



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
June 7, 2021
Remote Teleconferencing, 6:00pm

**REVISED ARCHITECTURAL REVIEW COMMITTEE
AGENDA**

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. Approval of May 24, 2021 meeting minutes.

III. BUSINESS

- A. **9019 N Mohawk Rd – David and Jessica Coyle** The proposed project is the installation of a 24 foot above ground pool with fence/rails attached to the pool.

Please review detailed plans [here](#).

- B. **375 E Brown Deer Road – Daniel Kleindl** The proposed project is the installation of 150 feet of aluminum fence in the backyard with two gates.

Please review detailed plans [here](#).

- C. **8934 N Navajo Road – John Vieni** The proposed project is a 12'x20' deck that will be constructed directly off the existing concrete patio. The deck will be approximately 19 inches in height and will be constructed from treated lumber.

Please review detailed plans [here](#).

- D. **901 W Jonathan Lane – Mike and Janice Bernstein** The proposed project is the installation of new windows and a new patio door.

Please review detailed plans [here](#).

- E. **1111 E Brown Deer Road- Schlitz Audubon Nature Center** The proposed project is the installation of a 64'x50' storage garage for nature center equipment.

Please review detailed plans [here](#).

- F. **850 E Bay Point Road – John and Deborah Pearce** The proposed project is the installation of a 8'x10' wood paneled exterior storage shed. The shed will have double entry doors, two single windows, vents, and a shingled roof.

Please review detailed plans [here](#).

- G. 309 E Fairy Chasm Road – Matt and Claire Evans** The proposed project is the replacement of the existing shed in the backyard. The shed will be constructed from treated lumber with vinyl siding.

Please review detailed plans [here](#).

- H. 9040 N Mohawk Road – Maylan Thomas** The reconsideration of the reduced size of a custom cedar fence on the north side of the property.

Please review detailed plans [here](#).

IV. ADJOURNMENT

Leah Hofer
Assistant to the Village Manager

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/82835811633?pwd=eTJod3RCZ1pGUEM3L1hNZVJUYmUxUT09>

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 828 3581 1633, password 475795.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



I. CALL TO ORDER

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:00pm.

II. ROLL CALL

Chair: Marisa Roberts
Members: Elizabeth Levins - Excused
Dan Zitzer
Tony Aiello
John Krampf

Trustee Liaison: Mike Barth

Also Present: Assistant to the Village Manager Leah Hofer
There were three people in the audience.

III. APPROVAL OF MINUTES

A. Approval of May 10, 2021 meeting minutes.

Motion by Trustee Barth, seconded by Dan Zitzer, to approve the May 10, 2021 meeting minutes. Motion carried unanimously.

IV. BUSINESS

A. 8949 N Greenvale Road – John and Karen Hiller

John Hiller, property owner, appeared on behalf of the project. There was one neighbor in attendance.

Mr. Hiller described the project as the replacement of a 6-foot fence surrounding his pool, expanding the fence to the property line. There will also be a portion of the fence that is solid for privacy purposes.

Motion by Trustee Barth, seconded by Chairperson Roberts, to approve the project as described and presented in the application. Motion carried unanimously.

B. 8934 N Navajo Road – John Vieni

This agenda item was tabled.

C. 901 W Jonathan Lane – Mike and Janice Bernstein

This agenda item was tabled.

D. 1111 E Brown Deer Road- Schlitz Audubon Nature Center

This agenda item was tabled.

E. 850 E Bay Point Road – John and Deborah Pearce

This agenda item was tabled.

F. 309 E Fairy Chasm Road – Matt and Claire Evans

This agenda item was tabled.

G. 9040 N Mohawk Road – Maylan Thomas

Maylan and Amy Thomas, property owners, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Thomas described the project as a 6-foot tall horizontal cedar fence with two gates, running the length of the back property line. A 7'x7' composite shed is already placed on the property and will be moved to comply with code.

Motion by Tony Aiello, seconded by Trustee Barth, to approve the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Tony Aiello, seconded by Trustee Barth, to adjourn the meeting at 6:28pm. Motion carried unanimously.

Respectfully submitted,

Leah Hofer
Assistant to the Village Manager



Application for Appearance before the
Architectural Review Committee

Owner's Name	David & Jessica Coyle	Contractor's Name	N/A
Property Address	9019 N. Mohawk Rd	Address	
Telephone	414-688-1455	Telephone	
Email	coyleteach@gmail.com	Email	

Proposed project details (type of work, size, materials, etc.):

24' feet above ground pool with
fence/rails attached to pool. Pool will
be located 20' north of neighbor to the south
and 35' from the neighbor to the west.
Pool volume = 13,593 gallons.

* Spoke with resident and confirmed that 50% of pool
will be below grade. - Leah Hofer

* Spoke with resident and confirmed mechanical systems
will be blocked by pool and existing coniferous trees. - fff

05/25/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: David & Jessica Coyle PROJECT ADDRESS: 9019 N. Mohawk Rd.	PROJECT SUMMARY: 24-foot diameter above ground pool with fence railing attached to top of the pool
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I have reviewed the above ground swimming pool for compliance with the Village's ordinances and have determined the following for consideration

1. A survey has been provided showing the pool location meeting the required setbacks to the lot line and home. The survey is hand drawn, the ordinance **104-126(3)(D)(1)** requires a survey to scale
2. Owner states the pool will be not less than 50% below grade and the height of the pool will be at least five feet above grade with pool wall extender as required by ordinance
3. Owner did not show location of pool equipment but state it will be screened by existing trees.
4. Owner has drawn in location of power lines and will meet the minimum electrical code requirements
5. Earth tone pool will be harmonious with the neighborhood

VILLAGE CODE REVIEW

The above ground swimming pool will meet the Village's ordinances when all information is verified.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

PLAT NO M-1042-L3-B2

ENGEL & ENGEL

OFFICE PHONE HI 5 2971

SURVEYORS

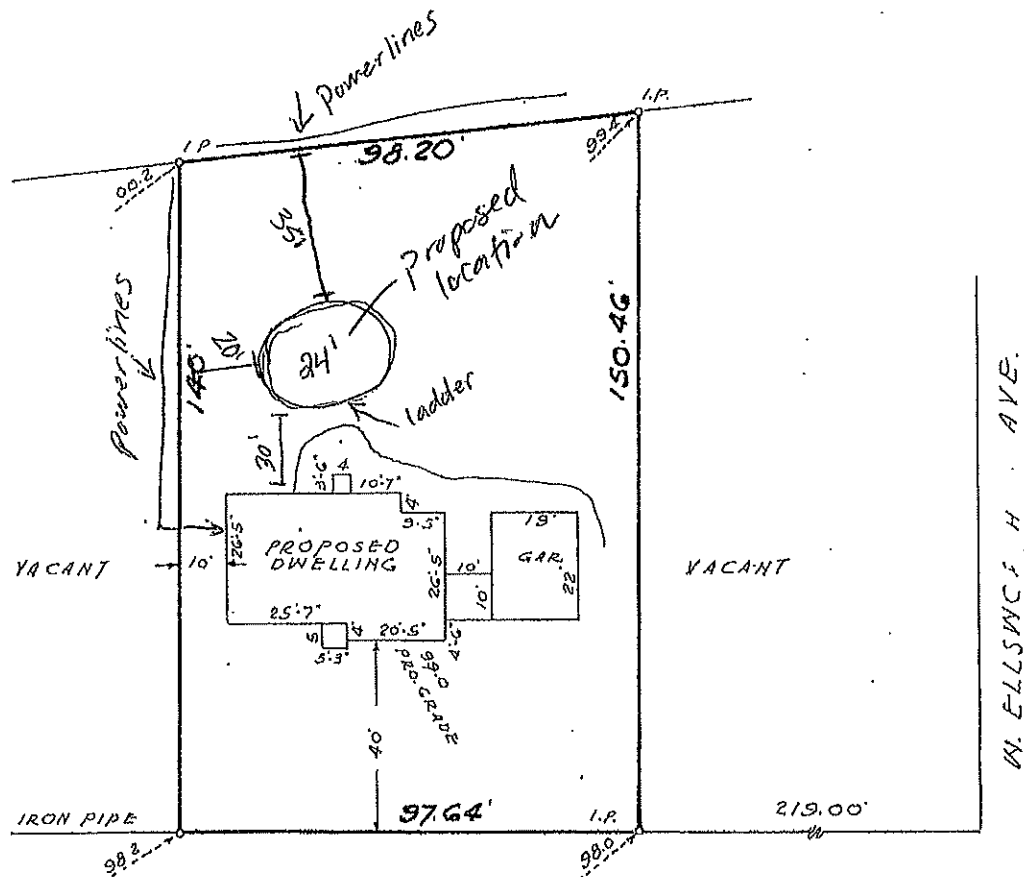
4622 WEST CENTER STREET MILWAUKEE 10 WISCONSIN

PLAT OF SURVEY

Lot 3, Block 2, The Bayport Estates, being a subdivision of part of the Southeast 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin

66-11

SCALE 1" = 30'



MOHAWK (60) AVE
(9019 N. MOHAWK AVE)

State of Wisconsin }
County of Milwaukee } 55.

We, Engel & Engel, do hereby certify that we have made the above survey on the 8th day of FEBRUARY, 1955, and that the survey of the lot and information as shown on said survey, is complete and correct, and we further certify that The Treis Co., Inc. is the owner of the premises as described and shown above.

Signed Joseph Engel
Surveyor

Project Proposal

Date _____

Property Address _____

Zoning _____

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input checked="" type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening

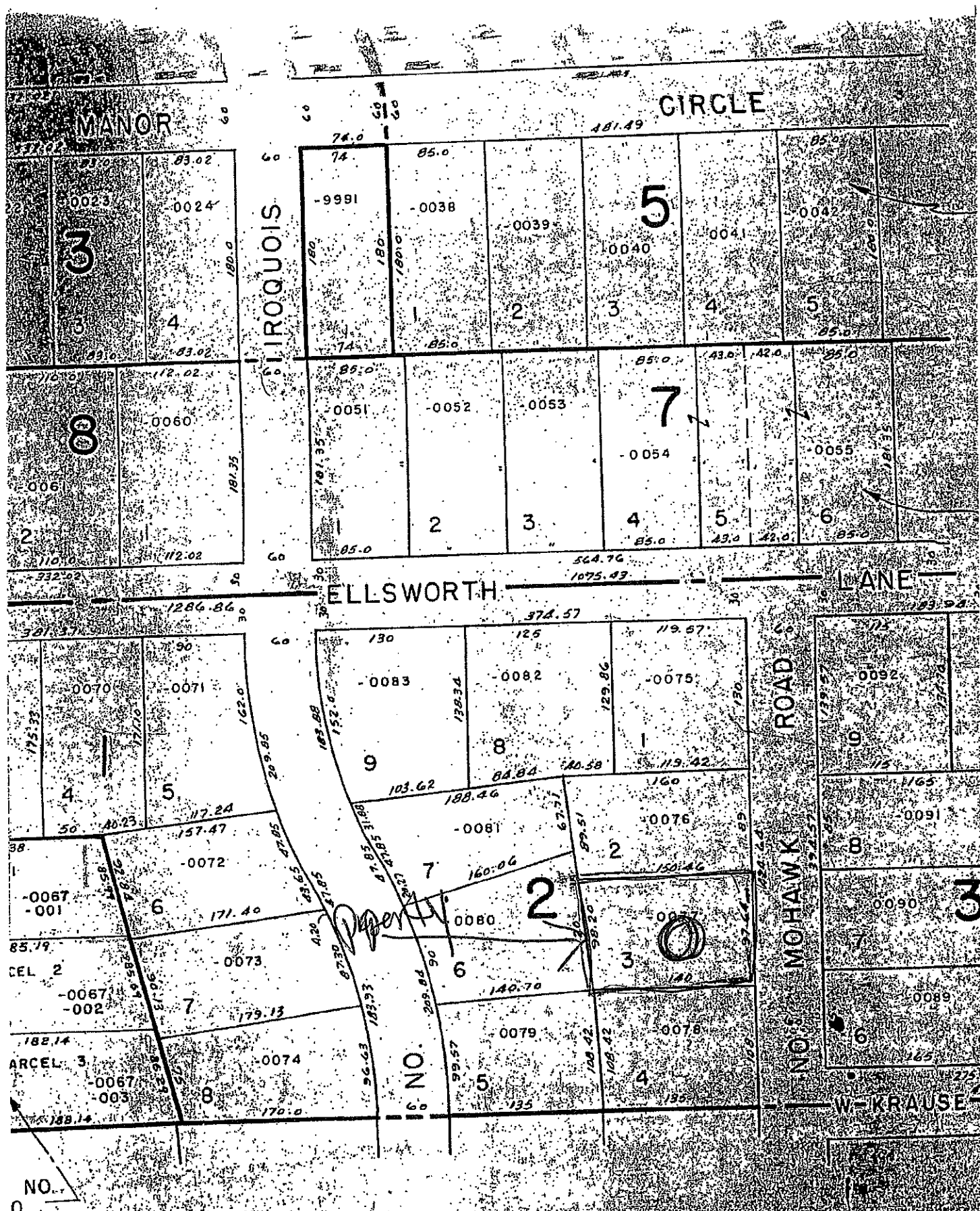
<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

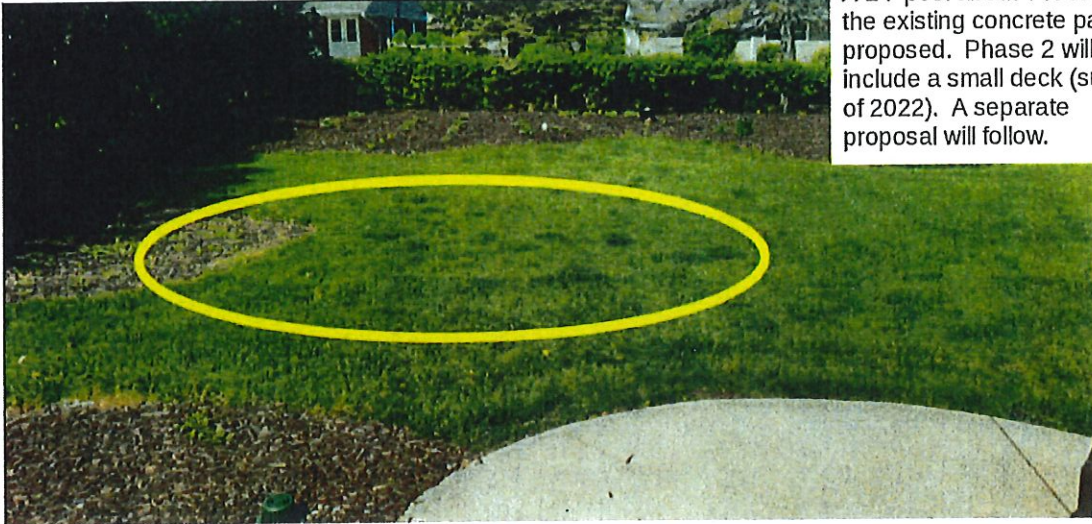
24' above ground pool.

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required



WAUKEE TREASURY DEPARTMENT
 DISTRICTING DIVISION



A 24' pool about 5 feet off of the existing concrete patio is proposed. Phase 2 will include a small deck (summer of 2022). A separate proposal will follow.



35' to the property line

20' to the property line



Pool will be at least 48" above ground level. A fence will attach to the pool edge providing a 6'+ barrier from ground level.

The pool color will be an "earthy" tone to blend with the siding of our house and the surrounding homes.

Project Proposal

Date 5/9/21

Property Address 375 E Brown Bear Rd

Zoning residential

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/25/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Daniel Kleindl</p> <p>PROJECT ADDRESS: 375 E. Brown Deer</p>	<p>PROJECT SUMMARY: New fence; Black aluminum finish 150 foot in length 5-foot high</p>
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VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length 150' is approximately 28.51% of the total property perimeter length of approximately 526'.

Per the code section copied below a 25% open fence is required.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS / TYPES COMPLY

HEIGHT:

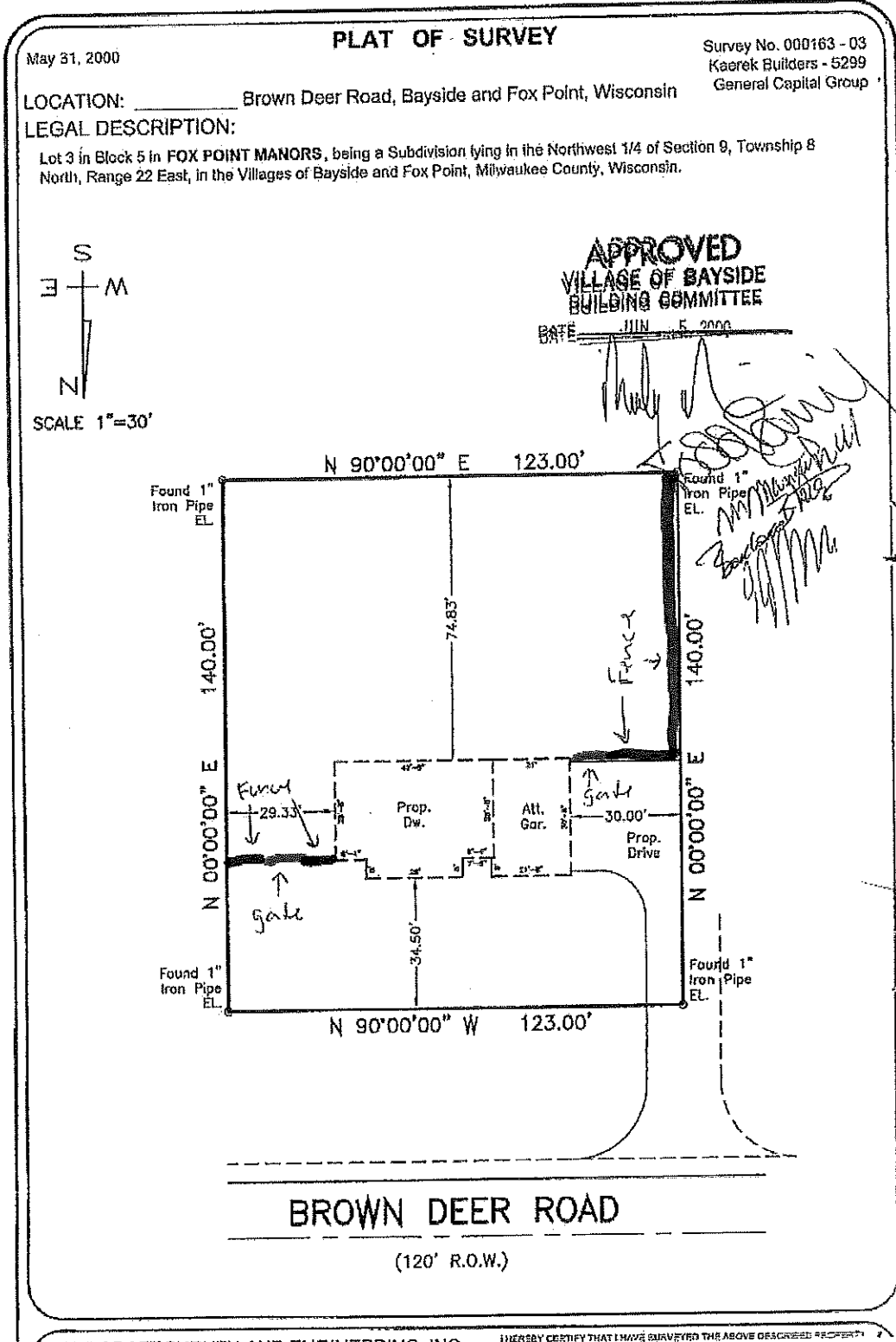
PROPOSED 5 FOOT HEIGHT IS COMPLIANT

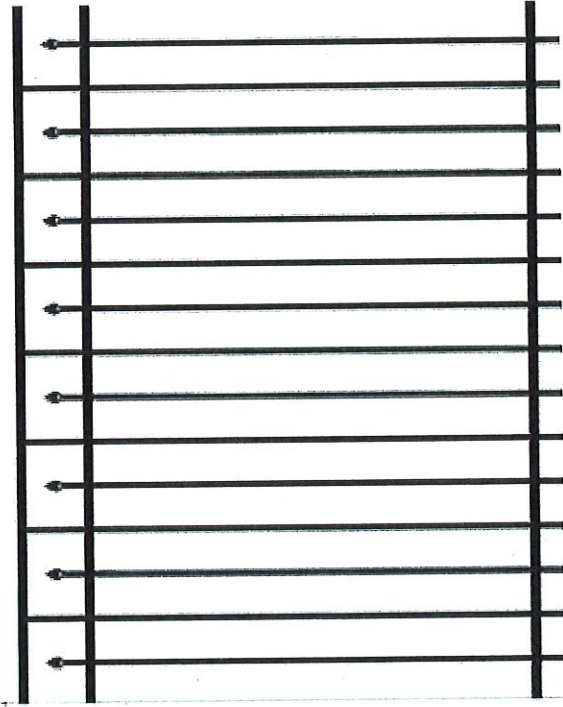
MATERIAL / FINISH:

Aluminum black finish

Reviewer/ Tod Doebler

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager





⊕ Save to List

Brilliance Standard-Duty 5 ft. H x 6 ft. W Black Aluminum Pre-Assembled Fence Panel

by **Barrette Outdoor Living** >

★★★★★ (21) > Write a Review Questions & Answers (28)

\$97¹¹

Color/Finish: **Black**







Project Proposal

Date 05/06/2021

Property Address 8934 N Navajo Rd

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input checked="" type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening

<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

The Deck, will be constructed directly off of the existing concrete patio and will be 12'x20'.

The depth of the deck will be no more than 19" above grade. The materials used to construct the deck will be treated lumber.

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: John Vieni PROJECT ADDRESS: 8934 N Navajo Rd	PROJECT SUMMARY: New 12' X 20' deck
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VILLAGE CODE REVIEW

Sec. 104-4. - Accessory structures.

(m) Decks or patios are not considered accessory structures but shall not exceed 18 inches in height and 150 square feet without the approval of the architectural review committee.

Setbacks are code compliant

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Building review is required. Submit complete set of construction plans for review before a building permit will be issued

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

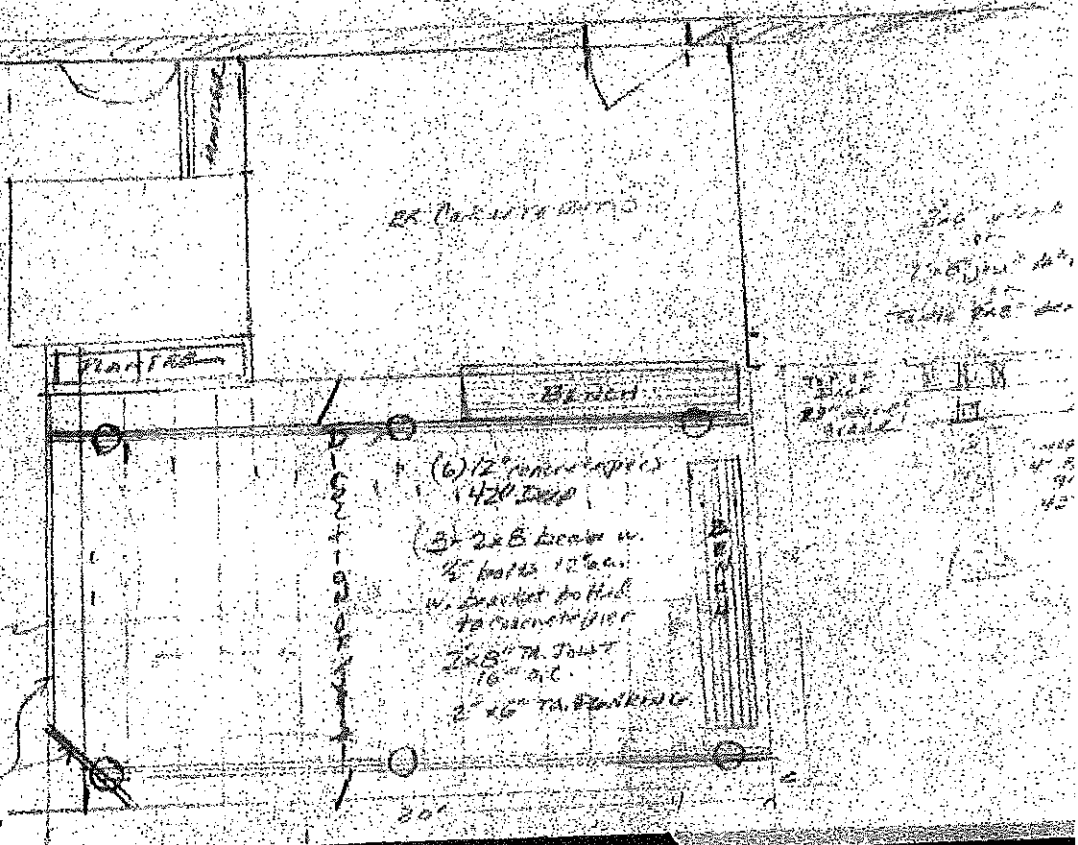
JOHN & BETTINE VIENI
 8934 N. HAVADO RD.
 BAYSIDE, WZ 53017

of house

Crack

2x8
 center
 bridging

2' corner
 chip
 DOUBLE
 2x8
 Rim joist



Picture of Existing
Backyard



Picture of Proposed Project
Location



Plan of Survey

for
DON T. ALLEN INDUSTRIES

Pages 20 2734 George Avenue, Town of Milwaukee, Wisconsin
Lot 5 in Block 4 in the Survey Subdivision of a part of the S. E. 1/4 of Section 5,
T. 8 N., R. 27 E., in the Town of Milwaukee, Milwaukee County, Wisconsin

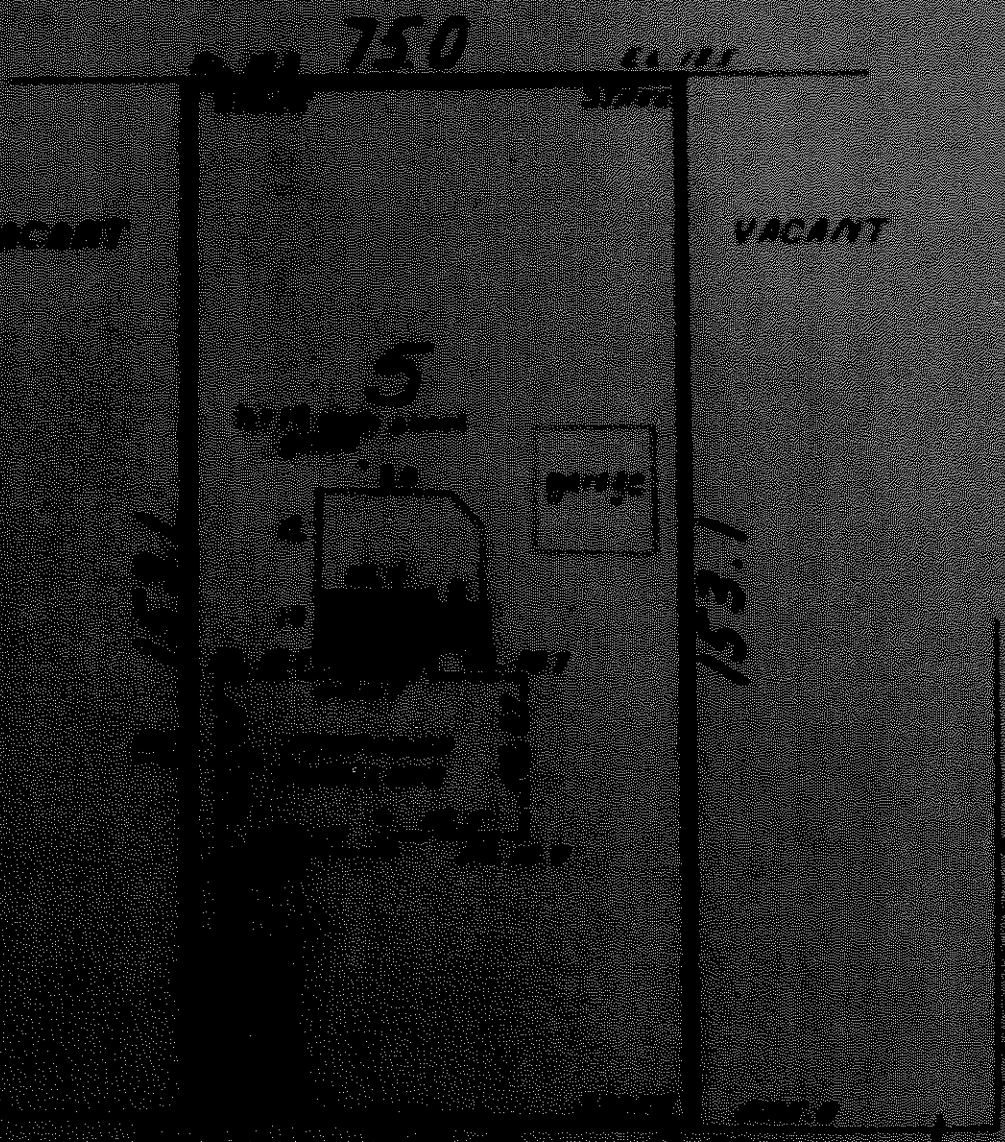
April 25, 1953

Forest Tiedje

Survey No. 55142-5

455-53

Existing
concrete
walk and
driveway



Project Proposal

Date Fall 2021 Sept

Property Address 901 W Jonathane La

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input checked="" type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

New windows / patio door = 95 1/4 x 81.5
→ 38 1/2 x 53" and 111" x 59"

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
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<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Mike / Janice Bernstein</p> <p>PROJECT ADDRESS: 901 W. Jonathan Ln</p>	<p>PROJECT SUMMARY: Enclose existing screen room</p>
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VILLAGE CODE REVIEW

Sec. 104-98. - Required

(c) No addition to, alteration or repair of an existing one-family or two-family dwelling may be undertaken unless a building permit for the work is first obtained by the owner or agent from the building inspector after approval of the architectural review committee or unless the work is deemed minor repair or a razing or demolition project by the building inspector. In this subsection, the term "minor repair" means repair performed for maintenance or replacement purposes on any existing one-family or two-family dwelling that does not affect exterior aesthetic appearance and that does not increase a given occupancy and use. Window replacement and door replacement projects shall not be considered to affect the exterior appearance of a structure and are considered to be a minor repair, as long as the location of the opening does not change and the size of the opening does not exceed twenty-five percent of the original.

Setbacks are code compliant

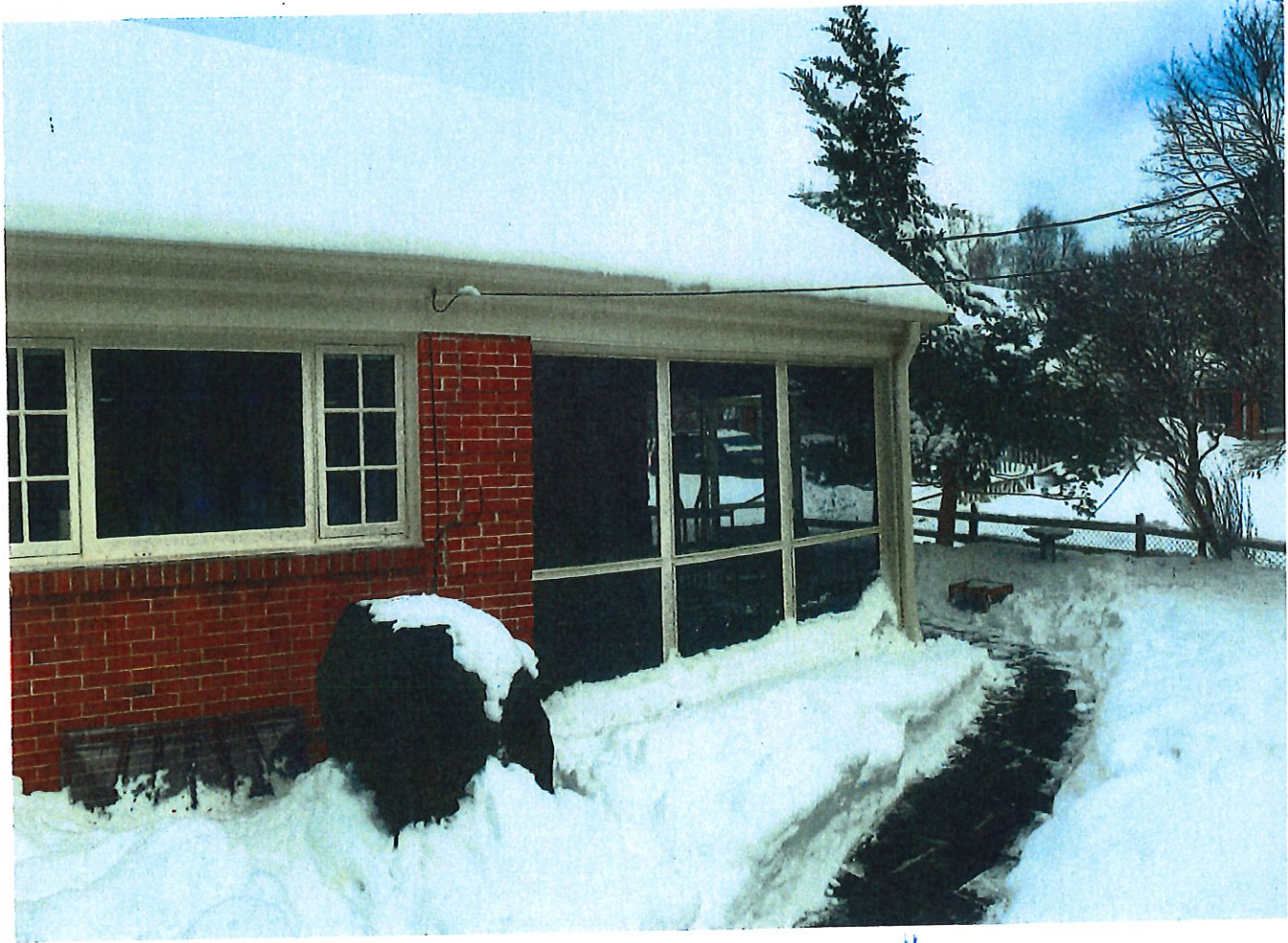
Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

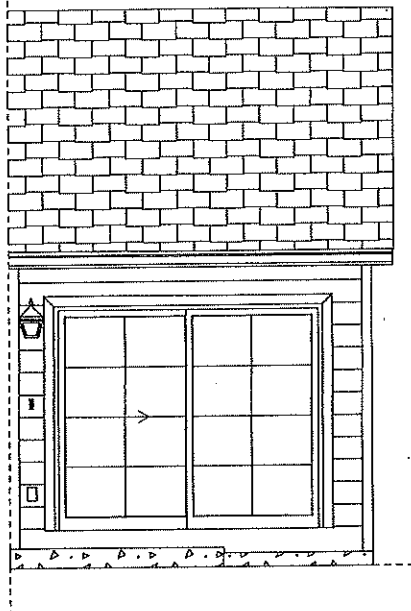
Building review is required. Submit complete set of construction plans for review before a building permit will be issued

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

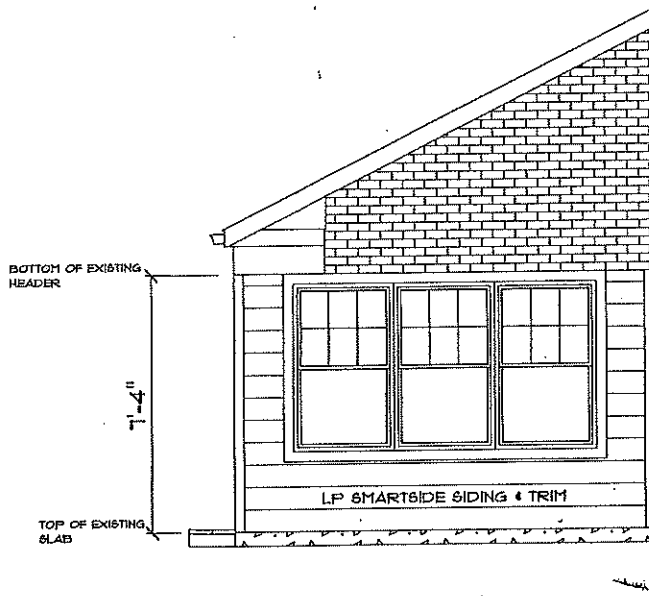
Picture of project
Location



17

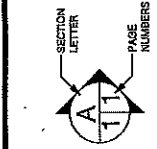


Rear Elevation
SCALE: 3/8" = 1'-0"



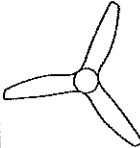





Left Elevation
SCALE: 3/8" = 1'-0"

Mike & Janice Bernstein
904 W. Jonathan Lane
Reynolds
WI 53217
PHONE: 414-206-4283
FAX:
natmikr@gmail.com

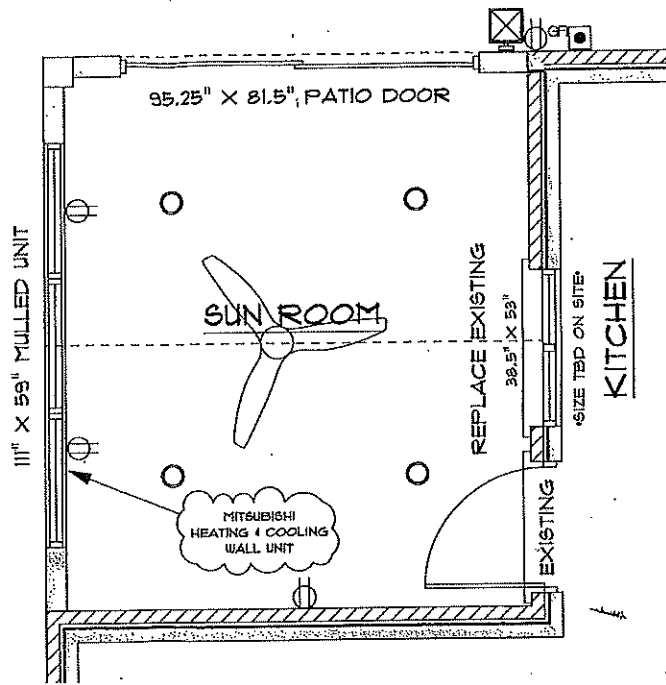


SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
6601 N. Green Bay Road
Glendale
Wisconsin
53209
PHONE: 414-351-5558
FAX: 414-352-9102

DRAWN BY: CH
SCALE: 3/8" = 1'-0"
DATE: Friday, April 9, 2021
PAGE: 3/3

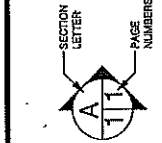
ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	1	
recessed lights	4	
exterior light	1	
doorbell	1	
outlet	To Code	
outlet gfi	1	

• WIRING FOR MITSUBISHI UNIT •



Electrical Layout

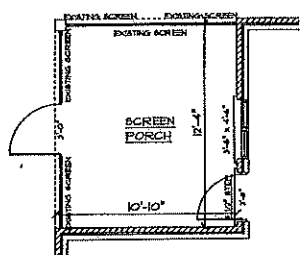
Mike & Janice Bernstein
 904 W. Jonathan Lane
 Bayville
 WI 53217
 PHONE: 414-206-4233
 FAX: nashkr@gmail.com



SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
 6001 N. Green Bay Road
 Glendale
 Wisconsin 53209
 PHONE: 414-351-5556
 FAX: 414-352-9102

DRAWN BY: CH
 SCALE: As Noted
 DATE: Friday, April 9, 2021
 PAGE: 2/3

PROJECT SCOPE: CONVERT SCREEN PORCH INTO 4 SEASON SUN ROOM.



