



Village of Bayside  
9075 N. Regent Rd.  
Architectural Review Committee Meeting  
July 16, 2018  
Village Hall Board Room, 6:00 pm

**ARCHITECTURAL REVIEW COMMITTEE  
AGENDA**

**PLEASE TAKE NOTICE** that a meeting of the Village of Bayside Architectural Review Committee will be held at Bayside Village Hall, 9075 North Regent Road, Bayside, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

A. Approval of the July 2, 2018 minutes.

**IV. BUSINESS**

A. Deck and Detached Garage  
9257 N Waverly  
016-0008-000

B. Fence  
9445 N Fairway Cir  
016-0106-000

**V. ADJOURNMENT**

Cindy Baker  
Accounting Assistant  
July 9, 2018

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village webs).



**I. CALL TO ORDER**

Chairperson Marissa Roberts called the meeting to order at 6:00pm

**II. ROLL CALL**

Trustee Liaison: Mike Barth  
Chair: Marisa Roberts  
Members: Sandra Muchin-Kofman-Excused  
John Krampf  
Dan Zitzer-Excused  
Tony Aiello-Excused  
Liz Levins

Also Present: Director of Finance and Administration, Lynn Galyardt  
There were four people in the audience.

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

**A. Approval of the June 18, 2018 minutes.**

Motion by Trustee Barth, seconded by John Krampf, to approve the minutes of June 18, 2018.  
Motion carried unanimously.

**IV. BUSINESS**

**A. Shed  
921 E Glenbrook Rd  
017-0160-000**

Margaret Zitzer, homeowner, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Shed.

Motion by John Krampf, seconded by Trustee Barth, to approve the shed as described and presented in the application. Motion carried unanimously.

**B. Fence  
515 W Fairy Chasm Rd  
022-0994-000**

Ava Habibi, representative of the homeowner, appeared on behalf of the project. There were no neighbors in attendance. A description of the project is as follows: Fence.

Motion by Trustee Barth, seconded by Liz Levins, to approve the fence as described and presented in the application. Motion carried unanimously.

- C. Fence**  
**9445 N Fairway Cir**  
**016-0106-000**

This agenda item was tabled.

**V. ADJOURNMENT**

Motion by John Krampf, seconded by Liz Levins, to adjourn the meeting at 6:07pm. Motion carried unanimously.

Respectfully submitted,  
Lynn Galyardt  
Director of Finance and Administration

# Project Proposal

Date 6/29/18  
 Property Address 9257 N. WAKERLY DR.  
 Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input checked="" type="checkbox"/> Decks/Patios<br><input type="checkbox"/> Fence<br><input type="checkbox"/> Fire Pits<br><input checked="" type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction <u>GARAGE DETACHED</u><br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors<br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

DECK 20' x 20' TREATED LUMBER + TREX/COMPOSITE  
GARAGE 14' x 30' 2x4 WALL FRAMING VINYL SIDING (GRAY)  
DIMENSIONAL SHINGLES MATCH HOUSE  
PAVERS/CONCRETE ADJACENT TO DECK

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>July 16</u>
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

016-0008

7/2/2018

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Richard Bromley</p> <p>PROJECT ADDRESS: 9257 N Waverly</p>	<p>PROJECT SUMMARY: New 20x20 composite deck, 14x30 detached garage w/ vinyl siding and shingles to match house, replaced part of driveway, new landscaping.</p>
---	--

**VILLAGE CODE REVIEW**

Reviewer believes this project complies with the following Village Code sections:

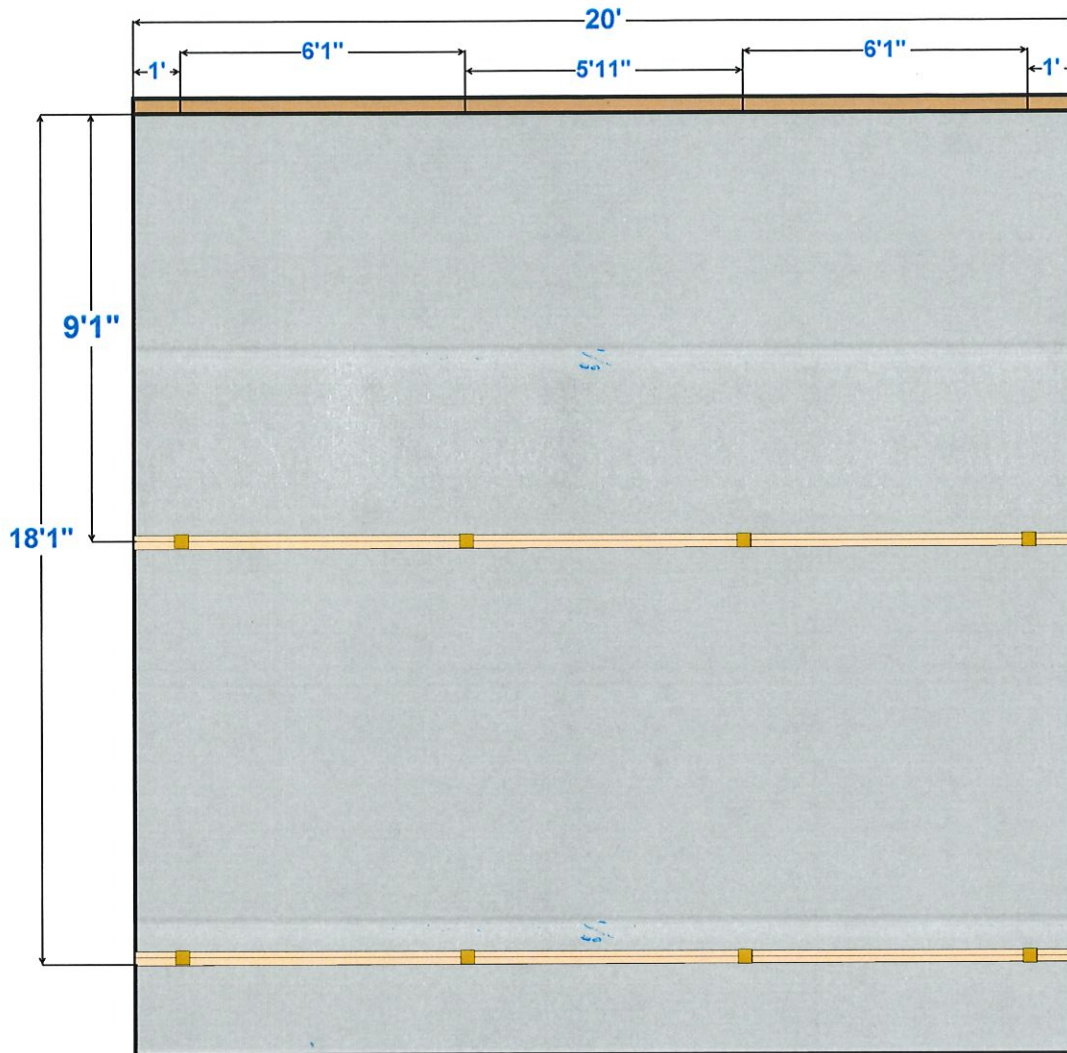
14-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**ACCESSORY STRUCTURE SETBACK REQUIREMENTS:**

Exact dimensions are not provided for the location of the detached garage. Village code section 125-90 - "B" residence district regulations requires that accessory structures be located a minimum of 10ft from both rear yard and side yard property lines. Verify dimensions.

