



Application for Appearance before the
Architectural Review Committee

Owner's Name WHITE OAKS APT., LLC Contractor's Name NOT KNOWN AT THIS TIME
Property Address 9009 N. WHITE OAKS Address _____
Telephone _____ Telephone _____
Email _____ Email _____

Proposed project details (type of work, size, materials, etc.):

APARTMENT BUILDING - 56 UNITS, 3 STORY, 116,575 S.F.
WOOD FRAME CONSTRUCTION ON TOP OF MASONRY, PRECAST
DECK PARKING. BRICK & SIDING, SHINGLES.

January 22, 2021

TO: Andy Pederson
Village Manager
Village of Bayside

FROM: John Mann
Owner's Representative for Katz Properties

RE: White Oaks Apartment Replacement
9009 N. White Oaks Lane
Bayside, WI

Executive Summary

The White Oaks Apartment Complex was originally built in 1986. It consisted of 4 similar buildings on one parcel.

In March of 2019, 9009 had a major fire. Everything was lost except the basement garage and the pool building that was attached to the north. The existing building was as follows:

- 62 units
- Total area - 111,294 s.f.
- Footprint – 29,426 s.f.
- Building height – 36 feet
- Apartment ceiling heights 8 feet
- The building was NOT sprinkled except the basement.

The proposed building is as follows:

- 56 units
- Total area – 116,575
- Corporate offices for Katz Properties
- Common areas such as club room and yoga studio
- Footprint – 32,134 s.f.
- Building height – 45 feet
- Apartment ceiling heights – 9 and 10 feet.
- The building will be fully sprinkled.

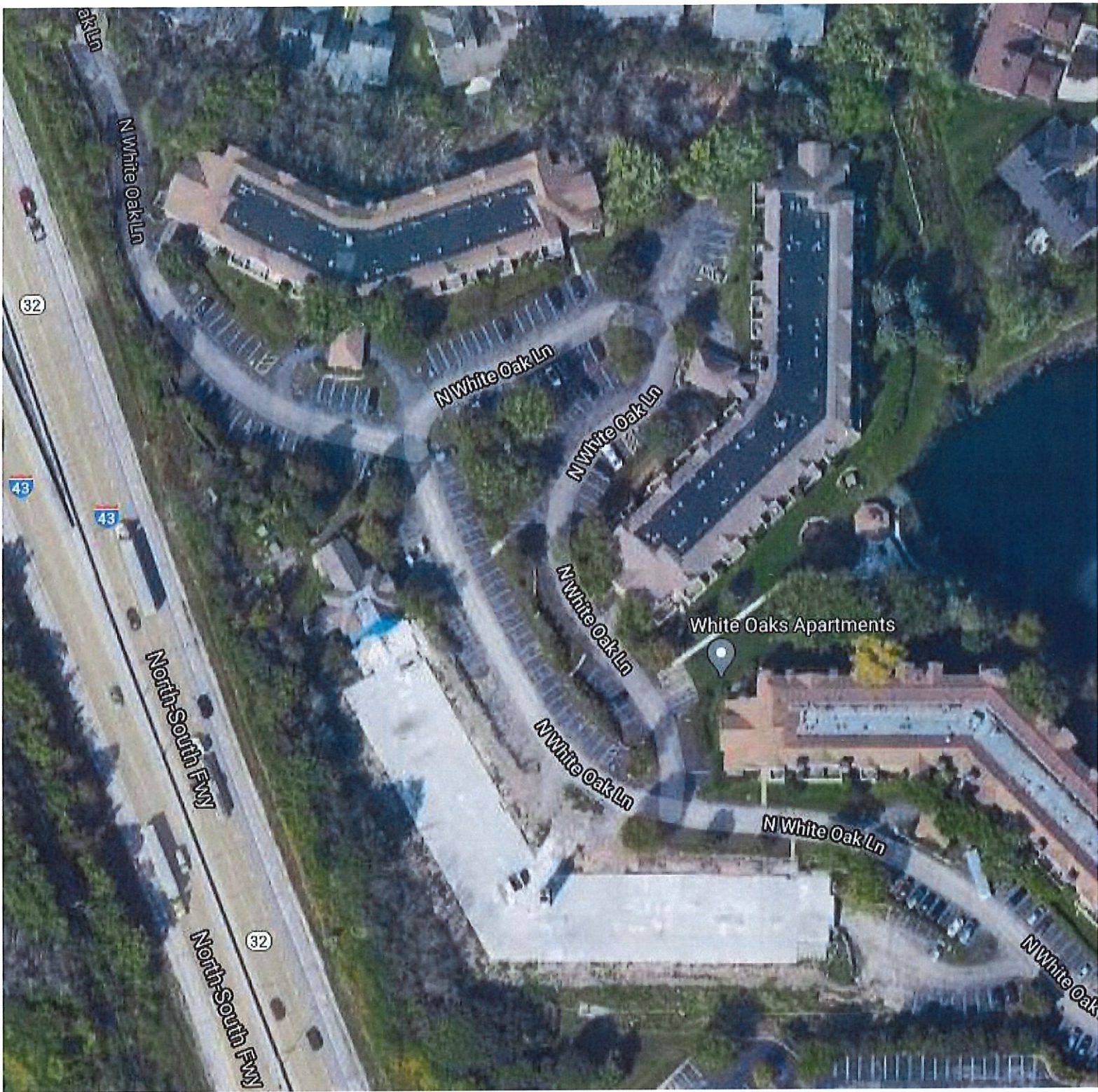
The proposed new building will be constructed on top of the existing parking structure on basically the same footprint. Over the last 35 years the apartment market has changed and the proposed building has been designed for that market. The changes include larger bedrooms, additional building amenities and increased ceiling heights. The increased ceiling heights and the structural framing system is the reason the building has increased in height.

