



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
May 24, 2021
Remote Teleconferencing, 6:00pm

**ARCHITECTURAL REVIEW COMMITTEE
AGENDA**

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. Approval of May 10, 2021 meeting minutes.

III. BUSINESS

- A. **8949 N Greenvale Road – John and Karen Hiller** The proposed project is the installation of a 220 foot fence along the perimeter of the backyard. There will be approximately 85 feet of solid fencing to screen the existing pool. The fencing material will be made from green pressure treated wood.

Please review detailed plans [here](#).

- B. **8934 N Navajo Road – John Vieni** The proposed project is a 12'x20' deck that will be constructed directly off the existing concrete patio. The deck will be approximately 19 inches in height and will be constructed from treated lumber.

Please review detailed plans [here](#).

- C. **901 W Jonathan Lane – Mike and Janice Bernstein** The proposed project is the installation of new windows and a new patio door.

Please review detailed plans [here](#).

- D. **1111 E Brown Deer Road- Schlitz Audubon Nature Center** The proposed project is the installation of a 64'x50' storage garage for nature center equipment.

Please review detailed plans [here](#).

- E. **850 E Bay Point Road – John and Deborah Pearce** The proposed project is the installation of a 8'x10' wood paneled exterior storage shed. The shed will have double entry doors, two single windows, vents, and a shingled roof.

Please review detailed plans [here](#).

- F. **309 E Fairy Chasm Road – Matt and Claire Evans** The proposed project is the replacement of the existing shed in the backyard. The shed will be

constructed from treated lumber with vinyl siding.

Please review detailed plans [here](#).

- G. 9040 N Mohawk Road – Maylan Thomas** The proposed project is the installation of a 7'x7' shed and the installation of a custom cedar fence on the north side of the property.

Please review detailed plans [here](#).

IV. ADJOURNMENT

Cassie Schmidt
Deputy Clerk

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/85816931882?pwd=TzQ3QWJoUi9xUkxXcUIkME5KQkxZUT09>

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 858 1693 1882, password 613754.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



I. CALL TO ORDER

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:00pm.

II. ROLL CALL

Chair: Marisa Roberts
Members: Elizabeth Levins - Excused
Dan Zitzer
Tony Aiello - Excused
John Krampf - Excused

Trustee Liaison: Mike Barth

Also Present: Deputy Clerk Cassie Schmidt
There were five people in the audience.

III. APPROVAL OF MINUTES

A. Approval of April 19, 2021 meeting minutes.

Motion by Trustee Barth, seconded by Dan Zitzer, to approve the April 19, 2021 meeting minutes. Motion carried unanimously.

IV. BUSINESS

A. 1440 E Fairy Chasm Road – Brett and Kathleen Bostrack

Brett Bostrack, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Bostrack described the project as the installation of a 12'x12' wood storage shed along the eastern edge of the backyard. The shed will be painted to match the exterior color of the existing home. There will be no electrical work in the shed.

Motion by Trustee Barth, seconded by Chairperson Roberts, to approve the project as described and presented in the application. Motion carried unanimously.

B. 9508 N Sequoia Drive – Mitchell Ecker

Mitchell Ecker, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Ecker described the project as the installation of a 280-foot metal fence in the backyard. The fence will be 4 feet tall and 25% open.

Motion by Trustee Barth, seconded by Chairperson Roberts, to approve the project as described and presented in the application. Motion carried unanimously.

C. 9210 N Pelham Parkway – Jessica Lubar

Jessica Lubar, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Ms. Lubar described the project as the installation of a 276-foot fence in the backyard. The fence will be 6 feet tall, with horizontal boards and spaces in between the boards.

Chairperson Roberts questioned how far the fence will be from the north side of the property line. Ms. Lubar stated the fence will be at least 6 inches away.

Motion by Trustee Barth, seconded by Dan Zitzer, to approve the project with the understanding that the gaps will increase in size towards the top of the fence. Motion carried unanimously.

D. 1460 E Bay Point Road – Darrell and Connie Oyer

Darrell and Connie Oyer, property owners, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Oyer described the project as the installation of a wrought iron fence in the front yard. The fence will be 5 feet tall and 25% open.

Motion by Chairperson Roberts, seconded by Trustee Barth, to approve the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Chairperson Roberts, seconded by Trustee Barth, to adjourn the meeting at 6:32pm. Motion carried unanimously.

Respectfully submitted,

Cassie Schmidt
Deputy Clerk

Project Proposal

Date May 24, 2021

Property Address 8949 N Greenvale Road

Zoning Residential C

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening

<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

install approximately 220 feet of fencing, 6 ft tall.
About 85 ft will be solid, the rest will be 25%
open. Made from green pressured treated wood

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: John and Karen Hiller</p> <p>PROJECT ADDRESS: 8949 N Greenvale Rd</p>	<p>PROJECT SUMMARY: Replace existing fence with new one</p>
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VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length 220' is approximately 38% of the total property perimeter length of approximately 585'.
Per the code section copied below a 25% open fence is required.
The proposed 85' of solid fence does comply with the referenced code.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTH OF SOLID AND OPEN PORTIONS ARE COMPLIANT

This is based of a revised survey
The application shows a different length for the solid fencing

HEIGHT:

PROPOSED HEIGHT IS COMPLIANT

MATERIAL / FINISH:

Green pressured treated wood

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

(2)

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

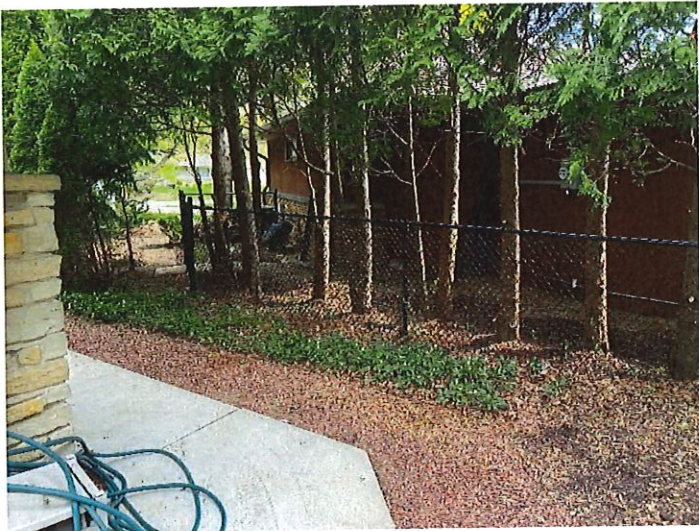
6 feet tall

Proposed new fence





Existing north property line looking north toward neighbor.
New 6' privacy in this location



South property line looking south toward neighbor. Gate would run across our path to chain link.
Also new 6' solid fence to screen the property would run parallel to chain-link for 15'



Existing southwest corner, looking southwest



Existing northwest corner looking northwest



Existing west line looking north

Revised

John Hiller

PLAT OF SURVEY

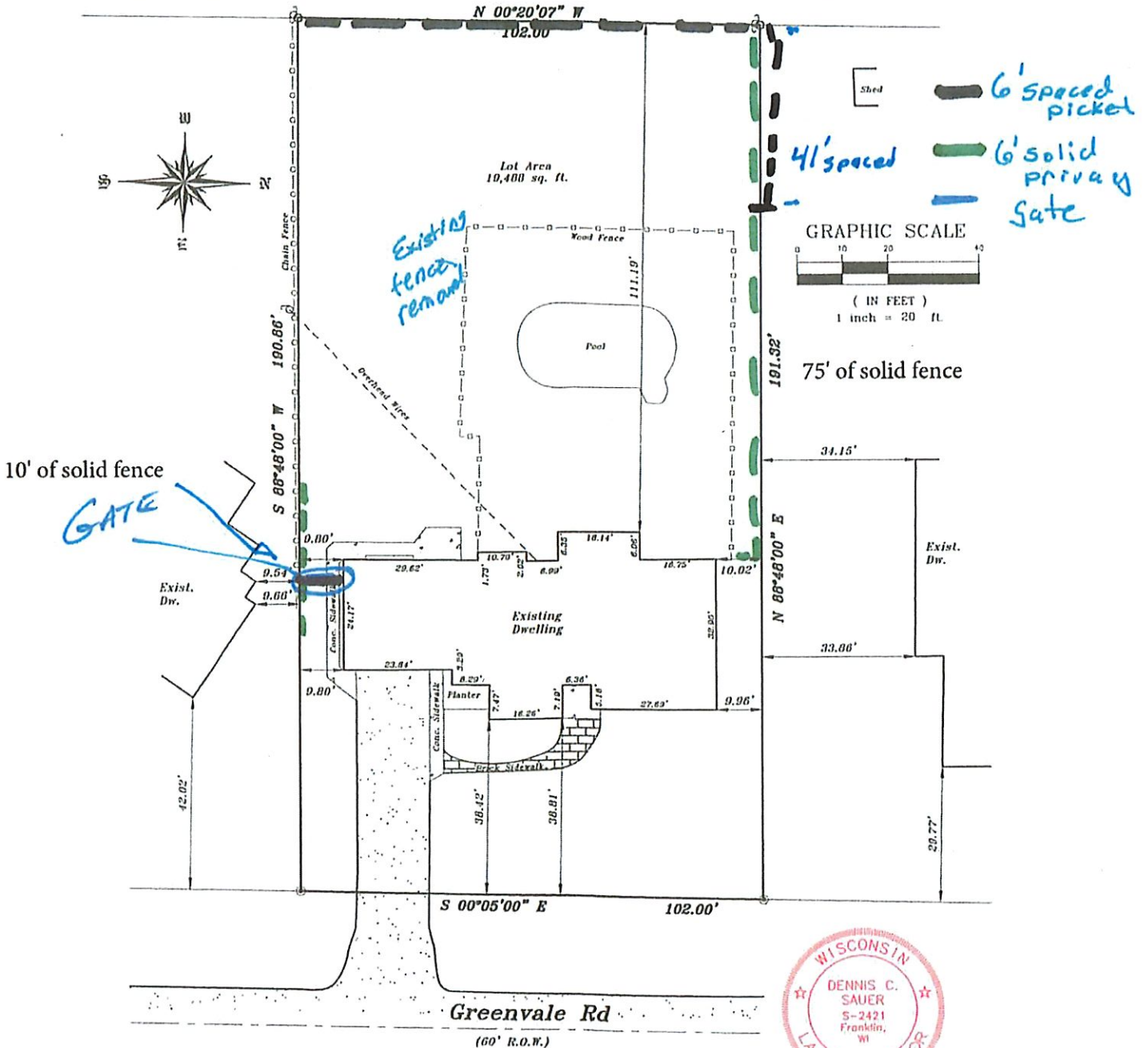
LOCATION: 8949 North Greenvale Road, Bayside, Wisconsin

LEGAL DESCRIPTION:

Lot 9 in Block 19 in CONTINUATION OF BAY SIDE, a Subdivision of 49.14 acres located in the Southwest 1/4 of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

April 14, 2021

Survey No. 112436-S



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

9415 West Forest Home Avenue, Suite 202

Hales Corners, Wisconsin 53130

PH. (414) 529-5380

survey@metropolitansurvey.com

www.metropolitansurvey.com



⊙ — Denotes Iron Pipe Found

○ — Denotes Iron Pipe Set

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer

Dennis C. Sauer
Professional Land Surveyor S-2421

Revised

John Hiller

PLAT OF SURVEY

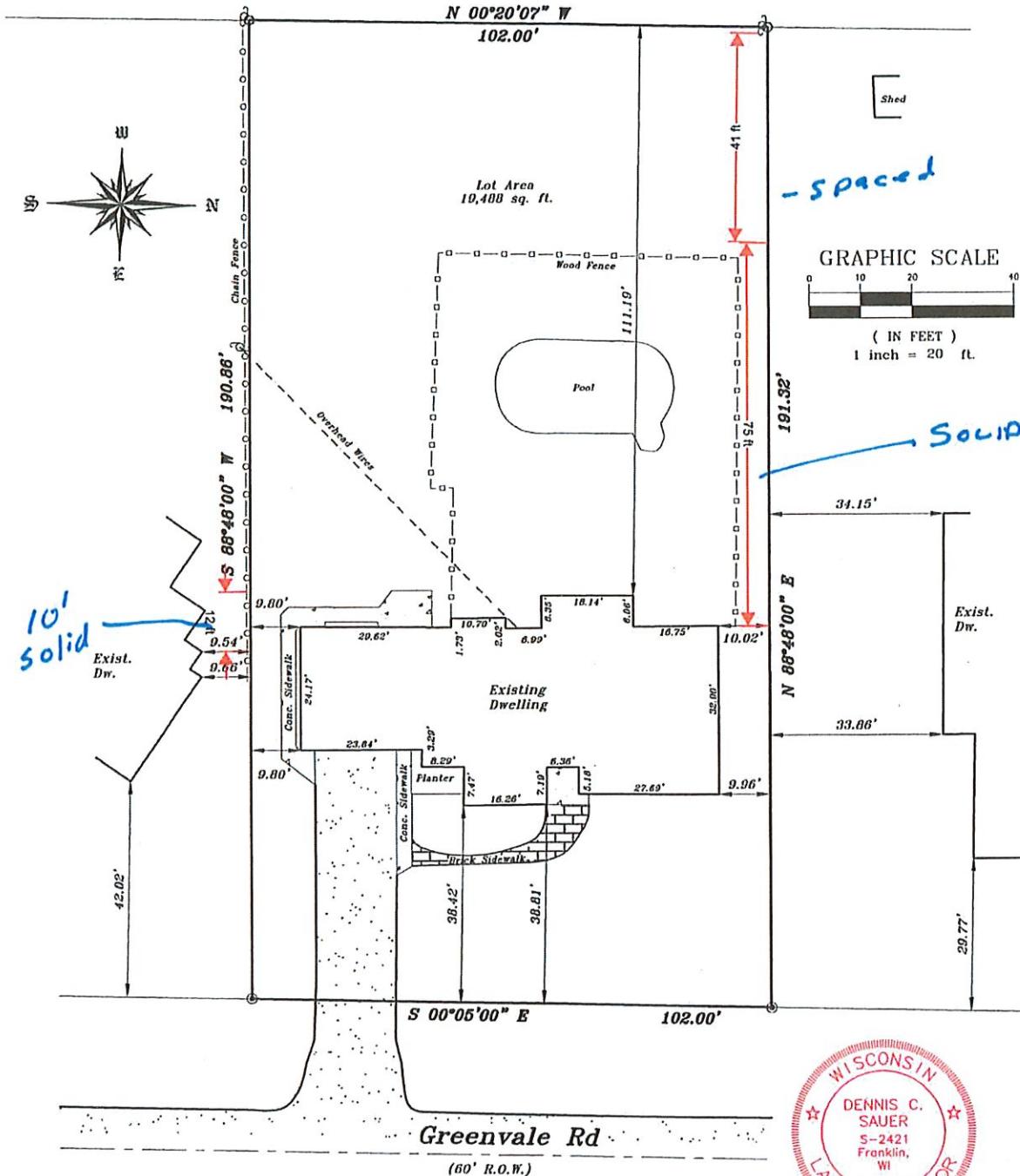
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SIGNED

Dennis C. Sauer

Professional Land Surveyor S-2421

Project Proposal

Date 05/06/2021

Property Address 8934 N Navajo Rd

Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input checked="" type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

The Deck, will be constructed directly off of the existing concrete patio and will be 12'x20'.

The depth of the deck will be no more than 19" above grade. The materials used to construct the deck will be treated lumber.

***** **For Office Use Only** *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: John Vieni PROJECT ADDRESS: 8934 N Navajo Rd	PROJECT SUMMARY: New 12' X 20' deck
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VILLAGE CODE REVIEW

Sec. 104-4. - Accessory structures.

(m) Decks or patios are not considered accessory structures but shall not exceed 18 inches in height and 150 square feet without the approval of the architectural review committee.

