Village of Bayside
Plan Commission Meeting
February 17, 2021
Remote Teleconferencing, 6:00 pm

PLAN COMMISSION
AGENDA

PLEASE TAKE NOTICE: Due to the COVID-19 Pandemic, the Plan Commission will be meeting via remote teleconferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

I. CALL TO ORDER AND ROLL CALL

II. PUBLIC HEARING

III. APPROVAL OF MINUTES

A. Plan Commission meeting minutes, October 21, 2020.

IV. BUSINESS

A. Introduction/Presentation on the request to construct a replacement apartment building at 9009 N White Oaks Lane.

V. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE COMMISSION

VI. ADJOURNMENT

Lynn Galyardt
Administrative Services Director
February 9, 2021

The Plan Commission will utilize Zoom videoconferencing software for this meeting. To join the Zoom meeting using a computer or tablet, visit
https://us02web.zoom.us/j/82259885881?pwd=ZW5yY0NkQ1BtVzVmZ3dlSUZBT1puZz09
Meeting ID: 822 5988 5881; Password: 005931; Phone: 312-626-6799

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above-stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.bayside-wi.gov)

Village of Bayside
Plan Commission Meeting Minutes
October 21, 2020

I. CALL TO ORDER AND ROLL CALL

Chairperson Walny called the meeting to order at 6:00pm via remote teleconferencing.

ROLL CALL

Chairperson: Eido Walny
Commissioners: Mike Barth
Ari Friedman-excused
Edward Harris
Jeff Jubelirer
John Krampf
Marisa Roberts

Also present: Village Manager Andrew Pederson
Administrative Services Director Lynn Galyardt

II. PUBLIC HEARING

A. The purpose of this hearing is to consider the request for a Conditional Use Permit for an ownership change for the Community Based Residential Facility at 8820 N Rexleigh Drive.

Chairperson Walny read the above notice and called for public discussion at 6:01pm

1. Public Discussion

There was no comment.

2. Commission Discussion

Commissioner Jubelirer questioned what type of qualifications the future owners had for operating the facility. Sara Izgelov, future owner, stated she had experience in quality care for community based residential facilities and Robert Knoll stated he had spent 20 years in the Air Force and Army.

Chairperson Walny closed the public hearing at 6:03pm

III. APPROVAL OF MINUTES

A. Plan Commission meeting minutes, July 16, 2020.

Motion by Commissioner Barth, seconded by Commissioner Roberts, to approve the Plan Commission meeting minutes, July 16, 2020. Motion carried unanimously.

IV. BUSINESS

A. Discussion/Recommendation on the request for a Conditional Use Permit for an ownership change for the Community Based Residential Facility at 8820 N Rexleigh Dr.

Attorney Jaekels questioned who was applying for the Conditional Use Permit. Robert Knoll responded that he and Sara Izgelov as the Saber Group were applying for the permit.

Motion by Commissioner Harris, seconded by Commissioner Harris, to recommend to the Village Board the request for a Conditional Use Permit for an ownership change for the Community Based Residential Facility at 8820 N Rexleigh Dr. Motion carried unanimously.

B. Discussion/action on the Department of Health and Family Services Community Based Residential Facilities Identification of Hazards Request.

Administrative Services Director Galyardt stated the Health, Police and North Shore Fire/Rescue Department, as well as the Bayside Communications Center were not aware of any hazards.

Motion by Commissioner Harris, seconded by Commissioner Barth, to submit the Department of Health and Family Services Community Based Residential Facilities Identification of Hazards Request stating no known hazards. Motion carried unanimously.

V. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE COMMISSION

There was none.

VI. ADJOURNMENT

Motion by Commissioner Harris, seconded by Commissioner Barth, to adjourn the meeting at 6:07pm. Motion carried unanimously.

Respectfully submitted,

Lynn Galyardt
Administrative Services Director

January 22, 2021

TO: Andy Pederson
Village Manager
Village of Bayside

FROM: John Mann
Owner's Representative for Katz Properties

RE: White Oaks Apartment Replacement
9009 N. White Oaks Lane
Bayside, WI

Executive Summary

The White Oaks Apartment Complex was originally built in 1986. It consisted of 4 similar buildings on one parcel.

In March of 2019, 9009 had a major fire. Everything was lost except the basement garage and the pool building that was attached to the north. The existing building was as follows:

- 62 units
- Total area - 111,294 s.f.
- Footprint – 29,426 s.f.
- Building height – 36 feet
- Apartment ceiling heights 8 feet
- The building was NOT sprinkled except the basement.

The proposed building is as follows:

- 56 units
- Total area – 116,575
- Corporate offices for Katz Properties
- Common areas such as club room and yoga studio
- Footprint – 32,134 s.f.
- Building height – 45 feet
- Apartment ceiling heights – 9 and 10 feet.
- The building will be fully sprinkled.

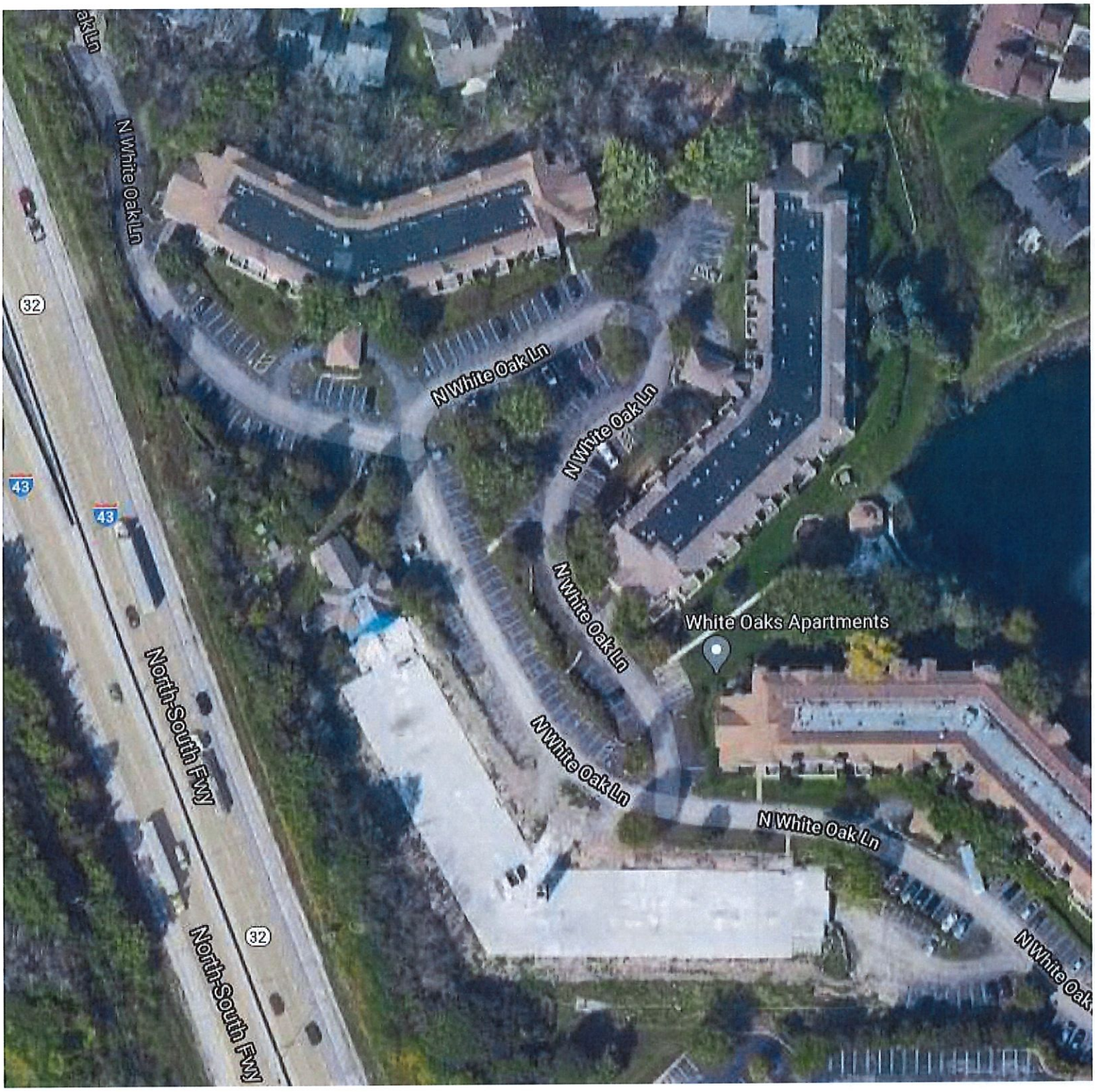
The proposed new building will be constructed on top of the existing parking structure on basically the same footprint. Over the last 35 years the apartment market has changed and the proposed building has been designed for that market. The changes include larger bedrooms, additional building amenities and increased ceiling heights. The increased ceiling heights and the structural framing system is the reason the building has increased in height.

As you will see from the drawings and renderings the proposed building will have the same type of roof system as the existing buildings. There is a recessed roof that hides all of the mechanical systems and minimizes the height of the roof.

The exterior materials are all in keeping with the Bayside community and although not an identical match to the existing three buildings, we believe it is complementary in design and will be a great new asset for the White Oaks Complex and the Village of Bayside.

