



Village of Bayside
9075 N Regent Rd
Board of Zoning Appeals Public Hearing & Meeting
March 3, 2021
Remote Teleconferencing, 6:00 pm

BOARD OF ZONING APPEALS AGENDA

PLEASE TAKE NOTICE Due to the Covid 19 Pandemic, the meeting of the Village of Bayside Board of Zoning Appeals will be held via remote teleconferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. PUBLIC HEARING

- A. The purpose of the public hearing is to consider the request for a special exception by White Oaks Apartments, LLC, for the property located at 9009 N White Oak Lane, to build a 56-unit, 3-story apartment building. The building will be a total of 116,575 square feet and will be wood frame construction on top of masonry, precast deck parking, and brick, siding, and shingles, contrary to Section 125-98(e)8.

1. Public Discussion
2. Board Discussion

III. APPROVAL OF MINUTES

- A. October 12, 2020 Board of Zoning Appeals Public Hearing and Meeting.

IV. BUSINESS

- A. Discussion/recommendation on the request for a special exception by White Oaks Apartments, LLC, for the property located at 9009 N White Oak Lane, to build a 3-story apartment building, contrary to Section 125-98(e)8.

V. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE BOARD

VI. ADJOURNMENT

Lynn Galyardt | Administrative Services Director | February 12, 2021

The Board of Zoning Appeals will utilize Zoom video conferencing software for this meeting. To join the Zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/87405175708?pwd=cnF3cnZDMDIYNEpDeGhkTTdSaHg1Zz09>

Meeting ID: 874 0517 5708; Password: 959052; Phone 312 626 6799

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Board of Trustees may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov)

STATE OF WISCONSIN - VILLAGE OF BAYSIDE - MILWAUKEE & OZAUKEE COUNTIES

NOTICE OF PUBLIC HEARING

In the matter of a request for a special exception by White Oaks Apartments, LLC, for the property located at 9009 N White Oaks Lane, to build a 56-unit, 3-story apartment building. The building will be a total of 116,575 square feet and will be wood frame construction on top of masonry, precast deck parking, and brick, siding, and shingles, contrary to Section 125-98(e)8.

PLEASE TAKE NOTICE that a public hearing will be held before the Board of Zoning Appeals of the Village of Bayside on March 3, 2021 at 6:00 pm via remote teleconferencing (see agenda for details). The purpose of the public hearing is to consider:

The request for a special exception by White Oaks Apartments, LLC, for the property located at 9009 N White Oaks Lane, to build a 56-unit, 3-story apartment building. The building will be a total of 116,575 square feet and will be wood frame construction on top of masonry, precast deck parking, and brick, siding, and shingles, contrary to Section 125-98(e)8.

PLEASE TAKE FURTHER NOTICE that at such time and place, all interested parties will be heard via remote teleconferencing on this matter.

DATED this eighth day of February, 2021.

Lynn Galyardt
Administrative Services Director



I. CALL TO ORDER

Acting Chairperson Krier called the meeting to order at 6:04pm via remote teleconferencing.

II. ROLL CALL

Chair:	Max Dickman-Excused	
Members:	Darren Fisher - Excused	Barry Chaet – arrived at 6:09pm
	Amy Krier	Ben Minkin
	Eido Walny	Dan Rosenfeld

Also Present: Village Manager Andy Pederson
Assistant to the Village Manager Leah Hofer
Administrative Services Director Lynn Galyardt
Attorney Christopher Jaekels
There was one person in the audience

III. PUBLIC HEARING

A. The purpose of the public hearing is to consider the request for a special exception by Colin White, for the property located at 1400 E. Bay Point Road, to install a 150KV Generac backup generator in a location that is forward of the rear yard line, contrary to Section 104-4 (f).

Acting Chairperson Krier read the above meeting notice and called for public discussion at 6:05pm.

1. Public Discussion

There was no one from the public in attendance. Paul Geisen appeared on behalf of the project. Mr. Geisen stated locating the generator in the rear of the property would cause the generator to be within 45 feet of the crest of the bluff and close to neighboring properties. The proposed location is the requested location of the neighboring property owners, is on the north side of the property 200 feet away from neighboring properties.

2. Board Discussion

There was none.

Acting Chairperson Krier closed the public hearing at 6:11pm.

IV. APPROVAL OF MINUTES

A. May 11, 2020 Board of Zoning Appeals Public Hearing and Meeting.

Motion by Chairperson Rosenfeld, seconded by Chairperson Walny, to approve the minutes of the May 11, 2020 Board of Zoning Appeals Public Hearing and Meeting. Motion carried unanimously.

V. BUSINESS

- A. Discussion/recommendation on the request for a special exception by Colin White, for the property located at 1400 E. Bay Point Road, to install a 150KV Generac backup generator in a location that is forward of the rear yard line, contrary to Section 104-4 (f).**

Motion by Chairperson Walny, seconded by Chairperson Chaet, to recommend to the Board of Trustees approval on the request for a special exception by Colin White, for the property located at 1400 E. Bay Point Road, to install a 150KV Generac backup generator in a location that is forward of the rear yard line on the north side of the property, 200 feet away from neighboring properties, contrary to Section 104-4 (f). Motion carried unanimously.

VI. ANY OTHER BUSINESS AS MAY PROPERLY COME BEFORE THE BOARD

There was none.

VII. ADJOURNMENT

Motion by Chairperson Chaet, seconded by Chairperson Rosenfeld, to adjourn the meeting at 6:14pm. Motion carried unanimously.

Respectfully submitted,

Lynn Galyardt, Administrative Services Director | | February 12, 2021



**Application for Appearance before the
Board of Zoning Appeals Committee**

Owner's Name WHITE OAKS APARTMENTS, LLC

Property Address 9009 N. WHITE OAKS LANE

Telephone ()

Email _____

Proposed project details (type of work, size, materials, etc.):

APARTMENT BUILDING - 56 UNITS, 3 STORY, 116,575 S.F.
WOOD FRAME CONSTRUCTION ON TOP OF MASONRY, PRECAST
DECK PARKING. BRICK, * SIDING, SHINGLES.

Fee: \$500.00



APPLICATION FOR SPECIAL EXCEPTION TO THE ZONING CODE REQUIREMENTS

The Board of Appeals, pursuant to Wis. Stats. 62.23(7)(e) and after appropriate notice and hearing, may, with regard to any requirement imposed by the Zoning Code, or any other section of the Municipal Code which specifically allows for special exceptions, recommend a special exception to the Village Board for approval. Notice of application for special exception shall be provided to all property owners adjoining or abutting the property proposed for a special exception. Denials of special exceptions shall not be appeal able to the Village Board.

1. State the section of the Village of Bayside Municipal Code that you are appealing.

SECTION 125-98 (B) a. - BUILDINGS OR STRUCTURES SHALL NOT EXCEED: A HEIGHT OF 35 FEET

2. Give a brief description of what you want to do and why.

THE CODE ALLOWS FOR A THREE STORY BUILDING. IN TODAY'S RENTAL MARKET TYPICAL CEILING HEIGHTS IN APARTMENTS HAVE INCREASED FROM 8' TO 9' AND 10'. WITH THE TYPICAL FRAMING DESIGN, THAT TAKES OUR PROPOSED 3 STORY BUILDING TO A HEIGHT OF 45'.

3. State why compliance with Municipal Code is unreasonably burdensome or negatively impacting upon the use of the property.

THE BASIC DESIGN OF THE 1986 BUILDING THAT THE PROPOSED NEW DESIGN IS REPLACING WILL NOT MEET CURRENT MARKETS AND DESIGNS.

Applicant Printed Name

Applicant Signature

JOHN MANN, OWNER'S REPRESENTATIVE FOR WHITE OAKS APARTMENTS, LLC

[Handwritten signature]

January 22, 2021

TO: Andy Pederson
Village Manager
Village of Bayside

FROM: John Mann
Owner's Representative for Katz Properties

RE: White Oaks Apartment Replacement
9009 N. White Oaks Lane
Bayside, WI

Executive Summary

The White Oaks Apartment Complex was originally built in 1986. It consisted of 4 similar buildings on one parcel.

