



Village of Bayside  
Plan Commission Meeting  
March 10, 2021  
Remote Teleconferencing, 6:00 pm

**PLAN COMMISSION  
AGENDA**

**PLEASE TAKE NOTICE:** Due to the COVID-19 Pandemic, the Plan Commission will be meeting via remote teleconferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

**I. CALL TO ORDER AND ROLL CALL**

**II. PUBLIC HEARING**

A. The purpose of this hearing is to consider the request by White Oaks Apartments, LLC, for the property located at 9009 N White Oak Lane, to build a 56-unit, 3-story apartment building.

1. Public Discussion
2. Commission Discussion

**III. APPROVAL OF MINUTES**

A. Plan Commission meeting minutes, February 17, 2021.

**IV. BUSINESS**

A. Discussion/Recommendation on proposed Seventh Amendment to 1978 Development Agreement between the Village and Bayside Woods Company Partnership regarding White Oaks Apartment, to construct a replacement apartment building at 9009 N White Oak Lane.

**V. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE COMMISSION**

**VI. ADJOURNMENT**

Lynn Galyardt  
Administrative Services Director  
February 12, 2021

The Plan Commission will utilize Zoom videoconferencing software for this meeting. To join the Zoom meeting using a computer or tablet, visit

<https://us02web.zoom.us/j/86845759389?pwd=SXdpR213TE5kYXliWFIEbXEvdDJpUT09>

Meeting ID: 868 4575 9389; Password: 177978; Phone: 312-626-6799

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above-stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website ([www.bayside-wi.gov](http://www.bayside-wi.gov))



**I. CALL TO ORDER AND ROLL CALL**

Chairperson Walny called the meeting to order at 6:00pm via remote teleconferencing.

**ROLL CALL**

**Chairperson:** Eido Walny  
**Commissioners:** Mike Barth  
Ari Friedman  
Edward Harris  
Jeff Jubelirer  
John Krampf  
Marisa Roberts

Also present: Village Manager Andrew Pederson  
Administrative Services Director Lynn Galyardt  
Deputy Clerk Cassie Schmidt  
Village Attorney Chris Jaekels  
Village Trustee Margaret Zitzer  
Village Trustee Darren Fisher  
There were four people in the audience.

**II. APPROVAL OF MINUTES**

**A. Plan Commission meeting minutes, October 21, 2020.**

Commissioner Harris stated a correction to the minutes needed to be made on page two.

Trustee Barth seconded the motion.

Motion by Commissioner Harris, seconded by Commissioner Barth, to approve the corrected Plan Commission meeting minutes, October 21, 2020. Motion carried unanimously.

**III. BUSINESS**

**A. Introduction/Presentation on the request to construct a replacement apartment building at 9009 N White Oak Lane.**

Project Architects Jim Klett and Eric Harmann appeared on behalf of the project. Project Manager, John Mann, and property owner, Dan Katz, were present. There were no neighbors in attendance.

Manager Pederson stated the building under consideration had a fire in 2019, and this proposal is to rebuild the structure. The new apartment building will be located on the southwest corner of the property, adjacent to the highway.

Project Manager, John Mann, stated that the new building will utilize the existing foundation of the previous structure. The new building will include the Katz Property offices. It will have 56 apartment units, while the old building had 62 units. The proposed building height is 45 feet, which is 9 feet higher than the previous building. Mr. Mann stated that over the last 35 years, the apartment market has changed, and the proposed building has been designed for that market. The changes include larger bedrooms, additional building amenities, and increased ceiling heights. The

increased ceiling heights, and the structural framing system is the reason the building has increased in height.

Mr. Harmann presented the site plan for the proposal. The traffic pattern will stay the same, utilizing the existing foundation and the existing underground parking. The new apartment building will aesthetically match the other apartment buildings but will be modernized. The building will be 3 stories tall and will have 56 apartment units.

Village Attorney, Chris Jaekels, stated that this will be the Seventh Amendment to the 1978 Development Agreement between the Village and Bayside Woods Company Partnership regarding White Oaks Apartments.

Manager Pederson outlined the meeting schedule and process for project consideration. The project will appear before the Architectural Review Committee on March 1, 2021 and the Board of Zoning Appeals on March 3, 2021. Then, the project will be reviewed by the Plan Commission on March 10, 2021. The last meeting will be the Village Board meeting on March 18, 2021.

**IV. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE COMMISSION**

None.

**V. ADJOURNMENT**

Motion by Commissioner Harris, seconded by Commissioner Barth, to adjourn the meeting at 6:31pm. Motion carried unanimously.

Respectfully submitted,

Cassie Schmidt  
Deputy Clerk

STATE OF WISCONSIN - VILLAGE OF BAYSIDE - MILWAUKEE & OZAUKEE COUNTIES

**NOTICE OF PUBLIC HEARING**

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The purpose of this hearing is to consider the request by White Oaks Apartments, LLC, for the property located at 9009 N White Oak Lane, to build a 56-unit, 3-story apartment building.

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**PLEASE TAKE NOTICE** that a public hearing will be held before the Plan Commission of the Village of Bayside on March 10, 2021 at 6:00 pm via remote teleconferencing (see agenda for details). The purpose of the public hearing is to consider:

The purpose of this hearing is to consider the request by White Oaks Apartments, LLC, for the property located at 9009 N White Oak Lane, to build a 56-unit, 3-story apartment building.

**PLEASE TAKE FURTHER NOTICE** that at such time and place, all interested parties will be heard via remote teleconferencing on this matter.

**DATED** this eighth day of February, 2021.

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Lynn Galyardt  
Administrative Services Director

January 22, 2021

TO: Andy Pederson  
Village Manager  
Village of Bayside

FROM: John Mann  
Owner's Representative for Katz Properties

RE: White Oaks Apartment Replacement  
9009 N. White Oaks Lane  
Bayside, WI

### Executive Summary

The White Oaks Apartment Complex was originally built in 1986. It consisted of 4 similar buildings on one parcel.

In March of 2019, 9009 had a major fire. Everything was lost except the basement garage and the pool building that was attached to the north. The existing building was as follows:

- 62 units
- Total area - 111,294 s.f.
- Footprint – 29,426 s.f.
- Building height – 36 feet
- Apartment ceiling heights 8 feet
- The building was NOT sprinkled except the basement.

The proposed building is as follows:

- 56 units
- Total area – 116,575
- Corporate offices for Katz Properties
- Common areas such as club room and yoga studio
- Footprint – 32,134 s.f.
- Building height – 45 feet
- Apartment ceiling heights – 9 and 10 feet.
- The building will be fully sprinkled.

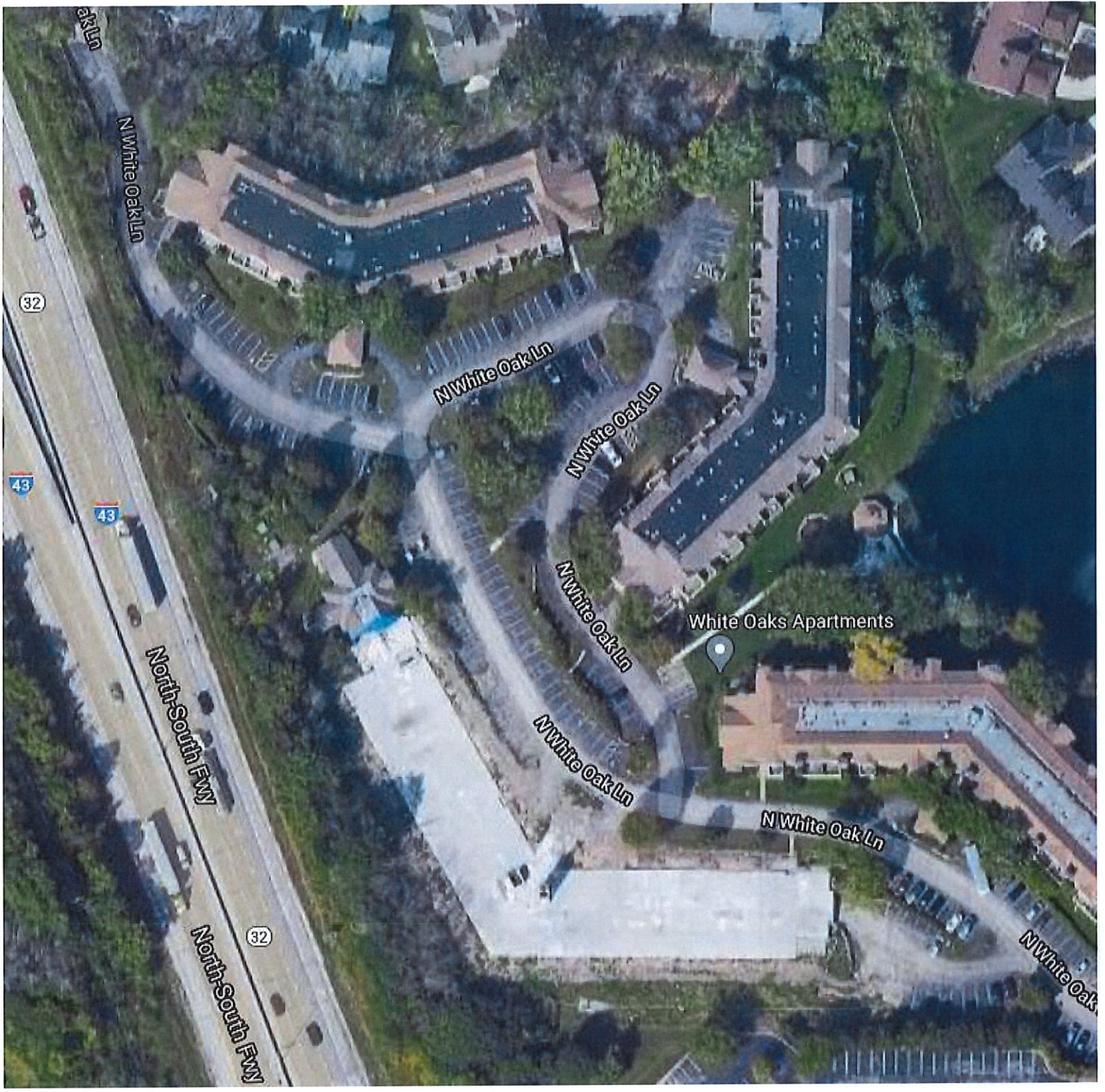
The proposed new building will be constructed on top of the existing parking structure on basically the same footprint. Over the last 35 years the apartment market has changed and the proposed building has been designed for that market. The changes include larger bedrooms, additional building amenities and increased ceiling heights. The increased ceiling heights and the structural framing system is the reason the building has increased in height.