Corporate Offices for Katz Properties

- There are a total of six employees. 4 are there full time, 1 is there in the morning, and Mr. Katz spends time between Bayside and Florida and is there part time.
- Hours are 8-5 Monday - Friday.
- Deliveries are minimal.
- Parking is provided in the basement of the building for the 6 employees.
- They have almost no visitors.
- 4,056 sq. feet


N White Oak Ln
N White Oak Ln
N White Oak Ln
N White Oak Ln
N White Oak Ln
N White Oak Ln
White Oaks Apartments
North-South Fwy
North-South Fwy
32
32
43
43

Current

LANDMARK ROOFING SHINGLES
CERTAINTEED | **WEATHERED WOOD**

HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL | **AGED PEWTER**

HARDIEPLANK LAP SIDING
SELECT CEDARMILL | **COBBLESTONE**

HARDIEPLANK LAP SIDING
SELECT CEDARMILL | **KHAKI BROWN**

HARDIETRIM BOARDS
5/4 SMOOTH | **COBBLESTONE**

FASCIA, GUTTERS, DOWNSPOUTS &
WINDOW FINISH | **BRONZE**

STONECAST | **SANDSTONE**

ACME BRICK | **BROOKSTONE**

White Oaks

Apartments

Bayside, Wisconsin

OWNER

White Oaks Apartments LLC

9100 N White Oaks Ln
Bayside, WI, 53217

SHEET INDEX

CIVIL

C-1 COVER SHEET
C-2 GENERAL NOTES
C-3 EXISTING CONDITIONS AND DEMOLITION
C-4 SITE DIMENSIONAL AND PAVING PLAN
C-5 GRADING AND EROSION CONTROL PLAN
C-6 UTILITY PLAN
C-7 CONSTRUCTION DETAILS

LANDSCAPE

L-1 LANDSCAPE PLAN
L-2 LANDSCAPE GENERAL NOTES

ARCHITECTURAL

PARKING LEVEL PLAN
FIRST FLOOR PLAN
SECOND FLOOR PLAN
THIRD FLOOR PLAN
EXTERIOR ELEVATIONS
EXTERIOR ELEVATIONS
BUILDING SECTION

VILLAGE SUBMITTAL

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED.

IT DOES NOT ADDRESS ALL STRUCTURAL AND CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE IN-DEPTH REQUIREMENTS FOR THE FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY.

PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 201501
DATE: 18 JAN 21

RENDERING IS REPRESENTATIVE ONLY.... SEE DOCUMENTS FOR SPECIFIC DETAILS

Architecture
A Sense of Community

1414 UNDERWOOD AVE. WAUWATOSA, WI 53213 414.431.3131 TEL 414.431.0531 FAX WWW.AGARCH.COM

SITE STATISTICS

LOWER LEVEL AREA	27,026 SF
FIRST FLOOR AREA	32,134 SF
SECOND FLOOR AREA	28,201 SF
THIRD FLOOR AREA	29,216 SF
TOTAL AREA	116,577
UNDERGROUND PARKING SPACES	62
FIRST FLOOR UNITS	11
SECOND FLOOR UNITS	22
THIRD FLOOR UNITS	23
TOTAL UNITS	56