Setbacks are code compliant

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

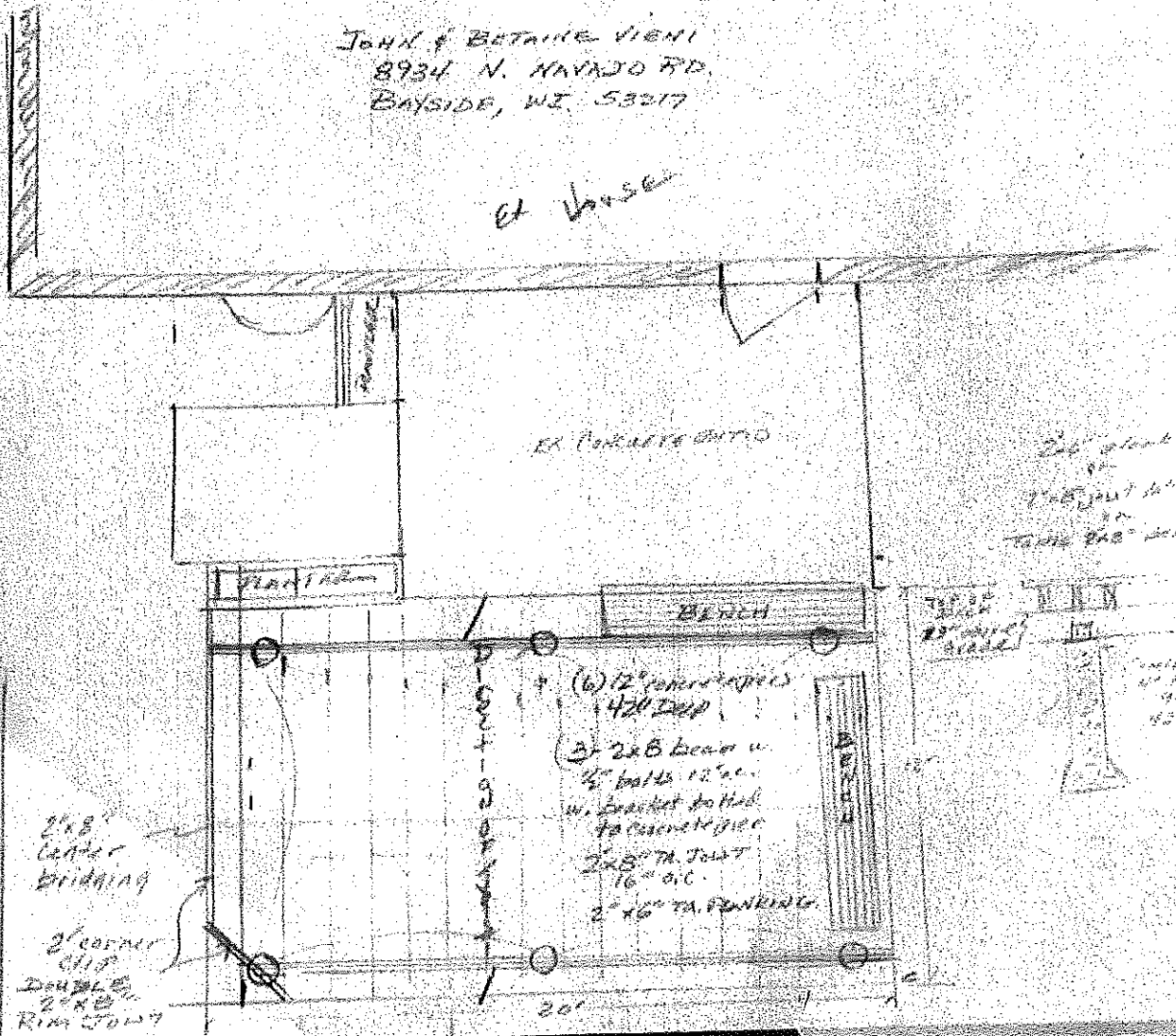
Building review is required. Submit complete set of construction plans for review before a building permit will be issued



Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

JOHN & BETTINE VIENT
8934 N. NAVAJO RD.
BAYSIDE, WI. 53217

EX HOUSE



Garage

2x8 Center
BRIDGING
2' corner
SLIP
DOUBLE
2x8
Rim JOIST

(6) 2x8 beams u.
1/2" bolts 12" o.c.
w. brackets bolted
to concrete pier
2x8" M. JOIST
16" o.c.
2' x 6" TA. BRACKETS

2x6 plank
2x8 joist 16" o.c.
2x8
2x8



11/11/1961

Picture of Existing
Backyard



Picture of Proposed Project
Location



Map of Survey

for

DON T. ALLEN INDUSTRIES

Situated on 5934 Nevada Avenue, Town of Milwaukee, Wisconsin.

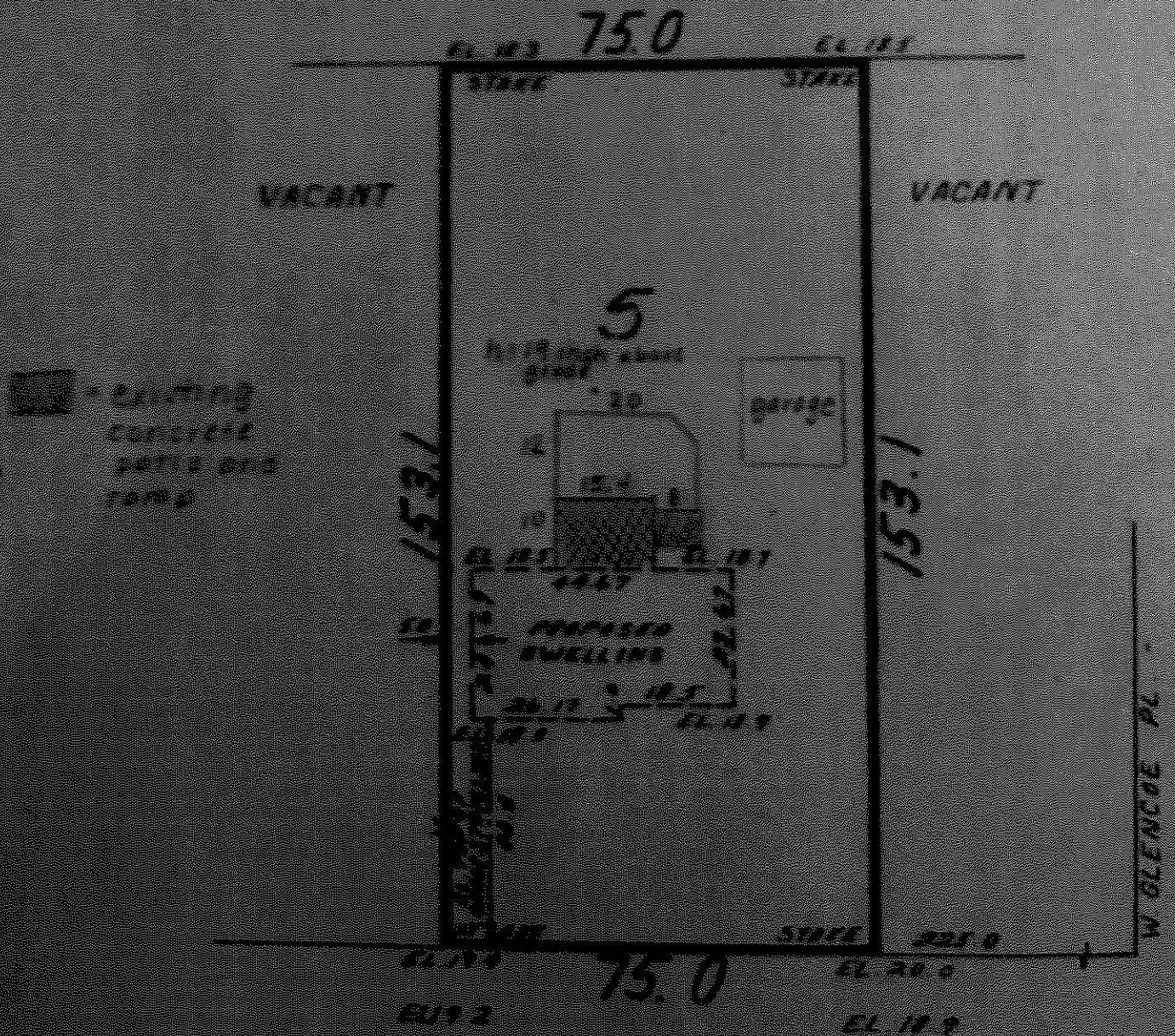
Lot 5 in Block 4 in Northway Subdivision of a part of the S. E. 1/4 of Section 5,
T. 4 N. R. 23 E. in the Town of Milwaukee, Milwaukee County, Wisconsin.

April 23, 1953

Forest Tottle

Survey No. 55142-S

455-53



Project Proposal

Date Fall 2021 Sept
 Property Address 901 W Jonathane Ln
 Zoning _____

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators
<input checked="" type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

New windows / patio door = 95 1/4 x 81.5
→ 38 1/2 x 53" and 111" x 59"

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Mike / Janice Bernstein</p> <p>PROJECT ADDRESS: 901 W. Jonathan Ln</p>	<p>PROJECT SUMMARY: Enclose existing screen room</p>
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VILLAGE CODE REVIEW

Sec. 104-98. - Required

(c) No addition to, alteration or repair of an existing one-family or two-family dwelling may be undertaken unless a building permit for the work is first obtained by the owner or agent from the building inspector after approval of the architectural review committee or unless the work is deemed minor repair or a razing or demolition project by the building inspector. In this subsection, the term "minor repair" means repair performed for maintenance or replacement purposes on any existing one-family or two-family dwelling that does not affect exterior aesthetic appearance and that does not increase a given occupancy and use. Window replacement and door replacement projects shall not be considered to affect the exterior appearance of a structure and are considered to be a minor repair, as long as the location of the opening does not change and the size of the opening does not exceed twenty-five percent of the original.

Setbacks are code compliant

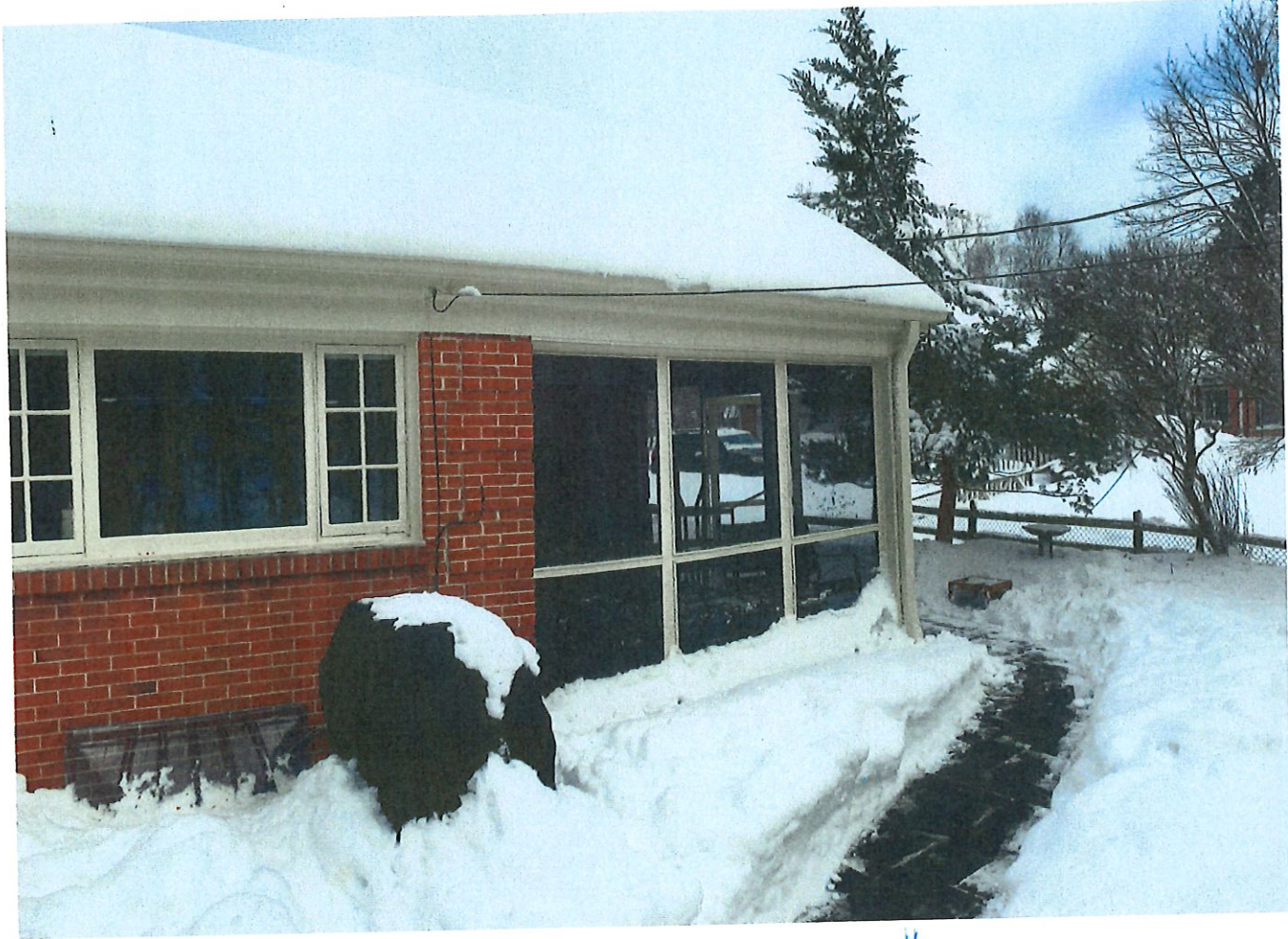
Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

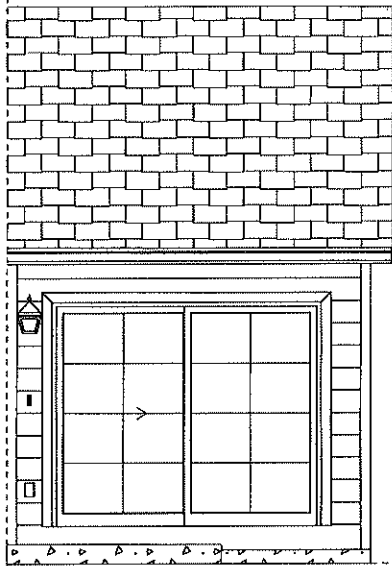
Building review is required. Submit complete set of construction plans for review before a building permit will be issued

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Picture of Project
Location



1

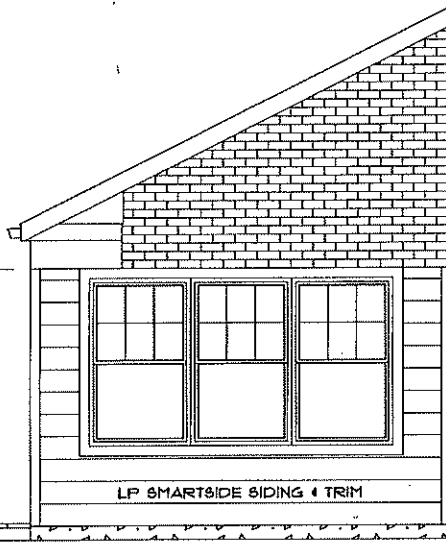


Rear Elevation
SCALE: 3/8" = 1'-0"

BOTTOM OF EXISTING
HEADER

1'-4"

TOP OF EXISTING
SLAB

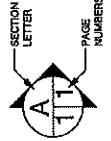


Left Elevation
SCALE: 3/8" = 1'-0"

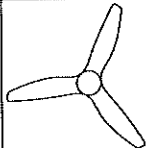





Mike & Janice Bernstein
904 W. Jonathan Lane
Bayshore
WI
53217
PHONE: 414-266-4233
FAX:
natrhik@gmail.com

