



Village of Bayside  
9075 N Regent Road  
Architectural Review Committee Meeting  
May 10, 2021  
Remote Teleconferencing, 6:00pm

**ARCHITECTURAL REVIEW COMMITTEE  
AGENDA**

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

**I. CALL TO ORDER AND ROLL CALL**

**II. APPROVAL OF MINUTES**

A. Approval of April 19, 2021 meeting minutes.

**III. BUSINESS**

A. **1440 E Fairy Chasm Road- Brett and Kathleen Bostrack** The proposed project is the installation of a 12'x12' wood storage shed along the eastern edge of the backyard. The shed will be painted to match the exterior color of the existing home.

Please review detailed plans [here](#).

B. **9508 N Sequoia Drive- Mitchell Ecker** The proposed project is the installation of a 280-foot metal fence in the backyard. The fence will be 4 feet tall and 25% open.

Please review detailed plans [here](#).

C. **9210 N Pelham Parkway- Jessica Lubar** The proposed project is the installation of a 276-foot fence in the backyard. The fence will be 6 feet tall.

Please review detailed plans [here](#).

D. **1460 E Bay Point Road- Darrell and Connie Oyer** The proposed project is the installation of a wrought iron fence in the front yard. The fence will be 5 feet tall and 25% open.

Please review detailed plans [here](#).

**IV. ADJOURNMENT**

Cassie Schmidt  
Deputy Clerk

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/86490077024?pwd=WDJEqnEzdVdiMXJFay9VTvFBZmRWdz09>

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 864 9007 7024, password 457235.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website ([www.baysidewi.gov](http://www.baysidewi.gov)).



**I. CALL TO ORDER**

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:00pm.

**II. ROLL CALL**

Chair: Marisa Roberts  
Members: Elizabeth Levins  
Dan Zitzer  
Tony Aiello  
John Krampf

Trustee Liaison: Mike Barth

Also Present: Deputy Clerk Cassie Schmidt  
Village Trustee Margaret Zitzer  
There were 3 people in the audience.

**III. APPROVAL OF MINUTES**

**A. Approval of March 15, 2021 meeting minutes.**

Motion by Trustee Barth, seconded by Tony Aiello, to approve the March 15, 2021 meeting minutes. Motion carried unanimously.

**IV. BUSINESS**

**A. 430 W Manor Circle – Susan Leslie**

Susan Leslie, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Ms. Leslie described the project as the installation of a 281-foot cedar fence that will be 6 feet tall and will enclose the backyard. The fence will weather naturally, and there will be 2 gates. Approximately 20-25 feet of the fence will be solid, and the rest will be 25% open.

Motion by Trustee Barth, seconded by Tony Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

**B. 9433 N Fairway Drive – Thomas and Kristine Houck**

Thomas Houck, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Houck described the project as the installation of a 151-foot cedar fence to surround the backyard patio. The fence will be 25% open, 4 feet tall, and have dog eared tops.

Motion by Tony Aiello, seconded by Elizabeth Levins, to approve the project as described and presented in the application. Motion carried unanimously.

**C. 8845 N Iroquois Road – Daniel Reesman**

Daniel Reesman, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Reesman described the project as the installation of a 143-foot red cedar fence in the backyard. The fence will be 25% open and 6 feet tall. There will be an approximate 3-foot space between his fence and the neighbor's fence, and there will not be any gates.

Motion by Tony Aiello, seconded by Elizabeth Levins, to approve the project as described and presented in the application. Motion carried unanimously.

**V. ADJOURNMENT**

Motion by Chairperson Roberts, seconded by Tony Aiello, to adjourn the meeting at 6:26pm. Motion carried unanimously.

Respectfully submitted,

Cassie Schmidt  
Deputy Clerk

## Project Proposal

Date April 22, 2021

Property Address 1440 E Fairy Chasm Rd

Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input type="checkbox"/> Decks/Patios<br><input type="checkbox"/> Fence<br><input type="checkbox"/> Fire Pits<br><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction<br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors-change exceeds 25% of opening<br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

We would like to construct a 12' x 12' wood storage shed along the eastern edge of our back yard.

We intend to purchase a shed kit through Home Depot with pre-built and pre-cut components

The shed will be painted to match the exterior color of our home. Details & specs attached.

\*\*\*\*\* **For Office Use Only** \*\*\*\*\*

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

4/27/2021

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Brett Bostrck</p> <p>PROJECT ADDRESS: 1440 E Fairy Chasm</p>	<p>PROJECT SUMMARY: New wood shed, 12' x 12' in rear yard. Shed finish materials will match existing house.</p>
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Shed location complies with setback requirements.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**NEW SHED LOCATION COMPLIES WITH VILLAGE CODE.**

**Tod Doebler**  
Building Inspector  
tdoebler@safebuilt.com

# Picture of Proposed Shed

#1 Home Improvement Retailer

You're shopping South Loop **CLOSED** until 8 am

Delivering to 60807

What can we help you find today?


Store Finder Truck & Tool Rental For the Pro Gift Cards Credit Services Track Order Help

My Account Lists Cart | 0 items

All Departments Home Decor, Furniture & Kitchenware DIY Projects & Ideas Project Calculators Installation & Services Specials & Offers Local Ad

Home / Storage & Organization / Sheds, Garages & Outdoor Storage / Outdoor Storage / Sheds / Wood Sheds

Internet #202545107 Model #mansfield\_1212



Hover Image to Zoom

Mansfield 12 ft. x 12 ft. Wood Storage Shed Kit

by Best Barns (Brand Rating: 3.9/5)

★★★★☆ (1) Write the First Review Questions & Answers (16)

- Pre-built doors and pre-cut components provides ease of assembly
- Optionally purchase windows for light and ventilation
- Ready to paint any color, purchase shingles to match your home
- See More Details




**\$2736<sup>58</sup>**

OR

**\$457<sup>00</sup>** per month\* suggested payments with 6 months\* financing on this \$2736.58 purchase\*

Apply for a Home Depot Consumer Card

How to Get It Delivering to: 60807 | Change

 <b>Ship to Store</b> Pickup May 19 - May 24 <b>FREE</b>	 <b>Ship to Home</b> Expect it May 24 - May 27 Standard Delivery	 <b>Scheduled Delivery</b> Not available for this item
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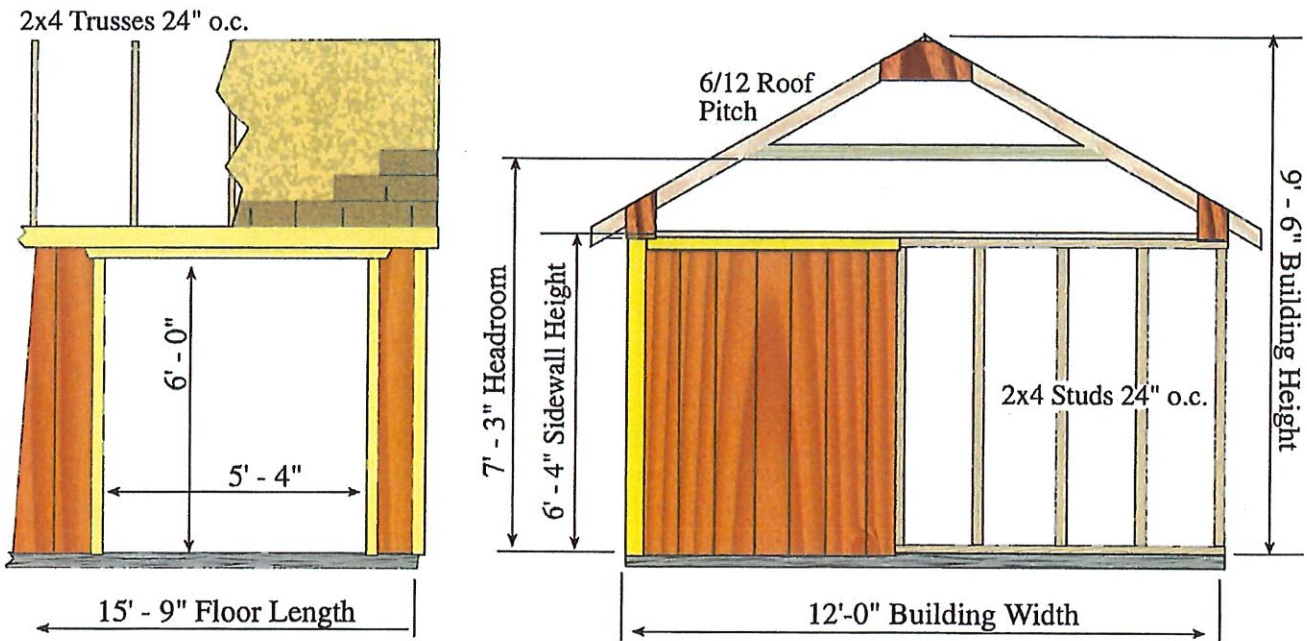
We'll send up to 10 to South Loop for free pickup  
Curbside pickup available.  
Change Store



Before you order our kit or begin construction, obtain a building permit. The information below and the attached truss drawing should provide the information you will need.

