



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
June 7, 2021
Remote Teleconferencing, 6:00pm

**ARCHITECTURAL REVIEW COMMITTEE
AGENDA**

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. Approval of May 24, 2021 meeting minutes.

III. BUSINESS

- A. **9019 N Mohawk Rd – David and Jessica Coyle** The proposed project is the installation of a 24 foot above ground pool with fence/rails attached to the pool.

Please review detailed plans [here](#).

- B. **375 E Brown Deer Road – Daniel Kleindl** The proposed project is the installation of 150 feet of aluminum fence in the backyard with two gates.

Please review detailed plans [here](#).

- C. **8934 N Navajo Road – John Vieni** The proposed project is a 12'x20' deck that will be constructed directly off the existing concrete patio. The deck will be approximately 19 inches in height and will be constructed from treated lumber.

Please review detailed plans [here](#).

- D. **901 W Jonathan Lane – Mike and Janice Bernstein** The proposed project is the installation of new windows and a new patio door.

Please review detailed plans [here](#).

- E. **1111 E Brown Deer Road- Schlitz Audubon Nature Center** The proposed project is the installation of a 64'x50' storage garage for nature center equipment.

Please review detailed plans [here](#).

- F. **850 E Bay Point Road – John and Deborah Pearce** The proposed project is the installation of a 8'x10' wood paneled exterior storage shed. The shed will have double entry doors, two single windows, vents, and a shingled roof.

Please review detailed plans [here](#).

- G. **309 E Fairy Chasm Road – Matt and Claire Evans** The proposed project is the replacement of the existing shed in the backyard. The shed will be constructed from treated lumber with vinyl siding.

Please review detailed plans [here](#).

IV. ADJOURNMENT

Leah Hofer
Assistant to the Village Manager

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/82835811633?pwd=eTJod3RCZ1pGUeM3L1hNZVJUUmUxUT09>

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 828 3581 1633, password 475795.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



I. CALL TO ORDER

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:00pm.

II. ROLL CALL

Chair: Marisa Roberts
Members: Elizabeth Levins - Excused
Dan Zitzer
Tony Aiello
John Krampf

Trustee Liaison: Mike Barth

Also Present: Assistant to the Village Manager Leah Hofer
There were three people in the audience.

III. APPROVAL OF MINUTES

A. Approval of May 10, 2021 meeting minutes.

Motion by Trustee Barth, seconded by Dan Zitzer, to approve the May 10, 2021 meeting minutes.
Motion carried unanimously.

IV. BUSINESS

A. 8949 N Greenvale Road – John and Karen Hiller

John Hiller, property owner, appeared on behalf of the project. There was one neighbor in attendance.

Mr. Hiller described the project as the replacement of a 6-foot fence surrounding his pool, expanding the fence to the property line. There will also be a portion of the fence that is solid for privacy purposes.

Motion by Trustee Barth, seconded by Chairperson Roberts, to approve the project as described and presented in the application. Motion carried unanimously.

B. 8934 N Navajo Road – John Vieni

This agenda item was tabled.

C. 901 W Jonathan Lane – Mike and Janice Bernstein

This agenda item was tabled.

D. 1111 E Brown Deer Road- Schlitz Audubon Nature Center

This agenda item was tabled.

E. 850 E Bay Point Road – John and Deborah Pearce

This agenda item was tabled.

F. 309 E Fairy Chasm Road – Matt and Claire Evans

This agenda item was tabled.

G. 9040 N Mohawk Road – Maylan Thomas

Maylan and Amy Thomas, property owners, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Thomas described the project as a 6-foot tall horizontal cedar fence with two gates, running the length of the back property line. A 7'x7' composite shed is already placed on the property and will be moved to comply with code.

Motion by Tony Aiello, seconded by Trustee Barth, to approve the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Tony Aiello, seconded by Trustee Barth, to adjourn the meeting at 6:28pm. Motion carried unanimously.

Respectfully submitted,

Leah Hofer
Assistant to the Village Manager



Application for Appearance before the
Architectural Review Committee

Owner's Name	David & Jessica Coyle	Contractor's Name	N/A
Property Address	9019 N. Mohawk Rd	Address	
Telephone	414-688-1455	Telephone	
Email	coyleteach@gmail.com	Email	

Proposed project details (type of work, size, materials, etc.):

24' foot above ground pool with
fence/rails attached to pool. Pool will
be located 20' north of neighbor to the south
and 35' from the neighbor to the west.
Pool volume = 13,593 gallons.

*Spoke with resident and confirmed that 50% of pool
will be below grade. - Leah Hofer

*Spoke with resident and confirmed mechanical systems
will be blocked by pool and existing coniferous trees. - JH

05/25/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:

David & Jessica Coyle

PROJECT ADDRESS:

9019 N. Mohawk Rd.

PROJECT SUMMARY:

24-foot diameter above ground pool with
fence railing attached to top of the pool

I have reviewed the above ground swimming pool for compliance with the Village's ordinances and have determined the following for consideration

1. A survey has been provided showing the pool location meeting the required setbacks to the lot line and home. The survey is hand drawn, the ordinance **104-126(3)(D)(1)** requires a survey to scale
2. Owner states the pool will be not less than 50% below grade and the height of the pool will be at least five feet above grade with pool wall extender as required by ordinance
3. Owner did not show location of pool equipment but state it will be screened by existing trees.
4. Owner has drawn in location of power lines and will meet the minimum electrical code requirements
5. Earth tone pool will be harmonious with the neighborhood

VILLAGE CODE REVIEW

The above ground swimming pool will meet the Village's ordinances when all information is verified.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

PLAT NO M-1042-L3-B2

ENGEL & ENGEL SURVEYORS

OFFICE PHONE HI 5 2971

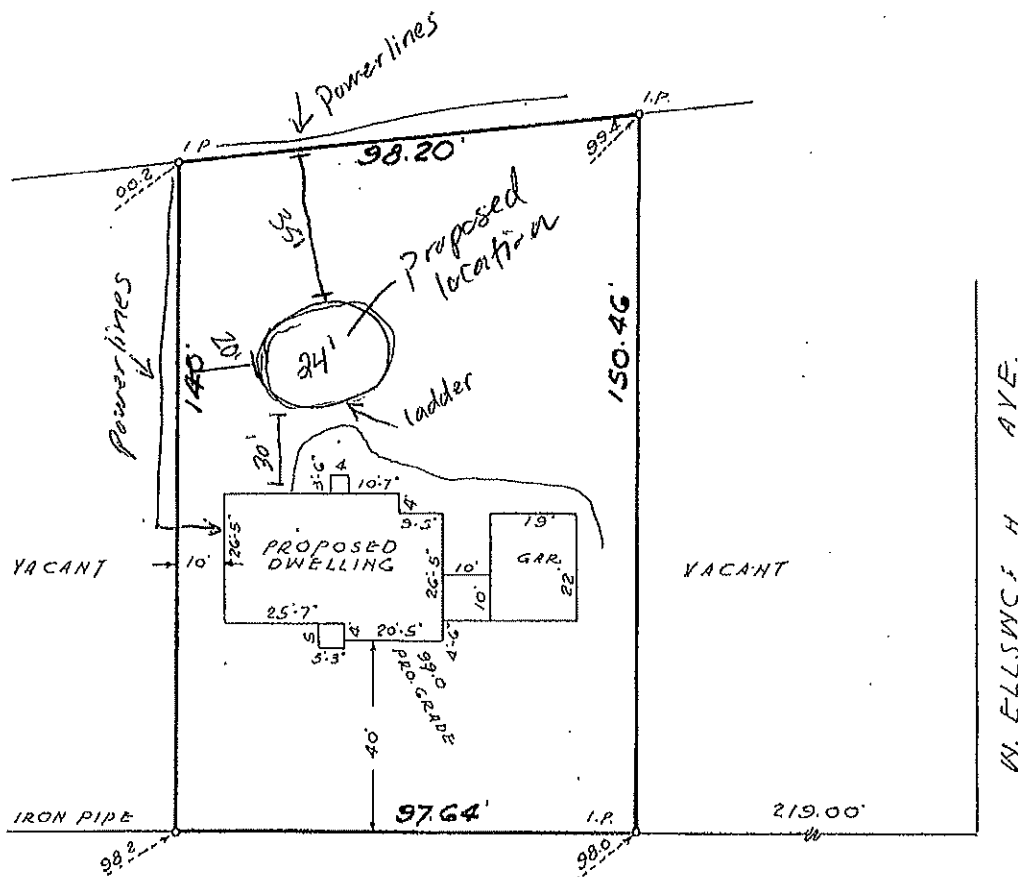
4622 WEST CENTER ST. FT MILWAUKEE 10 WISCONSIN

PLAT OF SURVEY

Lot 3, Block 2, in Bayport Estates, being a subdivision of part of the Southeast $\frac{1}{4}$ of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin

66-11

SCALE 1" = 30'



MOHAWK (60) AVE
(9019 N. MOHAWK AVE)

State of Wisconsin
County of Milwaukee ss.

We, Engel & Engel, do hereby certify that we have made the above survey on the 8th day of FEBRUARY, 1955, and that the survey of the lot and information as shown on said survey, is complete and correct, and we further certify that The Treis Co., Inc. is the owner of the premises as described and shown above.

Signed Joseph Engel
Surveyor

Project Proposal

Date _____

Property Address _____

Zoning _____

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

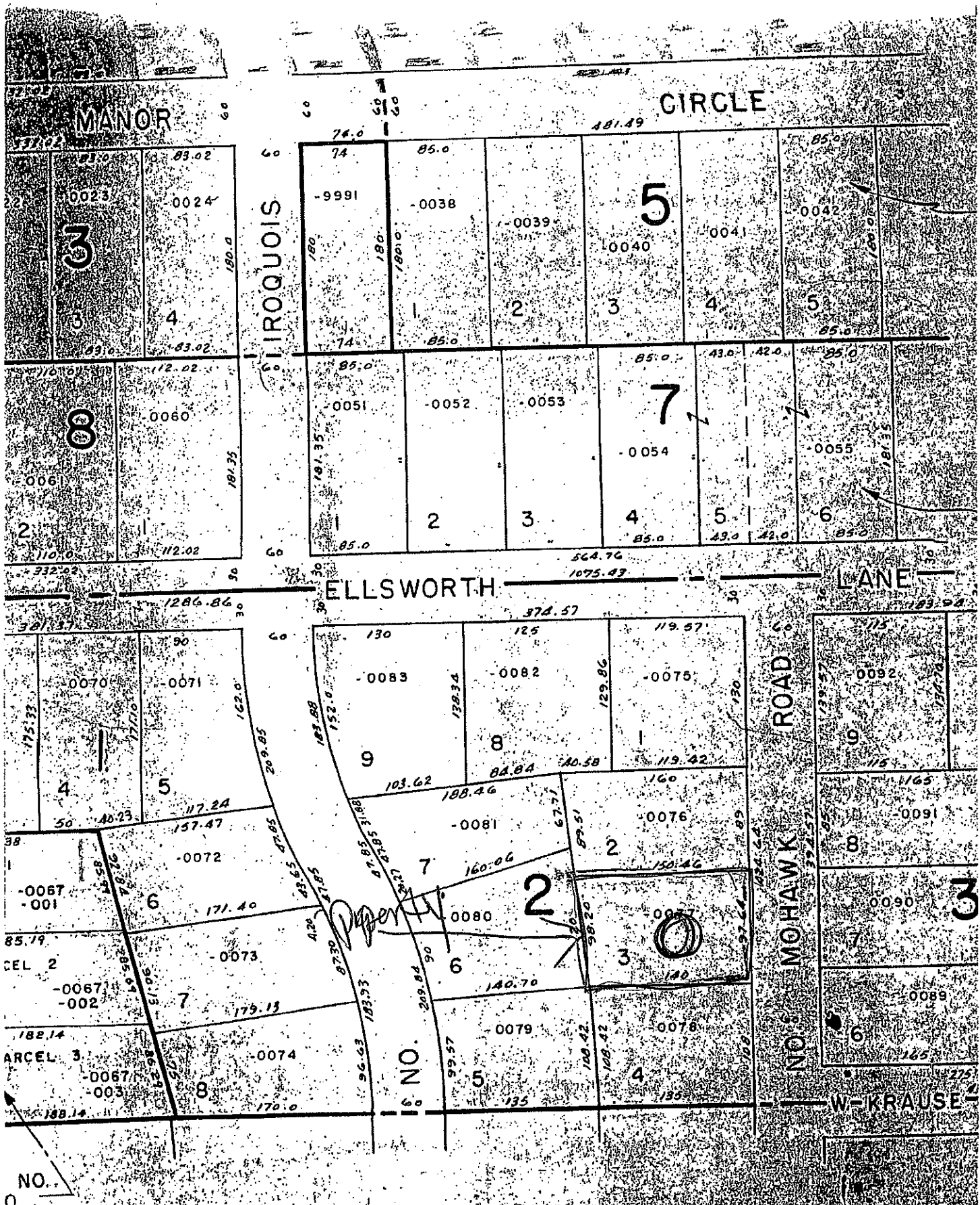
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input checked="" type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