As you will see from the drawings and renderings the proposed building will have the same type of roof system as the existing buildings. There is a recessed roof that hides all of the mechanical systems and minimizes the height of the roof.

The exterior materials are all in keeping with the Bayside community and although not an identical match to the existing three buildings, we believe it is complementary in design and will be a great new asset for the White Oaks Complex and the Village of Bayside.

### Corporate Offices for Katz Properties

- There are a total of six employees. 4 are there full time, 1 is there in the morning, and Mr. Katz spends time between Bayside and Florida and is there part time.
- Hours are 8-5 Monday - Friday.
- Deliveries are minimal.
- Parking is provided in the basement of the building for the 6 employees.
- They have almost no visitors.
- 4,056 sq. feet



N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

White Oaks Apartments

32

43

43

North-South Fwy

North-South Fwy

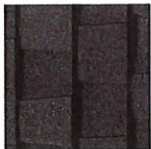
32



Current



LANDMARK ROOFING SHINGLES  
CERTAINTED | WEATHERED WOOD



HARDIESHINGLE SIDING  
STRAIGHT EDGE PANEL | AGED PEWTER



HARDIEPANK LAB SIDING  
SELECT CEDARMILL | COBBLESTONE



HARDIEPANK LAB SIDING  
SELECT CEDARMILL | KHAKI BROWN



HARDIERIM BOARDS  
5/4 SMOOTH | COBBLESTONE



FASCIA, GUTTERS, DOWNSPOUTS &  
WINDOW FINISH | BRONZE



STONECAST | SANDSTONE

ACME BRICK | BROOKSTONE





BR









# White Oaks Apartments

Bayside, Wisconsin

OWNER  
**White Oaks Apartments LLC**  
*9100 N White Oaks Ln*  
*Bayside, WI, 53217*

- SHEET INDEX**
- |  |  |
|--|--|
| <p><b>CAVIL</b></p> <ul style="list-style-type: none"> <li>C-1 COVER SHEET</li> <li>C-2 GENERAL NOTES</li> <li>C-3 EXISTING CONDITIONS AND DEMOLITION</li> <li>C-4 EXISTING UTILITIES</li> <li>C-5 GRADING AND EROSION CONTROL PLAN</li> <li>C-6 UTILITY PLAN</li> <li>C-7 CONSTRUCTION DETAILS</li> </ul> <p><b>LANDSCAPE</b></p> <ul style="list-style-type: none"> <li>L-1 LANDSCAPE PLAN</li> <li>L-2 LANDSCAPE GENERAL NOTES</li> </ul> | <p><b>ARCHITECTURAL</b></p> <ul style="list-style-type: none"> <li>PARKING LEVEL PLAN</li> <li>FIRST FLOOR PLAN</li> <li>SECOND FLOOR PLAN</li> <li>THIRD FLOOR PLAN</li> <li>EXTERIOR ELEVATIONS</li> <li>BUILDING SECTION</li> </ul> |
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## VILLAGE SUBMITTAL

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED.

IT DOES NOT ASSURE ALL UTILITIES, MATERIALS, CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE ALL OTHER REQUIREMENTS FOR THE FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY. PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 201501  
 DATE: 18 JAN 21

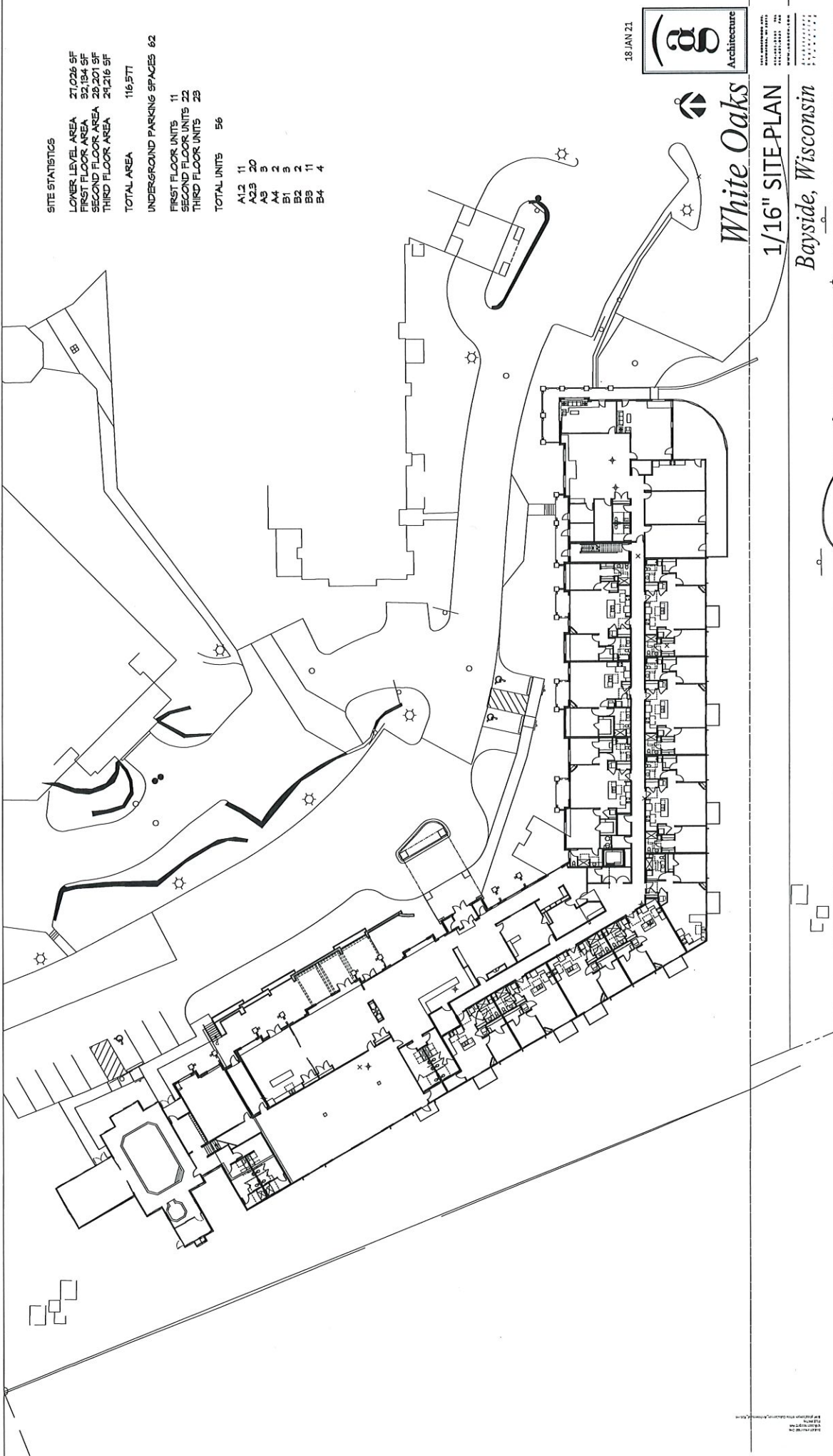


RENDERING IS REPRESENTATIVE ONLY..... SEE DOCUMENTS FOR SPECIFIC DETAILS

**Architecture**  
*A Sense of*  
**Community**

144 UNDERWOOD AVE. WAUWATOSA, WI 53193 414-493-3131 TEL 414-493-3131 FAX WWW.AGARCH.COM





**SITE STATISTICS**

LOWER LEVEL AREA 27,026 SF  
 FIRST FLOOR AREA 32,194 SF  
 SECOND FLOOR AREA 29,201 SF  
 THIRD FLOOR AREA 24,216 SF  
 TOTAL AREA 116,571