BEFORE

DEMO NOTES:

- 1) DEMO EXISTING SCREENS & SCREEN DOOR.
- 2) DEMO CEILING

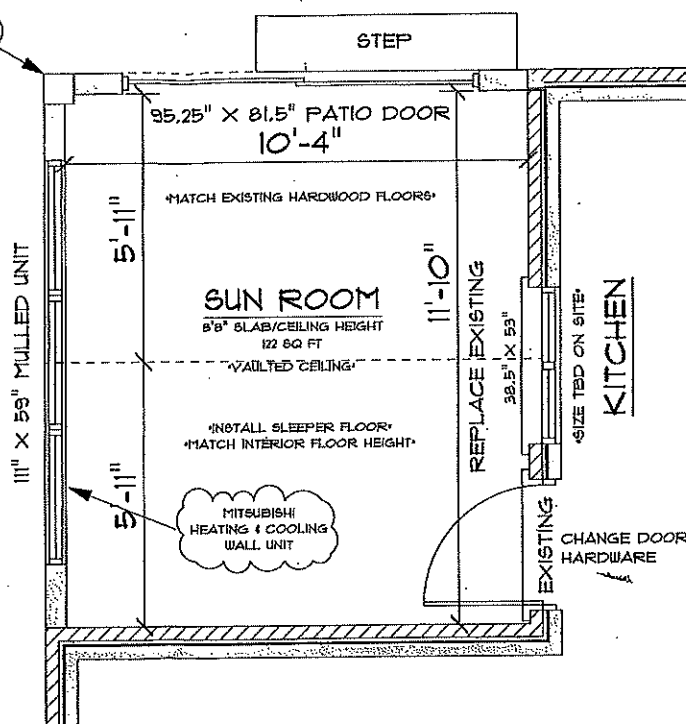
EXISTING (TO REMAIN) NOTES:

- 1) EXISTING STRUCTURAL CORNER POST.
- 2) EXISTING STRUCTURAL HEADERS

FRAMING NOTES:

- 1) NEW 2X6 WALLS (R-21 INSULATION)
- 2) 2X6 CEILING JOISTS & NEW VAULTED CEILING (R-38 INSULATION)
- 3) 2X TREATED SLEEPER FLOOR (MATCH KITCHEN FLOOR HEIGHT)

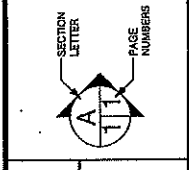
EXISTING CORNER STRUCTURAL POST



SUN ROOM
SCALE: 1/2" = 1'-0"

Mike & Janice Bernstein
304 W. Jonathan Lane
Bayshore WI 53217
PHONE: 414-206-6283
FAX: natihrc@gmail.com

DRAWN BY: CH
SCALE: As Noted
DATE: Friday, April 9, 2021
PAGE: 1/3



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
8001 N. Green Bay Road
Glendale WI 53029
PHONE: 414-351-5588
FAX: 414-352-9102

Project Proposal

Date 5/5/21
 Property Address 1111 E. Brown Deer Rd.
 Zoning Nature Center

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

Cold storage garage for nature center equipment.
Dimensions are 64' x 50' 21' high with a 3 1/2 / 12
pitch on the roof. Entire exterior will be steel earth tones and interior
 ***** For Office Use Only ***** framing will be dimensional lumber.

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Schlitz Audubon Nature Center</p> <p>PROJECT ADDRESS: 1111 E Brown Deer</p>	<p>PROJECT SUMMARY: New cold storage garage for nature center equipment</p>
--	---

VILLAGE CODE REVIEW

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Architectural Review Committee shall make the final determination for approval of the proposed roof design relative to the existing nearby structures.

Building review is required. Submit plans with a completed SBD – 118 plan review application form.

Reviewer Tod Doebler

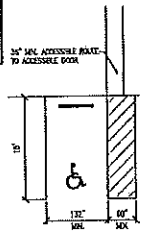
Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are detailed in these materials and labor as defined by the Cleary Building Corp. contract. Additional details or accessories that are not shown provided by Cleary Building Corp. may be shown on plans for context or bidding code compliance.
- This building is designed in accordance with the following codes and specifications:
 Minimum Commercial Building Code (MBC)
 National Design Specifications for Wood Construction
 Risk Category: _____
 Use Group Classification: _____
 Building Use: _____
 Type of Construction: Type VB
 Building Gross Square Footage: 2000 Sq. Ft.
 Building Design Loads:
 Snow Design Load: 35.3 PSF
 Snow Truss Load: 10 PSF
 Ground Snow Load (S_g): 24.56 PSF
 Flat Roof Snow Load (S_f): _____
 Snow Exposure Factor (C_e): 1
 Snow Load Importance Factor (I_s): 1.0
 Thermal Factor (C_t): 1.2
 Signal Roof Snow Load (S_s): 24.28
 Unbalanced Snow Load: 0 PSF Unreduced
 For SPS 303.1002 (1): 18.16 PSF Unreduced
 Wind Design Data:
 Design Wind Speed: 105 MPH
 Wind Exposure: _____
 Wind Load Importance Factor (I_w): 1
 Earthquake Design Data:
 Seismic Design Category: _____
 Spectral Response Coefficient (C_s): 0.008
 C_v: 0.673
 S_a Class: _____
 Seismic Importance Factor (I_s): 1.0
 Maximal Spectral Response Acceleration (S_a): 0.475
 C_a: 1.167
 Response Modification Factor (R): _____
- All lumber, unless noted otherwise, shall be S4S (1/2" SPT or better). All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of 40 lbs. per cubic foot.
- Grading should be such that the surface water is directed away from the foundation. Minimum grade shall be six inches of vertical drop per ten feet of horizontal run from the foundation (3%).
- All steel for concrete floor slab and grade, if present, shall be removable grade granular crushed. All steel for concrete slabs shall be hot-dipped galvanized steel unless otherwise noted. All steel shall be free from defects, stains over 1/8" and broken material.
- Shielded work is not a part of this drawing and shall be installed on per applicable codes.
- Heating, ventilation, and air conditioning work is not a part of this drawing and shall be installed on per applicable codes.
- Plumbing work is not a part of this drawing and shall be installed on per applicable codes.
- All work shall be to be finished unless otherwise noted.
- This design is based on a building site with level, dry, well-drained, clay soil, city grade, slope greater than 1% per the 2003 building code and 2003 International Building Code, as amended and having design value of 2000 psi has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE: IT IS ADVISED THAT ANYTHING LISTED IN THIS PART OF THIS DESIGN, IF APPLICABLE, LISTING IS TO BE USED IN THIS BUILDING. STATE LAW REQUIRES IT TO BE EXAMINED BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE KEPT ON SITE FOR REVIEW BY THE BUILDING OFFICER.

NOTE: MINIMUM OF ONE 120" WIDE UNACCESSIBLE PARKING SPACE AND ONE 80" WIDE PARKING ACCESSIBLE SPACE OF MORE THAN 20 FEET PARKING SPACES, A MINIMUM OF ONE 30" WIDE AND ONE 90" WIDE UNACCESSIBLE PARKING SPACE AND ONE 80" WIDE ACCESSIBLE PARKING SPACE SHALL BE PROVIDED. UNLESS OTHERWISE SPECIFIED, ALL PARKING SPACES SHALL BE PAVED ON ASPHALT SURFACES NOT LESS THAN 3" THICK PAVING SURFACE OR CONCRETE SHALL BE PROVIDED WITH PROPERLY CURBED EDGES AND SHALL BE MAINTAINED WITH PROPER DRAINAGE.

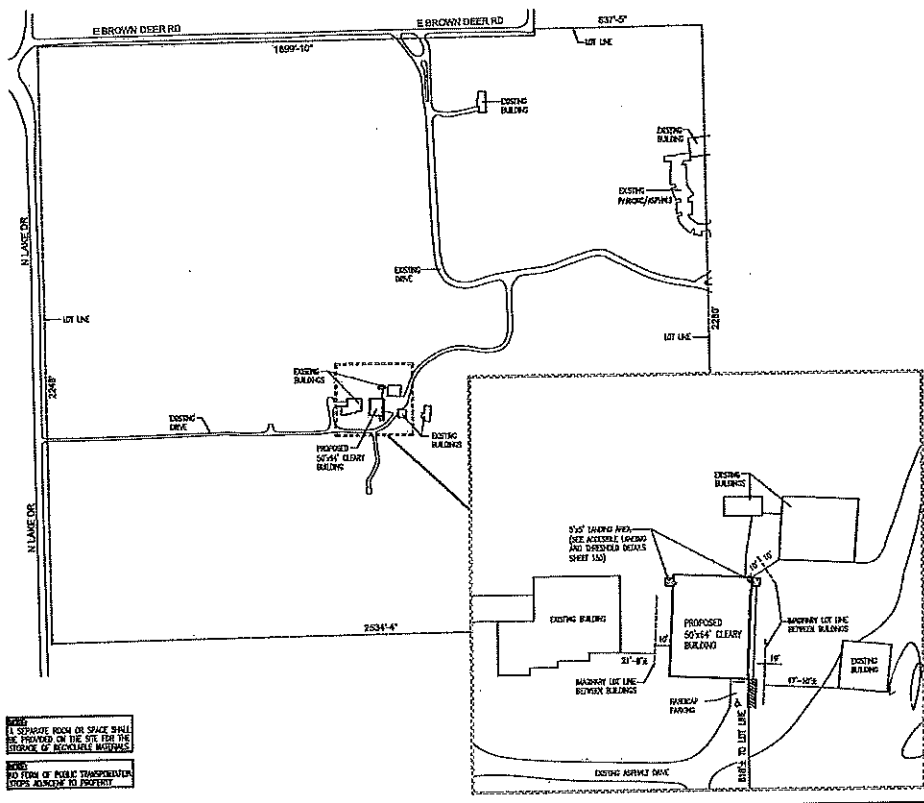


ACCESSIBLE PARKING STALL

NOTE: ALL SEWERAGE ROOMS OR SPACES SHALL BE PROVIDED ON THE SITE FOR THE STORAGE OF RECYCLABLE MATERIALS.
 NOTE: NO FORM OF PUBLIC TRANSPORTATION SHALL BE PROVIDED ON PROPERTY.

TABLE OF CONTENTS

- 100. SITE PLAN
- 110. ELEVATIONS
- 120. FLOOR PLAN
- 121. CONCRETE BRACKET LAYOUT
- 122. CONCRETE FOUNDATION DETAILS
- 130. TYPICAL SECTION "A"
- 131. TYPICAL SECTION "B"
- 140. HEADER DETAILS
- 150. DIAPHRAGM ACTION and MISC. DETAILS
- 160. TRUSS DIAGRAMS



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 Date Drawn: 10/15/19
 PLAN REVISIONS:

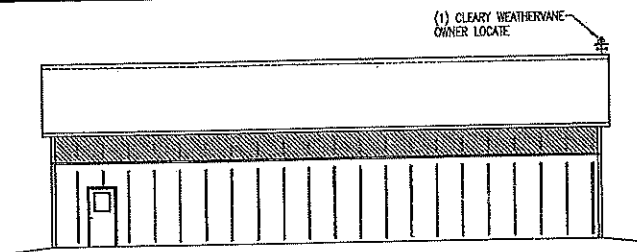
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5067M² (54,350 SQ FT)
 SHEET NAME: SITE PLAN

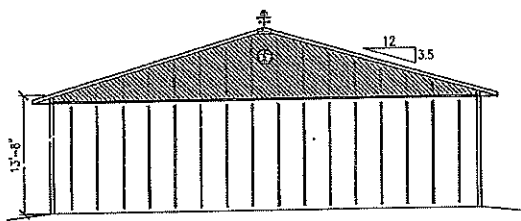
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 SHEET NUMBER: 100
 SHEET SCALE: NONE



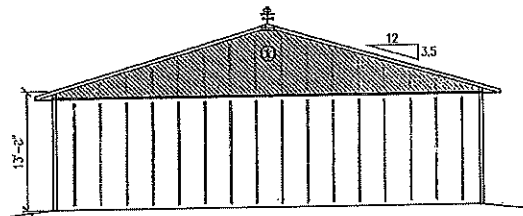
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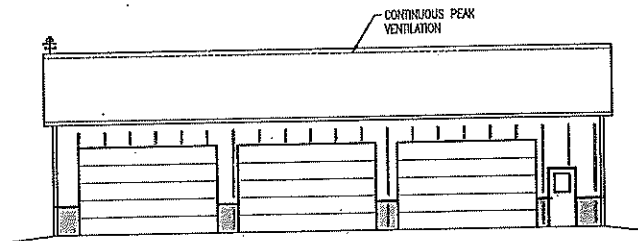
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

CLEARY
 BUILDING CORP.

190 PRAIRIE STREET / P.O. BOX 90022
 VERONA, WI 53593 / (262) 973-6688

DRAWN BY: LCB

DATE DRAWN: 10/15/19

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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 50'6"X13'-8"
 SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2019105448

SHEET NUMBER: 1.10

SHEET SCALE: N/A

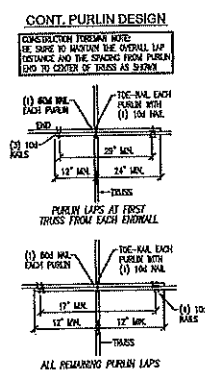
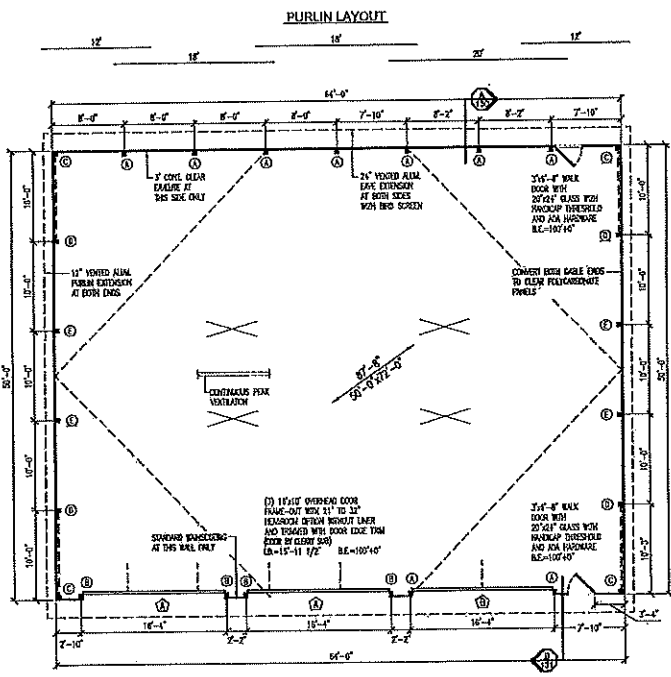
COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
① EXTERIOR	3-PLY 24x13'-6"	---	---	ON CONCRETE (107'40")	1
② DOOR	3-PLY 24x13'-4"	---	---	ON CONCRETE (107'40")	4
③ CORNER	3-PLY 24x13'-4"	---	---	ON CONCRETE (107'40")	4
④ EXTERIOR	3-PLY 24x13'-7"	---	---	ON CONCRETE (107'40")	4
⑤ EXTERIOR	3-PLY 24x13'-6"	---	---	ON CONCRETE (107'40")	4

NOTE:
 1. FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 2. REPAIR ALL ROOF, SIDE, END AND GABLE STEEL WITH PANNED BRACKETS
 3. EXTERIOR COLUMNS ARE 3-PLY TO THE BASELINE FOR WIND AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 4. 2x4 SHOWN DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 5. 2x6 BRACING AT EXTERIOR WALLS (SEE FOUNDATION SECTION AND WIND DETAILS SHEET)
 6. 2x4 BRACING BEHIND AT EXTERIOR WALLS
 7. 2x4 CORNER BRACING TO BE INSTALLED AT ALL CORNERS AND OVERHEAD DOORS
 8. (>>>) = BUS WITH 2x4 ROOFLINE 2-SPACING (SEE FOUNDATION SECTION AND WIND DETAILS SHEET)