**Dan Hatch, RA**  
Plans Examiner  
SAFEbuilt Wisconsin, LLC  
dhatch@safebuilt.com

## Post and Beam Dimension Sheet for Level 1



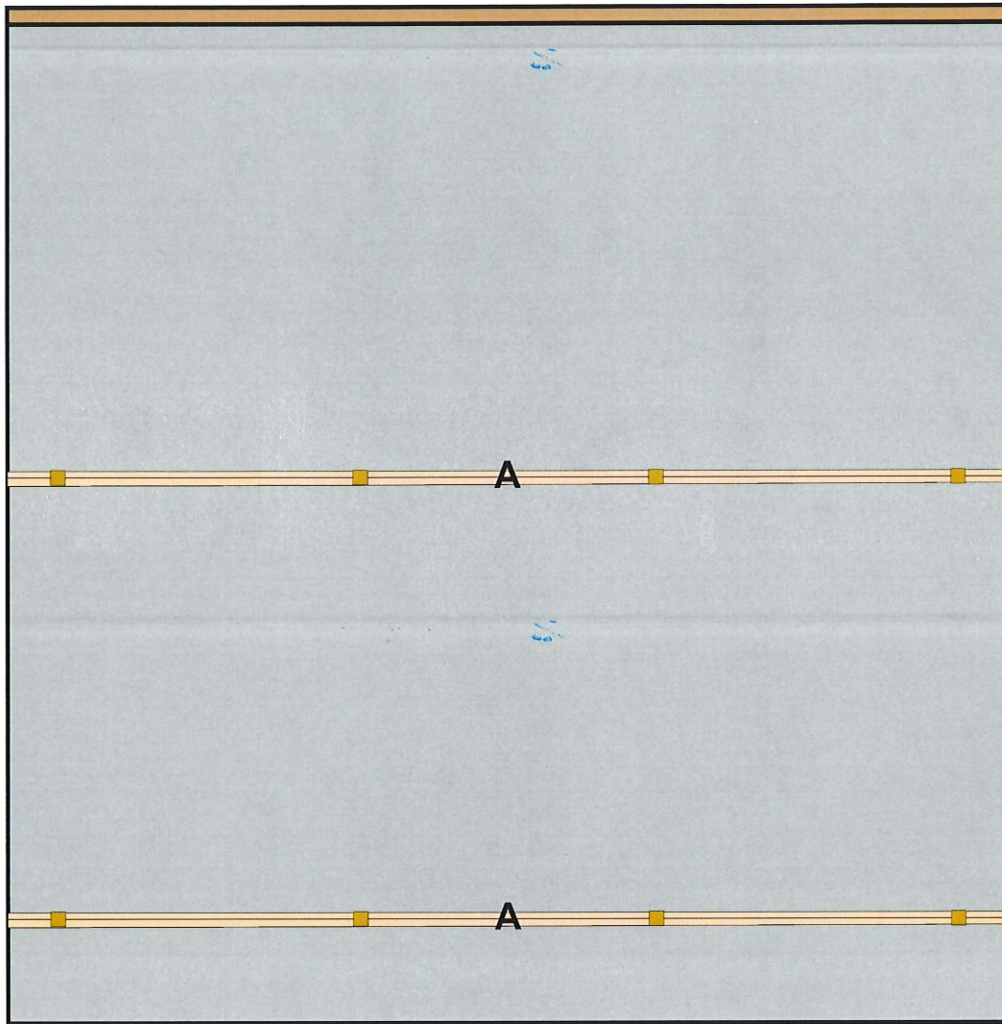
**Layout dimension sheets are intended as a construction aid. Not all options selected are shown.**

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

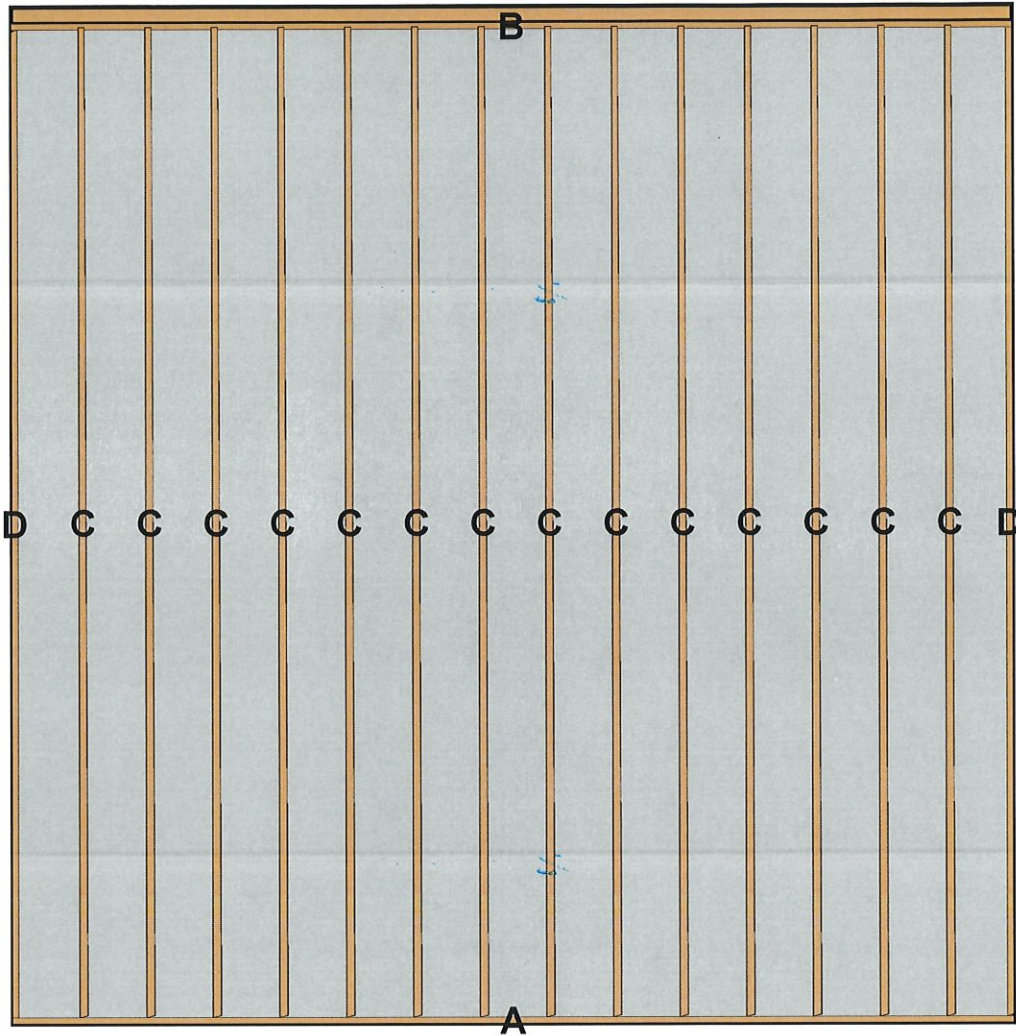


### Beam Layout for Level 1



Mark	Length	Description
A	20' 0"	4-2X8 AC2

### Joist Layout for Level 1



Mark	Length	Description	Usage
A	20' 0"	1-2X8 AC2	Rim Joist
B	20' 0"	1-2X8 AC2	Ledger Joist
C	19' 10"	14-2X8 AC2	Internal Joist
D	19' 9"	2-2X8 AC2	Rim Joist

The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.  
 Joist to be on 16".

Joist to be toe-nailed to beams with 3-1/2" fasteners.

Rim Joists to be face-nailed to joist and ledgers with 3-1/2" fasteners.