**UNDERGROUND PARKING SPACES 62**

FIRST FLOOR UNITS 11  
 SECOND FLOOR UNITS 22  
 THIRD FLOOR UNITS 23

**TOTAL UNITS 56**

A1,2 11  
 A2,3 20  
 A3 5  
 A4 2  
 B1 5  
 B2 2  
 B3 11  
 B4 4

18 JAN 21



*White Oaks*

**1/16" SITE PLAN**

*Bayside, Wisconsin*



**SITE STATISTICS**

LOWER LEVEL AREA 27,026 SF  
 FIRST FLOOR AREA 32,134 SF  
 SECOND FLOOR AREA 28,201 SF  
 THIRD FLOOR AREA 24,216 SF

TOTAL AREA 116,577

UNDERGROUND PARKING SPACES 62

FIRST FLOOR UNITS 11

SECOND FLOOR UNITS 22

THIRD FLOOR UNITS 23

TOTAL UNITS 56

- A12 11
- A23 20
- A3 5
- A4 2
- B1 5
- B2 1
- B3 1
- B4 4

18 JAN 21



*White Oaks*  
 1/16" FIRST FLOOR PLAN  
 Bayside, Wisconsin

1000 W. WISCONSIN ST. SUITE 200  
 MILWAUKEE, WI 53233  
 TEL: 414.224.1111 FAX: 414.224.1112  
 WWW.GSARCHITECTURE.COM

DATE: 1/18/21  
 DRAWN BY: [unreadable]  
 CHECKED BY: [unreadable]  
 PROJECT NO: [unreadable]

18 JAN 21



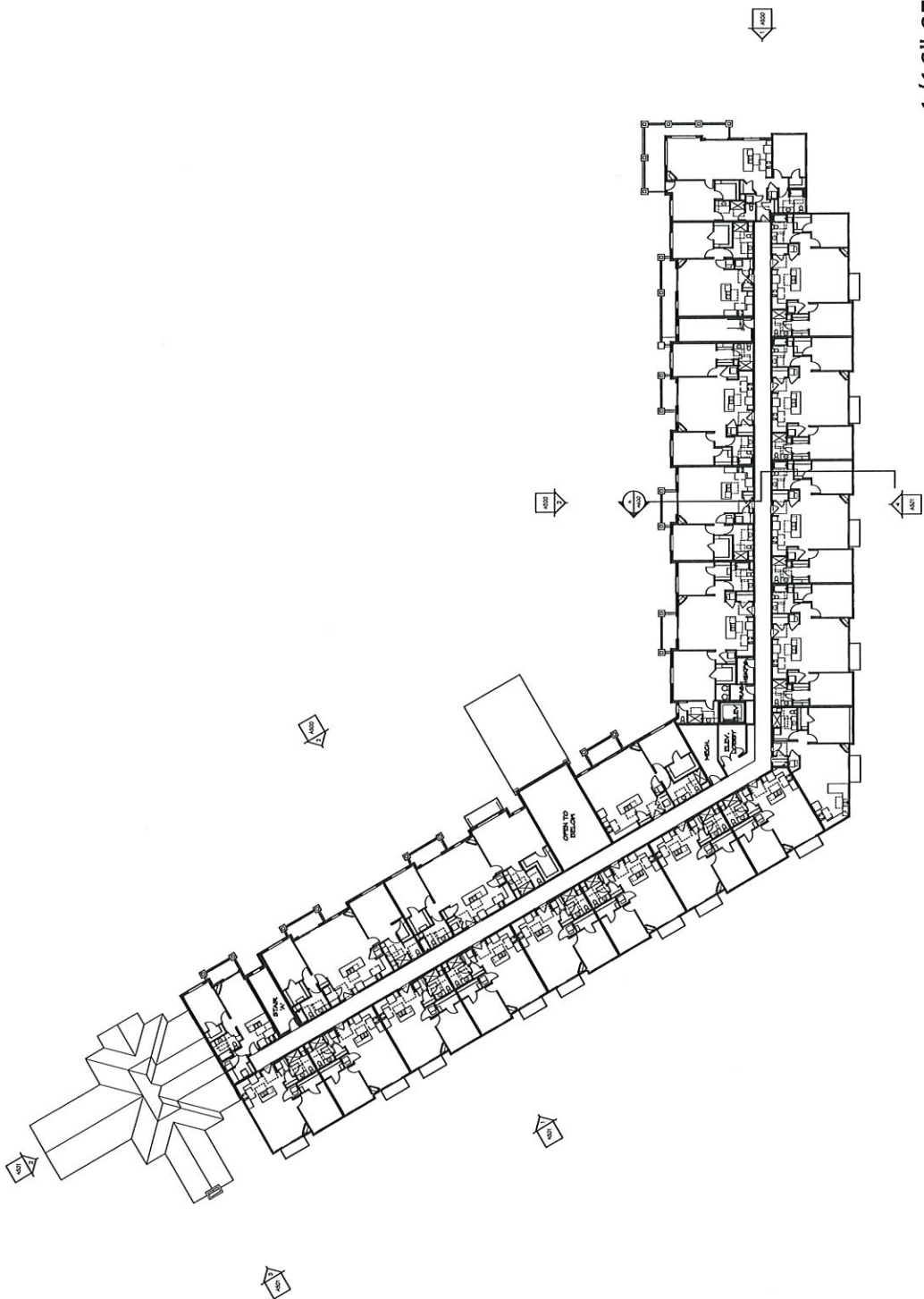
Architecture

1111 W. WISCONSIN ST. SUITE 200  
MILWAUKEE, WI 53233  
TEL: 414.224.1111 FAX: 414.224.1112  
WWW.CBARCHITECTURE.COM

# White Oaks

## 1/16" SECOND FLOOR PLAN

Bayside, Wisconsin



18 JAN 21

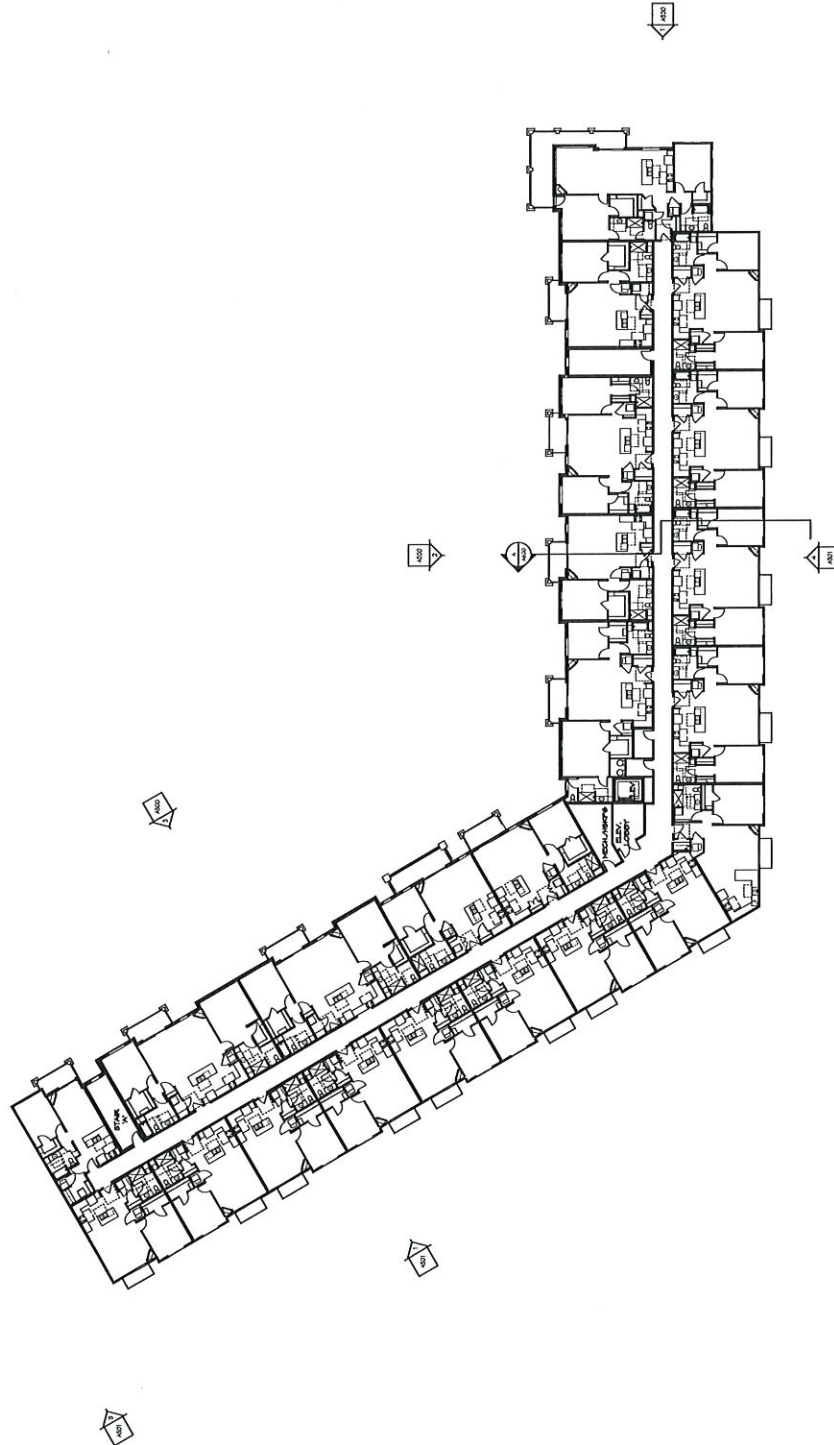


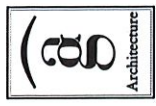
1000 UNIVERSITY AVENUE  
WISCONSIN, WI 53233  
TEL: 414.224.1234  
WWW.ASARCHITECTURE.COM