BUILDING COLORS		BUILDING ACCESSORIES
ROOF:	SERVA	(1) CLEARY ROOFING (ORDER LOGIC)
SIDES/WALLS:	MIDWAY BOND	QUARTER-ROUND CONDENSATION CONTROL INSULATION APPLIED TO ROOF STEEL
WANGSON:	SERVA	WITH SEAMING TAPE AND INSIDE FILLER STOP AT CORNER
SIDE DOORS:	---	INSIDE FILLER STOP AT SIDE DOOR AND END
TRIM (INT.):	---	INSIDE FILLER STOP AT TRIMMED PLANE
TRIM (EXT.):	---	INSIDE FILLER STOP AT TOP AND BOTTOM OF 2-TIM AT EXTERIOR
FLOOR FINISH:	---	INSIDE FILLER STOP AT TOP AND BOTTOM OF 2-TIM AT WANGSON
		BUILDING ON CONCRETE SLAB WITH OFF-SHED BRACKETS
		CONCRETE FLOOR FILLER AT EXTERIOR BUILDING, LESS DOORS
		STEEL TO 1/2" WITH BOTTOM TRIM

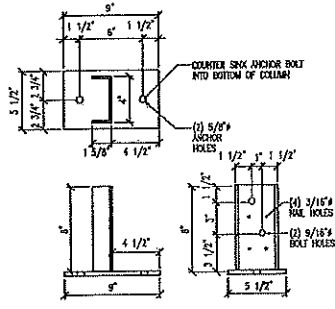
CLEARY BUILDING CORP.
 180 PACOLI STREET / P.O. BOX 80226
 VERONA, WISCONSIN / (262) 375-5599
 DRAWN BY: EGB
 DATE DRAWING: 10/15/19
 PLAN REVISIONS:

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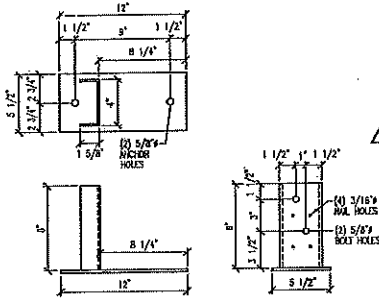


→ NORTH →

PROJECT NAME:
SCHLITZ AUBODON, JASON
 PROJECT SITE ADDRESS:
 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE:
 5106x343'-8"
 SHEET NAME:
 FLOOR PLAN
 PROJECT NUMBER:
2019105448
 SHEET NUMBER:
120
 SHEET SCALE: NONE

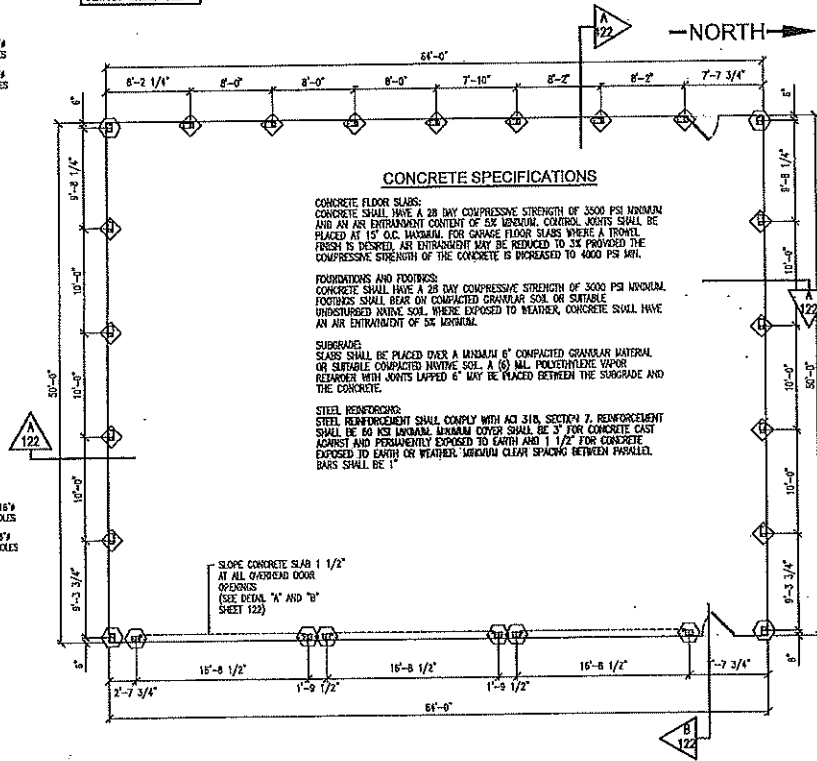


STANDARD 79-100
 POST/CORNER BRACKET 9" DETAIL
 AT DOOR AND CORNER COLUMNS



STANDARD 79-100
 CONCRETE BRACKET DETAIL
 AT SIDEWALL AND ENDWALL COLUMNS

NOTE:
 ◇ = STD. 79-100
 ANCHOR BRACKET
 ○ = 9" 79-100
 ANCHOR BRACKET
 AT CORNERS
 *SEE BRACKET
 DETAILS SHEET 122



CONCRETE SPECIFICATIONS

CONCRETE FLOOR SLABS:
 CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI MINIMUM AND AN AIR ENTRAINMENT CONTENT OF 5% MINIMUM. CONTROL JOISTS SHALL BE PLACED AT 16" O.C. MAXIMUM. FOR CHASE FLOOR SLABS WHERE A TROWEL FINISH IS DESIRED, AIR ENTRAINMENT MAY BE REDUCED TO 3% PROVIDED THE COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO 4000 PSI MIN.

FOUNDATIONS AND FOOTINGS:
 CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM. FOOTINGS SHALL BEAR ON COMPACTED GRANULAR SOIL OR SUITABLE UNDISTURBED NATIVE SOIL. WHERE EXPOSED TO WEATHER, CONCRETE SHALL HAVE AN AIR ENTRAINMENT OF 5% MINIMUM.

SUBGRADE:
 SLABS SHALL BE PLACED OVER A MINIMUM 6" COMPACTED GRANULAR MATERIAL OR SUITABLE COMPACTED NATIVE SOIL. A (6) MIL POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED 6" MAY BE PLACED BETWEEN THE SUBGRADE AND THE CONCRETE.

STEEL REINFORCEMENT:
 STEEL REINFORCEMENT SHALL COMPLY WITH A313, SECTION 7. REINFORCEMENT SHALL BE #4 MINIMUM. MAXIMUM COVER SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH AND 1 1/2" FOR CONCRETE EXPOSED TO EARTH OR WEATHER. MINIMUM CLEAR SPACING BETWEEN PARALLEL BARS SHALL BE 1"

SLOPE CONCRETE SLAB 1/2"
 AT ALL OVERHEAD DOOR
 OPENINGS
 (SEE DETAIL "A" AND "B"
 SHEET 122)

CLEARY
 150 PAVOLI STREET / P.O. BOX 832220
 VERONA, WI 53085 / (262) 279-6269

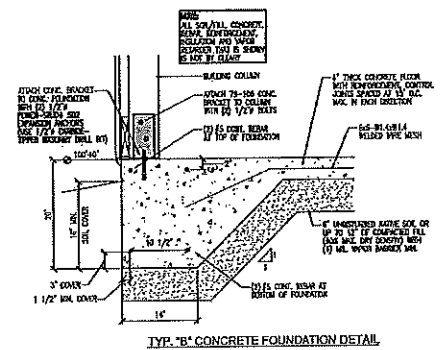
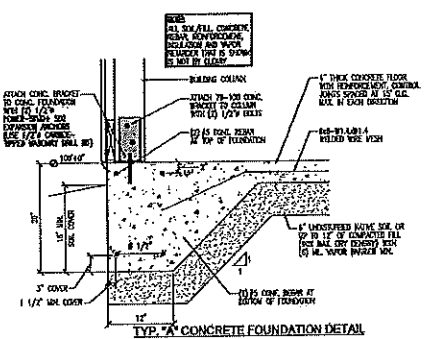
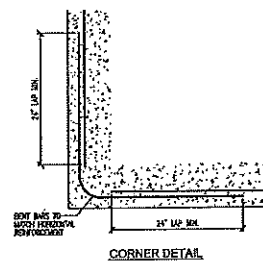
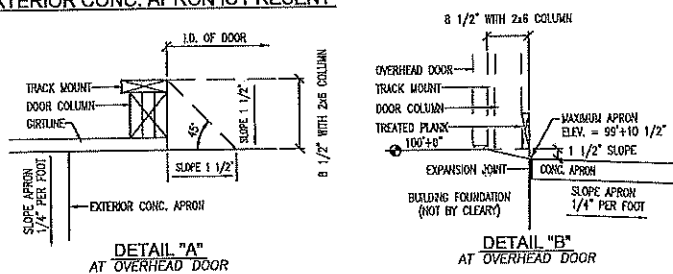
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 DATE DRAWN: 10/15/19

PLAN REVISIONS:		
NUMBER	DATE	BY
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2		
3		
4		

PROJECT NAME:
 SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS:
 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE:
 5066K43-8'
 SHEET NAME:
 CONCRETE BRACKET LAYOUT

PROJECT NUMBER:
 2019105448
 SHEET NUMBER:
 12.1
 SHEET SCALE: NONE

RECOMMENDED DETAILS WHEN EXTERIOR CONC. APRON IS PRESENT



CLEARBY
 BUILDING CORP.
 180 PEARL STREET / 3RD FLOOR
 VERONA, WI 53593 / (262) 778-6550

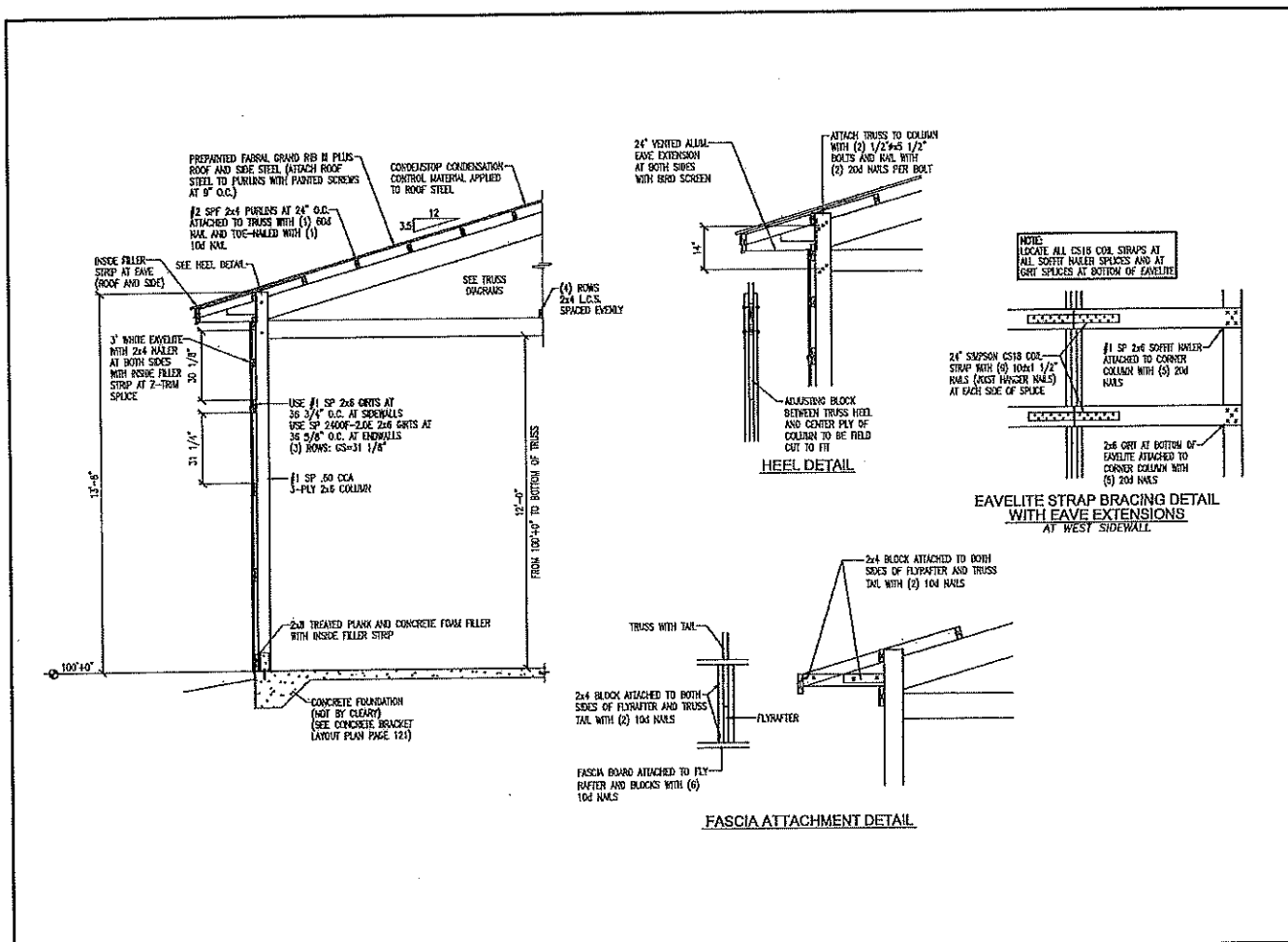
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 DATE DRAWN: 10/15/19

PLAN REVISIONS:

NO.	DATE	BY
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PROJECT NAME: SCHLITZ AUBOBON, JASON
 PROJECT NUMBER: 2019105448
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5006'x413'-8"
 SHEET NAME: CONCRETE FOUNDATION DETAILS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 122
 SHEET SCALE: N/A

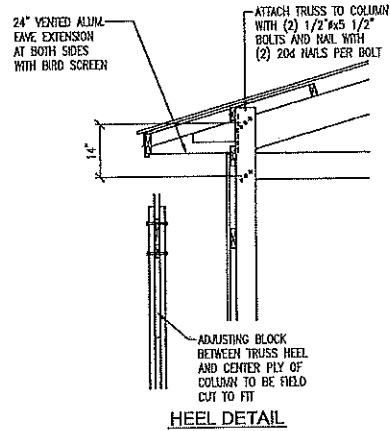
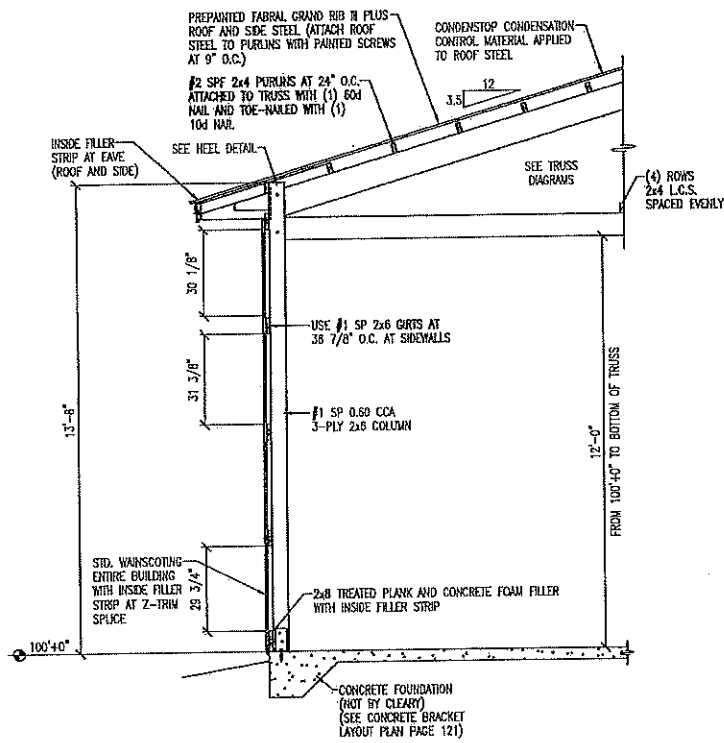


CLEARY BUILDING CORP.
 100 FAULK STREET / P.O. BOX 830226
 MILWAUKEE, WI 53284 / (414) 773-5500
 DRAWN BY: LCB
 DATE DRAWN: 10/15/19
 PLAN REVISIONS:

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1		
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5065x413'-8"
 SHEET NAME: TYPICAL SECTION "K"
 PROJECT NUMBER: 2019105448
 SHEET NUMBER: 130
 SHEET SCALE: NONE

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CLEARY
 BUILDING CORP.

