04	12.1" [306mm]	24 lbs. [11kg]
06	14.1" [357mm]	27 lbs. [12kg]
08	16.1" [408mm]	28 lbs. [13kg]
10	18.1" [459mm]	32 lbs. [15kg]
12	20.1" [510mm]	34 lbs. [15kg]
14	22.1" [560mm]	37 lbs. [17kg]
16	24.1" [611mm]	41 lbs. [19kg]

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

AA/DL/SA Mount - see page 22 for weight & dimensions

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	2M Type II Medium 3MB Type III Medium w/BLS 4MP Type IV Medium w/Partial BLS 2MB Type II Medium w/BLS 3MP Type III Medium w/Partial BLS 2MP Type II Medium w/Partial BLS 4M Type IV Medium 3M Type III Medium w/BLS	AA Adjustable Arm DA Direct Arm DL Direct Long Arm	02 04 06 08 10 12 14 16	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA - Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only
FLD-EDG	25 25" Flood 40 40" Flood N6 NEMA 6	AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs						PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others - Refer to ML spec sheet for availability with ML options 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire

* Reference EPA and pole configuration suitability data beginning on page 19

NOTE: Price adder may apply depending on configuration



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Rev. Date: V5 09/05/2017

Canada: www.cree.com/canada



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Date: _____ Type: G

Firm Name: _____

Project: _____

eW Burst Powercore

eW Burst Compact Powercore

Architectural and landscape LED spotlight with solid white light

Ordering Information

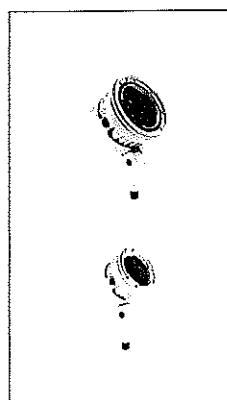
eW Burst Powercore Architectural

Item	Type	Size	Housing Color	Item Number	Philips 12NC
eW Burst Powercore Architectural UL / cUL	2700 K	Standard	Gray	523-000036-02	910503700744
			Black	523-000036-10	910503701795
			White	523-000036-18	910503701804
		Compact	Gray	523-000059-02	910503701663
			Black	523-000059-10	910503701926
			White	523-000059-18	910503701934
	4000 K	Standard	Gray	523-000036-03	910503700743
			Black	523-000036-11	910503701796
			White	523-000036-19	910503701805
		Compact	Gray	523-000059-03	910503701664
			Black	523-000059-11	910503701927
			White	523-000059-19	910503701935
eW Burst Powercore Architectural CE	2700 K	Standard	Gray	523-000036-04	910503701122
			Black	523-000036-12	910503701797
			White	523-000036-20	910503701806
		Compact	Gray	523-000059-04	910503701665
			Black	523-000059-12	910503701928
			White	523-000059-20	910503701936
	4000 K	Standard	Gray	523-000036-05	910503701123
			Black	523-000036-13	910503701798
			White	523-000036-21	910503701807
		Compact	Gray	523-000059-05	910503701666
			Black	523-000059-13	910503701929
			White	523-000059-21	910503701937
eW Burst Powercore Architectural CQC	2700 K	Standard	Gray	523-000036-06	910503701791
			Black	523-000036-14	910503701799
			White	523-000036-22	910503701808
		Compact	Gray	523-000059-06	910503701747
			Black	523-000059-14	910503701930
			White	523-000059-22	910503701938
	4000 K	Standard	Gray	523-000036-07	910503701792
			Black	523-000036-15	910503701801
			White	523-000036-23	910503701809
		Compact	Gray	523-000059-07	910503701748
			Black	523-000059-15	910503701931
			White	523-000059-23	910503701939

Use Item Number when ordering in North America.

PHILIPS

eW Burst Powercore Landscape



Item	Type	Size	Housing Color	Item Number	Philips 12NC
eW Burst Powercore Landscape UL / cUL / CE	2700 K	Standard	Gray	523-000036-00	910503700694
			Black	523-000036-08	910503701793
			White	523-000036-16	910503701802
		Compact	Gray	523-000059-00	910503701661
			Black	523-000059-08	910503701924
			White	523-000059-16	910503701932
	4000 K	Standard	Gray	523-000036-01	910503700695
			Black	523-000036-09	910503701794
			White	523-000036-17	910503701803
		Compact	Gray	523-000059-01	910503701662
			Black	523-000059-09	910503701925
			White	523-000059-17	910503701933

☛ Refer to eW Burst Powercore Specification Sheets for product specifications and photometric data.

Use Item Number when ordering in North America.

Accessories



Item	Type	Size	Housing Color	Item Number	Philips 12NC
Trim Ring		Standard	Gray	120-000103-00	910503701212
			Black	120-000103-06	910503701734
			White	120-000103-12	910503701737
		Compact	Gray	120-000103-03	910503701420
			Black	120-000103-09	910503701823
			White	120-000103-15	910503701826
45° Glare Shield		Standard	Gray	120-000103-01	910503701213
			Black	120-000103-07	910503701735
			White	120-000103-13	910503701738
		Compact	Gray	120-000103-04	910503701421
			Black	120-000103-10	910503701824
			White	120-000103-16	910503701827
Full Height Glare Shield		Standard	Gray	120-000103-02	910503701214
			Black	120-000103-08	910503701736
			White	120-000103-14	910503701739
		Compact	Gray	120-000103-05	910503701422
			Black	120-000103-11	910503701825
			White	120-000103-17	910503701828
Honeycomb Louver		Standard	Black	120-000104-00	910503701215
		Compact	Black	120-000104-01	910503701419
Spread Lenses	14°	Standard		120-000080-00	910503700609
		Compact		120-000080-04	910503701415
	23°	Standard		120-000080-01	910503700610
		Compact		120-000080-05	910503701416
	41°	Standard		120-000080-02	910503700611
		Compact		120-000080-06	910503701417
	10° x 41° asymmetric	Standard		120-000080-03	910503700612
		Compact		120-000080-07	910503701418

☛ You can attach either one Honeycomb Louver or one Spread Lens at a time.

☛ For more information on how to buy Philips Color Kinetics LED lighting systems, visit www.philipscolorkinetics.com/ls/howtobuy/

Use Item Number when ordering in North America.



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11/14/99 Lumen
stretched