If additional documents are required contact Richard@barnkits.com.

## MANSFIELD ELEVATION



### GENERAL SPECIFICATIONS

**Foundation:** By owner

**Wall Framing:** Constructed from 2x4 pre-cut wall studs spaced 24" on center between top and bottom plates.

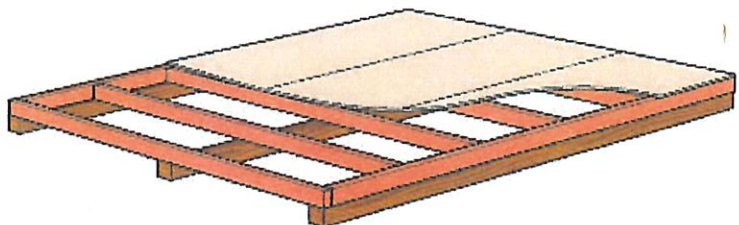
**Siding:** Louisiana-Pacific 'Smart Panel' primed 8" o.c. groove with 50 year warranty, 5 year labor replacement

**Roof System:** 2x4 trusses spaced 24" on center, (40 psf ground snow load, 90 mph wind load). 7/16" OSB roof sheathing. *Shingles by owner.*

**Exterior Trim:** White pine trim for corners, door, gable trim and sidewall fascia.

**Hardware:** Nails for all framing, metal hurricane hangers for trusses and door hardware.

**Optional Floor:** 2x4 treated floor joist spaced 16" on center covered with 5/8" structurwood, installed over 4x4 treated runners. Note: 12' wide floors have four (4) treated runners. Nails are included. Material is not pre-cut.







12300 Ford Rd  
Suite 110  
Dallas, TX, 75234  
1-800-521-3245  
fax 972-888-9966

www.eaglemetal.com

To Whom It May Concern:

The attached truss design drawings referenced below have been prepared by me or under my direct supervision based on the design parameters provided by **Reynolds Building Systems** and are assumed to be in accordance with the appropriate building code.

Any changes to these parameters and/or information provided on the original truss drawing voids the affected sealed truss drawing and new information shall be submitted to this office for additional review.

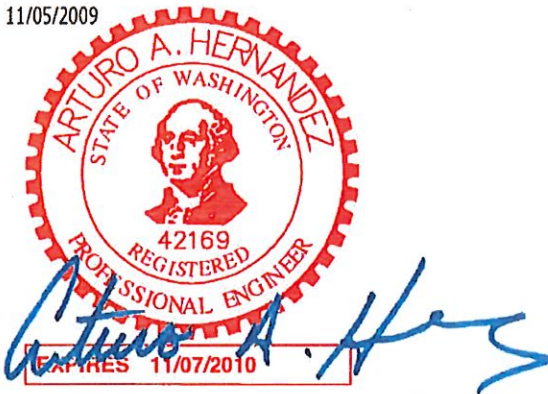
Listed below are the truss designs included in this package and covered by this seal.

Job Name: **RBS JRENAOLD R14C WA 1.pdf** - 1008223

R14R

Please refer to individual truss designs for specific loading and design criteria.

11/05/2009

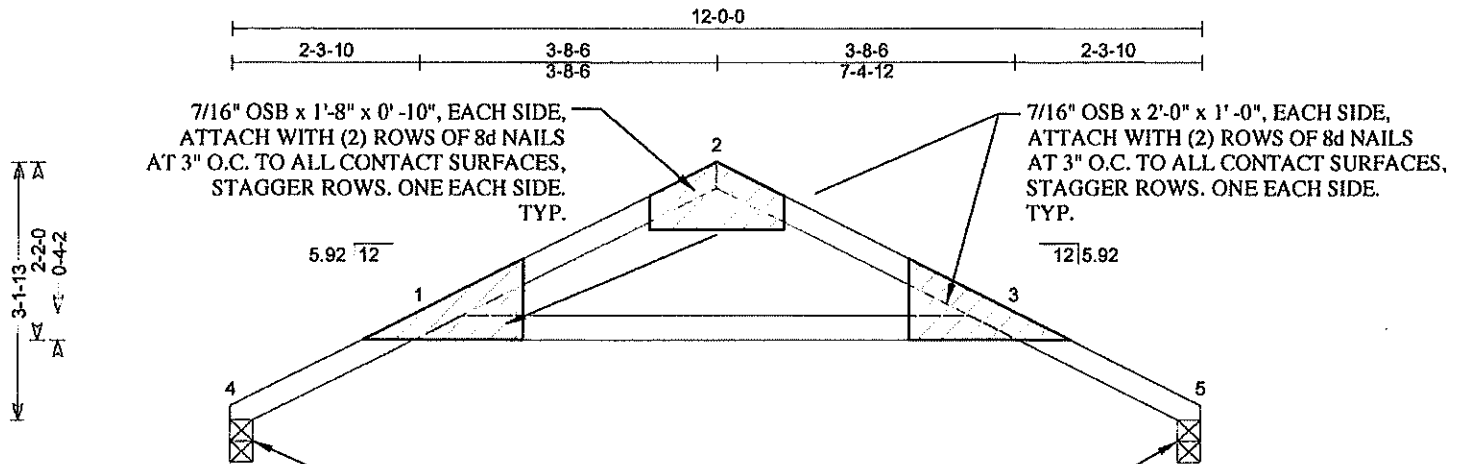


Arturo A. Hernandez  
(WA, 42169)

My license renewal date for the state of WA is 11-07-2010

The seal on these drawings indicates acceptance of professional engineering responsibility solely for the truss components shown. It is the responsibility of the building designer as to the suitability for use of each truss listed above.

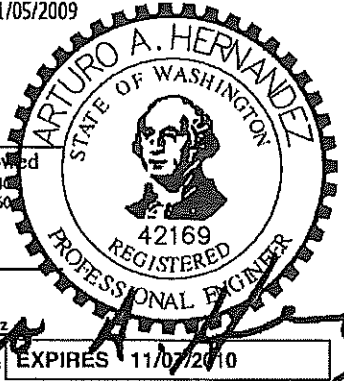
SPAN 7-4-12	PITCH 5.92/12	QTY 1	OHL 2-3-10	OHR 2-3-10	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 24 in	WGT/PLY 23 lbs
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IF TRUSSES ARE PLACED AT 16" O.C., THE SNOW LOAD CAN BE INCREASED TO 60 PSF.  
IF TRUSSES ARE PLACED AT 12" O.C., THE SNOW LOAD CAN BE INCREASED TO 90 PSF.

**TYPICAL AT (2) BEARING LOCATIONS:**  
\*\* PROVIDE CONNECTION TO RESIST THE FOLLOWING LOADS AND FORCES:  
VERTICAL REACTION - 700 lb  
VERTICAL UPLIFT - 450 lb  
HORIZONTAL THRUST - 1200 lb

11/05/2009



Loading	General	CSI Summary	Deflection	L/	(loc)	Allowed
Load (psf) TCLL: 40 TCDL: 7 BCCL: 0 BCDL: 10	Bldg Code: IBC 2003/ TPI 1-2002 Rep Mbr Increase No D.O.L.: 115%	TC: 0.87 (1-2) BC: 0.60 (3-1) Web: 0.00 (1)	Vert TL: 0.21 in Vert LL: 0.02 in Horz TL: 0 in	L/663 L/999	(3-1) (3-1)	L/240 L/360

Reaction Summary										
JT	Type	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
4	Pin (Wall)	I	3.313 in	1.50 in	698 lbs	.	-147 lbs	-441 lbs	-441 lbs	668 lbs
5	Pin (Wall)	I	3.313 in	1.50 in	698 lbs	.	-147 lbs	-441 lbs	-441 lbs	668 lbs

Material Summary		Bracing Summary	
TC	SPF #2 2 x 4	TC Bracing:	Sheathed or Purlins at 3-5-0. Purlin design by Others.
BC	SPF #2 2 x 4	BC Bracing:	Sheathed or Purlins at 5-4-0. Purlin design by Others.
Webs			

- Loads Summary**
- This truss has been designed for the effects of wind loads in accordance with ASCE7 - 02 with the following user defined input: 90 mph, Exposure C, Enclosed, Gable/Hip, Building Category II (I = 1.00), h=B=L=15 ft, End Zone Truss, Both end webs considered, DOL = 1.60
  - This truss has been designed for the effects of balanced and unbalanced snow loads for hips/gables in accordance with ASCE7 - 02 except as noted, with the following user defined input: 40 psf ground snow load. NOTE: Conservatively, all flat/sloped roof factors have been ignored and the ground snow load has been used for the roof snow load, DOL = 1.15. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
  - This truss has been designed to account for the effects of ice dams forming at the eaves.
  - This truss has been designed for the effects of a 18.1 psf live load computed in accordance with IBC 2003 assuming slope = 5.92/12 and area supported = 24 ft<sup>2</sup>.
  - Minimum storage attic loading has been applied in accordance with IBC 1607.1

Member Forces Summary						
Table indicates: Member ID, max CSI, max axial force, (max compr. force if different from max axial force)						
TC	1-1	0.847	-1,340 lbs	1-2	0.8/8	-869 lbs
BC	3-1	0.59%	-1,171 lbs	2-3	0.8/8	-869 lbs
Webs		3-5	0.8/7	-1,340 lbs		

- Notes:**
- When this truss has been chosen for quality assurance inspection, the Effective Tooth Count Method per TPI 1-2002/A3.4 shall be used.
  - Brace bottom chord with approved sheathing.
  - Multiple pinned bearings exist.

