Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
May 10, 2021
Remote Teleconferencing, 6:00pm

ARCHITECTURAL REVIEW COMMITTEE
AGENDA

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

A. Approval of April 19, 2021 meeting minutes.

III. BUSINESS

A. **1440 E Fairy Chasm Road- Brett and Kathleen Bostrack** The proposed project is the installation of a 12'x12' wood storage shed along the eastern edge of the backyard. The shed will be painted to match the exterior color of the existing home.

Please review detailed plans here.

B. **9508 N Sequoia Drive- Mitchell Ecker** The proposed project is the installation of a 280-foot metal fence in the backyard. The fence will be 4 feet tall and 25% open.

Please review detailed plans here.

C. **9210 N Pelham Parkway- Jessica Lubar** The proposed project is the installation of a 276-foot fence in the backyard. The fence will be 6 feet tall.

Please review detailed plans here.

D. **1460 E Bay Point Road- Darrell and Connie Oyer** The proposed project is the installation of a wrought iron fence in the front yard. The fence will be 5 feet tall and 25% open.

Please review detailed plans here.

IV. ADJOURNMENT

Cassie Schmidt
Deputy Clerk

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:
https://us02web.zoom.us/j/86490077024?pwd=WDJEQnEzdVdiMXJFay9VTVFBZmRWdz09

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 864 9007 7024, password 457235.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).

Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting Minutes
April 19, 2021

I. CALL TO ORDER

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:00pm.

II. ROLL CALL

Chair:	Marisa Roberts
Members:	Elizabeth Levins
	Dan Zitzer
	Tony Aiello
	John Krampf
Trustee Liaison:	Mike Barth
Also Present:	Deputy Clerk Cassie Schmidt
	Village Trustee Margaret Zitzer
	There were 3 people in the audience.

III. APPROVAL OF MINUTES

A. Approval of March 15, 2021 meeting minutes.

Motion by Trustee Barth, seconded by Tony Aiello, to approve the March 15, 2021 meeting minutes. Motion carried unanimously.

IV. BUSINESS

A. 430 W Manor Circle – Susan Leslie

Susan Leslie, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Ms. Leslie described the project as the installation of a 281-foot cedar fence that will be 6 feet tall and will enclose the backyard. The fence will weather naturally, and there will be 2 gates. Approximately 20-25 feet of the fence will be solid, and the rest will be 25% open.

Motion by Trustee Barth, seconded by Tony Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

B. 9433 N Fairway Drive – Thomas and Kristine Houck

Thomas Houck, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Houck described the project as the installation of a 151-foot cedar fence to surround the backyard patio. The fence will be 25% open, 4 feet tall, and have dog eared tops.

Motion by Tony Aiello, seconded by Elizabeth Levins, to approve the project as described and presented in the application. Motion carried unanimously.

C. 8845 N Iroquois Road – Daniel Reesman

Daniel Reesman, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Reesman described the project as the installation of a 143-foot red cedar fence in the backyard. The fence will be 25% open and 6 feet tall. There will be an approximate 3-foot space between his fence and the neighbor's fence, and there will not be any gates.

Motion by Tony Aiello, seconded by Elizabeth Levins, to approve the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Chairperson Roberts, seconded by Tony Aiello, to adjourn the meeting at 6:26pm. Motion carried unanimously.

Respectfully submitted,

Cassie Schmidt
Deputy Clerk

Project Proposal

Date April 22, 2021

Property Address 1440 E Fairy Chasm Rd

Zoning

- ☒ Accessory Structures/Generators
- ☐ Additions/Remodel
- ☐ Bluff Management
- ☐ Commercial Signage
- ☐ Decks/Patios
- ☐ Fence
- ☐ Fire Pits
- ☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit
- ☐ New Construction
- ☐ Play Structures
- ☐ Recreational Facilities/Courts
- ☐ Roofs
- ☐ Solar Panels/Skylights
- ☐ Swimming Pools
- ☐ Windows/Doors-change exceeds 25% of opening
- ☐ Other

Proposed project details (type of work, size, materials, etc.):

We would like to construct a 12' x 12' wood storage shed along the eastern edge of our back yard.

We intend to purchase a shed kit through Home Depot with pre-built and pre-cut components

The shed will be painted to match the exterior color of our home. Details & specs attached.

********** ***For Office Use Only*** **********

Yes	No	
☐	☐	Color photographs showing project location, elevations and surrounding views
☐	☐	Two (2) complete sets of building plans (including elevations and grading)
☐	☐	Survey
☐	☐	Samples or brochures showing materials, colors and designs
☐	☐	Application Fee
☐	☐	Parcel Number
☐	☐	ARC Agenda Date:
☐	☐	Building Permit
☐	☐	Fill Permit
☐	☐	Impervious Surface Permit
☐	☐	Plan Commission/Conditional Use Permit
☐	☐	Tax Key Number
☐	☐	Right-of-Way/Excavation Permit
☐	☐	Variance Required

SAFEbuilt Wisconsin, LLC
2108A Silvernail Road #317
Pewaukee, WI 53072

4/27/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER:	PROJECT SUMMARY:
Brett Bostrck PROJECT ADDRESS: 1440 E Fairy Chasm	New wood shed, 12' x 12' in rear yard. Shed finish materials will match existing house.

Shed location complies with setback requirements.

Reviewer believes this project complies with the following Village Code sections:

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

NEW SHED LOCATION COMPLIES WITH VILLAGE CODE.

Tod Doebler
Building Inspector
tdoebler@safebuilt.com

Picture of Proposed Shed

#1 Home Improvement Retailer

Store Finder | Truck & Tool Rental | For the Pro | Gift Cards | Credit Services | Track Order | Help

You're shopping South Loop
CLOSED until 6 am

Delivering to 60607

What can we help you find today?

My Account | Lists | Cart | 0 items

All Departments | Home Decor, Furniture & Kitchenware | DIY Projects & Ideas | Project Calculators | Installation & Services | Specials & Offers | Local Ad

Home / Storage & Organization / Sheds, Garages & Outdoor Storage / Outdoor Storage / Sheds / Wood Sheds

Share | Print

399

Internet #202545107 Model #mansfield_1212

Hover Image to Zoom

Mansfield 12 ft. x 12 ft. Wood Storage Shed Kit

by **Best Barns** (Brand Rating: 3.9/5)

★★★★☆ (1) Write the First Review | Questions & Answers (16)

- Pre-built doors and pre-cut components provides ease of assembly
- Optionally purchase windows for light and ventilation
- Ready to paint any color, purchase shingles to match your home
- See More Details

$2736.58

OR

$457.00 **per month* suggested payments** with 6 months* financing on this $2736.58 purchase*

Apply for a Home Depot Consumer Card

How to Get It | Delivering to: **60607** | Change

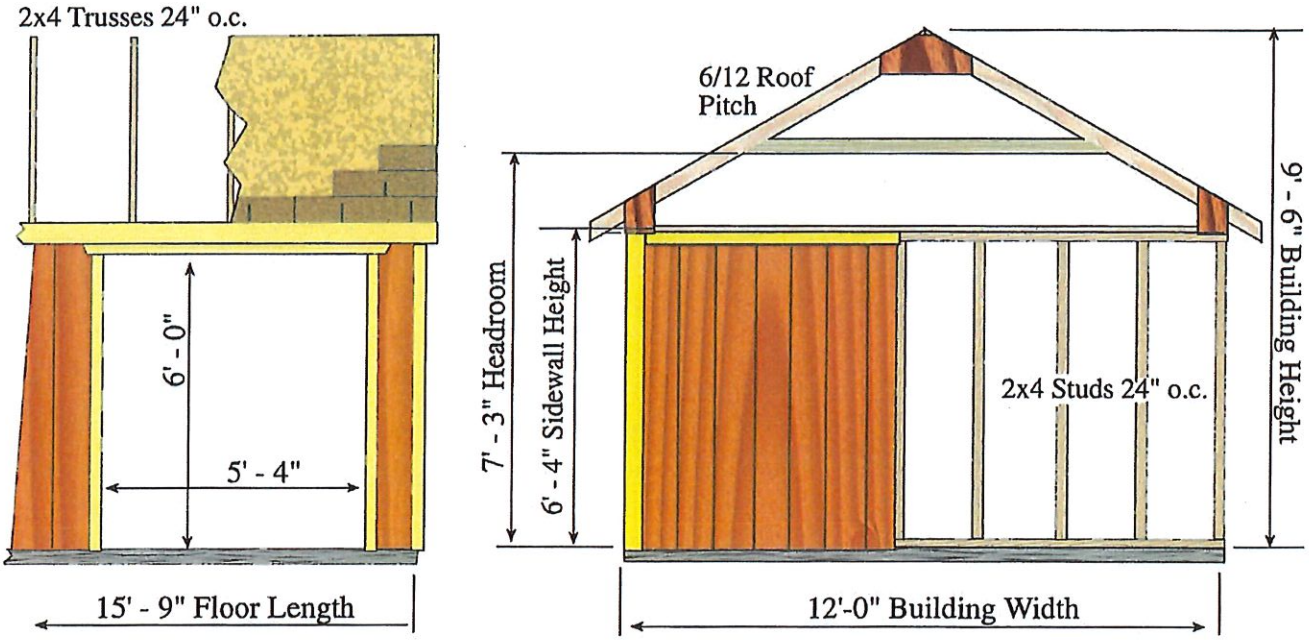
Ship to Store	Ship to Home	Scheduled Delivery
Pickup	Expect it	Not available for this item
May 19 - May 24	**May 24 - May 27**	
FREE	Standard Delivery	

We'll send up to **10** to **South Loop** for free pickup
Curbside pickup available.
Change Store

Before you order our kit or begin construction, obtain a building permit. The information below and the attached truss drawing should provide the information you will need.