A1.2	11
A2.3	20
A3	3
A4	2
B1	3
B2	2
B3	11
B4	4

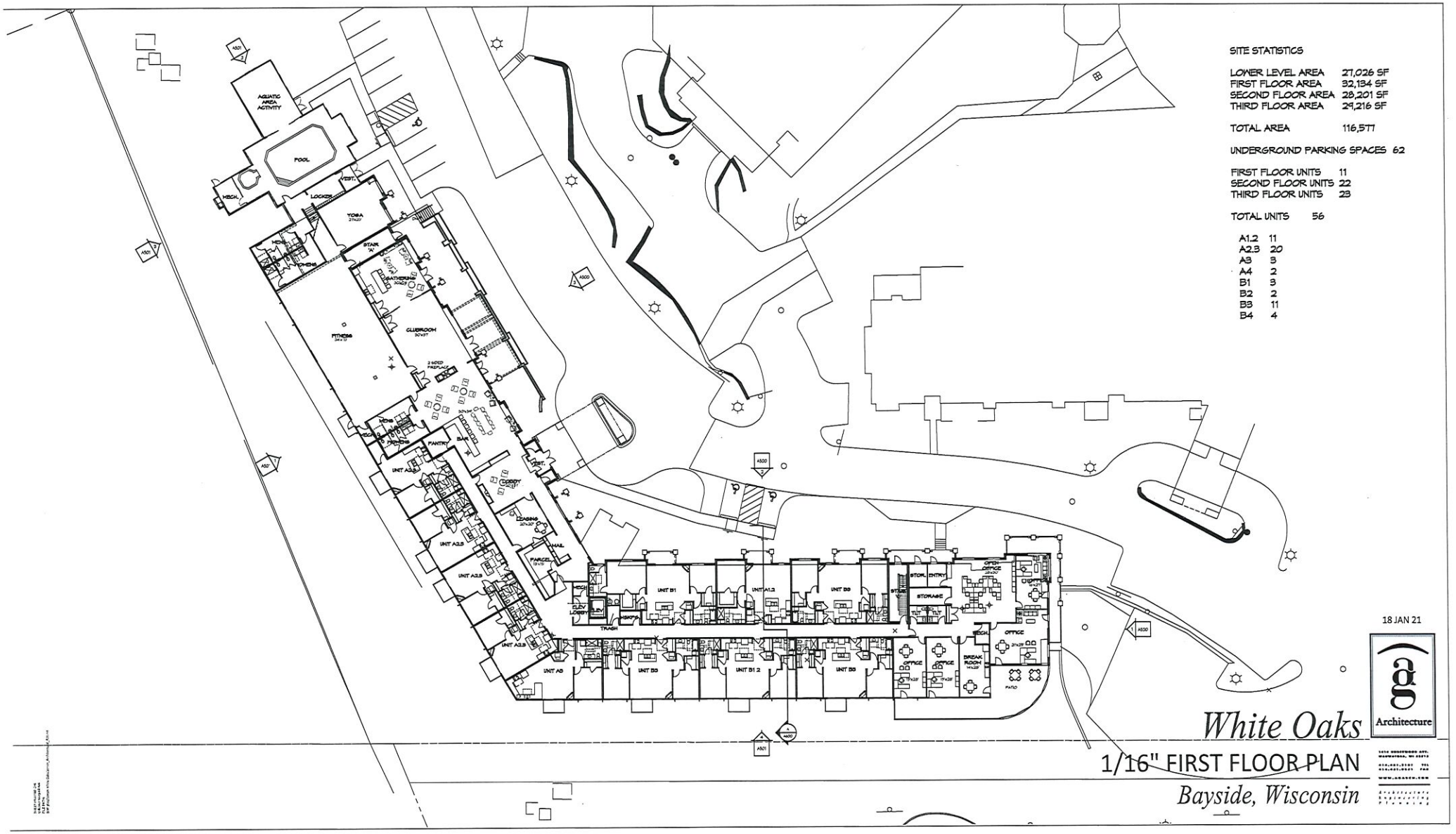
18 JAN 21

ago Architecture

White Oaks

1/16" SITE PLAN

Bayside, Wisconsin



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B3	11
B4	4

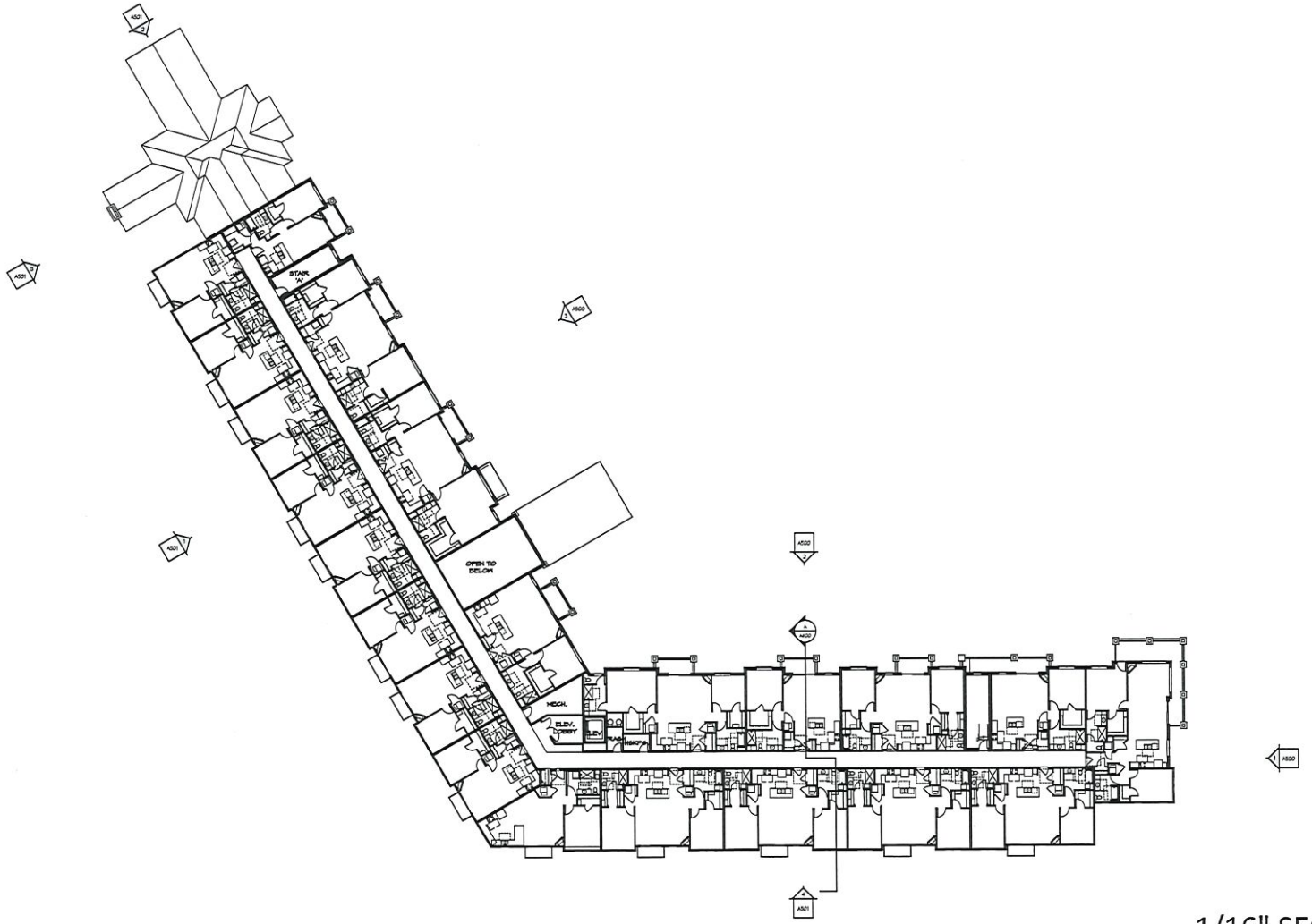
18 JAN 21

ago Architecture

White Oaks

1/16" FIRST FLOOR PLAN

Bayside, Wisconsin



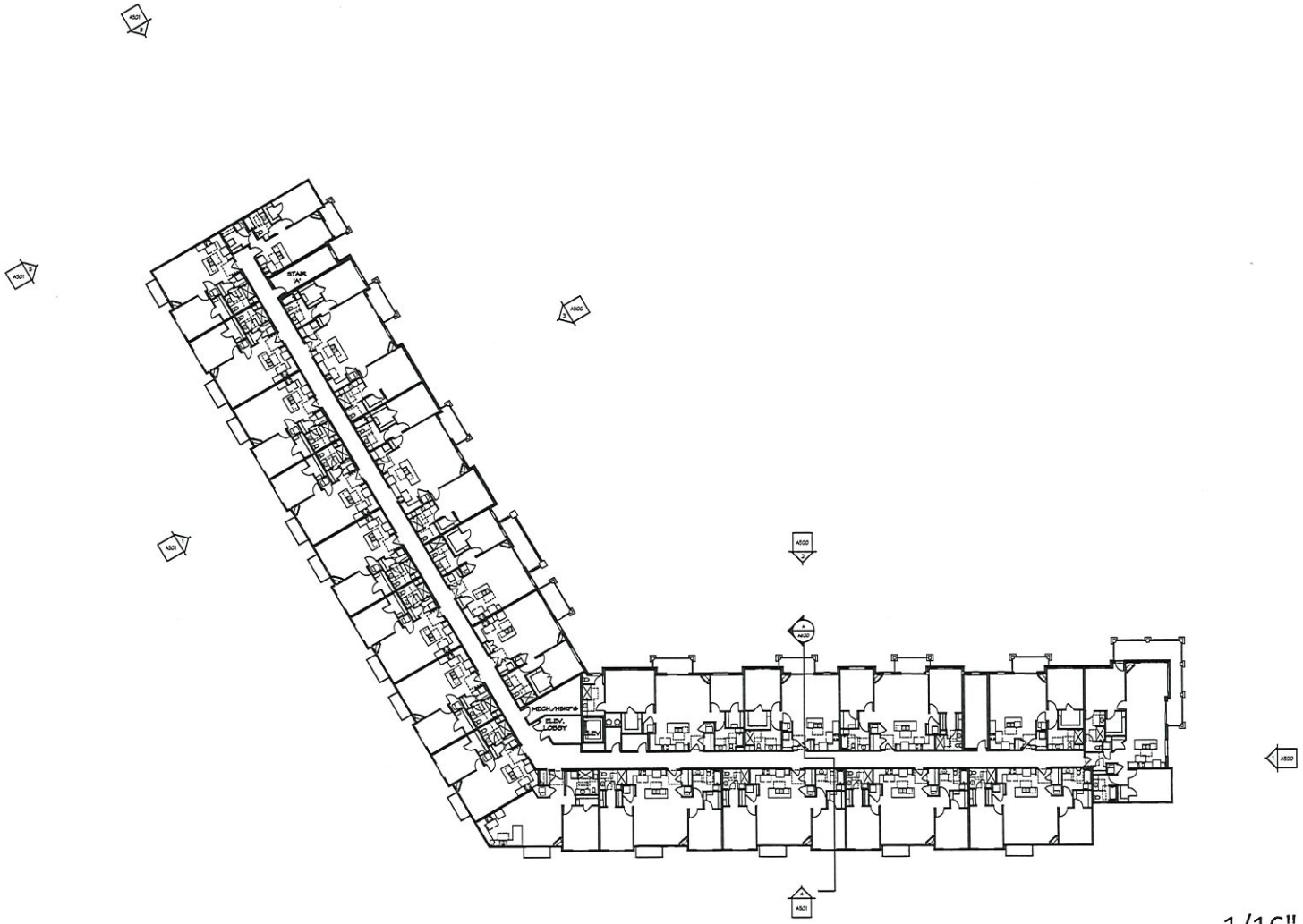
18 JAN 21

White Oaks

1/16" SECOND FLOOR PLAN

Bayside, Wisconsin

ago Architecture



18 JAN 21

White Oaks

1/16" THIRD FLOOR PLAN

Bayside, Wisconsin

Architecture

EAST ELEVATION

NORTH ELEVATION

EAST ELEVATION

EXTERIOR ELEVATION GENERAL NOTES

1. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS WHICH SPILL ONTO GRADE OR ROOFS.
2. ALL CONDUIT, METERS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.
3. GUTTERS AND DOWNSPOUTS ARE PREFINISHED ALUMINUM.
4. SEE SHEET A7.A01 FOR WINDOW AND STOREFRONT SCHEDULES.

EXTERIOR ELEVATION KEY NOTES:

MR STANDING SEAM GALVALUME METAL ROOF
A THREE DIMENSIONAL ASPHALT SHINGLES
B BRICK
FS FIBER CEMENT SIDING WITH 5" LAP
FS FIBER CEMENT SHINGLE SIDING

SCHEMATIC DESIGN NOT FOR CONSTRUCTION

DATE 18 JAN 21
PROJECT 201301
SHEET NO. A500

1/8" EXTERIOR ELEVATIONS

Designer

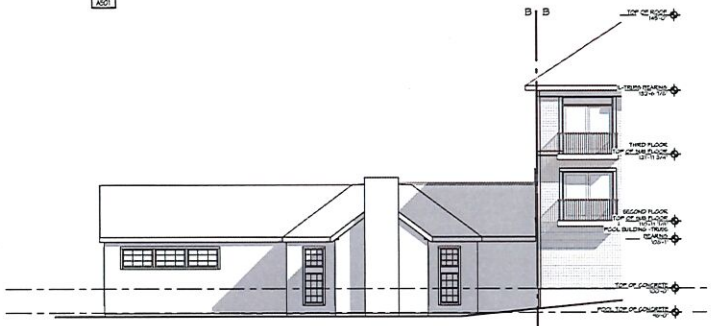
White Oaks Apartments

Bayside Wisconsin

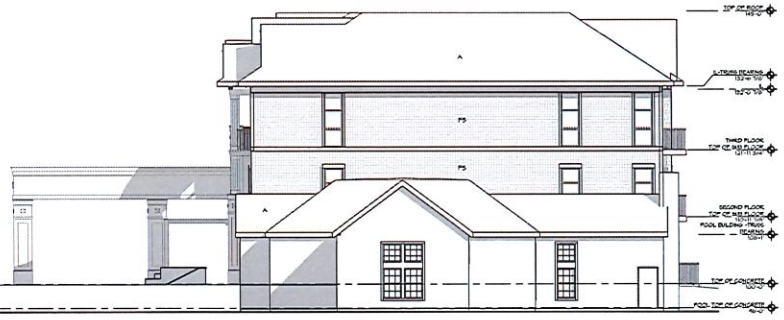
Architecture

REVISIONS
NO. DATE DESCRIPTION

WEST ELEVATION



WEST ELEVATION (POOL BUILDING)



NORTH ELEVATION

EXTERIOR ELEVATION GENERAL NOTES

1. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS WHICH SPILL ONTO GRADE OR ROOFS.
2. ALL CONDUIT, METERS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.
3. GUTTERS AND DOWNSPOUTS ARE PREFINISHED ALUMINUM.
4. SEE SHEET A7.0.1 FOR WINDOW AND STOREFRONT SCHEDULE.

EXTERIOR ELEVATION KEY NOTES:

MR STANDING SEAM BALVALUME METAL ROOF
A THREE DIMENSIONAL ASPHALT SHINGLES
B BRICK
FB FIBER CEMENT SIDING WITH 5" LAP
FS FIBER CEMENT SHINGLE SIDING

WEST ELEVATION

White Oaks Apartments

Bayside Wisconsin

Architecture

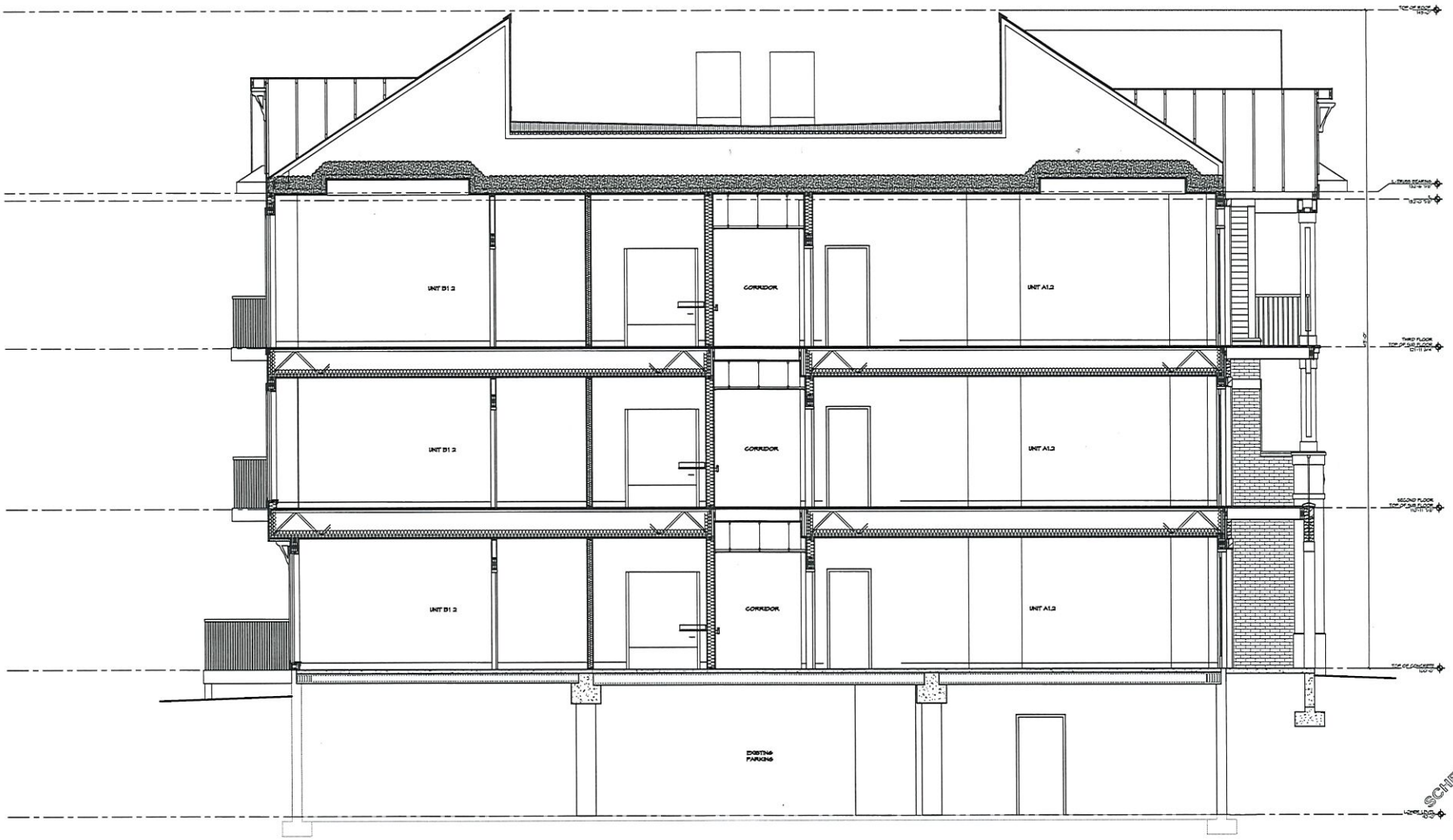
7434 WOODWARD AVE.
WAUWATOSA, WI 53213
414.421.0151 TEL
414.421.0221 FAX
WWW.ARARCH.COM