As you will see from the drawings and renderings the proposed building will have the same type of roof system as the existing buildings. There is a recessed roof that hides all of the mechanical systems and minimizes the height of the roof.

The exterior materials are all in keeping with the Bayside community and although not an identical match to the existing three buildings, we believe it is complementary in design and will be a great new asset for the White Oaks Complex and the Village of Bayside.

Corporate Offices for Katz Properties

- There are a total of six employees. 4 are there full time, 1 is there in the morning, and Mr. Katz spends time between Bayside and Florida and is there part time.
- Hours are 8-5 Monday - Friday.
- Deliveries are minimal.
- Parking is provided in the basement of the building for the 6 employees.
- They have almost no visitors.
- 4,056 sq. feet



White Oaks Apartments

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

N White Oak Ln

North-South Fwy

North-South Fwy

32

43

32

Current



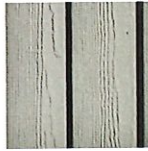
LAN-DHARK ROOFING SHINGLES
CERTAINTED | WEATHERED WOOD



HARDI-SHINGLE SIDING
STRAIGHT EDGE PANEL | AGED PEWTER



HARDI-PLANK LAP SIDING
SELECT CEDARMILL | COBBLESTONE



HARDI-PLANK LAP SIDING
SELECT CEDARMILL | KHAKI BROWN



HARDI-TRIM BOARDS
5/4 SMOOTH | COBBLESTONE



FASCIA, GUTTERS, DOWNSPOUTS &
WINDOW FINISH | BRONZE

STONECAST | SANDSTONE



ACME BRICK | BROOKSTONE













White Oaks Apartments

Bayside, Wisconsin

OWNER
White Oaks Apartments LLC
9100 N White Oaks Ln
Bayside, WI, 53217

SHEET INDEX

SCALE

- C-1 COVER SHEET
- C-2 GENERAL NOTES
- C-3 EXISTING CONDITIONS AND DEMOLITION
- C-4 EXISTING FOUNDATION AND SLAB
- C-5 GRADING AND EROSION CONTROL PLAN
- C-6 UTILITY PLAN
- C-7 CONSTRUCTION DETAILS

ARCHITECTURAL

- PARKING LEVEL PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- THIRD FLOOR PLAN
- EXTERIOR ELEVATIONS
- BUILDING SECTION

LANDSCAPE

- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE GENERAL NOTES

VILLAGE SUBMITTAL

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED. IT DOES NOT ADDRESS ALL STRUCTURAL AND CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE IN-DEPTH REQUIREMENTS FOR THE FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY. PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 201501
DATE: 18 JAN 21