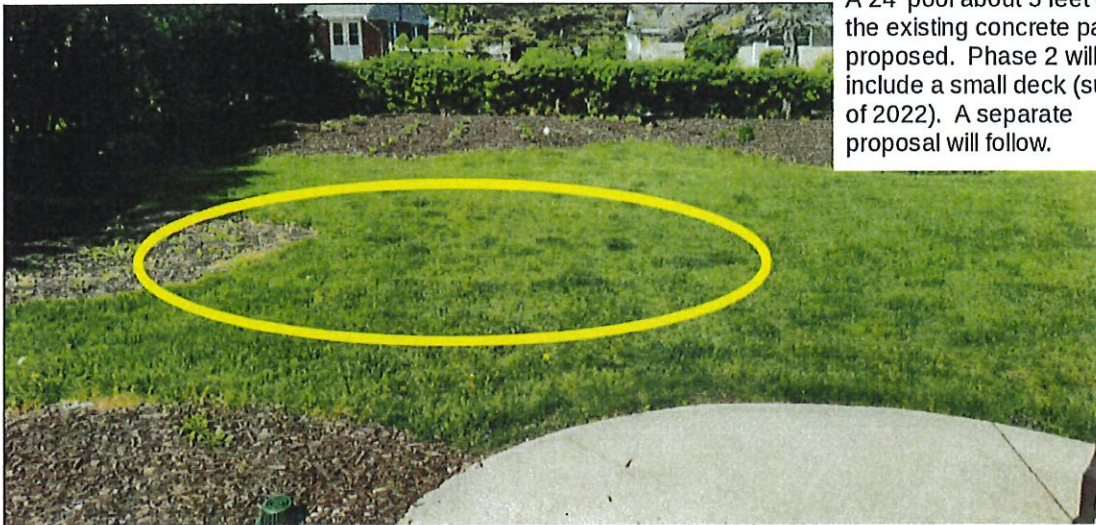
24' above ground pool.

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required



WAUKEE TREASURY DEPARTMENT
TRACTING DIVISION



A 24' pool about 5 feet off of the existing concrete patio is proposed. Phase 2 will include a small deck (summer of 2022). A separate proposal will follow.





Pool will be at least 48" above ground level. A fence will attach to the pool edge providing a 6'+ barrier from ground level.

The pool color will be an "earthy" tone to blend with the siding of our house and the surrounding homes.

Project Proposal

Date

5/9/21

Property Address

375 E Brown Bear Rd

Zoning

residential

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/25/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:

Daniel Kleindl

PROJECT ADDRESS:

375 E. Brown Deer

PROJECT SUMMARY:

New fence; Black aluminum finish
150 foot in length
5-foot high

VILLAGE CODE REVIEW**LENGTH AND FENCE TYPE:**

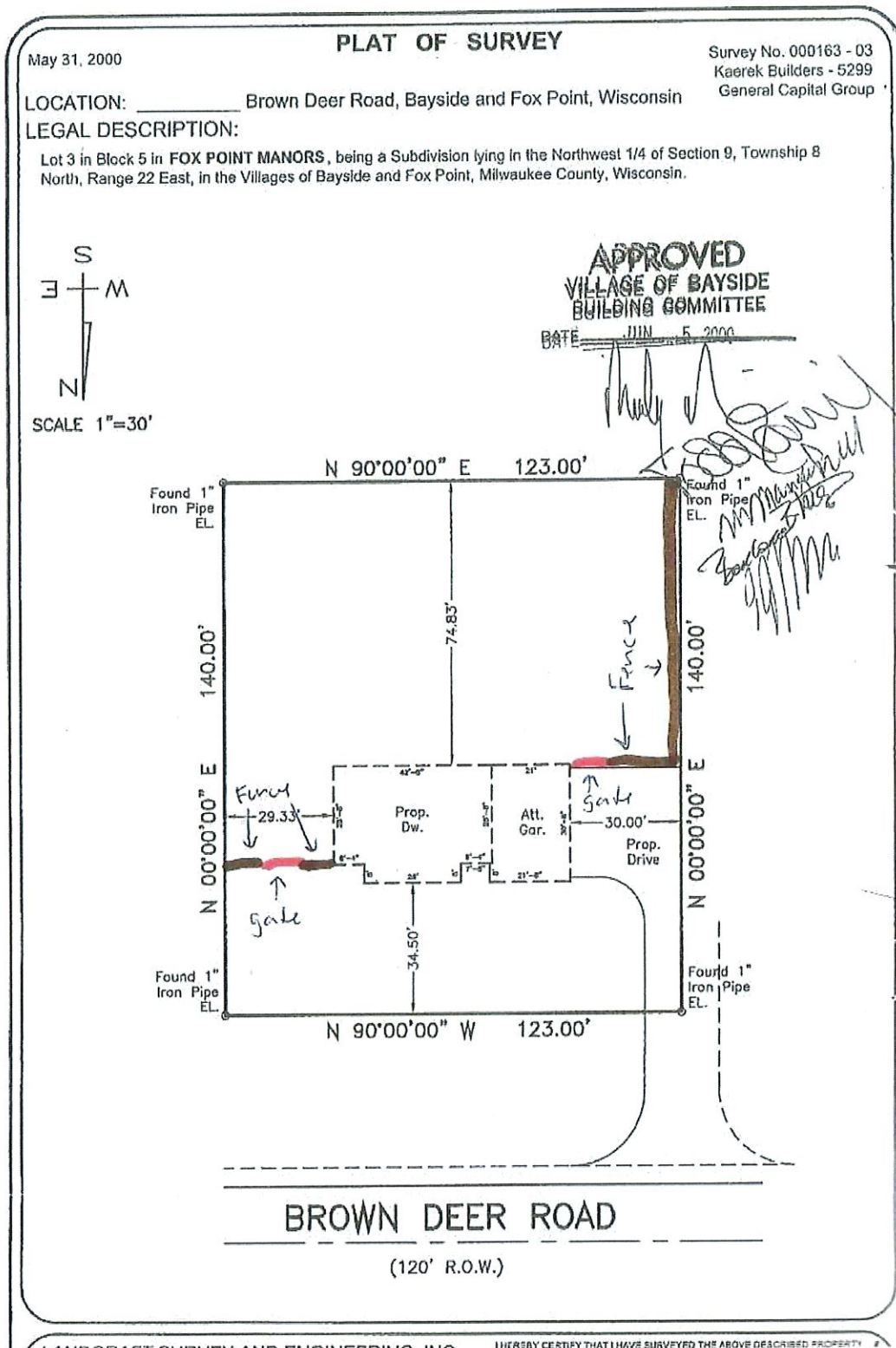
Proposed length 150' is approximately 28.51% of the total property perimeter length of approximately 526'.

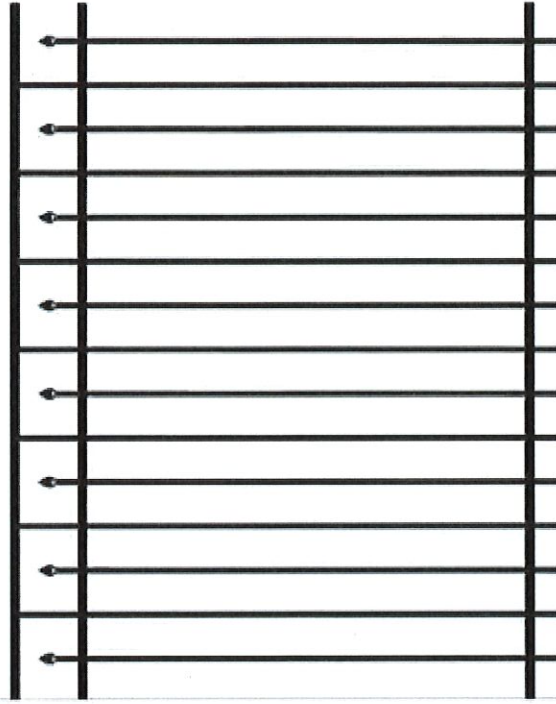
Per the code section copied below a 25% open fence is required.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS / TYPES COMPLY**HEIGHT:****PROPOSED 5 FOOT HEIGHT IS COMPLIANT****MATERIAL / FINISH:****Aluminum black finish****Reviewer/ Tod Doebler**

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager





Feedback

[Save to List](#)

Brilliance Standard-Duty 5 ft. H x 6 ft. W Black Aluminum Pre-Assembled Fence Panel

by [Barrette Outdoor Living](#) >

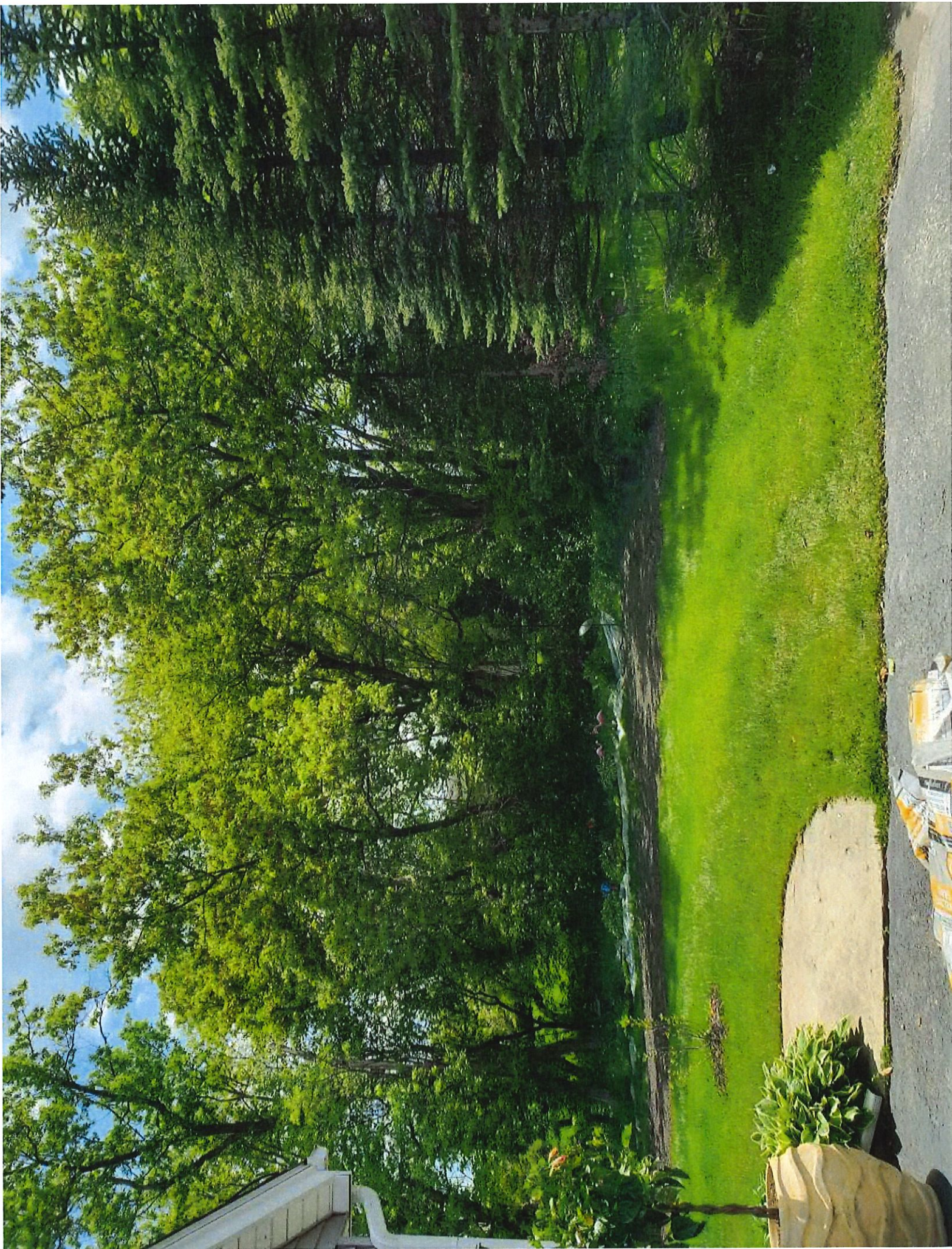
★★★★★ (21) [Write a Review](#) [Questions & Answers \(28\)](#)

\$97¹¹

Color/Finish: **Black**







Project Proposal

Date 05/06/2021

Property Address 8934 N Navajo Rd

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input checked="" type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening

<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

The Deck, will be constructed directly off of the existing concrete patio and will be 12'x20'.