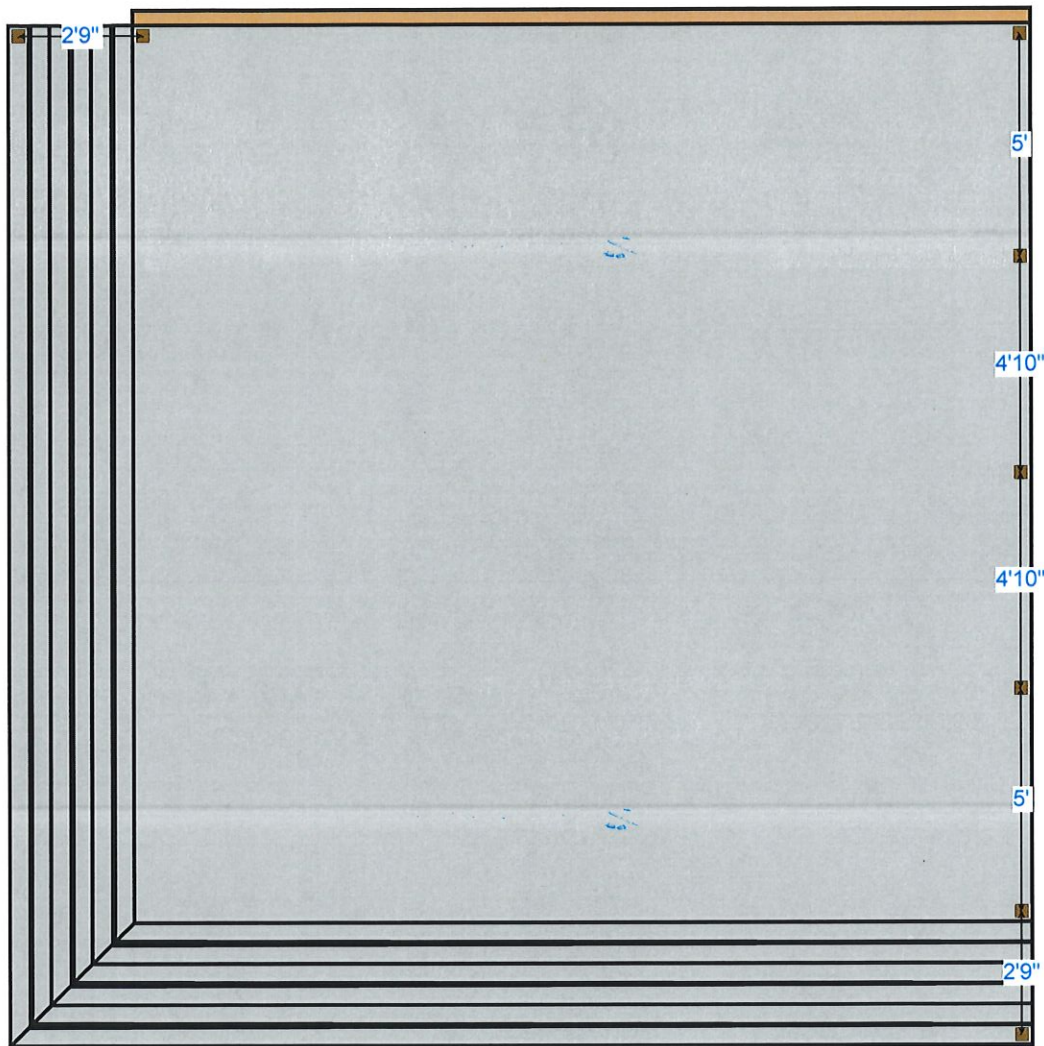
Y bracing is estimated, but not shown.

Blocking and bridging may be required by your local code.

**Layout dimension sheets are intended as a construction aid. Not all options selected are shown.**



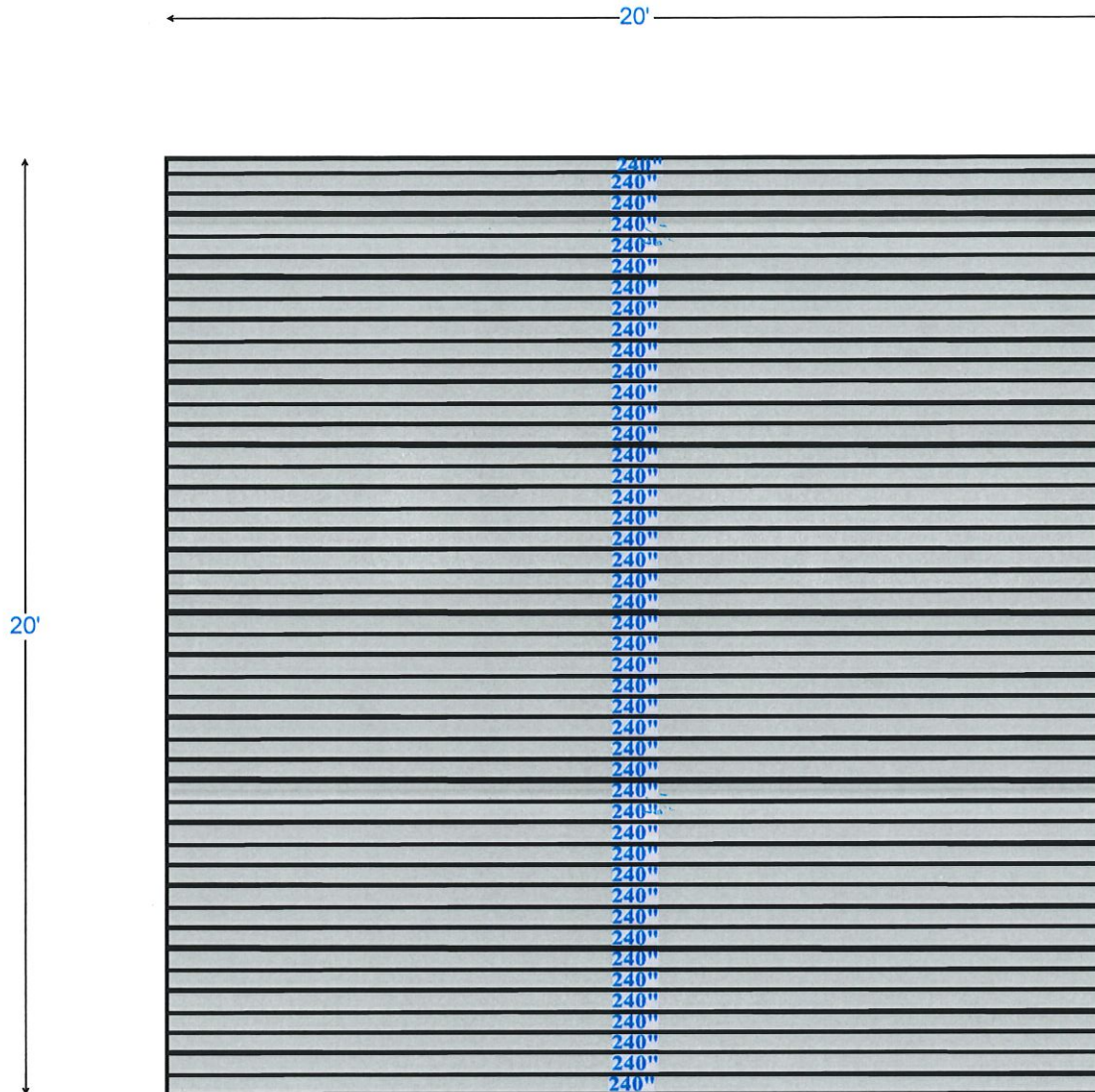
### Railing Post Dimension Sheet for Level 1



Dimensions are measured from the center of each railing post.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

### Deck Board Dimension Sheet for Level 1



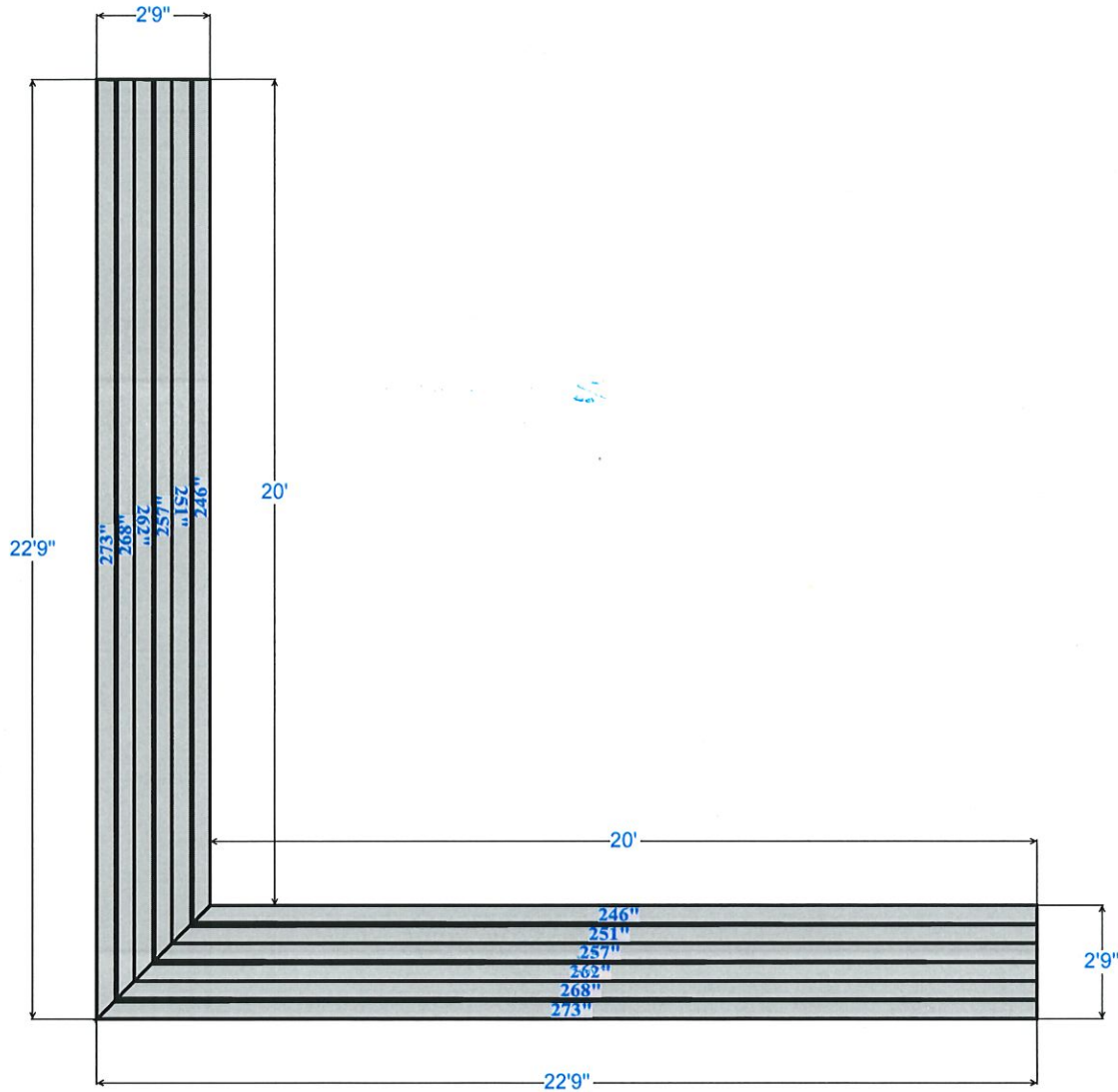
The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