RENDERING IS REPRESENTATIVE ONLY..... SEE DOCUMENTS FOR SPECIFIC DETAILS



SITE STATISTICS

LOWER LEVEL AREA 27,026 SF
 FIRST FLOOR AREA 92,184 SF
 SECOND FLOOR AREA 29,201 SF
 THIRD FLOOR AREA 24,216 SF

TOTAL AREA 116,571

UNDERGROUND PARKING SPACES 62

FIRST FLOOR UNITS 11

SECOND FLOOR UNITS 22

THIRD FLOOR UNITS 23

TOTAL UNITS 56

- A1,2 11
- A2,3 20
- A3 5
- A4 2
- B1 5
- B2 2
- B3 11
- B4 4

18 JAN 21



White Oaks
Architecture

1111 W. WASHINGTON ST. SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.224.1111 FAX: 414.224.1112
 WWW.WHITEOAKSARCH.COM

White Oaks

1/16" SITE PLAN

Bayside, Wisconsin



SITE STATISTICS

LOWER LEVEL AREA 27,026 SF
 FIRST FLOOR AREA 32,134 SF
 SECOND FLOOR AREA 29,201 SF
 THIRD FLOOR AREA 24,216 SF

TOTAL AREA 116,577

UNDERGROUND PARKING SPACES 62

FIRST FLOOR UNITS 11

SECOND FLOOR UNITS 22

THIRD FLOOR UNITS 23

TOTAL UNITS 56

- A1.2 11
- A2.3 20
- A3 3
- A4 3
- B1 3
- B2 2
- B3 11
- B4 4

18 JAN 21



1111 UNIVERSITY AVE
 SUITE 200
 MADISON, WISCONSIN 53706
 TEL: 608.261.1111
 WWW.ASARCHITECTURE.COM

White Oaks
 1/16" FIRST FLOOR PLAN
 Bayside, Wisconsin

NOT TO SCALE
 ALL DIMENSIONS ARE AS SHOWN
 UNLESS OTHERWISE SPECIFIED
 SEE NOTES FOR MATERIALS AND FINISHES

18 JAN 21



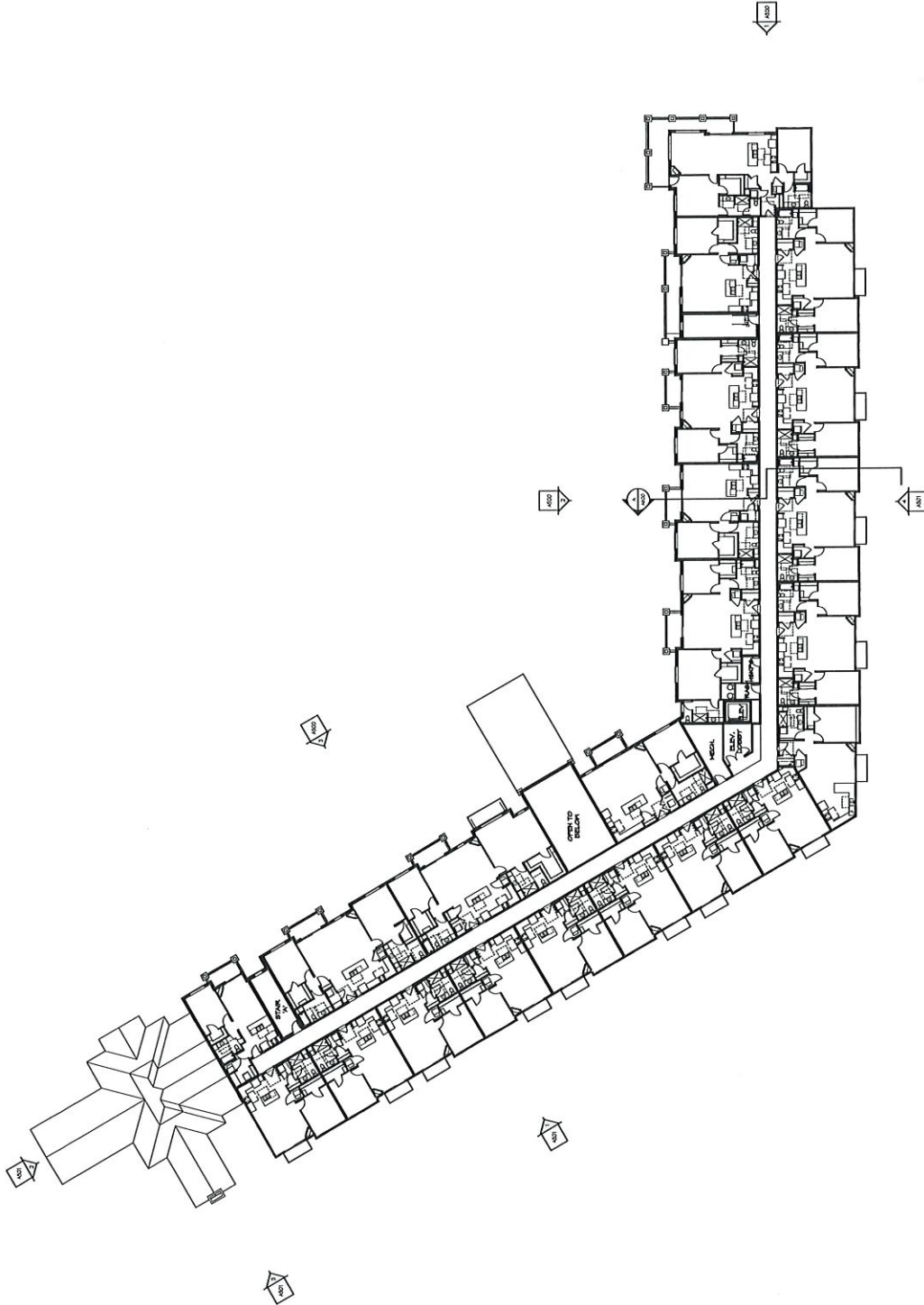
Architecture

1000 UNIVERSITY AVENUE