**UNIQUE BEARING CONDITIONS AT JOINTS 4 & 5 REQUIRE SPECIAL ATTENTION**  
THE BUILDING DESIGNER MUST ACCOUNT FOR NOT ONLY THE BEARING REACTION BUT FOR THE HORIZONTAL THRUST AND THE UPLIFT. PROVIDE MECHANICAL CONNECTION (BY OTHERS) TO RESIST SAID FORCES SHOWN HEREON. THRUST = 1180lb/TRUSS

A copy of this design shall be furnished to the erection contractor. This design is for an individual building component (a truss). It is based on specifications provided by the Truss Designer and performed in accordance with TPI-1-2002 and the 2001 NDS design standard. No responsibility is assumed for the accuracy of information provided by the Truss Designer. Dimensions shall be verified by building designer. Creep deflection is not automatically accounted for by the software. The building designer shall review loading, truss configuration and initial deflection data shown to ensure that this design meets or exceeds minimum loading required by applicable building codes. Compression chords shall be laterally braced by the roof or floor sheathing, directly attached, unless otherwise noted. Bracing shown is for lateral support of individual truss components only to reduce buckling length. It is not wind or lateral load bracing or overall building design bracing which is by others. Refer to IBC 1607.1 recommended truss handling and erection. Do not apply loads beyond weight of erection until all permanent bracing is in place. Concentration of construction loads greater than the design loads shall not be applied to the trusses at any time. Trusses to be handled with care prior to erection to avoid damage. Lumber moisture content shall be 19% or less at the time of fabrication, unless noted otherwise (1" N.C.). Connector plates shall be manufactured by Eagle Metal Products (EISR-1082). Plates shall be applied on both faces of truss at each joint. Plate dimensions are listed with x length. Slots (holes) in plate shall run parallel to the plate length. The plate shall be centered on joint and re placed in accordance with the current version of TPI assumes adequate anchorage will be provided to resist uplift at supports. The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any particular building design is the responsibility of the building designer, per ANSI TPI 1-2002 Chapter 2.

Eagle Metal Products  
2711 EBJ Freeway, Suite 160  
Dallas, Texas 75234

Picture of Proposed shed  
Location



# Picture of Proposed Shed Location



Picture of Proposed Shed  
Location



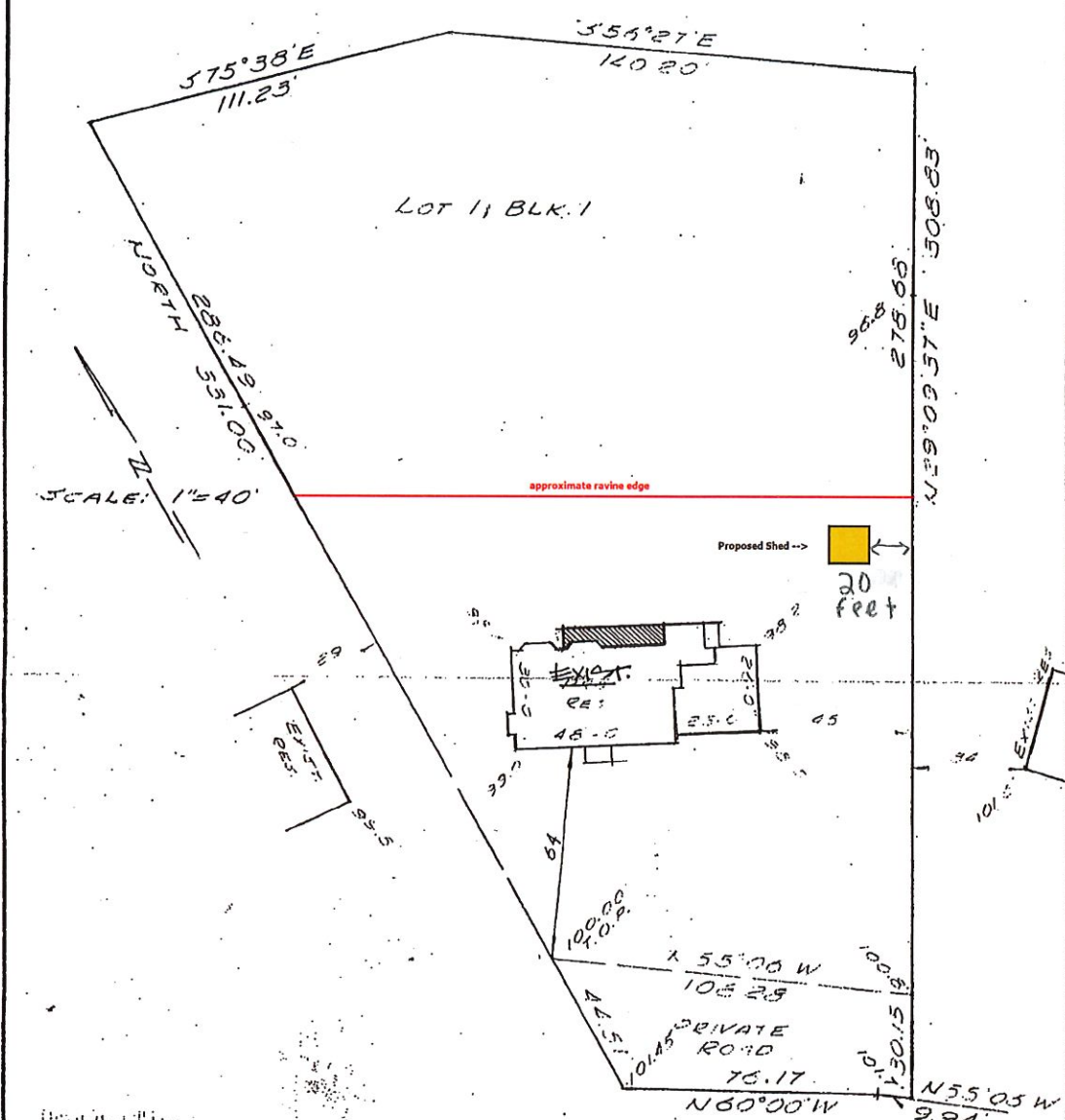
BAUDHUIN & ASSOCIATES

PROFESSIONAL ENGINEERS AND SURVEYORS  
MENOMONEE FALLS, WISCONSIN

PHONE 251-1260

BOX 805

PLAT OF SURVEY



DESCRIPTION:  
 All of lot 11, Blk. 1, Gayside Estates, being a subdivision of government lot 1, in the S. 1/4 of the S. 1/4 of Sec. 4, T.34N., R. 21E., in the village of Gayside, Milwaukee County, Wisconsin.

STATE OF WISCONSIN ) SS.  
 COUNTY OF WAUKESHA )

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON IS A TRUE REPRESENTATION THEREOF, AND CORRECTLY SHOWS THE EXTERIOR BOUNDARY LINES AND LOCATION OF BUILDINGS AND OTHER IMPROVEMENTS ON SAID PROPERTY AND THE CORRECT MEASUREMENTS THEREOF.