**Layout dimension sheets are intended as a construction aid. Not all options selected are shown.**

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

### Tread Dimension Sheet for Wraparound Stair 1



The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

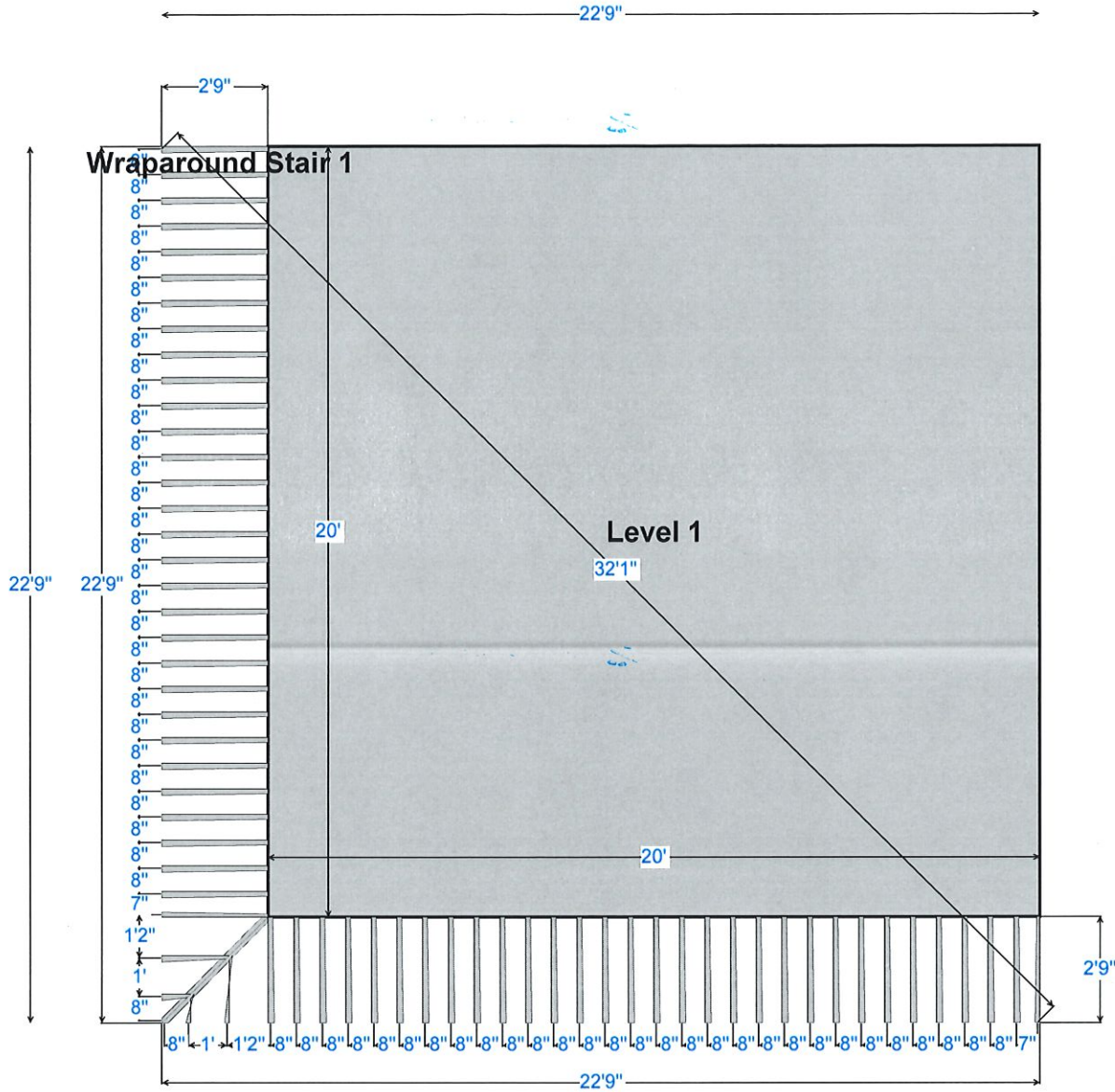
**Layout dimension sheets are intended as a construction aid. Not all options selected are shown.**

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.



# Stringer Dimension Sheet for All Types of Stairs on Level 1



The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

**Layout dimension sheets are intended as a construction aid. Not all options selected are shown.**

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

16-0008

PLAT NO. MIL-42-74

# NIENOW, LANDRY, WEBSTER & ASSOC. CONSULTING ENGINEERS & SURVEYORS

PERCOLATION TESTS  
LAND CONSULTANT  
SEWER & WATER DESIGN  
SUBDIVIDING

1750 W. SILVER SPRING DRIVE  
910 ELM GROVE ROAD

MILWAUKEE, WIS.  
ELM GROVE, WIS.

WALLACE G. NIENOW, P.E.  
JAMES W. LANDRY, P.E.  
ASSOCIATES  
KENNETH B. WESTERN, E.T.  
CARL R. RAHMIG, P.E.