SUITE 1000
MILWAUKEE, WI 53233
TEL: 414.224.1100
WWW.CA-ARCHITECTURE.COM

White Oaks

1/16" SECOND FLOOR PLAN

Bayside, Wisconsin



18 JAN 21



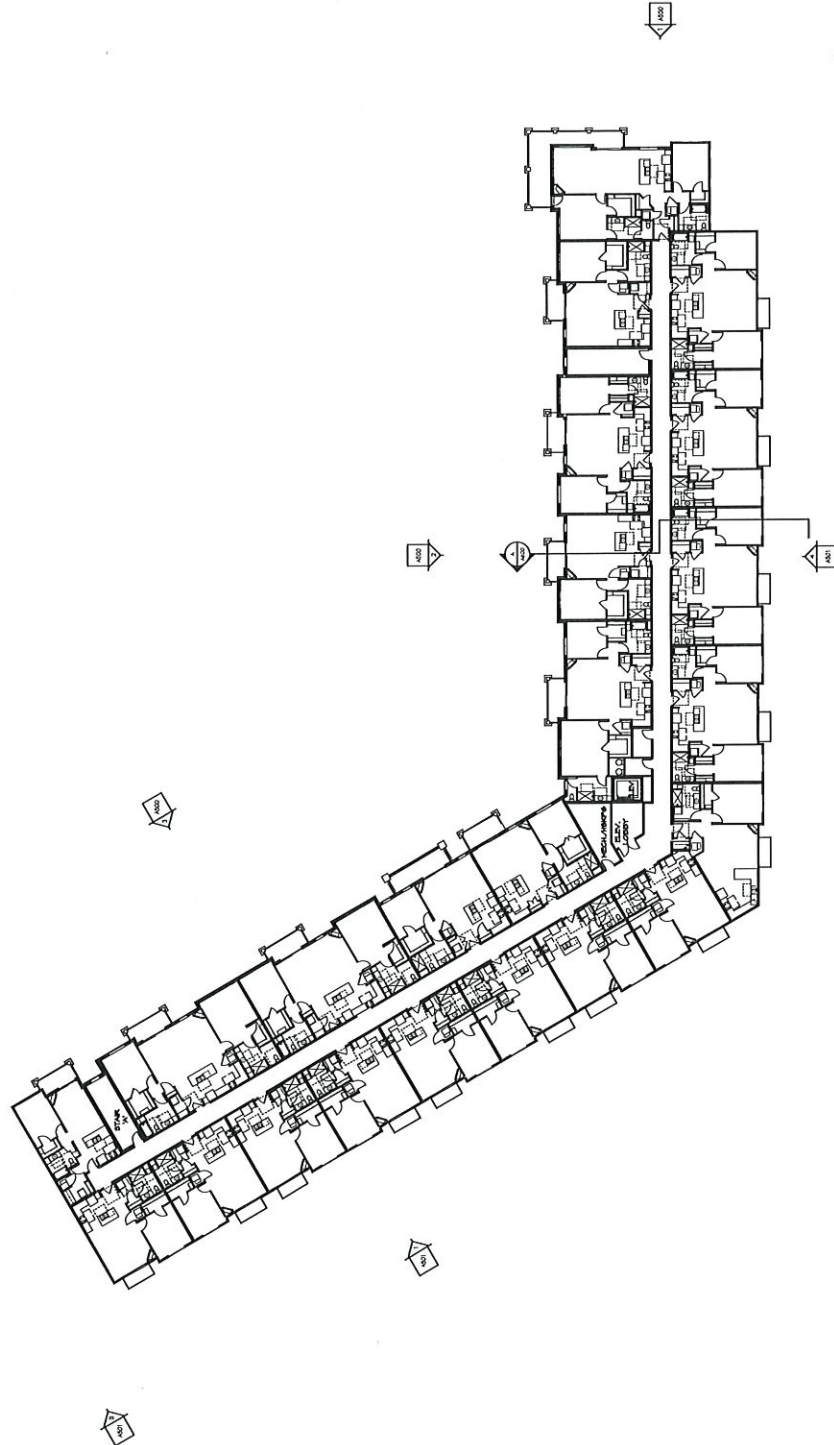
Architecture

1111 W. WISCONSIN AVENUE, SUITE 200
MILWAUKEE, WISCONSIN 53233
TEL: 414.224.1234 FAX: 414.224.1235
WWW.CBARCHITECTURE.COM

White Oaks

1/16" THIRD FLOOR PLAN

Bayside, Wisconsin



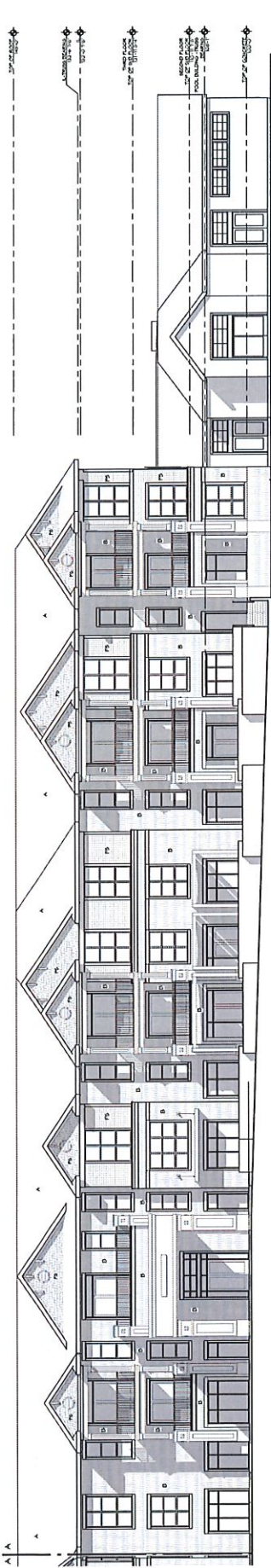


ARCHITECTURE
1000 W. WISCONSIN ST. SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.AAARCHITECTURE.COM
DATE: 01/21/21

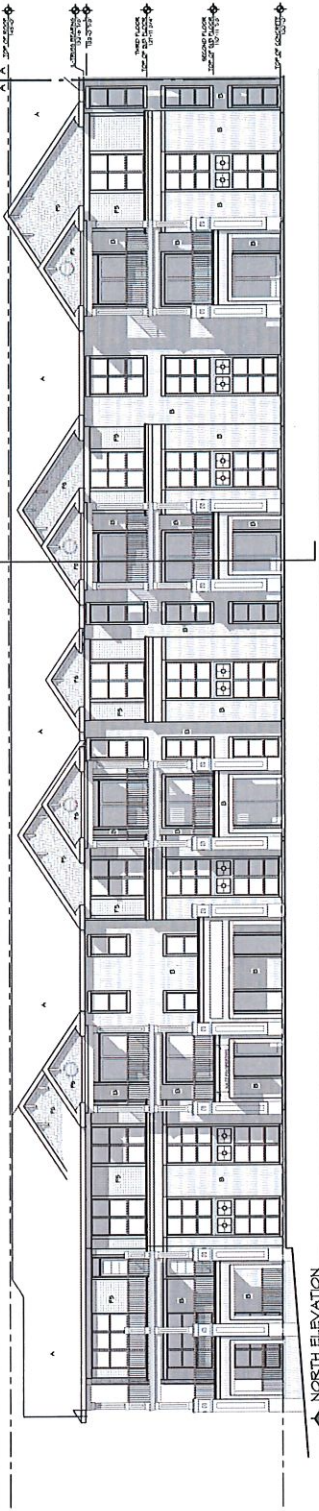
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