DRAWN BY: CH
SCALE: 3/8" = 1'-0"
DATE: Friday, April 9, 2021

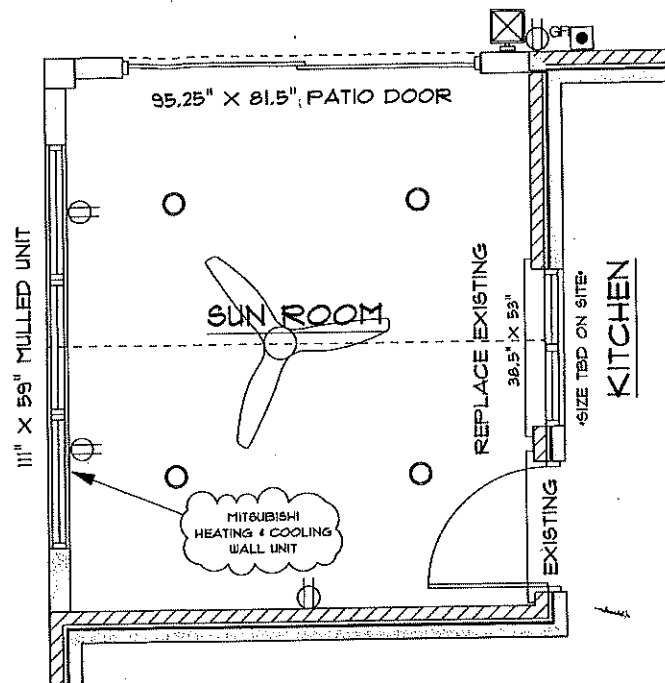
PAGE: 3/3



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
6001 N. Green Bay Road
Glendale
Wisconsin
53209
PHONE: 414-351-5558
FAX: 414-352-9102

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	1	
recessed lights	4	
exterior light	1	
doorbell	1	
outlet	To Code	
outlet gfi	1	

• WIRING FOR MITSUBISHI UNIT



Electrical Layout

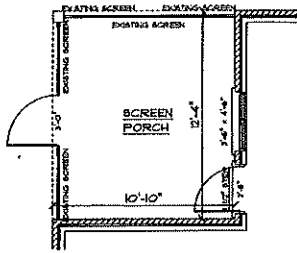
Mike & Janice Bernstein
 904 W. Jonathan Lane
 Bayville WI 53217
 PHONE: 414-208-4233
 FAX: rathlor@gmail.com

SECTION CENTER
 A
 111

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
 6001 N. Green Bay Road
 Glendale Wisconsin 53209
 PHONE: 414-351-4558
 FAX: 414-352-9102

DRAWN BY: CH
 SCALE: As Noted
 DATE: Friday, April 9, 2021
 PAGE: 2/3

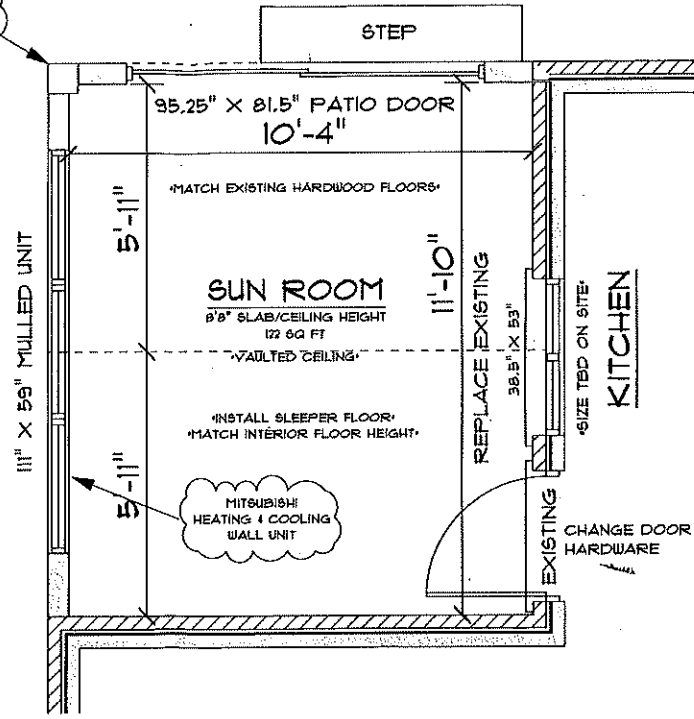
PROJECT SCOPE: CONVERT SCREEN PORCH INTO 4 SEASON SUN ROOM.



BEFORE

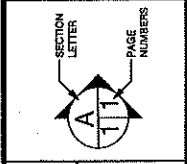
- DEMO NOTES:**
- 1) DEMO EXISTING SCREENS & SCREEN DOOR.
 - 2) DEMO CEILING
- EXISTING (TO REMAIN) NOTES:**
- 1) EXISTING STRUCTURAL CORNER POST.
 - 2) EXISTING STRUCTURAL HEADERS
- FRAMING NOTES:**
- 1) NEW 2X6 WALLS (R-21 INSULATION)
 - 2) 2X6 CEILING JOISTS & NEW VAULTED CEILING (R-38 INSULATION)
 - 3) 2X TREATED SLEEPER FLOOR (MATCH KITCHEN FLOOR HEIGHT)

EXISTING CORNER STRUCTURAL POST



SUN ROOM
SCALE: 1/2" = 1'-0"

Mike & Janice Bernstein
904 W. Jonathan Lane
Bayside WI 53217
PHONE: 414-206-4283
FAX: nathirk@gmail.com



SOFIPLAN
ARCHITECTURAL DESIGN SOFTWARE
B&E General Contractors
6001 N. Green Bay Road
Glendale Wisconsin 53009
PHONE: 414-351-5558
FAX: 414-352-9102

DRAWN BY: CH
SCALE: As Noted
DATE: Friday, April 9, 2021
PAGE: 1/3

Project Proposal

Date 5/5/21

Property Address 1111 E. Brown Deer Rd.

Zoning Nature Center

- | | |
|---|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|---|---|

Proposed project details (type of work, size, materials, etc.):

Cold storage garage for nature center equipment.
Dimensions are 64' x 50' 21' high with a 3 1/2/12
pitch on the roof. Entire exterior will be steel earth tones and interior

***** For Office Use Only *****

framing will be dimensional lumber.

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Schlitz Audubon Nature Center</p> <p>PROJECT ADDRESS: 1111 E Brown Deer</p>	<p>PROJECT SUMMARY: New cold storage garage for nature center equipment</p>
--	---

VILLAGE CODE REVIEW

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Architectural Review Committee shall make the final determination for approval of the proposed roof design relative to the existing nearby structures.

Building review is required. Submit plans with a completed SBD – 118 plan review application form.

Reviewer Tod Doebler

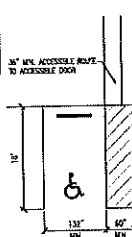
Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for contract or bidding code completion.
 - This building is designed in accordance with the following codes and specifications:
 - Wisconsin Commercial Building Code (CBC)
 - National Design Specifications for Wood Construction
- Wind Category: 1
 Building Use: Unoccupied Storage
 Type III
 Type of Construction: 2000 Sq. Ft.
 Building Area Slope Footing:
- Building Design Loads:
 Snow Design Load: 35.3 PSF
 Design Snow Load: 10 PSF
 Flat Roof Snow Load (S): 26.88 PSF
 Snow Exposure Factor (C_e): 1
 Size Load Importance Factor (I_s): 0.8
 Thermal Factor (C_t): 1.2
 Sloped Roof Snow Load (S_s): 26.88
 Unshaded Snow Load: 0 PSF Windward
 Per SPS 352.1624 (1) 26.85 PSF Leeward
- Wind Design Data:
 Design Wind Speed: 105 MPH
 Wind Exposure: C
 Wind Load Importance Factor (I_w): 1
- Earthquake Design Data:
 Seismic Design Category: B
 Spectral Response Coefficient (C_s): 0.09
 (C_s): 0.075
 Site Class: D
 Seismic Importance Factor (I_s): 1.0
 Modified Spectral Response Accelerations (S_s): 0.14g
 (S_s): 0.14g
 Response Modification Factor (R): 8
- All lumber, unless noted otherwise, shall be S4S #1 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .30 lbs. per cubic foot.
 - Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
 - Fill used for concrete floor slab sub grade, if present, shall be mechanically graded granular material. Fill used in column bases shall be the unconsolidated and without retentive strata. All fill shall be free from debris, stones over 1/4" and frozen material.
 - Excavated work is not a part of this drawing and shall be installed as per applicable codes.
 - Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
 - Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
 - All notes are to be threaded hereafter unless otherwise noted.
 - This design is based on a building site with level, dry, clay soil, city grade, deep ground water. As per the CBC building code and EC Table 1408.2, an assumed soil bearing capacity value of 2000 psf has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE: PLEASE BE ADVISED THAT ANYTHING LEAVING IS NOT PART OF THIS DESIGN. IF ANYTHING LEAVING IS TO BE USED IN THIS BUILDING, STATE LAW REQUIRES IT TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER TO COMPLY WITH SPS 352.0201 AND 352.0202. THE PLANS AND SPECIFICATIONS SHALL BE KEPT ON SITE FOR REVIEW BY THE BUILDING INSPECTOR.

NOTE: MINIMUM OF ONE 13'x57' WIDE VAN ACCESSIBLE PARKING SPACE AND ONE 8'x57' WIDE PARKING ACCESSIBLE SPACE IF MORE THAN 25 TOTAL PARKING SPACES, A MINIMUM OF ONE 8'x14' VAN AND ONE 8'x20' VAN ACCESSIBLE PARKING SPACES. MINIMUM PARKING SPACE SHALL BE PLACED ON ADJACENT SIDE OF DRIVE AND SHALL INCLUDE MOUNTED SPACED AND SLOPED SIGN DISCREPANCY SHALL COMPLY WITH TRANSPORTATION BLUE 252.02.



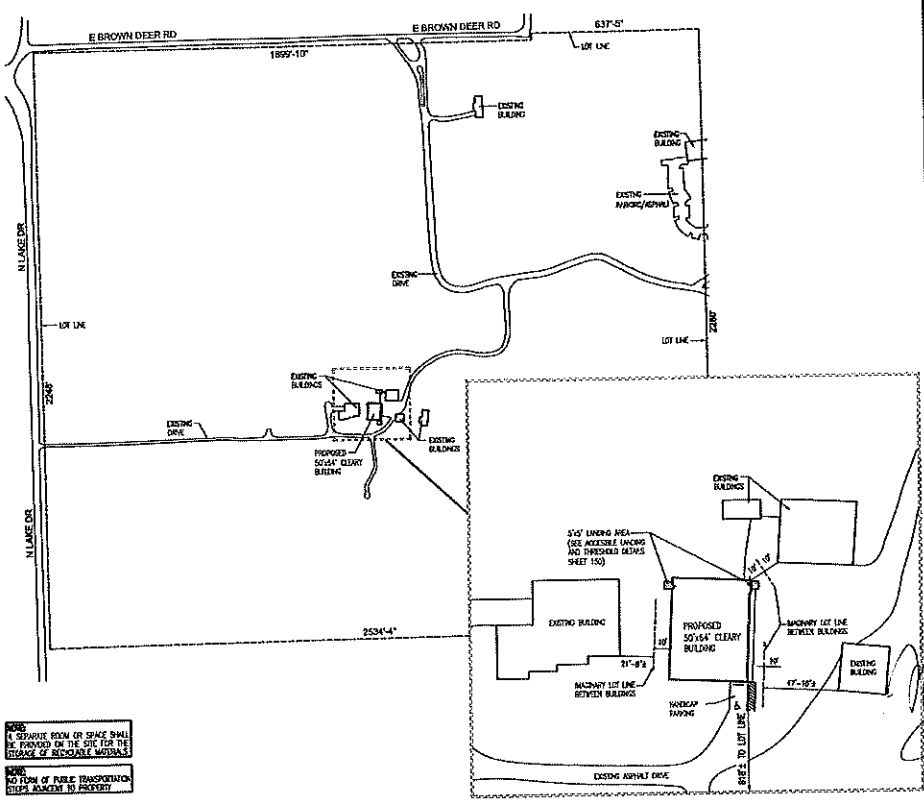
ACCESSIBLE PARKING STALL

NOTE: IF SEPARATE ROOM OR SPACE SHALL BE PROVIDED ON THE SITE FOR THE STORAGE OF ACCESSIBLE MATERIALS.

NOTE: NO FORM OF PUBLIC TRANSPORTATION EQUIP. ADJACENT TO PARKING.

TABLE OF CONTENTS

- 100. SITE PLAN
- 110. ELEVATIONS
- 120. FLOOR PLAN
- 121. CONCRETE BRACKET LAYOUT
- 122. CONCRETE FOUNDATION DETAILS
- 130. TYPICAL SECTION "A"
- 131. TYPICAL SECTION "B"
- 140. HEADER DETAILS
- 150. DIAPHRAGM ACTION and MISC. DETAILS
- 160. TRUSS DIAGRAMS



CLEARY BUILDING CORP.
 190 PACO STREET / P.O. BOX 93228
 VERONA, WI 53593 / (262) 373-9550

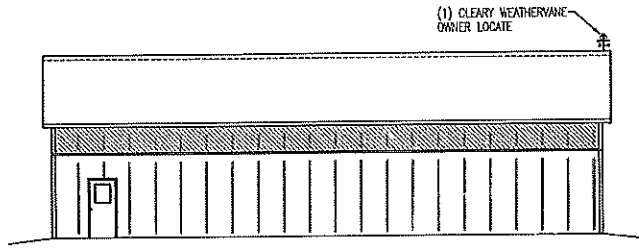
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 DATE DRAWING: 10/15/19

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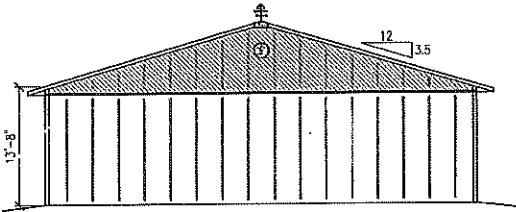
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 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5065KVA13'-8"
 SHEET NAME: SITE PLAN

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 100
 SHEET SCALE: NONE

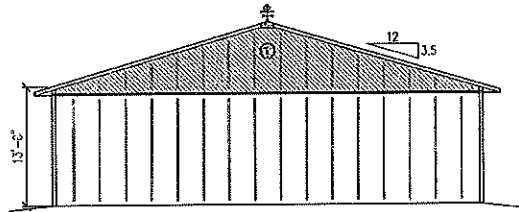
VERNON WISCONSIN PROFESSIONAL ENGINEER
 MATTHEW B. LAWINGER
 E-35324
 VERONA, WI



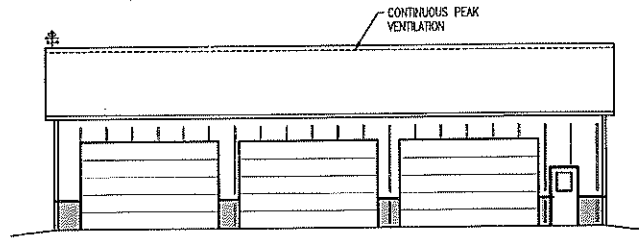
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



191 PADUKI STREET / P.O. BOX 800250
 VERONA, WI 53591 / (262) 373-5550

DRAWN BY: LCB

DATE DRAWN: 10/15/19

PLAN REVISIONS:

NUMBER	DATE	BY
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BLAIRSTOWN, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 570'x64'x13'-8"
 SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2019105448

SHEET NUMBER: 110

SHEET SCALE: NONE

COLUMN	COLUMN SIZE	PILE DEPTH	PILE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(1) SOKKAL	3-PLY 24x18'-6"	---	---	ON CONCRETE (10'x10')	9
(2) SOOK	3-PLY 24x18'-6"	---	---	ON CONCRETE (10'x10')	4
(3) OSNER	3-PLY 24x18'-6"	---	---	ON CONCRETE (10'x10')	4
(4) OSKAL	3-PLY 24x18'-6"	---	---	ON CONCRETE (10'x10')	4
(5) ENKAL	3-PLY 24x18'-6"	---	---	ON CONCRETE (10'x10')	4