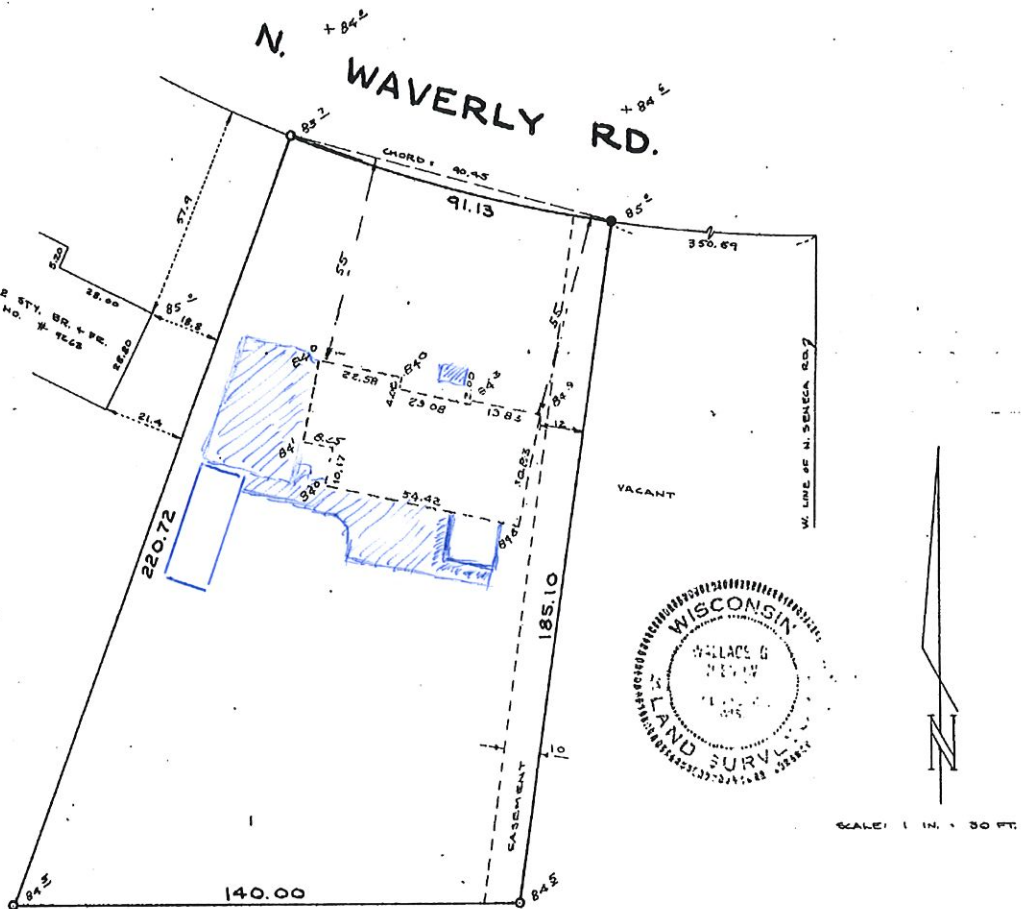
## PLAT OF SURVEY

PREPARED FOR Edward Dubester

DESCRIPTION OF PROPERTY Lot 8 in Block 1 of North Shore East, a subdivision located in the Northwest 1/4 of Section 4 and the Northeast 1/4 of Section 5, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

APPROVED  
VILLAGE OF BAYSIDE  
BUILDING COMMITTEE

DATE MAR 24 1969



SCALE: 1 IN. = 30 FT.

- HOUSE STAKED ON LINE.
- ELEV ON VILLAGE DATUM.
- DENOTES IRON PIPE
- DENOTES STONE

**AFFIDAVIT:**  
I hereby certify that I have made a survey on \_\_\_\_\_, 196\_\_\_\_,  
and that the location of the \_\_\_\_\_ on above described  
property is correctly shown on the above plat.

STATE OF WISCONSIN }  
COUNTY OF MILWAUKEE }  
I, Wallace Nienow, Surveyor, do hereby certify that I  
have made a survey of the above described property and that the above plat is a true  
representation of said survey.  
Milwaukee, Wisconsin March 3, 1969.  
Wallace Nienow



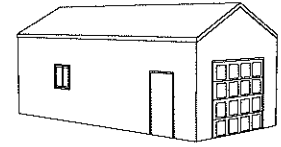
### Items Selected:

Gable roof w/ 6/12 pitch, Standard Trusses 2' O.C.  
Truss Design Location Zip Code: 53217  
2x4 Wall Framing Material  
14' Wide X 30' Deep X 10' High  
Vinyl Double 4" Lap Siding  
- Gray  
1/2" OSB Wall Sheathing  
Block-It Housewrap  
0" gable/0" eave overhangs  
1/2" 3 Ply Plywood Roof Sheathing  
Briarwood Pro, Driftwood Shingles  
Mongoose Ridge Vent  
White Vinyl Fascia  
White Premium Roof Edge  
1 - Garage Door Opener

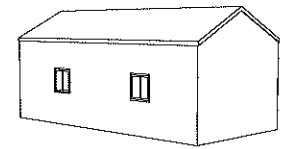
### Options Selected:

The options you have selected are:  
30 LB Roof Felt  
2 Rows Granular Ice & Water Barrier  
1 - Vinyl Gable Vent(s)  
3 - 36x36 Window - White Vinyl Utility  
1 - 36x80 Service Door - CP1 Flush Steel RS  
1 - 9x8 Overhead Door - Insulated RP White

Front View



Back View



**Estimated price: \$5,370.00\***

\*Today's estimated price, future pricing may go up or down.

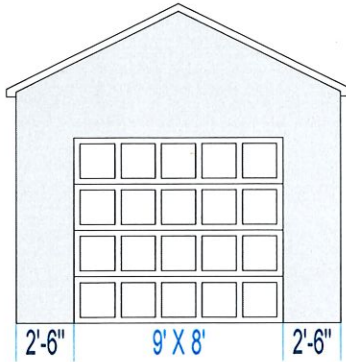
\*Tax, labor, and delivery not included.

**\*\*\* Take this sheet to the Building Materials counter to purchase your materials. \*\*\***

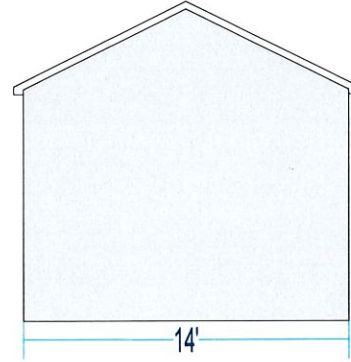
Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

\*\*\* Here are the wall configurations for your design.

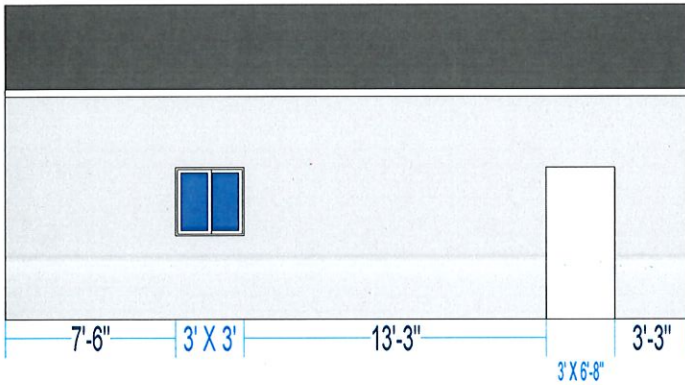
Illustration May Not Depict All Options Selected



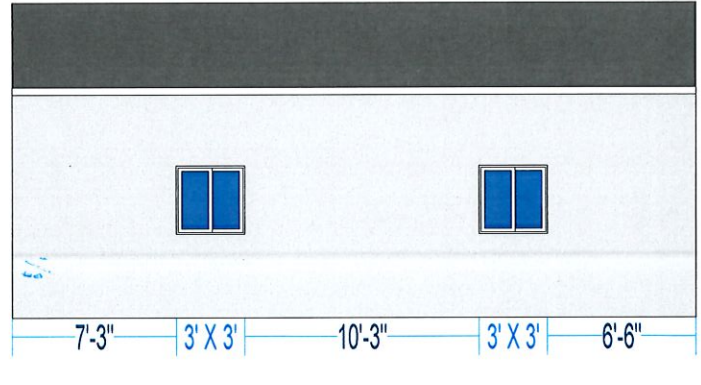
Gable Front View  
(1) - GARAGE DOOR 9X8 WHITE INSUL RAISEDPNL EZSETTORSN