If additional documents are required contact Richard@barnkits.com.

MANSFIELD ELEVATION



GENERAL SPECIFICATIONS

Foundation: By owner

Wall Framing: Constructed from 2x4 pre-cut wall studs spaced 24" on center between top and bottom plates.

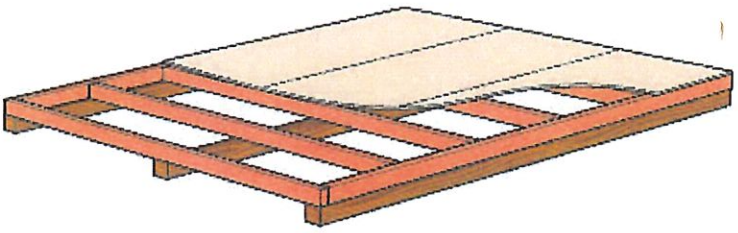
Siding: Louisianna-Pacific *'Smart Panel'* primed 8" o.c. groove with 50 year warranty, 5 year labor replacement

Roof System: 2x4 trusses spaced 24" on center, (40 psf ground snow load, 90 mph wind load). 7/16" OSB roof sheathing. *Shingles by owner.*

Exterior Trim: White pine trim for corners, door, gable trim and sidewall fascia fascia.

Hardware: Nails for all framing, metal hurricane hangers for trusses and door hardware.

Optional Floor: 2x4 treated floor joist spaced 16" on center covered with 5/8" structurwood, installed over 4x4 treated runners. Note: 12' wide floors have four (4) treated runners. Nails are included. Material is not pre-cut.



division of Reynolds Building Systems, Inc. 205 Arlington Drive, Greenville, PA 16125

12300 Ford Rd
Suite 110
Dallas, TX, 75234
1-800-521-3245
fax 972-888-9966

www.eaglemetal.com

To Whom It May Concern:

The attached truss design drawings referenced below have been prepared by me or under my direct supervision based on the design parameters provided by **Reynolds Building Systems** and are assumed to be in accordance with the appropriate building code.

Any changes to these parameters and/or information provided on the original truss drawing voids the affected sealed truss drawing and new information shall be submitted to this office for additional review.

Listed below are the truss designs included in this package and covered by this seal.
Job Name: **RBS JRENAOLD R14C WA 1.pdf** - 1008223
R14R

Please refer to individual truss designs for specific loading and design criteria.

11/05/2009

ARTURO A. HERNANDEZ
STATE OF WASHINGTON
42169
REGISTERED
PROFESSIONAL ENGINEER
EXPIRES 11/07/2010

Arturo A. Hernandez
(WA, 42169)

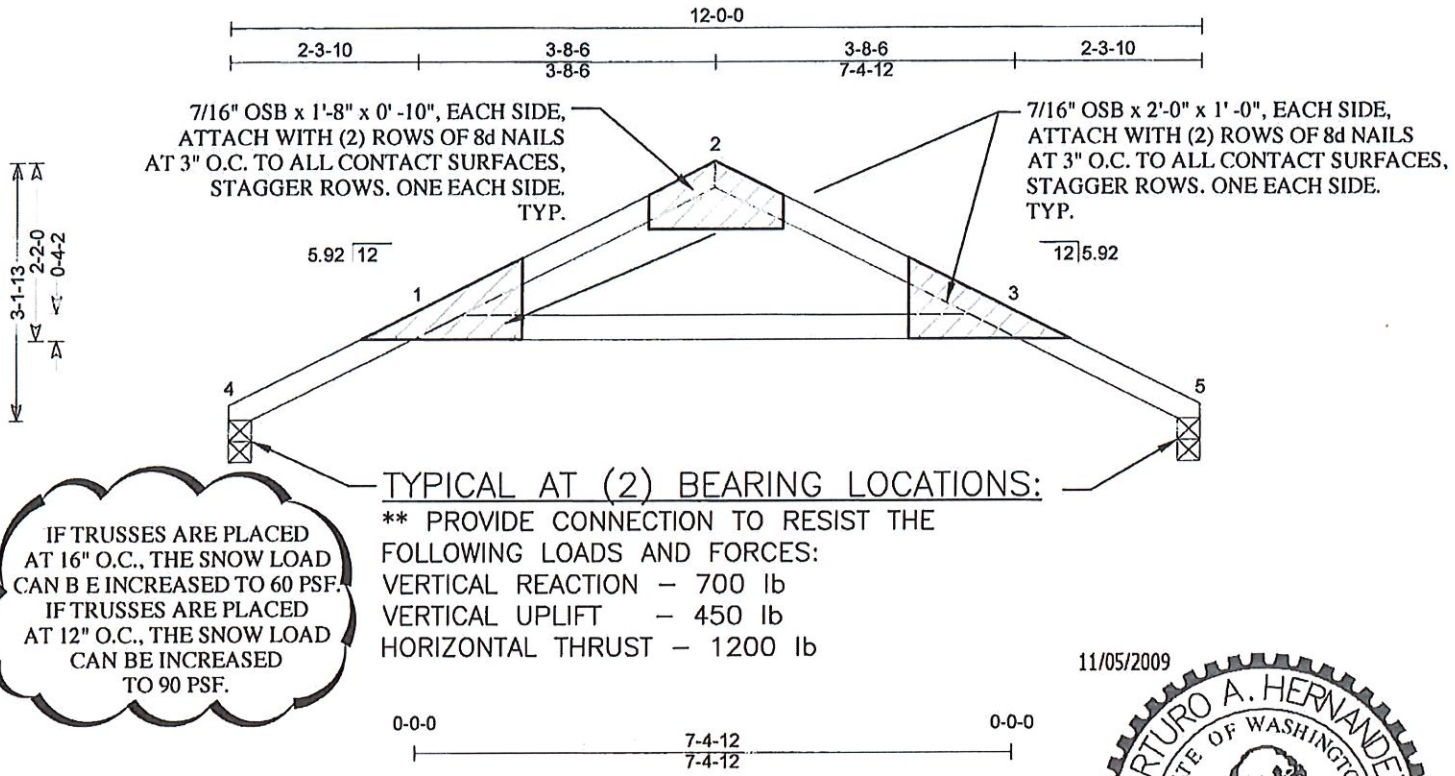
My license renewal date for the state of WA is 11-07-2010

The seal on these drawings indicates acceptance of professional engineering responsibility solely for the truss components shown. It is the responsibility of the building designer as to the suitability for use of each truss listed above.

TrueBuild® Software v4.06
by Keymark Enterprises, LLC.

Truss: R14C
JobName: JRENOLDS
Date: 10/07/09 11:27 AM
Page: 1 of 1

SPAN	PITCH	QTY	OHL	OHR	CANT L	CANT R	PLYS	SPACING	WGT/PLY
7-4-12	5.921 /12	1	2-3-10	2-3-10	0-0-0	0-0-0	1	24 in	23 lbs



11/05/2009

ARTURO A. HERNANDEZ
STATE OF WASHINGTON
42169
REGISTERED
PROFESSIONAL ENGINEER

EXPIRES 11/07/2010

Loading		General		CSI Summary		Deflection		L/	(loc)	Allowed
Load	(psf)	Bldg Code :	IBC 2003/ TPI 1-2002	TC :	0.87 (1-2)	Vert TL:	0.21 in	L / 663	(3-1)	L / 240
TCLL :	40			BC :	0.60 (3-1)	Vert LL:	0.02 in	L / 999	(3-1)	L / 360
TCDL :	7	Rep Mbr Increase	No	Web :	0.00 (1)	Horz TL:	0 in			
BCLL :	0	D.O.L. :	115 %							
BCDL :	10									

Reaction Summary

JT	Type	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
4	Pin (Wall)	1	3.313 in	1.50 in	698 lbs	·	-147 lbs	-441 lbs	-441 lbs	
5	Pin (Wall)	1	3.313 in	1.50 in	698 lbs	·	-147 lbs	-441 lbs	-441 lbs	668 lbs

Material Summary

TC SPF #2 2 x 4
BC SPF #2 2 x 4
Webs

Bracing Summary

TC Bracing: Sheathed or Purlins at 3-5-0, Purlin design by Others.
BC Bracing: Sheathed or Purlins at 5-4-0, Purlin design by Others.