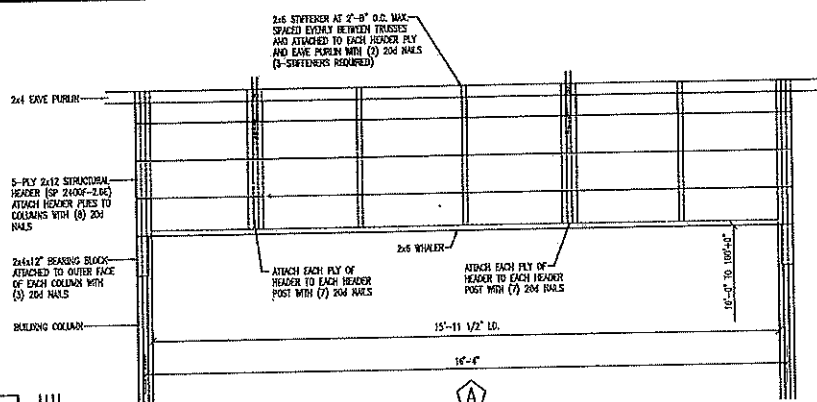
190 PACU STREET / P.O. BOX 800220
 VERONA, WI 53584 / (908) 773-8500

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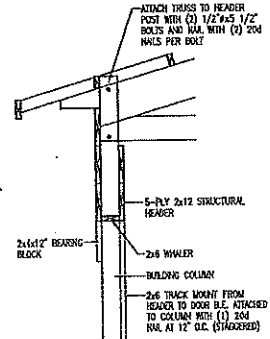
PLAN REVISIONS:		
MARK	DATE	BY
1		
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 508x413'-8"
 SHEET NAME: TYPICAL SECTION "B"
 PROJECT NUMBER: 2019105448
 SHEET NUMBER: 131
 SHEET SCALE: AS/IE

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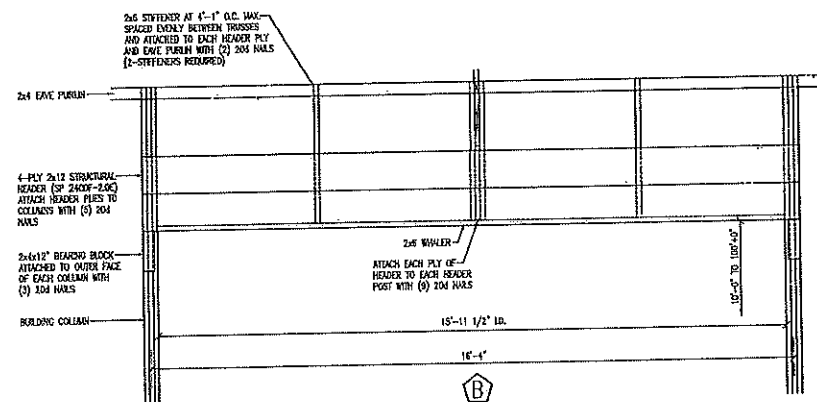


16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING

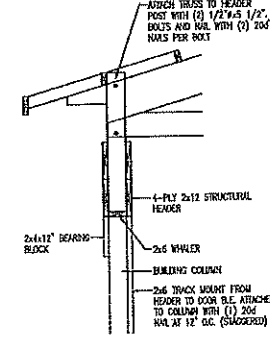


SECTION AT HEADER POST

NAILED ALTERNATIVE:
 INSTALL (3) 3 1/2" x 1/2" x 1/8" DIM NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF C/P NAILS REQUIRED EXCEEDS THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING



SECTION AT HEADER POST

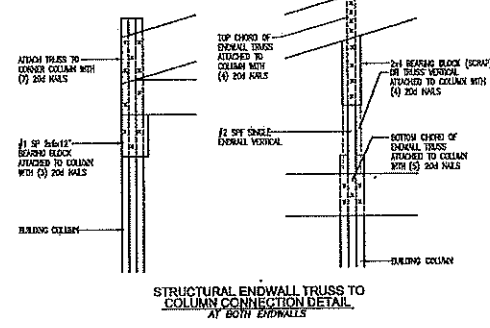
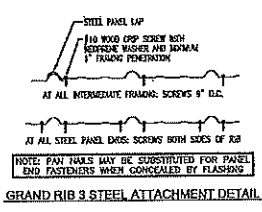
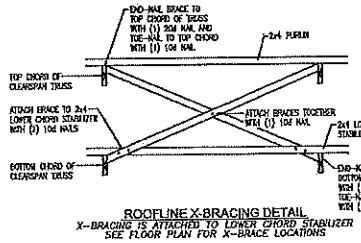
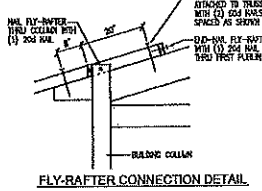
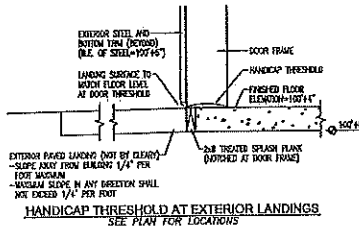
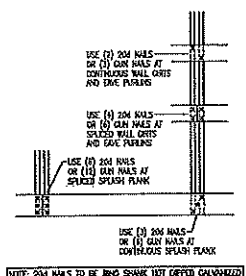
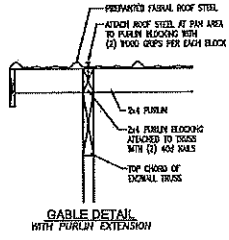
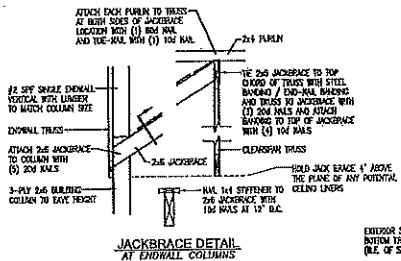
CLEARY BUILDING CORP.
 170 PACH STREET / P.O. BOX 43229
 VERONA, WI 53598 / (800) 372-6662

DRAWN BY: LCB
 DATE DRAWN: 10/15/19

PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5766x43'-8"
 SHEET NAME: HEADER DETAILS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 140
 SHEET SCALE: NONE



CLEARY BUILDING CORP.
 1160 PACULI STREET / P.O. BOX #1000
 VERONA, WI 53593 / (262) 374-4520

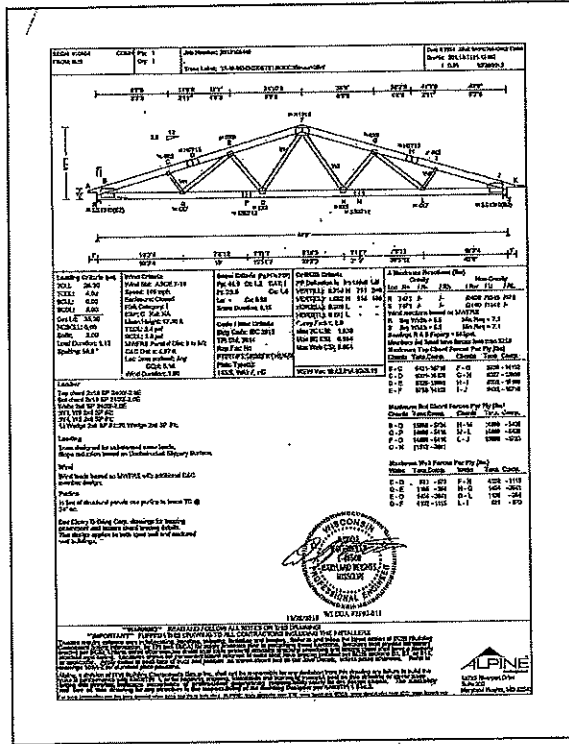
DRAWN BY: LCB
 DATE DRAWN: 10/15/19

NUMBER	DATE	BY
1		
2		
3		
4		

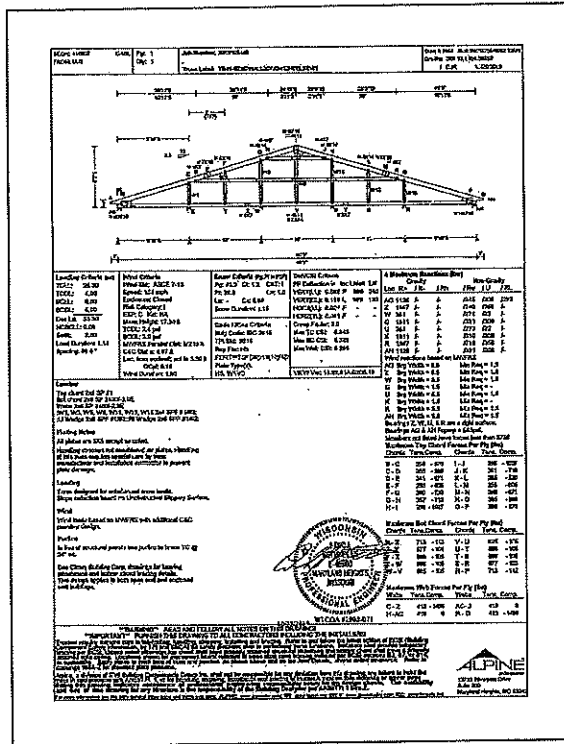
PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5006x413'-8"
 SHEET NAME: DIAPHRAGM ACTION and MISC. DETAILS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 150
 SHEET SCALE: N/A

CLEARSPAN TRUSS



STRUCTURAL ENDWALL TRUSS



TRUSS CHECK (SEE END PAGE)

- TRUSS SIZE LB
- ROOF PITCH LB
- BAY SPACING LB
- SLC / RLC LB
- DESIGN LOADS LB
- OVERHANGS LB



DRAWN BY: LCB
 DATE DRAWN: 10/15/19

NO.	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SCHLITZ AJOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BUILDING SIZE: BAYSIDE, WI - MENAUCHEE COUNTY
 SHEET NUMBER: 2019105448
 SHEET NAME: TRUSS DIAGRAMS



Schlitz Audubon Nature Center
New Maint. Bays



Schlitz Audubon
Nature Center

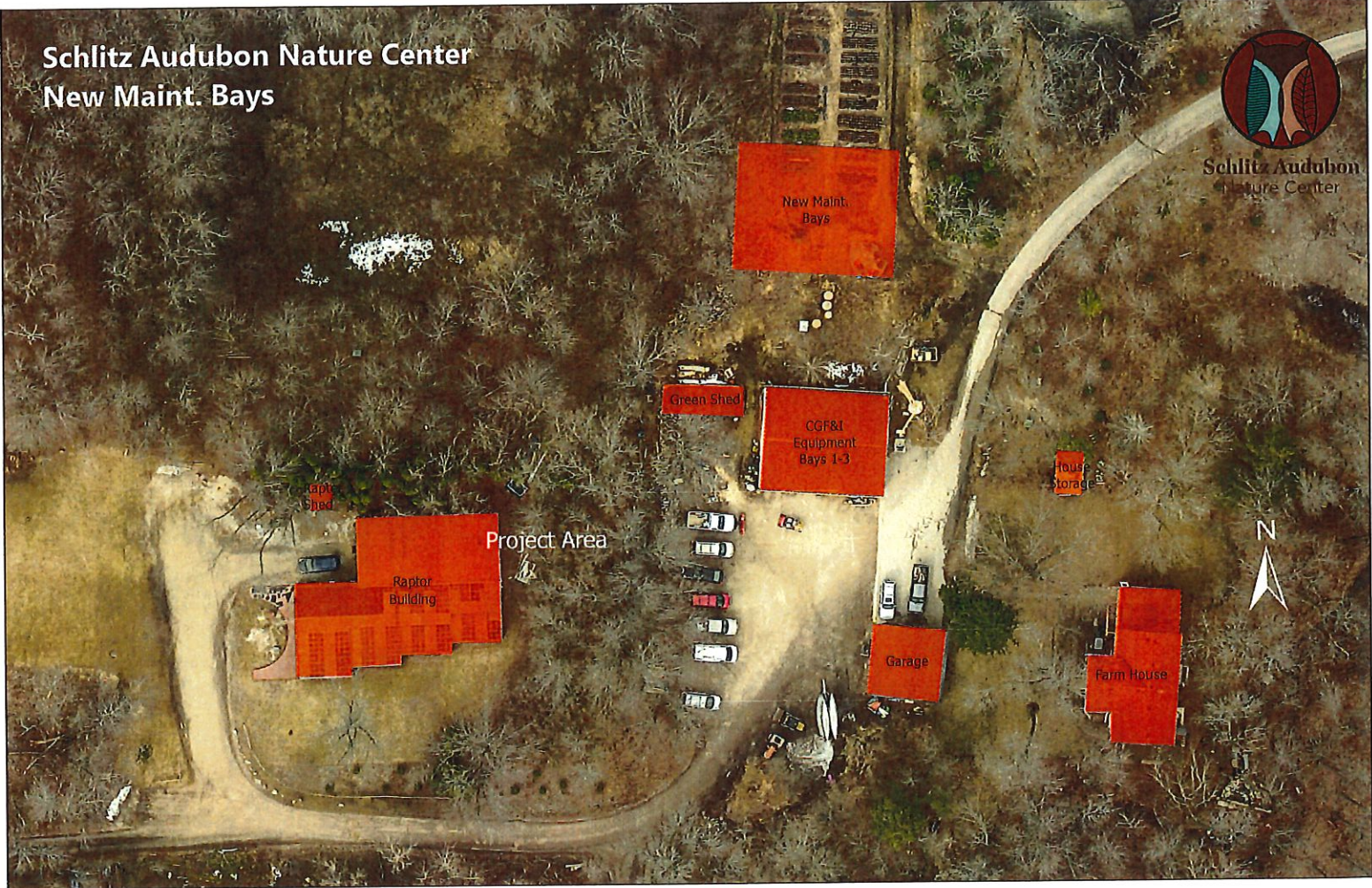
Project Area



Schlitz Audubon Nature Center
New Maint. Bays



Schlitz Audubon
Nature Center



Project Area



55-9999

SHEET 1 OF 2

PLAT NO. MIL 48-3

NIENOW, LANDRY, WEBSTER & ASSOC. CONSULTING ENGINEERS & SURVEYORS

1750 W. SILVER SPRING DRIVE
450 ELM GROVE ROAD

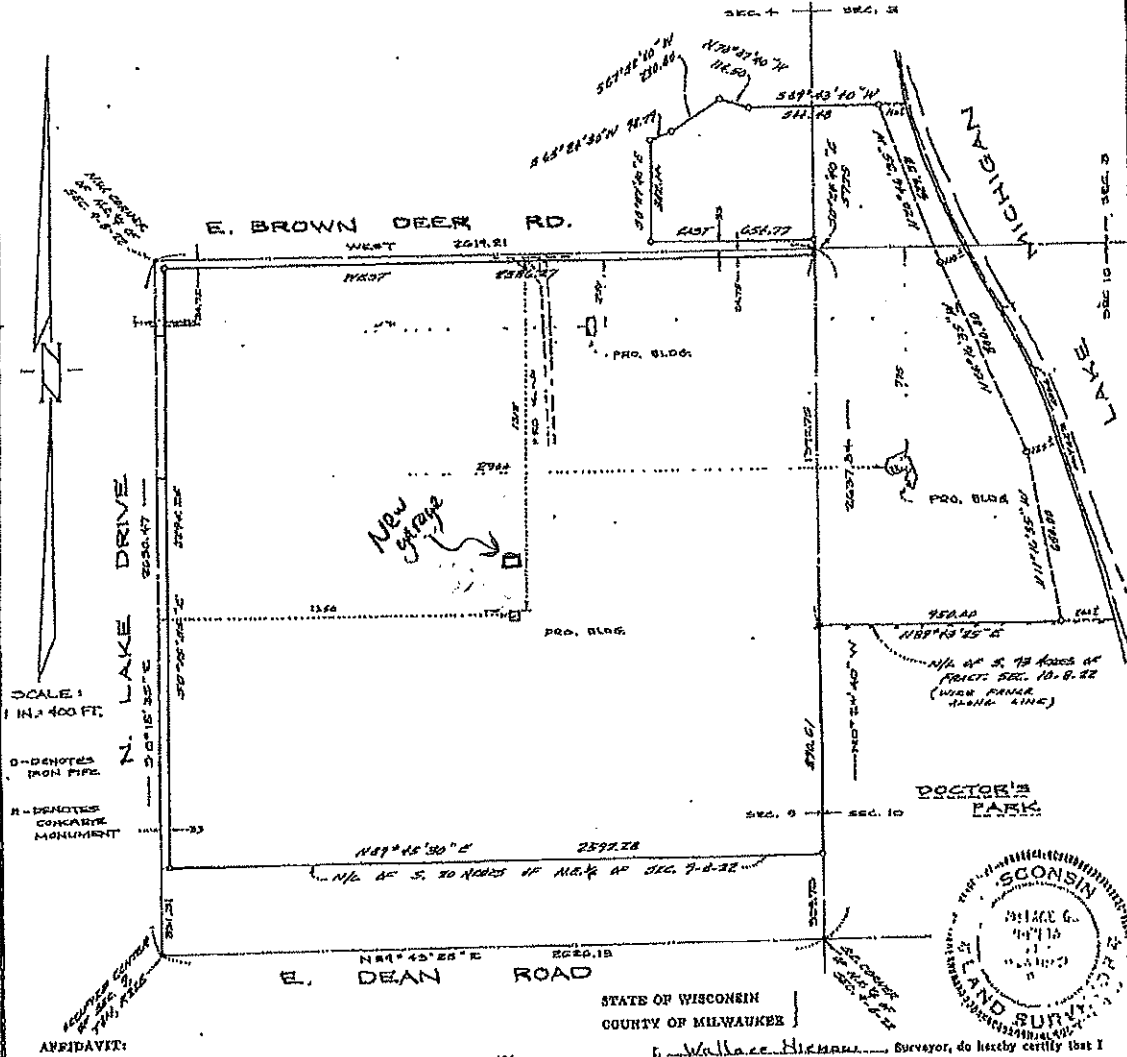
MILWAUKEE, WIS.
ELM GROVE, WIS.

WALLACE G. NIENOW, P.E.
JAMES W. LANDRY, P.E.
ASSOCIATES
KENNETH B. WESTERN, P.E.
CARL K. RANMIG, P.E.

PRECEDENCE TESTS
LAND CONSULTANT
SEWER & WATER DESIGN
SUBDIVISION

PLAT OF SURVEY

PREPARED FOR: Schlitz Foundation
DESCRIPTION OF PROPERTY: A part of Sections 3, 4, 9, and 10 in Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.



AFFIDAVIT:
I hereby certify that I have made a survey on _____ 196_____,
and that the location of the _____ on above described
property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE
I, Wallace Nienow, Surveyor, do hereby certify that I
have made a survey of the above described property and that the above plat is a true
representation of said survey.
Milwaukee, Wisconsin JUNE 23, 1971
Wallace Nienow

REV. JUNE 15, 1973
SEPT 4, 1973

Project Proposal

Date _____

Property Address 850 E. Bay Point Rd; Bayside, WI 53217

Zoning _____

- Storage Shed
- | | |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Installation of a free-standing 8'W x 10'D x 7'H wood paneled exterior storage shed built w/ double entry doors, 2 single windows, vents, and shingled roof. Shed mounted and leveled into ground via cedar timbers and earth anchors.

*****For Office Use Only*****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: John Pearce</p> <p>PROJECT ADDRESS: 850 E Bay Point</p>	<p>PROJECT SUMMARY: New 10' X 8' gable style storage shed</p>
--	---

Sec. 125-90. - "B" residence district regulations.