Gable Back View



Eave Front View  
(1) - WINDOW 36X36 SLIDER UTILITY WINDOW 36X36  
(1) - PREHUNGSTE SERVICEDOO CP1 FLUSH STEEL DOOR PH



Eave Back View  
(2) - WINDOW 36X36 SLIDER UTILITY WINDOW 36X36

Building Size: 14 feet wide X 30 feet long X 10 feet high

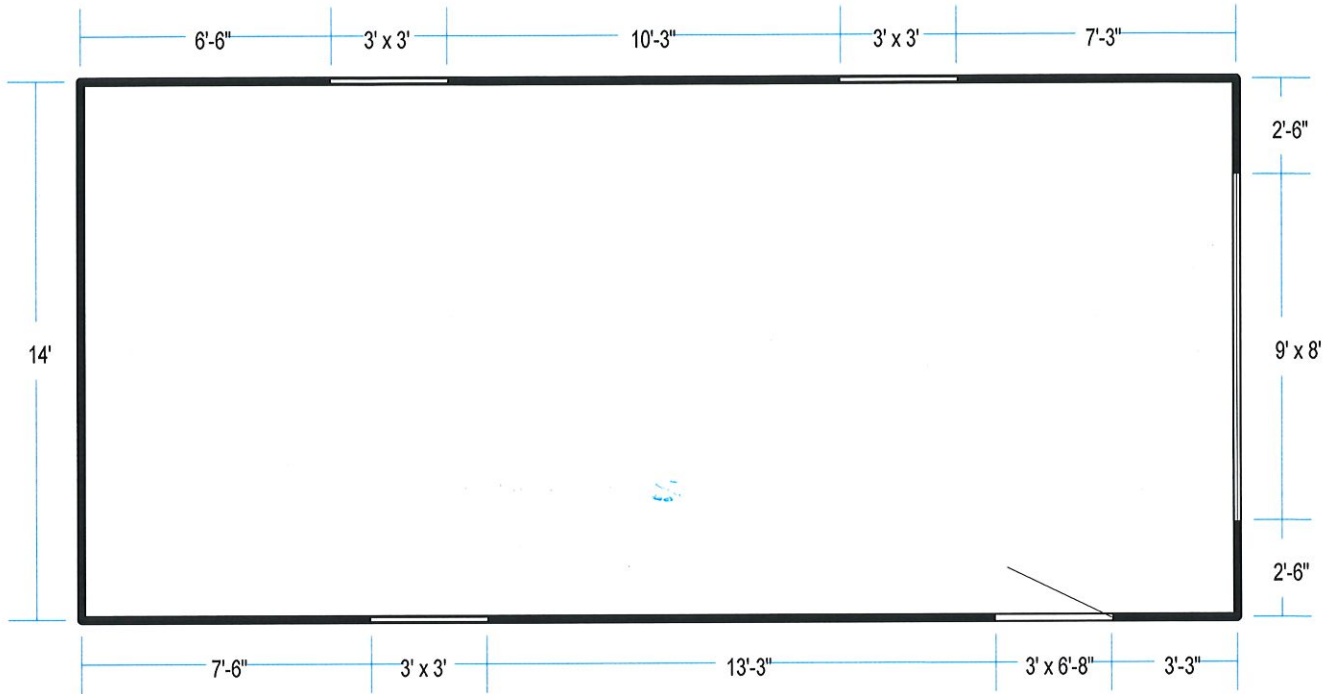
Approximate Peak Height: 14 feet 0 inches (167 inches)

NOTE: Overhead doors may need to be "Wind Code Rated" depending on your building location.  
Confirm the door requirements with your local zoning official before construction.

Menards-provided material estimates are intended as a general construction aid and have been calculated using typical construction methods. Because of the wide variability in codes and site restrictions, all final plans and material lists must be verified with your local zoning office. Menards is a supplier of construction materials and does not assume liability for design, engineering or the completeness of any material lists provided. Underground electrical, phone and gas lines should be located and marked before your building plans are finalized. Remember to use safety equipment including dust masks and sight and hearing protection during construction to ensure a positive building experience.

\*\*\* Floor Plan.

Illustration May Not Depict All Options Selected

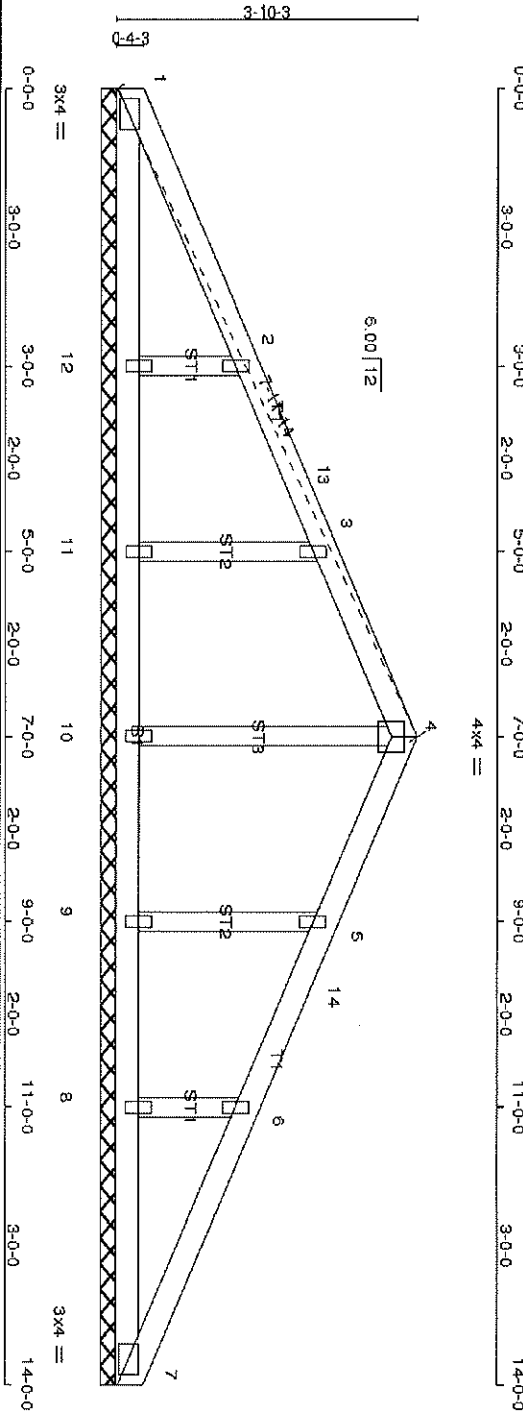


Building Size: 14 feet wide X 30 feet long X 10 feet high

Note: Wall construction is 2x4 @ 16" on center

Milwest Mt-G, Eau Claire, WI 54603

7640 S Nov 10 2015 Miltek Industries, Inc. 1 Use Apr 05 14:37:06 2016 Page 1  
ID: OhKREgvesHk\_YkV6TqkT8HzTpa-7jIsSepuzDIDueE\_gzEevorzslWDR7Z7P4JzzTkelf



Scale = 1:30

LOADING (psf)	SPACING-	CSL	DEFL	PLATES	GRP
TCLL (roof)	Plate Grip DOL	IC	Vert(LL)	MT20	197/144
Snow (Ps/Fg) 27.7/40.0	Lumber DOL	BC	Vert(TL)		
TCDD	Rep Stress Incr	WB	Horz(TL)		
BCLL	Code IIRC2009/TP12007	(Matrix)			
BCDL				Weight: 43 lb	FT = :

LUMBER-	BRACING-
TOP CHORD 2x4 SPF No.2	TOP CHORD
BOT CHORD 2x4 SPF No.2	BOT CHORD
WEBS 2x3 SPF Stud	
OTHERS 2x3 SPF Stud	

**REACTIONS.** All bearings 14-0-0.  
(lb) - Max Horz 1=-34(LC 7)  
Max Uplift All uplift 100 lb or less at joint(s) 1, 7, 11, 12, 9, 8  
Max Grav All reactions 250 lb or less at joint(s) 1, 7, 10, 11, 9 except  
12=308(LC 1), 8=308(LC 1)

**FORCES.** (lb) - Max: Comp./Max: Ten. - All forces 250 (lb) or less except when shown.

**JOINT STRESS INDEX**  
1 = 0.32, 2 = 0.14, 3 = 0.10, 4 = 0.36, 5 = 0.10, 6 = 0.14, 7 = 0.32, 8 = 0.13, 9 = 0.10, 10 = 0.08, 11 = 0.10 and 12 = 0.13

**NOTES-** (14)  
1) Unbalanced roof live loads have been considered for this design.  
2) Wind: ASCE 7-05; 90mph; TCDD=4.2psf; BCDD=6.0psf; h=25ft; Cal. II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) zone; can/lever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60  
3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TP1  
4) TCLL: ASCE 7-05; P=30.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=27.7 psf (roof snow); Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Cl=1.1  
5) Roof design snow load has been reduced to account for slope.  
6) Unbalanced snow loads have been considered for this design.

(Continued on page 2)



Milwaukee Mt-G, Eau Claire, WI 54703

/s/ 640 s Nov 10 2017 by Mike Industries, Inc. Tue Apr 05 14:37:06 2016 Page 2  
ID: QhKKEgvestK\_yKv61qk18Hz1pta-7llsSepuZ0DUeE\_gzEeVorzslWDR7Z7P14jzllkef

**NOTES- (14)**

- 7) All plates are 1.5x4 MT20 unless otherwise indicated.
- 8) Gable requires continuous bottom chord bearing.
- 9) Gable studs spaced at 2'-0"-0" oc.
- 10) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 11) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-6"-0" tall by 2'-0"-0" wide will fit between the bottom chord and any other members.
- 12) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 1, 7, 11, 12, 9, 8.
- 13) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R502.10.2 and referenced standard ANSI/TPI 1.