REVISIONS
NO. DATE DESCRIPTION

SCHEMATIC DESIGN NOT FOR CONSTRUCTION

DATE
18 JAN 21
PROJECT
201501
SHEET NO.
A501
Designer

1/8" EXTERIOR ELEVATIONS



A A600 BUILDING SECTION

White Oaks Apartments

Bayside Wisconsin

Architecture

SCHEMATIC DESIGN NOT FOR CONSTRUCTION

DATE
18 JAN 21

PROJECT
201501

SHEET NO.
A600

Designer

3/8" BUILDING SECTION

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

WHITE OAKS

9100 NORTH WHITE OAK LANE, BAYSIDE WI

PLANS PREPARED
FOR

AG ARCHITECTURE

1414 UNDERWOOD AVE, SUITE 301
WAUWATOSA, WI 53213

THESE PLANS AND DESIGNS ARE CONSTRUCT PROJECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com

INDEX OF SHEETS

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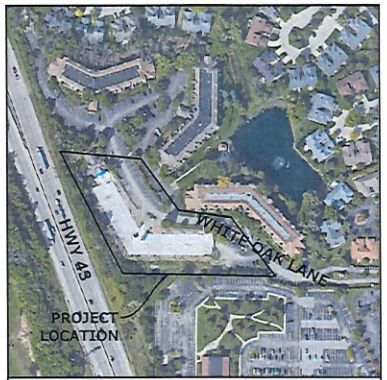

LOCATION MAP

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE		
STORM SEWER MANHOLE		
STORM SEWER AREA DRAIN		
STORM SEWER INLET (ROUND CASTING)		
STORM SEWER INLET (RECTANGULAR CASTING)		
PRECAST FLARED END SECTION		
CONCRETE HEADWALL		
VALVE VAULT		
VALVE BOX		
FIRE HYDRANT		
BUFFALO BOX		
CLEANOUT		
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
DRAIN TILE		
WATER MAIN		
UTILITY CROSSING		
LIGHTING		
ELECTRICAL CABLE		
OVERHEAD WIRES		
CAUTION EXISTING UTILITIES NEARBY		MARKING
ELECTRICAL TRANSFORMER OR PEDESTAL		
POWER POLE		
POWER POLE WITH LIGHT		
STREET SIGN		
GAS MAIN		
TELEPHONE LINE		
CONTOUR	748	748
SPOT ELEVATION	x(750.00)	x 750.00
WETLANDS		
FLOODWAY		
FLOODPLAIN		
HIGH WATER LEVEL (HWL)		
NORMAL WATER LEVEL (NWL)		
DIRECTION OF SURFACE FLOW		
DITCH OR SWALE		
DIVERSION SWALE		
OVERFLOW RELIEF ROUTING		
TREE WITH TRUNK SIZE		
SOIL BORING		
TOPSOIL PROBE		
FENCE LINE, TEMPORARY SILT		
FENCE LINE, WIRE		
FENCE LINE, CHAIN LINK OR IRON		
FENCE LINE, WOOD OR PLASTIC		
CONCRETE SIDEWALK		
CURB AND GUTTER		
DEPRESSED CURB		
REVERSE PITCH CURB & GUTTER		
EASEMENT LINE		

BENCHMARKS & DATUM

REFERENCE BENCHMARK:
CONCRETE MONUMENT WITH BRASS CAP AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 SECTION 5, TOWN 8 NORTH, RANGE 22 EAST
ELEVATION = 690.99 (NVGD29)
ELEVATION = 110.39 (CITY)

SITE BENCHMARK:
NW UPPER FLANGE BOLT ON HYDRANT
ELEVATION = 112.92 (CITY)

GENERAL NOTES

1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
2. A GEOTECHNICAL REPORT HAS NOT YET BEEN PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

GOVERNMENT CONTACTS

PROJECT TEAM CONTACTS

CIVIL ENGINEER:
MARK SEIDL, P.E.
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
MAIN: (262) 754-8888
E-MAIL: mseidl@pinnacl-engr.com

SURVEYOR:
JOHN P. KONOPACKI, P.L.S.
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
MAIN: (262) 754-8888
E-MAIL: john.konopacki@pinnacle-engr.com

APPLICANT/OWNER:
JIM KLETTI, AIA
AG ARCHITECTURE
1414 UNDERWOOD AVE, SUITE 301
WAUWATOSA, WI 53213
MAIN: (414) 431-0531

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE
NTS	NOT TO SCALE		

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area: (414) 259-1181
Hearing Impaired TDD (800) 542-0886
www.diggershotline.com

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES WHEREIN BECOME A REPAIRABLE DELIVERABLE. IF ANY ERRATA, OVERSIGHTS, OR SHORTCOMINGS ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO AND SO THAT WE MAY HAVE THE OPPORTUNITY TO REPAIR THE DELIVERABLE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRATA, OVERSIGHTS, OR SHORTCOMINGS THAT ARE NOT REPORTED FROM ANY DISCREPANCIES OR THE CONSEQUENCES OF SUCH FAILURE, ACTING WITHIN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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ENGINEERING | NATURAL RESOURCES | SURVEYING

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COVER SHEET

REVISIONS

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START DATE	12/11/20
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GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 350, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE GRADING & EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.
12. SPOT ELEVATIONS REPRESENT THE GRADE ON PAVEMENT SURFACE OR FLOW LINE UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL MILWAUKEE COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
16. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATERIAL, HAVE A MAXIMUM LIQUID LIMIT (ASTM D-4318) AND A PLASTICITY INDEX (ASTM D-4318) OF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM OF THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-PROFIT SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 6 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±2 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT. SHOULD SUBSTANDARD OR UNSUITABLE MEDIUM/HEAVY EQUIPMENT BE USED THE COMPACTION EQUIPMENT SHOULD BE SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-698) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/-1" FOR LANDSCAPE AREAS AND +/-.2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, DRILLING, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEPT IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.

SPECIFICATIONS FOR PRIVATE UTILITIES

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEP TAPPING SLEEVE.
3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 18" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-35, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE. (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON, AREA DRAINS SHALL BE PER DETAIL ON PLAN OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT. LAST (3) THRILL JOINTS SHALL BE RESTRAINED WITH RODS.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 6' OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900. DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP. CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6' COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE NONRISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE MILES CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO. 10 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
12. 45° BENDS SHALL BE USED IN PLACE OF 90° BENDS WHEREVER POSSIBLE.

SPECIFICATIONS FOR PAVING

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
2. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.3 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/2-INCH DIAMETER LIMESTONE UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
3. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
4. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
5. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS. MATERIALS AND PAVEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 TYPE LT IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
6. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO THE SECTION 415 OF THE STANDARD SPECIFICATIONS. GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATION WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.
7. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
8. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPS). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPS. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:

   PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

   BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

   DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMPS PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. IF APPLICABLE, ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH DOUBLE ROW OF SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S150N EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125SN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

DEMOLITION NOTES

1. PERIMETER SILT FENCING AND CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. PLEASE REFER TO GRADING AND EROSION AND SEDIMENT CONTROL PLAN SHEETS FOR FURTHER DETAILS.
2. EXISTING FEATURES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "MISS DIG" PRIOR TO ANY DEMOLITION.
3. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
4. COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AND THE MUNICIPALITY TO PROTECT EXISTING FUNCTIONING UTILITIES. BULKHEAD/REMOVE CONNECTIONS AS NECESSARY, AND TO ENSURE ALL UTILITIES ARE INACTIVE PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO ENSURE PROTECTION OF EXISTING UTILITIES THAT ARE NOT TO BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY EXISTING UTILITIES DAMAGED AS A RESULT OF THE DEMOLITION.
5. VOIDS LEFT BY REMOVAL OF FEATURES SHALL BE MODIFIED/FILLED TO PREVENT PONDING OF WATER.
6. DEMOLISH AND DISPOSE EXISTING PIPING, CABLE/WIRES, STRUCTURES, OR OTHER SURFACE FEATURES INDICATED ON THE PLANS TO BE REMOVED.
7. CLEARING AND GRUBBING DESIGNATIONS SHALL INCLUDE CLEARING, GRUBBING, REMOVING, AND DISPOSING OF ALL VEGETATION AND DEBRIS WITHIN THE LIMITS OF CONSTRUCTION, AS DESIGNATED ON THE PLANS. CONTRACTOR SHALL REMOVE ONLY THOSE TREES ABSOLUTELY NECESSARY TO ALLOW FOR CONSTRUCTION.
8. CONTRACTOR SHALL REMOVE EXISTING FENCING IN A MANNER TO ALLOW REUSE. ANY FENCING MATERIAL TO BE REUSED IN THE CONSTRUCTION OF RELOCATED FENCE LINES SHALL BE PRESENTED TO ENGINEER FOR INSPECTION AND PROPOSED CONTRACT DEDUCT ASSOCIATED WITH REUSE OF THE SALVAGED MATERIAL. ENGINEER OR OWNER WILL PROVIDE WRITTEN ACCEPTANCE OF THE PROPOSED SALVAGED MATERIAL.
9. CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY FOR TERMINATION OF PUBLIC UTILITY CONNECTIONS TO SITE.
10. CONTRACTOR SHALL COORDINATE STOCKPILE LIMITS AND LOCATIONS WITH ENGINEER/OWNER PRIOR TO DEMOLITION.