DATE: 01/21/21
PROJECT: WHITE OAKS APARTMENTS
DRAWING NO: 201201

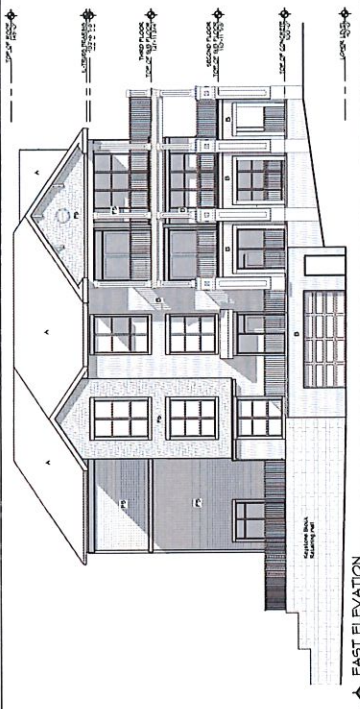
1/8" EXTERIOR ELEVATIONS A-500



EAST ELEVATION
1/8"



NORTH ELEVATION
1/8"



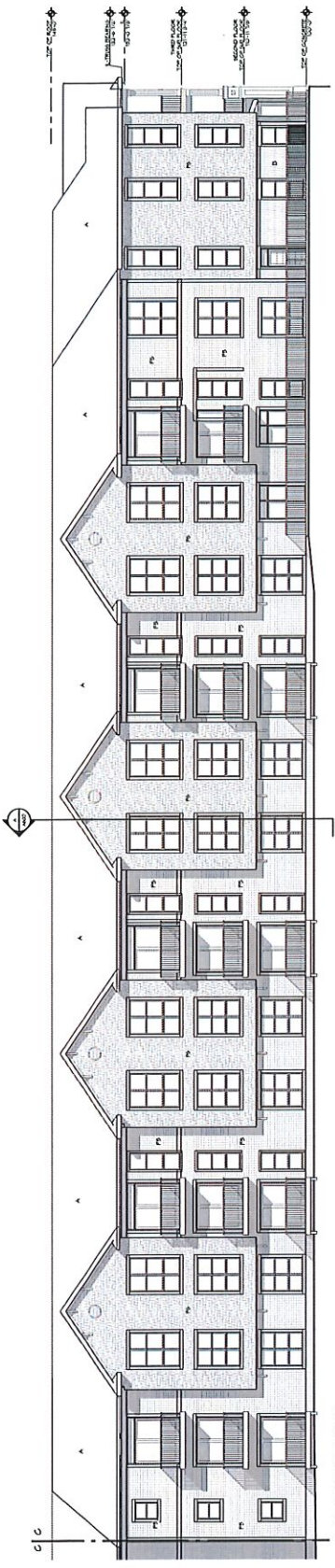
EAST ELEVATION
1/8"

- EXTERIOR ELEVATION GENERAL NOTES**
1. PROVIDE CONCRETE PAVEMENT BASED AT ALL CORNERS WITH 2" MIN. SLOPE.
 2. ALL CORNER DETAILS SHALL BE TO BE FINISHED TO MATCH ADJACENT SURFACE.
 3. ALL OTHER AND CORNER DETAILS ARE REFINISHED AS SHOWN.
 4. USE HATCH AT ALL FOR FINISH AND IDENTIFY FINISH MATERIALS.
- EXTERIOR ELEVATION MATERIALS**
1. BRICK
 2. STUCCO
 3. CONCRETE
 4. METAL ROOF
 5. GLASS
 6. WOOD
 7. ASPHALT/FLY ASH
 8. POLYURETHANE FINISH