# White Oaks

## 1/16" THIRD FLOOR PLAN

Bayside, Wisconsin





1111 WASHINGTON AVE.  
MILWAUKEE, WI 53233  
TEL: 414.224.1111  
WWW.AAARCHITECTURE.COM

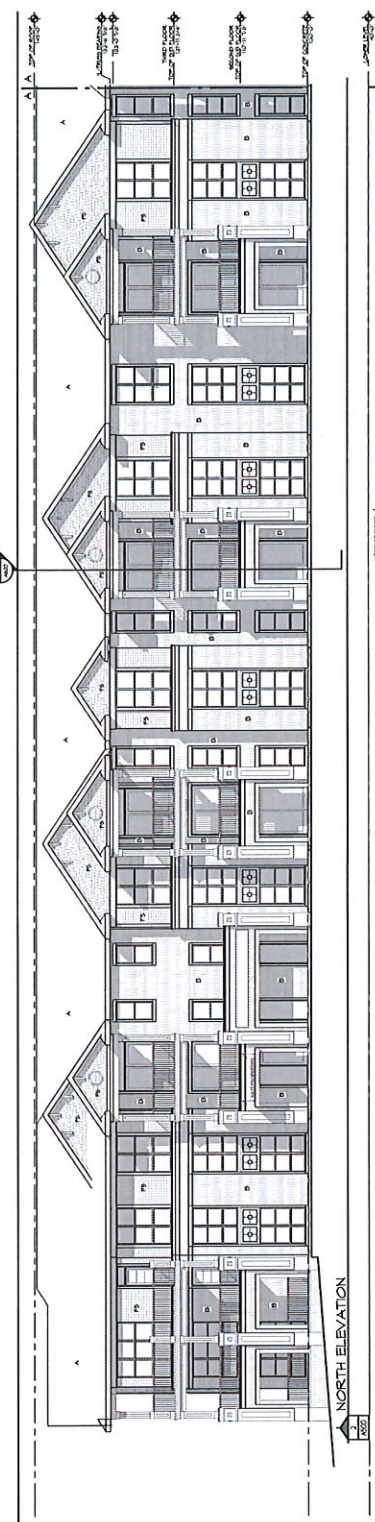
**SCHEMATIC DESIGN  
NOT FOR  
CONSTRUCTION**

DATE: 02/24/17  
PROJECT: 15111  
SHEET NO. 101

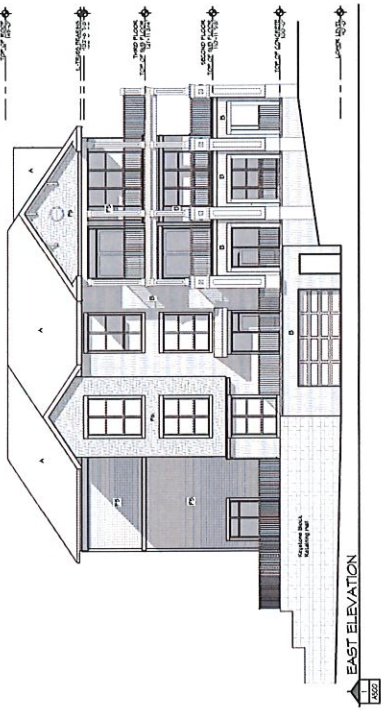
1/8" EXTERIOR ELEVATIONS A500



EAST ELEVATION  
1007



NORTH ELEVATION  
1007



EAST ELEVATION  
1007

EXTERIOR ELEVATION GENERAL NOTES

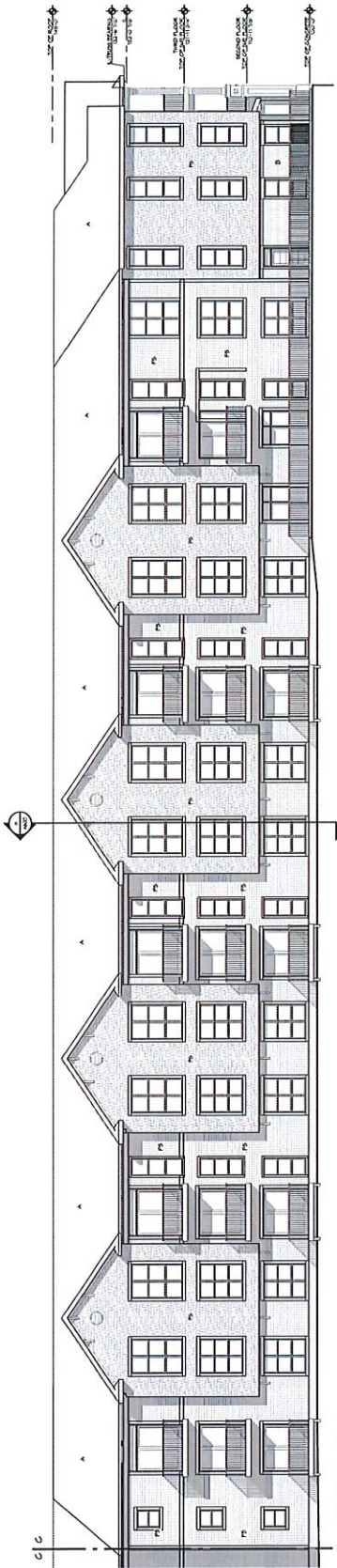
- 1. FINISHES SHOWN ARE TO BE USED UNLESS OTHERWISE NOTED.
  - 2. FINISHES TO BE USED TO MATCH ADJACENT AREAS.
  - 3. FINISHES TO BE USED TO MATCH ADJACENT AREAS.
  - 4. SEE SHEET 101 FOR FINISHES AND MATERIALS SCHEDULES.
- EXTERIOR ELEVATION NOTES
- 1. FINISHES TO BE USED UNLESS OTHERWISE NOTED.
  - 2. FINISHES TO BE USED TO MATCH ADJACENT AREAS.
  - 3. FINISHES TO BE USED TO MATCH ADJACENT AREAS.
  - 4. SEE SHEET 101 FOR FINISHES AND MATERIALS SCHEDULES.



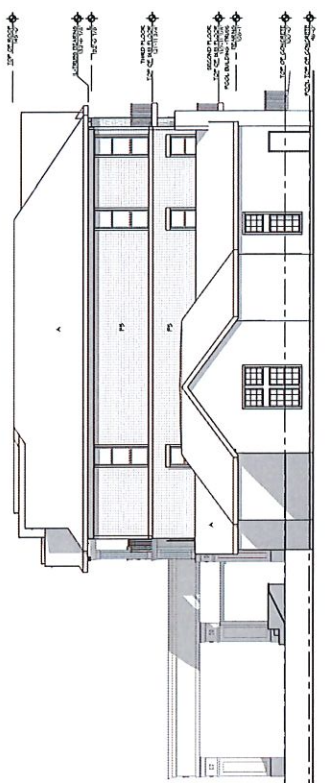
ARCHITECTURE  
1000 W. WISCONSIN ST.  
MILWAUKEE, WI 53233  
TEL: 414.224.1111 FAX: 414.224.1112  
WWW.A4AARCHITECTURE.COM  
A4A ARCHITECTURE  
1000 W. WISCONSIN ST.  
MILWAUKEE, WI 53233  
TEL: 414.224.1111 FAX: 414.224.1112  
WWW.A4AARCHITECTURE.COM

**EXTERIOR ELEVATION GENERAL NOTES**  
1. FINISHES TO BE SHOWN IN ALL COMMENTS AND NOTES.  
2. ALL LIGHT, METALS, ETC. TO BE FINISHED TO MATCH ADJACENT PARTS.  
3. ALL LIGHT AND METALS TO BE FINISHED TO MATCH ADJACENT PARTS.  
4. SEE SET FOR MATERIAL AND FINISHMENT SCHEDULES.

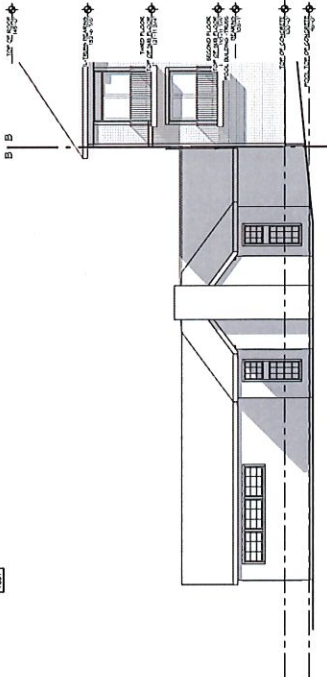
- 1. FINISHES TO BE SHOWN IN ALL COMMENTS AND NOTES.
- 2. ALL LIGHT, METALS, ETC. TO BE FINISHED TO MATCH ADJACENT PARTS.
- 3. ALL LIGHT AND METALS TO BE FINISHED TO MATCH ADJACENT PARTS.
- 4. SEE SET FOR MATERIAL AND FINISHMENT SCHEDULES.