The depth of the deck will be no more than 19" above grade. The materials used to construct the deck will be treated lumber.

***** **For Office Use Only** *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: John Vieni PROJECT ADDRESS: 8934 N Navajo Rd	PROJECT SUMMARY: New 12' X 20' deck
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VILLAGE CODE REVIEW

Sec. 104-4. - Accessory structures.

(m) Decks or patios are not considered accessory structures but shall not exceed 18 inches in height and 150 square feet without the approval of the architectural review committee.

Setbacks are code compliant

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Building review is required. Submit complete set of construction plans for review before a building permit will be issued



Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

JOHN F. BETTINE VIENT
 8934 N. NAVAJO RD.
 BAYSIDE, WZ 53217

EX HOUSE

EX PORCHES OUTGO

2x6" plank
 8' x 10' 10"
 2x6" plank 10' x 10'
 Table 2x6" plank

Carport

2x8" center
 bridging

2" corner
 clip
 DOUBLE
 2x8" RIM JOIST

(6) 12" center joists
 4x20" DWP
 (3) 2x8" beam w.
 1/2" bolts 12" on
 w. bracket bolted
 to beam on top
 2x8" TA JOIST
 16" o.c.
 2" x 6" TA FLOORING

2x6" plank
 2x6" plank
 2x6" plank

2x6" plank
 2x6" plank
 2x6" plank

20'

Picture of Existing
Backyard



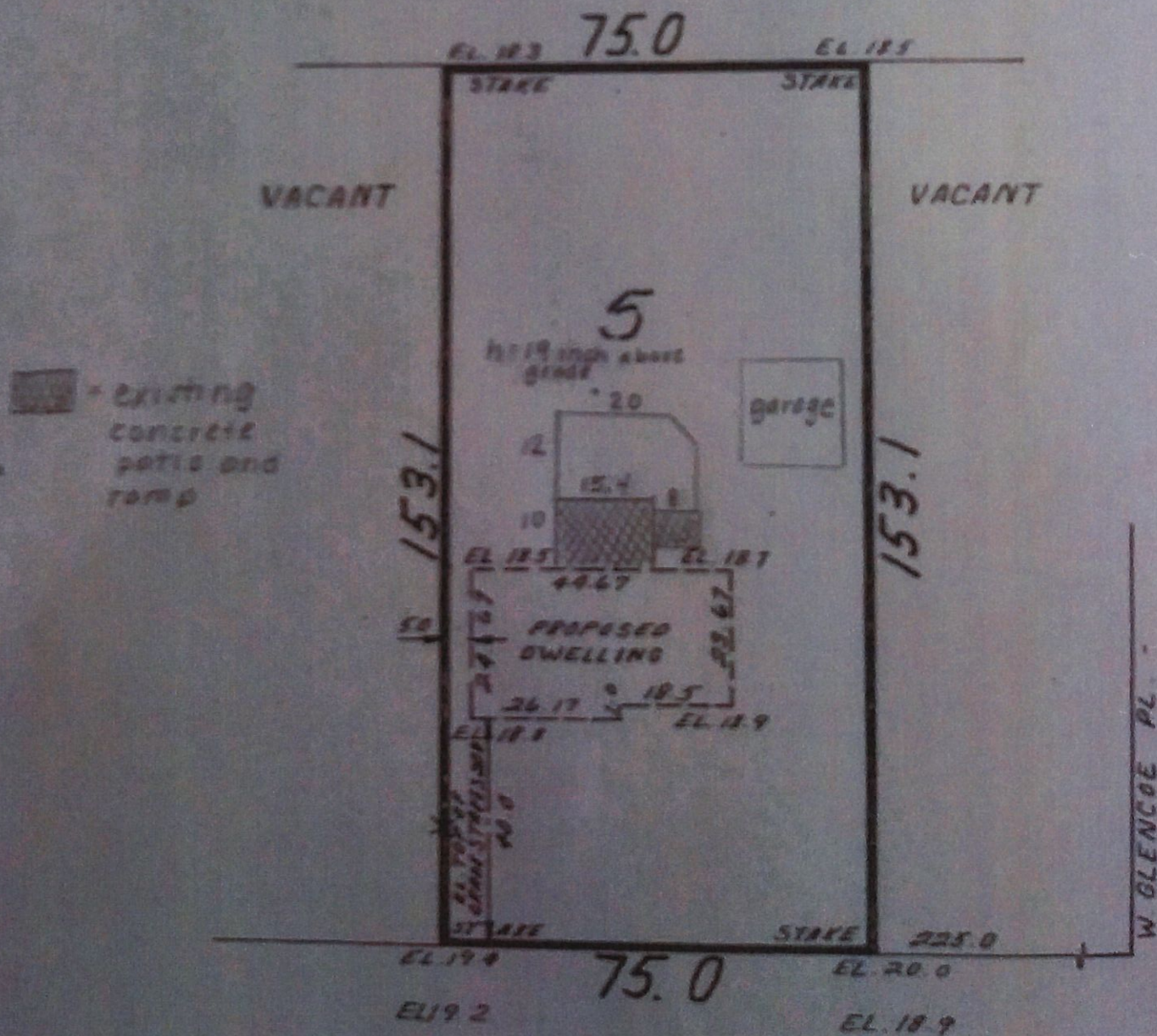
Picture of Proposed Project
Location



Plot of Survey **for** **DON T. ALLEN INDUSTRIES**

Known as 8934 Navajo Avenue, Town of Milwaukee, Wisconsin.
Lot 5 in Block 4 is Northwest Subdivision of a part of the S. E. 1/4 of Section 5,
T 8 N. R 22 E. in the Town of Milwaukee, Milwaukee County, Wisconsin.
April 22, 1953 Forest Turtle Survey No. 55142-5

455-53



Project Proposal

Date Fall 2021 Sept

Property Address 901 W Jonathane Ln

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators | <input type="checkbox"/> New Construction |
| <input checked="" type="checkbox"/> Additions/Remodel | <input type="checkbox"/> Play Structures |
| <input type="checkbox"/> Bluff Management | <input type="checkbox"/> Recreational Facilities/Courts |
| <input type="checkbox"/> Commercial Signage | <input type="checkbox"/> Roofs |
| <input type="checkbox"/> Decks/Patios | <input type="checkbox"/> Solar Panels/Skylights |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Swimming Pools |
| <input type="checkbox"/> Fire Pits | <input type="checkbox"/> Windows/Doors-change exceeds 25% of opening |
| <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> Other |

Proposed project details (type of work, size, materials, etc.):

New windows / patio door = 95'1/4 x 81.5
→ 38'1/2 x 53" and 111" x 59"

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
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<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Mike / Janice Bernstein PROJECT ADDRESS: 901 W. Jonathan Ln	PROJECT SUMMARY: Enclose existing screen room
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VILLAGE CODE REVIEW

Sec. 104-98. - Required

(c) No addition to, alteration or repair of an existing one-family or two-family dwelling may be undertaken unless a building permit for the work is first obtained by the owner or agent from the building inspector after approval of the architectural review committee or unless the work is deemed minor repair or a razing or demolition project by the building inspector. In this subsection, the term "minor repair" means repair performed for maintenance or replacement purposes on any existing one-family or two-family dwelling that does not affect exterior aesthetic appearance and that does not increase a given occupancy and use. Window replacement and door replacement projects shall not be considered to affect the exterior appearance of a structure and are considered to be a minor repair, as long as the location of the opening does not change and the size of the opening does not exceed twenty-five percent of the original.

Setbacks are code compliant

Reviewer believes this project complies with the following Village Code sections:

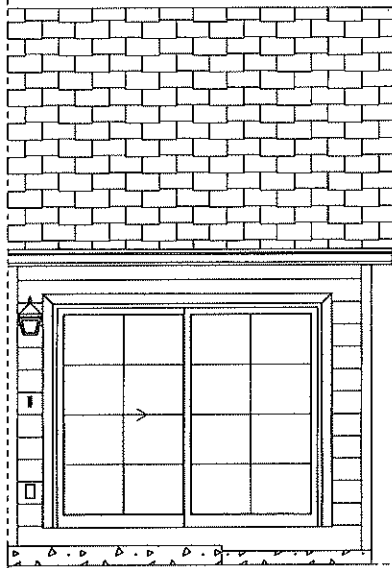
104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Building review is required. Submit complete set of construction plans for review before a building permit will be issued

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Picture of Project
Location



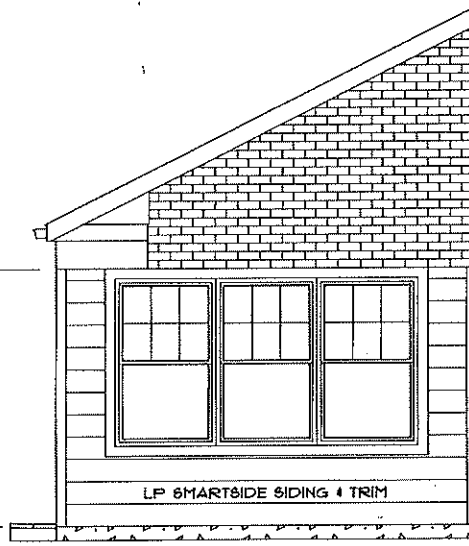


Rear Elevation
SCALE: 3/8" = 1'-0"

BOTTOM OF EXISTING
HEADER

1'-4"

TOP OF EXISTING
SLAB



Left Elevation
SCALE: 3/8" = 1'-0"

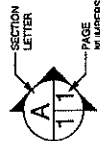
Mike & Janice Bernstein

904 W. Jonathan Lane
Bayside
WI 53217
PHONE: 414-206-4293
FAX: nathlar@gmail.com

DRAWN BY: CH

SCALE: 3/8" = 1'-0"

DATE: Friday, April 9, 2021

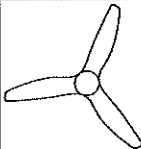







PAGE
NUMBERS

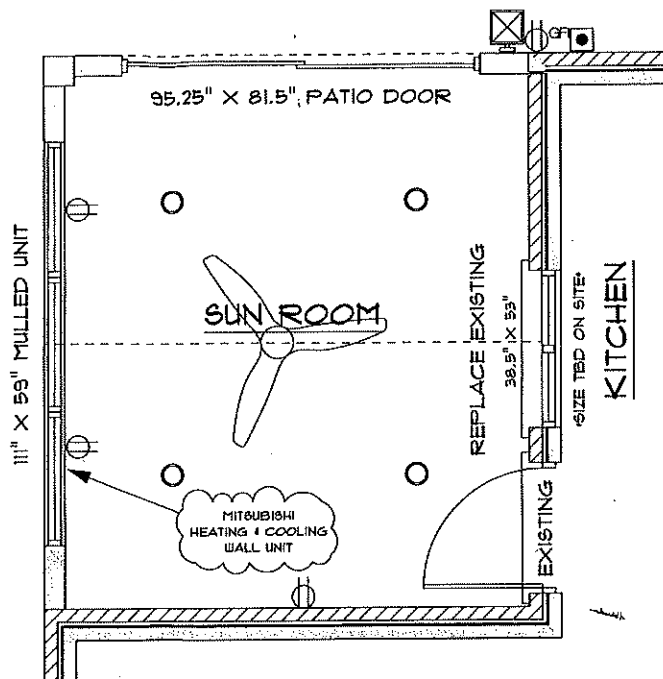
3/3

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

B&E General Contractors
6001 N. Green Bay Road
Glendale
Wisconsin 53209
PHONE: 414-351-5559
FAX: 414-352-9102