Loads Summary

1) This truss has been designed for the effects of wind loads in accordance with ASCE7 - 02 with the following user defined input: 90 mph, Exposure C, Enclosed, Gable/Hip, Building Category II (I = 1.00), h=B=L=15 ft, End Zone Truss, Both end webs considered. DOL = 1.60
2) This truss has been designed for the effects of balanced and unbalanced snow loads for hips/gables in accordance with ASCE7 - 02 except as noted, with the following user defined input: 40 psf ground snow load. NOTE: Conservatively, all flat/sloped roof factors have been ignored and the ground snow load has been used for the roof snow load, DOL = 1.15. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
3) This truss has been designed to account for the effects of ice dams forming at the eaves.
4) This truss has been designed for the effects of a 18.1 psf live load computed in accordance with IBC 2003 assuming slope = 5.92 /12 and area supported = 24 ft².
5) Minimum storage attic loading has been applied in accordance with IBC 1607.1

Member Forces Summary

Table indicates: Member ID, max CSI, max axial force, (max compr. force if different from max axial force)

TC	4-1	0.847	-1,340 lbs	1-2	0.868	-869 lbs	2-3	0.868	-869 lbs	3-5	0.847	-1,340 lbs
BC	3-1	0.596	-1,171 lbs									

Webs

Notes:

6) When this truss has been chosen for quality assurance inspection, the Effective Tooth Count Method per TPI 1-2002/A3.4 shall be used.
7) Brace bottom chord with approved sheathing.
8) Multiple pinned bearings exist.

UNIQUE BEARING CONDITIONS AT JOINTS 4 & 5 REQUIRE SPECIAL ATTENTION
THE BUILDING DESIGNER MUST ACCOUNT FOR NOT ONLY THE BEARING REACTION BUT FOR THE HORIZONTAL THRUST AND THE UPLIFT. PROVIDE MECHANICAL CONNECTION (BY OTHERS) TO RESIST SAID FORCES SHOWN HEREON. THRUST = 1180lb/TRUSS

Eagle Metal Products
2711 LBJ Freeway, Suite 160
Dallas, Texas 75234

Picture of Proposed Shed Location

Picture of Proposed Shed Location

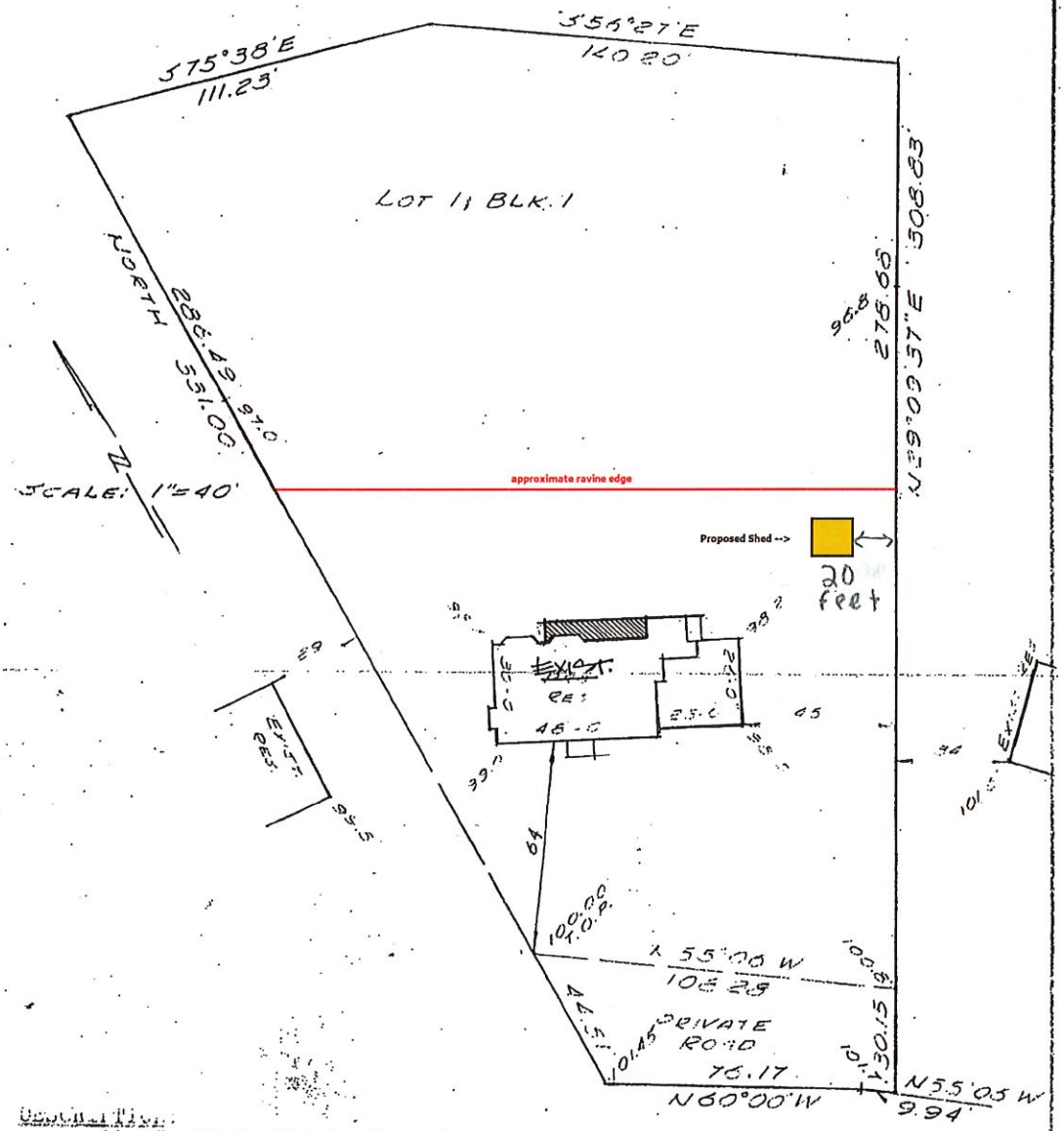
Picture of Proposed Shed Location

BAUDHUIN & ASSOCIATES

PROFESSIONAL ENGINEERS AND SURVEYORS

BOX 305 MENOMONEE FALLS, WISCONSIN PHONE 251-1260

PLAT OF SURVEY



DESCRIPTION:

All of Lot 11, Blk 1, Bayside Estates, being a subdivision of Government Lot 1, in the S. 1/2 of the ... 1/4 of Sec. 4, T.8N., R.21E., in the Village of Bayside, Milwaukee County, Wisconsin.

STATE OF WISCONSIN } SS.
COUNTY OF WAUKESHA }

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON IS A TRUE REPRESENTATION THEREOF, AND CORRECTLY SHOWS THE EXTERIOR BOUNDARY LINES AND LOCATION OF BUILDINGS AND OTHER IMPROVEMENTS ON SAID PROPERTY AND THE CORRECT MEASUREMENTS THEREOF.

DATED THIS 7th DAY OF August, 19 67

RESTAKED Aug. 30-67

SURVEYOR

JOB NO. 4365

Project Proposal

Date **04/16/2021**

Property Address **9508 N Sequoia Dr**

Zoning

- ☐ Accessory Structures/Generators
- ☐ Additions/Remodel
- ☐ Bluff Management
- ☐ Commercial Signage
- ☐ Decks/Patios
- ☒ Fence
- ☐ Fire Pits
- ☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit
- ☐ New Construction
- ☐ Play Structures
- ☐ Recreational Facilities/Courts
- ☐ Roofs
- ☐ Solar Panels/Skylights
- ☐ Swimming Pools
- ☐ Windows/Doors-change exceeds 25% of opening
- ☐ Other

Proposed project details (type of work, size, materials, etc.):

Installation of metal paneling fence that is a no-dig construction for the backyard of our property. Metal panels will be 4ft in height and a total of apx. 280 linear feet.