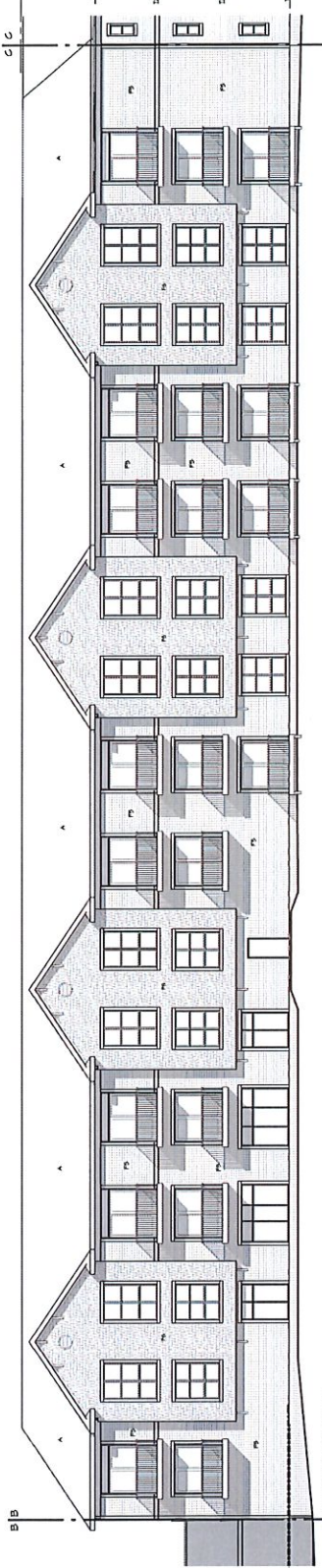
WEST ELEVATION



NORTH ELEVATION



WEST ELEVATION (POOL BUILDING)



WEST ELEVATION

SCHEMATIC DESIGN  
NOT FOR CONSTRUCTION

DATE: 01/21/11  
DRAWN BY: [Name]  
CHECKED BY: [Name]

1/8" EXTERIOR ELEVATIONS A501

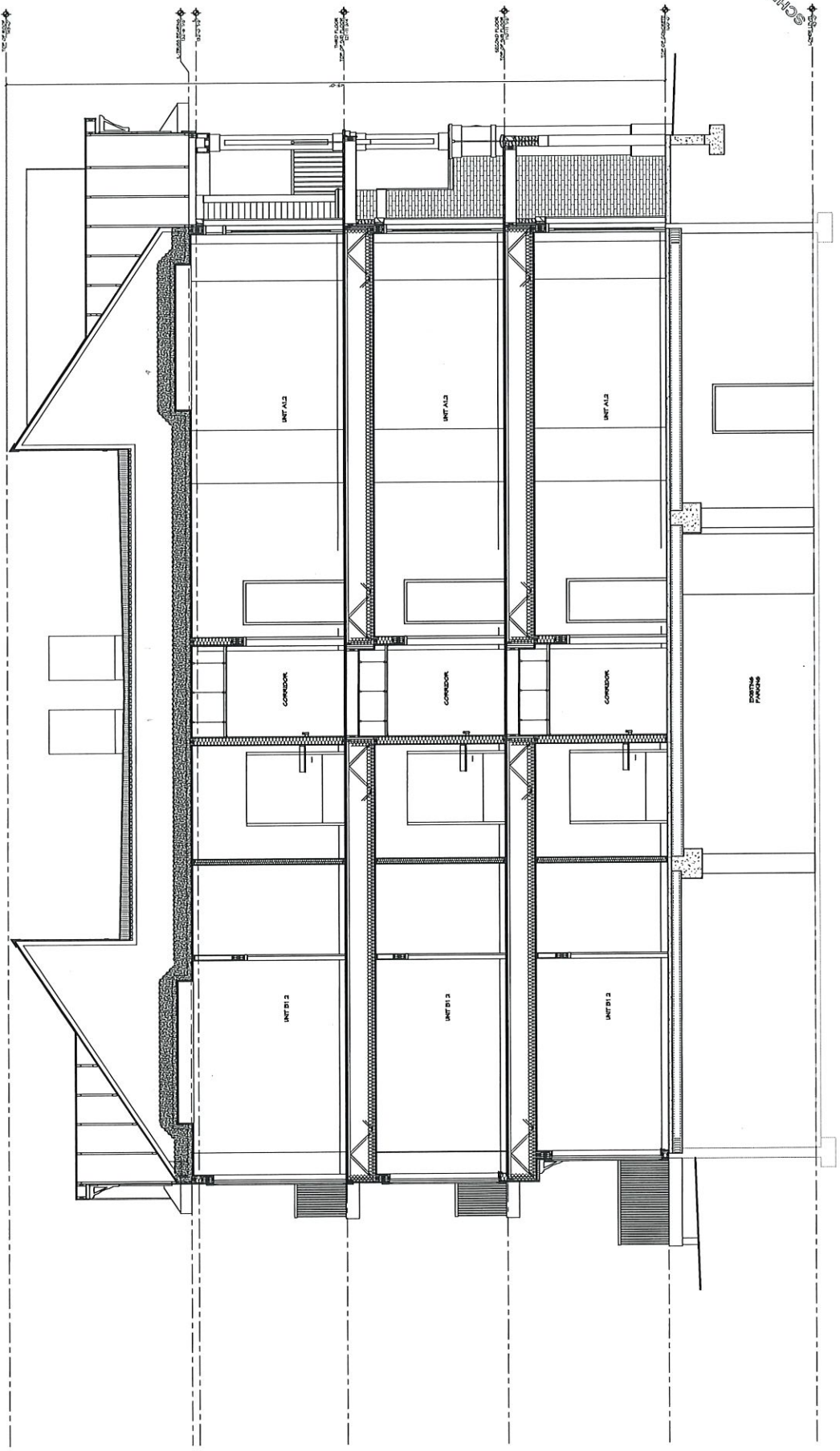


DATE: 12/20/11  
PROJECT: WHITE OAKS APARTMENTS  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
SCALE: AS SHOWN

SCHEMATIC DESIGN  
NOT FOR  
CONSTRUCTION

12/20/11  
2/15/12  
A600

3/8" BUILDING SECTION A600



A BUILDING SECTION  
AA

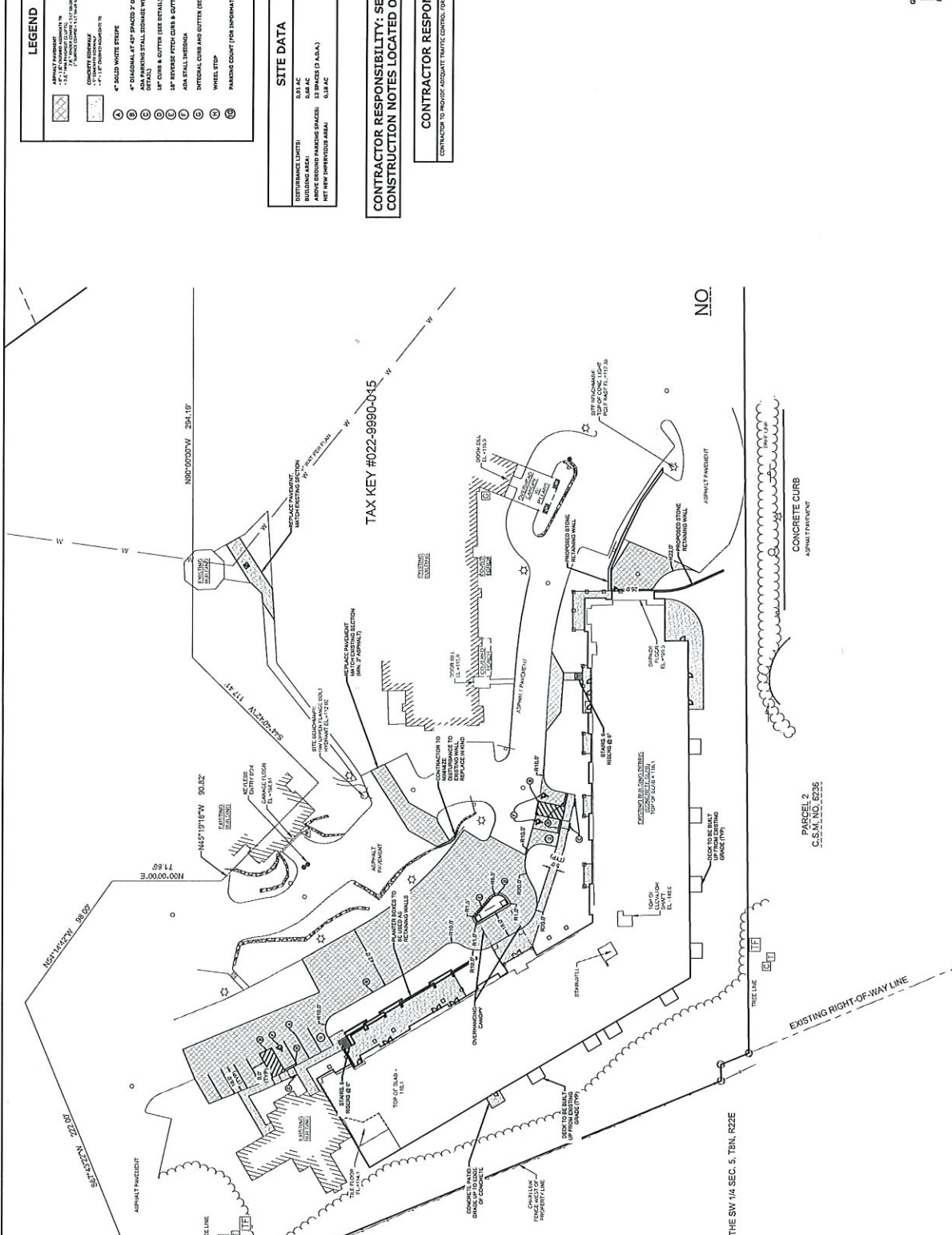








STATE HIGHWAY "43"  
R.O.W.