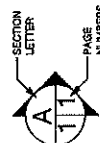
ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	1	
recessed lights	4	
exterior light	1	
doorbell	1	
outlet	To Code	
outlet gfi	1	

• WIRING FOR MITSUBISHI UNIT •



Electrical Layout

Mike & Janice Bernstein
904 W. Jonathan Lane
Bayside
WI 53217
PHONE: 414-206-4233
FAX: nashier@gmail.com



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
6001 N. Green Bay Road
Glendale
Wisconsin 53209
PHONE: 414-351-5553
FAX: 414-352-9102

DRAWN BY: CH
SCALE: As Noted
DATE: Friday, April 9, 2021

PAGE: 2/3

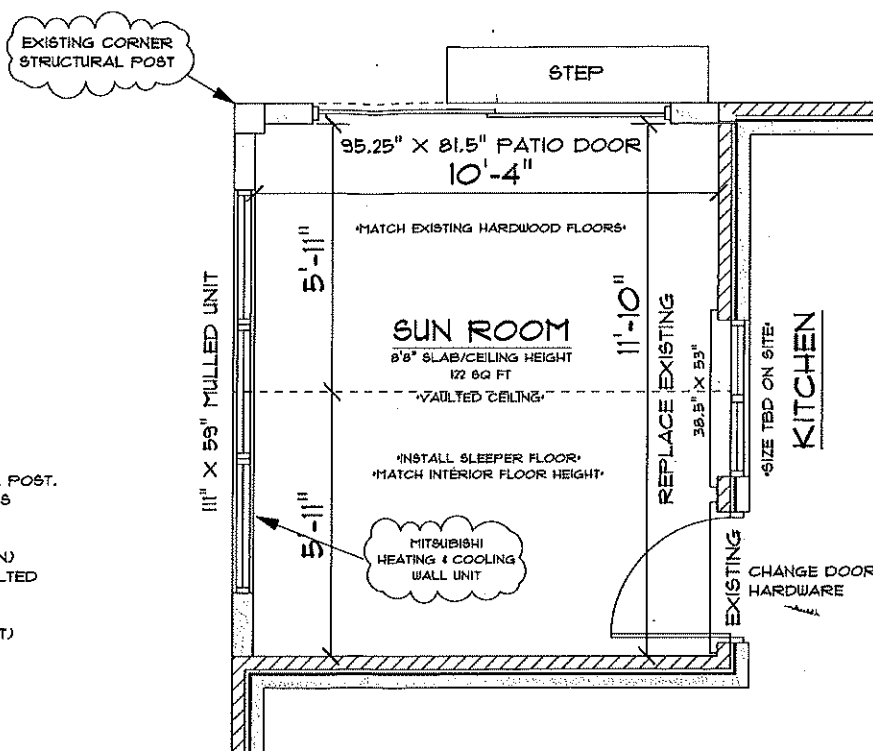
BEFORE

DEMO NOTES:
1) DEMO EXISTING SCREENS &
SCREEN DOOR.
2) DEMO CEILING

EXISTING (TO REMAIN) NOTES:
1) EXISTING STRUCTURAL CORNER POST.
2) EXISTING STRUCTURAL HEADERS

FRAMING NOTES:
1) NEW 2X6 WALLS (R-21 INSULATION)
2) 2X6 CEILING JOISTS @ NEW VAULTED
CEILING (R-38 INSULATION)
3) 2X TREATED SLEEPER FLOOR
(MATCH KITCHEN FLOOR HEIGHT)

PROJECT SCOPE: CONVERT SCREEN PORCH INTO 4 SEASON SUN ROOM.



SUN ROOM
SCALE: 1/2" = 1'-0"

Mike & Janice Bernstein
604 W. Jonathan Lane
Bayside
WI
PHONE: 414-206-4233
FAX:
nath13r@gmail.com

PAGE: 1/3

DRAWN BY: CH
SCALE: As Noted
DATE: Friday, April 9, 2021

SECTION LETTER: A PAGE: 11

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
56001 N. Green Bay Road PHONE: 414-351-5558
Glendale FAX: 414-352-8102
Wisconsin
53206

Project Proposal

Date 5/5/21

Property Address 1111 E. Brown Deer Rd.

Zoning Nature Center

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

Cold storage garage for nature center equipment.
Dimensions are 64' x 50' 21' high with a 3 1/2/12
pitch on the roof. Entire exterior will be steel earth tones and interior

***** For Office Use Only *****

framing will be dimensional lumber.

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Schlitz Audubon Nature Center PROJECT ADDRESS: 1111 E Brown Deer	PROJECT SUMMARY: New cold storage garage for nature center equipment
---	--

VILLAGE CODE REVIEW

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Architectural Review Committee shall make the final determination for approval of the proposed roof design relative to the existing nearby structures.

Building review is required. Submit plans with a completed SBD – 118 plan review application form.

Reviewer Tod Doebler

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or labor that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.

- This building is designed in accordance with the following codes and specifications:
Minimum Commercial Building Code (MBC)
National Design Specifications for Wood Construction

Plot Category:	1
Use Group(s) Classification:	S-1
Building Use:	Unoccupied Storage
Type of Construction:	Type III
Building Gross Square Footage:	2500 Sq. Ft.

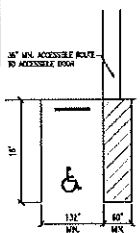
Building Design Loads	
Design Snow Load:	30.3 PSF
Design Wind Load:	40 PSF
Flat Roof Snow Load (P _s):	20.00 PSF
Snow Exposure Factor (C _e):	1
Snow Load Importance Factor (I _s):	1.0
Thermal Factor (C _t):	1.2
Sloped Roof Snow Load (P _s):	24.26
Unobstructed Snow Load:	0 PSF Minimum
Top of SFC Slope (S):	24.45 PSF Minimum

Wind Design Data	
Design Wind Speed:	105 MPH
Wind Exposure:	C
Wind Load Importance Factor (I _w):	1
Earthquake Design Data:	
Seismic Design Category:	D
Spectral Response Coefficients (C _s):	-0.09g
(C _s):	-0.07g
Site Class:	D
Seismic Importance Factor (I _s):	1.0
Weighted Spectral Response Accelerations (S ₁):	0.18g
(S ₂):	0.44g
Response Modification Factor (R):	4

- All lumber, unless noted otherwise, shall be SPS #1 or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of 30 lbs. per cubic foot.
- Grading shall be such that the surface water is drained away from the foundation. Minimum grade shall be six inches of vertical drop per ten feet of horizontal away from the foundation (3%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in retaining walls shall be the specified soil unless noted otherwise. All fill shall be free from debris, stones over 4" and trees stumps.
- Electrical work is not a part of this drawing and shall be installed as per applicable codes.
- Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
- Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
- All roofs are to be finished hardened steel unless otherwise noted.
- This design is based on a building site with wind, sky wind, choppy sea, sky ground, choppy ground and is per the WSC Building Code and US Table 16A-2 as detailed and listed. Design value of 2000 psi has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE: PLEASE BE ADVISED THAT SPECIAL LIGHTING IS NOT PART OF THIS DESIGN. IF SPECIAL LIGHTING IS TO BE USED IN THIS BUILDING, THE USER IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND SPECIFICATIONS. THE PLANS AND SPECIFICATIONS SHALL BE KEPT ON SITE FOR REVIEW BY THE BUILDING INSPECTOR.

NOTE: MINIMUM OF ONE 13'x5' WIDE VAN ACCESSIBLE PARKING SPACE AND ONE 6'x8' WIDE PARKING ACCESSIBLE SPACE ARE REQUIRED. THE 13'x5' VAN ACCESSIBLE SPACE SHALL BE LOCATED ON THE 6'x8' WIDE PARKING SPACE. A MINIMUM OF ONE 6'x8' WIDE PARKING SPACE IS REQUIRED. PARKING SPACES SHALL BE PLACED ON AN ADJACENT SURFACE NOT LESS THAN 5' FROM PARKING SURFACE ON CURB AND SHALL BEADJACENT TO THE CURB. SEE DETAIL FOR PARKING SPACE REQUIREMENTS.



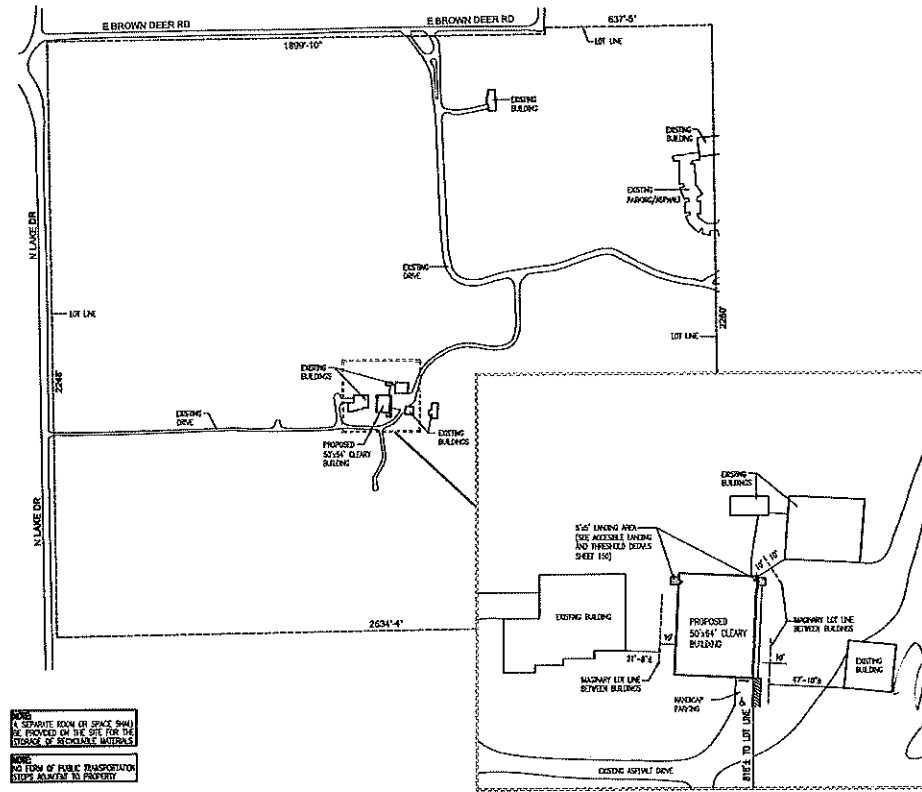
ACCESSIBLE PARKING STALL

NOTE: A SEPARATE ROOM OR SPACE SHALL BE PROVIDED ON THE SITE FOR THE STORAGE OF RECYCLABLE MATERIALS.

NOTE: NO FORM OF PUBLIC TRANSPORTATION SHALL BE ALLOWED TO ENTER.