DATED THIS 27th DAY OF APRIL, 1967  
 RESTAKED Aug. 30-67 SURVEYOR

JOB NO. 4365

# Project Proposal

Date 04/16/2021

Property Address 9508 N Sequoia Dr

Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input type="checkbox"/> Decks/Patios<br><input checked="" type="checkbox"/> Fence<br><br><input type="checkbox"/> Fire Pits<br><br><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction<br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors-change exceeds 25% of opening<br><br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

**Installation of metal paneling fence that is a no-dig construction for the backyard of our property. Metal panels will be 4ft in height and a total of apx. 280 linear feet.**

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

04/27/2021

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p><b>PROJECT/SITE OWNER:</b> Mitchell Ecker</p> <p><b>PROJECT ADDRESS:</b> 9508 N Sequoia Dr.</p>	<p><b>PROJECT SUMMARY:</b> New fence 280 feet 4-foot appears to be a black metal fence from photos provided</p>
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**VILLAGE CODE REVIEW**

**LENGTH AND FENCE TYPE:**

Proposed length 280' is approximately 30% of the total property perimeter length of approximately 923'.  
Per the code section copied below a 25% open fence is required.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

**PROPOSED FENCE LENGTHS / TYPES COMPLY**

**HEIGHT:**

**PROPOSED HEIGHT IS COMPLIANT**

**MATERIAL / FINISH:**

**Metal black finish**

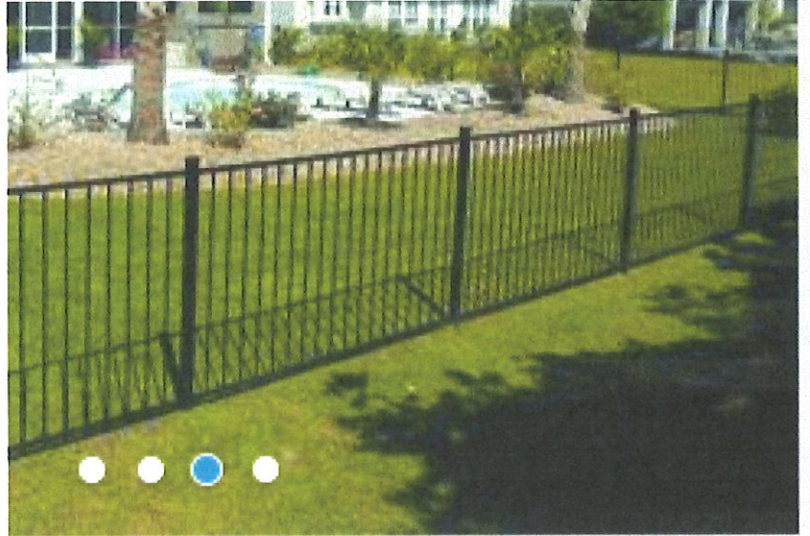
**Tod Doebler**

Building Inspector  
262-957-7414  
tdoebler@safebuilt.com



Style of fence:

4ft tall  
Metal



Location of fence outlined in red:



Picture of Proposed  
Fence Location



Picture of Proposed Fence  
Location



Picture of Proposed Fence  
Location



Picture of Proposed Fence  
Location





# Project Proposal

Date \_\_\_\_\_

Property Address 1460 E. BAY POINT RD.

Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input type="checkbox"/> Decks/Patios<br><input checked="" type="checkbox"/> Fence<br><input type="checkbox"/> Fire Pits<br><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction<br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors-change exceeds 25% of opening<br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Wrought iron fence, 5 feet high, 25% open.  
Fence will run slightly in from easement line at  
the front of the property.

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
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<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

04/27/2021

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Darrell Oyer</p> <p>PROJECT ADDRESS: 1460 E. Bay Point Rd.</p>	<p>PROJECT SUMMARY: New fence. appears to be 157' Aluminum wrought iron style, black in color</p>
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### VILLAGE CODE REVIEW

#### **LENGTH AND FENCE TYPE:**

Proposed length unclear about 157' is approximately 9% of the total property perimeter length of approximately 1,882'. Per the code section copied below a 25% open fence is required.

Village code section 104-125 (j) *Fence height*. The height of a fence shall be measured from average existing grade of the property. Therefore, if a fence is constructed on a manmade hill or berm, it shall be reduced in height to compensate for the height of the berm or hill to avoid exceeding the overall fence height. Fences constructed behind the rear elevation of the home or behind the forward most point of the adjacent structures shall not exceed six feet in height except when adjacent to an active railroad property, state or county highway, or commercial parking lot property, in which case it shall not exceed eight feet. Fences immediately adjacent to interstate highways may exceed these height limits but may not exceed height restrictions imposed by county, state or federal authorities. Fences constructed within the front yard of a home shall not exceed three feet in height. Ornamental posts protruding less than one foot above the measured average height of a fence may be permitted provided they are at least six feet apart, or are otherwise granted exception for closer proximity by the architectural review committee (which exception shall be subject to a two-thirds vote). In all other cases, fences shall be measured to their highest point (including posts) in determining compliance with height restrictions.

### **PROPOSED FENCE LENGTHS / TYPES COMPLY**

#### **HEIGHT:**

#### **PROPOSED HEIGHT IS NON COMPLIANT**

Fences constructed within the front yard of a home shall not exceed three feet in height

#### **MATERIAL / FINISH:**

Aluminum in wrought iron black metal.