- NOTE:**
- FIELD VERIFY ALL DOOR AND WINDOW ROOM OPENING SIZES PRIOR TO INSTALLING FRAMING-OUTS
 - ATTEN ALL ROOF, SIDE AND GABLE STEEL WITH PAINTED GUSES
 - SMALL COLLARS ARE 3-PLY TO THE BUILDING EDGE HEAVY AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 - 2x4 STANDARD BATTEN CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - 2x6 BRACING AT SMALL COLLARS (SEE OVERHANG ACTION AND MISC. DETAILS SHEET)
 - 2x4 PURLIN BRACING AT ENDWALL TRASSES
 - 2x4 GUSSET BRACING TO BE INSTALLED AT ALL CORNERS AND OVERHANG DOORS
 - (> <) = GUS WITH 2x4 ROOFLINE 2-BRACING (SEE DAMPENING ACTION AND MISC. DETAILS SHEET)

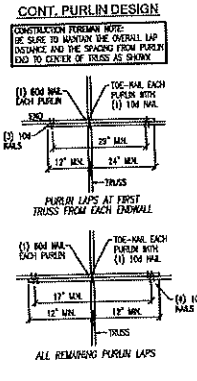
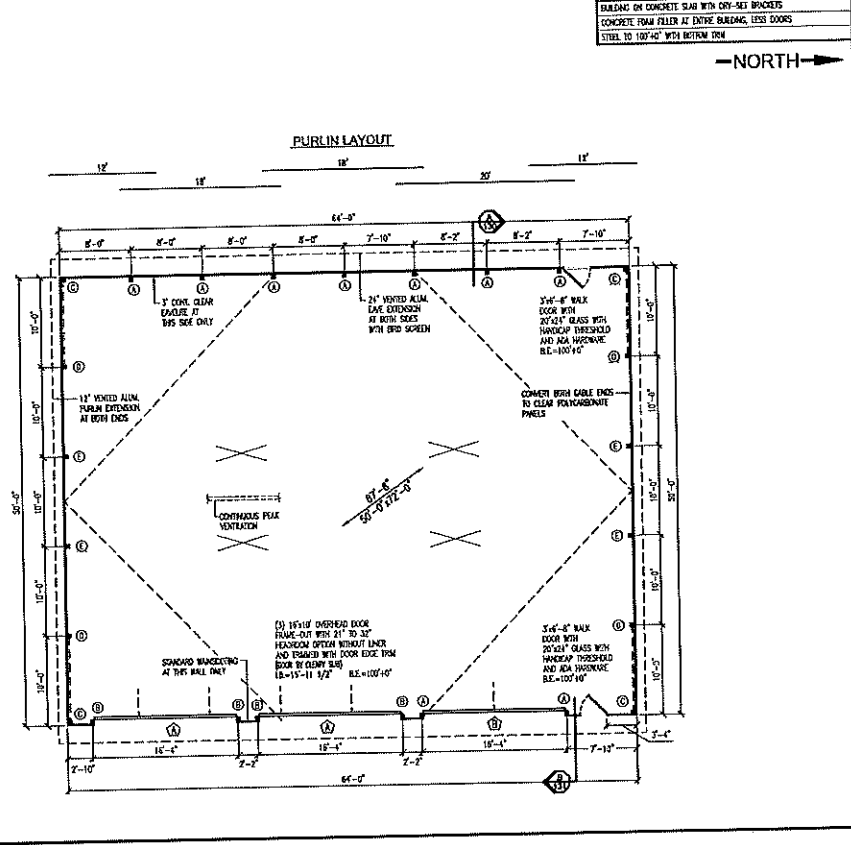
BUILDING COLORS	
ROOF:	SESSA
SIDEWALLS:	INDOXY MOSS
WANSIDE:	SESSA
SLIDE DOOR(S):	---
TRM (TR.):	SESSA
F&J TRM:	---

BUILDING ACCESSORIES	
(1) CLEARY WOODSTONE (OWNER LOGO)	
CONDENSER CONDENSATION CONTROL WATER, APPLIED TO ROOF STEEL	
WITH SEALANT TAPE AND INSIDE FILLER STOP AT EDGE	
INSIDE FILLER STOP AT EDGE (ROOF AND SIDE)	
INSIDE FILLER STOP AT WEATH PLANK	
INSIDE FILLER STOP AT TOP AND BOTTOM OF 2-TRM AT CORNER	
INSIDE FILLER STOP AT TOP AND BOTTOM OF 2-TRM AT WANSIDING	
FLOORING ON CONCRETE SLAB WITH ORY-SET BRACKETS	
CONCRETE FIRM FILLER AT EXTERIOR BUILDING, LESS DOORS	
STEEL TO 100'42" WITH BRIMAN DIM	

CLEARY BUILDING CORP.
 180 PAOLI STREET / P.O. BOX 800220
 VERONA, WI 53593 / (800) 272-6660

DRAWN BY: LCB
 DATE DRAWN: 10/15/19
 PLAN REVISIONS:

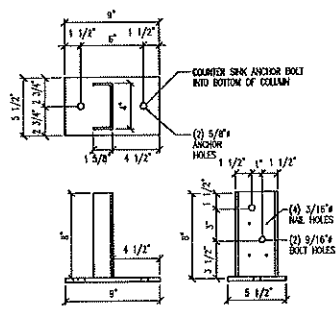
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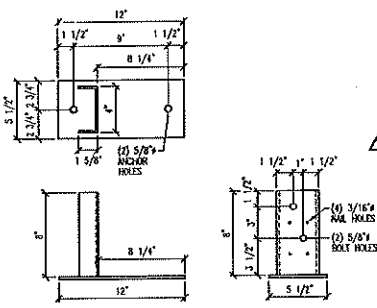
- NORTH ->

PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSHIRE, VT - MILWAUKEE COUNTY
 BUILDING SIZE: 506x413'-8"
 SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 120
 SHEET SCALE: NONE

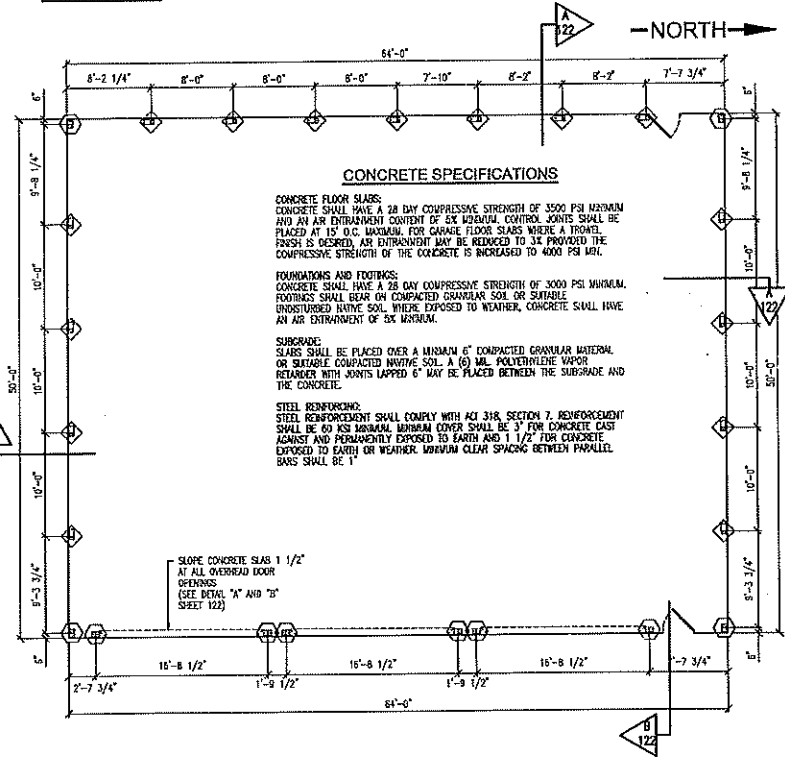


STANDARD 79-100
 POST/CORNER BRACKET 9\"/>



STANDARD 79-100
 CONCRETE BRACKET DETAIL
 AT SIDEWALL AND ENDWALL COLUMNS

NOTE:
 ◇ - STD. 79-100
 ANCHOR BRACKET
 ○ - 9\"/>



CONCRETE SPECIFICATIONS

CONCRETE FLOOR SLABS:
 CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI MINIMUM AND AN AIR ENTRAINMENT CONTENT OF 6% MINIMUM. CONTROL JOINTS SHALL BE PLACED AT 15' O.C. MAXIMUM. FOR GARAGE FLOOR SLABS WHERE A TROWEL FINISH IS DESIRED, AIR ENTRAINMENT MAY BE REDUCED TO 3% PROVIDED THE COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO 4000 PSI MIN.

FOUNDATIONS AND FOOTINGS:
 CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM. FOOTINGS SHALL BEAR ON COMPACTED GRANULAR SOIL OR SUITABLE UNDISTURBED NATIVE SOIL. WHERE EXPOSED TO WEATHER, CONCRETE SHALL HAVE AN AIR ENTRAINMENT OF 6% MINIMUM.

SUBGRADE:
 SLABS SHALL BE PLACED OVER A MINIMUM 6\"/>

SLOPE CONCRETE SLAS 1 1/2\"/>



100 PEARL STREET / P.O. BOX 870209
 VERONA, WI 53593 / (262) 274-6600

DRAWN BY: LCB

DATE DRAWN: 10/15/19

PLAN REVISIONS:

NUMBER	DATE	BY
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PROJECT NAME:
SCHLITZ AUDOBON, JASON
 PROJECT ADDRESS:
 11116 SHAWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING CODE:
 SDBPARK-16
 SHEET NUMBER:
2019105448
121
 SHEET SCALE: NONE

CONCRETE BRACKET LAYOUT



140 FAULK STREET / P.O. BOX #2020
VERONA, WI 53593 / (608) 318-6600

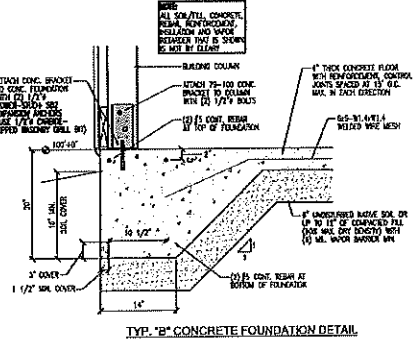
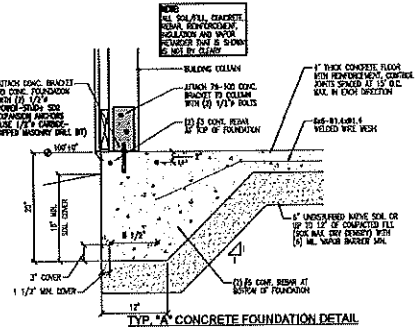
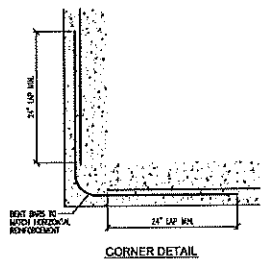
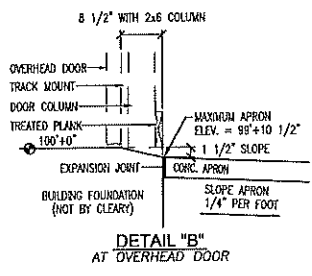
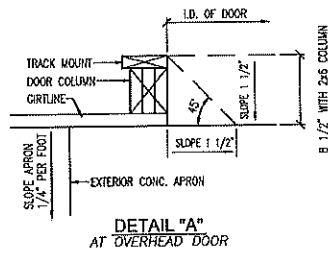
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DATE DRAWN: 10/15/10

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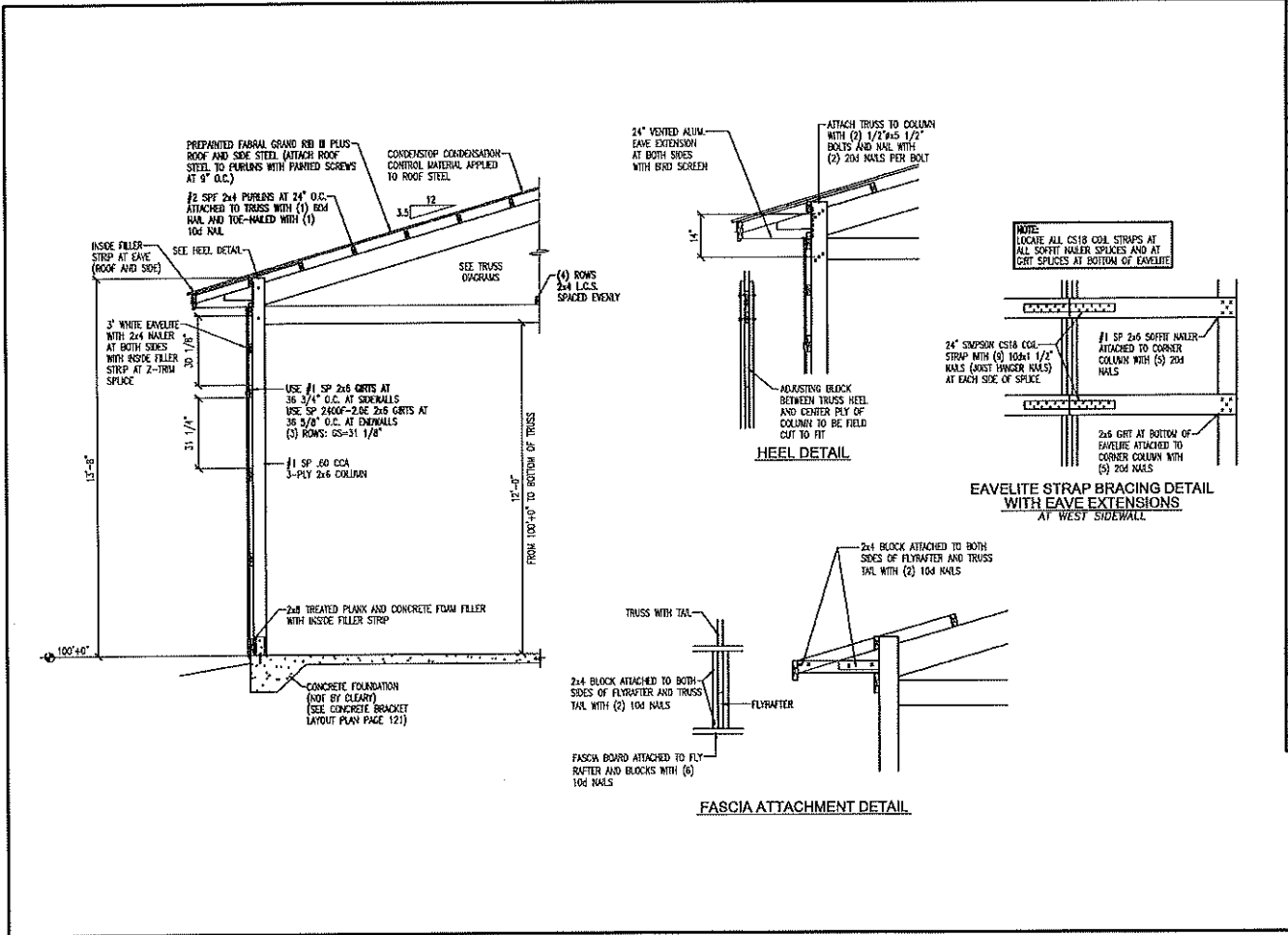
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RECOMMENDED DETAILS WHEN EXTERIOR CONC. APRON IS PRESENT



PROJECT NAME: SCHLITZ ADOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DIER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5000x15-9'
 SHEET NAME: CONCRETE FOUNDATION DETAILS
 PROJECT NUMBER: 2019105448
 SHEET NUMBER: 122
 SHEET SCALE: NONE

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 Printed By: Lanca Borntrepp Date Printed: 11/12/2019 11:15 AM