TABLE OF CONTENTS

100. SITE PLAN
110. ELEVATIONS
120. FLOOR PLAN
121. CONCRETE BRACKET LAYOUT
122. CONCRETE FOUNDATION DETAILS
130. TYPICAL SECTION "A"
131. TYPICAL SECTION "B"
140. HEADER DETAILS
150. DIAPHRAGM ACTION AND MISC. DETAILS
160. TRUSS DIAGRAMS



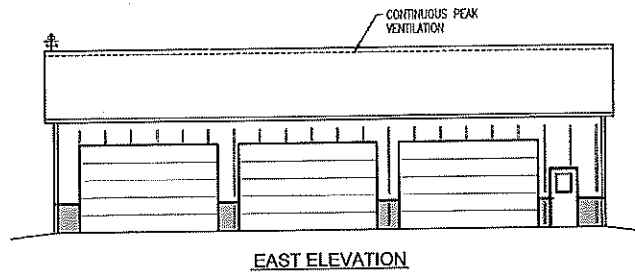
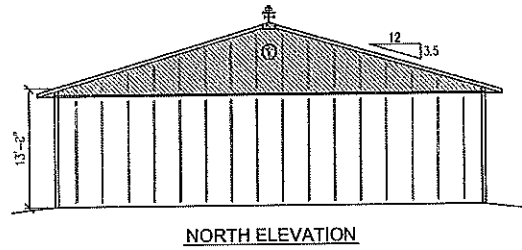
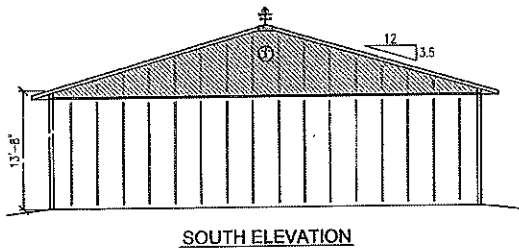
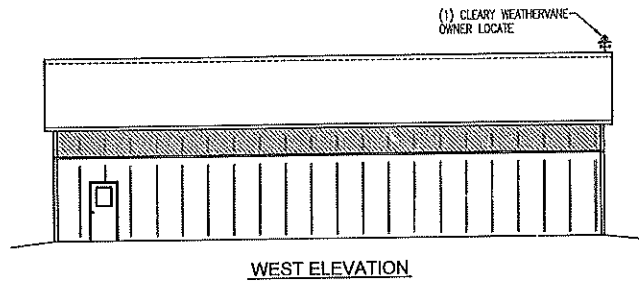
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DATE DRAWN: 10/15/19

PLAN REVISIONS		
NUMBER	DATE	BY
1		
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PROJECT NAME: SCHLITZ AUDOBON, JASON
PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
BAYSIDE, WI - MILWAUKEE COUNTY
BUILDING SIZE: 5000KLS-6
SHEET NAME: SITE PLAN

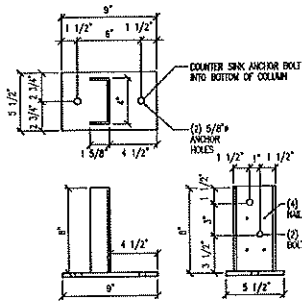
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SHEET SCALE: NONE



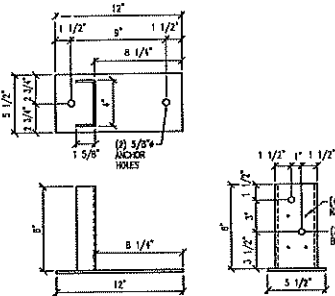


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DATE DRAWN: 10/15/19		
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PROJECT NAME: SCHLITZ AUDOBON, JASON	PROJECT SITE ADDRESS: 1111 E BROWN DEER RD BAYSIDE, WI - MILWAUKEE COUNTY	
	BUILDING SIZE: 50X36X13'-8"	
	SHEET NAME: ELEVATIONS	
	PROJECT NUMBER: 2019105448	
SHEET NUMBER: 110		SHEET SCALE: NONE

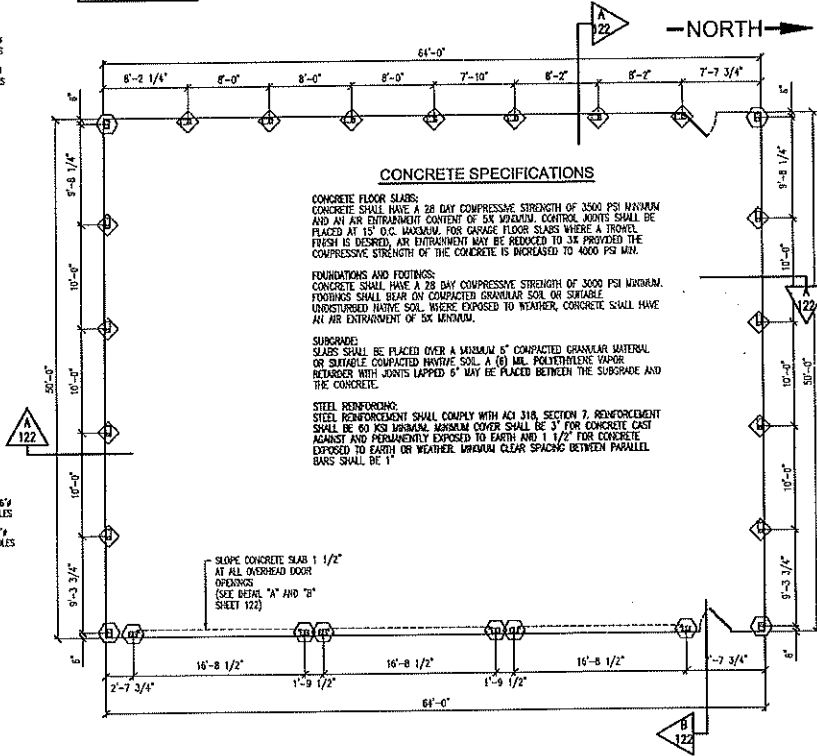


STANDARD 79-100
POST/CORNER BRACKET 9\"/>



STANDARD 79-100
CONCRETE BRACKET DETAIL
AT SIDEWALL AND ENDWALL COLUMNS

NOTE:
 ◇ - STD. 79-100
ANCHOR BRACKET
 ○ - 9\"/>



100 PAOLI STREET / P.O. BOX 630220
VERONA, WI 53599 / (608) 270-8200

DRAWN BY: LCB
 DATE DRAWN: 10/15/19
 PLAN REVISIONS:

NO.	DATE	BY
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5064X13'-0"
 SHEET NAME: CONCRETE BRACKET LAYOUT

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 12.1
 SHEET SCALE: NONE

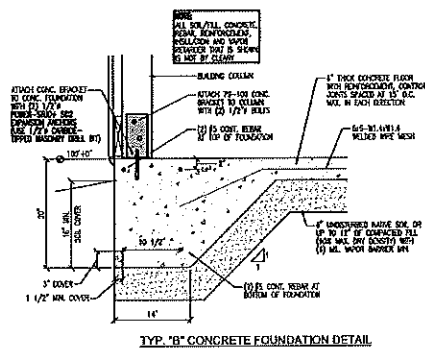
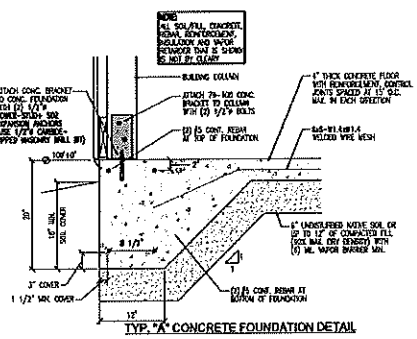
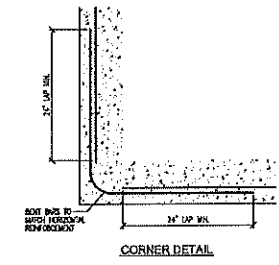
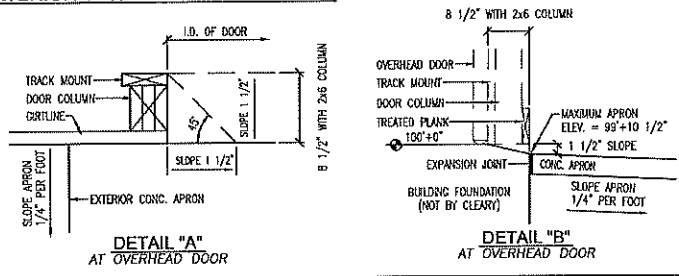


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DATE DRAWN: 10/15/18

PLAN REVISIONS:		
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PROJECT NAME: SCHLITZ AUDOBON, JASON
PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
MILWAUKEE COUNTY
BUILDING PERMIT: 50064123-8
SHEET NAME: CONCRETE FOUNDATION DETAILS
PROJECT NUMBER: 2019105448
SHEET NUMBER: 122
SHEET SCALE: NONE

RECOMMENDED DETAILS WHEN EXTERIOR CONC. APRON IS PRESENT





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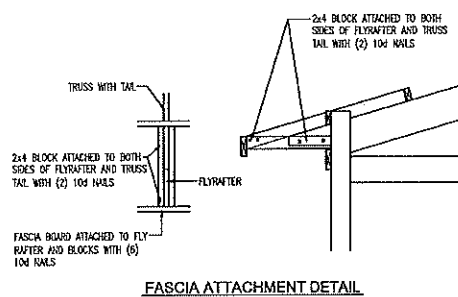
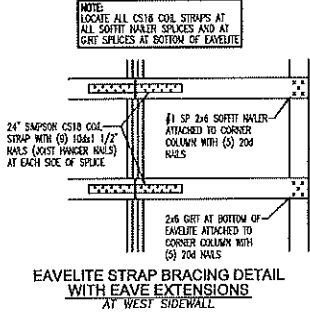
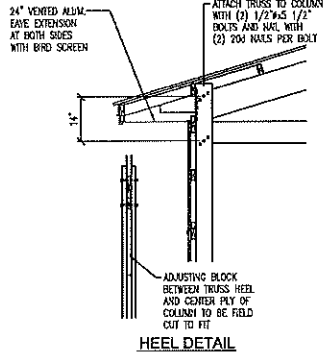
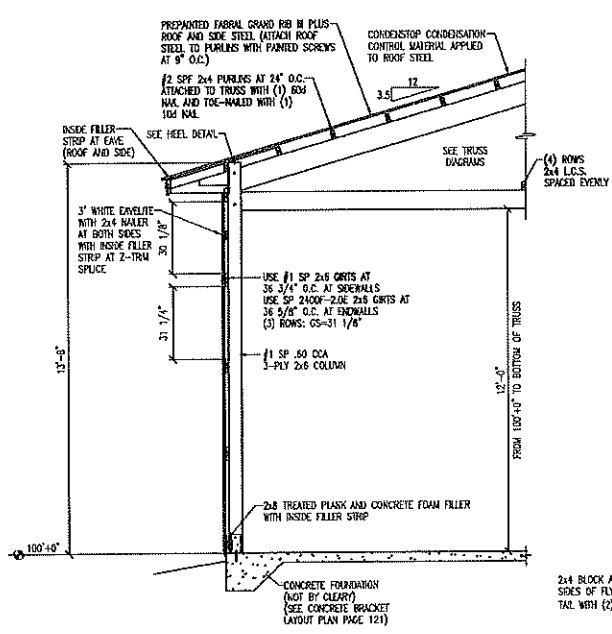
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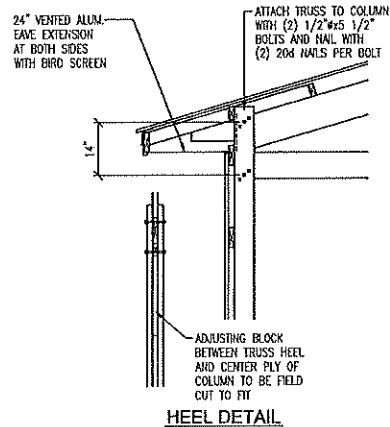
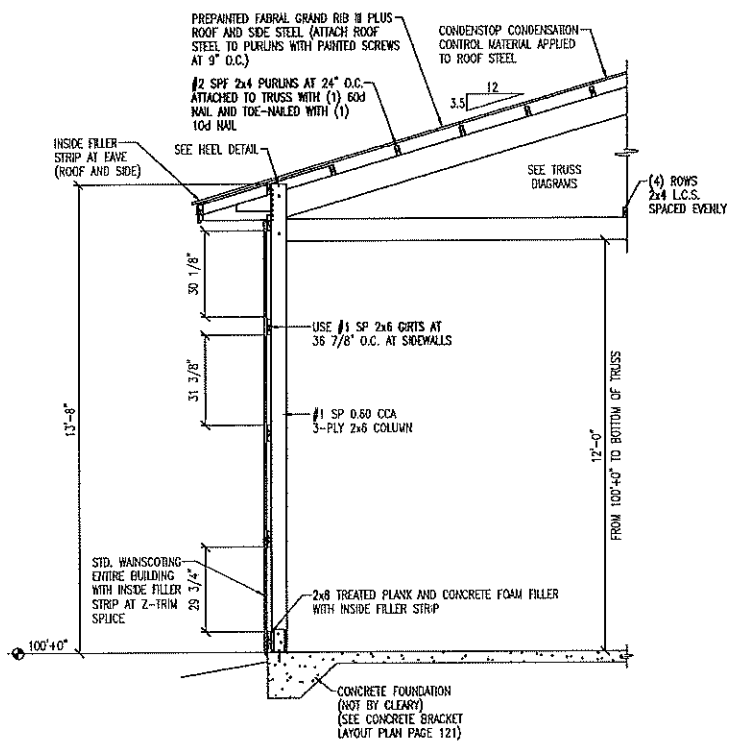
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 508KX13'-8"
 SHEET NAME: TYPICAL SECTION "A"