********** *For Office Use Only* **********

Yes	No	
☐	☐	Color photographs showing project location, elevations and surrounding views
☐	☐	Two (2) complete sets of building plans (including elevations and grading)
☐	☐	Survey
☐	☐	Samples or brochures showing materials, colors and designs
☐	☐	Application Fee
☐	☐	Parcel Number
☐	☐	ARC Agenda Date:
☐	☐	Building Permit
☐	☐	Fill Permit
☐	☐	Impervious Surface Permit
☐	☐	Plan Commission/Conditional Use Permit
☐	☐	Tax Key Number
☐	☐	Right-of-Way/Excavation Permit
☐	☐	Variance Required

SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

04/27/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Mitchell Ecker PROJECT ADDRESS: 9508 N Sequoia Dr.	PROJECT SUMMARY: New fence 280 feet 4-foot appears to be a black metal fence from photos provided

VILLAGE CODE REVIEW
LENGTH AND FENCE TYPE:
Proposed length 280' is approximately 30% of the total property perimeter length of approximately 923'.
Per the code section copied below a 25% open fence is required.
Village code section 104-125(k) *Fence type.* Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS / TYPES COMPLY

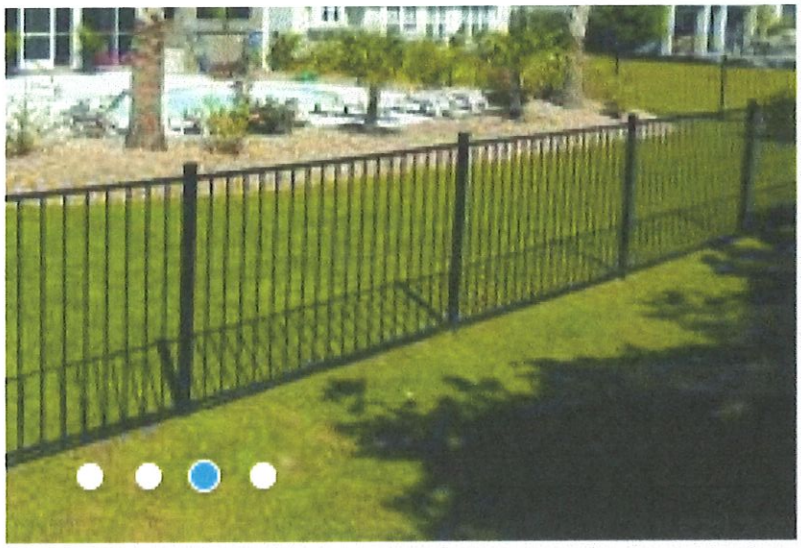
HEIGHT:
PROPOSED HEIGHT IS COMPLIANT

MATERIAL / FINISH:
Metal black finish

Tod Doebler
Building Inspector
262-957-7414
tdoebler@safebuilt.com

Style of fence:

4ft tall
Metal



Location of fence outlined in red:

Picture of Proposed
Fence Location

Picture Of Proposed Fence Location

Picture of Proposed Fence Location

Picture Of Proposed Fence Location

15-0038

PLAT NO. MIL. 45-5

NIENOW, LANDRY, WEBSTER & ASSOC.

CONSULTING ENGINEERS & SURVEYORS

PERCOLATION TESTS
LAND CONSULTANT
SEWER & WATER DESIGN
SUBDIVIDING

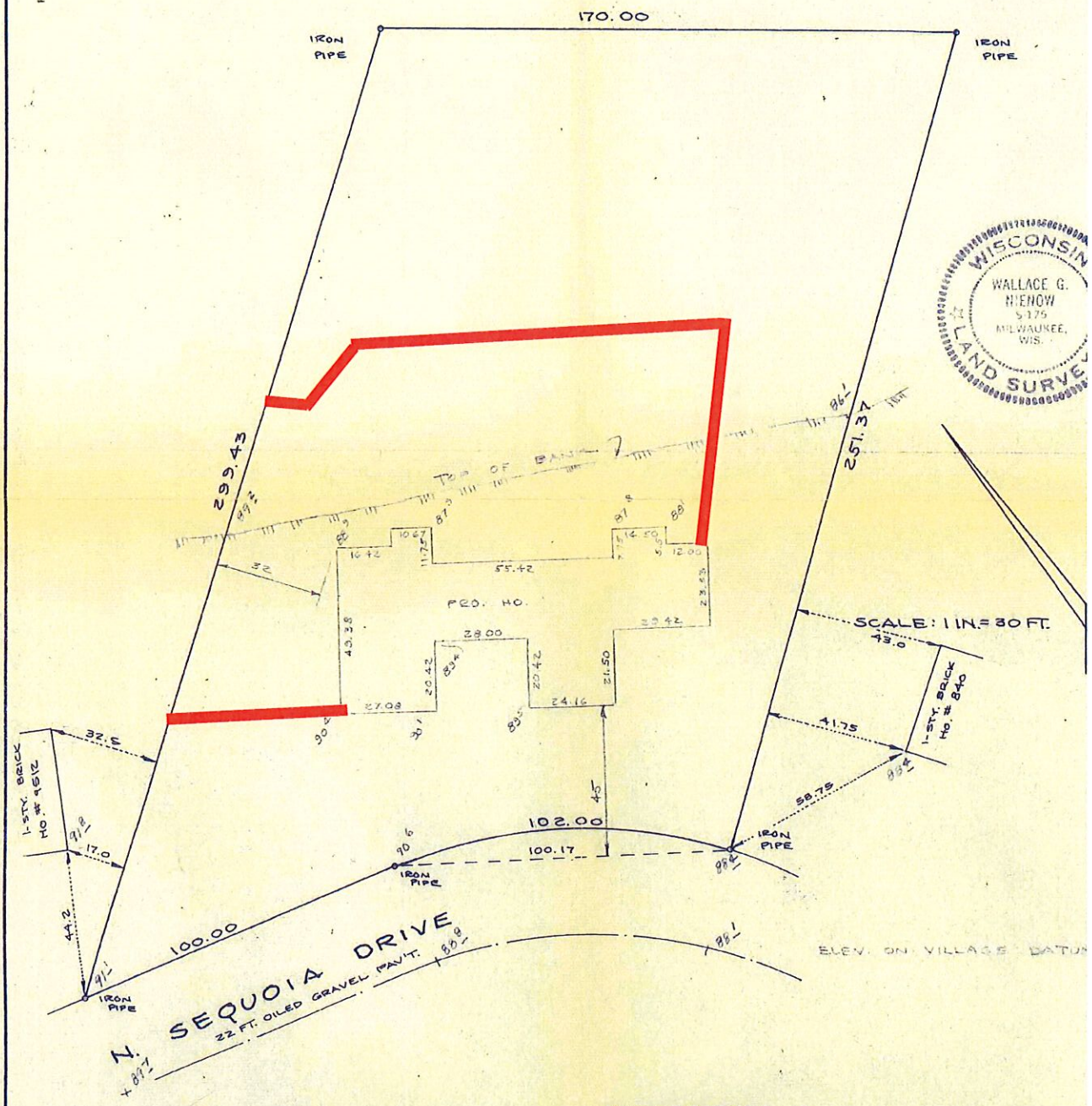
1750 W. SILVER SPRING DRIVE — MILWAUKEE, WIS.
910 ELM GROVE ROAD — ELM GROVE, WIS.

WALLACE G. NIENOW, P.E
JAMES W. LANDRY, P.E.
ASSOCIATES
KENNETH B. WESTERN,
CARL R. RAHMIG, P.E.

PLAT OF SURVEY

PREPARED FOR DR. LEONARD B. KLEINERMAN (SEIDLL BUILDERS, INC.)

DESCRIPTION OF PROPERTY LOT 20 AND THE NORTHERLY ½ OF LOT 19, IN BLOCK 1 OF ORCHARD HIGH
A SUBDIVISION IN THE N.W. ¼ OF SEC. 5, TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE
BAYSIDE, MILWAUKEE COUNTY, WISCONSIN.



AFFIDAVIT:

I hereby certify that I have made a survey on ....., 196....., and that the location of the ..... on above described property is correctly shown on the above plat.

.....

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, WALLACE NIENOW, Surveyor, do hereby certify th have made a survey of the above described property and that the above plat is a representation of said survey.

Milwaukee, Wisconsin ..... OCTOBER 22, 196

Wallace Nienow

B/P INC. 50M

Project Proposal

Date as soon as able after permit received

Property Address 9210 N Pelham Pkwy

Zoning

- ☐ Accessory Structures/Generators
- ☐ Additions/Remodel
- ☐ Bluff Management
- ☐ Commercial Signage
- ☐ Decks/Patios
- ☒ Fence
- ☐ Fire Pits
- ☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit
- ☐ New Construction
- ☐ Play Structures
- ☐ Recreational Facilities/Courts
- ☐ Roofs
- ☐ Solar Panels/Skylights
- ☐ Swimming Pools
- ☐ Windows/Doors-change exceeds 25% of opening
- ☐ Other

Proposed project details (type of work, size, materials, etc.):

See attached quote and drawing

276' fence, 6 ft tall, pinewood treated

********** ***For Office Use Only*** **********

Yes	No	
☐	☐	Color photographs showing project location, elevations and surrounding views
☐	☐	Two (2) complete sets of building plans (including elevations and grading)
☐	☐	Survey
☐	☐	Samples or brochures showing materials, colors and designs
☐	☐	Application Fee
☐	☐	Parcel Number
☐	☐	ARC Agenda Date:
☐	☐	Building Permit
☐	☐	Fill Permit
☐	☐	Impervious Surface Permit
☐	☐	Plan Commission/Conditional Use Permit
☐	☐	Tax Key Number
☐	☐	Right-of-Way/Excavation Permit
☐	☐	Variance Required