- (4) A side yard of not less than ten feet shall be provided for on each side of every building.
- (5) A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

Shed location complies with setback requirements.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

NEW SHED LOCATION COMPLIES WITH VILLAGE CODE.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager



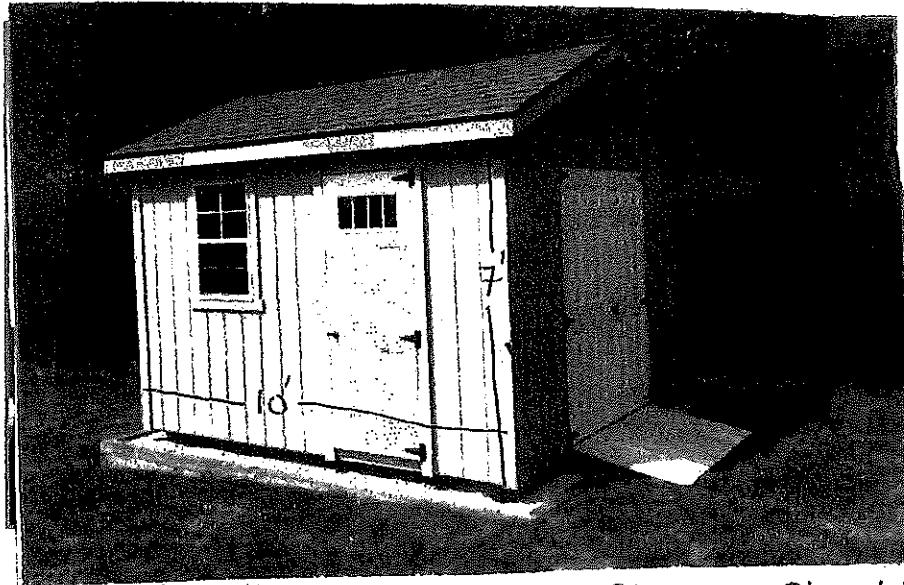
Create Custom Extra Storage Today! 262-806-4389

2166 Beck Dr | Waterford, WI 53185 | FAX: 262-806-7207
Send Mail To: PO Box 275 Waterford, WI 53185

[Shed Types](#) [Sheds For](#) [Shed Details](#) [Showcase](#) [Service Areas](#) [FAQ](#) [About](#) [Contact](#)

Custom Storage Sheds

Milwaukee Shed Design Specifications



Custom Shed Walls

- All walls are 2x4s 16" OC stud spacing unless something else is specified
- Pressure treated bottom plates when building on concrete slabs
**regular lumber all other times*
- Double top plates on all of our walls
- We use 5/8" LP smart panel for our siding
- Gable buildings come standard with 6" soffits on the eaves, freeze board on the gables
- Barn roof buildings have a 5-1/2" soffits on all sides
- Quakers have 5-1/2" soffits on all sides as well

Storage Shed Roof Structure

- 2x4s 24" OC for roof rafters
- We use 1/2" OSB for our roof sheathing, not 7/16"
- All buildings get H-clips between the plywood seams where

Storage Shed Floors

- All sheds have 2x4 floors with 12" OC (*on center*) spacing
- 8' wide buildings have two pressure treated 4x4 runners
- 10' wide buildings (*delivered*) have four pressure-treated runners
- 12' wide buildings (*delivered*) have four pressure-treated runners
- 10' buildings built on site have three pressure-treated runners
- We use 5/8" **LP Prostruct** for our shed floors
- Our floor joists are pole barn nailed to the 4x4 runners
**not toe-nailed like most other shed builders*

Start Building My Shed!

Shed Roof Shingles

- 35-year dimensional shingles standard on all of our buildings
- 15 lb felt is standard on all of our buildings
- Galvanized metal d-edge standard on all roof edges

- 5/8" plywood gusset plates at the peak of all rafters
- Hurricane clips at no charge when required by local municipality
- 2x4 collar ties on every other rafter

- 9 colors to choose from
*or we can match your house's color

Milwaukee Storage Shed Hardware

- Powder-coated black hardware is standard
- Doors come with a keyed t-handle type lock
- Spring-loaded barrel bolts keep non-active doors closed when not in use
- Windows can be added to the shed or the doors to achieve your desired look

Custom Shed Siding & Trim

We use 5/8" **LP Smart Panels** that come pre-primed from the factory for siding.

3/4" **LP Smart Trim** boards for corner boards and fascia. Also pre-primed from the factory.

Start Building My Shed!

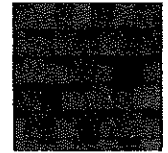
Atlas Roofing Shingle Colors



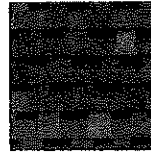
Black



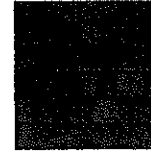
Burnt-Sienna



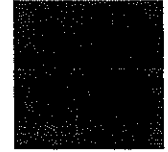
Desert-Shake



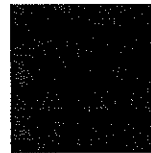
Dove-Grey



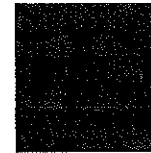
Hearthstone Grey



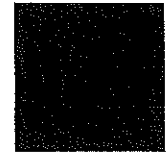
Heather Blend



Pewter



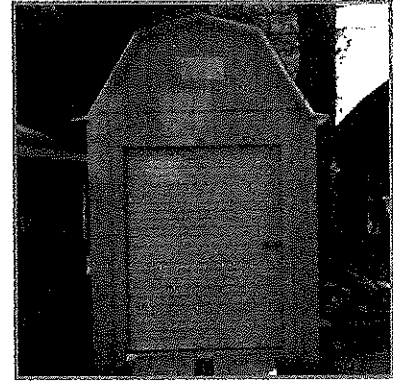
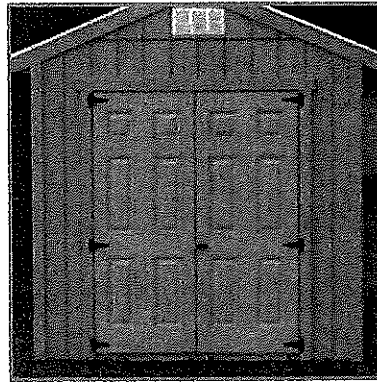
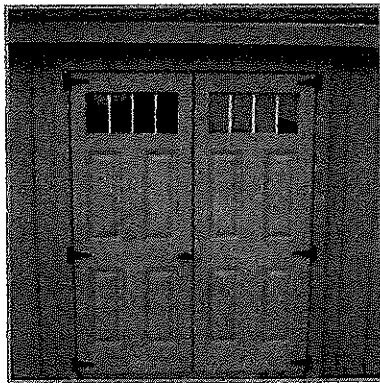
Weathered Wood



Woodland Green

Storage Shed Doors

We use 6-panel fiberglass doors or roll-up doors for our storage sheds.



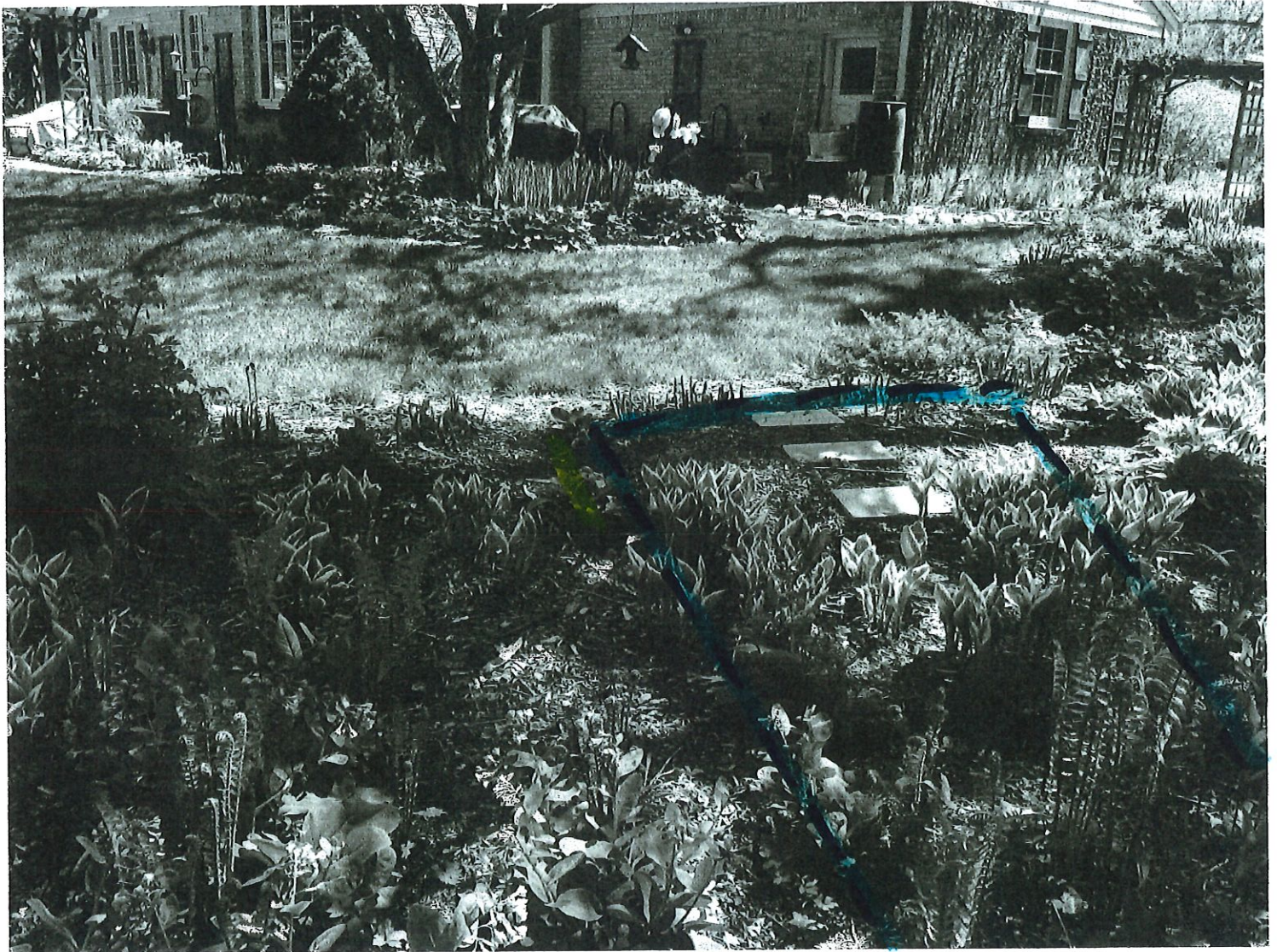
Contact the **Milwaukee shed builders** at Mainus Construction for spacious and reliable equipment storage.



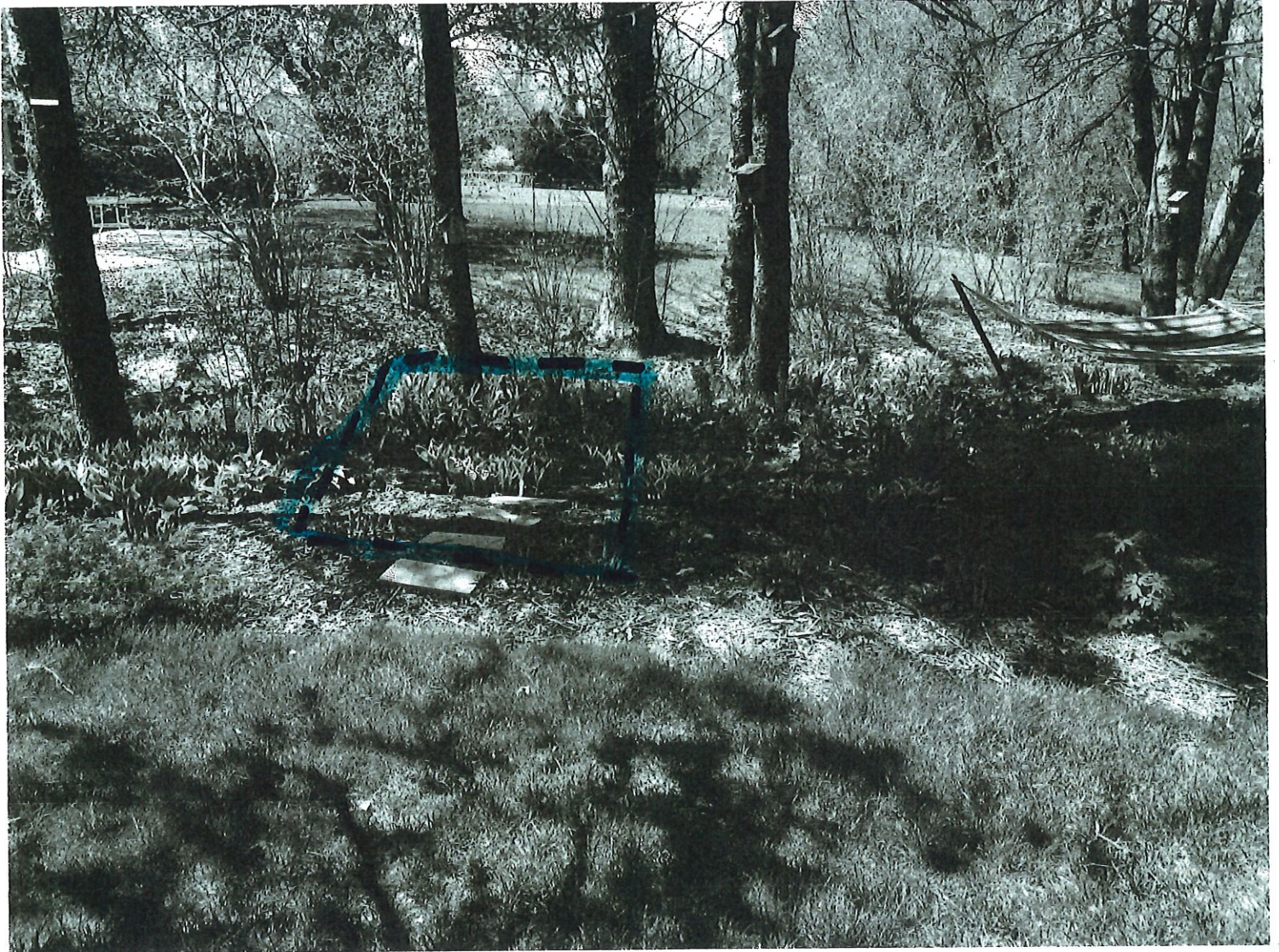
Building Supplies from LP LP 5/50 Year Warranty

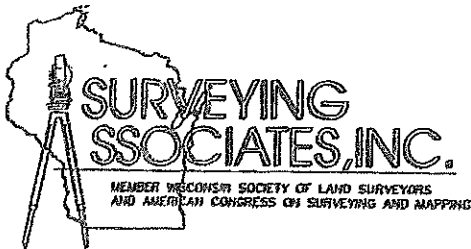
Mainus Construction builds storage sheds using LP Smart Panel Siding and LP Smart Trim boards for outstanding weather protection. LP Smart products are guaranteed to last through rain, ice and sunlight with a 5/50 year warranty. Learn why these innovative engineered wood products make Mainus sheds the most reliable outdoor storage in Wisconsin... [LP Building Products SmartSide Warranty](#)

Picture of Proposed
Project Location



Picture of Proposed
Project Location





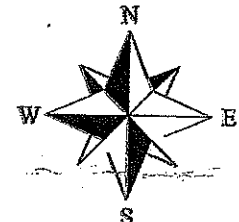
2554 N. 100TH STREET
 P.O. BOX 26596
 WAUWATOSA, WISCONSIN 53226
 (414) 257-2212 FAX: (414) 257-2443

FREDERICK W. SHIBILSKI R.L.S.

PLAT OF SURVEY

LOT 6, BLOCK 3, JAC F. DONGES ADDITION NO. 1, being a Subdivision of a part of the Northwest 1/4 of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

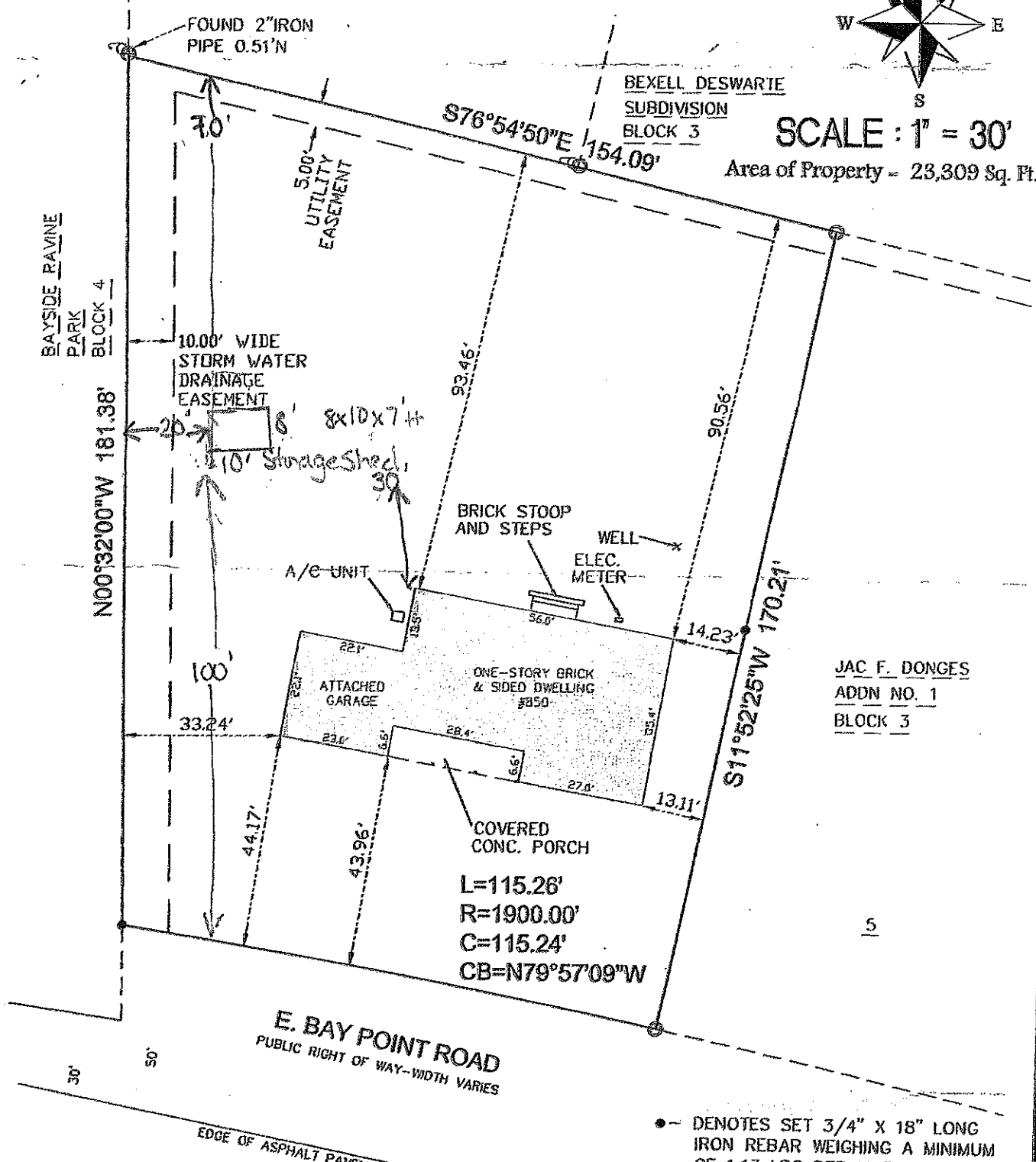
Address: 850 E. Bay Point Road



SCALE: 1" = 30'

Area of Property = 23,309 Sq. Ft.