LEGEND	
[Pattern]	APPLY PAVEMENT
[Pattern]	4" SOLID WHITE STRIKE
[Pattern]	4" DIAGONAL AT 45° SPACED 2 O.C.
[Pattern]	ADA MARKING STALL STOPWAS WITH BOLLARD (SEE DETAIL)
[Pattern]	18" CURB & GUTTER (SEE DETAIL)
[Pattern]	18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
[Pattern]	ADA STALL STOPWAS
[Pattern]	INTERNAL CURB AND GUTTER (SEE DETAIL)
[Pattern]	WHEEL STOP
[Pattern]	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA	
DISTANCE LIMITS	0.5:0.5 AC
BUILDING AREA	0.8:0.8 AC
PAVING AREAS	0.5:0.5 AC
NET NEW IMPROVED AREA	0.5:0.5 AC

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONTRACTOR RESPONSIBILITY:  
CONTRACTOR TO PROVIDE ADEQUATE TRAFFIC CONTROL FOR THE DURATION OF CONSTRUCTION.

CONTRACTOR RESPONSIBILITY:	
[ ]	CONTRACTOR TO PROVIDE ADEQUATE TRAFFIC CONTROL FOR THE DURATION OF CONSTRUCTION.

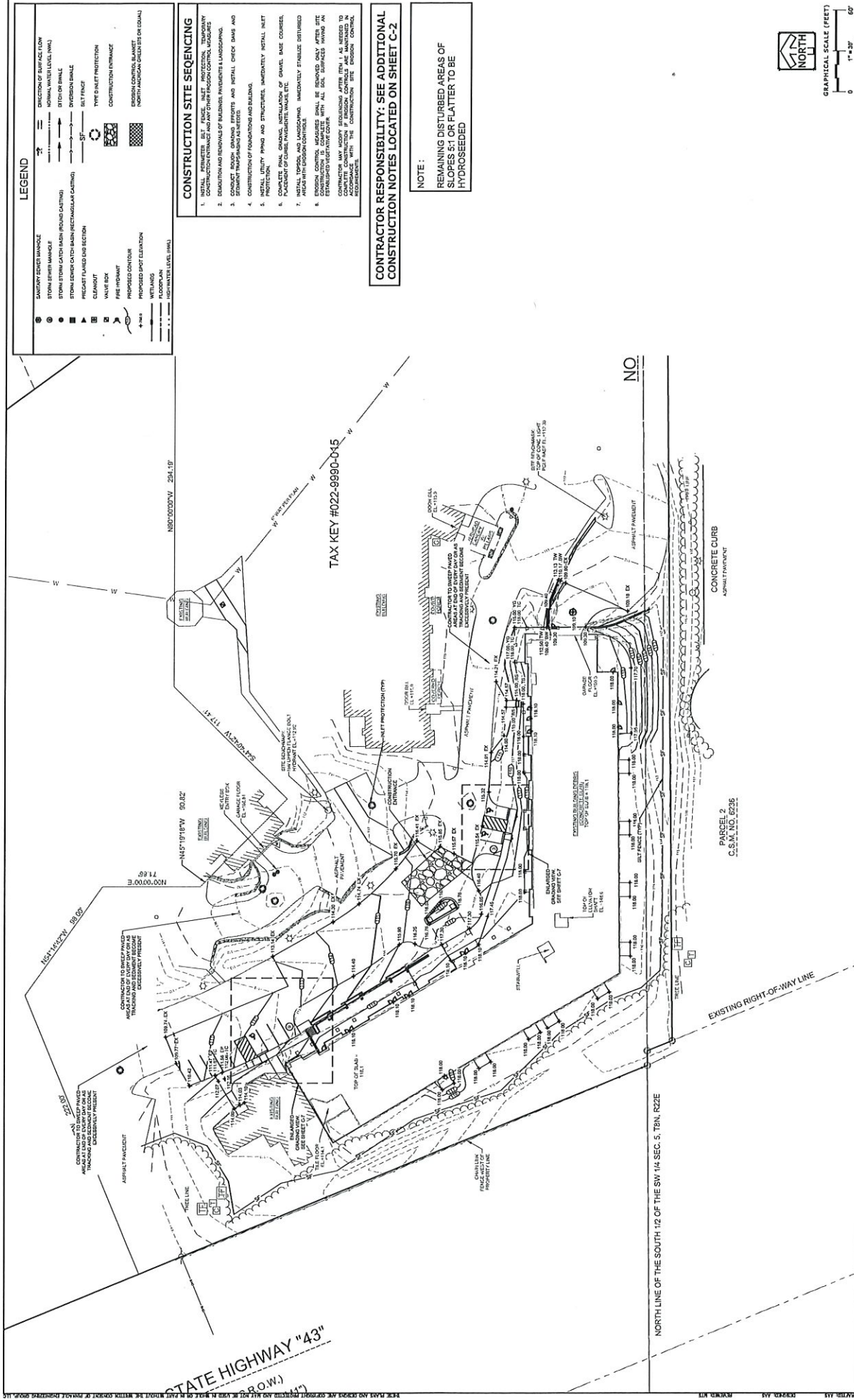
REVISIONS	
NO.	DATE

SHEET	
C-4	C-7

**WHITE OAKS**  
9100 NORTH WHITE OAK LANE, BAYSIDE WI

**PINNACLE ENGINEERING GROUP**  
 2670 WILSON ROAD SUITE 100  
 BAYSIDE WISCONSIN 53217  
 (414) 781-8800  
 WWW.PINNACLE-ENGR.COM

**PLAN DESIGN DELIVER**  
 P.E. LINDSEY M. BURNHAM  
 M. JAMES ANGELO  
 M. JAMES ANGELO  
 2670 WILSON ROAD SUITE 100  
 BAYSIDE WISCONSIN 53217  
 (414) 781-8800  
 WWW.PINNACLE-ENGR.COM



**LEGEND**

	SANITARY EJECTOR MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST FLAMED EDGE SECTION
	CLEARCUT
	VALVE BOX
	FIRE HYDRANT
	PROPOSED CONTOUR
	WETLANDS
	ELEVATION
	NORMAL WATER LEVEL (NWL)
	DIRECTION OF SURFACE FLOW
	EROSION CONTROL BLANKET
	NORTH AMERICAN ORIGIN SITE ON CONTOUR

- CONSTRUCTION SITE SEQUENCING**
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
  2. DEMOLITION AND REMOVAL OF EXISTING PAVEMENTS & LANDSCAPING.
  3. CONDUCT ASHRAE DRAINAGE STUDY AND INSTALL CHECK DAMS AND PROTECTIVE WALLS.
  4. CONSTRUCTION OF FOUNDATION AND BUILDING.
  5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSE, PAVEMENT OF CURBS, PAVEMENT SIDEWALKS, ETC.
  7. INSTALL ANY EROSION CONTROL MEASURES, IMMEDIATELY STABILIZE DISTURBED AREAS WITH VEGETATION.
  8. EROSION CONTROL MEASURES SHALL BE REPEATED ONLY AFTER SITE DEVELOPMENT IS COMPLETE.
- CONTRACTOR MAY VERIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO ACHIEVE BEST PRACTICES. EROSION CONTROL MEASURES ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION PLAN THROUGHOUT THE PROJECT.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**NOTE:**  
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED

**REVISIONS**

NO.	DESCRIPTION

**GRADING AND EROSION CONTROL PLAN**

**WHITE OAKS**  
9100 NORTH WHITE OAK LANE, BAYSIDE WI

**PLAN DESIGN DELIVER**  
Pinnacle Engineering Group  
2570 WILSON DRIVE, SUITE 100  
MILWAUKEE, WI 53227  
TEL: 414.224.8800  
WWW.PINNACLE-ENGR.COM





GRAPHICAL SCALE (FEET)  
0 1" = 30'  
60'