In March of 2019, 9009 had a major fire. Everything was lost except the basement garage and the pool building that was attached to the north. The existing building was as follows:

- 62 units
- Total area - 111,294 s.f.
- Footprint – 29,426 s.f.
- Building height – 36 feet
- Apartment ceiling heights 8 feet
- The building was NOT sprinkled except the basement.

The proposed building is as follows:

- 56 units
- Total area – 116,575
- Corporate offices for Katz Properties
- Common areas such as club room and yoga studio
- Footprint – 32,134 s.f.
- Building height – 45 feet
- Apartment ceiling heights – 9 and 10 feet.
- The building will be fully sprinkled.

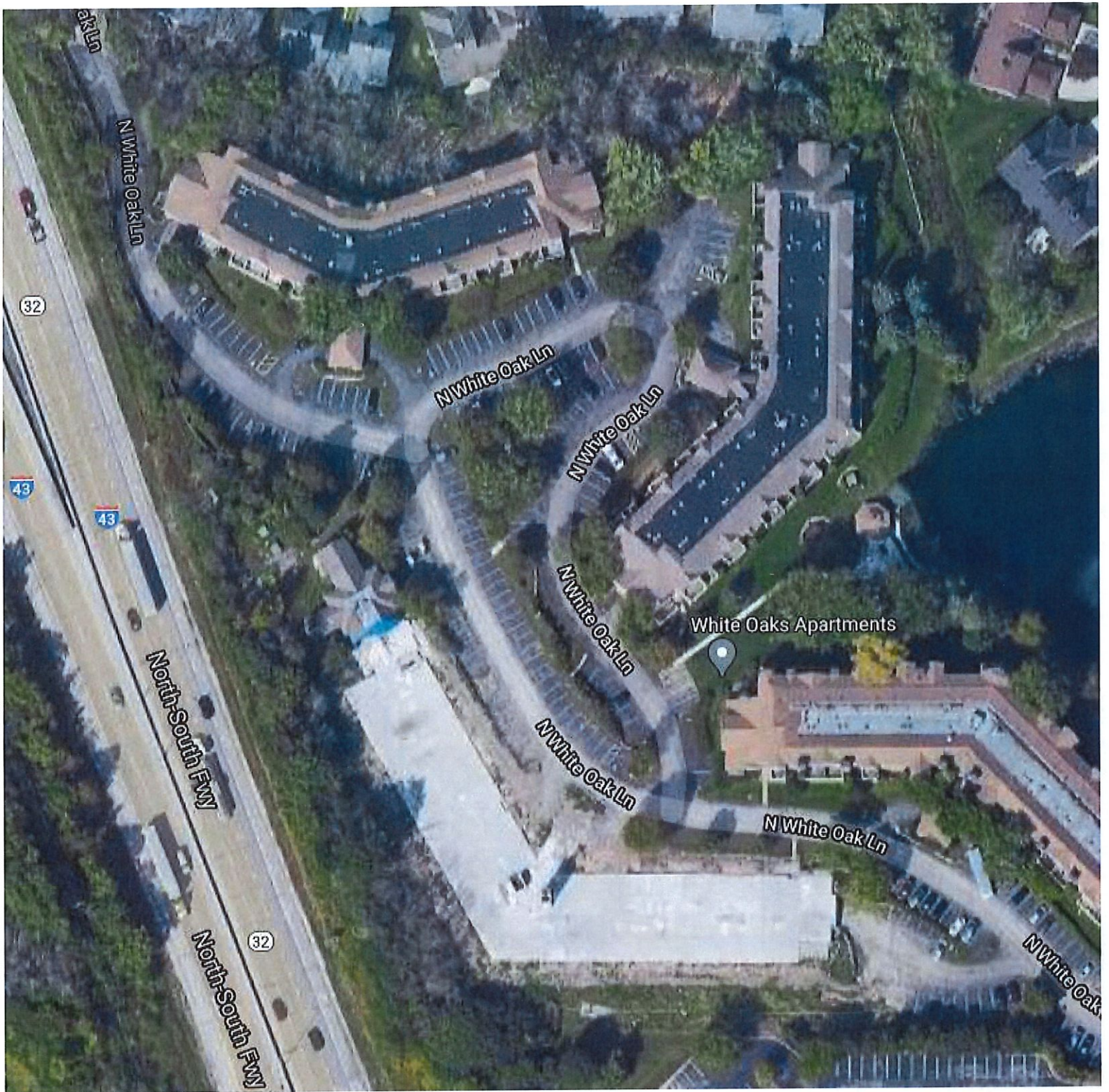
The proposed new building will be constructed on top of the existing parking structure on basically the same footprint. Over the last 35 years the apartment market has changed and the proposed building has been designed for that market. The changes include larger bedrooms, additional building amenities and increased ceiling heights. The increased ceiling heights and the structural framing system is the reason the building has increased in height.

As you will see from the drawings and renderings the proposed building will have the same type of roof system as the existing buildings. There is a recessed roof that hides all of the mechanical systems and minimizes the height of the roof.

The exterior materials are all in keeping with the Bayside community and although not an identical match to the existing three buildings, we believe it is complementary in design and will be a great new asset for the White Oaks Complex and the Village of Bayside.

Corporate Offices for Katz Properties

- There are a total of six employees. 4 are there full time, 1 is there in the morning, and Mr. Katz spends time between Bayside and Florida and is there part time.
- Hours are 8-5 Monday - Friday.
- Deliveries are minimal.
- Parking is provided in the basement of the building for the 6 employees.
- They have almost no visitors.
- 4,056 sq. feet



Current



LANDMARK ROOFING SHINGLES
CERTAINTED | WEATHERED WOOD



HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL | AGED PEWTER



HARDIE PLANK LAP SIDING
SELECT CEDARMILL | COBBLESTONE



HARDIE PLANK LAP SIDING
SELECT CEDARMILL | KHAKI BROWN



HARDIE SIM BOARDS
5/4 SMOOTH | COBBLESTONE



FASCIA, GUTTERS, DOWNSPOUTS &
WINDOW FINISH | BRONZE



STONECAST | SANDSTONE



ACME BRICK | BROOKSTONE













White Oaks Apartments

Bayside, Wisconsin

OWNER
White Oaks Apartments LLC
9100 N White Oaks Ln
Bayside, WI, 53217

SHEET INDEX

CALL

- C-1 COVER SHEET
- C-2 GENERAL NOTES
- C-3 BIDDING CONDITIONS AND SPECIFICATION
- C-4 GENERAL NOTES AND PLANS PLAN
- C-5 GRADING AND EROSION CONTROL PLAN
- C-6 UTILITY PLAN
- C-7 CONSTRUCTION DETAILS

ARCHITECTURAL

- PARKING LEVEL PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- THIRD FLOOR PLAN
- EXTERIOR ELEVATIONS
- BUILDING SECTION

LANDSCAPE

- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE GENERAL NOTES



RENDERING IS REPRESENTATIVE ONLY..... SEE DOCUMENTS FOR SPECIFIC DETAILS

VILLAGE SUBMITTAL

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED.
IT DOES NOT ADDRESS ALL STRUCTURAL AND CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE IN DETAIL REQUIREMENTS FOR THE FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY. PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 201501
DATE: 18 JAN 21



Architecture
A Sense of
Community

WWW.AGARCH.COM

414-431-5371 TEL

414-431-5371 FAX

14 UNDERWOOD AVE WAUWATOSA, WI 53213



SITE STATISTICS

LOWER LEVEL AREA 27,026 SF
 FIRST FLOOR AREA 32,184 SF
 SECOND FLOOR AREA 29,201 SF
 THIRD FLOOR AREA 29,216 SF

TOTAL AREA 116,571

UNDERGROUND PARKING SPACES 62

FIRST FLOOR UNITS 11

SECOND FLOOR UNITS 22

THIRD FLOOR UNITS 23

TOTAL UNITS 56

- A1,2 11
- A2,3 20
- A4 5
- A4 2
- B1 5
- B2 2
- B3 11
- B4 4

18 JAN 21



White Oaks

1/16" SITE PLAN

Bayside, Wisconsin

1111 W. WASHINGTON AVE.
 SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.224.1111
 FAX: 414.224.1112
 WWW.88ARCHITECTURE.COM