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 130
 SHEET SCALE: NONE





100 PACO STREET / P.O. BOX 20000
 VERONA, WI 53593 / (608) 770-0000

DRAWN BY: LCB

DATE DRAWN: 10/15/19

PLAN REVISIONS:

NO.	DATE	BY
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PROJECT NAME
 SCHLITZ AUDOBON, JASON

PROJECT SITE ADDRESS
 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY

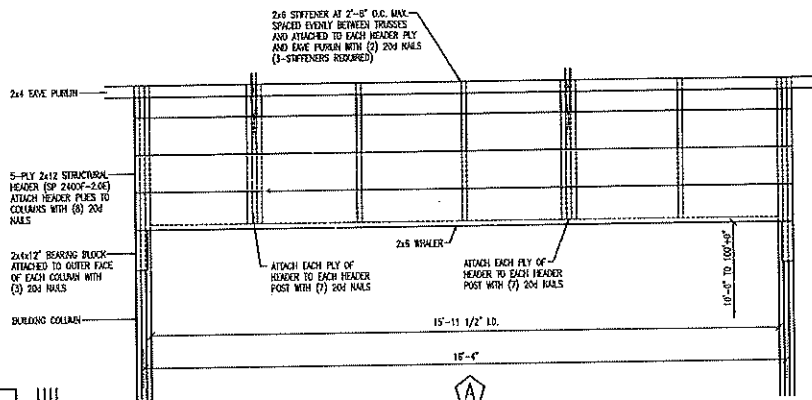
BUILDING SIZE
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SHEET NAME
 TYPICAL SECTION "B"

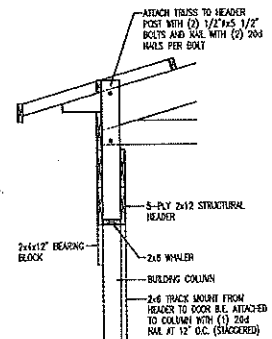
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SHEET NUMBER:
 131

SHEET SCALE: NONE

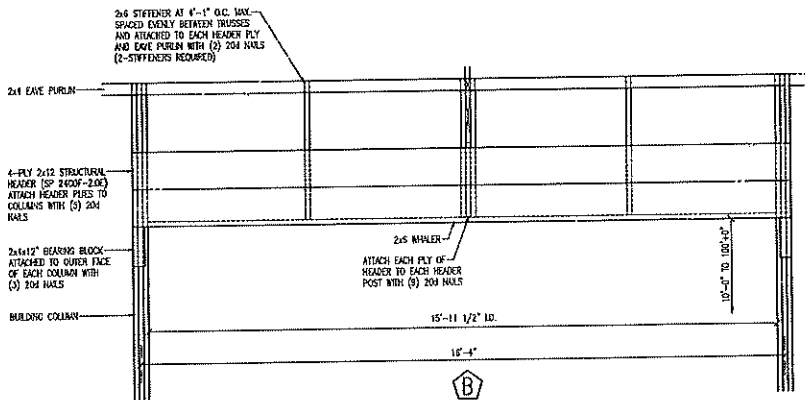


16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING

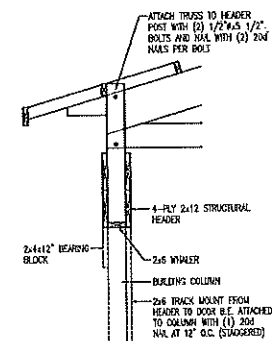


SECTION AT HEADER POST

NOTE-INSTALLING ALLOWING:
 INSTALL (3) 1/2" x 1.125 GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED EXCEEDS THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING



SECTION AT HEADER POST

CLEARY
 BUILDING CORP.


140 PAOLI STREET / P.O. BOX 630220
 VERONA, WI 53598 / 800.373.5805

DRAWN BY: LCB

DATE DRAWN: 10/15/19

NUMBER	DATE	BY
1		
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5069x13'-8"
 SHEET NAME: HEADER DETAILS
 PROJECT NUMBER: 2019105448
 SHEET NUMBER: 140
 SHEET SCALE: NONE



CLEARY BUILDING CORP.
 100 PACULI STREET / P.O. BOX 8000
 VERONA, WI 53593 / (262) 573-0000

DRAWN BY: JCB
 DATE: 09/15/19
 PLAN REVISIONS:

NUMBER	DATE	BY
1		
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PROJECT NAME:
SCHLITZ ADOBON, JASON

PROJECT SITE ADDRESS:
1111 E BROWN DEER RD
BAYSIDE, WI - MILWAUKEE COUNTY

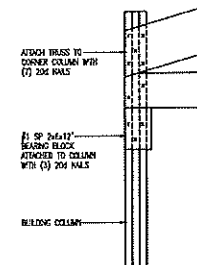
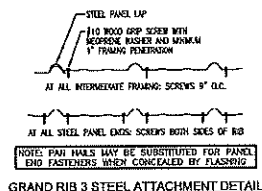
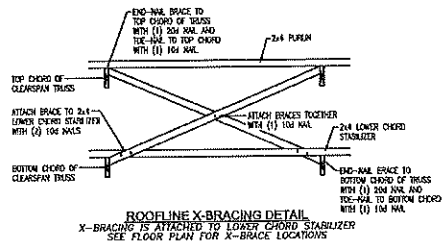
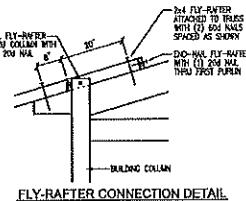
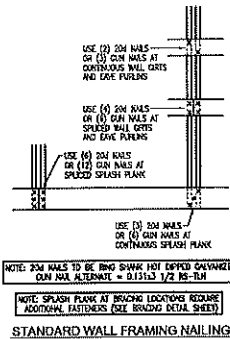
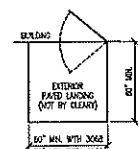
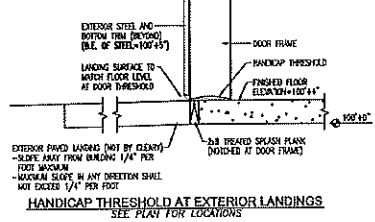
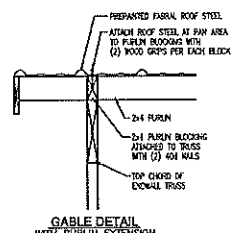
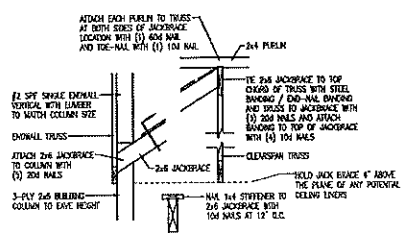
BUILDING SIZE:
500x913'-8"

SHEET NAME:
DIAPHRAGM ACTION AND MISC. DETAILS

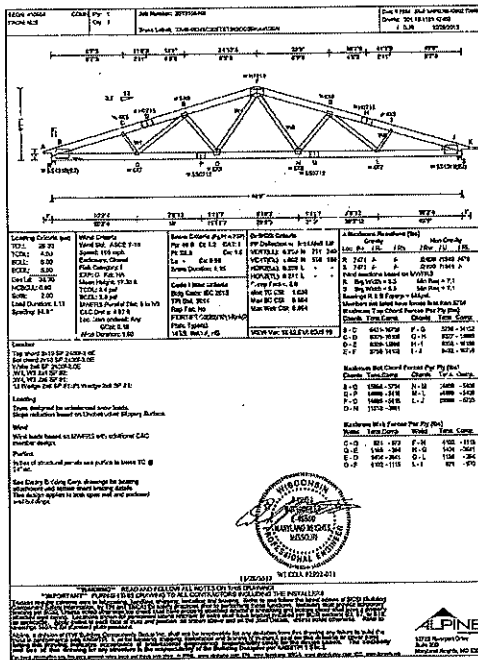
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2019105448

SHEET NUMBER:
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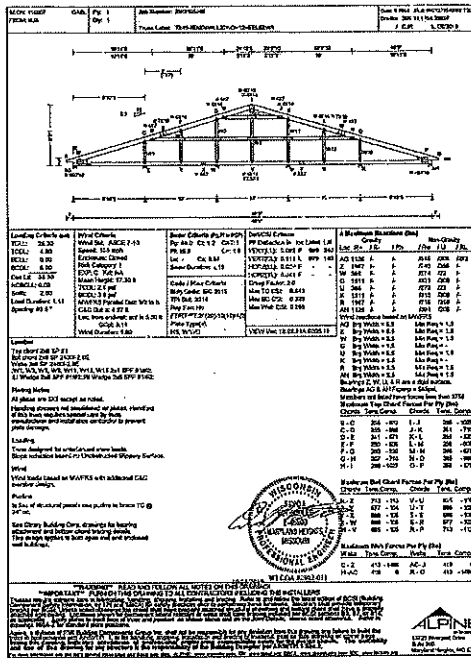
SHEET SCALE: NONE



CLEARSPAN TRUSS



STRUCTURAL ENDWALL TRUSS



TRUSS CHECK	
() TRUSS SIZE	LB
() ROOF PITCH	LB
() BAY SPACING	LB
() SLC / RLC	LB
() DESIGN LOADS	LB
() OVERHANGS	LB

190 PAULI STREET / P.O. BOX 833220
VERONA, WI 53590 / (800) 573-6650

DRAWN BY: LCB

DATE DRAWN: 10/15/19

PLAN REVISIONS:

NUMBER	DATE	BY
1		
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4		

PROJECT NAME: SCHLITZ AUDOBON, JASON

PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
BAYSIDE, WI - MILWAUKEE COUNTY

BUILDING SIZE: 50x44x13'-8"

SHEET NAME: TRUSS DIAGRAMS

PROJECT NUMBER: 2019105448

SHEET NUMBER: 160

SHEET SCALE: NONE

Schlitz Audubon Nature Center
New Maint. Bays



Schlitz Audubon
Nature Center

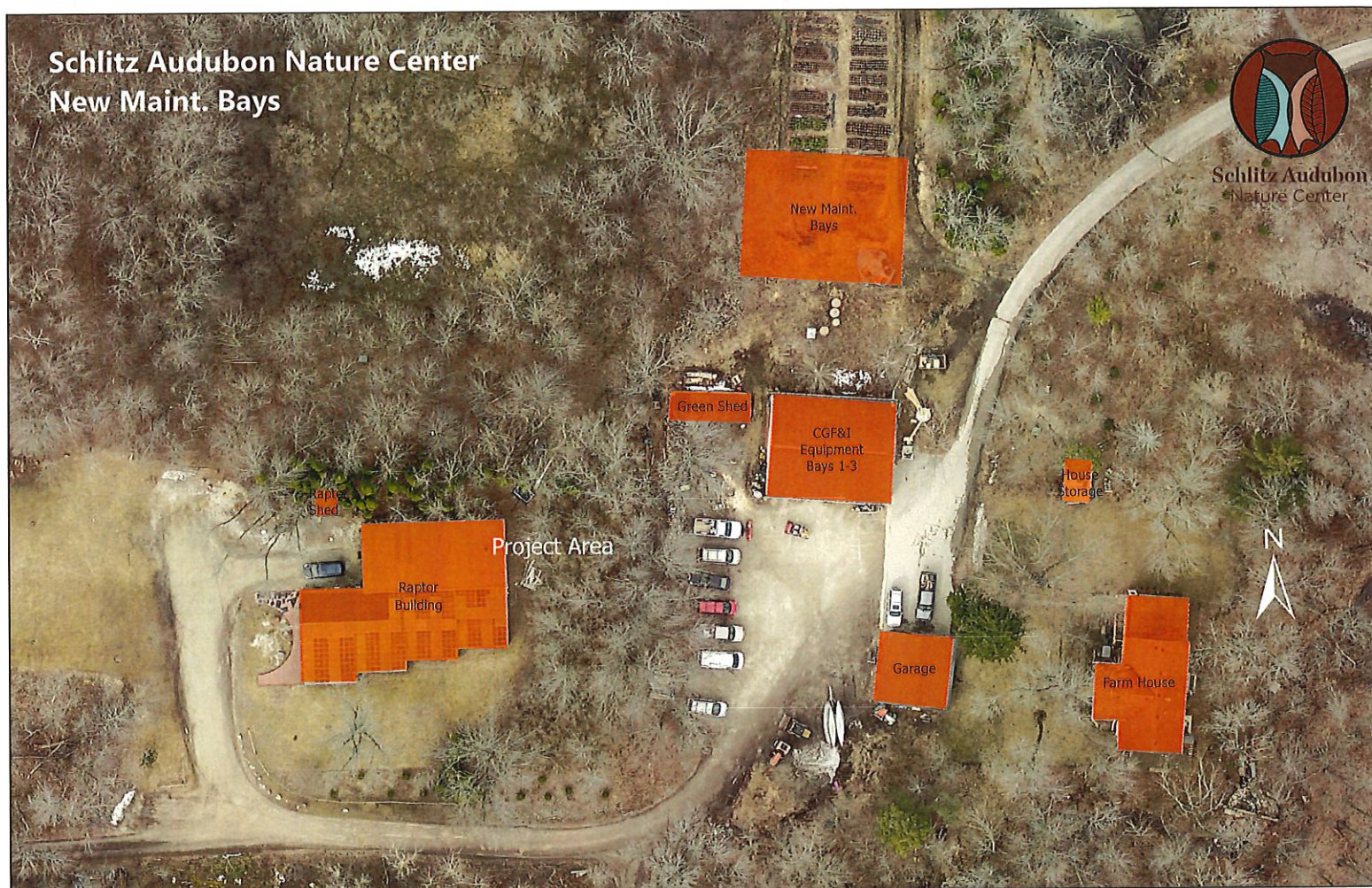
Project Area



Schlitz Audubon Nature Center
New Maint. Bays



Schlitz Audubon
Nature Center



55-9999

SHEET 1 OF 2

PLAT NO. NW 48-3

PERCOLATION TESTS
LAND CONSULTANT
SEWER & WATER DESIGN
SURVEYING

NIENOW, LANDRY, WEBSTER & ASSOC.