SAFEbuilt

05/02/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Jessica Lubar PROJECT ADDRESS: 9210 N Pelham Pkwy	PROJECT SUMMARY: New fence 276 feet 6 inches 6 foot pinewood treated fence horizontal fence with gaps

VILLAGE CODE REVIEW
LENGTH AND FENCE TYPE:
Proposed length of 276' is approximately 46% of the total property perimeter length of approximately 600'.
Per the code section copied below a solid fence may not exceed 15 percent of the total linear feet of the perimeter of the property
Per the code section copied below a 25% open fence is required.
Village code section 104-125: (k)
Fence type. Solid fences may be constructed with a total horizontal linear length not to exceed 15 percent of the total linear feet of the perimeter of the property except as screening along an adjacent railroad, state highway, interstate highway, county highway, or commercial parking lot property. A solid fence may have at least a 25 percent open design within the fence height. All other permitted fences shall be constructed with at least a 25 percent open design. When proposing a new fence adjacent to a property that already has a fence, the applicant should consider (and the architectural review committee may encourage) matching that fence to achieve a harmonious look. Wood fences shall be unfinished, stained, or oiled and allowed to weather naturally to help them blend into the landscape. Other finishes may be acceptable but are subject to review and approval. The side of the fence facing neighboring properties shall always be a finished and not structural side of the fence. If a fence style contains posts on one side and a more finished side on the other, the more finished side shall face the neighboring property. Fences may incorporate no more than two trellises or arbors that may be no wider than four feet and no taller than eight feet and which are at least six feet from the nearest property line if located in the "A" residence district or at least three feet from the nearest property line in the "B" and "C" residence districts. The open percentage of any fence shall be the percentage of the fence which is not opaque from a perpendicular perspective.

PROPOSED FENCE LENGTHS

90 feet of solid fence compliant

186 feet of 25% open fence is compliant

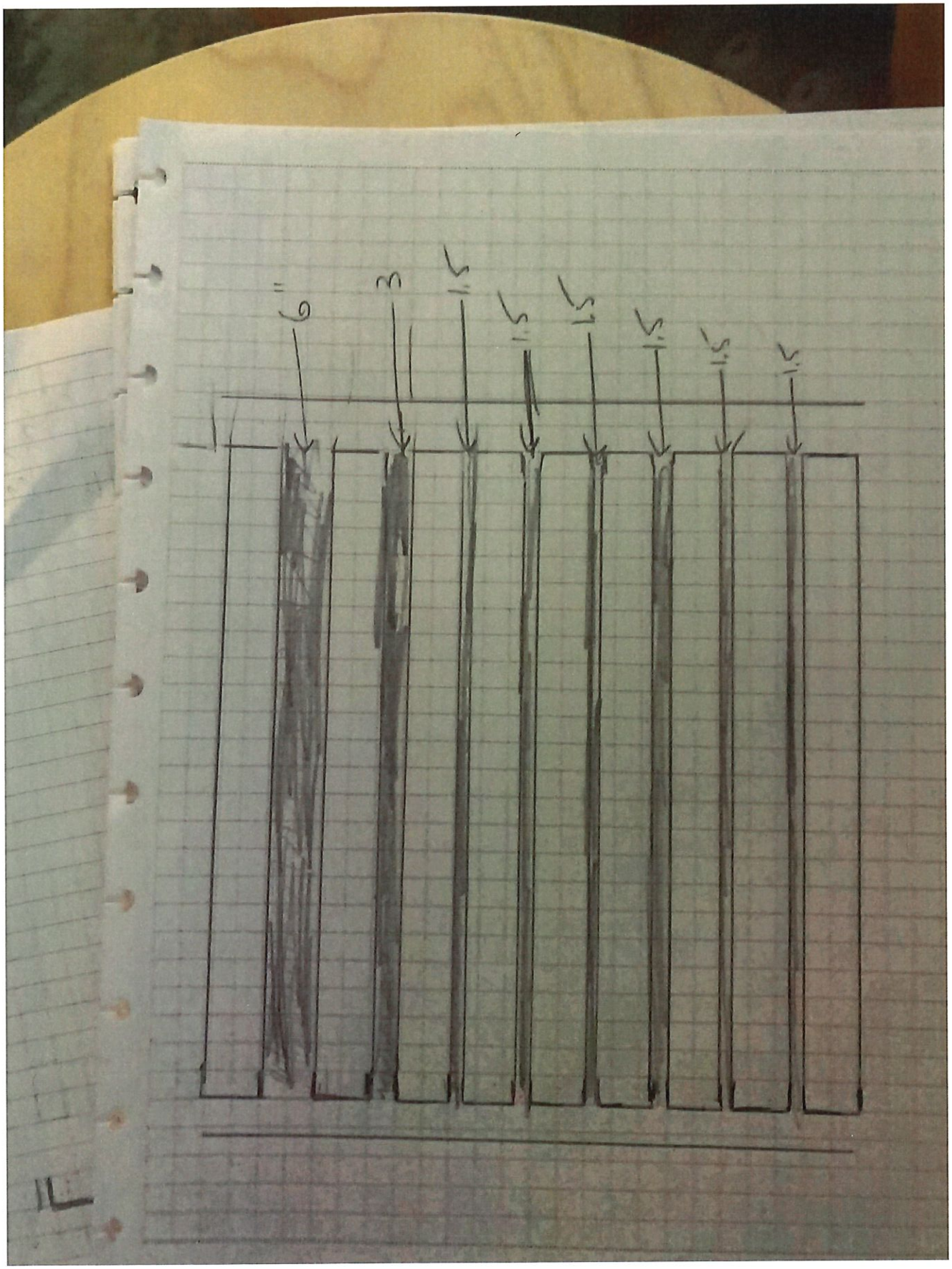
TYPE COMPLY

HEIGHT:
PROPOSED HEIGHT IS COMPLIANT

MATERIAL / FINISH:
Pinewood treated

Note: The measurements of the fence must be based off of the over lay on the survey Page 10 and not the hand drawn sketch

Tod Doebler
Building Inspector
262-957-7414
tdoebler@safebuilt.com



1. 70' solid horizontal fence on South side
2. 20' solid horizontal fence on west side
3. Remaining fence to be as follows from the ground as reflected in the attached drawing:

6" plank
1.5" gap
6" plank
1.5" gap
6" plank
1.5" gap
6" plank
1.5" gap
6" plank
1.5" gap
6" plank
1.5" gap
6" plank
3" gap
6" plank
6" gap
6" plank

A PLUS RENOVATIONS LLC **Quote**

Shaun Potrykus / Erin Potrykus

shaunpotrykus@icloud.com-**262-232-0027**

Date:_04/25/2021_____

Invoice #____01_____

TO Client name: __Jessica Lubar_

Address:___9210 N. Pelham Pkwy_____

__Milwaukee Wi 53217_____

Phone #:_____

Contractor: Shaun Potrykus 1415579	Payment Terms:	Due Date:

50% payment to begin.

Remaining balance paid

When job completed.

QTY/Footage:	Description:	Unit Price:	Line Total:
276/ Linear ft	6ft Pinewood treated fence Horizontal fence with gaps		
1/ French Double-gate horizontal			
1/ Single-gate horizontal			
Notes:			
I will be responsible for setting appointment with diggers hotline. Deposit of $ 3,825.00 to start and the remaining balance of $ 3825 will be paid when job is completed.			
Start date is Tuesday May 11th 7:00 am			
I will be responsible for contact Diggers Hotline			

Subtotal:

Total: $7,650

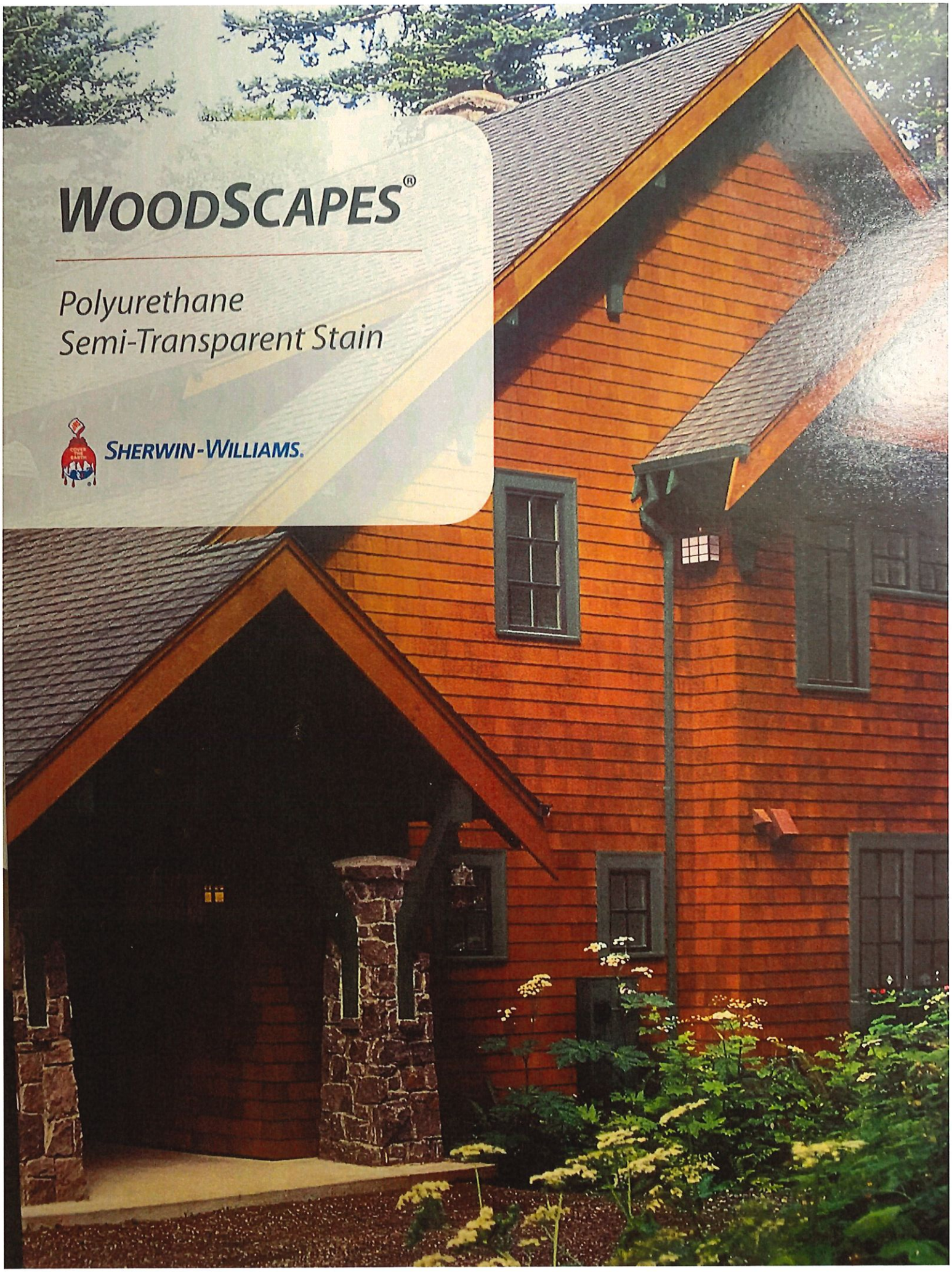
Thank you for your business!

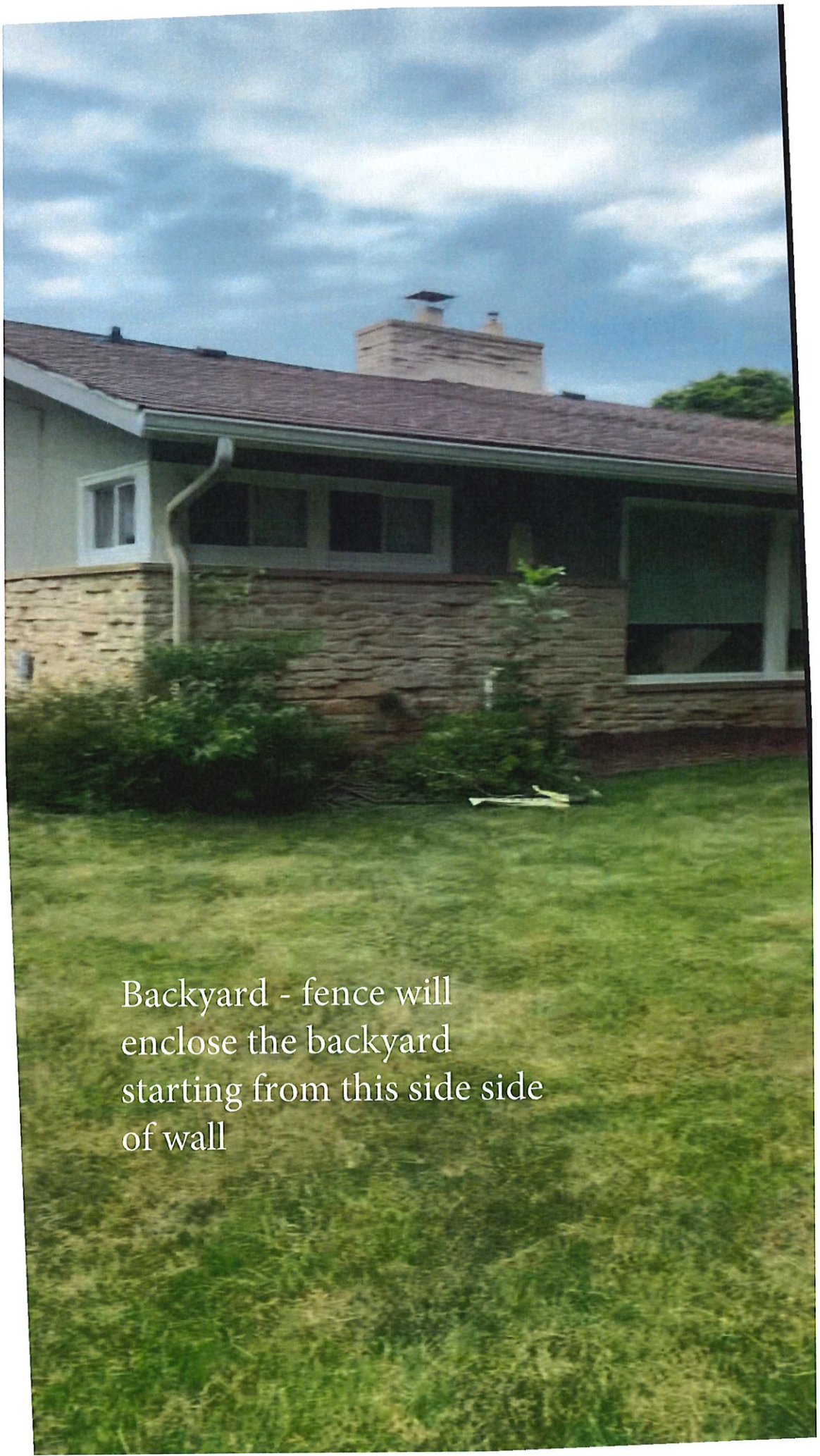

Hill Country
SW 3532
Leeward
SW 3533
Blue Shadow
SW 3531
Mountain Ash
SW 3540
SW 3541