BEXELL DESWARTÉ
SUBDIVISION
BLOCK 3



JAC F. DONGES
ADDN NO. 1
BLOCK 3

L=115.26'
 R=1900.00'
 C=115.24'
 CB=N79°57'09\"W

E. BAY POINT ROAD
 PUBLIC RIGHT OF WAY--WIDTH VARIES

• DENOTES SET 3/4\" X 18\" LONG IRON REBAR WEIGHING A MINIMUM OF 117 LBS PER LINEAL FOOT

Project Proposal

Date 5/10/2021

Property Address 309 E Fairy Chasm Road

Zoning _____

- | | |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

See above description.

8'x12' shed constructed w/ treated lumber with vinyl siding

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Matt Evans</p> <p>PROJECT ADDRESS: 309 E Fairy Chasm</p>	<p>PROJECT SUMMARY: New 8' X 12' shed</p>
---	---

NEW SHED LOCATION DOES NOT COMPLY WITH VILLAGE CODE.

The submittal shows that the shed is only 5 feet off the rear lot line, which is in violation of the referenced code.

There are no dimensions to determine the setbacks from the side lot line

Sec. 125-91. - "C" residence district regulations

- (4) A side yard of not less than ten feet shall be provided for on each side of every building.
- (5) A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Reviewer Tod Doebler

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

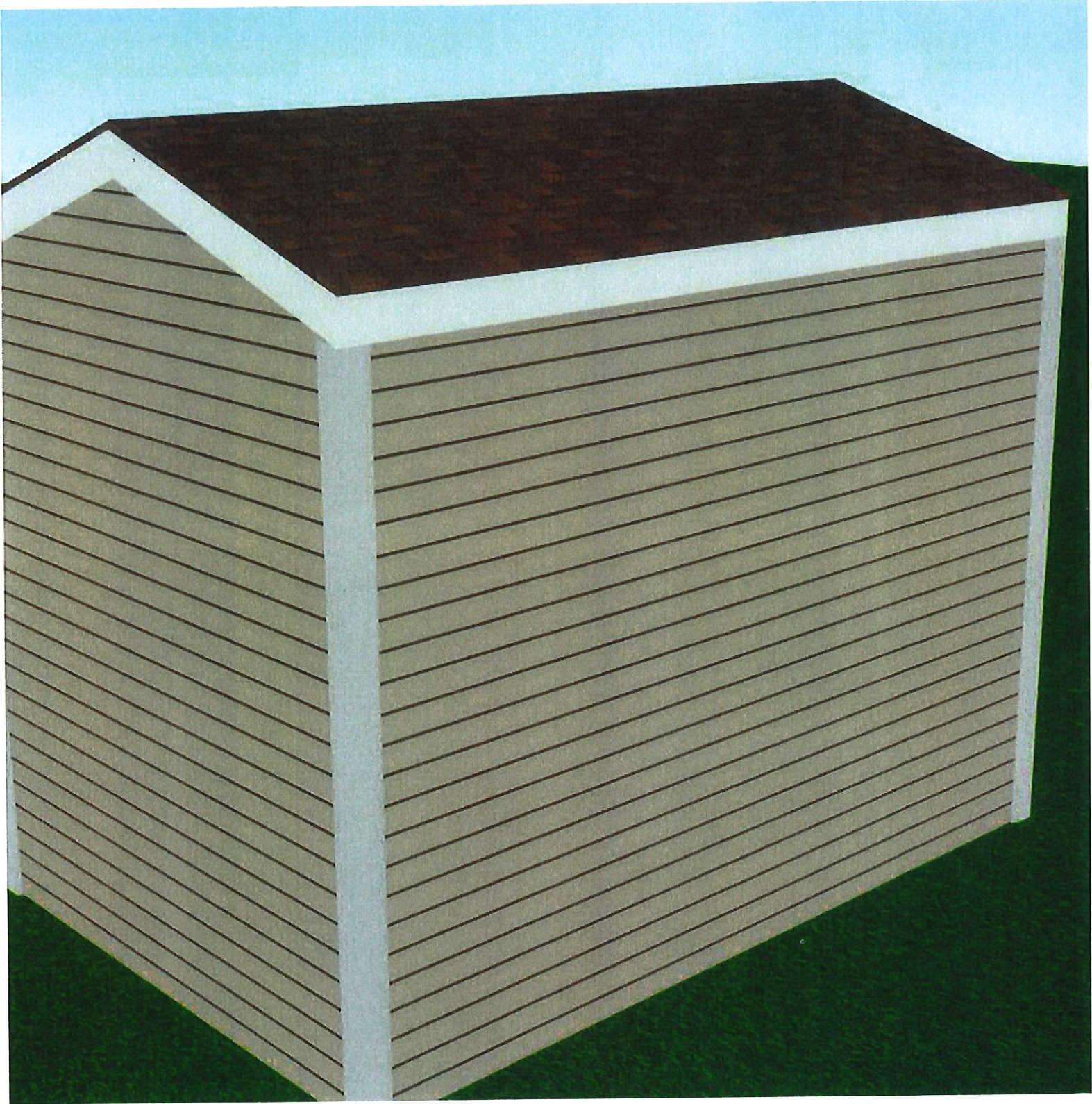
Picture of existing
non-conforming shed



Picture of proposed
shed



Picture of Proposed
shed

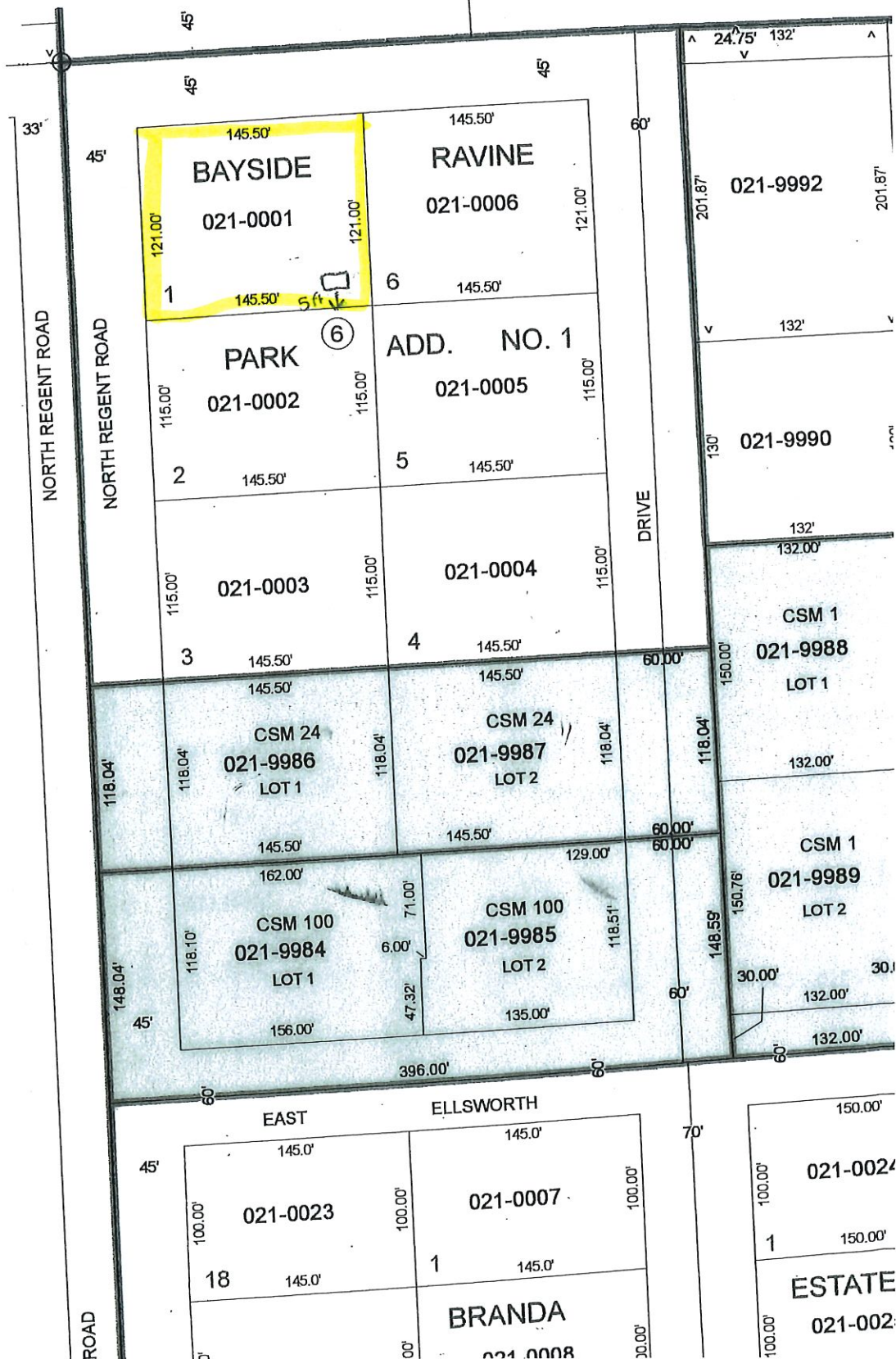


Picture of Proposed
Shed



N
SW 1/4 SECTION 4,
V

EA



Project Proposal

Date 9/25/2020

Property Address 9040 N Mohawk Rd, Bayside WI 53217

Zoning Residential

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

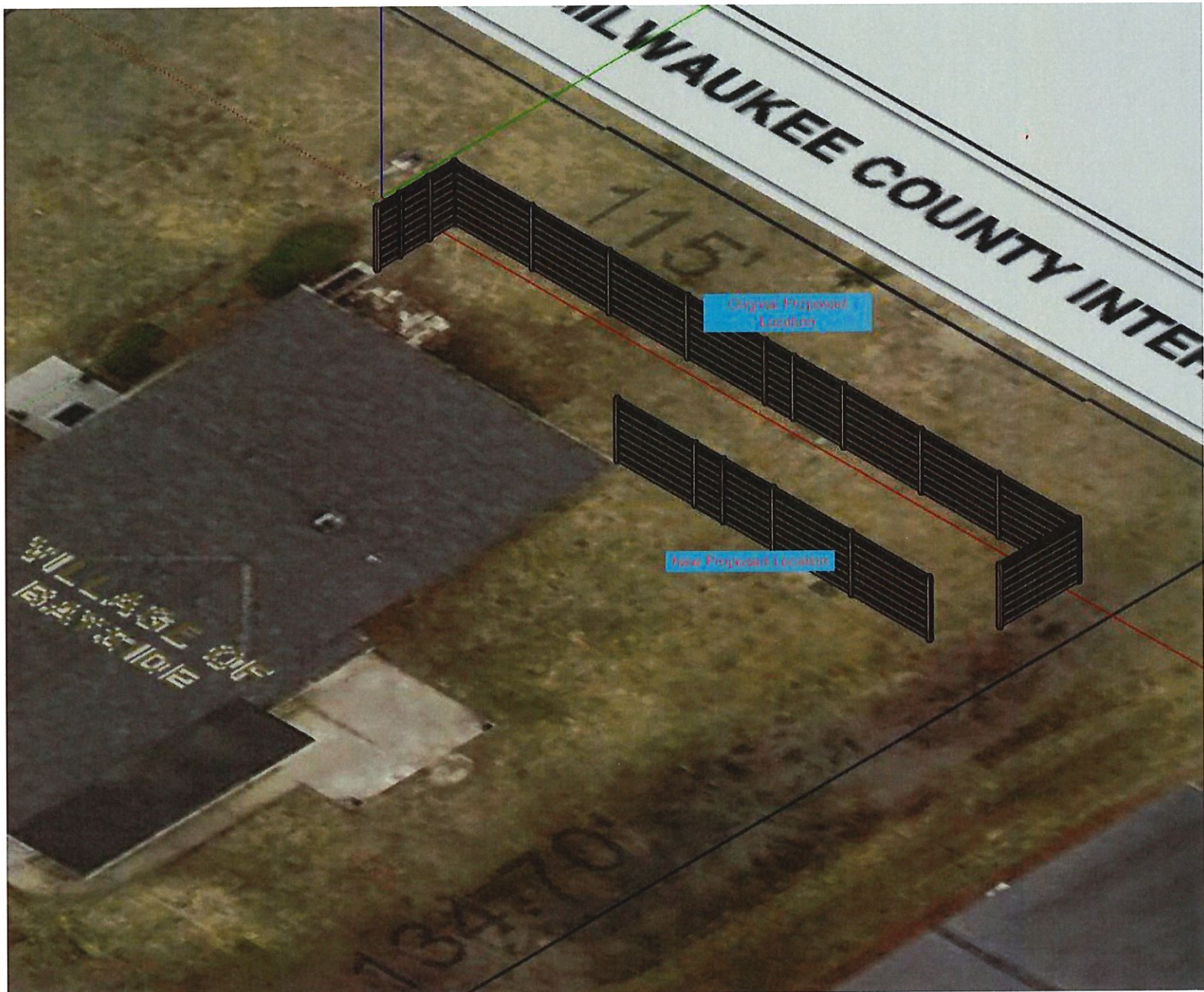
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input checked="" type="checkbox"/> Other |
|--|---|

Proposed project details (type of work, size, materials, etc.):

Custom shed to be erected using cedar that will be oiled to allow for a natural finish. The finish will allow it to match the natural tones of the existing home. A shed is erected on the SE corner of the property. Its finish is also similar in tone to the home. It is a steel frame with a composite siding..

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required



05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Maylan Thomas</p> <p>PROJECT ADDRESS: 9040 N Mohawk</p>	<p>PROJECT SUMMARY: New Cedar fence and a 7 X 7 shed</p>
--	--

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length 82' is approximately 15% of the total property perimeter length of approximately 549'.
Per the code section copied below a 25% open fence is required.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS / TYPES COMPLY

HEIGHT:

PROPOSED HEIGHT IS COMPLIANT

MATERIAL / FINISH:

Cedar

NEW SHED LOCATION DOES NOT COMPLIES WITH VILLAGE CODE.

Sec. 125-91. - "C" residence district regulations.(5)

A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

The rear yard set back is only 8' 7 ¾" not confirming to the required 10' set back

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

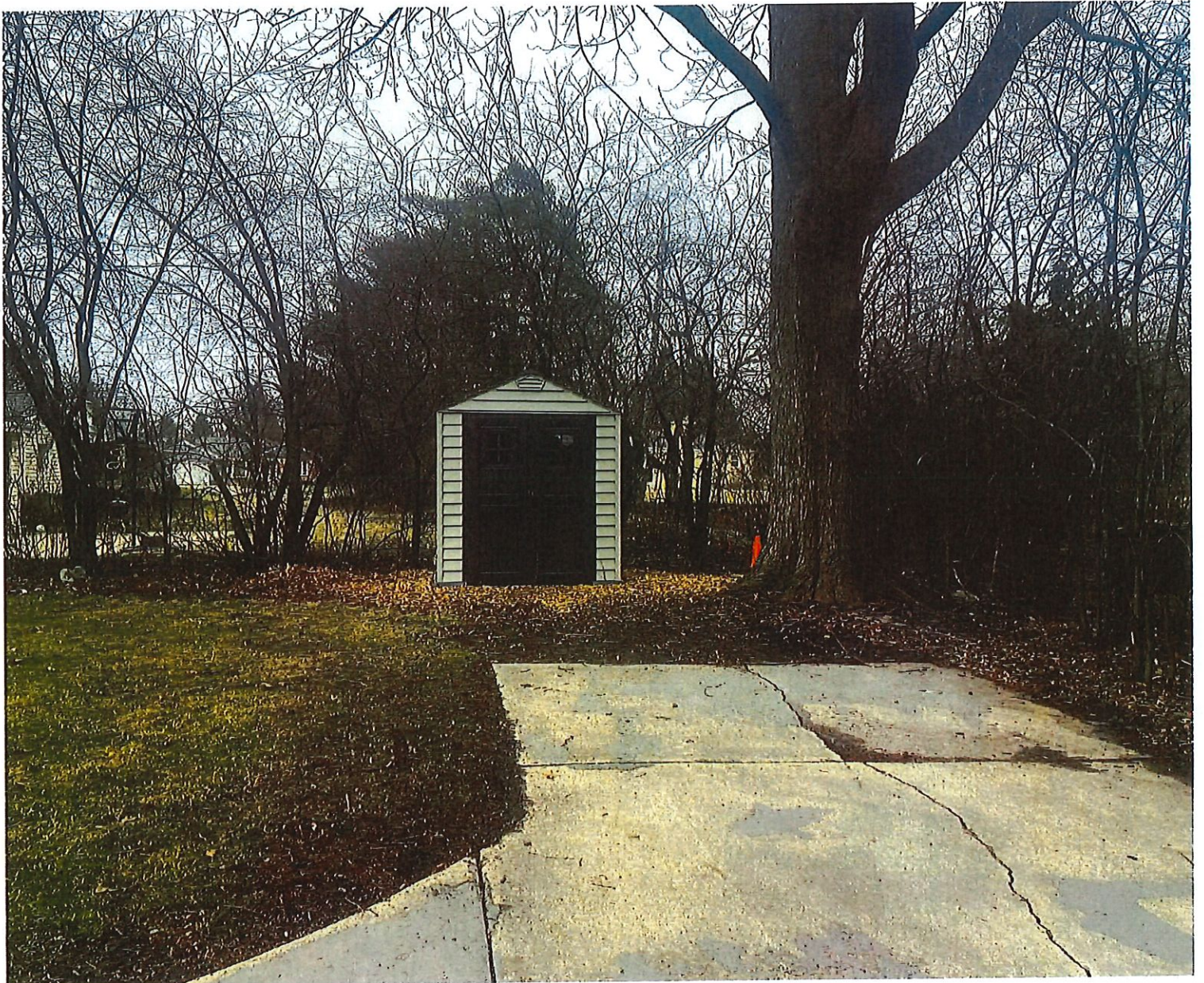
(2)