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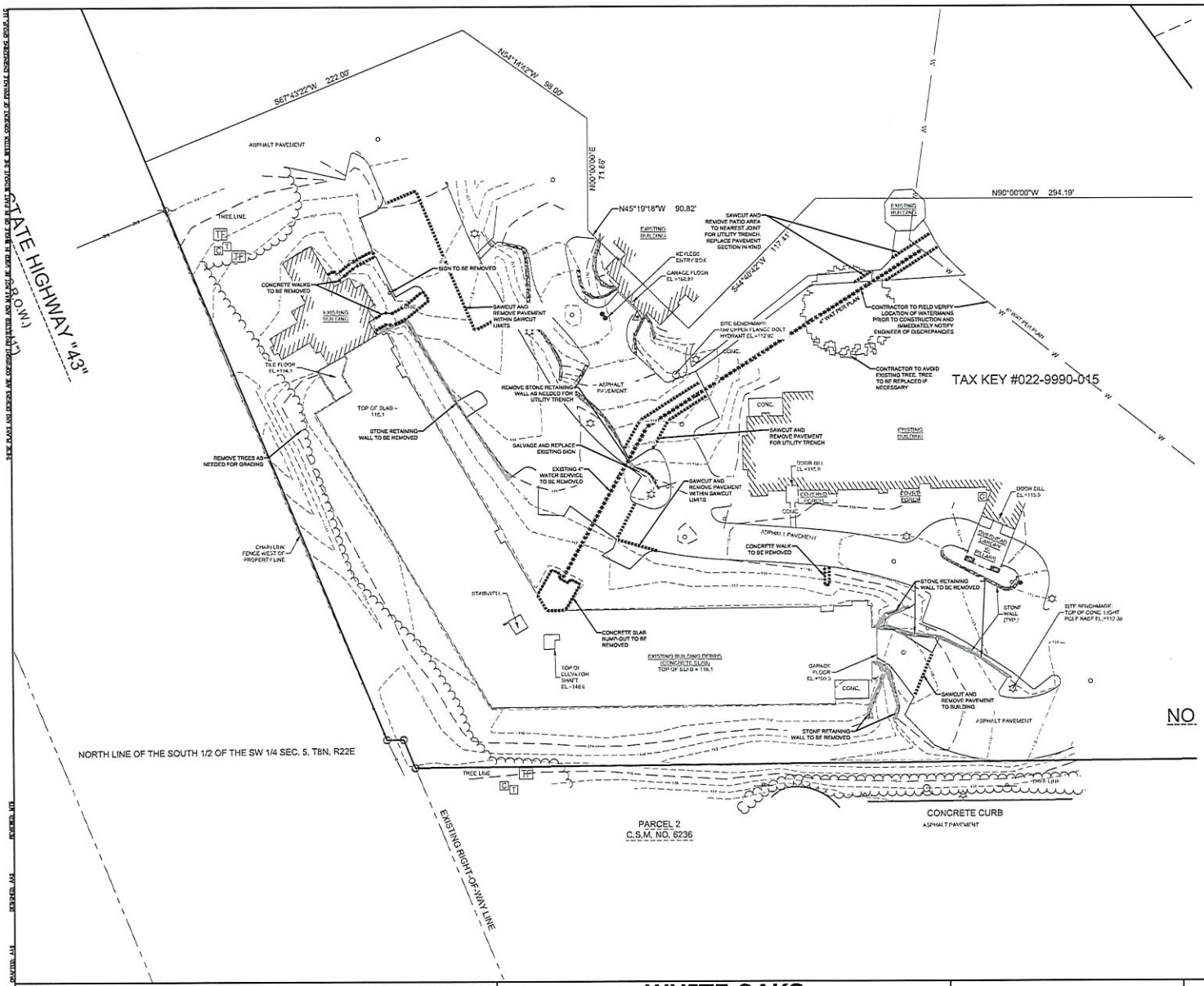

LEGEND

SANITARY MANHOLE		STORM SEWER	
STORM MANHOLE		WATER MAIN	W
CATCH BASIN		LIGHTING	
INLET		ELECTRICAL CABLE	E
PRECAST FLARED END SECTION		ELECTRICAL TRANSFORMER OR PEDESTAL	
CONCRETE HEADWALL		POWER POLE	
VALVE VAULT		POWER POLE WITH LIGHT	
VALVE BOX		GUY WIRE	
FIRE HYDRANT		STREET SIGN	
BUFFALO BOX		GAS MAIN	G
CLEANOUT		TELEPHONE LINE	T
SANITARY SEWER		CONTOUR	
FORCE MAIN		TREE WITH TRUNK SIZE	
CONCRETE SIDEWALK		EASEMENT LINE	

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTS THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION SPORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

CONTRACTOR RESPONSIBILITY:

CONTRACTOR TO PROVIDE ADEQUATE TRAFFIC CONTROL FOR THE DURATION OF CONSTRUCTION

NORTH

GRAPHICAL SCALE (FEET)

0 1" = 30' 60'

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EXISTING CONDITIONS AND DEMOLITION PLAN

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WHITE OAKS

9100 NORTH WHITE OAK LANE, BAYSIDE WI

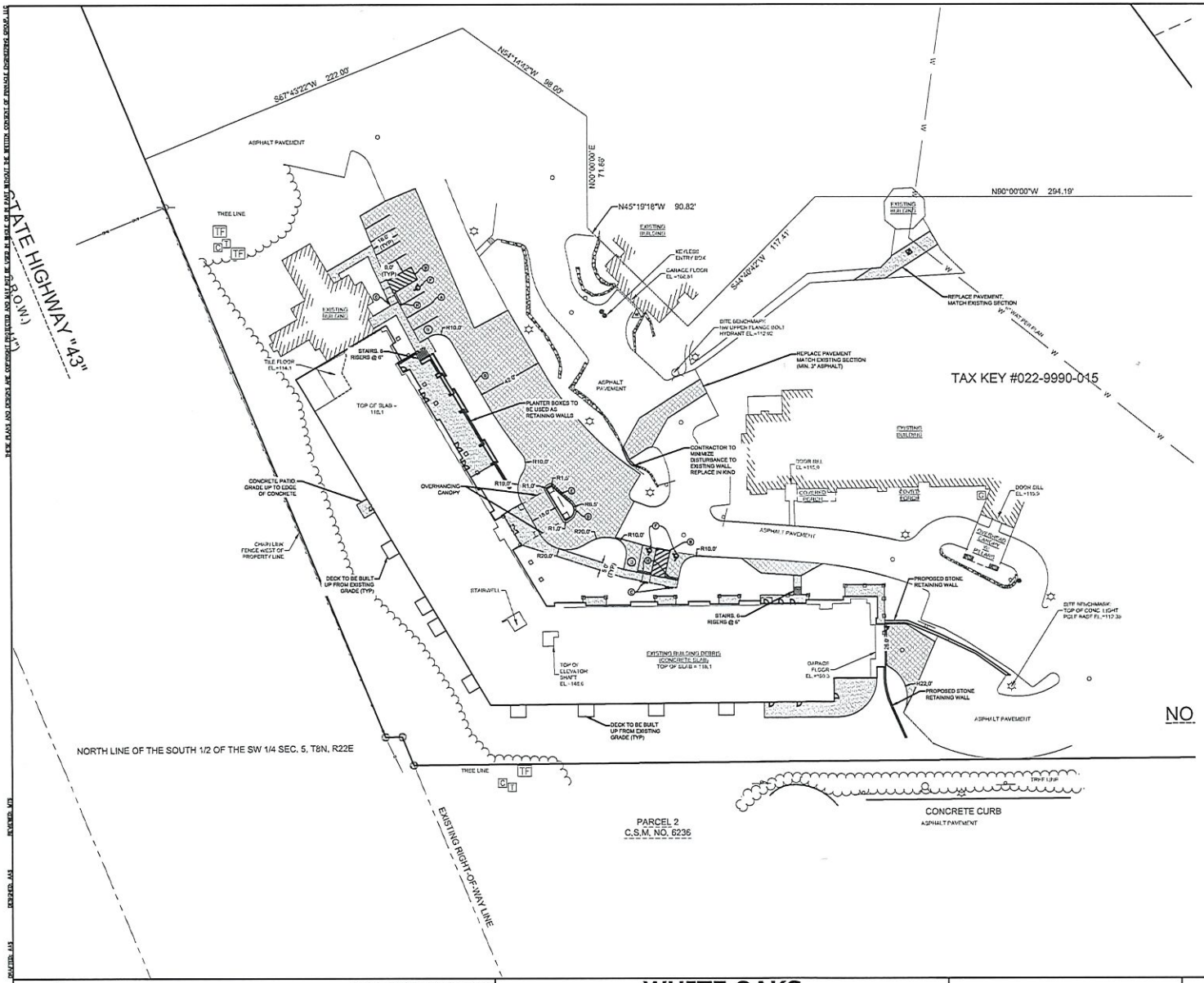
EXISTING CONDITIONS AND DEMOLITION PLAN

REVISIONS

PEG JOB NO. 2203.00-WI
PEG TP MS
START DATE 12/11/20
SCALE 1"=30'

SHEET C-3 C-7

Z:\PROJECTS\2020\2203.00-WI\CAD\SHEETS\C-2 EXISTING CONDITIONS & DEMOLITION PLAN.DWG



LEGEND

- ASPHALT PAVEMENT
  - 4" - 1.5" CRUSHED ASPHALT TB
  - 3 & 1 HMA PAVEMENT (2 LIFTS)
    - 1" BINDER COURSE = 5 LT 58-28 S
    - 2" SURFACE COURSE = 5 LT 58-28 S
- CONCRETE SIDEWALK
  - 5" CONCRETE SIDEWALK
  - 4" - 1.5" CRUSHED ASPHALT TB
- (A) 4" SOLID WHITE STRIPE
- (B) 4" DIAGONAL AT 45° SPACED 3' O.C.
- (C) ADA PARKING STALL SIGNAGE WITH BOLLARD (SEE DETAIL)
- (D) 18" CURB & GUTTER (SEE DETAIL)
- (E) 18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
- (F) ADA STALL INSIGNIA
- (G) INTEGRAL CURB AND GUTTER (SEE DETAIL)
- (H) WHEEL STOP
- (10) PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA

DISTURBANCE LIMITS:	0.91 AC
BUILDING AREA:	0.68 AC
ABOVE GROUND PARKING SPACES:	13 SPACES (3 A.D.A.)
NET NEW IMPERVIOUS AREA:	0.18 AC

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONTRACTOR RESPONSIBILITY:

CONTRACTOR TO PROVIDE ADEQUATE TRAFFIC CONTROL FOR THE DURATION OF CONSTRUCTION

NORTH

GRAPHICAL SCALE (FEET)

0 1" = 30' 60'

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SITE DIMENSIONAL AND PAVING PLAN

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CHICAGO MEMBER: INDIANAPOLIS

WHITE OAKS

9100 NORTH WHITE OAK LANE, BAYSIDE WI

SITE DIMENSIONAL AND PAVING PLAN

REVISIONS

FED JOB #	2203.00-001
FIELD BK	MTS
START DATE	12/21/2020
SCALE	1" = 30'

SHEET C-4 C-7

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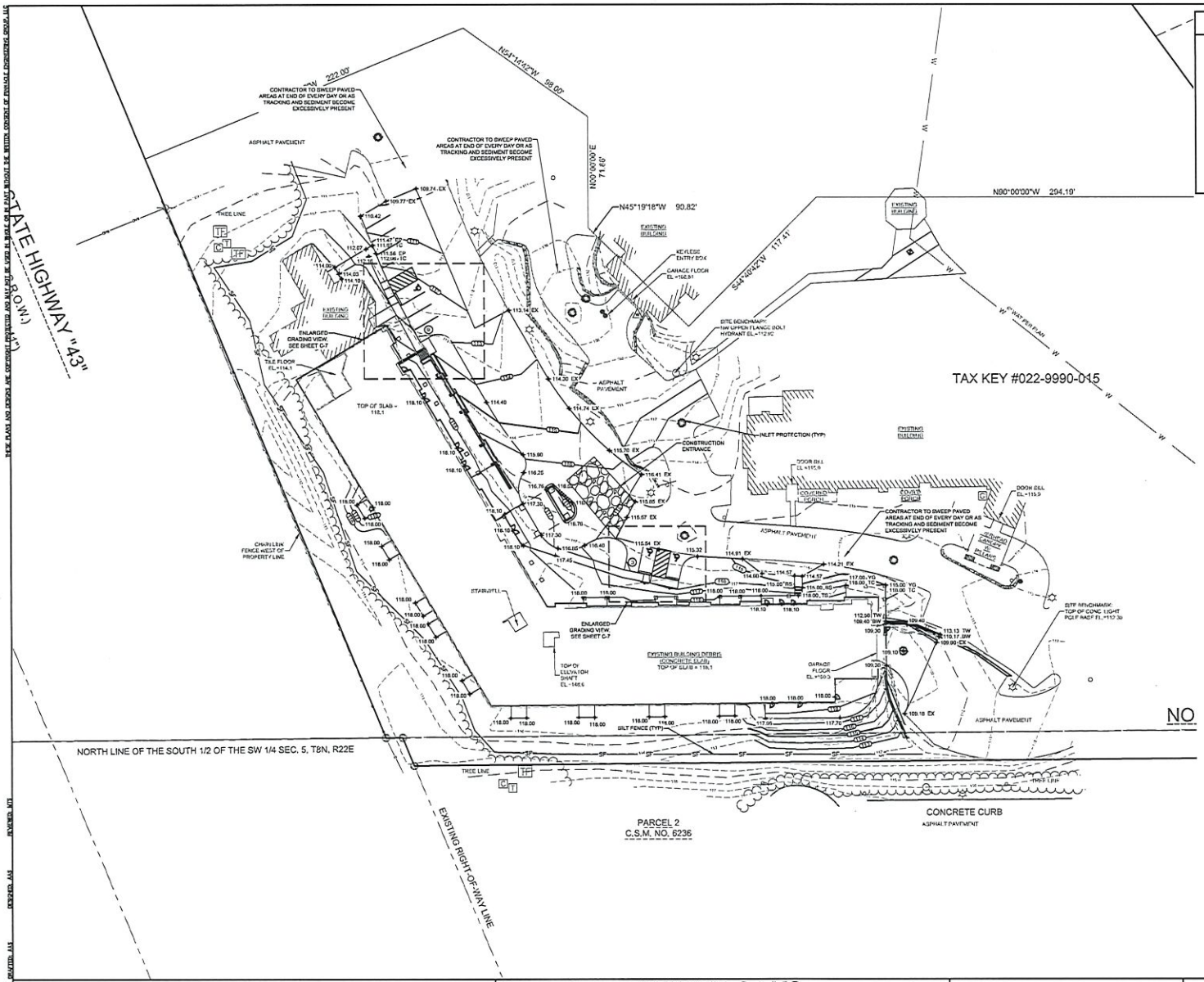

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- WETLANDS
- FLOODPLAIN
- HIGH WATER LEVEL (HWL)
- DIRECTION OF SURFACE FLOW
- NORMAL WATER LEVEL (NWL)
- DITCH OR SWALE
- DIVERSION SWALE
- SILT FENCE
- TYPE D INLET PROTECTION
- CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

CONSTRUCTION SITE SEQENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
2. DEMOLITION AND REMOVALS OF BUILDINGS, PAVEMENTS & LANDSCAPING.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE :

REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED

NORTH

GRAPHICAL SCALE (FEET)

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GRADING AND EROSION CONTROL PLAN

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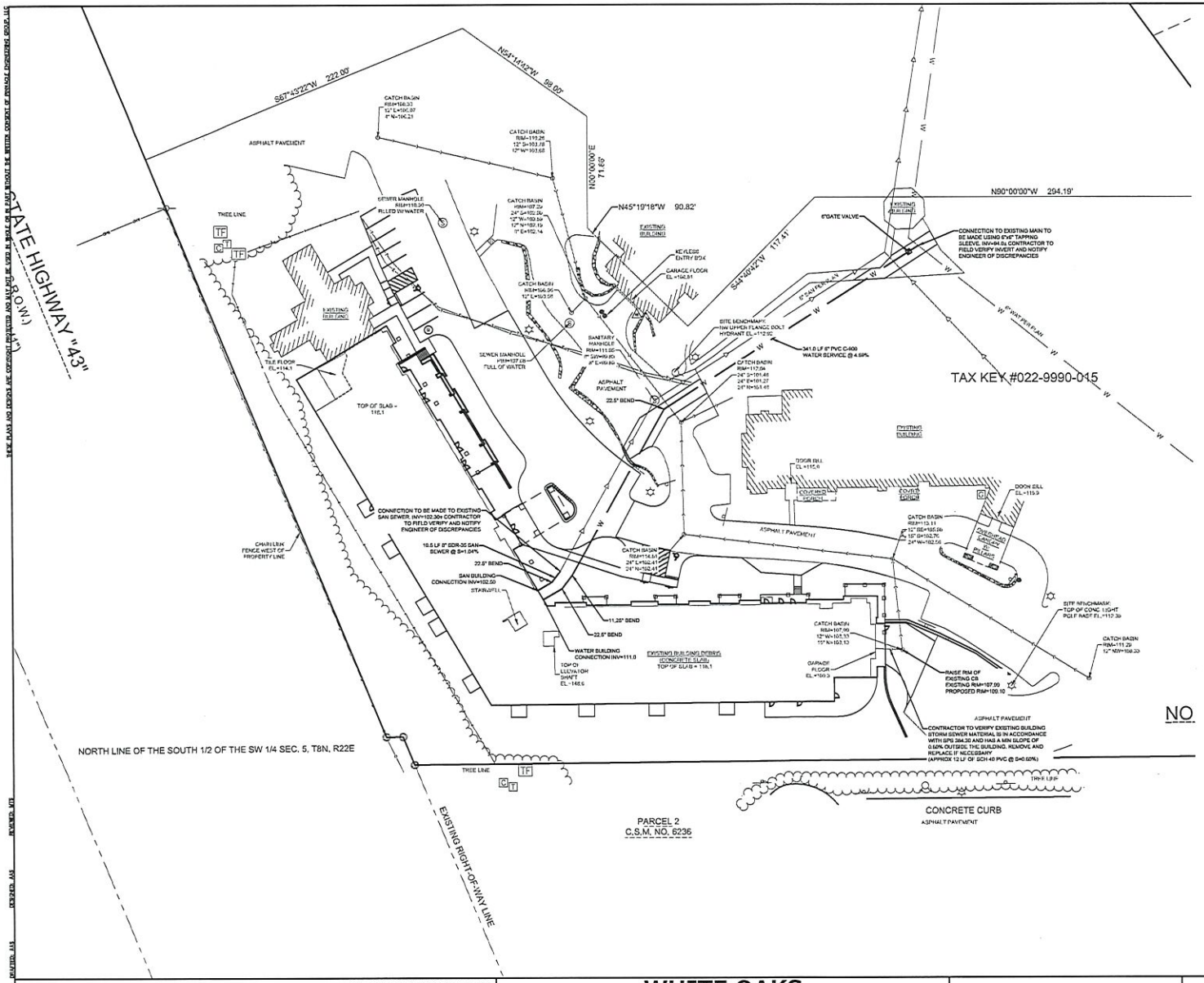
GRADING AND EROSION CONTROL PLAN

REVISIONS

FILE NO.	2203.00-101
FIELD BK.	MIS
START DATE	12/11/20
SCALE	1"=30'

SHEET C-5 C-7

Z:\PROJECTS\2020\2203.00-WH\CAD\SHEETS\C-3 GRADING & UTILITY SHEET.DWG



LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- W WATER MAIN
- FP FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN

CONSTRUCTION SITE SEQENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
2. DEMOLITION AND REMOVALS OF BUILDINGS, PAVEMENTS & LANDSCAPING.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE :

REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED

NORTH

GRAPHICAL SCALE (FEET)

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WHITE OAKS

9100 NORTH WHITE OAK LANE, BAYSIDE WI

UTILITY PLAN

REVISIONS

FILE NO. 2203.00-WI
FIELD BK.
SURVEY DATE 12/17/2020
DRAWN BY
SCALE

SHEET C-6 C-7

UTILITY PLAN

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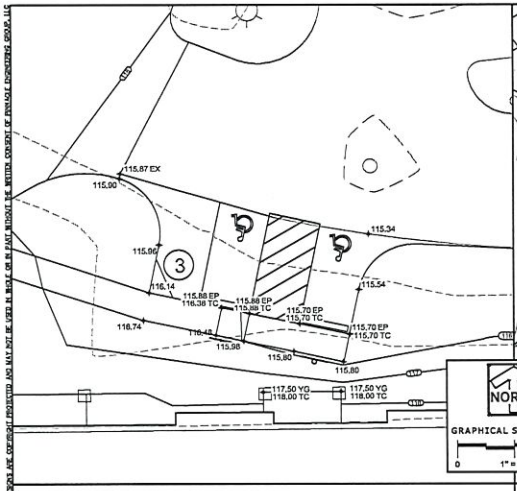
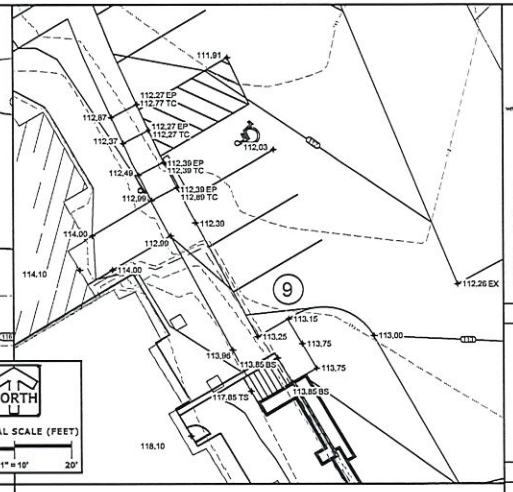
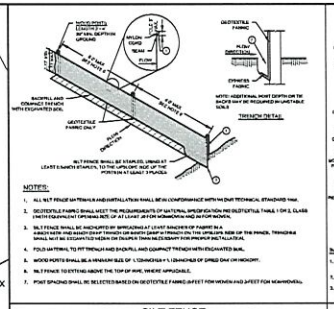


ENLARGED GRADING VIEW



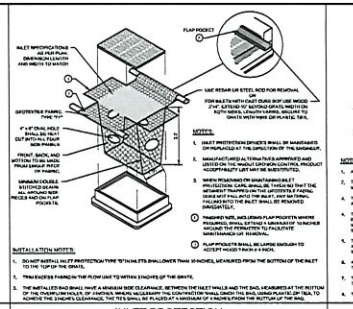
ENLARGED GRADING VIEW



NOTES:

1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1056.
2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 790 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR WOVEN FABRIC AND 50 FOR NON-WOVEN.
3. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 20 INCHES OF FABRIC IN A TRENCH WITH THE LONGER SIDE OF THE TRENCH PARALLEL TO THE DIRECTION OF FLOW. THE FABRIC SHALL BE ANCHORED IN THE TRENCH WITH EITHER STAPLES OR BACKFILL MATERIAL.
4. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125 INCHES x 1.125 INCHES OF SPRUCE OAK OR HICKORY.
6. SILT FENCE TO EXTEND ABOVE THE TOP OF WIRE, WHERE APPLICABLE.
7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC: 8 FEET FOR WOVEN AND 3 FEET FOR NONWOVEN.

SILT FENCE



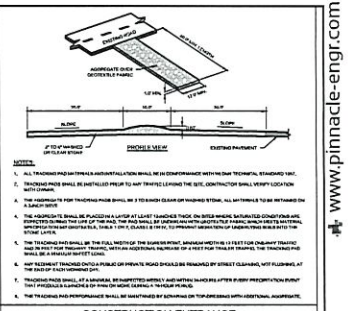
NOTES:

1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
2. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WMDU DIVISION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
3. WHEN REGARDING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN NO THAT THE SEDIMENT DEPOSITED ON THE DRAINAGE AREA SIDE OF THE DEVICE WILL NOT FALL INTO THE INLET. ANY SEDIMENT FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
4. FINISHED NOTE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OF SEDIMENT.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 INCH x 4 INCH.

INSTALLATION NOTES:

1. DO NOT INSTALL INLET PROTECTION TYPE "B" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
2. TRANSITIONS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
3. THE INSTALLED SHO SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE SHO, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHEN NECESSARY THE CONTRACTOR SHALL ORDER THE SHO, USING PLASTIC OR TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MINIMUM OF 4 INCHES FROM THE BOTTOM OF THE SHO.

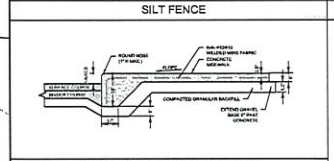
INLET PROTECTION



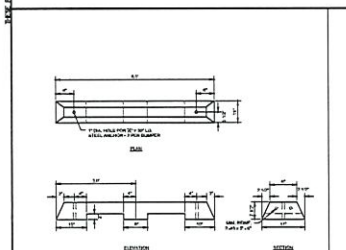
NOTES:

1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057.
2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
3. THE AGGREGATE FOR TRACKING PADS SHALL BE 2 TO 3 INCH CLEAN OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3/8 INCH MESH.
4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC, WHICH MEETS MATERIAL SPECIFICATIONS FOR SILT FENCE FILTER FABRIC. THE FABRIC SHALL BE LAID OVER THE ENTIRE AREA OF THE PAD. THE FABRIC SHALL EXTEND A MINIMUM OF 12 INCHES OVER THE FRONT OF THE PAD. THE FABRIC SHALL BE PLACED ON THE SURFACE OF THE EXISTING SOIL. THE FABRIC SHALL BE CLEAN, FREE OF STONES, SticKS, OR OTHER DEBRIS THAT WILL CAUSE THE FABRIC TO BE PUNCTURED. THE FABRIC SHALL BE REPLACED IF IT BECOMES DAMAGED. THE FABRIC SHALL BE REPLACED IF IT DOES NOT PERFORM AS INTENDED.
5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE INGRESS POINT, MINIMUM WIDTH IS 10 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES RUNOFF OF 0.5 INCH OR MORE DURING A 24 HOUR PERIOD.
8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

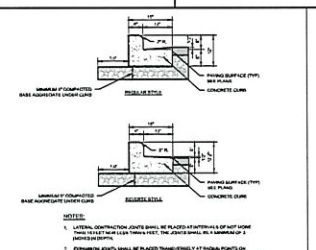
CONSTRUCTION ENTRANCE



INTEGRAL CURB AND SIDEWALK



CONCRETE WHEEL STOP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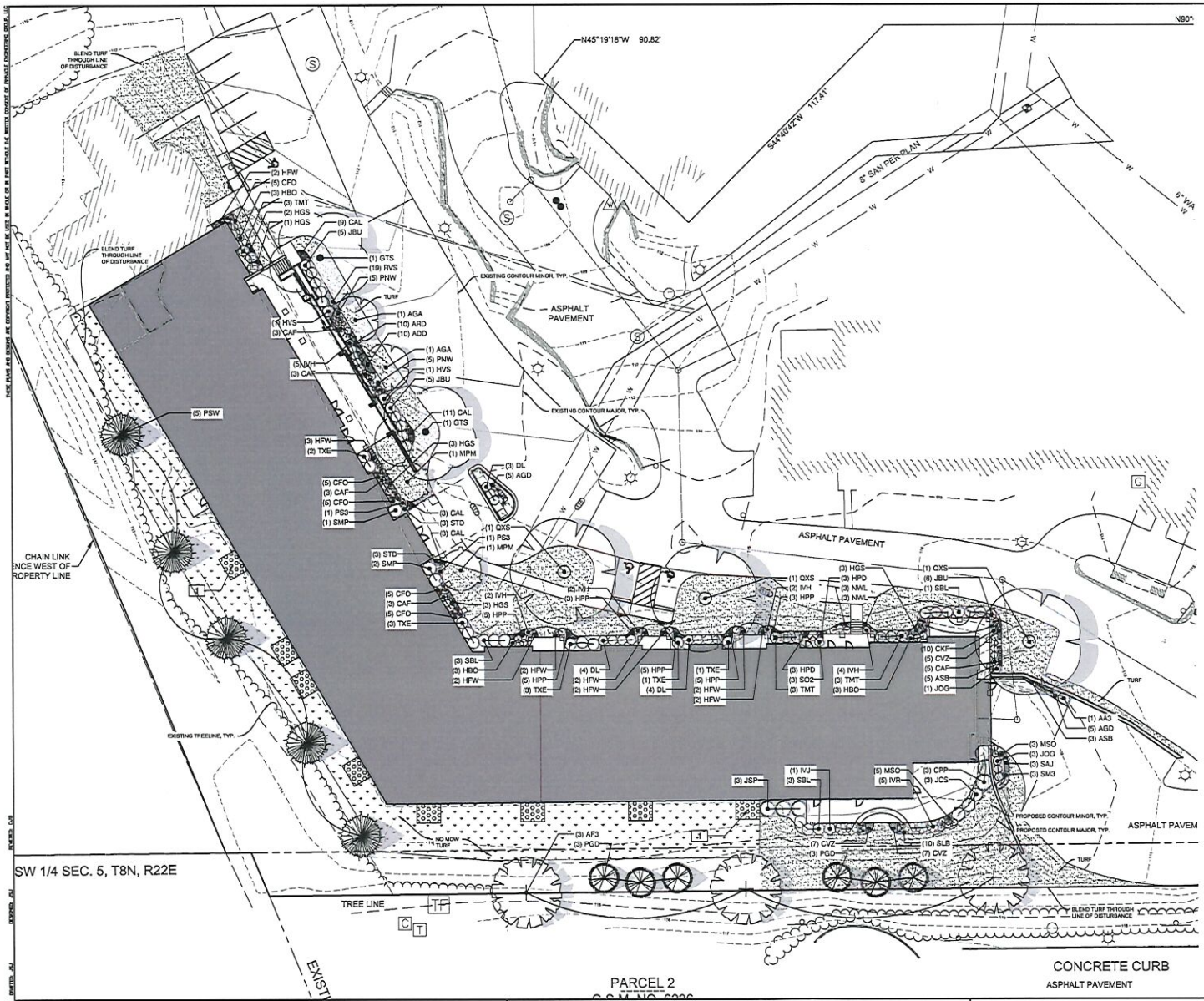