SHEET  
C-6  
C-7

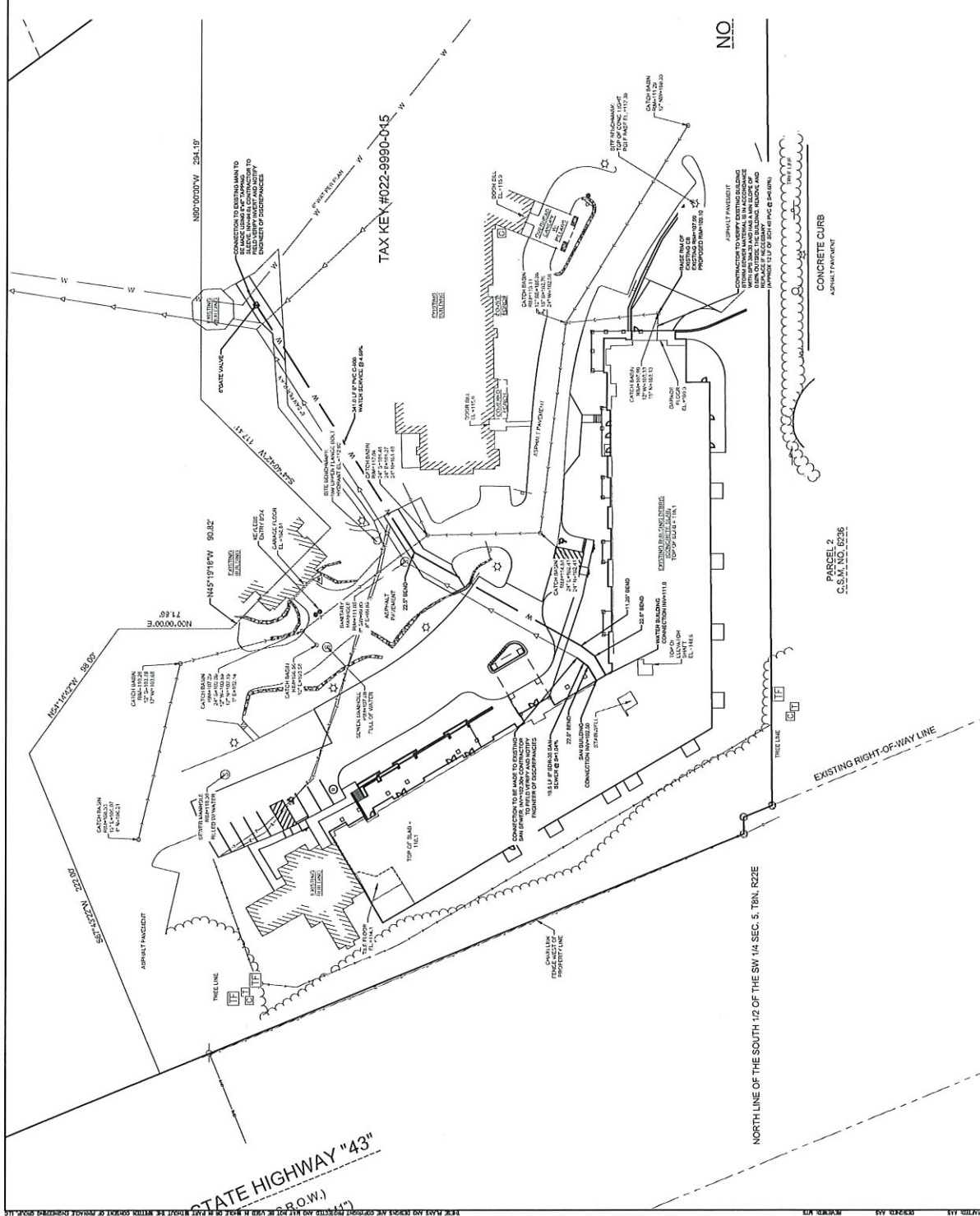
**LEGEND**

- SANITARY CENTER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY CENTER
- STORM SEWER
- DOWN TILE
- WATER MAIN
- FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN

- CONSTRUCTION SITE SEQUENCING**
1. INSTALL PERMITS, EIT, FENCE, ELEC. PROTECTION, TOXICITY CONTROL, CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
  2. DETERMINE AND REMOVE ALL EXISTING UTILITIES AND RECORD THEM.
  3. CONSTRUCT EROSION CONTROL MEASURES AND INITIAL CHECK DAM AND SLOPES.
  4. CONSTRUCTION OF FOUNDATIONS AND BUILDINGS.
  5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INITIAL NET PROTECTION.
  6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL LAKE COURSES, SLOPES, SLOTTED CURBS, AND SLOTTED CURBS.
  7. INSTALL TOPSOIL AND LANDSCAPING, IMMEDIATELY INITIAL SLOTTED CURBS AND SLOTTED CURBS.
  8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE IS STABILIZED AND ALL SURFACES ARE PROTECTED WITH ALL SURFACES HAVING AN EQUALIZER OR SLOTTED CURBS.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO ACCOMMODATE OTHER CONTRACTORS AND TO MEET THE EROSION CONTROL REQUIREMENTS WITH THE CONSTRUCTION SITE EROSION CONTROL PLAN.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

NOTE:  
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEED

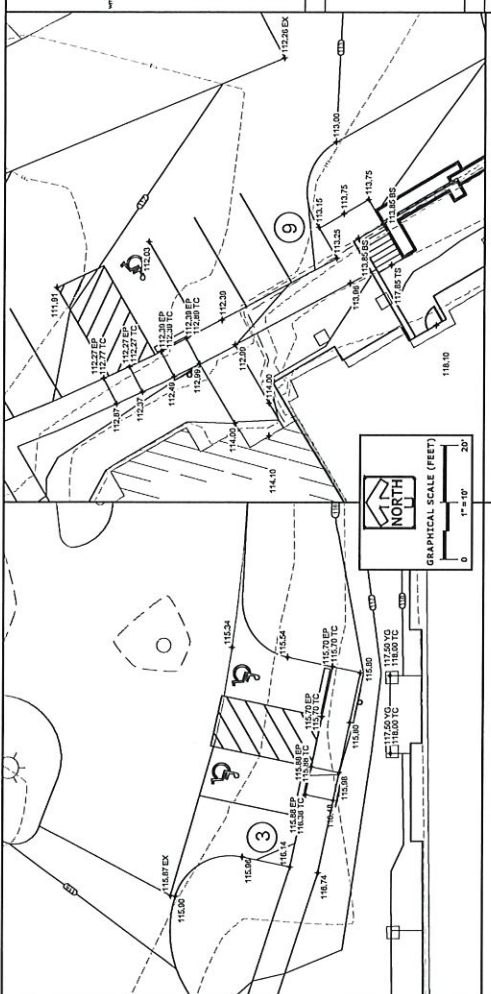


REVISIONS

UTILITY PLAN

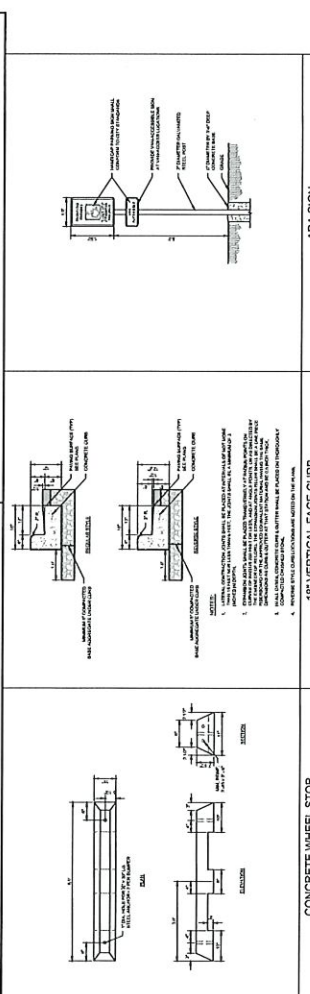
**WHITE OAKS**  
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PLAN DESIGN | DELIVER  
Pinnacle Engineering Group  
2025 WALTON ROAD, SUITE 100  
DUNELAKE, WISCONSIN 53007  
TEL: 262.788.8888  
WWW.PINNACLE-ENGR.COM



ENLARGED GRADING VIEW

ENLARGED GRADING VIEW



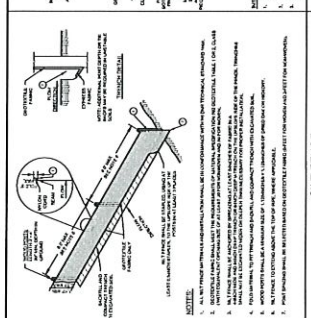
CONCRETE WHEEL STOP

18" VERTICAL FACE CURB

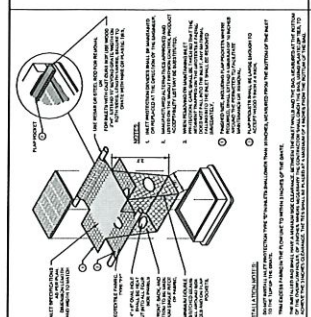
ADA SIGN



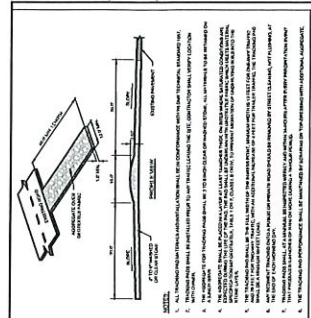
INTEGRAL CURB AND SIDEWALK



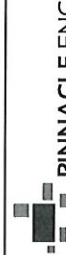
SILT FENCE



INLET PROTECTION



CONSTRUCTION ENTRANCE



**PINNACLE ENGINEERING GROUP**  
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL PLANNING  
 2025 WOODLAND AVENUE, SUITE 100  
 BAYSHORE, WISCONSIN 53217  
 TEL: 414.378.7700 FAX: 414.378.7701  
 WWW.PINNACLE-ENG.COM

**WHITE OAKS**

**9100 NORTH WHITE OAK LANE, BAYSIDE WI**

**CONSTRUCTION DETAILS**

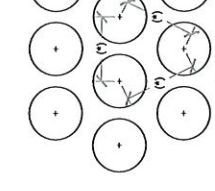
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SHEET	REVISIONS
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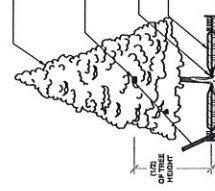
1 TREE PLANTING  
1/8" = 1'-0"



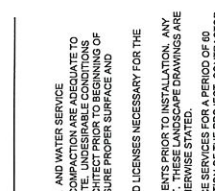
2 EVERGREEN TREE PLANTING  
1/8" = 1'-0"



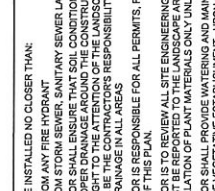
3 SHRUB PLANTING  
1/2" = 1'-0"



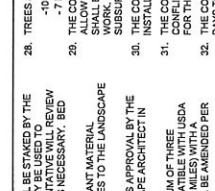
4 PERENNIAL PLANTING  
1" = 1'-0"



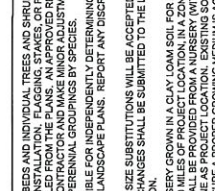
5 PLANT SPACING  
3/8" = 1'-0"



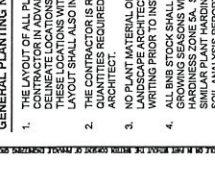
6 TRENCHED BED EDGE  
3/8" = 1'-0"



7 STONE MULCH UNDER BALCONY  
3/8" = 1'-0"



8 SHRUB OR PERENNIAL  
3/8" = 1'-0"



9 PERENNIAL PLANTING  
1" = 1'-0"

IF NOTICED TO BE CHANGED, REVISION, OR DEVELOPING CHANGES ONLY AFTER PLANTING. FINISHING IS SUBJECT TO THE OFFICE FOR INDIVIDUAL SPECIES.