CONSULTING ENGINEERS & SURVEYORS

1750 W. SILVER SPRING DRIVE
450 ELM GROVE ROAD

MILWAUKEE, WIS.
ELM GROVE, WIS.

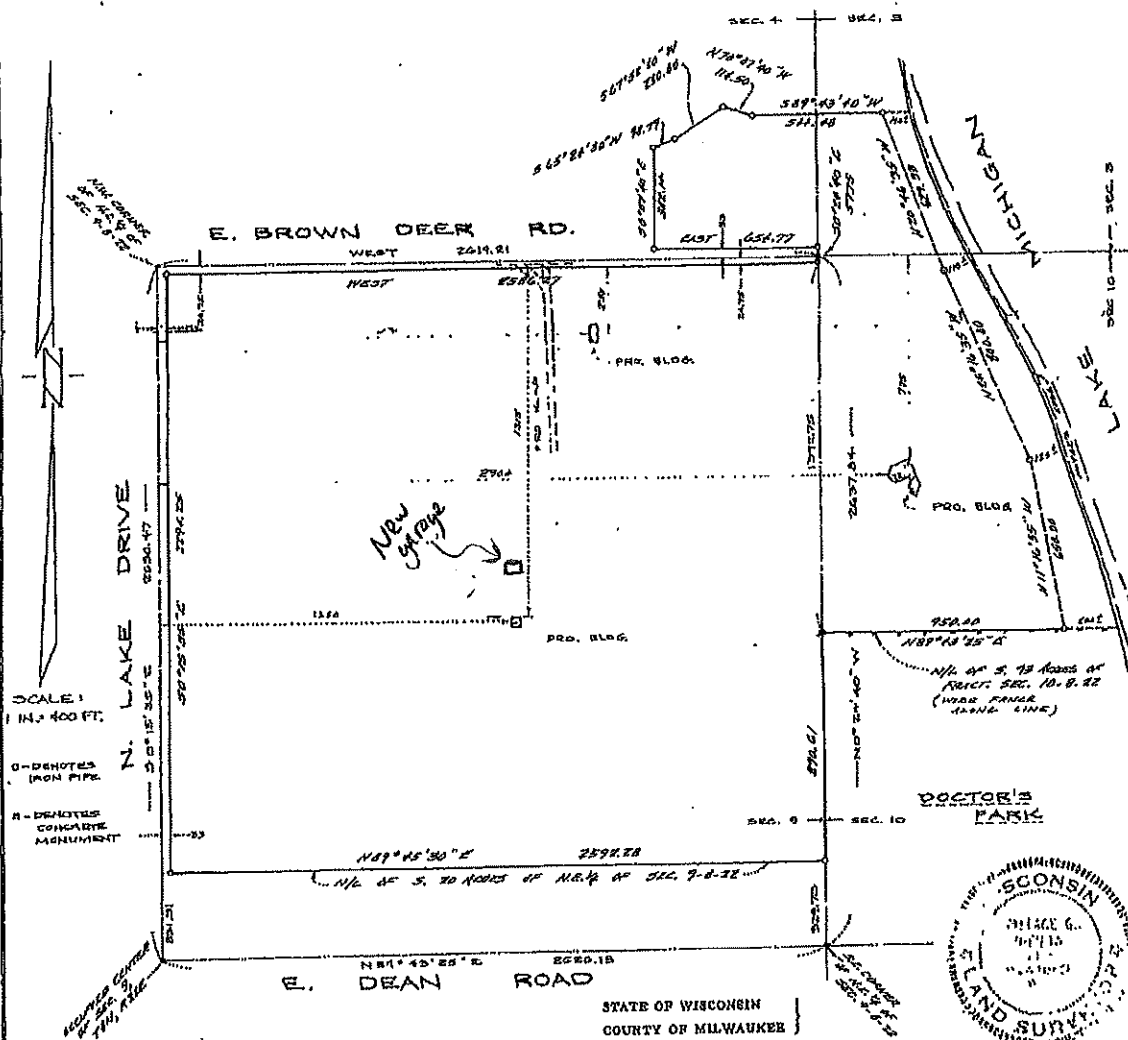
WALLACE G. NIENOW, P.E.
JAMES W. LANDRY, P.E.

ASSOCIATES
KENNETH R. WESTERN, P.E.
CARL R. RAHMIG, P.E.

PLAT OF SURVEY

PREPARED FOR: Schlitz Foundation

DESCRIPTION OF PROPERTY: A part of Sections 3, 4, 9, and 10 in Town 8 North, Range 22 East, in the Village of Bay Side, Milwaukee County, Wisconsin.



SCALE: 1 IN. = 400 FT.

0 - DENOTES IRON PIPE

A - DENOTES CONCRETE MONUMENT

RECORDED COPY OF THIS PLAT FILED IN THE OFFICE OF THE CLERK OF THE MILWAUKEE COUNTY COURT

AFFIDAVIT:

I hereby certify that I have made a survey on _____, 196____, and that the location of the _____ on above described property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, Wallace G. Nienow, Surveyor, do hereby certify that I have made a survey of the above described property and that the above plat is a true representation of said survey.

Milwaukee, Wisconsin



Wallace G. Nienow

JUNE 23, 1971

Rev. JUNE 10, 1973
Sept 11, 1973

Project Proposal

Date _____

Property Address 850 E. Bay Point Rd; Bayside, WI 53217

Zoning _____

Storage Shed
☒ Accessory Structures/Generators

☐ Additions/Remodel

☐ Bluff Management

☐ Commercial Signage

☐ Decks/Patios

☐ Fence

☐ Fire Pits

☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit

☐ New Construction

☐ Play Structures

☐ Recreational Facilities/Courts

☐ Roofs

☐ Solar Panels/Skylights

☐ Swimming Pools

☐ Windows/Doors-change exceeds 25% of opening

☐ Other

Proposed project details (type of work, size, materials, etc.):

Installation of a free-standing 8'W x 10'D x 7'H wood paneled exterior storage shed built w/ double entry doors, 2 single windows, vents, and shingled roof. Shed mounted and leveled onto ground via cedar timbers and earth anchors.

*****For Office Use Only*****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: John Pearce PROJECT ADDRESS: 850 E Bay Point	PROJECT SUMMARY: New 10' X 8' gable style storage shed
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Sec. 125-90. - "B" residence district regulations.

- (4) A side yard of not less than ten feet shall be provided for on each side of every building.
- (5) A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

Shed location complies with setback requirements.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

NEW SHED LOCATION COMPLIES WITH VILLAGE CODE.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager



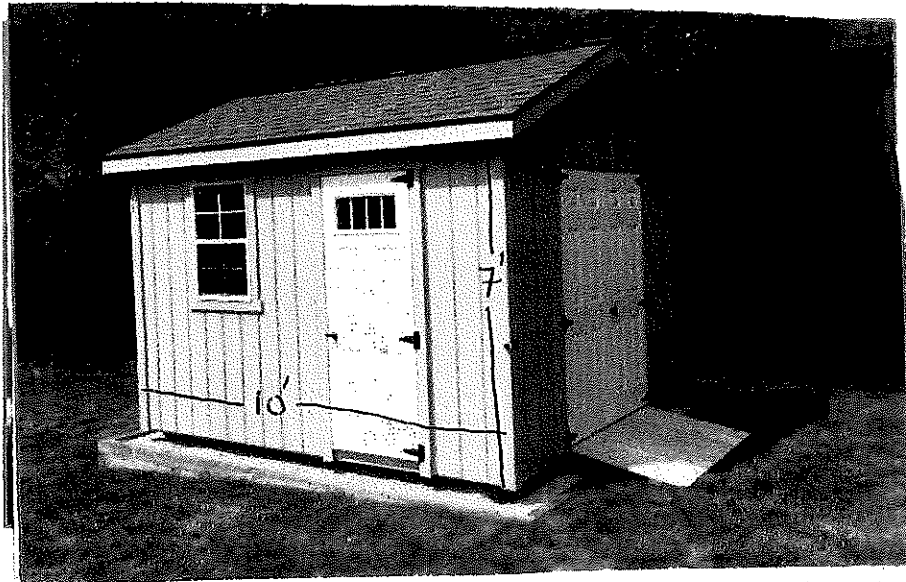
Create Custom Extra Storage Today! 262-806-4389

2166 Beck Dr | Waterford, WI 53185 | FAX: 262-806-7207
Send Mail To: PO Box 275 Waterford, WI 53185

[Shed Types](#) [Sheds For](#) [Shed Details](#) [Showcase](#) [Service Areas](#) [FAQ](#) [About](#) [Contact](#)

Custom Storage Sheds

Milwaukee Shed Design Specifications



Custom Shed Walls

- All walls are 2x4s 16" OC stud spacing unless something else is specified
- Pressure treated bottom plates when building on concrete slabs
**regular lumber all other times*
- Double top plates on all of our walls
- We use 5/8" LP smart panel for our siding
- Gable buildings come standard with 6" soffits on the eaves, freeze board on the gables
- Barn roof buildings have a 5-1/2" soffits on all sides
- Quakers have 5-1/2" soffits on all sides as well

Storage Shed Floors

- All sheds have 2x4 floors with 12" OC (*on center*) spacing
- 8' wide buildings have two pressure treated 4x4 runners
- 10' wide buildings (*delivered*) have four pressure-treated runners
- 12' wide buildings (*delivered*) have four pressure-treated runners
- 10' buildings built on site have three pressure-treated runners
- We use 5/8" **LP Prostruct** for our shed floors
- Our floor joists are pole barn nailed to the 4x4 runners
**not toe-nailed like most other shed builders*

Start Building My Shed!

Storage Shed Roof Structure

- 2x4s 24" OC for roof rafters
- We use 1/2" OSB for our roof sheathing, not 7/16"
- All buildings get H-clips between the plywood seams where applicable

Shed Roof Shingles

- 35-year dimensional shingles standard on all of our buildings
- 15 lb felt is standard on all of our buildings
- Galvanized metal d-edge standard on all roof edges
- 2 gable vents included on all buildings

- 5/8" plywood gusset plates at the peak of all rafters
- Hurricane clips at no charge when required by local municipality
- 2x4 collar ties on every other rafter

- 9 colors to choose from
**or we can match your house's color*

Milwaukee Storage Shed Hardware

- Powder-coated black hardware is standard
- Doors come with a keyed t-handle type lock
- Spring-loaded barrel bolts keep non-active doors closed when not in use
- Windows can be added to the shed or the doors to achieve your desired look

Custom Shed Siding & Trim

We use 5/8" **LP Smart Panels** that come pre-primed from the factory for siding.

3/4" **LP Smart Trim** boards for corner boards and fascia. Also pre-primed from the factory.