CLEARY BUILDING CORP.
 100 PALM STREET / P.O. BOX 830220
 WICHITA, KS 67281 / (316) 372-6500

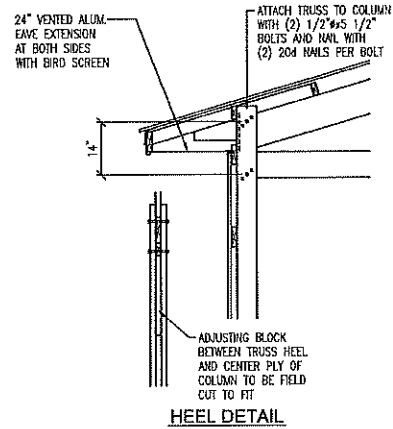
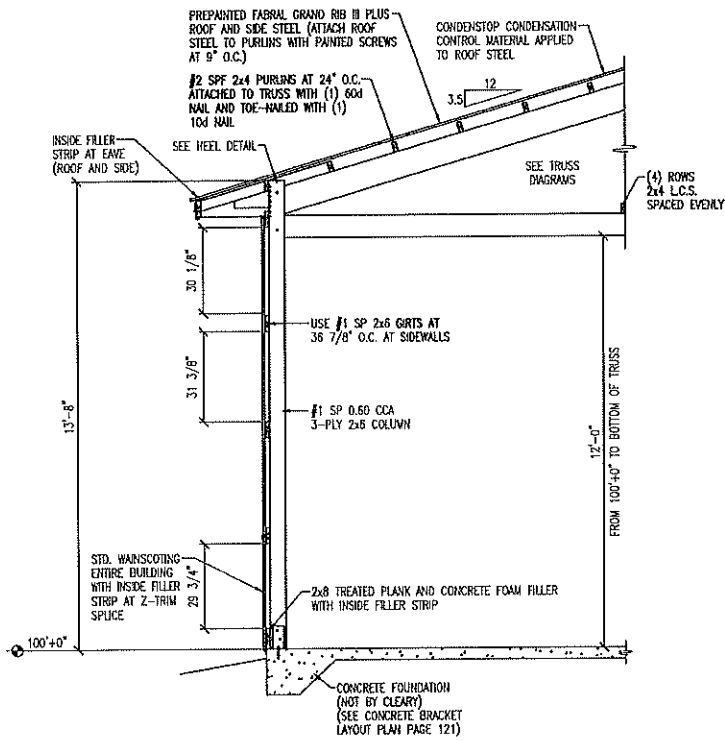
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 526x413'-8"
 SHEET NAME: TYPICAL SECTION "A"

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 130
 SHEET SCALE: NONE

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 Date Plotted: 11/11/2019 11:18 AM
 Printed By: Lance Bonitzgen



190 PADU STREET / P.O. BOX 830720
 VERONA, WI 53583 / (800) 373-6668

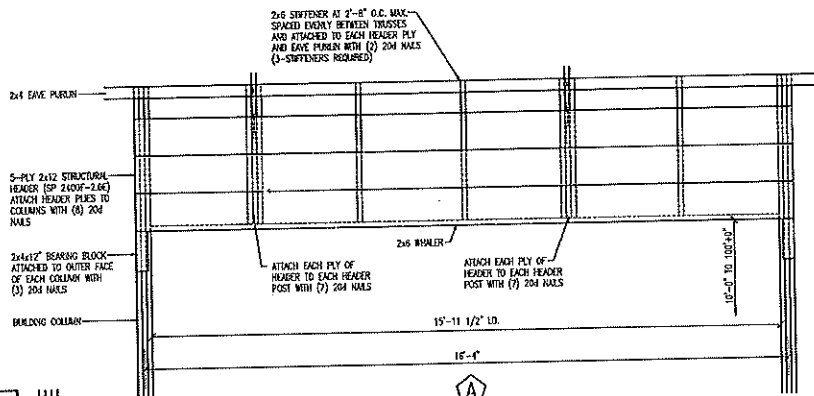
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DATE DRAWN: 10/15/19

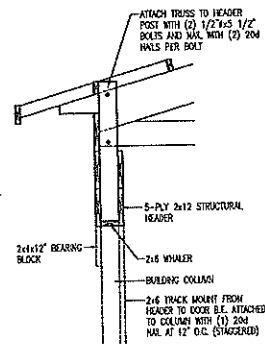
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5069A13'-0"
 SHEET NAME: TYPICAL SECTION "B"

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 131
 SHEET SCALE: NONE

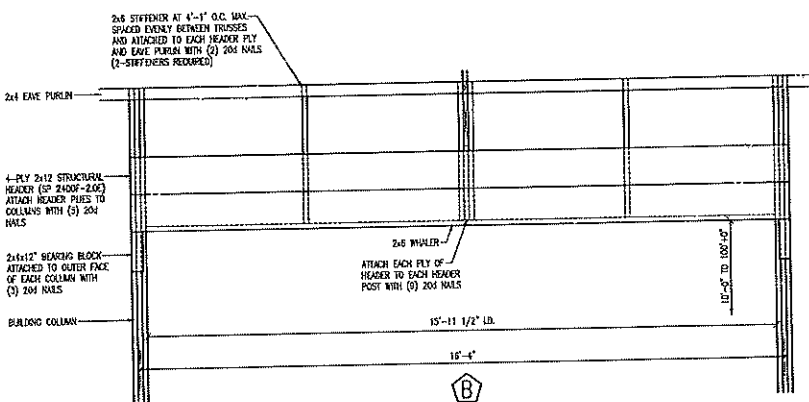
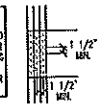


16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING

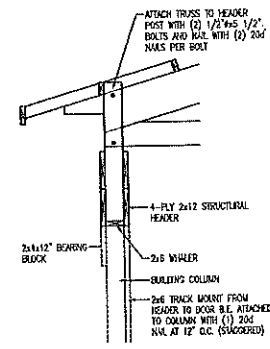


SECTION AT HEADER POST

NOTE - NAILING ALTERNATIVE:
 INSTALL (2) 3 1/2" x 1318S GRN NAILS FOR EACH 204 NAIL SPECIFIED (USE 204 NAILS IF NUMBER OF GRN NAILS REQUIRED EXCEEDS THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



16'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING



SECTION AT HEADER POST

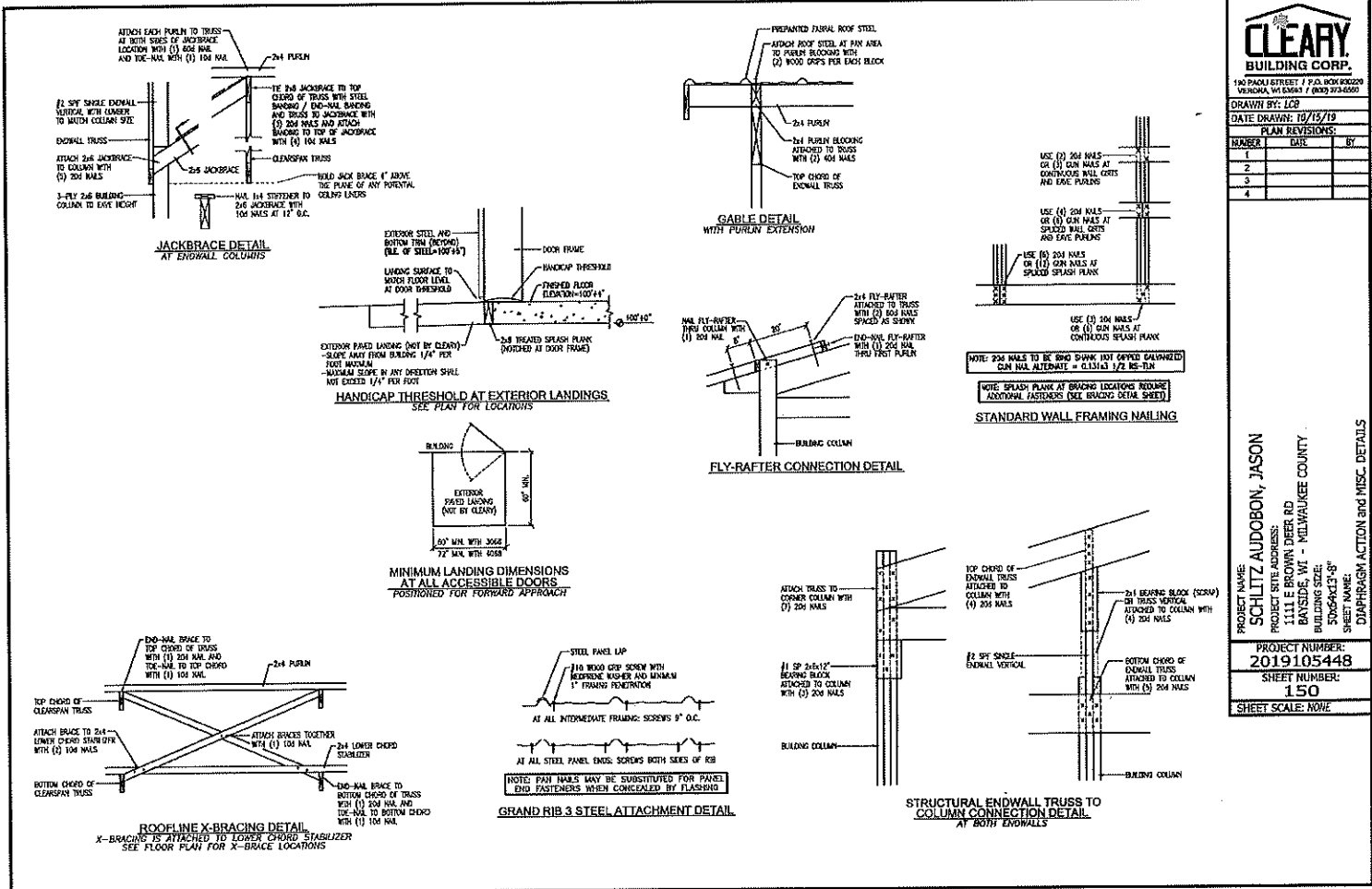
CLEARY BUILDING CORP.
 160 PAOLI STREET / P.O. BOX 80220
 VERONA, WI 53599 / (262) 373-6509

DRAWN BY: ECG
 DATE DRAWN: 10/15/19

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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1113 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5056Kx13'-8"
 SHEET NAME: HEADER DETAILS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 140
 SHEET SCALE: NONE



CLEARY BUILDING CORP.
 190 PADDO STREET / P.O. BOX 60020
 VERONA, WI 53593 / (262) 373-6500

DRAWN BY: LCB
 DATE DRAWN: 10/15/19

PLAN REVISIONS:

NUMBER	DATE	BY
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PROJECT NAME: SCHLITZ AUDOBON, JASON
 PROJECT SITE ADDRESS: 1111 LE BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 5069x13'8"
 SHEET NAME: DIAPHRAGM ACTION AND MISC. DETAILS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 150
 SHEET SCALE: NONE

CLEARSPAN TRUSS

STRUCTURAL ENDWALL TRUSS

TRUSS CHECK
 (CHECK SIZE AND PITCH)

- TRUSS SIZE LB
- ROOF PITCH LB
- BAY SPACING LB
- SLC / RLC LB
- DESIGN LOADS LB
- OVERWINGS LB



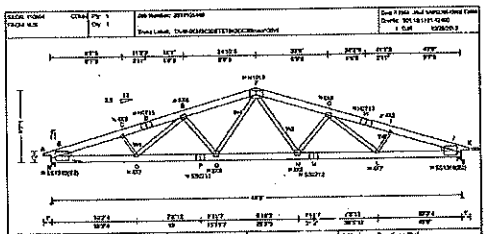
100 FACILITY STREET / P.O. BOX 630228
 VERONA, WI 53594 / (262) 373-6560

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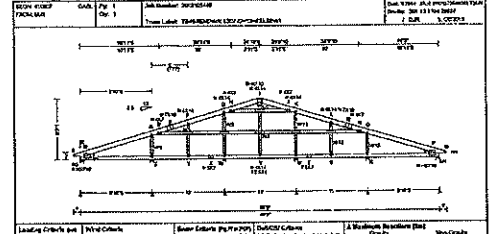
PLAN REVISIONS:

NUMBER	DATE	BY
1		
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LEADING DIMENSIONS	MEMBER	SECTION	LENGTH	WEIGHT	AREA	MOMENT OF INERTIA	SECTION MODULUS	PLATE WEIGHT
12.00	Top Chord	4x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Bottom Chord	4x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Web	2x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Diagonal	2x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00

Notes:
 1. All dimensions are in feet and inches.
 2. All materials are to be specified by the manufacturer.
 3. All connections are to be specified by the manufacturer.
 4. All loads are to be specified by the manufacturer.



LEADING DIMENSIONS	MEMBER	SECTION	LENGTH	WEIGHT	AREA	MOMENT OF INERTIA	SECTION MODULUS	PLATE WEIGHT
12.00	Top Chord	4x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Bottom Chord	4x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Web	2x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00
12.00	Diagonal	2x12 S4S	12.00	11.0	14.4	147.0	10.0	0.00

Notes:
 1. All dimensions are in feet and inches.
 2. All materials are to be specified by the manufacturer.
 3. All connections are to be specified by the manufacturer.
 4. All loads are to be specified by the manufacturer.

PROJECT NAME: SCHLITZ ADOBON, JASON
 PROJECT SITE ADDRESS: 1111 E BROWN DEER RD
 BAYSIDE, WI - MILWAUKEE COUNTY
 BUILDING SIZE: 50x60x13'-6"
 SHEET NAME: TRUSS DIAGRAMS

PROJECT NUMBER: 2019105448
 SHEET NUMBER: 160
 SHEET SCALE: NONE



Schlitz Audubon Nature Center
New Maint. Bays



Schlitz Audubon
Nature Center

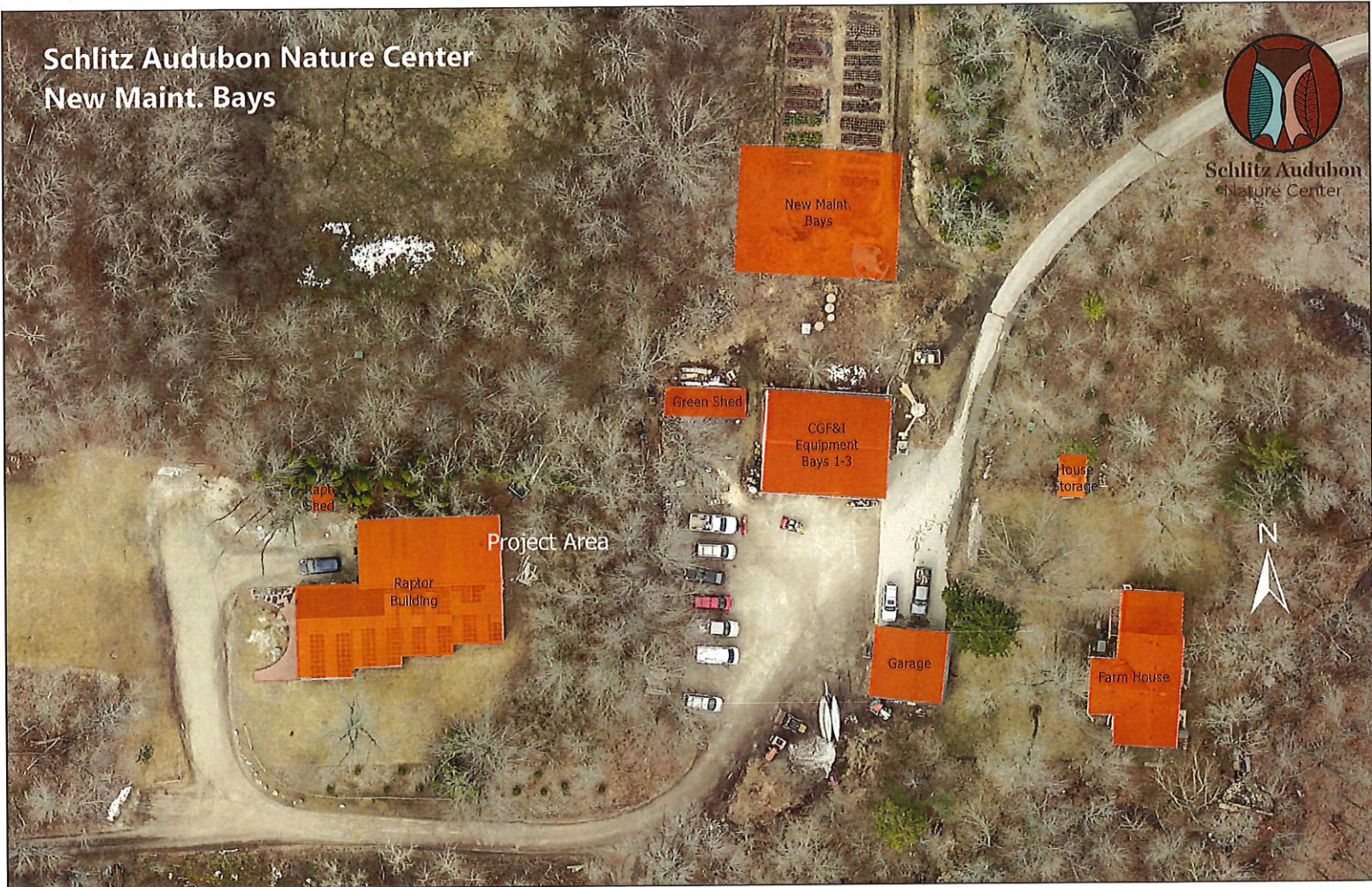
Project Area



Schlitz Audubon Nature Center New Maint. Bays



Schlitz Audubon
Nature Center



New Maint.
Bays

Green Shed

CGF&I
Equipment
Bays 1-3

House
Storage

Raptor
Shed

Raptor
Building

Project Area

Garage

Farm House



55-9999

SHEET 1 OF 2

PLAT NO. 116 48-3

PERCOLATION TESTS
LAND CONSULTANT
POWER & WATER DESIGN
SURVEYING

NIENOW, LANDRY, WEBSTER & ASSOC.