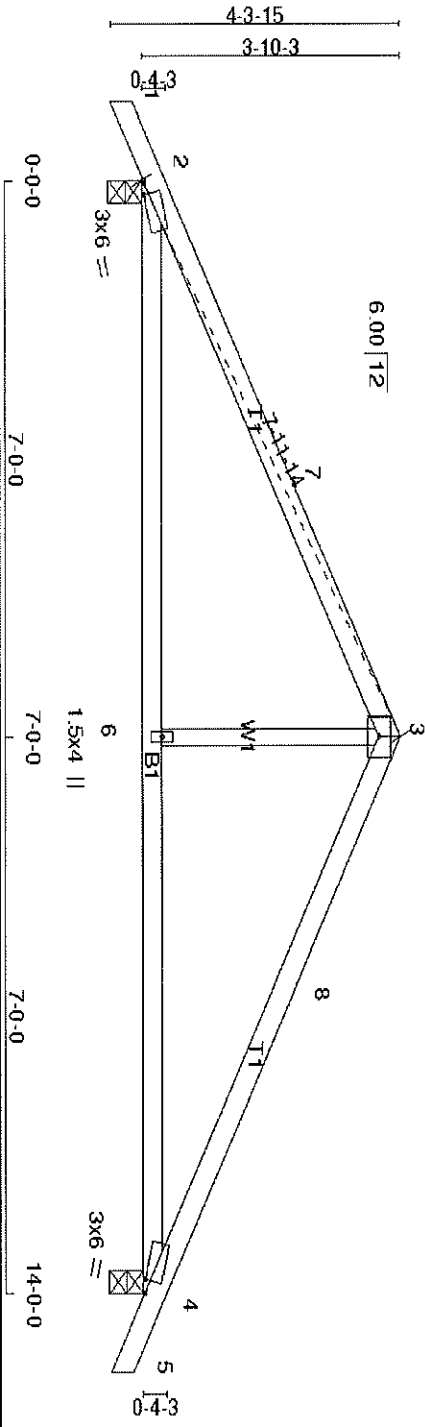
**LOAD CASE(S)** Standard



Midwest Manufacturing, HOLLAND CITY, OH

610 S Jan 29 2015 Milltek Industries, Inc. Tue Aug 04 13:08:39 2015 Page 1  
ID: D1YV4G0C\_YFAR2SGXndCyrDPe-ShZiUn1Z9NGOPMPOV2n0MYIKT1PaSQHguTmmRyDPk  
14-0-0 15-0-0  
1-0-0

Scale = 1:35.1



LOADING (psf)	SPACING	CSL	DEFL	PLATES	GRIP
TOLL (roof)	2-0-0	TC	in (loc)	M120	197/144
Snow (Ps/Pg)	Plate Grip DOL	BC	4-6		
27.7/40.0	1.15	0.82	>999		
TCDL	Lumber DOL	WB	4-6		
10.0	1.15	0.57	>834		
10.0 *	Rep Stress Incr	(Matrix)	n/a		
BCDL	Code IRC2009/TP12007		n/a		
10.0			n/a		

LUMBER-	BRACING-
TOP CHORD	2x4 SPF No.2
BOT CHORD	2x4 SPF No.2
WEBS	2x3 SPF Stud

**REACTIONS.** (lb/size) 2=777/0-3-8 (min. 0-1-8), 4=777/0-3-8 (min. 0-1-8)  
 Max Horiz 2=-45(LC 10)  
 Max Uplift 2=-93(LC 9), 4=-93(LC 10)

**FORCES.** (lb) - Max Comp/Max. Ten. - All forces 250 (lb) or less except when shown.  
 TOP CHORD 2-7=-979/133, 3-7=-837/146, 3-8=-837/146, 4-8=-979/133  
 BOT CHORD 2-6=-25/759, 4-6=-25/759  
 WEBS 3-6=0/330

**JOINT STRESS INDEX**  
 2 = 0.88, 3 = 0.76, 4 = 0.88 and 6 = 0.35

**NOTES:** (12)  
 1) Unbalanced roof live loads have been considered for this design.  
 2) Wind: ASCE 7-05: 90mph; TC DL = 4 2psf; BCDL = 6 0psf; h = 25ft; Cat. II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL = 1.60 plate grip DOL = 1.60  
 3) TOLL: ASCE 7-05; Pr = 30.0 psf (roof live load); Lumber DOL = 1.15 Plate DOL = 1.15; Category II; Exp B; Fully Exp.; Cl = 1.1  
 4) Roof design snow load has been reduced to account for slope.  
 5) Unbalanced snow loads have been considered for this design.  
 (Continued on page 2)

Structural wood sheathing directly applied or 2-2-0 oc purlins.  
 Rigid ceiling directly applied or 10-0-0 oc bracing.  
 Mittek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.



Midwest Manufacturing, HOLLIDAY CITY, OH

7610 s Jan 29 2015 10:16:08 AM  
ID: D1yYpGGR\_yFaRzSGXndQyRDPe-Sh7JntZ9NGOPMPOV2r0M?ytkT1PA9CHguTnmRyrdPA

**NOTES- (12)**

- 6) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 27.7 psf on overhangs non-concurrent with other live loads.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 8) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 93 lb uplift at joint 2 and 93 lb uplift at joint 4.
- 10) This truss is designed in accordance with the 2009 International Residential Code sections R502.1.1 and R802.10.2 and referenced standard ANSI/TPI 1.
- 11) "Semi-rigid pitchbreaks with fixed heels" Member end fixity model was used in the analysis and design of this truss.

**LOAD CASE(S)** Standard

# Project Proposal

Date 5/8/2019

Property Address 9445 W. Fairway Circle

Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input type="checkbox"/> Decks/Patios<br><input checked="" type="checkbox"/> Fence<br><input type="checkbox"/> Fire Pits<br><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction<br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors<br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

take down and replace existing fence.  
would like to extend fenced area.  
will use cedar fence - picket style  
surrounding a pool

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee <u>60</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date: <u>5/21/2019</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-Way/Excavation Permit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Variance Required <u>BZA</u>

5/21/2018

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p><b>PROJECT/SITE OWNER:</b> Jessica Snyder</p> <p><b>PROJECT ADDRESS:</b> 9445 N Fairway Circle</p>	<p><b>PROJECT SUMMARY:</b> Replacement and new fence. 6' tall, cedar picket, 318' long, 0% open design</p>
---	--

**VILLAGE CODE REVIEW**

**LENGTH AND FENCE TYPE:**

Proposed length of 318' is approximately 50% of the total property perimeter length of approximately 640' and a 50% open design is required by the code section copied below. A privacy fence is proposed which does not comply with the code section below.

Village code section 14-182 (1): Fence type. *No solid fence may be constructed with a total horizontal linear length in excess of ten percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. No fence shall be constructed with a total horizontal linear length in excess of ten percent of the linear feet of the perimeter of the property without at least a 25 percent open design. No fence shall be constructed with a total horizontal linear length in excess of 25 percent of the linear feet of the perimeter of the property without at least a 50 percent open design.*

**PROPOSED LENGTH AND TYPE DO NOT COMPLY**

**HEIGHT:**

**PROPOSED HEIGHT COMPLIES**

**MATERIAL / FINISH:**

**PROPOSED FINISH COMPLIES**

**Dan Hatch, RA**  
Plans Examiner  
dhatch@safebuilt.com

16-0106

Plat No. Mil 45-48

**NIENOW, LANDRY, WEBSTER & ASSOC.**

WALLACE G. NIENOW, P.E.  
JAMES W. LANDRY, P.E.

PERCOLATION TESTS  
LAND CONSULTANT  
SEWER & WATER DESIGN  
SUBDIVIDING

1750 W. SILVER SPRING DRIVE MILWAUKEE, WIS.  
850 ELM GROVE ROAD ELM GROVE, WIS.

ASSOCIATES  
KENNETH B. WESTERN, P.E.  
CARL R. RAHMIG, P.E.