THE PLANTING OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO MARK THE PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE LOCATIONS WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

NO WATERING OR PLANT CARE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.

ALL GRASS SEEDS SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION. IN A ZONE COMPATIBLE WITH USDA ZONES 9B AND 10A, SEEDS SHALL BE NURSERY GROWN WITHIN THE US ZONE WITH A SIMILAR PLANT HARDNESS ZONE AS PROJECT LOCATION. SEEDS SHALL BE ADDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.

ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - 2001 (ANSI), LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE MEETING THE REQUIRED STANDARDS, AND POTENTIALLY REFLECT ANY PLANT MATERIAL DEMAND TO MEET THE REQUIRED STANDARDS.

ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DISEASES, DISORDERS AND DEFOLIATIONS.

TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTISTEM TREES SHALL HAVE 4-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS.

HEIGHT-TO-CANOPY RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.

ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE AND SHALL BE HEALTHY AND FREE OF DISEASES AND DEFOLIATIONS. MEET THE STANDARD AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.

BIB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRMLY IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED WITH BIODEGRADABLE MATERIAL. THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.

ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.

ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.

TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE WRAPPED WITH WET STRAW OR APPROPRIATELY MOIST MULCH TO MAINTAIN MOISTURE. TREES SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REFLECT ANY TREE THAT DOES NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR ANY DEFOLIATIONS, DAMAGES OR INJURIES TO PLANT MATERIALS THAT ARE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.

ALL PLANTING BEDS SHALL HAVE A MINIMUM 10% BUFFER TO ALL PLANTING MATERIAL. EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.

WHILE PLANTING TREES AND SHRUBS BACKFILL 1/2 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.

THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO PLANTING.

OAK TREES SHALL BE TREATED FOR TRUNKLINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.

ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.

ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 6" DEEP TRENCHED BED EDGE CREATED BY THE CONTRACTOR. THE TRENCHES SHALL BE INSTALLED WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.

AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP 1/2 CLEAR STONE MULCH. REFER TO DETAILS (7.4). CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND STONE MULCH TO ALL PLANTING BEDS. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".

ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL WITH APPROVAL. EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. SOIL ANALYSIS REPORT SHALL BE PROVIDED. SOIL AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENTS SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.

FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE OF 10 LBS PER 1,000 SQUARE FEET. SEEDS SHALL BE COVERED WITH 1/4" OF TOPSOIL. SURFACE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION. (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).

THE CONTRACTOR TO ENSURE A SMOOTH UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.

ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.

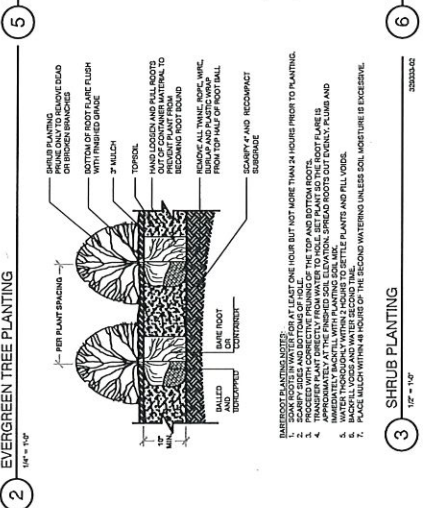
ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

ALL AREAS WHERE THE PLANTING MATERIALS OR WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

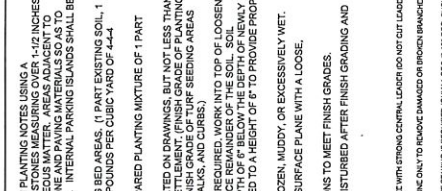
THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.

SOIL PLACEMENT NOTES

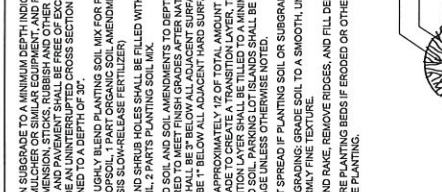
1. LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULT-TAUCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION. STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER, AREAS ADJACENT TO EXISTING CURBS, DRIVEWAYS, AND DRIVEWAYS SHALL BE REMOVED. STONE AND PAVING MATERIALS SHALL BE PROVIDED AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERVAL PLANTING SPACING SHALL BE TOLERATED TO A DEPTH OF 30".
2. THOROUGHLY BLEND PLANTING MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 23 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
3. TOPSOIL AND FERTILIZER SHOULD BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL AND 3 PARTS FERTILIZER.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN 3" BELOW ALL ADJACENT SURFACES AFTER NATURAL SETTLEMENT. FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.
5. SUBGRADE TO CREATE A TRANSITION LAYER FOR SOIL. SOIL SHOULD BE LOOSE, COARSE, AND PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PLANTING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
6. DO NOT OVERSPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH PLANTING GRADE TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORM FINISH GRADE TO SOIL.
8. ROLL AND RAKE BEFORE PLANTING.
9. BEFORE PLANTING BEDS IF ENDED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



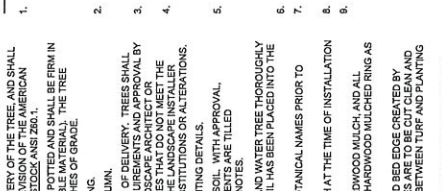
5 EVERGREEN TREE PLANTING  
1/8" = 1'-0"



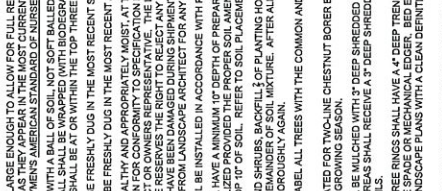
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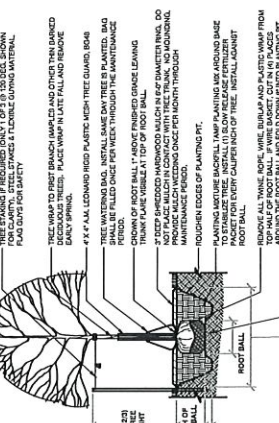
7 STONE MULCH UNDER BALCONY  
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8 SHRUB OR PERENNIAL  
3/8" = 1'-0"



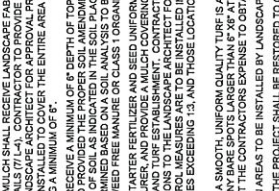
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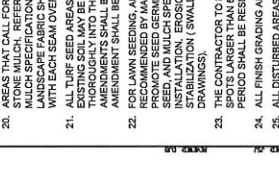
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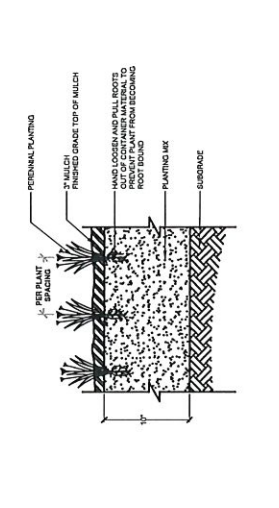
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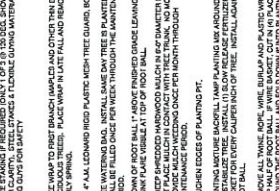
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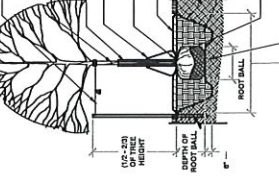
4 PERENNIAL PLANTING  
1" = 1'-0"



5 PLANT SPACING  
3/8" = 1'-0"



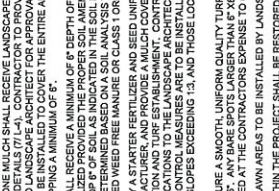
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NO.	REVISIONS

LANDSCAPE GENERAL NOTES & DETAILS

WHITE OAKS  
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PLAN/DESIGN/DELIVER  
Pinnacle Engineering Group  
2870 JACOBSON DRIVE, SUITE 100  
WEST BEND, WI 53591  
PH: 763-288-8888  
WWW.PINNACLE-ENR.COM

PINNACLE ENGINEERING GROUP  
ENGINEERING NATIONAL RESOURCES CORPORATION

PROJECT: 03/09/03B3130-WI03-00004-00001-03130-BI01-0000  
LANDSCAPE SET 21-01-05-2006  
SHEET  
L-2  
DATE  
12/12/10  
SCALE  
AS SHOWN