CONSULTING ENGINEERS & SURVEYORS

1760 W. SILVER SPRING DRIVE
480 ELM GROVE ROAD

MILWAUKEE, WIS.
ELM GROVE, WIS.

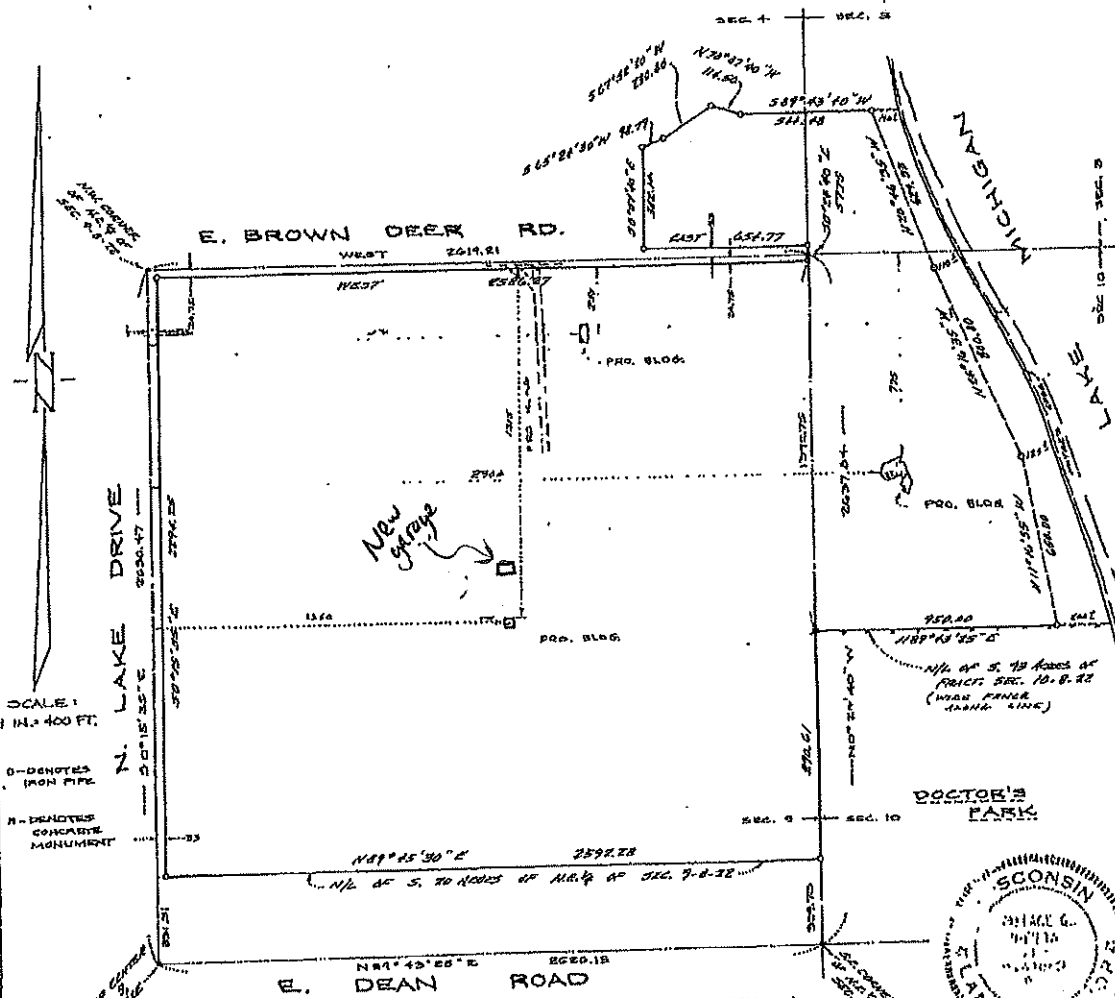
WALLACE G. NIENOW, P.E.
JAMES W. LANDRY, P.E.

ASSOCIATES
KENNETH B. WESTERN, P.E.
CARL R. RAHMIG, P.E.

PLAT OF SURVEY

PREPARED FOR: Schlitz Foundation

DESCRIPTION OF PROPERTY: A part of Sections 3, 4, 9, and 10 in Town 8 North, Range 22 East, in the Village of Boylde, Milwaukee County, Wisconsin.



SCALE: 1 IN. = 400 FT.

0 - DENOTES IRON PIPE

M - DENOTES CONCRETE MONUMENT

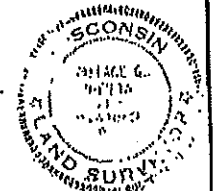
AFFIDAVIT:
I hereby certify that I have made a survey on _____, 196____,
and that the location of the _____ on above described
property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, Wallace G. Nienow, Surveyor, do hereby certify that I
have made a survey of the above described property and that the above plat is a true
representation of said survey.

Milwaukee, Wisconsin _____ June 23, 1971

Wallace G. Nienow



REV. JUNE 15, 1973
201 11 1973

Project Proposal

Date _____

Property Address 850 E. Bay Point Rd; Bayside, WI 53217

Zoning _____

- Storage Shed
- | | |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence
<input type="checkbox"/> Fire Pits
<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Installing a free-standing 8'w x 10'd x 7'H wood paneled exterior storage shed built w/ double entry doors, 2 single windows, vents, and shingled roof. Shed mounted and leveled onto ground via cedar timbers and earth anchors.

*****For Office Use Only*****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/10/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: John Pearce</p> <p>PROJECT ADDRESS: 850 E Bay Point</p>	<p>PROJECT SUMMARY: New 10' X 8' gable style storage shed</p>
--	---

Sec. 125-90. - "B" residence district regulations.

- (4) A side yard of not less than ten feet shall be provided for on each side of every building.
- (5) A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

Shed location complies with setback requirements.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

NEW SHED LOCATION COMPLIES WITH VILLAGE CODE.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager



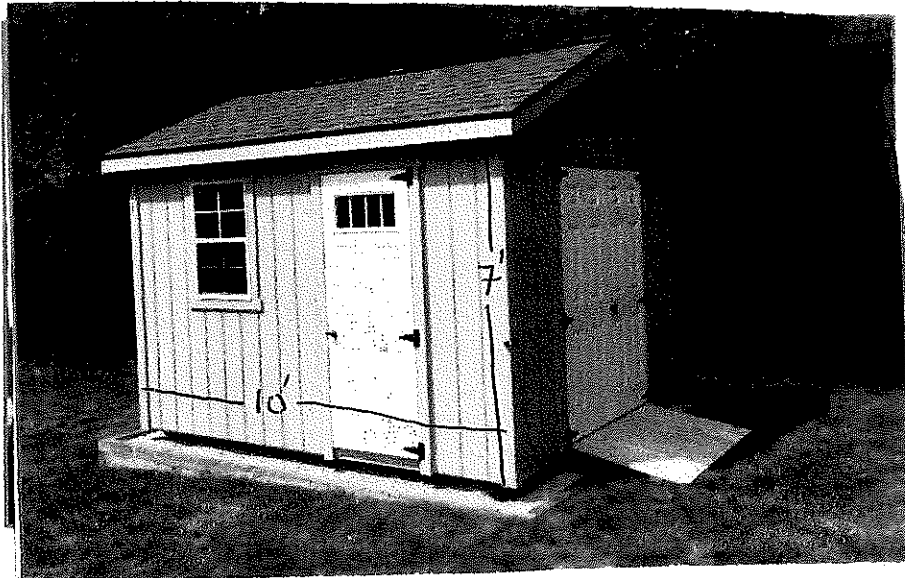
Create Custom Extra Storage Today! 262-806-4389

2166 Beck Dr | Waterford, WI 53185 | FAX : 262-806-7207
Send Mail To: PO Box 275 Waterford, WI 53185

[Shed Types](#) [Sheds For](#) [Shed Details](#) [Showcase](#) [Service Areas](#) [FAQ](#) [About](#) [Contact](#)

Custom Storage Sheds

Milwaukee Shed Design Specifications



Custom Shed Walls

- All walls are 2x4s 16" OC stud spacing unless something else is specified
- Pressure treated bottom plates when building on concrete slabs
**regular lumber all other times*
- Double top plates on all of our walls
- We use 5/8" LP smart panel for our siding
- Gable buildings come standard with 6" soffits on the eaves, freeze board on the gables
- Barn roof buildings have a 5-1/2" soffits on all sides
- Quakers have 5-1/2" soffits on all sides as well

Storage Shed Floors

- All sheds have 2x4 floors with 12" OC (*on center*) spacing
- 8' wide buildings have two pressure treated 4x4 runners
- 10' wide buildings (*delivered*) have four pressure-treated runners
- 12' wide buildings (*delivered*) have four pressure-treated runners
- 10' buildings built on site have three pressure-treated runners
- We use 5/8" **LP Prostruct** for our shed floors
- Our floor joists are pole barn nailed to the 4x4 runners
**not toe-nailed like most other shed builders*

Start Building My Shed!

Storage Shed Roof Structure

- 2x4s 24" OC for roof rafters
- We use 1/2" OSB for our roof sheathing, not 7/16"
- All buildings get H-clips between the plywood seams where

Shed Roof Shingles

- 35-year dimensional shingles standard on all of our buildings
- 15 lb felt is standard on all of our buildings
- Galvanized metal d-edge standard on all roof edges

- 5/8" plywood gusset plates at the peak of all rafters
- Hurricane clips at no charge when required by local municipality
- 2x4 collar ties on every other rafter

- 9 colors to choose from
or we can match your house's color

Milwaukee Storage Shed Hardware

- Powder-coated black hardware is standard
- Doors come with a keyed t-handle type lock
- Spring-loaded barrel bolts keep non-active doors closed when not in use
- Windows can be added to the shed or the doors to achieve your desired look

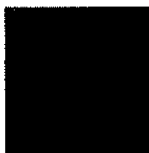
Custom Shed Siding & Trim

We use 5/8" **LP Smart Panels** that come pre-primed from the factory for siding.

3/4" **LP Smart Trim** boards for corner boards and fascia. Also pre-primed from the factory.

Start Building My Shed!

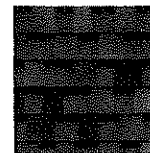
Atlas Roofing Shingle Colors



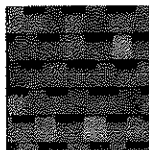
Black



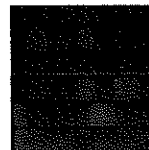
Burnt-Sienna



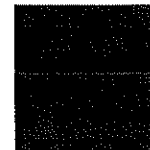
Desert-Shake



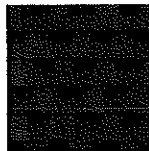
Dove-Grey



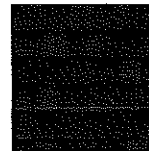
Hearthstone Grey



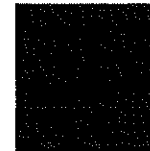
Heather Blend



Pewter



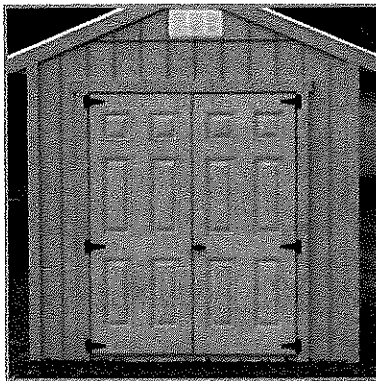
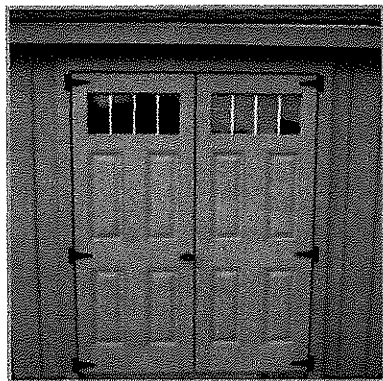
Weathered Wood



Woodland Green

Storage Shed Doors

We use 6-panel fiberglass doors or roll-up doors for our storage sheds.



Contact the **Milwaukee shed builders** at Mainus Construction for spacious and reliable equipment storage.