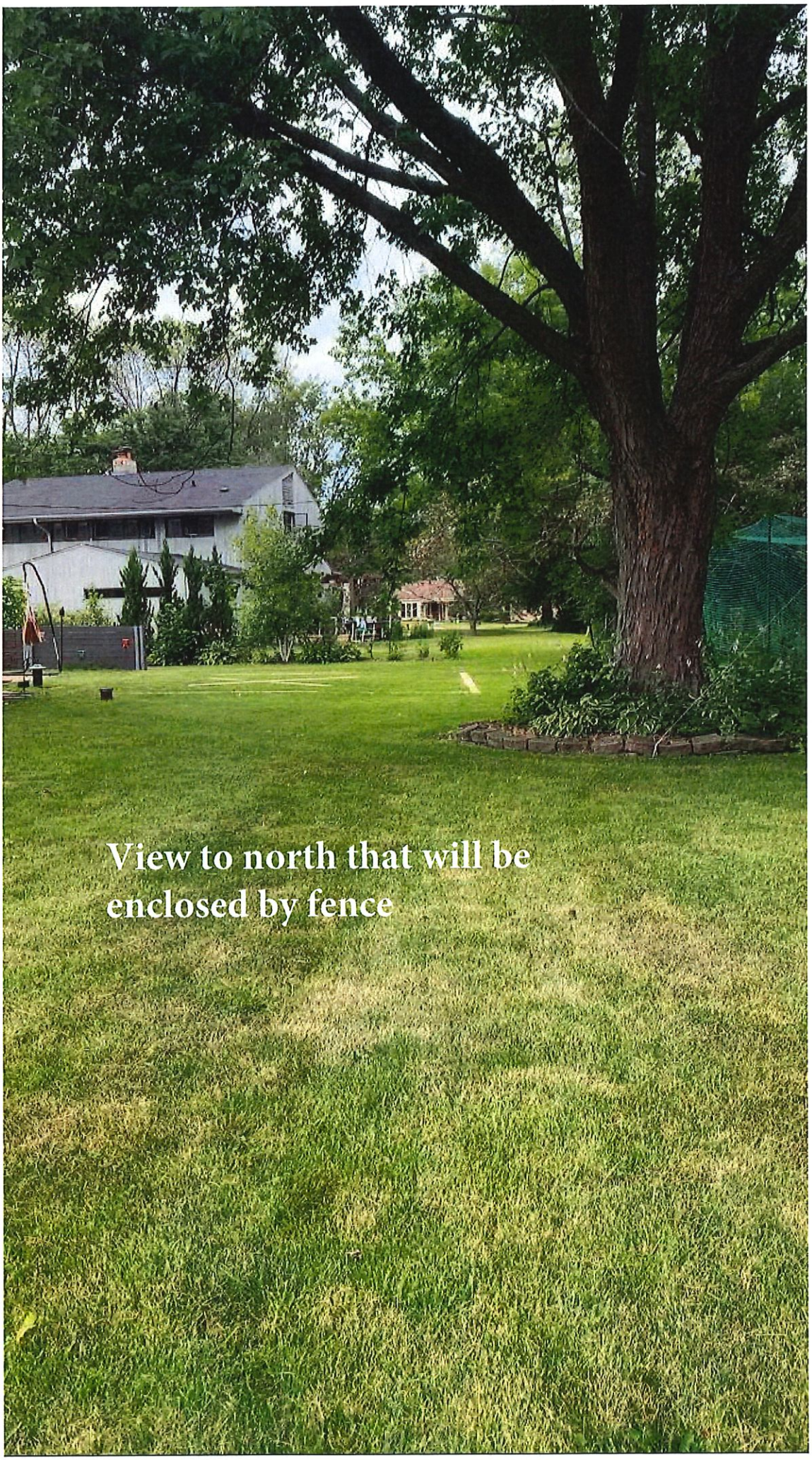
WOODSCAPES®

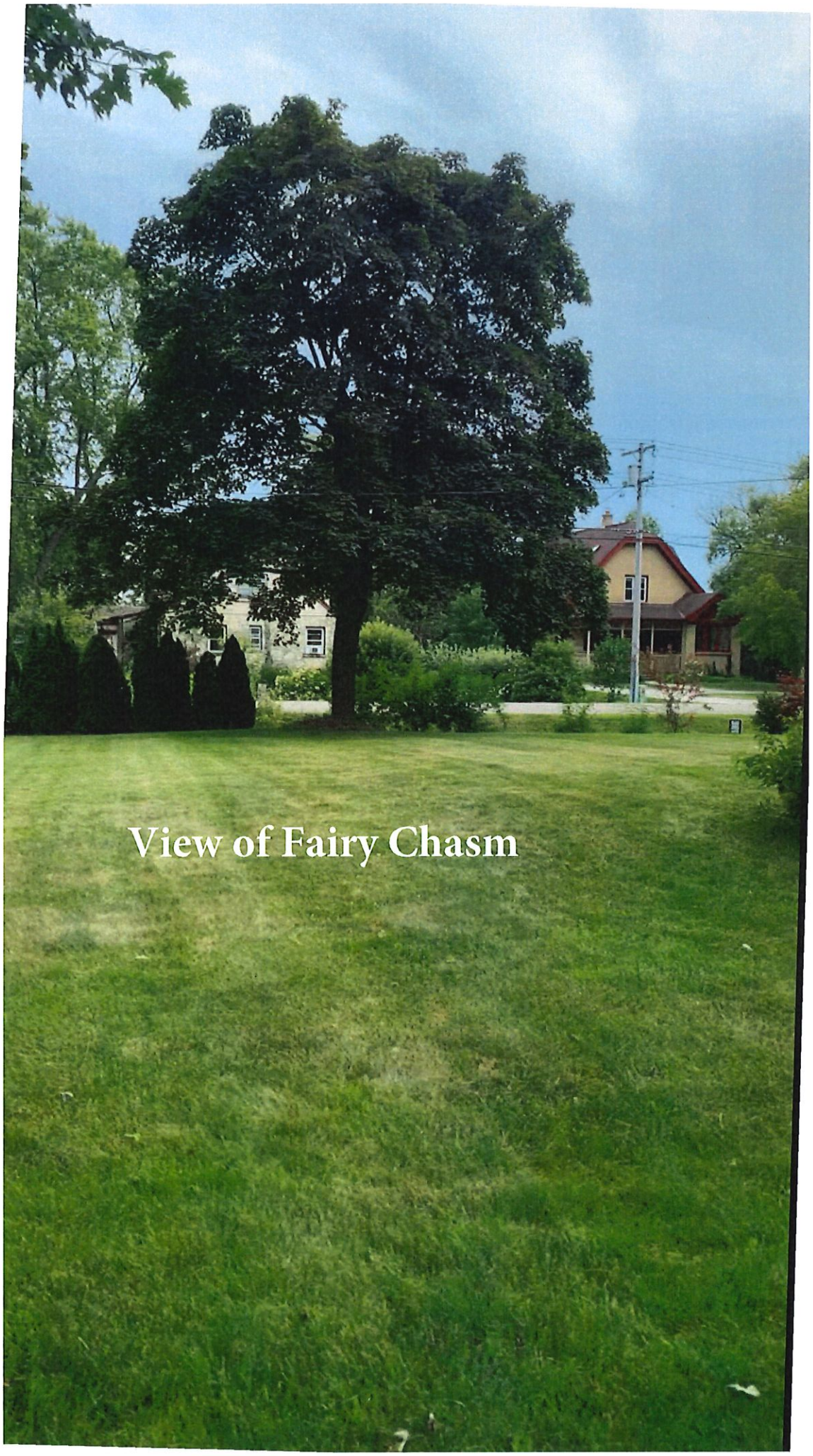
Polyurethane Semi-Transparent Stain

SHERWIN-WILLIAMS.




Backyard - fence will
enclose the backyard
starting from this side side
of wall

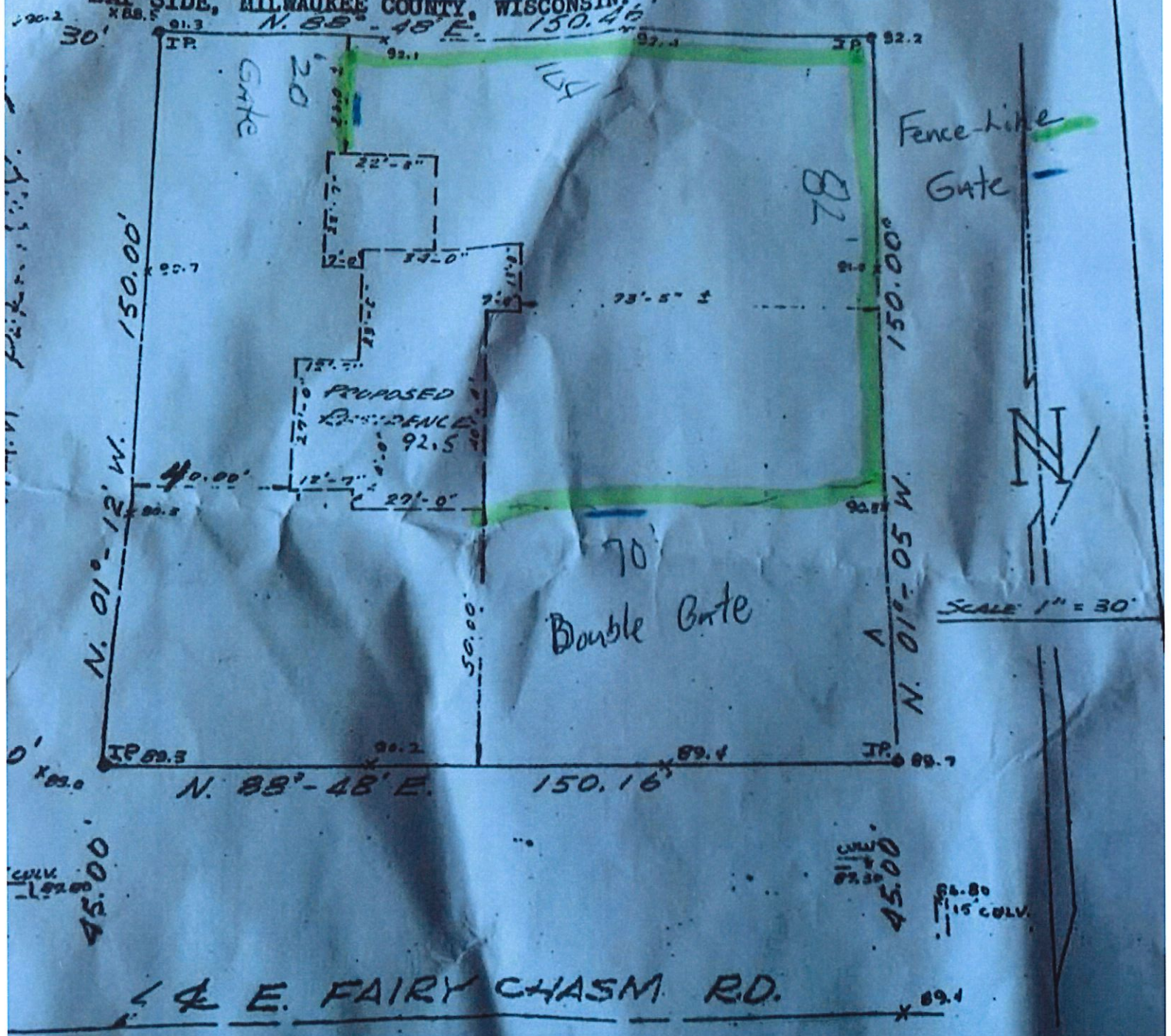

View to north that will be
enclosed by fence


View of Fairy Chasm

A PLAT OF A SURVEY

FOR MR. ARCHIE GERGEN 276 Linzne Ft. Pinewood treated 6"

OF LOT 1, BLOCK 4, BAYSIDE RAVINE PARK. BEING A SUBDIVISION OF A PART OF ASSESSMENT SUBDIVISION NO. 276 AND A PART OF THE N.W. 1/4 OF SECTION 4. TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF BAY SIDE, MILWAUKEE COUNTY, WISCONSIN.