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
AF3	Acer freemanii "Autumn Fantasy" / Autumn Fantasy Maple	2" Cal.	3
AGA	Amelanchier x grandiflora "Autumn Brilliance" / Autumn Brilliance Serviceberry	1.5" Cal.	2
GTS	Gleditsia triacanthos inermis "Shademaster" / Shademaster Locust	2" Cal.	2
MPM	Malus x "Prairie Maid" / Prairie Maid Crabapple	1.5" Cal.	2
QXS	Quercus x schuettii / Swamp Bur Oak	2" Cal.	3

EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	QTY
PGD	Picea glauca "Densata" / Black Hills Spruce	5' Ht.	6
PSW	Pinus strobus / White Pine	5' Ht.	5

SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
AA3	Aronia arbutifolia "Brilliantissima" / Brilliant Red Chokeberry	18" Ht.	1
CPP	Cephalanthus occidentalis "Ping Pong" / Ping Pong Buttonbush	15" Ht.	3
CAF	Cornus stolonifera "Arctic Fire" / Arctic Fire Dogwood	18" Ht.	17
DL	Diervilla lonicera / Dwarf Bush Honeysuckle	18" Ht.	11
HVS	Hydrangea p "Vanilla Strawberry" / Vanilla Strawberry Hydrangea	18" Ht.	2
HBO	Hydrangea paniculata "Bobo" / Bobo Hydrangea	18" Ht.	9
IVJ	Ilex verticillata "Jim Dandy" / Jim Dandy Winterberry	18" Ht.	1
IVR	Ilex verticillata "Red Sprite" / Red Sprite Winterberry	18" Ht.	5
IVH	Ilex virginica "Little Henry" / Little Henry Sweetspire	18" Ht.	15
SBL	Sambucus nigra "Black Lace" / Black Lace Elderberry	18" Ht.	7
SO2	Sambucus racemosa "SMNSRD4" / Lemony Lace Elderberry	15" Ht.	3
SM3	Spiraea japonica "Magic Carpet" / Magic Carpet Spirea	15" Ht.	3
SMP	Syringa meyeri "Palibin" / Dwarf Korean Lilac	15" Ht.	3
TMT	Taxus x media "Tauntonii" / Tauton Yew	18" Ht.	9

EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
JSP	Juniperus chinensis "J.N. Select Blue" / Star Power Juniper	4" Ht.	3
JOG	Juniperus chinensis "Old Gold" / Old Gold Juniper	18" Ht.	4
JCS	Juniperus chinensis "Sea Green" / Sea Green Juniper	18" Ht.	3
JBU	Juniperus sabina "Buffalo" / Buffalo Juniper	18" W	16
PS3	Pinus mugo "Slowmound" / Slowmound Mugo Pine	12" Ht.	2
TXE	Taxus x media "Everlow" / Everlow Yew	18" W	10

ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY
AGD	Andropogon gerardii "Dancing Wind" / Dancing Wind Big Blue Stem	1 gal.	10
CKF	Calamagrostis x a "Karl Foerster" / Karl Foerster Reed Grass	1 gal.	10
CFO	Calamagrostis x a "Overdam" / Overdam Reed Grass	1 gal.	25
MSO	Miscanthus sinensis "Oktoberfest" / Oktoberfest Miscanthus	1 gal.	8
PNW	Panicum virgatum "Northwind" / Northwind Switch Grass	1 gal.	10
SLB	Schizachyrium scoparium "Blue Heaven" / Blue Heaven Little Bluestem Grass	1 gal.	10
STD	Sporobolus heterolepis "Tara" / Prairie Dropseed	1 gal.	6

PERENNIALS	BOTANICAL / COMMON NAME	SIZE	QTY
ASB	Allium x "Summer Beauty" / Summer Beauty Allium	4.5" Cont.	8
ADD	Astilbe x "Deutschland" / Deuschland False Spiraea	4.5" Cont.	10
ARD	Astilbe x "Rhineland" / Rhineland Astilbe	4.5" Cont.	10
CAL	Calamintha nepeta / Calamint	4.5" cont.	26
CVZ	Coreopsis verticillata "Zagreb" / Zagreb Coreopsis	4.5" cont.	19
HPD	Hemerocallis x "Purple D'oro" / Purple D'oro Daylily	4.5" Cont.	6
HPP	Heuchera m "Palace Purple" / Palace Purple Coral Bells	4.5" Cont.	26
HFW	Hosta x "Frances Williams" / Frances Williams Hosta	4.5" cont.	17
HGS	Hosta x "Gold Standard" / Gold Standard Hosta	4.5" cont.	12
NWL	Nepeta x "Walker's Low" / Walker's Low Catmint	4.5" Cont.	6
RVS	Rudbeckia f "Viette's Little Suzy" / Viette's Little Suzy Showy Coneflower	4.5" Cont.	19
SAJ	Sedum "Autumn Joy" / Autumn Joy Sedum	4.5" Cont.	3

GROUND COVERS	BOTANICAL / COMMON NAME	QTY
	Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix	10,926 sf
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix	10,873 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	STONE MULCH- # 1 CLEAR STONE	630 sf	7/L-2

NORTH

GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

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LANDSCAPE PLAN

REVISIONS

PEG JOB NO. 2203.00-WI
PEG PM JHS
START DATE 12/11/20
SCALE 1" = 20'

SHEET
L-1
L-2

LANDSCAPE PLAN

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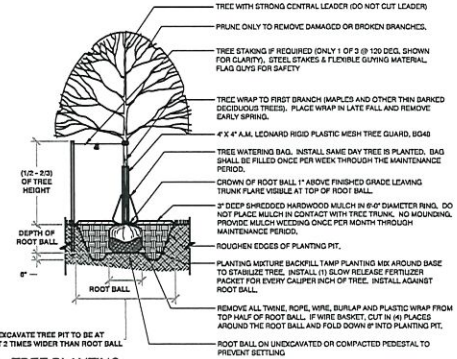
GENERAL PLANTING NOTES

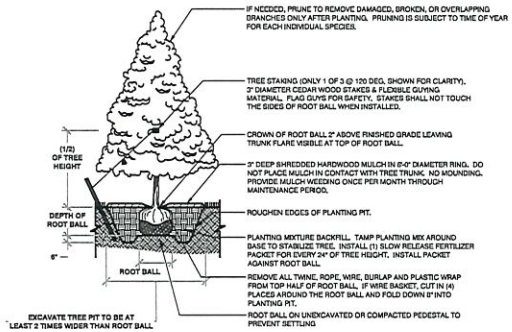
1. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3. NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
5. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
6. ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
7. TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
8. ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
9. BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
10. ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
11. ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
12. TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
14. ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
15. WHILE PLANTING TREES AND SHRUBS, BACKFILL ⅔ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
16. THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
17. OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
18. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
19. ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
20. AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP #1 CLEAR STONE MULCH. REFER TO DETAILS (7/ L-4). CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND MULCH SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".
21. ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
22. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
23. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
24. ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
25. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
26. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
27. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
28. TREES SHALL BE INSTALLED NO CLOSER THAN:
    - 10 FEET FROM ANY FIRE HYDRANT
    - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
29. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
30. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
31. THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
32. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
33. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
34. THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

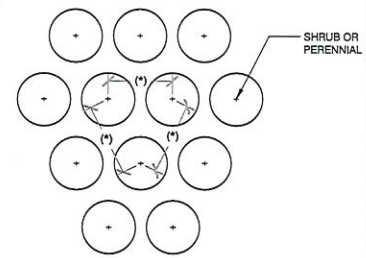
1. LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
2. THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
3. TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
6. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
8. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
9. RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



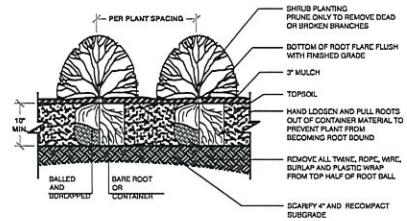
1 TREE PLANTING
1/4" = 1'-0" 329043-01



2 EVERGREEN TREE PLANTING
1/4" = 1'-0"

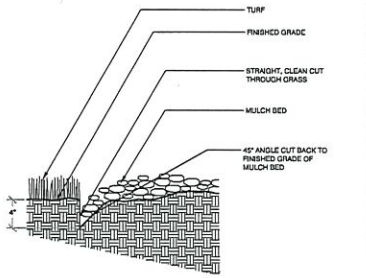


5 PLANT SPACING
3/4" = 1'-0" 3293-02

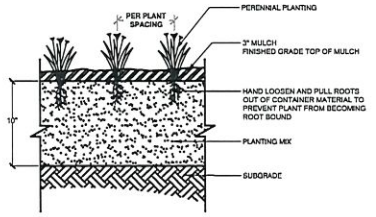


BAREROOT PLANTING NOTES:
1. SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
2. SCARIFY SIDES AND BOTTOMS OF HOLE.
3. PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
4. TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACKFILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

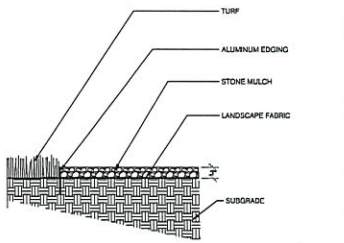
3 SHRUB PLANTING
1/2" = 1'-0" 329033-02



6 TRENCHED BED EDGE
3/4" = 1'-0" 3293-03



4 PERENNIAL PLANTING
1" = 1'-0" 3293-01



7 STONE MULCH UNDER BALCONY
3/4" = 1'-0" 329413-04

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LANDSCAPE GENERAL NOTES & DETAILS

REVISIONS

PDD SUBMITTAL	02/17/22
PDD SUBMITTAL	01/31/22
PDD SUBMITTAL	12/20/21

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