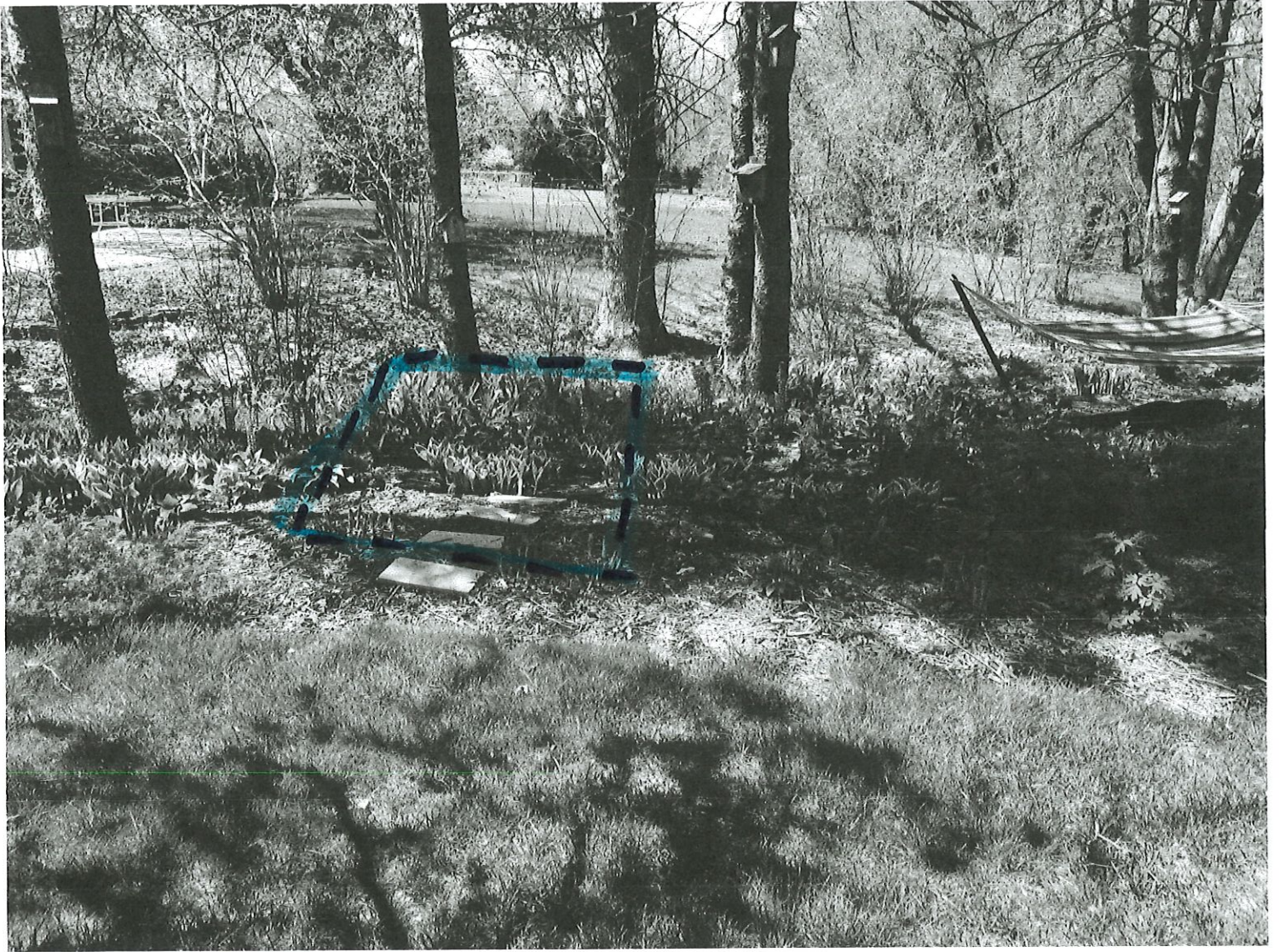
Building Supplies from LP LP 5/50 Year Warranty

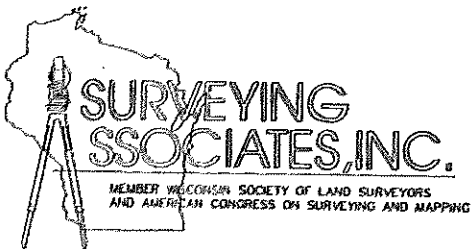
Mainus Construction builds storage sheds using LP Smart Panel Siding and LP Smart Trim boards for outstanding weather protection. LP Smart products are guaranteed to last through rain, ice and sunlight with a 5/50 year warranty. Learn why these innovative engineered wood products make Mainus sheds the most reliable outdoor storage in Wisconsin... [LP Building Products SmartSide Warranty](#)

Picture of Proposed
Project Location



Picture of Proposed
Project Location





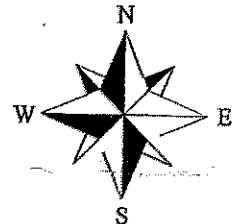
2554 N. 100TH STREET
 P.O. BOX 26596
 WAUWATOSA, WISCONSIN 53226
 (414) 257-2212 FAX: (414) 257-2443

FREDERICK W. SHIBILSKI R L S

PLAT OF SURVEY

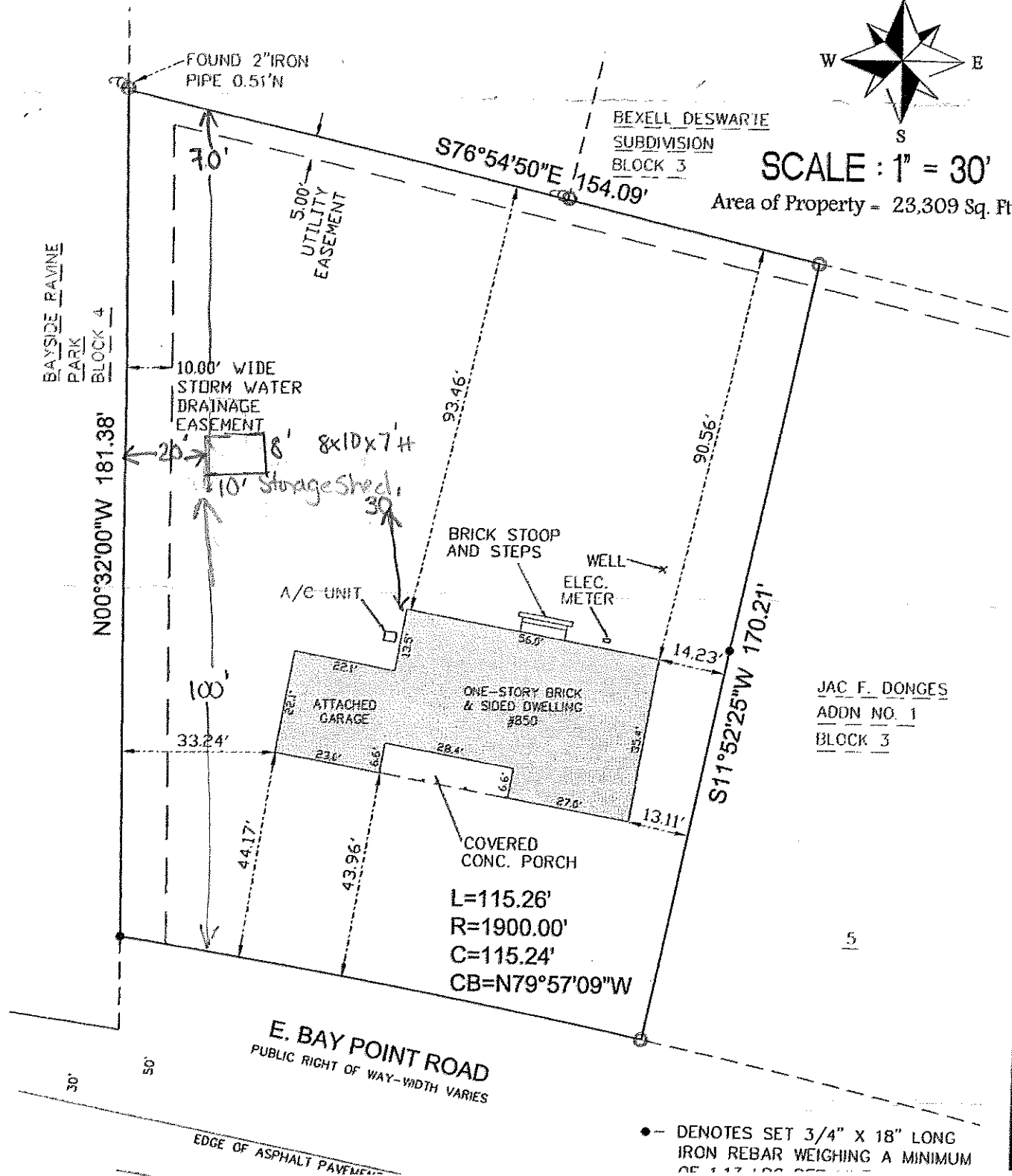
LOT 6, BLOCK 3, JAC F. DONGES ADDITION NO. 1, being a Subdivision of a part of the Northwest ¼ of Section 4, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

Address: 850 E. Bay Point Road



SCALE: 1" = 30'

Area of Property = 23,309 Sq. Ft.



JAC F. DONGES
ADDN NO. 1
BLOCK 3

L=115.26'
 R=1900.00'
 C=115.24'
 CB=N79°57'09\"W

•-- DENOTES SET 3/4\" x 18\" LONG IRON REBAR WEIGHING A MINIMUM OF 11.7 LBS PER LINEAL FOOT

Project Proposal

Date 5/10/2021

Property Address 309 E Fairy Chasm Road

Zoning _____

- | | |
|--|--|
| <input checked="" type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

See above description.

8'x12' shed constructed w/ treated lumber with vinyl siding

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Matt Evans PROJECT ADDRESS: 309 E Fairy Chasm	PROJECT SUMMARY: New 8' X 12' shed
--	---------------------------------------

NEW SHED LOCATION DOES NOT COMPLY WITH VILLAGE CODE.

The submittal shows that the shed is only 5 feet off the rear lot line, which is in violation of the referenced code.

There are no dimensions to determine the setbacks from the side lot line

Sec. 125-91. - "C" residence district regulations

- (4)** A side yard of not less than ten feet shall be provided for on each side of every building.
- (5)** A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

Reviewer Tod Doebler

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Picture of existing
non-conforming shed



Picture of proposed
shed



Picture of Proposed
Shed

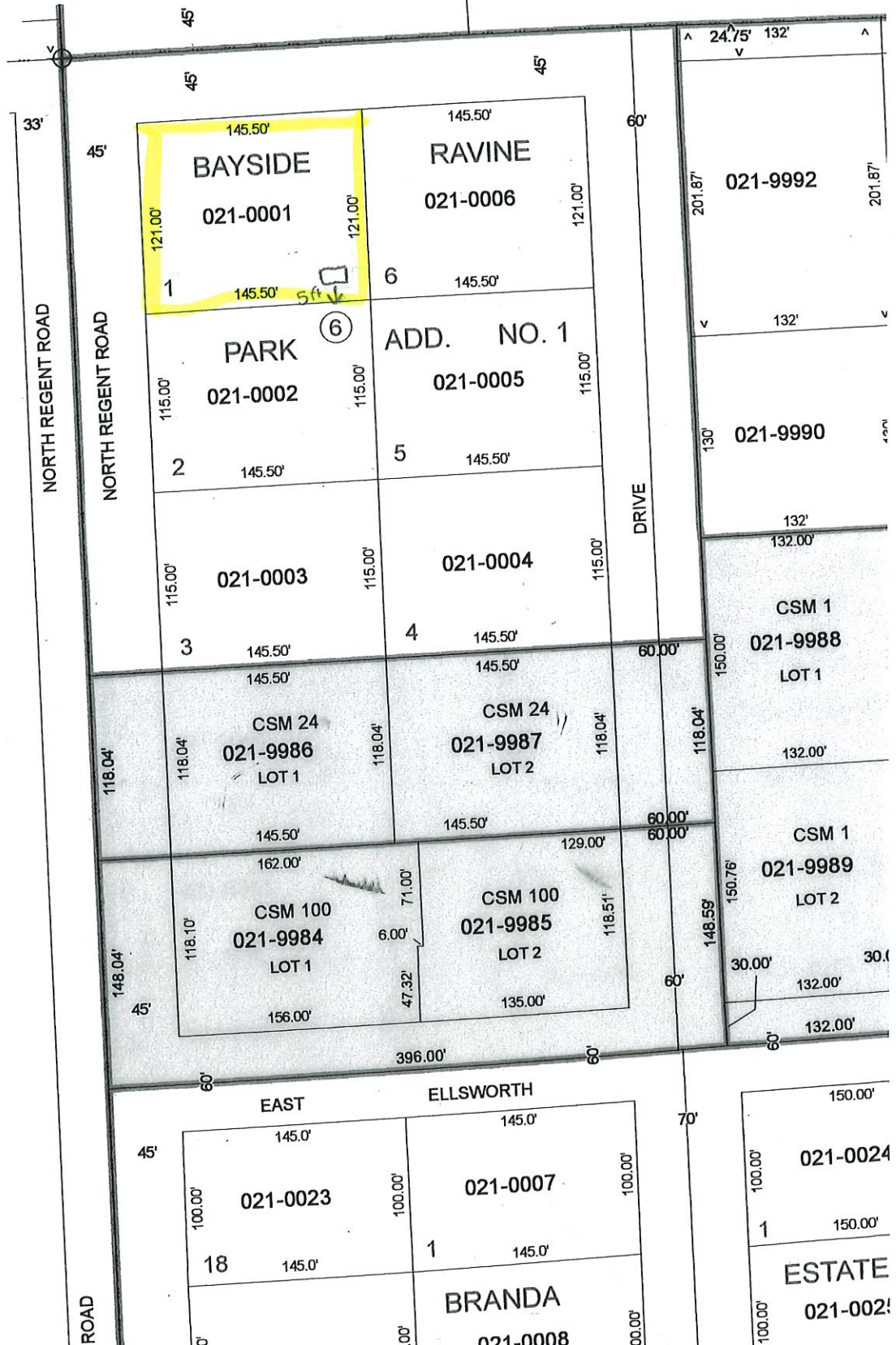


Picture of Proposed
Shed



N
SW 1/4 SECTION 4,
V

EA:



Project Proposal

Date 9/25/2020

Property Address 9040 N Mohawk Rd, Bayside WI 53217

Zoning Residential

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators
<input type="checkbox"/> Additions/Remodel
<input type="checkbox"/> Bluff Management
<input type="checkbox"/> Commercial Signage
<input type="checkbox"/> Decks/Patios
<input checked="" type="checkbox"/> Fence

<input type="checkbox"/> Fire Pits

<input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction
<input type="checkbox"/> Play Structures
<input type="checkbox"/> Recreational Facilities/Courts
<input type="checkbox"/> Roofs
<input type="checkbox"/> Solar Panels/Skylights
<input type="checkbox"/> Swimming Pools
<input type="checkbox"/> Windows/Doors-change exceeds 25% of opening
<input checked="" type="checkbox"/> Other |
|--|---|

Proposed project details (type of work, size, materials, etc.):

Custom shed to be erected using cedar that will be oiled to allow for a natural finish. The finish will allow it to match the natural tones of the existing home. A shed is erected on the SE corner of the property. Its finish is also similar in tone to the home. It is a steel frame with a composite siding..

***** For Office Use Only *****

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Color photographs showing project location, elevations and surrounding views
<input type="checkbox"/>	<input type="checkbox"/>	Two (2) complete sets of building plans (including elevations and grading)
<input type="checkbox"/>	<input type="checkbox"/>	Survey
<input type="checkbox"/>	<input type="checkbox"/>	Samples or brochures showing materials, colors and designs
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	<input type="checkbox"/>	Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	ARC Agenda Date:
<input type="checkbox"/>	<input type="checkbox"/>	Building Permit
<input type="checkbox"/>	<input type="checkbox"/>	Fill Permit
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Permit
<input type="checkbox"/>	<input type="checkbox"/>	Plan Commission/Conditional Use Permit
<input type="checkbox"/>	<input type="checkbox"/>	Tax Key Number
<input type="checkbox"/>	<input type="checkbox"/>	Right-of-Way/Excavation Permit
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required

05/11/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Maylan Thomas</p> <p>PROJECT ADDRESS: 9040 N Mohawk</p>	<p>PROJECT SUMMARY: New Cedar fence and a 7 X 7 shed</p>
--	--

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length 82' is approximately 15% of the total property perimeter length of approximately 549'.
Per the code section copied below a 25% open fence is required.

Village code section 104-125(k) *Fence type*. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS / TYPES COMPLY

HEIGHT:

PROPOSED HEIGHT IS COMPLIANT

MATERIAL / FINISH:

Cedar

NEW SHED LOCATION DOES NOT COMPLIES WITH VILLAGE CODE.

Sec. 125-91. - "C" residence district regulations.(5)

A rear yard of not less than 20 feet shall be provided for every building, except one of not less than ten feet shall be provided for a building used for or classified as an accessory use.