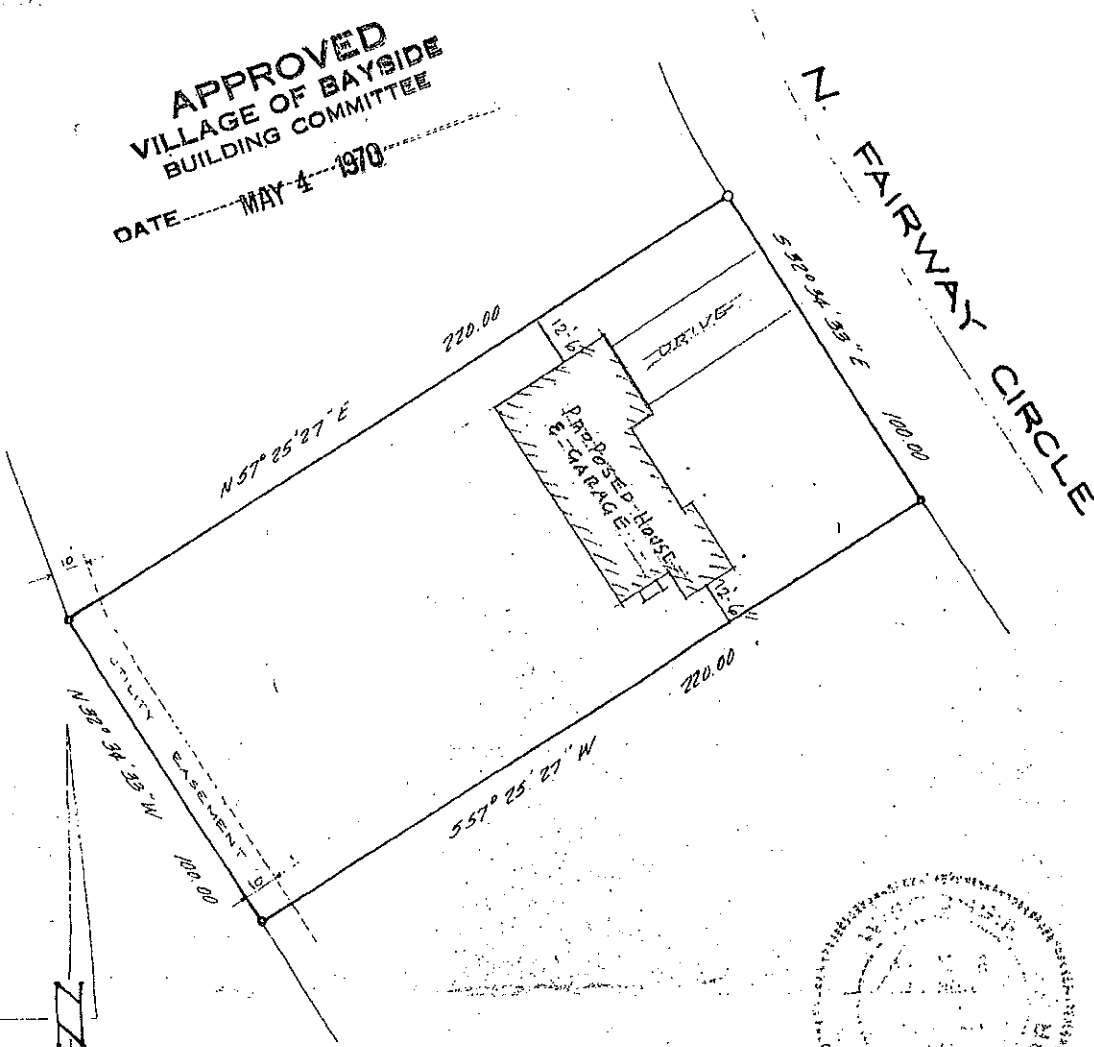
### PLAT OF SURVEY

PREPARED FOR Fred Miller

DESCRIPTION OF PROPERTY Lot 37 in Block 3, North Shore East, in the Northwest 1/4 of Section 4 and the Northeast 1/4 of Section 5, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

**APPROVED  
VILLAGE OF BAYSIDE  
BUILDING COMMITTEE**

DATE MAY 4 1970



SCALE:  
1 IN. = 40 FT.

**AFFIDAVIT:**

I hereby certify that I have made a survey on \_\_\_\_\_, 196\_\_\_\_\_, and that the location of the \_\_\_\_\_ on above described property is correctly shown on the above plat.

STATE OF WISCONSIN  
COUNTY OF MILWAUKEE

I, Wallace Nienow, Surveyor, do hereby certify that I have made a survey of the above described property and that the above plat is a true representation of said survey.

Milwaukee, Wis. APR 11, 1967.

Wallace Nienow



# A-1 FENCE CO., INC.

11040 N. Buntrock Avenue, Mequon, WI 53092  
 262-251-6766 • Fax 262-242-0620 • www.a1-fence.com

Proposal No. 2130

Date: 4-30-18

We propose to provide all necessary materials and labor to construct a fence according to the sketch, specifications and guarantee presented below, on the purchaser's property located at.

Address: 9445 N Fairway, L.I.  
 Name: Jessica Snyder  
 City: \_\_\_\_\_  
 Telephone: \_\_\_\_\_

## RESPONSIBILITY OF THE CUSTOMER

1. Obtain permit
2. Provide a survey of the property.
3. Provide a place for the dirt from post holes dug.
4. If there is an existing fence to be taken down, the CUSTOMER must make arrangements for its disposal.
5. \$100 deposit with signature. Non refundable after 3 days.
6. Full payment is due upon completion of work.

### CUSTOMER'S RIGHT TO CANCEL

You may cancel this agreement in person or in writing, by notifying the seller by 5 PM of the third business day after you signed this proposal. And, if you wish, you may write "I hereby cancel" across the face of this page as written notice.

### GUARANTEE

Seller agrees to correct any defect in workmanship or materials at no cost to the buyer for the following period of time:

Installed Fencing: 5yr  
 Installed Gate: 1yr

### UNDERGROUND CABLES:

Telephone \_\_\_\_\_ Electric

A-1 Fence Co. assumes no responsibility for damage to any buried electric or plumbing service not installed by a public utility.

Salesman: BJ



"The sting of poor quality outlives the joy of low price."

A-1 Fence Co is not liable for disturbance or necessary changes of landscaping, nor are they liable for damage to existing surfaces such as concrete, brick, etc. due to installation or work performed. Checking of post are not warranted as that is the nature of the wood. Painting any part of the fence will void warranty.

### PURCHASER AGREES TO PAY BALANCE DUE UPON COMPLETION OF WORK

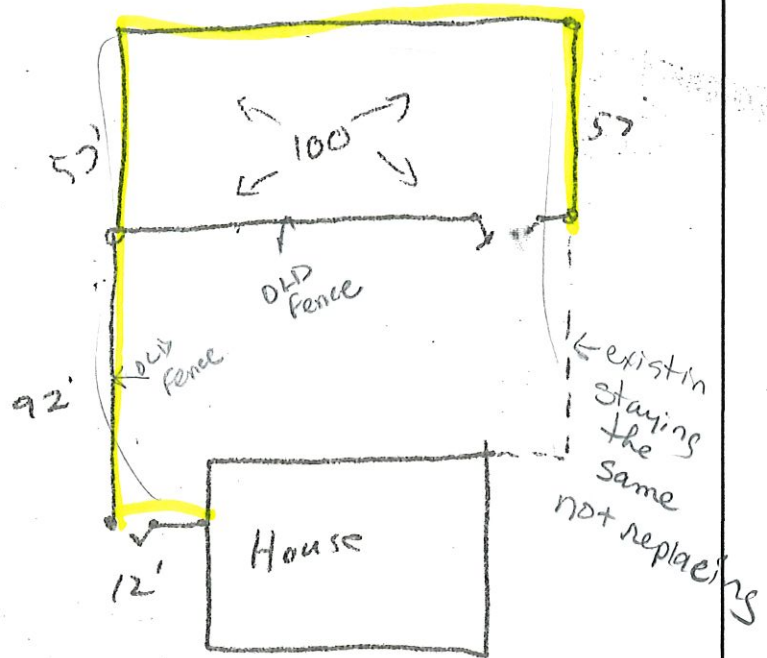
\* Cedar Style of Fence  
 30x 6x11x 3.5x 1  
 Sella

Accepted by: \_\_\_\_\_  
 Date signed: \_\_\_\_\_  
 Total footage: \_\_\_\_\_  
 TOTAL PRICE: \_\_\_\_\_  
 Credit Card Payment will be subject to a 2.5% surcharge.

Fence Height <u>6'</u>	Gate Style A) Arch up B) Arch Down C) Straight	Post Style Diamond Arrowhead Dado  
Post Size <u>4x4</u>	Gate Post Size <u>4x4</u>	

### SKETCH

Shortway 204' = \$ 7752.-  
 Longway 318' = \$ 11,766.-  
 Half Away \$408.-



\* electric on fence line needs to be Addressed

### Installation Notes

Replace old Fence w/ new yellow highlight in yellow







new fence  
area