SITE STATISTICS

LOWER LEVEL AREA 27,026 SF
 FIRST FLOOR AREA 92,194 SF
 SECOND FLOOR AREA 28,201 SF
 THIRD FLOOR AREA 24,216 SF

TOTAL AREA 116,977

UNDERGROUND PARKING SPACES 62

FIRST FLOOR UNITS 11

SECOND FLOOR UNITS 22

THIRD FLOOR UNITS 23

TOTAL UNITS 56

- A12 11
- A23 20
- A3 5
- A4 2
- B1 3
- B2 2
- B3 11
- B4 4

18 JAN 21



1000 UNIVERSITY AVENUE
 SUITE 100
 MADISON, WISCONSIN 53706
 TEL: 608.261.1111
 WWW.ASARCHITECTURE.COM

White Oaks
 1/16" FIRST FLOOR PLAN
 Bayside, Wisconsin

AS ARCHITECTURE, INC. 1000 UNIVERSITY AVENUE, SUITE 100, MADISON, WISCONSIN 53706
 TEL: 608.261.1111 FAX: 608.261.1112
 WWW.ASARCHITECTURE.COM

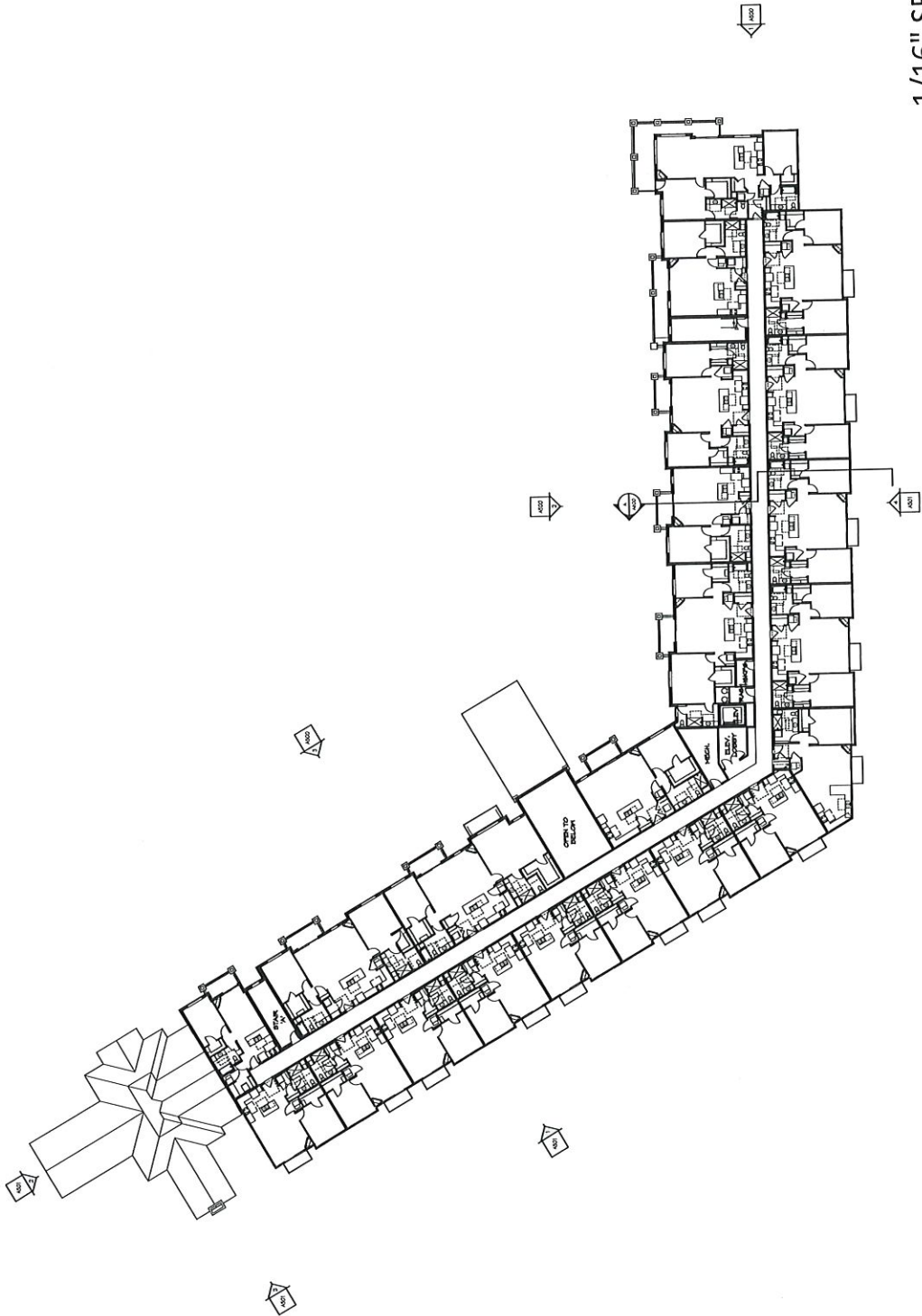
18 JAN 21



White Oaks

1/16" SECOND FLOOR PLAN

Bayside, Wisconsin



18 JAN 21



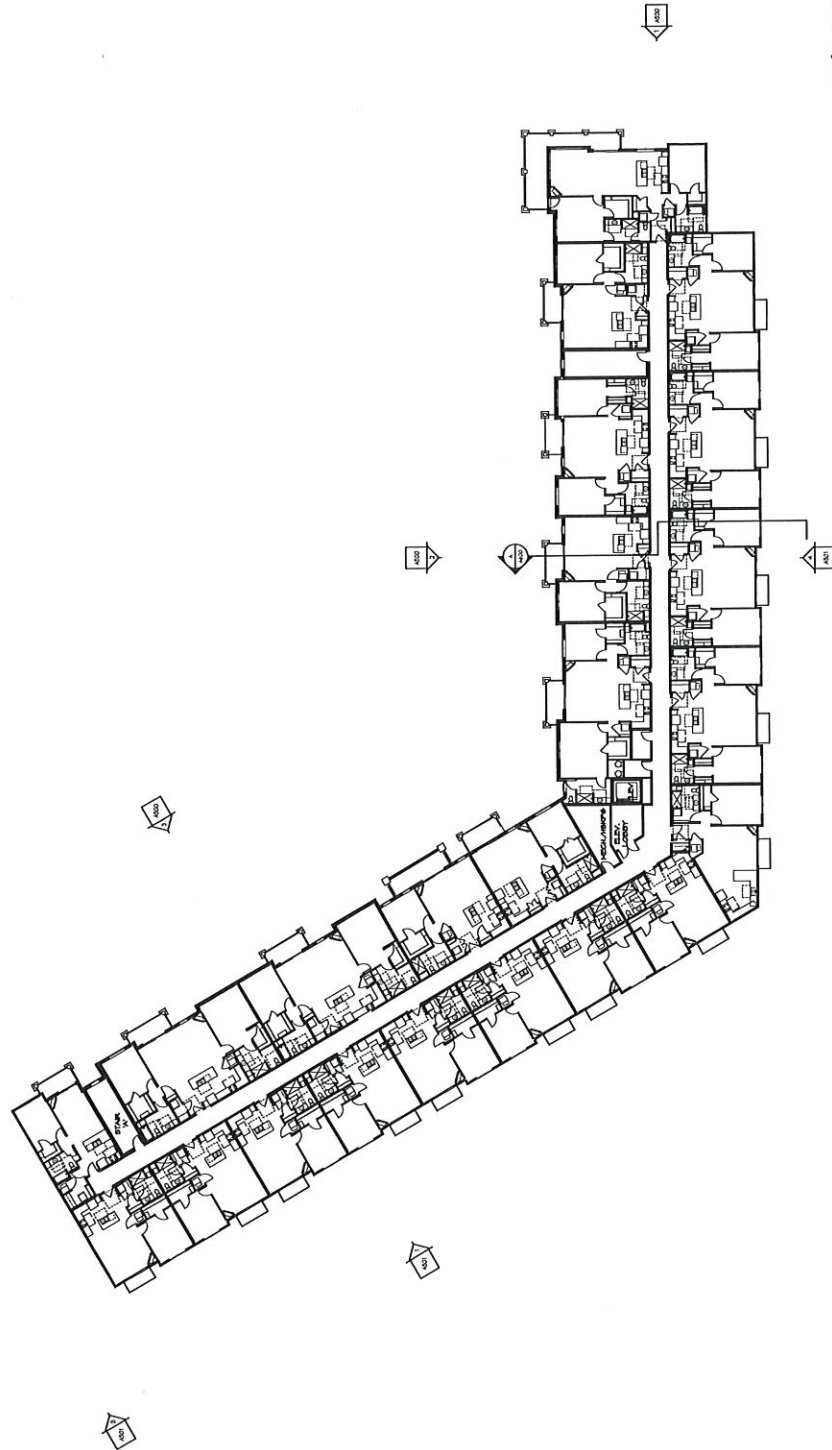
Architecture

1111 W. WISCONSIN ST. SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.C&BARCHITECTURE.COM

White Oaks

1/16" THIRD FLOOR PLAN

Bayside, Wisconsin



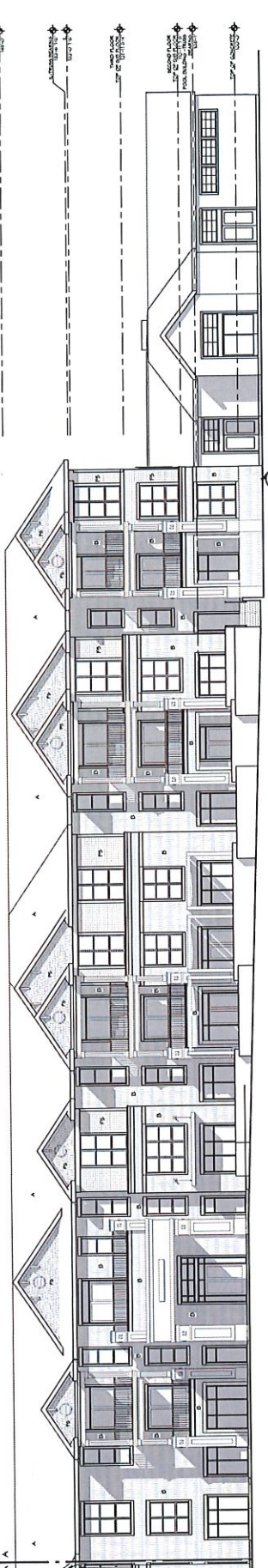


1000 UNIVERSITY AVENUE, SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.G2ARCHITECTURE.COM
G2 ARCHITECTURE