Reviewer Tod Doebler



Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

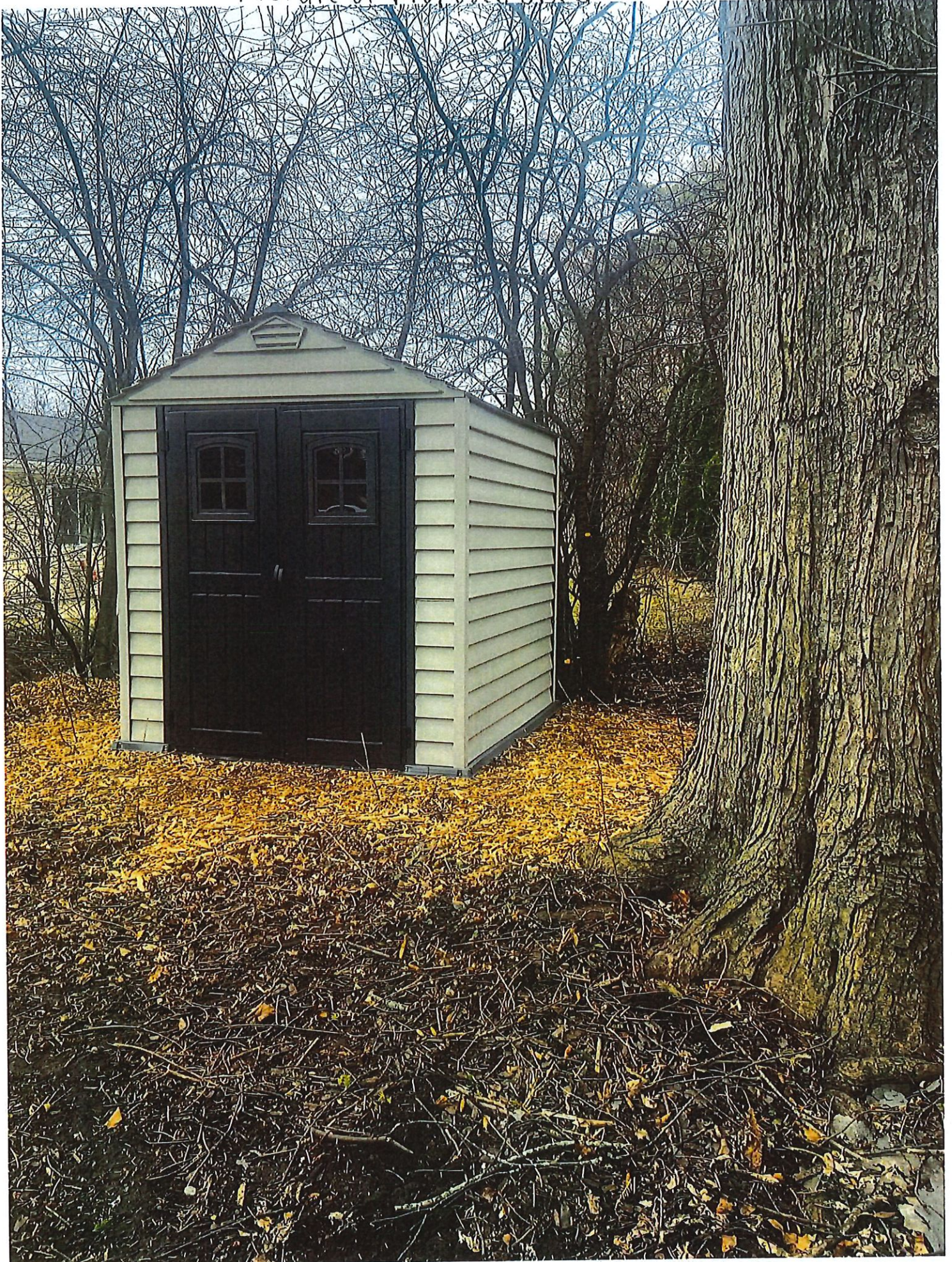
Picture of the Proposed
Shed



Picture of Proposed Shed



Picture of Proposed Shed



Picture of proposed shed

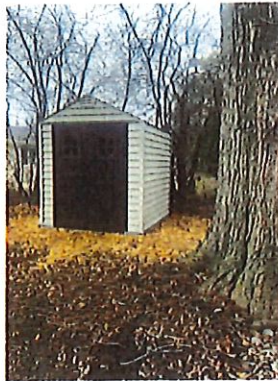


9040 N Mohawk Fence Installation

319-594-0510 | maylanthomas@gmail.com | Maylan Thomas

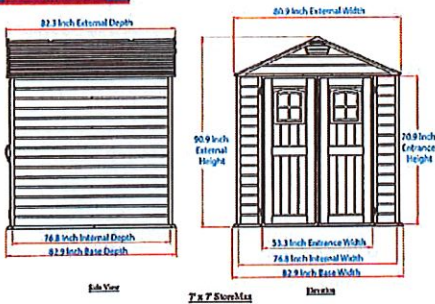


A
1
View of shed from street
NTS



A
2
View of shed facing adjacent property
NTS

Note:
 -Shed is similar in color leveraging earth tones to match with the home
 -Gable of shed is similar to home
 -Roofing of shed is a similar color tone to home



A
3
Shed Elevation
NTS

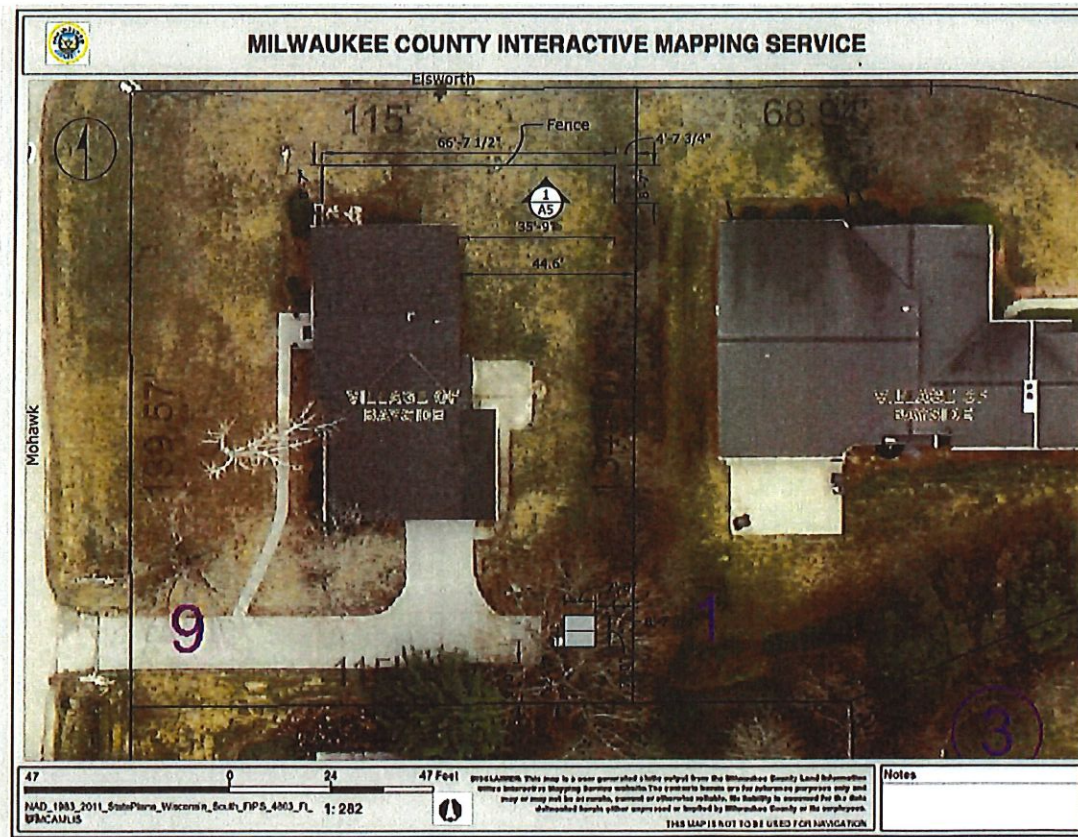


A
4
View of 9040 N Mohawk from Mohawk Rd
NTS

Drawing Name:
Shed Details
 Date:
April 19, 2021
 Scale:
1/2" = 1'-0"
 Page Number:
5

9040 N Mohawk Fence Installation

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General Note:
 -Edge of fence on East side comes with in 4'-7 3/4" of property line.
 -It will not encroach onto adjacent parcel.

Drawing Name:
Plan View

Date:
April 19, 2021

Scale:
1/2" = 1'-0"

Page Number:
1

Plot Study
1 1"=20'

BADGER SURVEYING CO., INC.

REGISTERED LAND SURVEYORS
 MILTON H. SCHMIDT, Pres.
 CLARENCE H. PIEPINBURG, Vice-Pres.
 JAMES A. RIDE, Sec.-Treas.

PHONE CONCORD 4-3782
 823 W. ATKINSON AVE.
 MILWAUKEE 6, WIS.

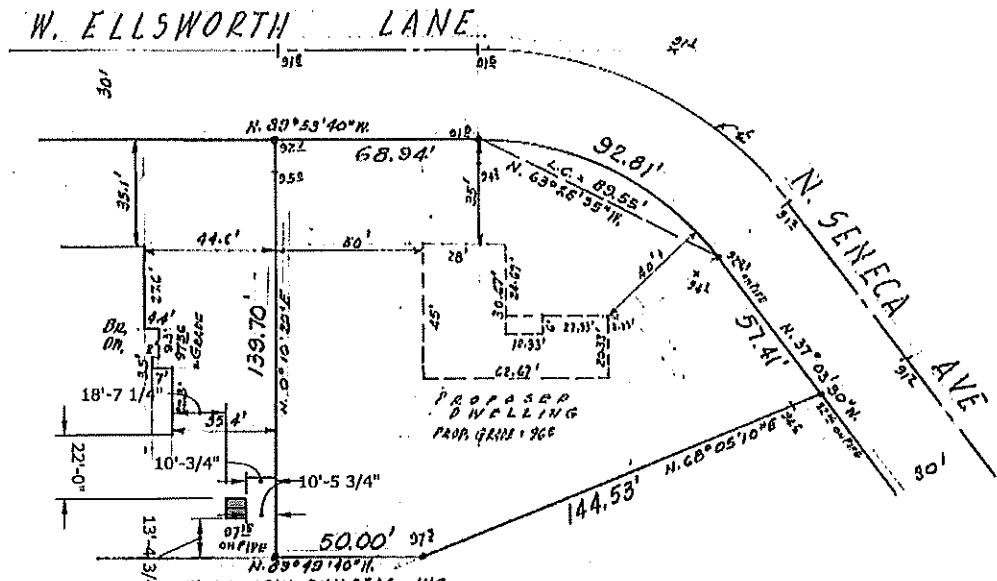
PLAT OF SURVEY

Property at West Ellsworth Lane Owner
 Legal Description: Lot 1, in Block 3, in Bayport Estates, being a subdivision of part
 of the South East 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of
 Bayside, Milwaukee County, Wisconsin.

B-22-5-4-0060

A Shed Detail
 1 1"=40'

NOTE
 * DENOTES IRON PIPE
 BENCHMARK ASSUMED
 DWELLING STAKED 1' OUT



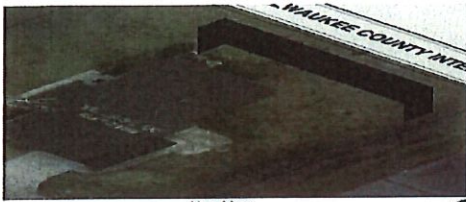
Prepared for: **WISCONSIN BUILDERS, INC.**

I hereby certify that on the 9th day of AUGUST, 1959, I have surveyed the above described property and that the above plat is a correct representation of the exterior boundary lines thereof.

State of Wisconsin, }
 County of Milwaukee } ss.
 Plat No. 59-948 Signed James A. Ride Reg. No. 5-3
 Surveyor

9040 N Mohawk Fence Installation
 319-594-0510 | myj@kathomas@gmail.com | Mylan Thomas

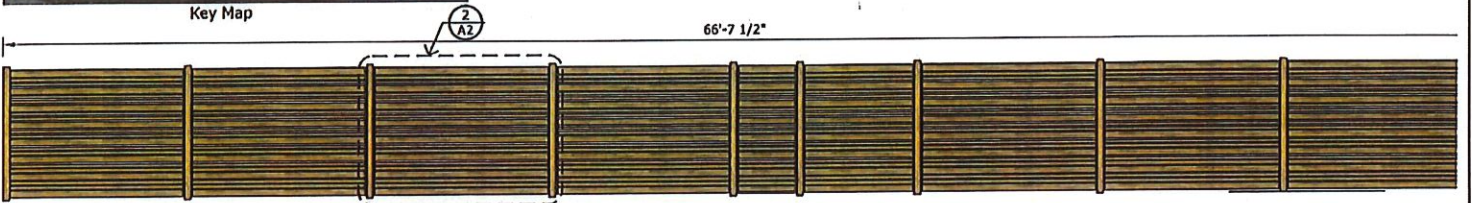
Drawing Name:
 Shed on Survey
 Date:
 May 5, 2021
 Scale:
 1/2" = 1'-0"
 Page Number:
 6



Key Map

9040 N Mohawk Fence Installation

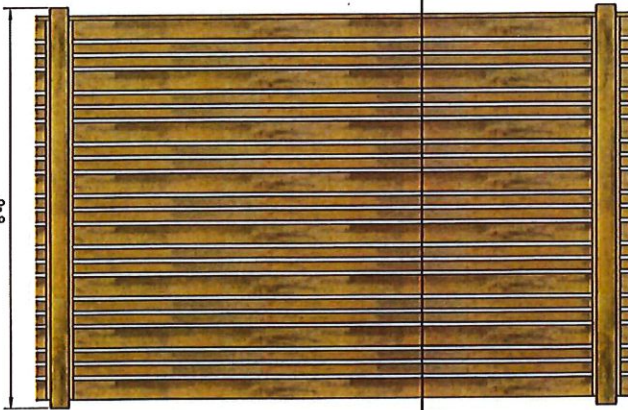
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66'-7 1/2"

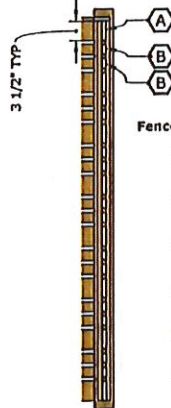
2
A2

A
1
1/4" = 1'-0"



6'-0"

A
2
Detail: 1 Panel Front Elevation
3/4" = 1'-0"



3 1/2" TYP

Fence Open Face Study

Total Height of fence is:	72"
Total Height of A:	28"
Total Height of B:	24.5"
Sum of A + B =	52.5"
Sum / Total Fence Height =	72%
Sum % less 100% =	28% total open space design of fence

A
3
Section A3: Fence Open Study
3/4" = 1'-0"

Drawing Name:
Fence Detail

Date:
April 19, 2021

Scale:
1/2" = 1'-0"

Page Number:
3

9040 N Mohawk Fence Installation

319-594-0510 | maylanthomas@gmail.com | Maylan Thomas



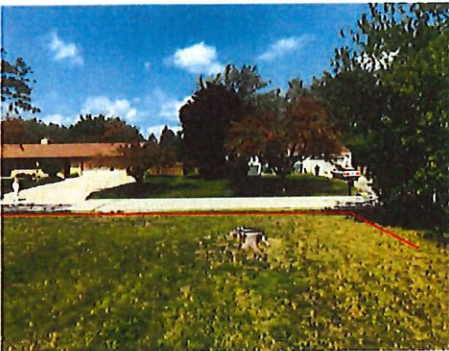
A
1 View From Street: North looking South West
NTS



A
2 View From Street: North looking South East
NTS



Key Map



A
3 View From Street: South Looking North
NTS



A
4 View From Street: South Looking North West
NTS

Drawing Name:
Property Images
Date:
April 19, 2021
Scale:
1/2" = 1'-0"
Page Number:
4

REGISTERED LAND SURVEYORS
 MILTON H. SCHMIDT, Pres.
 CLARENCE H. PIEPENBURG, Vice-Pres.
 JAMES A. EIDE, Sec.-Treas.

BADGER SURVEYING CO., INC.

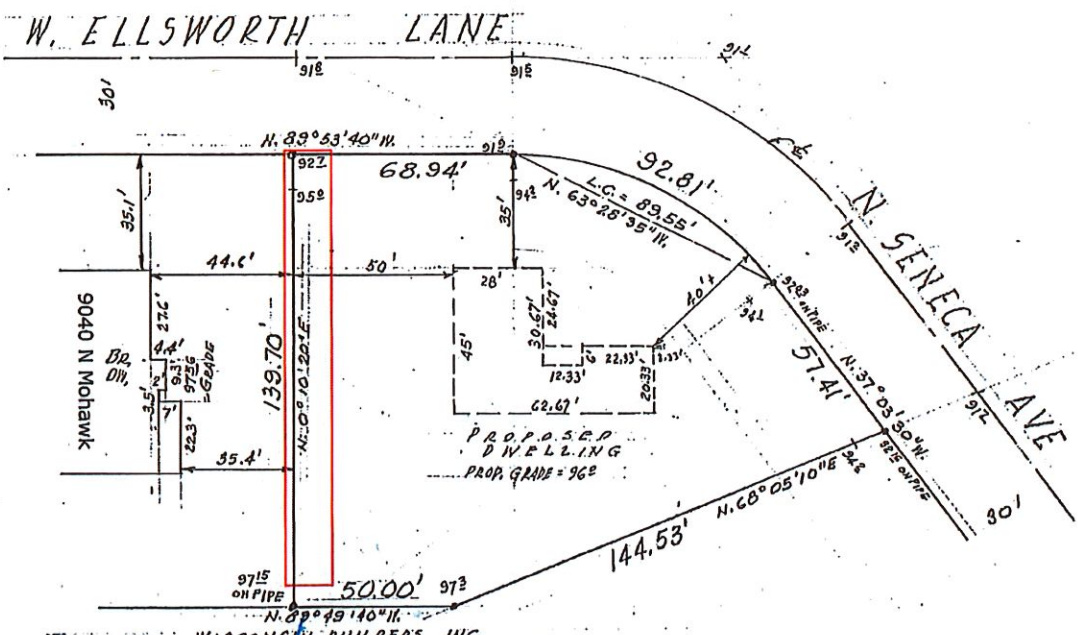
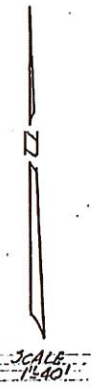
PHONE CONCORD 4-3782
 823 W. ATKINSON AVE.
 MILWAUKEE 6, WIS.

8-22-54 - 00.60

PLAT OF SURVEY

Property at West Ellsworth Lane
 Legal Description: Lot 1, in Block 3, in Bayport Estates, being a subdivision of part of the South East 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.
 Owner

NOTE
 DENOTES IRON PIPE
 BENCHMARK ASSUMED
 DWELLING STAKED 1' OUT



Prepared for: WISCONSIN BUILDERS, INC.

State of Wisconsin, }
 County of Milwaukee } ss.

I hereby certify that on the 31ST day of AUGUST, 1954, I have surveyed the above described property and that the above plat is a correct representation of the exterior boundary lines thereof.

Plat No. 59-948

Signed James A. Eide Reg. No. 5-3
 Surveyor

Drawing Name:
 Survey
 Date:
 April 19, 2021
 Scale:
 1/2" = 1'-0"
 Page Number:
 2

9040 N Mohawk Fence Installation
 319-594-0510 | maxlundhoms@gmail.com | Maylan Thomas