The rear yard set back is only 8' 7 ¾" not confirming to the required 10' set back

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

(2)

Reviewer Tod Doebler



Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Picture of Proposed Shed



Picture of the Proposed
Shed



Picture of Proposed Shed



Picture of proposed shed

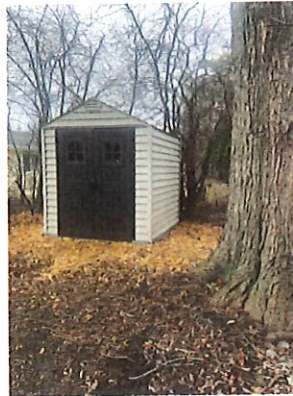


9040 N Mohawk Fence Installation

319-594-0510 | maylanthomas@gmail.com | **Maylan Thomas**

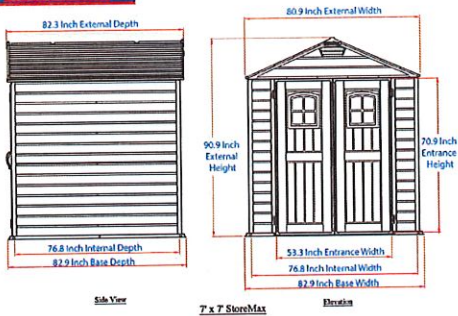


A
1 View of shed from street
NTS

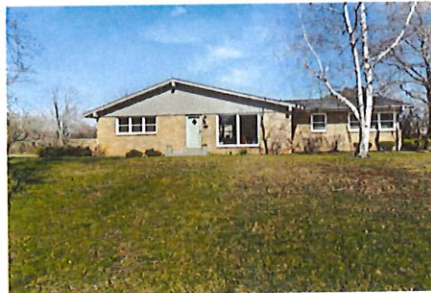


A
2 View of shed facing adjacent property
NTS

Note:
 -Shed is similar in color leveraging earth tones to match with the home
 -Gable of shed is similar to home
 -Roofing of shed is a similar color tone to home



A
3 Shed Elevation
NTS

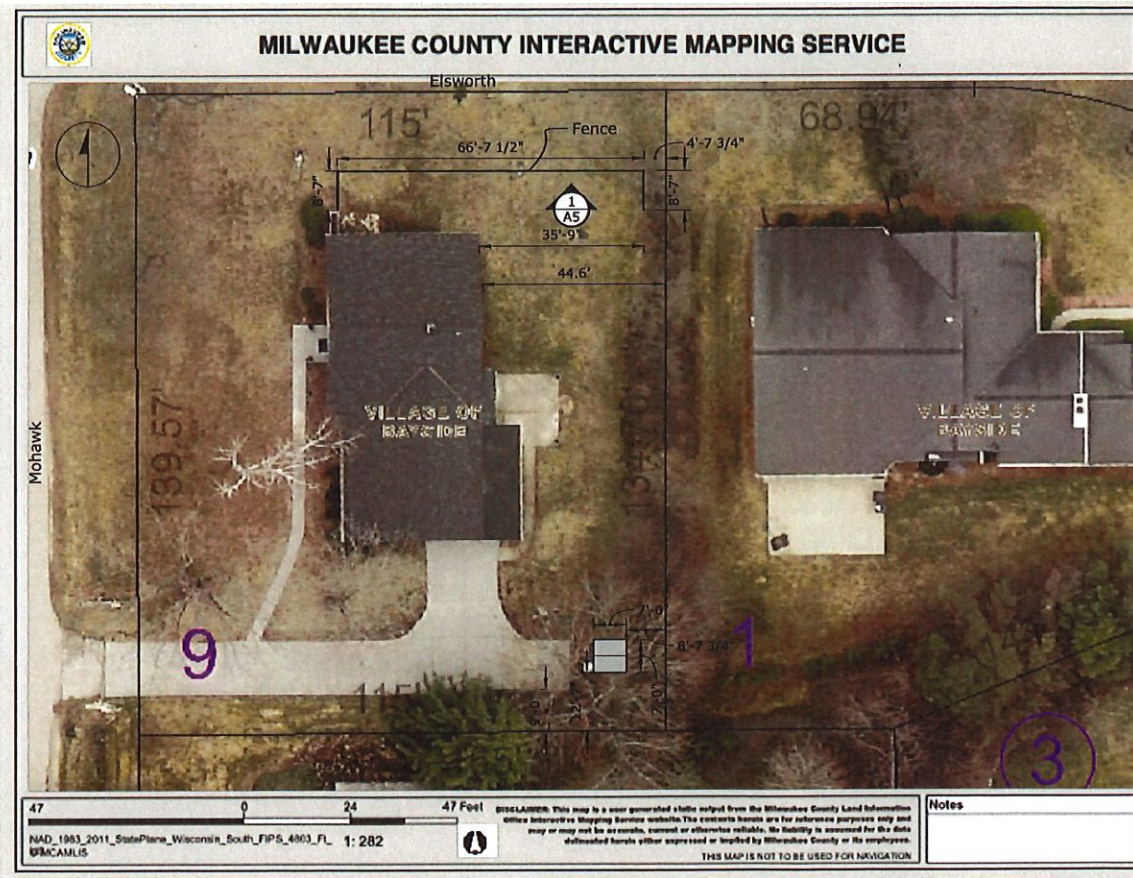


A
4 View of 9040 N Mohawk from Mohawk Rd
NTS

Drawing Name:
Shed Details
 Date:
April 19, 2021
 Scale:
1/2" = 1'-0"
 Page Number:
5

9040 N Mohawk Fence Installation

319-594-0510 | maylanthomas@gmail.com | Maylan Thomas



General Note:
 -Edge of fence on East side comes with in 4'-7 3/4" of property line.
 -It will not encroach onto adjacent parcel.

Drawing Name:
Plan View

Date:
April 19, 2021

Scale:
1/2" = 1'-0"

Page Number:
1

A
1 Plot Study
1" = 20'

BADGER SURVEYING CO., INC.

REGISTERED LAND SURVEYORS
MILTON H. SCHMIDT, Pres.
CLARENCE H. PIEPENBURG, Vice-Pres.
JAMES A. EIDE, Sec.-Treas.

PHONE CONCORD 4-3782
 823 W. ATKINSON AVE.
 MILWAUKEE 6, WIS.

PLAT OF SURVEY

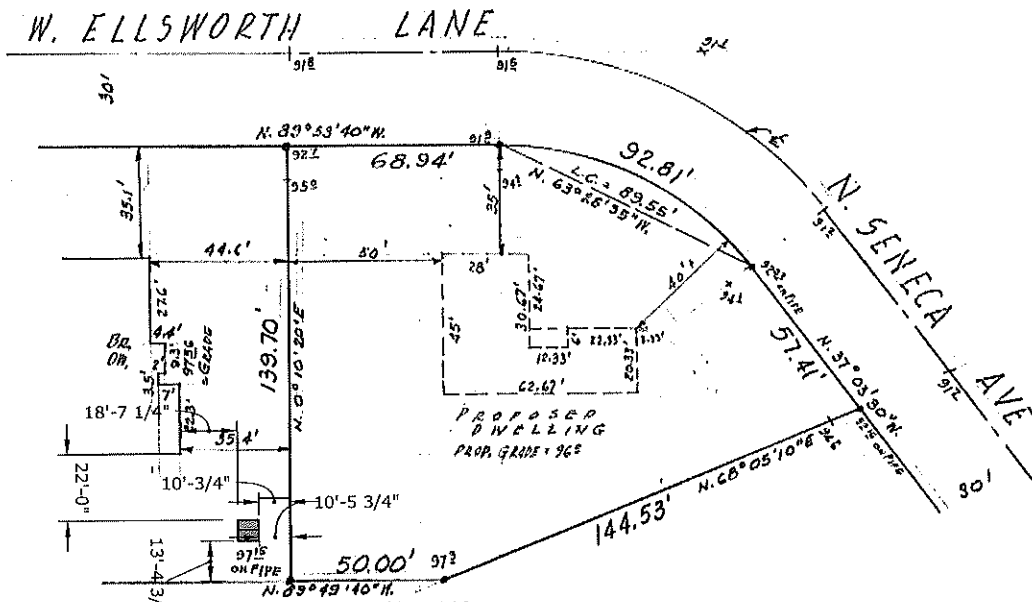
Property at **West Ellsworth Lane** Owner
 Legal Description: **Lot 1, in Block 3, in Bayport Estates, being a subdivision of part of the South East 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.**

8-22-5-4-0060

A Shed Detail
1 1"=40'

NOTE
 • DENOTES IRON PIPE BENCHMARK ASSUMED DWELLING STAKED 1' OUT

SCALE 1"=40'



Prepared for **WISCONSIN BUILDERS, INC.**

I hereby certify that on the 31st day of AUGUST, 1959, I have surveyed the above described property and that the above plat is a correct representation of the exterior boundary lines thereof.

State of Wisconsin, }
 County of Milwaukee } ss.

Plat No. 59-948 Signed James A. Eide Reg. No. 5-3
 Surveyor

9040 N Mohawk Fence Installation
 319-594-0510 | maythommas@gmail.com | Maylan Thomas

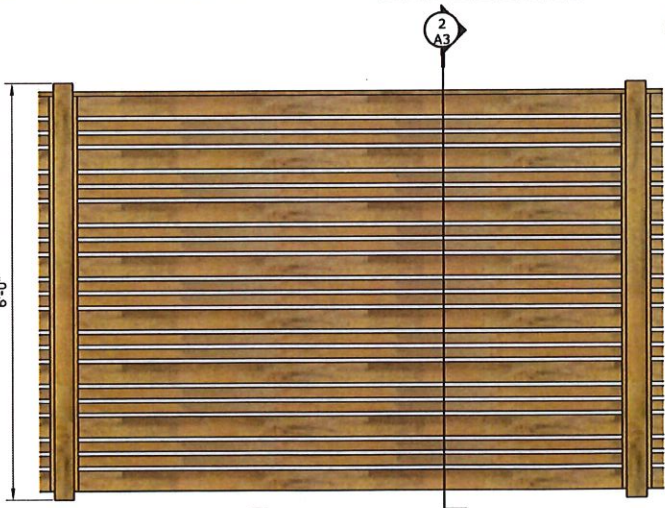
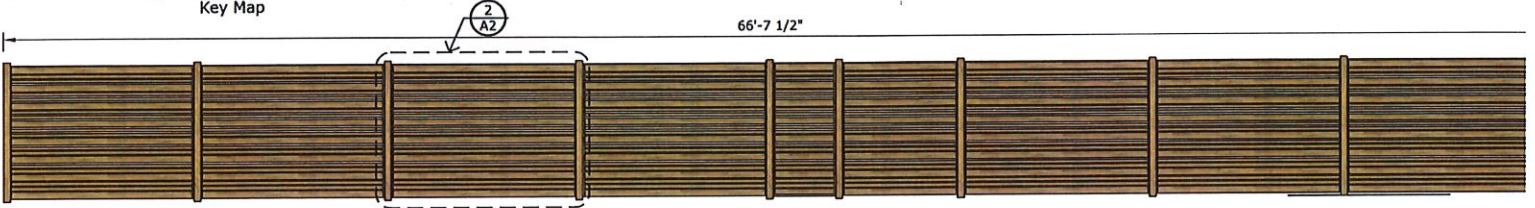
Drawing Name: Shed on Survey
 Date: May 5, 2021
 Scale: 1/2" = 1'-0"
 Page Number: 6



Key Map

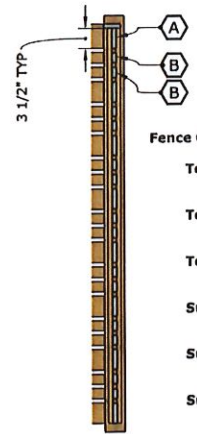
9040 N Mohawk Fence Installation

319-594-0510 | maylanthomas@gmail.com | **Maylan Thomas**



A
2
Detail: 1 Panel Front Elevation
3/4" = 1'-0"

A
1
Front Elevation
1/4" = 1'-0"



A
3
Section A3: Fence Open Study
3/4" = 1'-0"

Fence Open Face Study

Total Height of fence is:	72"
Total Height of A:	28"
Total Height of B:	24.5"
Sum of A + B =	52.5"
Sum / Total Fence Height=	72%
Sum % less 100%=	28% total open space design of fence

Drawing Name:
Fence Detail
Date:
April 19, 2021
Scale:
1/2" = 1'-0"
Page Number:
3

9040 N Mohawk Fence Installation

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A
1
View From Street: North looking South West
NTS



A
2
View From Street: North looking South East
NTS



Key Map



A
3
View From Street: South Looking North
NTS



A
4
View From Street: South Looking North West
NTS

Drawing Name:
Property Images

Date:
April 19, 2021

Scale:
1/2" = 1'-0"

Page Number:
4

BADGER SURVEYING CO., INC.

REGISTERED LAND SURVEYORS
MILTON H. SCHMIDT, Pres.
CLARENCE H. PIEPENBURG, Vice-Pres.
JAMES A. EIDE, Sec.-Treas.

PHONE CONCORD 4-3782
 823 W. ATKINSON AVE.
 MILWAUKEE 6, WIS.

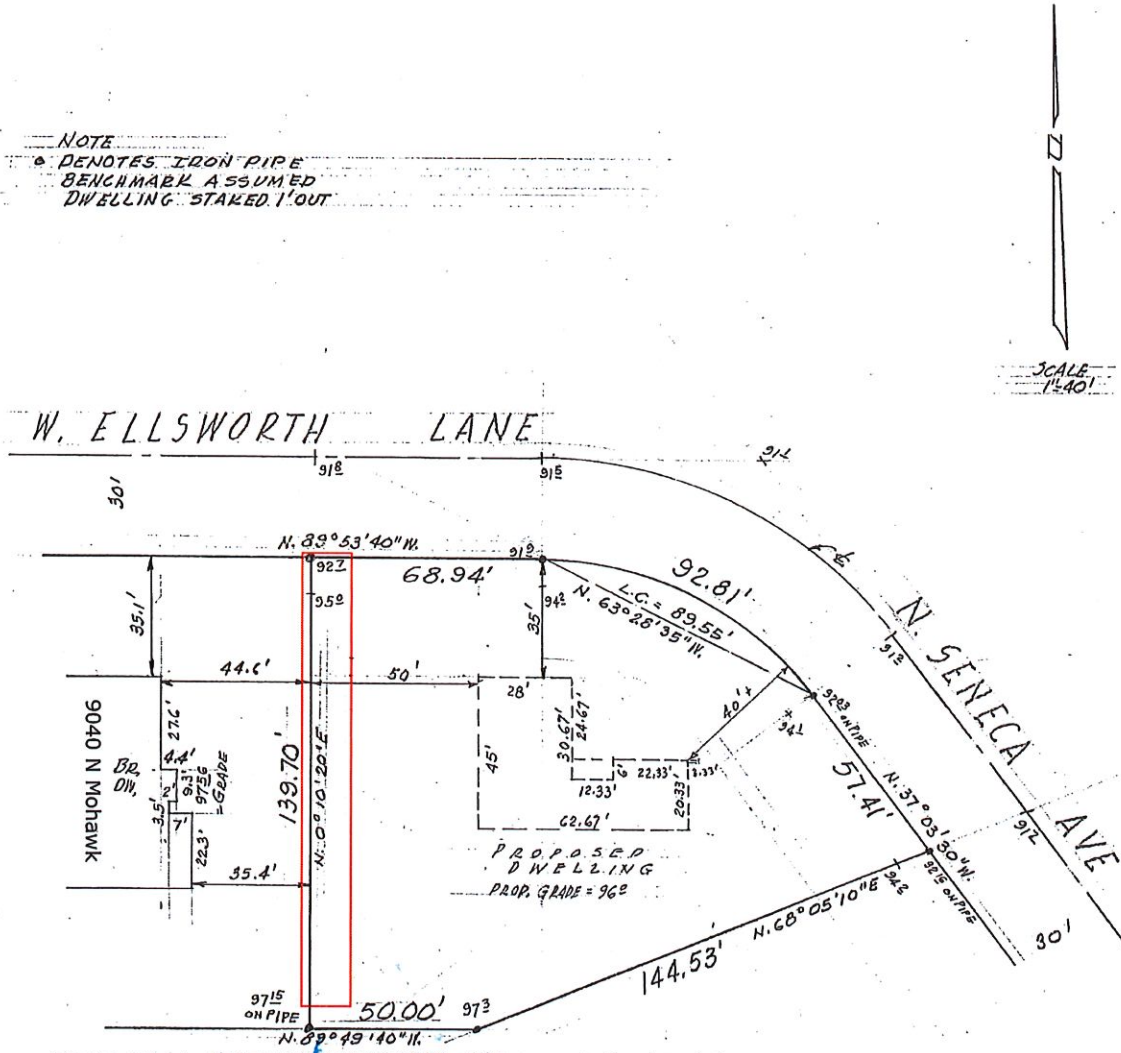
8-22-5-4 - 0060

PLAT OF SURVEY

Property at West Ellsworth Lane
 Legal Description: Lot 1, in Block 3, in Bayport Estates, being a subdivision of part of the South East 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.
 Owner

NOTE
 • DENOTES IRON PIPE
 BENCHMARK ASSUMED
 DWELLING STAKED 1' OUT

SCALE
 1"=40'



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