1000 UNIVERSITY AVENUE, SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.G2ARCHITECTURE.COM

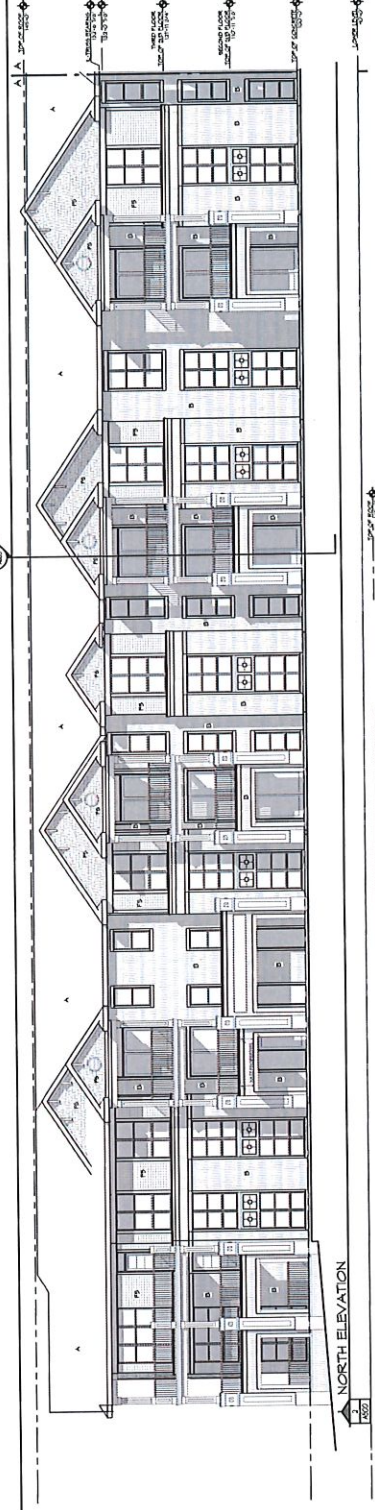
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

DATE: 11/11/21
PROJECT: WHITE OAKS APARTMENTS
SHEET: 101

1/8" EXTERIOR ELEVATIONS A.500



EAST ELEVATION



NORTH ELEVATION

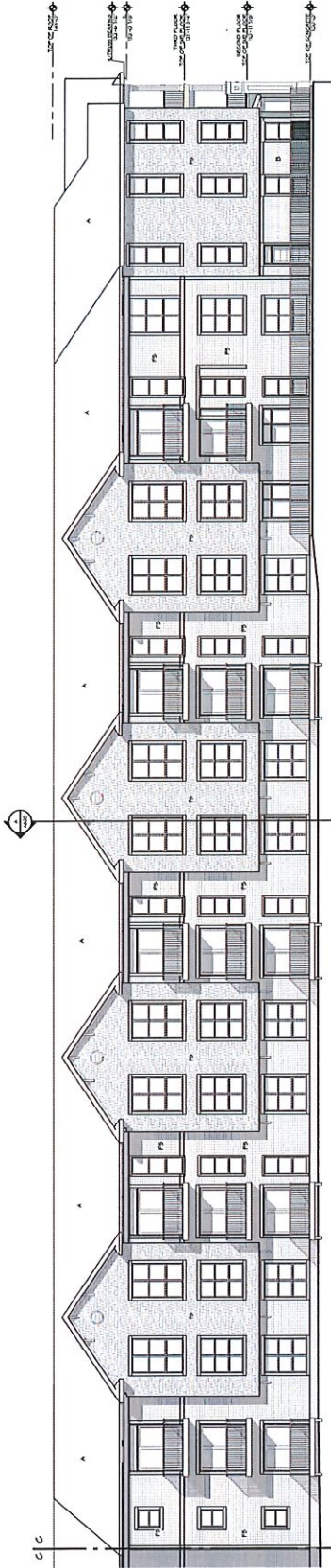


EAST ELEVATION

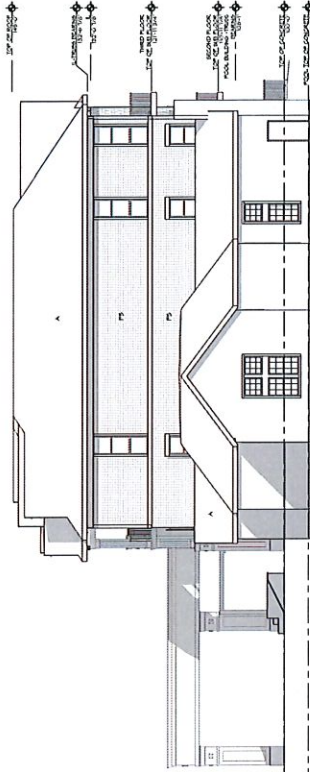
- EXTERIOR ELEVATION GENERAL NOTES**
1. INCLUDE CLADDING MATERIALS AND ALL CONNECTIONS FROM THE ELEVATION.
 2. MATERIALS, COLORS, AND FINISHES TO BE MATCHED TO THE ARCHITECTURAL RENDERING.
 3. UNITS AND DIMENSIONS ARE METRIC AND SHOWN IN MILLIMETERS.
 4. USE BEST JUDGMENT FOR FINISHES AND TREATMENT OF DETAILS.
- EXTERIOR ELEVATION MATERIALS**
- 1. STONED BRICK WALLS WITH METAL ROOF
 - 2. STONED BRICK WALLS WITH METAL ROOF
 - 3. STONED BRICK WALLS WITH METAL ROOF
 - 4. STONED BRICK WALLS WITH METAL ROOF
 - 5. STONED BRICK WALLS WITH METAL ROOF
 - 6. STONED BRICK WALLS WITH METAL ROOF
 - 7. STONED BRICK WALLS WITH METAL ROOF
 - 8. STONED BRICK WALLS WITH METAL ROOF
 - 9. STONED BRICK WALLS WITH METAL ROOF
 - 10. STONED BRICK WALLS WITH METAL ROOF