**Black metal requires ARC approval.**

**Tod Doebler**

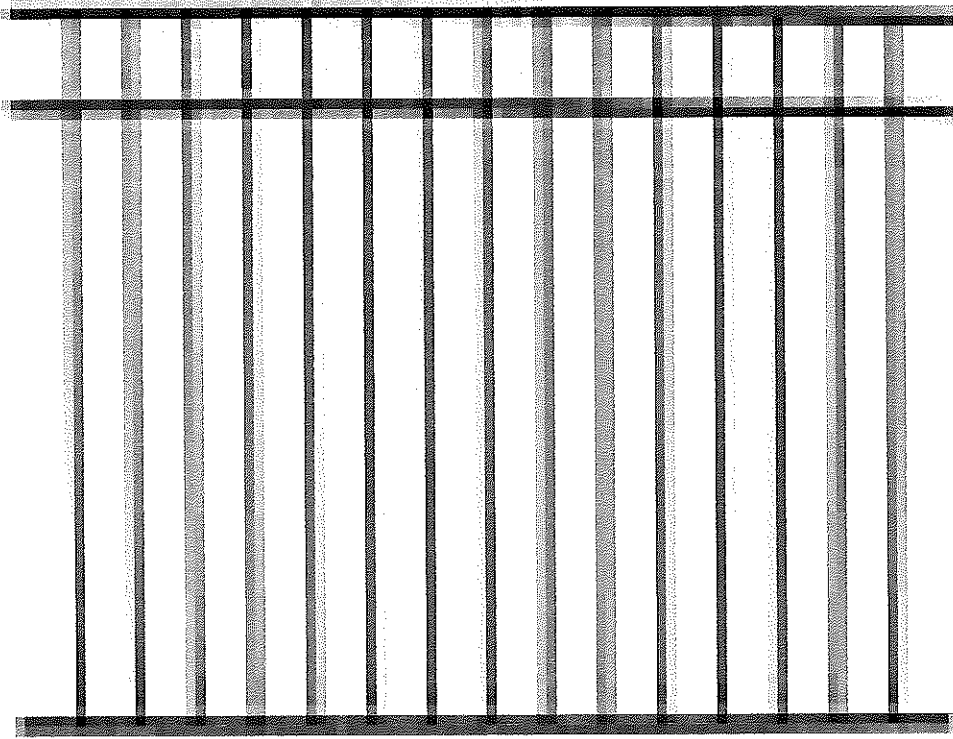
Plans Examiner

262-957-7414

tdoebler@safebuilt.com



Proposed Fence. will be 5 ft tall

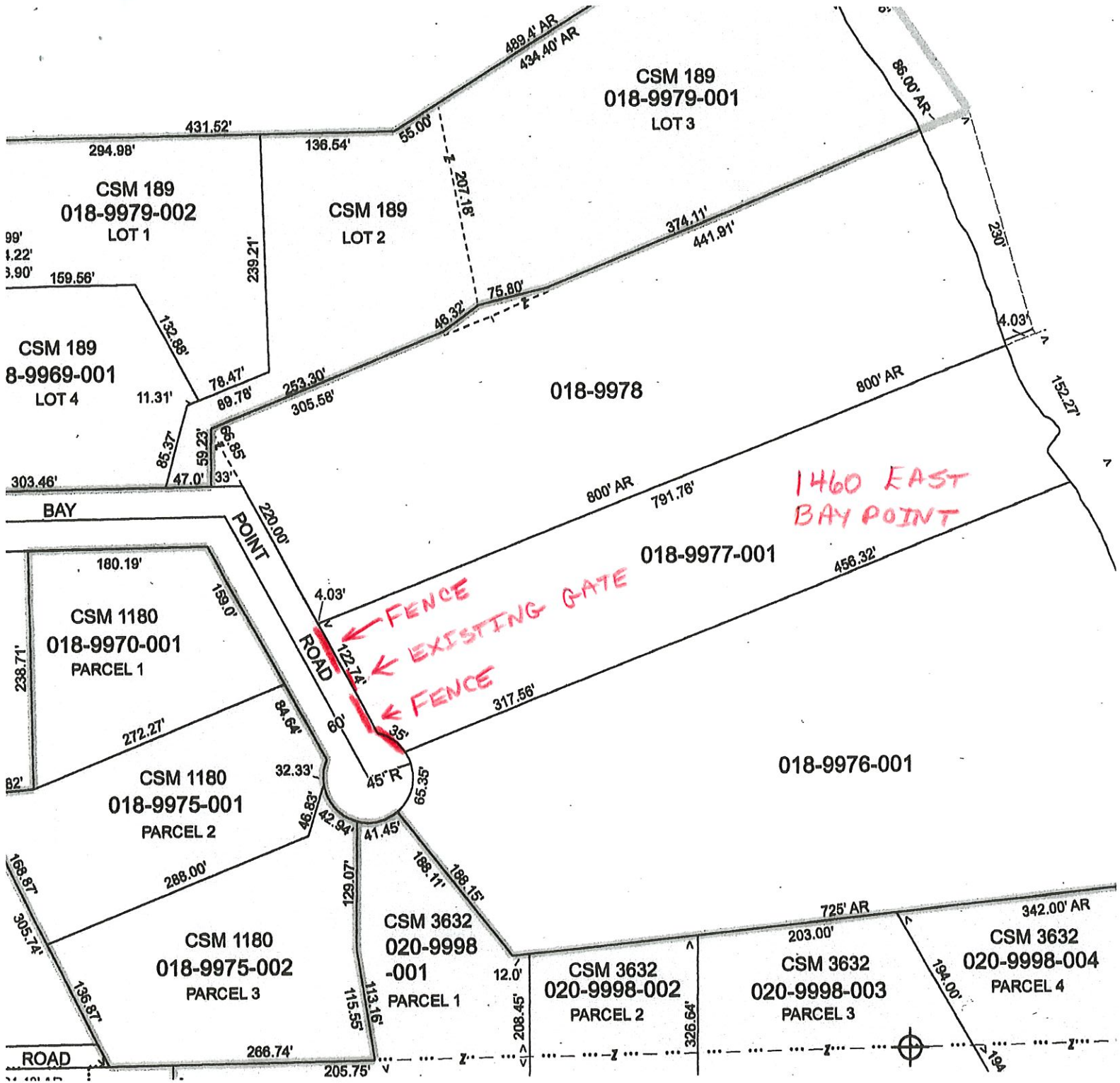


Picture of Proposed Fence  
Location



Picture of Proposed Fence  
Location





**MAP PREPARED BY:**  
 kee County Register of Deeds  
 Tax Listing Section

# Project Proposal

Date as soon as able after permit received

Property Address 9210 N Pelham Pkwy

Zoning \_\_\_\_\_

- |  |  |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators<br><input type="checkbox"/> Additions/Remodel<br><input type="checkbox"/> Bluff Management<br><input type="checkbox"/> Commercial Signage<br><input type="checkbox"/> Decks/Patios<br><input checked="" type="checkbox"/> Fence<br><br><input type="checkbox"/> Fire Pits<br><br><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction<br><input type="checkbox"/> Play Structures<br><input type="checkbox"/> Recreational Facilities/Courts<br><input type="checkbox"/> Roofs<br><input type="checkbox"/> Solar Panels/Skylights<br><input type="checkbox"/> Swimming Pools<br><input type="checkbox"/> Windows/Doors-change exceeds 25% of opening<br><input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

See attached quote and drawing

276' fence, 6 ft tall, pinewood treated

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

04/27/2021

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Jessica Lubar</p> <p>PROJECT ADDRESS: 9210 N Pelham Pkwy</p>	<p>PROJECT SUMMARY: New fence 276 feet 6 inches 6 foot pinewood treated fence horizontal fence with gaps</p>
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## **VILLAGE CODE REVIEW**

### **LENGTH AND FENCE TYPE:**

Proposed length unclear about 276' is approximately 46% of the total property perimeter length of approximately 600'. Per the code section copied below a 25% open fence is required, with the information provide, **I cannot determine if the proposed fence in compliant with the code section**

Village code section 104-125: (k)

*Fence type.* Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

## **PROPOSED FENCE LENGTHS / TYPES COMPLY**

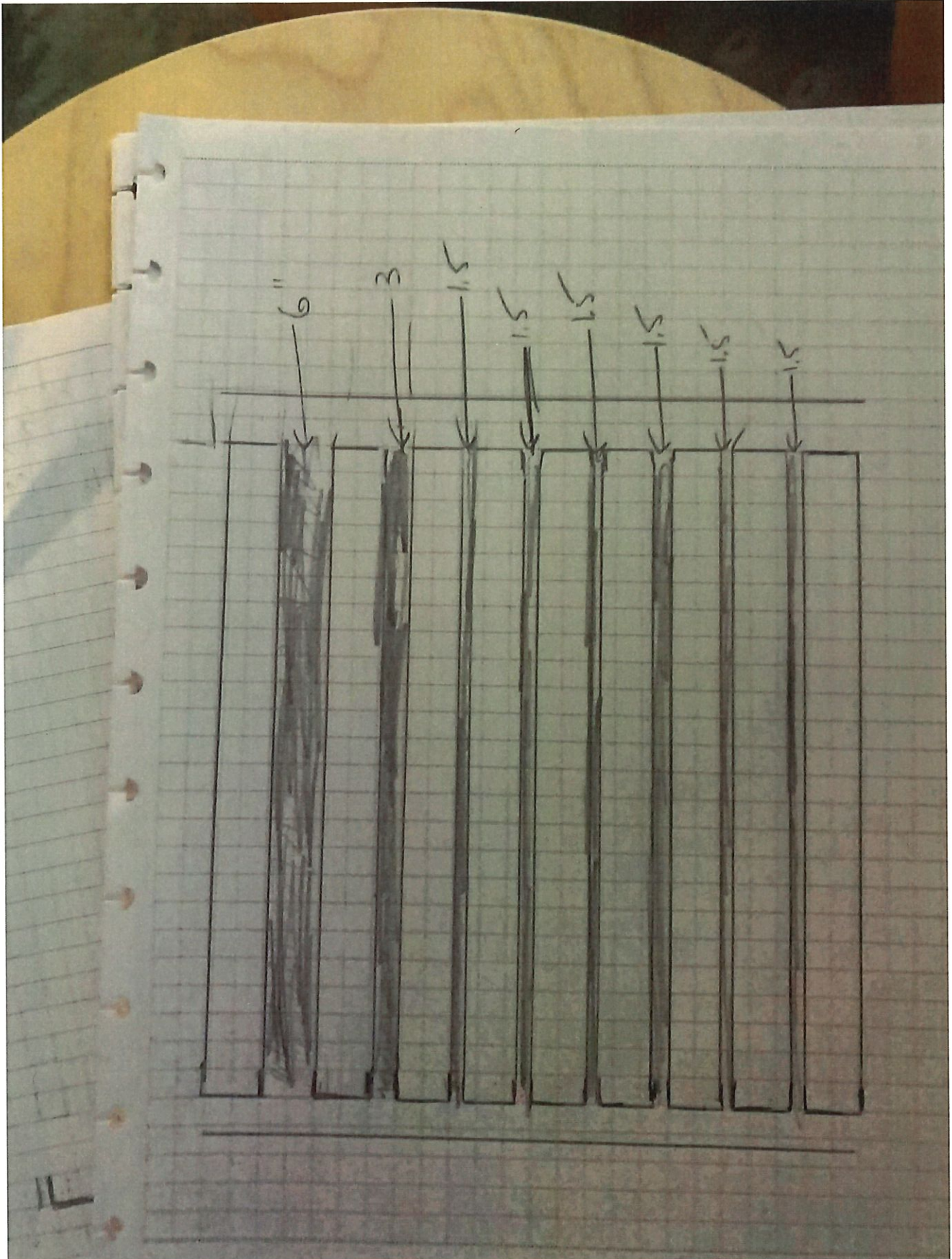
### **HEIGHT:**

**PROPOSED HEIGHT IS COMPLIANT**

### **MATERIAL / FINISH:**

**Pinewood treated**

**Tod Doebler**  
Building Inspector  
262-957-7414  
tdoebler@safebuilt.com



1. 70' solid horizontal fence on South side
2. 20' solid horizontal fence on west side
3. Remaining fence to be as follows from the ground as reflected in the attached drawing:

6" plank  
1.5" gap  
6" plank  
1.5" gap  
6" plank  
1.5" gap  
6" plank  
1.5" gap  
6" plank  
1.5" gap  
6" plank  
1.5" gap  
6" plank  
3" gap  
6" plank  
6" gap  
6" plank



# A PLUS RENOVATIONS LLC

# Quote

Shaun Potrykus / Erin Potrykus

[shaunpotrykus@icloud.com](mailto:shaunpotrykus@icloud.com)-262-232-0027

Date: 04/25/2021

Invoice # 01

TO Client name: \_\_Jessica Lubar\_\_

Address: \_\_9210 N. Pelham Pkwy\_\_

\_\_Milwaukee Wi 53217\_\_

Phone #: \_\_\_\_\_

Contractor: Shaun Potrykus 1415579	Payment Terms:	Due Date:
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50% payment to begin.