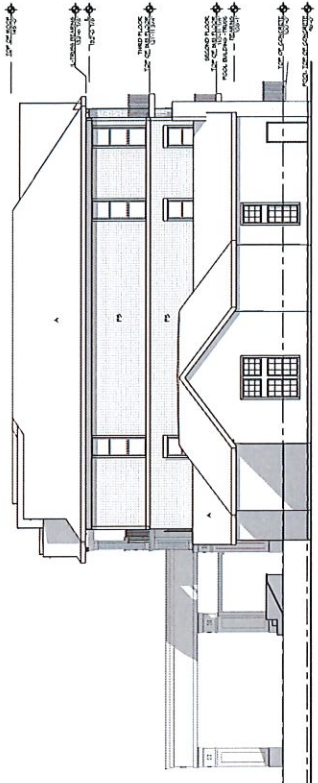


1111 WASHINGTON AVE
MILWAUKEE, WI 53233
TEL: 414.224.1111 FAX: 414.224.1112
WWW.ARBAY.COM
DATE: 11/11/11
BY: JMM
NO DATE REVISIONS

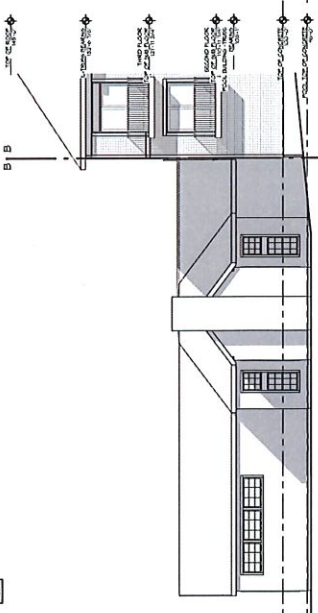
EXTERIOR ELEVATION GENERAL NOTES
1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.
2. ALL LOCUST, REDWOOD, VINE, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.
3. UNITS AND TERRACES ARE REPAIRABLE MATERIALS.
4. SEE ARCHITECT'S SPECIFICATIONS AND INFORMATION FOR DETAILS.
5. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.
6. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.
7. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.
8. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.
9. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.
10. FINISHES SHALL BE AS SHOWN ON THE ARCHITECT'S DRAWINGS.



WEST ELEVATION



NORTH ELEVATION



WEST ELEVATION (POOL BUILDING)