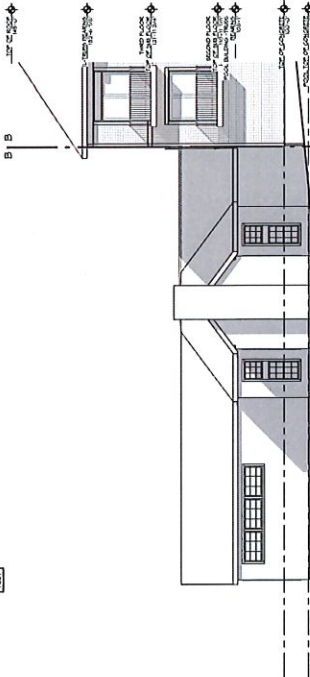
1111 UNIVERSITY AVE.
 MILWAUKEE, WI 53233
 TEL: 414.224.1111
 FAX: 414.224.1111
 WWW.AAARCHITECTURE.COM



WEST ELEVATION



NORTH ELEVATION



WEST ELEVATION (POOL BUILDING)



EAST ELEVATION

EXTERIOR ELEVATION GENERAL NOTES

1. FINISH TO CONCRETE EXPOSED BLOCK AT ALL CORNERS AND SPILL OUTS.
2. ALL CORNER, WINDOW, DOOR, ETC. TO BE FINISHED TO MATCH ADJACENT FINISH.
3. ALL CORNER, WINDOW, DOOR, ETC. TO BE FINISHED TO MATCH ADJACENT FINISH.
4. SEE NOTES FOR FINISH AND PERFORMANCE SCHEDULES.

- EXTERIOR ELEVATION MATERIALS**
- 1. FACE BRICK (SEE SCHEDULE)
 - 2. BRICK
 - 3. FACE CONCRETE (SEE SCHEDULE)
 - 4. FACE CONCRETE (SEE SCHEDULE)
 - 5. FACE CONCRETE (SEE SCHEDULE)
 - 6. FACE CONCRETE (SEE SCHEDULE)
 - 7. FACE CONCRETE (SEE SCHEDULE)
 - 8. FACE CONCRETE (SEE SCHEDULE)

SCHEMATIC DESIGN
 NOT FOR CONSTRUCTION

DATE: 11/13/13
 PROJECT: 13-001
 SHEET: 201301

1/8" EXTERIOR ELEVATIONS A501

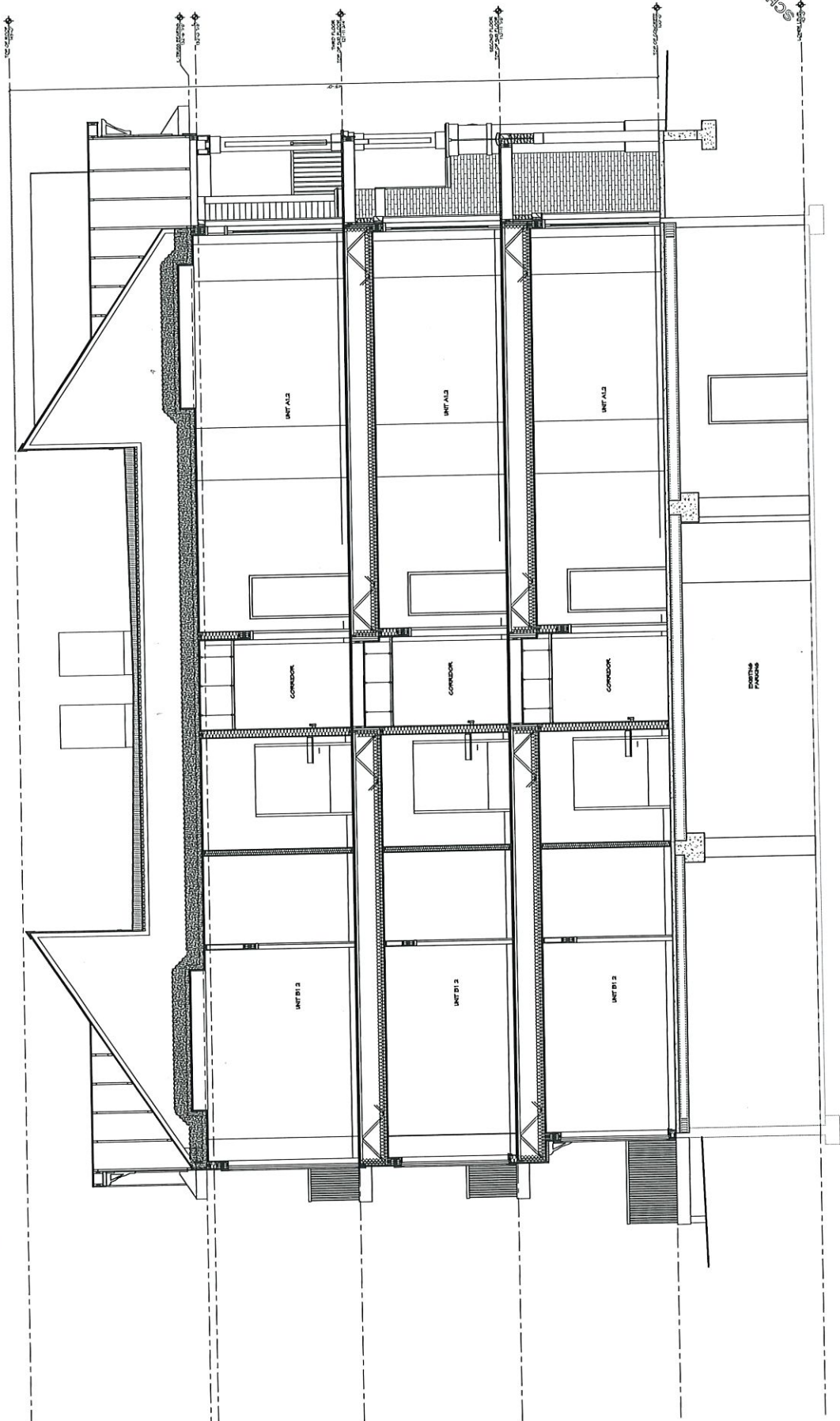


ARCHITECTURE
1000 W. WISCONSIN ST.
MILWAUKEE, WI 53233
TEL: 414.224.1234
FAX: 414.224.1235
WWW.APARCHITECTURE.COM
DATE: 12/15/11
DESCRIPTION: 3/8" BUILDING SECTION

SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

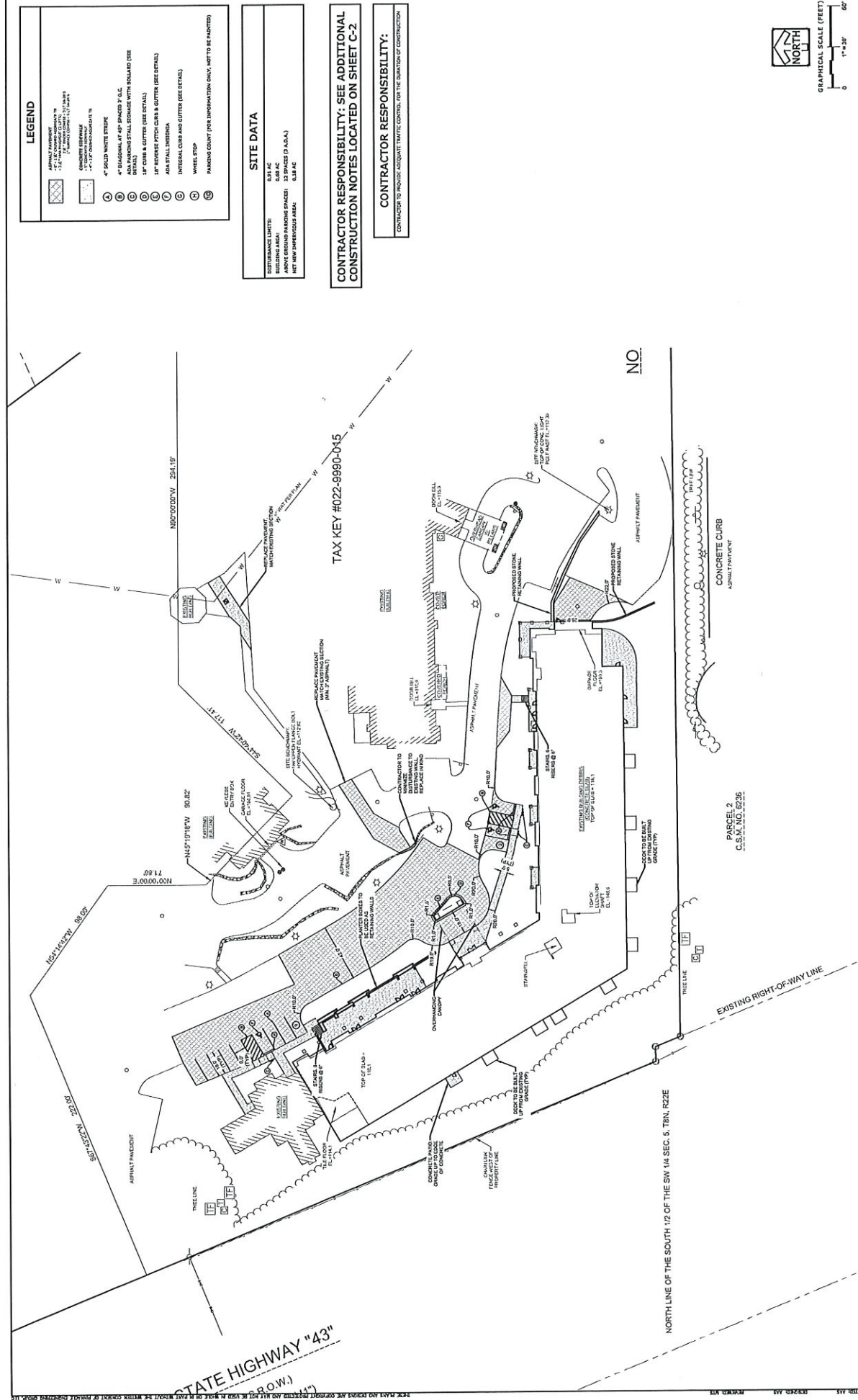
PROJECT: 1111111111
DATE: 12/15/11
DRAWN BY: J. SMITH
CHECKED BY: M. JONES

3/8" BUILDING SECTION A600



A BUILDING SECTION
A600

NOT TO SCALE
DATE: 12/15/11
DRAWN BY: J. SMITH
CHECKED BY: M. JONES



LEGEND

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 4" SOLID WHITE STRIPE
- 4" DIAGONAL 1/4" SPACED 3" O.C.
- ASPHALT PAVING STALL STRIPES WITH ROLLBACK USE
- 1/4" CURB & GUTTER (SEE DETAIL)
- 1/4" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
- ADA STALL INTERIOR
- INTERIOR CURB AND GUTTER (SEE DETAIL)
- WHEEL STOP
- PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA

DISTURBANCE LIMITS:	0.5 A.C.
RESIDUAL AREA:	0.8 A.C.
NEW PAVED AREAS:	0.8 A.C.
NEW IMPERVIOUS AREA:	0.8 A.C.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONTRACTOR RESPONSIBILITY:
CONTRACTOR TO PROVIDE ADEQUATE TRAFFIC CONTROL FOR THE DURATION OF CONSTRUCTION

REVISIONS

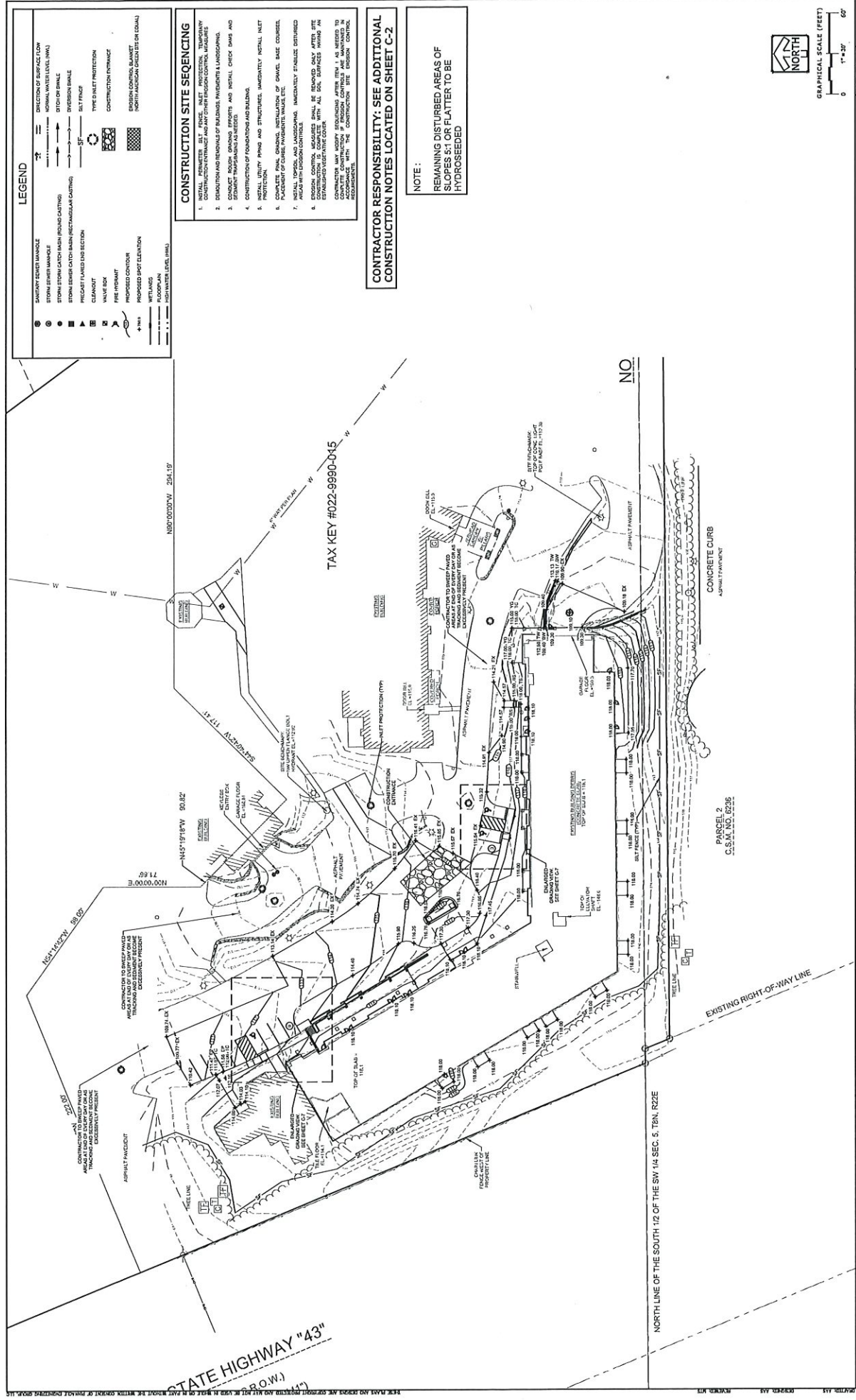
NO.	DATE	DESCRIPTION

SITE DIMENSIONAL AND PAVING PLAN

WHITE OAKS
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PINNACLE ENGINEERING GROUP
ENGINEERING | MATERIALS | SURVEYING

PLAN / DESIGN / DELIVER
C:\Projects\2020\0220-00-01\0200\0125\0125 SITE DIMENSIONAL & PAVING PLAN.DWG
2020 WASHINGTON STATE LICENSE NO. 0000000000
1000 1ST AVENUE, SUITE 200
SEASIDE, WA 98138
PH: 206.461.1000 FAX: 206.461.1001
WWW.PINNACLE-ENR.COM