Remaining balance paid

When job completed.

QTY/Footage:	Description:	Unit Price:	Line Total:
<u>276/ Linear ft</u>	<u>6ft Pinewood treated fence Horizontal fence with gaps</u>		
<u>1/ French Double-gate horizontal</u>			
<u>1/ Single-gate horizontal</u>			
Notes:	<u>_____</u>		
<u>I will be responsible for setting appointment with diggers hotline. Deposit of \$ 3,825.00 to start and the remaining balance of \$ 3825 will be paid when job is completed.</u>			
<u>Start date is Tuesday May 11<sup>th</sup> 7:00 am</u>			
<u>I will be responsible for contact Diggers Hotline</u>			

Subtotal:

Total: \$7,650

Thank you for your business!

Hill Country

SW 3532

Leeward

SW 3533

Blue Shadow

SW 3531

Mountain Ash

SW 3540

Harbor Mist

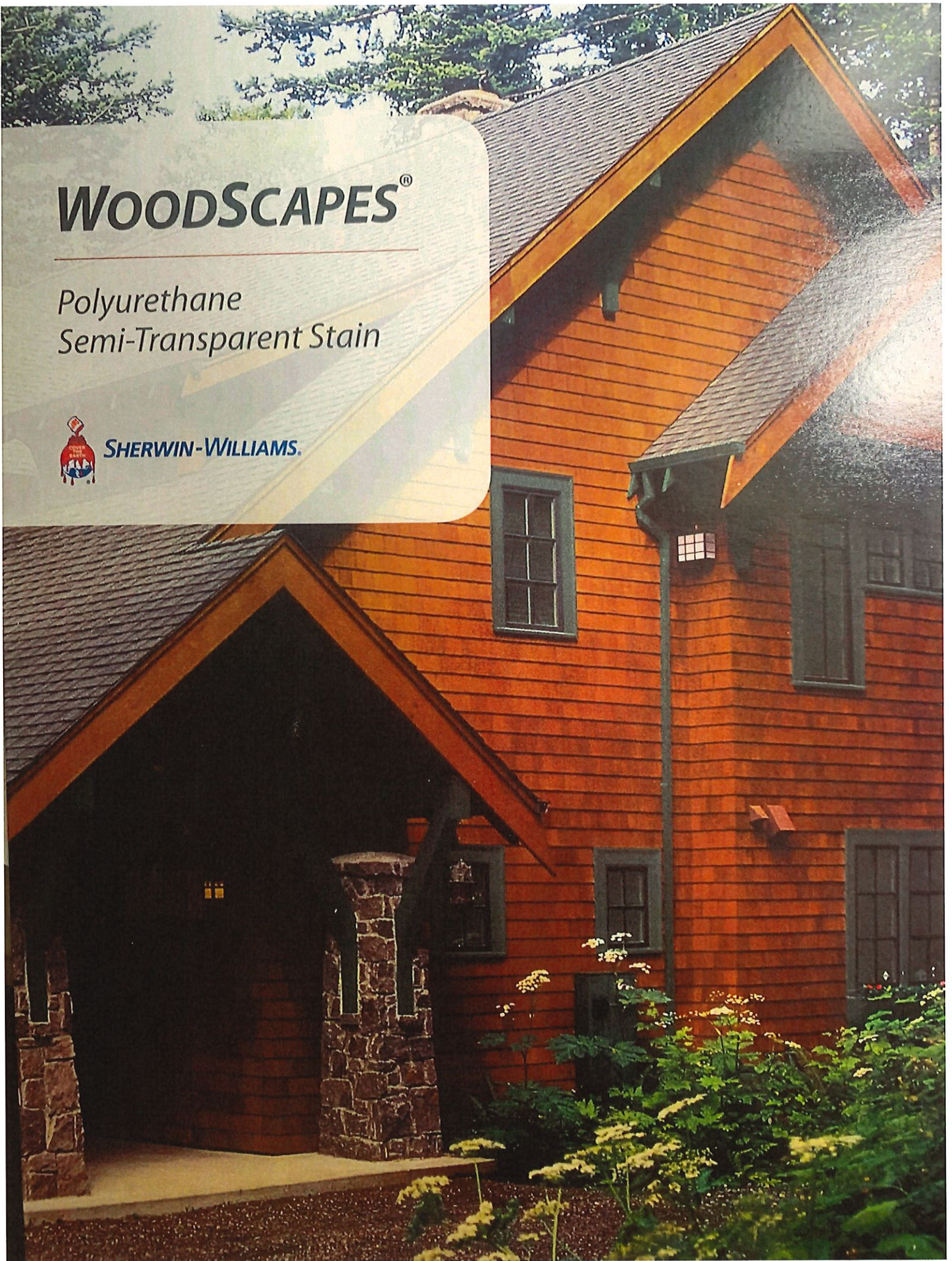
SW 3541

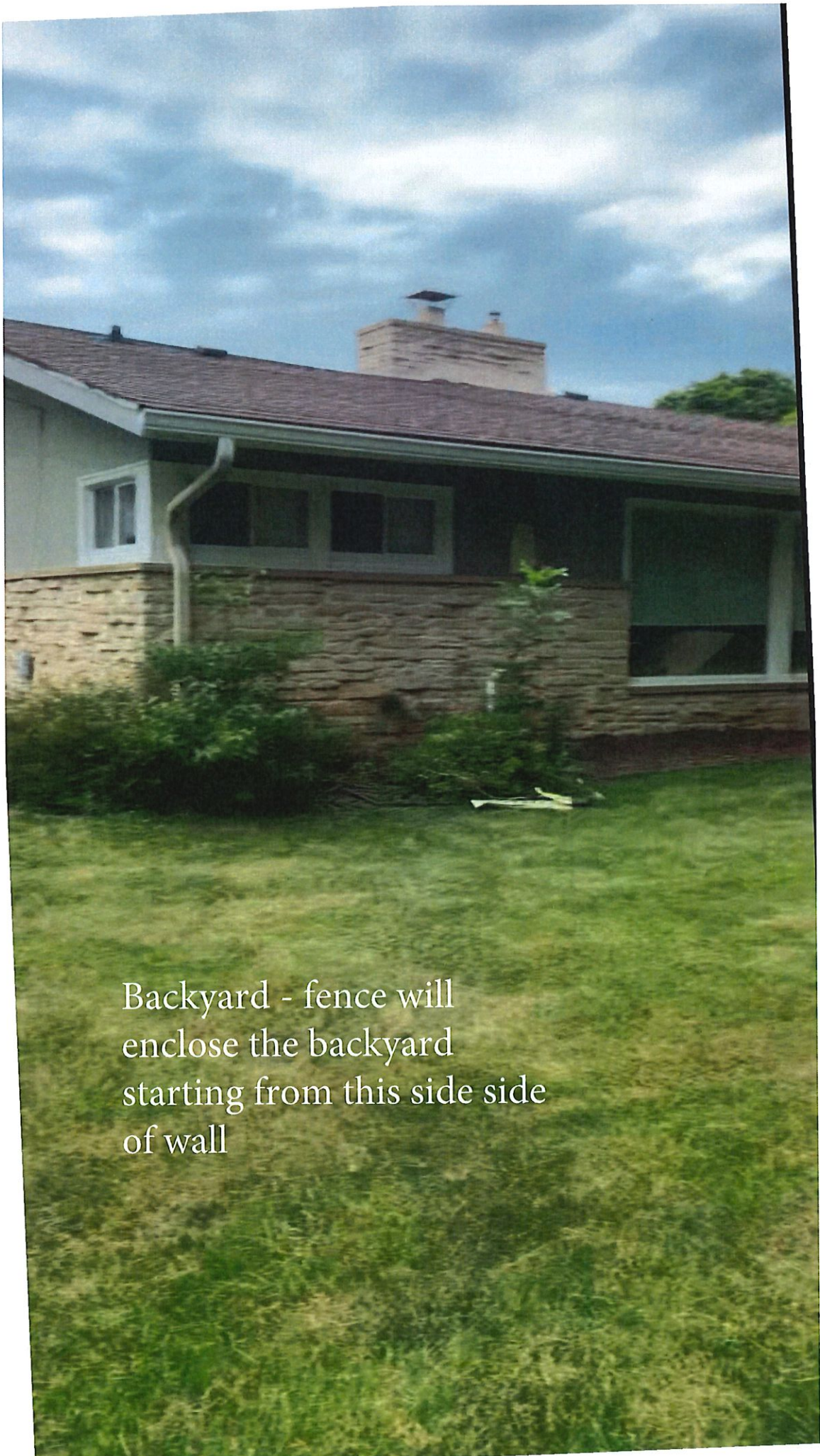
# WOODSCAPES<sup>®</sup>

Polyurethane  
Semi-Transparent Stain

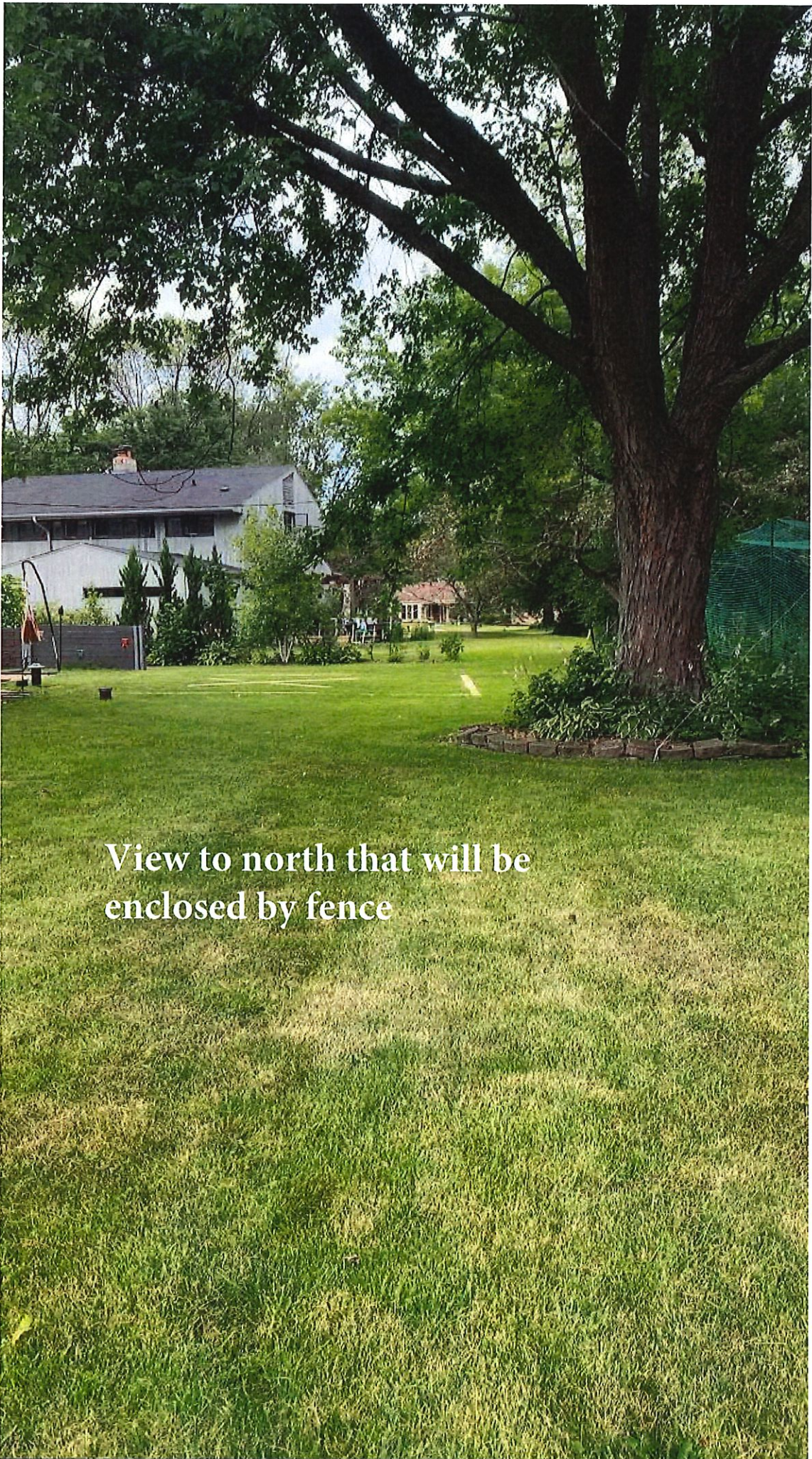


SHERWIN-WILLIAMS.