WEST ELEVATION

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

DATE: 11/11/11
BY: JMM
NO DATE REVISIONS

1/8" EXTERIOR ELEVATIONS A501

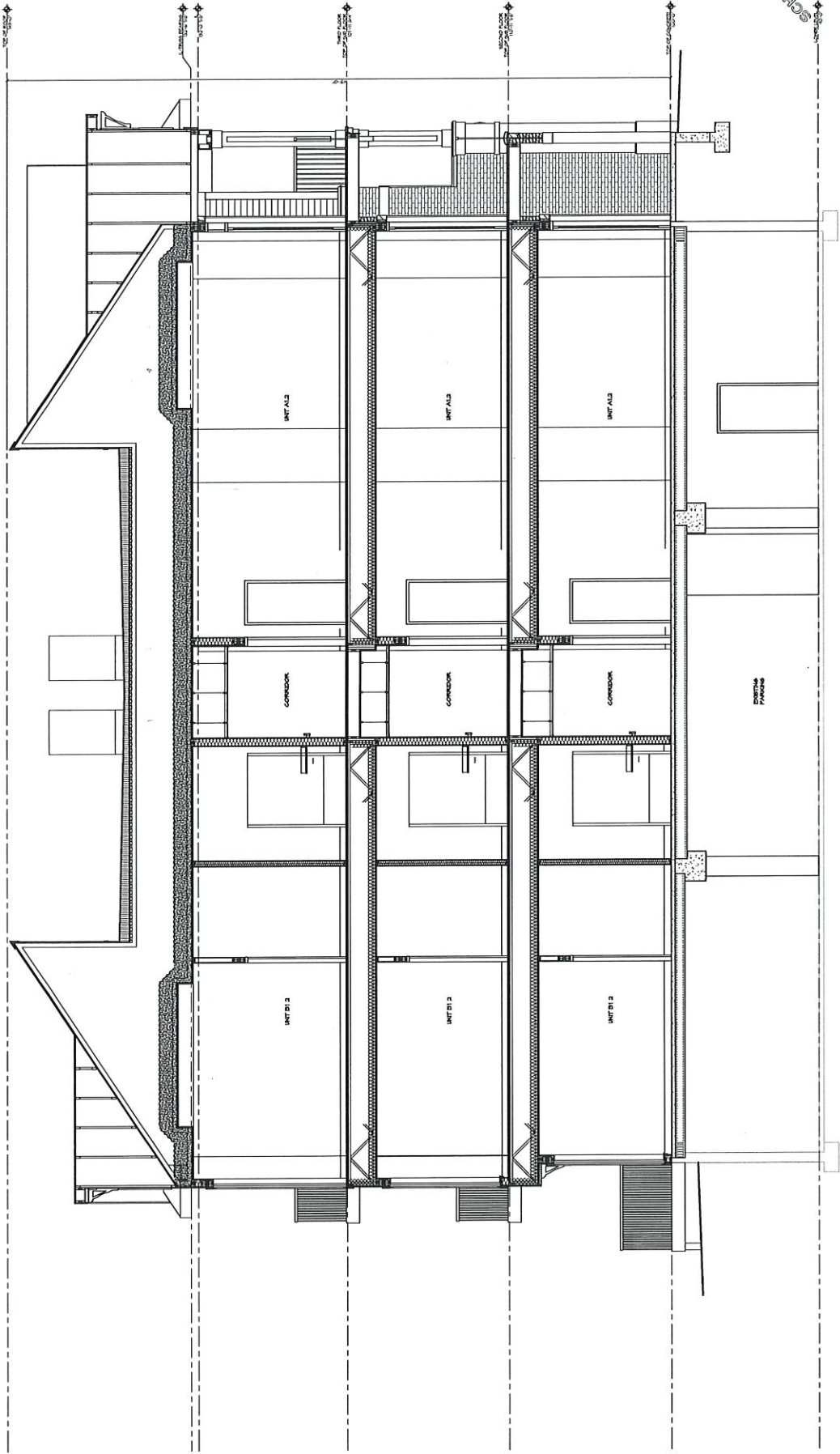


1114 WASHINGTON ST. SUITE 200
MILWAUKEE, WI 53233
TEL: 414-224-1114
WWW.AEARCHITECTURE.COM
ARCHITECTS
DATE: 02/11/14

SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

DATE: 02/11/14
PROJECT NO.: 201301

3/8" BUILDING SECTION A600
DATE: 02/11/14



BUILDING SECTION
A600

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. SEE NOTES ON DRAWING FOR MATERIALS AND FINISHES.
3. SEE NOTES ON DRAWING FOR MECHANICAL AND ELECTRICAL REQUIREMENTS.
4. SEE NOTES ON DRAWING FOR STRUCTURAL REQUIREMENTS.
5. SEE NOTES ON DRAWING FOR EXTERIOR FINISHES.
6. SEE NOTES ON DRAWING FOR INTERIOR FINISHES.
7. SEE NOTES ON DRAWING FOR FURNITURE AND FIXTURES.
8. SEE NOTES ON DRAWING FOR LIGHTING AND ELECTRICAL FIXTURES.
9. SEE NOTES ON DRAWING FOR PAINT AND WALL FINISHES.
10. SEE NOTES ON DRAWING FOR FLOOR FINISHES.

Table with 2 columns: SHEET (C-2, C-7), DATE (12/17/13), and other project information.

Table with 2 columns: REVISIONS (empty), GENERAL NOTES (empty).

WHITE OAKS
9100 NORTH WHITE OAK LANE, BAYSIDE WI

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

- 1. THE PROGRAM SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES...
2. THE CONTRACTOR SHALL NOTIFY THE OWNER...
3. THE CONTRACTOR SHALL NOTIFY THE OWNER...
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10. THE CONTRACTOR SHALL NOTIFY THE OWNER...

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS...
2. THE CONTRACTOR SHALL NOTIFY THE OWNER...
3. THE CONTRACTOR SHALL NOTIFY THE OWNER...
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DEMOLITION NOTES

- 1. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH...
2. THE CONTRACTOR SHALL NOTIFY THE OWNER...
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