LEGEND

●	SEWAGE TANK	→	DIRECTION OF SURFACE FLOW
○	STORM WATER TANK	→	NORMAL WATER LEVEL (NWL)
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	DITCH OR DRAIN
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	DIVERSION WALL
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	5% SLOPE
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	SILT FENCE
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	CONSTRUCTION ENTRANCE
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	EROSION CONTROL BLANKET
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	NORTH ARROW (GREEN IS 30' CONAL)
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	PROPOSED SPOT ELEVATION
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	WETLANDS
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	EXISTING ELEVATION
○	STORM WATER LATCH (MAIN RECTANGULAR CASTING)	→	100' WATER LEVEL (WAL)

- CONSTRUCTION SITE SEQUENCING**
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES.
 2. DEMOLITION AND REMOVAL OF BUILDINGS, INFRASTRUCTURE, LANDSCAPING.
 3. GRADING AND EROSION CONTROL MEASURES AND INSTALL CHECK DAMS AND CONSTRUCTION ENTRANCE.
 4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSE, ASPHALT DRIVEWAYS AND SIDEWALKS, IMMEDIATELY FINISHES DISTURBED AREAS WITH EROSION CONTROL.
 7. INSTALL TOPSOIL AND LANDSCAPING, IMMEDIATELY FINISHES DISTURBED AREAS WITH EROSION CONTROL.
 8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE STABILIZATION AND COVER WITH ALL SOIL SURFACES WITH AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR SHALL VERIFY EROSION CONTROL AFTER ITEM 1, AS NEEDED TO ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL MEASUREMENTS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDDED



REVISIONS

NO.	DESCRIPTION

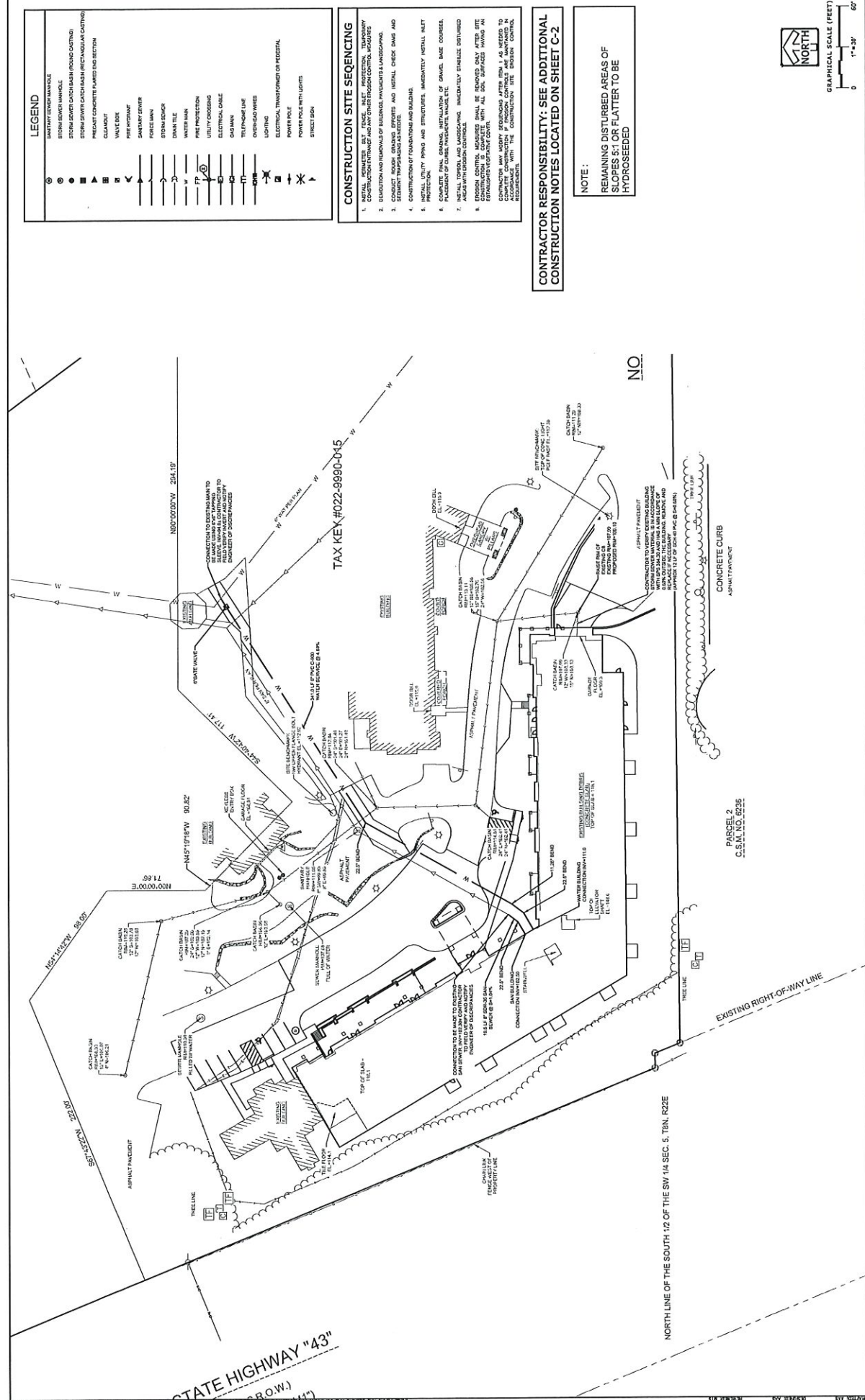
GRADING AND EROSION CONTROL PLAN

WHITE OAKS
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PLANNING DESIGN DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
2075 WILSON ROAD, SUITE 100
WILSON, WI 53190
TEL: 262-788-8888
WWW.PINNACLE-ENGR.COM

DATE: 08/14/2023
PROJECT: WHITE OAKS GRADING & UTILITY PROJECT



LEGEND

(Symbol)	EXISTING WATER MAIN
(Symbol)	EXISTING SEWER MAIN
(Symbol)	EXISTING GAS MAIN
(Symbol)	EXISTING ELECTRICAL MAIN
(Symbol)	EXISTING TELEPHONE LINE
(Symbol)	EXISTING CABLE MAIN
(Symbol)	EXISTING TELEPHONE POLE
(Symbol)	EXISTING STREET LIGHT
(Symbol)	EXISTING POWER POLE
(Symbol)	EXISTING STREET SIGN
(Symbol)	PROPOSED WATER MAIN
(Symbol)	PROPOSED SEWER MAIN
(Symbol)	PROPOSED GAS MAIN
(Symbol)	PROPOSED ELECTRICAL MAIN
(Symbol)	PROPOSED TELEPHONE LINE
(Symbol)	PROPOSED CABLE MAIN
(Symbol)	PROPOSED TELEPHONE POLE
(Symbol)	PROPOSED STREET LIGHT
(Symbol)	PROPOSED POWER POLE
(Symbol)	PROPOSED STREET SIGN

- CONSTRUCTION SITE SEQUENCING**
1. INSTALL PERMETER, EBT, FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
 2. EXCAVATION AND REMOVAL OF EXISTING UTILITIES & LANDSCAPING.
 3. EXCAVATION AND INSTALLATION OF NEW UTILITIES AND INLET CHECK DAMS AND SEWER TRENCHES AND MANHOLES.
 4. CONSTRUCTION OF FOUNDATIONS AND BUILDING PROTECTION.
 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, AND LANDSCAPING.
 7. INSTALL TOPSOIL AND LANDSCAPING, IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL.
 8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE GRADING IS COMPLETE AND ALL SOIL SURFACES HAVE BEEN REEVALUATED BY THE OWNER.
- CONTRACTOR MAY ADJUST SEQUENCING AFTER ITEM 1 AS NECESSARY TO ACCOMMODATE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEED



REVISIONS	NO.	DATE	DESCRIPTION

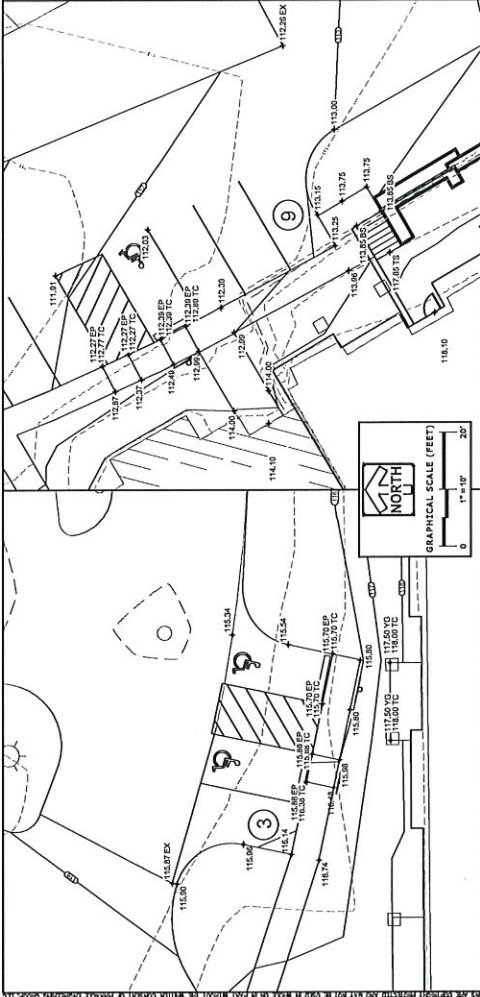
UTILITY PLAN

WHITE OAKS
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PINNACLE ENGINEERING GROUP
ENGINEERING NATIONAL RESOURCES CONSULTING

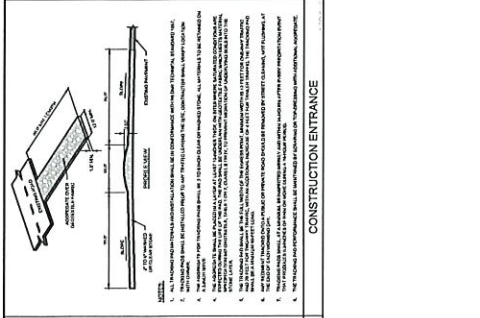
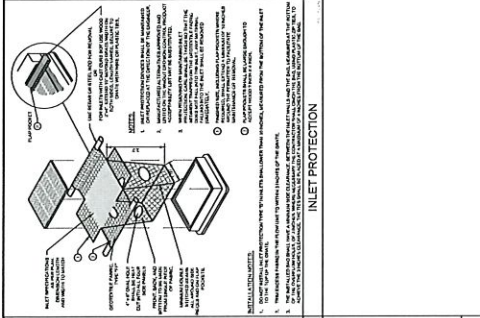
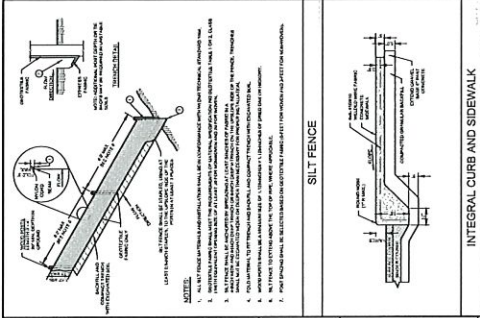
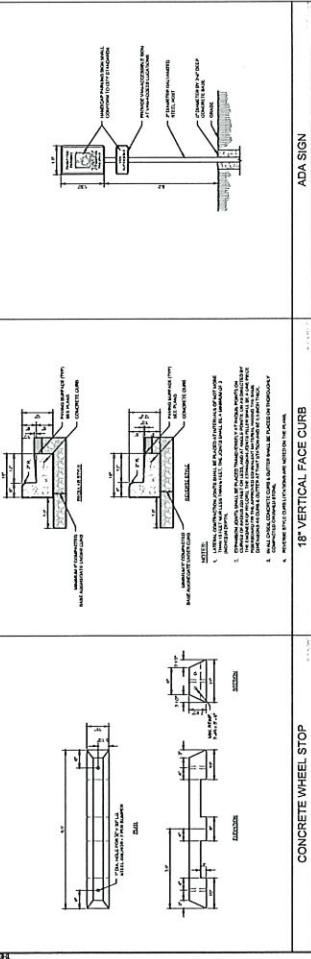
PLAN DESIGN / DELIVER
2020 WILSON ROAD, SUITE 100
MILWAUKEE, WI 53212
TEL: 414.771.8888
WWW.PINNACLE-ENR.COM

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ENLARGED GRADING VIEW

ENLARGED GRADING VIEW



NO.	DATE	BY	DESCRIPTION

CONSTRUCTION DETAILS

WHITE OAKS
9100 NORTH WHITE OAK LANE, BAYSIDE WI

PLAN DESIGN DELIVER
PINNACLE ENGINEERING GROUP
2025 WALTON ROAD, SUITE 100
DUBLIN, WI 53015
CONSTRUCTION DETAILS

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS CALLED FOR THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THE LAYOUT AND MAKE ANY NECESSARY ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED BY THE WRITING PROFESSIONAL. ALL PLANTING MATERIAL SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BINS STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE MONTHS PRIOR TO DELIVERY. ALL BINS STOCK SHALL BE NURSERY GROWN IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY WITHIN 200 MILES WITH A PROOF OF PRODUCTION AND A PROOF OF ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z601. ANS. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE SHALL BE REQUIRED TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFOLIATIONS.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL-BALANCED BRANCH SYSTEMS. MULTISTEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL-BALANCED BRANCH SYSTEMS.
- HEIGHT-TO-CANOPY RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE AND SHALL BE PROPORTIONATE TO THE SIZE OF THE TREE. ALL PLANTING MATERIAL SHALL BE AMERICAN ASSOCIATION OF NURSERIES AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BINS TREES SHALL BE DUG WITH A BALL OF SOIL NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED WITH BIODEGRADABLE MATERIAL. THE TREE ROOT FLARE OR COLLAR SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL PLANTING TREES MUST BE FREELY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FREELY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST AT TIME OF DELIVERY. TREES SHALL BE STAKED AND PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVAL BY THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL OF PLANTING HOLE AND WATER TRENCH THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MATTER. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO INSTALLATION.
- ALL TREES MUST BE TREATED FOR TWO LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH. AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY TRENCHING THE MULCH WITH A CLEAN DENRITION BETWEEN TURF AND PLANTING AREAS.
- AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 2" DEEP #1 CLEAR STONE MULCH. REFER TO DETAILS (7/14). CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND STONE MULCH. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEED OVERLAPPING A MINIMUM OF 6".
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENTS SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO RETAIN MOISTURE AND PROTECT THE SEED. MULCH SHALL BE INSTALLED PRIOR TO SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ERIGON CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING INSTALLATION. (SLOPES EXCEEDING 1:1, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE OWNERS RISK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.

WHITE OAKS

9100 NORTH WHITE OAK LANE, BAYSIDE WI

1 TREE PLANTING

1" = 1' 0"

REMOVE ALL EXISTING MULCH AND PLASTIC WRAP FROM AROUND THE ROOT BALL AND FOLD DOWN INTO PLANTING PIT. ROOT BALL ON UNCOMPACTED OR COMPACTED PESTICIDE TO PREVENT SETTLING.

2 EVERGREEN TREE PLANTING

1" = 1' 0"

REMOVE ALL EXISTING MULCH AND PLASTIC WRAP FROM AROUND THE ROOT BALL AND FOLD DOWN INTO PLANTING PIT. ROOT BALL ON UNCOMPACTED OR COMPACTED PESTICIDE TO PREVENT SETTLING.

3 SHRUB PLANTING

1" = 1' 0"

REMOVE ALL EXISTING MULCH AND PLASTIC WRAP FROM AROUND THE ROOT BALL AND FOLD DOWN INTO PLANTING PIT. ROOT BALL ON UNCOMPACTED OR COMPACTED PESTICIDE TO PREVENT SETTLING.

4 PERENNIAL PLANTING

1" = 1' 0"

5 PLANT SPACING

3/4" = 1' 0"

(*) = SPECIFIED PLANT SPACING PER PLANTING LIST

6 TRENCHED BED EDGE

3/4" = 1' 0"

7 STONE MULCH UNDER BALCONY

3/4" = 1' 0"

LANDSCAPE GENERAL NOTES & DETAILS

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PLANT DESIGN | DELIVER

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2022 LANDSCAPE GENERAL NOTES & DETAILS

ENGINEERING | INITIAL REVISIONS | SURVEYING | PHOTOGRAPHY | PLANTING

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