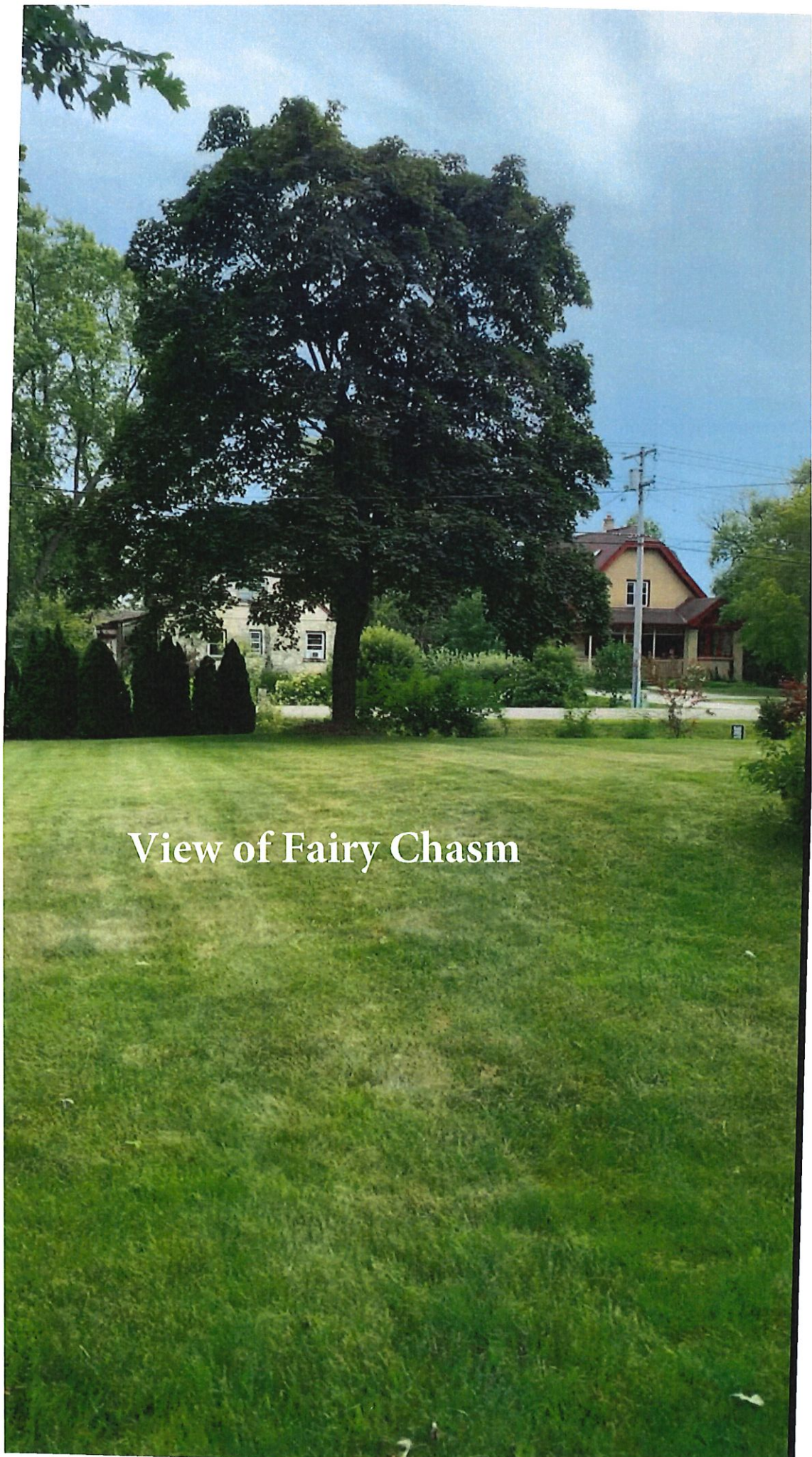




Backyard - fence will  
enclose the backyard  
starting from this side  
of wall



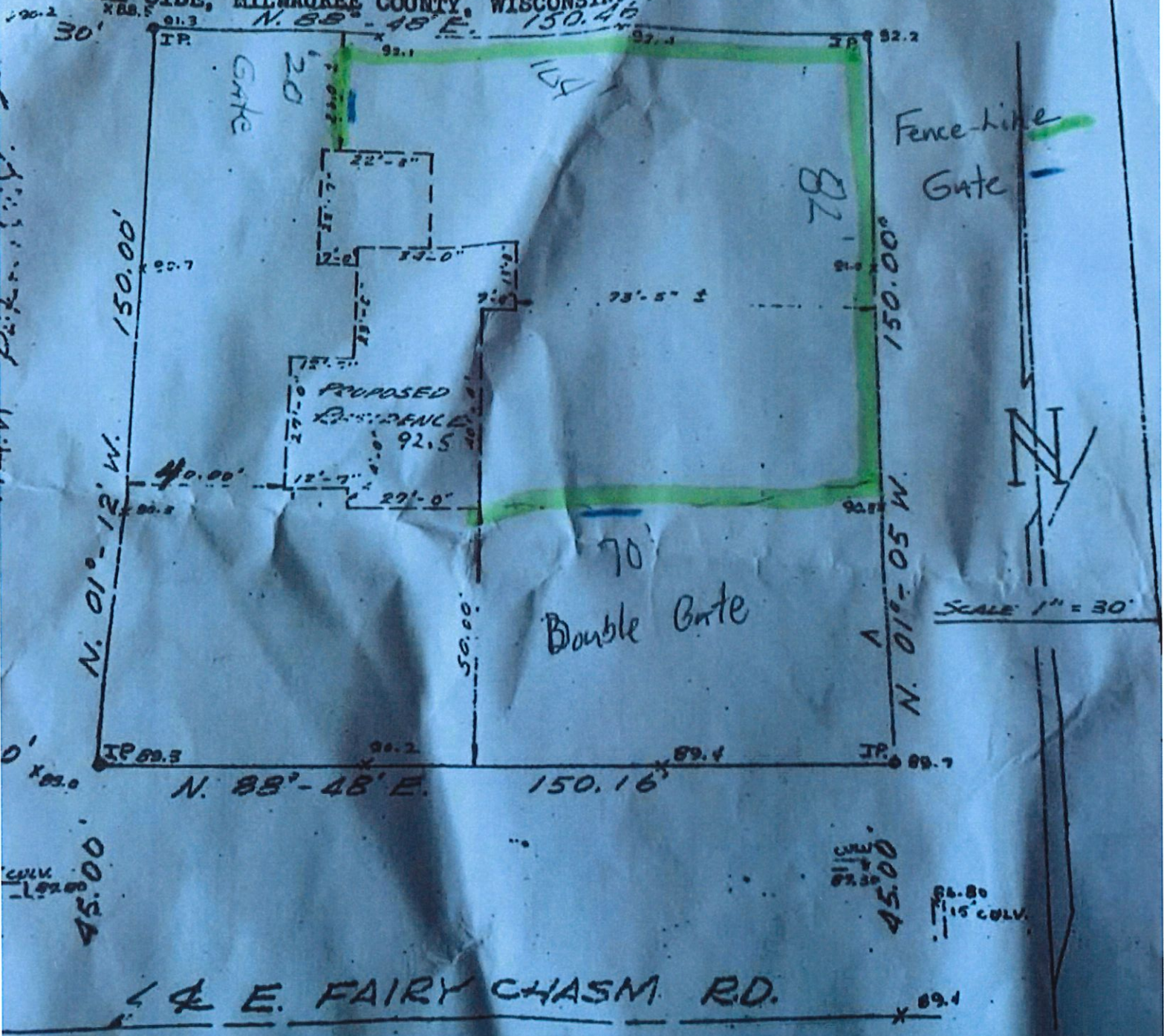
**View to north that will be enclosed by fence**



View of Fairy Chasm

# A PLAT OF A SURVEY

FOR MR. ARCHIE GERGEN 276 Linneet St. Pinewood Tracted 4<sup>th</sup>  
 OF LOT 1, BLOCK 4, BAYSIDE RAVINE PARK. BEING A SUBDIVISION OF A  
 PART OF ASSESSMENT SUBDIVISION NO. 276 AND A PART OF THE N.W. 1/4  
 OF SECTION 4. TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF  
 BAY SIDE, MILWAUKEE COUNTY, WISCONSIN.



E. FAIRY CHASM RD.

OF WISCONSIN  
 OF MILWAUKEE

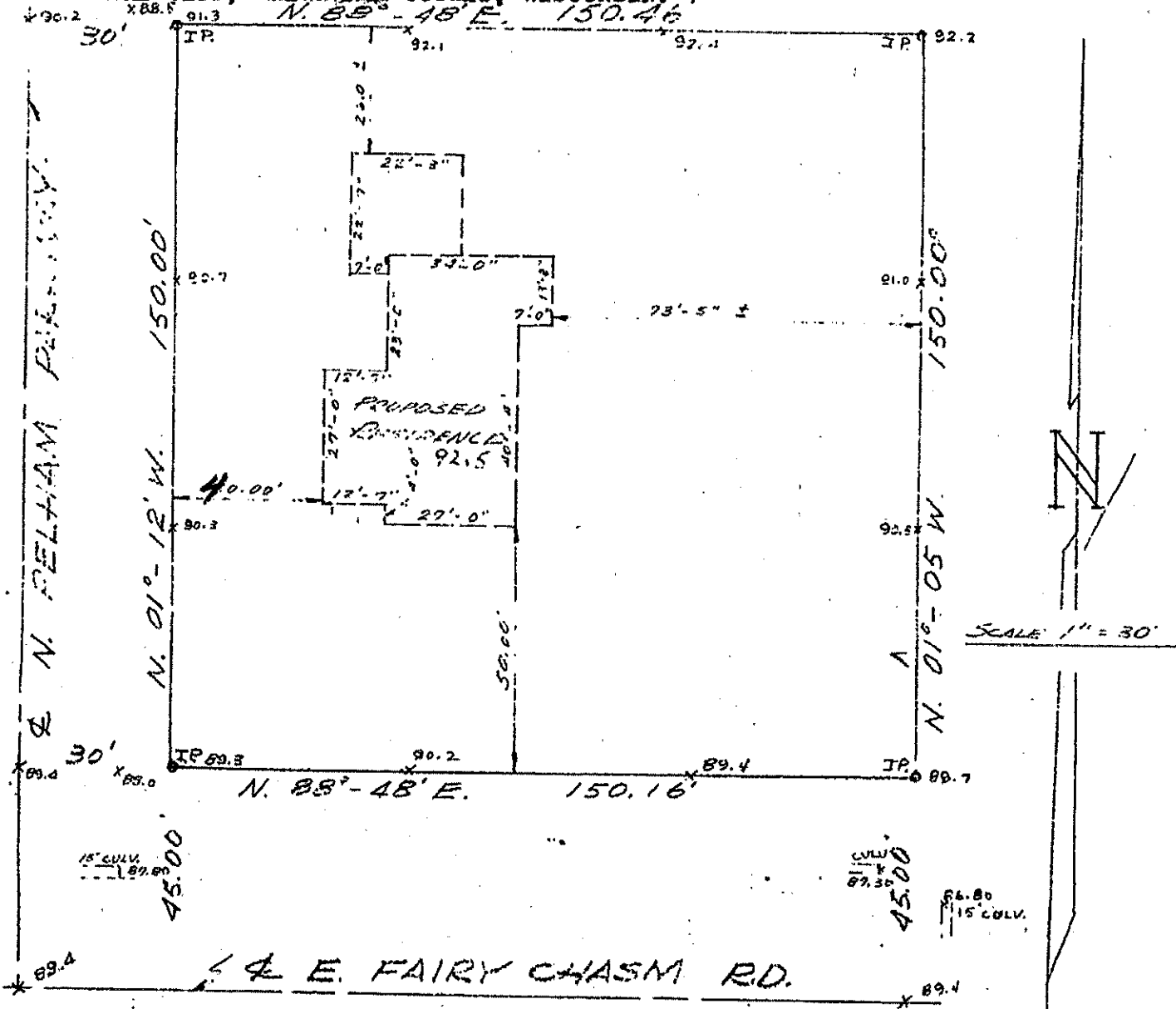
I, Holdampf, Surveyor, do hereby certify that I have surveyed  
 the above property and that the above plat is an accurate



# A PLAT OF A SURVEY

FOR MR. ARCHIE GERGEN

OF LOT 1, BLOCK 4, BAYSIDE RAVINE PARK. BEING A SUBDIVISION OF A PART OF ASSESSMENT SUBDIVISION NO. 276 AND A PART OF THE N.W. 1/4 OF SECTION 4. TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF BAY SIDE, MILWAUKEE COUNTY, WISCONSIN.

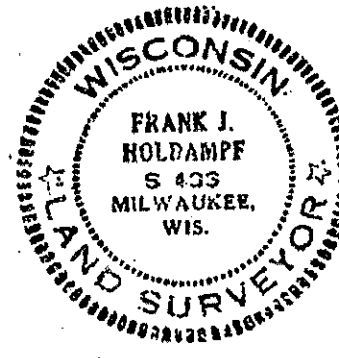


STATE OF WISCONSIN  
 COUNTY OF MILWAUKEE

I, Frank J. Holdampf, Surveyor, do hereby certify that I have surveyed the above described property and that the above plat is an accurate representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

Milwaukee, Wis. May 24 19 56

*Frank J. Holdampf*  
 Professional Engineer



017-0076