[Start Building My Shed!](#)

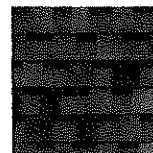
Atlas Roofing Shingle Colors



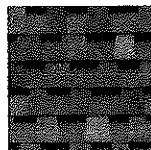
Black



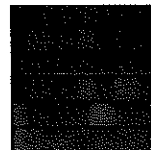
Burnt-Sienna



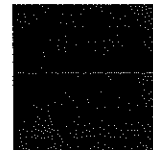
Desert-Shake



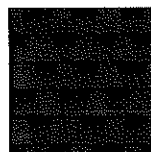
Dove-Grey



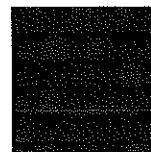
Hearthstone Grey



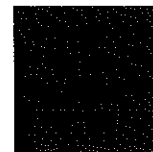
Heather Blend



Pewter



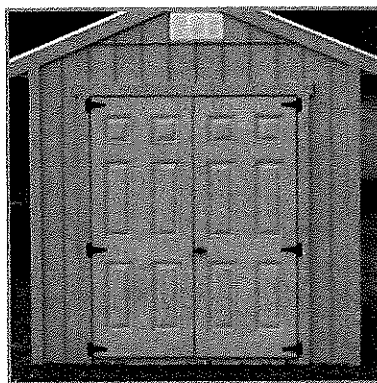
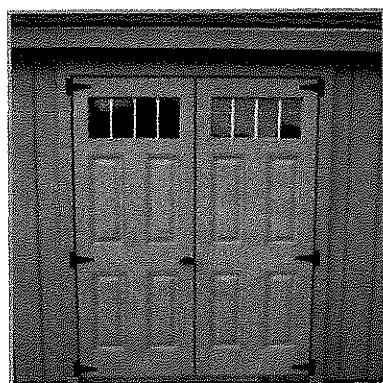
Weathered Wood



Woodland Green

Storage Shed Doors

We use 6-panel fiberglass doors or roll-up doors for our storage sheds.



Contact the **Milwaukee shed builders** at Mainus Construction for spacious and reliable equipment storage.



Building Supplies from LP LP 5/50 Year Warranty

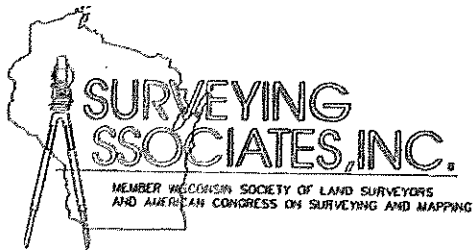
Mainus Construction builds storage sheds using LP Smart Panel Siding and LP Smart Trim boards for outstanding weather protection. LP Smart products are guaranteed to last through rain, ice and sunlight with a 5/50 year warranty. Learn why these innovative engineered wood products make Mainus sheds the most reliable outdoor storage in Wisconsin... [LP Building Products SmartSide Warranty](#)

Picture of Proposed
Project Location



Picture of Proposed
Project Location





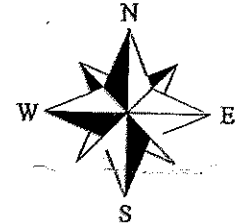
2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443

FREDERICK W. SHIBILSKI R L S

PLAT OF SURVEY

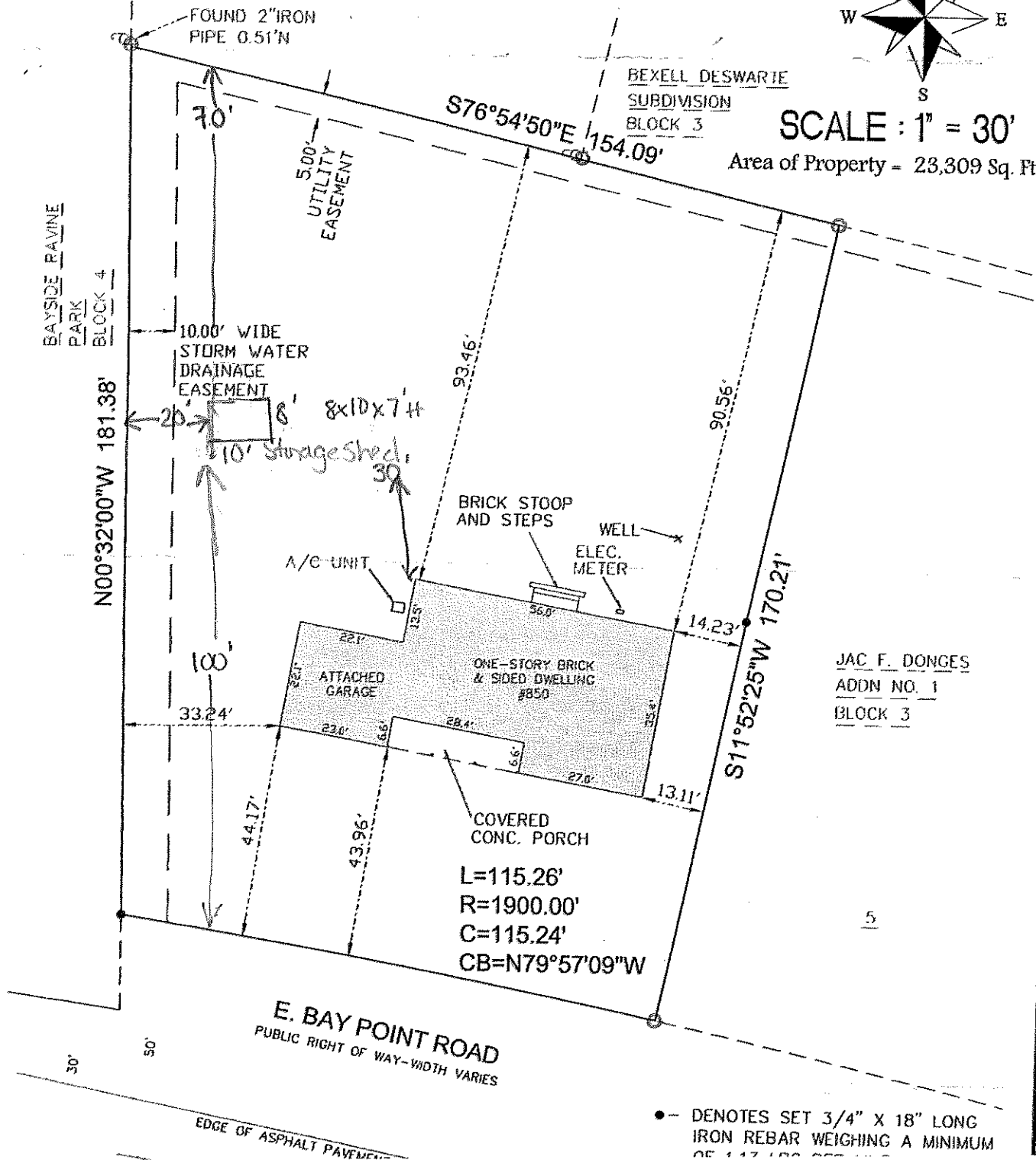
LOT 6, BLOCK 3, JAC F. DONGES ADDITION NO. 1, being a Subdivision of a part of the Northwest ¼ of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

Address: 850 E. Bay Point Road



SCALE: 1" = 30'

Area of Property = 23,309 Sq. Ft.



Project Proposal

Date 5/10/2021

Property Address 309 E Fairy Chasm Road

Zoning _____

☒ Accessory Structures/Generators

☐ Additions/Remodel

☐ Bluff Management

☐ Commercial Signage

☐ Decks/Patios

☐ Fence

☐ Fire Pits

☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit

☐ New Construction

☐ Play Structures

☐ Recreational Facilities/Courts

☐ Roofs

☐ Solar Panels/Skylights

☐ Swimming Pools

☐ Windows/Doors-change exceeds 25% of opening

☐ Other

Proposed project details (type of work, size, materials, etc.):

See above description.

8'x12' shed constructed w/ treated lumber with vinyl siding

***** For Office Use Only *****

Yes	No	
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<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Matt Evans PROJECT ADDRESS: 309 E Fairy Chasm	PROJECT SUMMARY: New 8' X 12' shed
--	---------------------------------------

NEW SHED LOCATION DOES NOT COMPLY WITH VILLAGE CODE.

The submittal shows that the shed is only 5 feet off the rear lot line, which is in violation of the referenced code.

There are no dimensions to determine the setbacks from the side lot line

Sec. 125-91. - "C" residence district regulations

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Reviewer Tod Doeblen

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

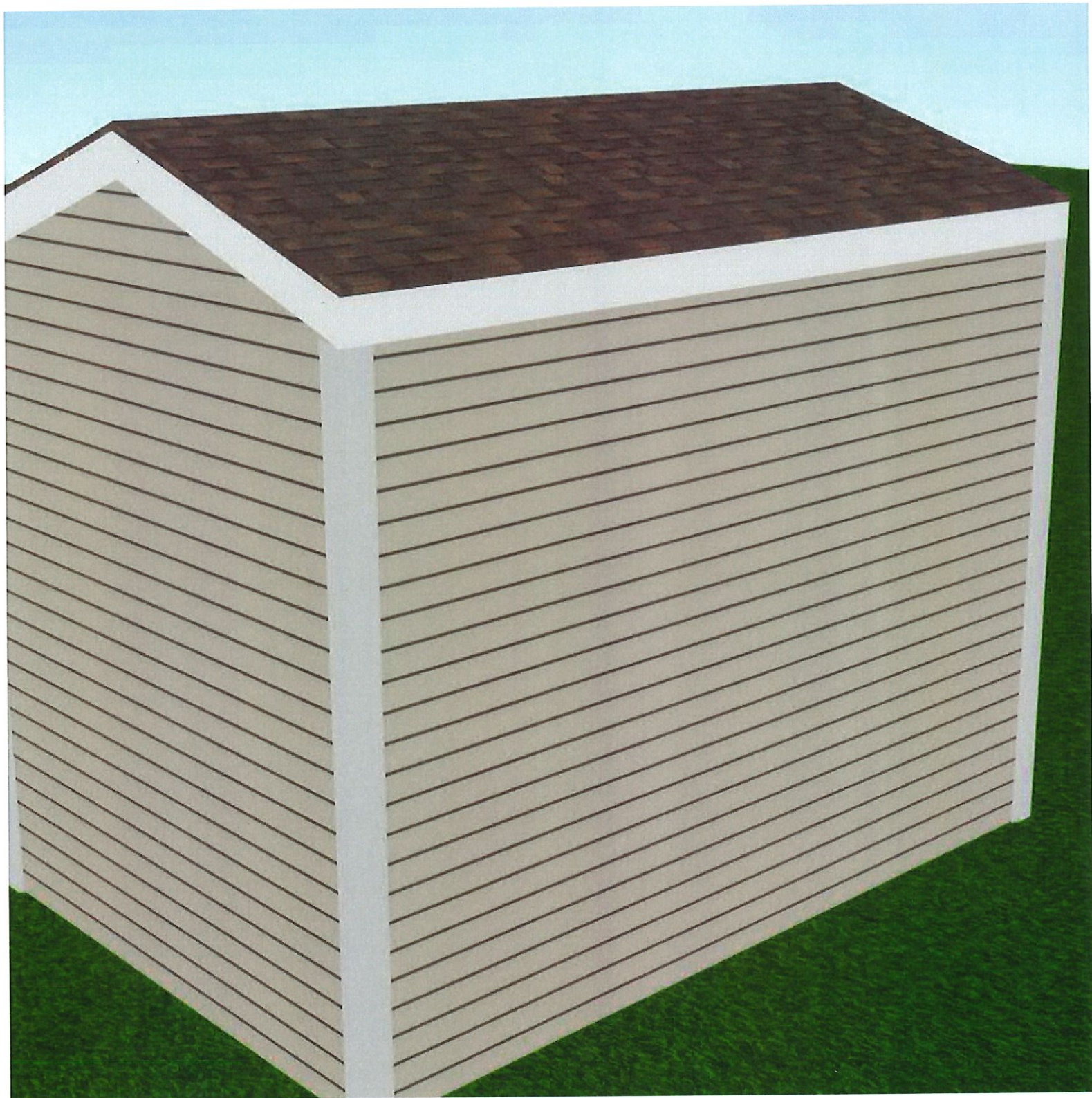
Picture of existing
non-conforming shed



Picture of proposed
shed



Picture of proposed
shed



Picture of Proposed
Shed



EA!