F WISCONSIN

OF MILWAUKEE

J. Holdampf, Surveyor, do hereby certify that I have surveyed
described property and that the above plat is an accurate

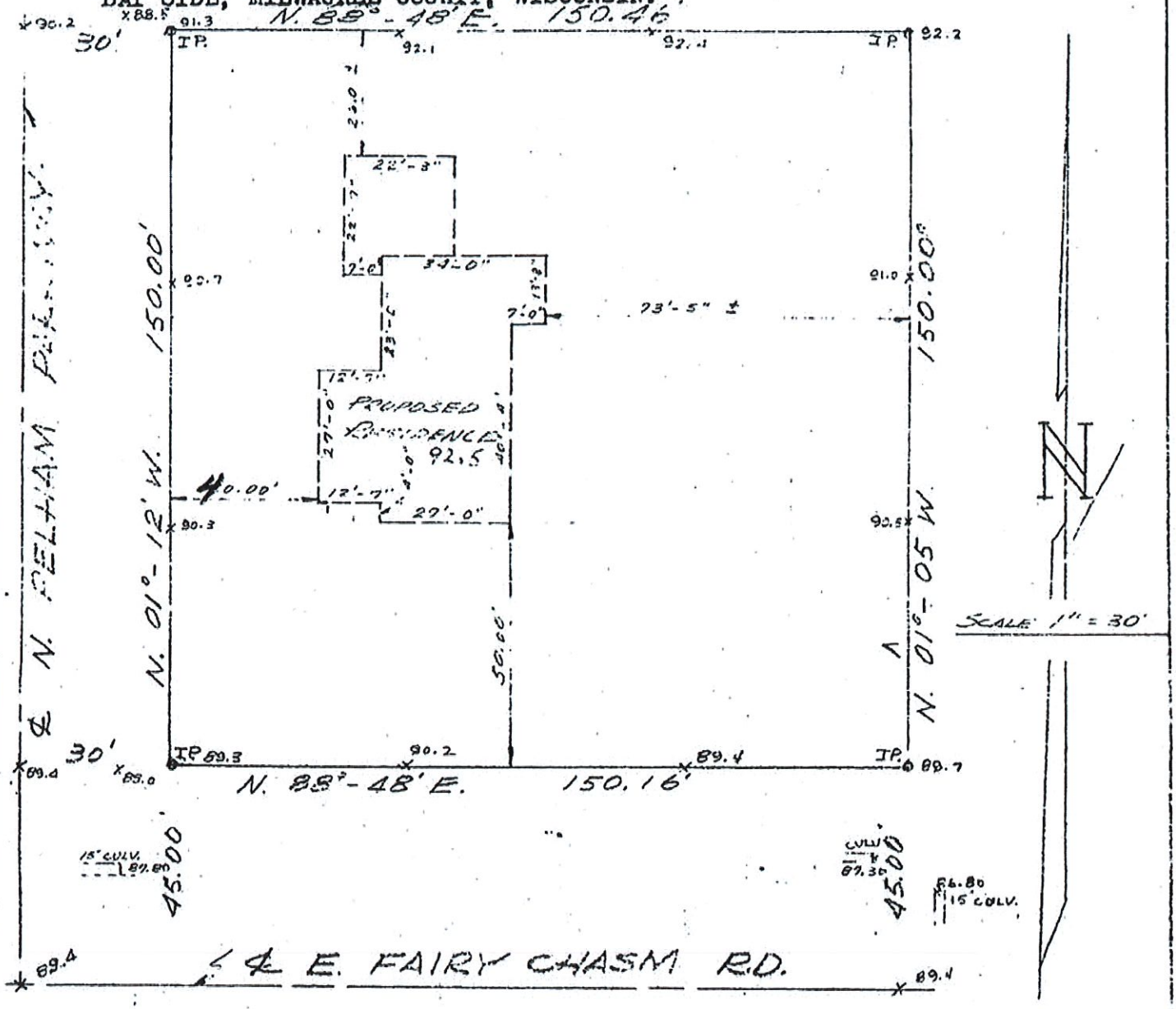
WISCONSIN

FRANK J

A PLAT OF A SURVEY

FOR MR. ARCHIE GERGEN

OF LOT 1, BLOCK 4, BAYSIDE RAVINE PARK. BEING A SUBDIVISION OF A PART OF ASSESSMENT SUBDIVISION NO. 276 AND A PART OF THE N.W. 1/4 OF SECTION 4. TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF BAY SIDE, MILWAUKEE COUNTY, WISCONSIN.



STATE OF WISCONSIN

COUNTY OF MILWAUKEE

I, Frank J. Holdampf, Surveyor, do hereby certify that I have surveyed the above described property and that the above plat is an accurate representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

Milwaukee, Wis. May 24 19 56

Frank J. Holdampf

Professional Engineer

WISCONSIN
FRANK J. HOLDAMPF
S 433
MILWAUKEE, WIS.
LAND SURVEYOR

017-0076

6

Project Proposal

Date

Property Address 1460 E. BAY POINT RD.

Zoning

- ☐ Accessory Structures/Generators
- ☐ Additions/Remodel
- ☐ Bluff Management
- ☐ Commercial Signage
- ☐ Decks/Patios
- ☒ Fence
- ☐ Fire Pits
- ☐ Landscaping requiring Impervious Surface/Fill/Excavation Permit
- ☐ New Construction
- ☐ Play Structures
- ☐ Recreational Facilities/Courts
- ☐ Roofs
- ☐ Solar Panels/Skylights
- ☐ Swimming Pools
- ☐ Windows/Doors-change exceeds 25% of opening
- ☐ Other

Proposed project details (type of work, size, materials, etc.):

wrought iron fence, 5 feet high, 25% open. Fence will run slightly in from easement line at the front of the property.

********** *For Office Use Only* **********

Yes	No	
☐	☐	Color photographs showing project location, elevations and surrounding views
☐	☐	Two (2) complete sets of building plans (including elevations and grading)
☐	☐	Survey
☐	☐	Samples or brochures showing materials, colors and designs
☐	☐	Application Fee
☐	☐	Parcel Number
☐	☐	ARC Agenda Date:
☐	☐	Building Permit
☐	☐	Fill Permit
☐	☐	Impervious Surface Permit
☐	☐	Plan Commission/Conditional Use Permit
☐	☐	Tax Key Number
☐	☐	Right-of-Way/Excavation Permit
☐	☐	Variance Required

SAFEbuilt Wisconsin, LLC
W241 S4135 Pine Hollow Court
Waukesha, WI 53188

04/27/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Darrell Oyer PROJECT ADDRESS: 1460 E. Bay Point Rd.	PROJECT SUMMARY: New fence. appears to be 157' Aluminum wrought iron style, black in color

VILLAGE CODE REVIEW

LENGTH AND FENCE TYPE:

Proposed length unclear about 157' is approximately 9% of the total property perimeter length of approximately 1,882'. Per the code section copied below a 25% open fence is required.

Village code section 104-125 (j) *Fence height.* The height of a fence shall be measured from average existing grade of the property. Therefore, if a fence is constructed on a manmade hill or berm, it shall be reduced in height to compensate for the height of the berm or hill to avoid exceeding the overall fence height. Fences constructed behind the rear elevation of the home or behind the forward most point of the adjacent structures shall not exceed six feet in height except when adjacent to an active railroad property, state or county highway, or commercial parking lot property, in which case it shall not exceed eight feet. Fences immediately adjacent to interstate highways may exceed these height limits but may not exceed height restrictions imposed by county, state or federal authorities. Fences constructed within the front yard of a home shall not exceed three feet in height. Ornamental posts protruding less than one foot above the measured average height of a fence may be permitted provided they are at least six feet apart, or are otherwise granted exception for closer proximity by the architectural review committee (which exception shall be subject to a two-thirds vote). In all other cases, fences shall be measured to their highest point (including posts) in determining compliance with height restrictions.

PROPOSED FENCE LENGTHS / TYPES COMPLY

HEIGHT:

PROPOSED HEIGHT IS NON COMPLIANT

Fences constructed within the front yard of a home shall not exceed three feet in height

MATERIAL / FINISH:

Aluminum in wrought iron black metal.

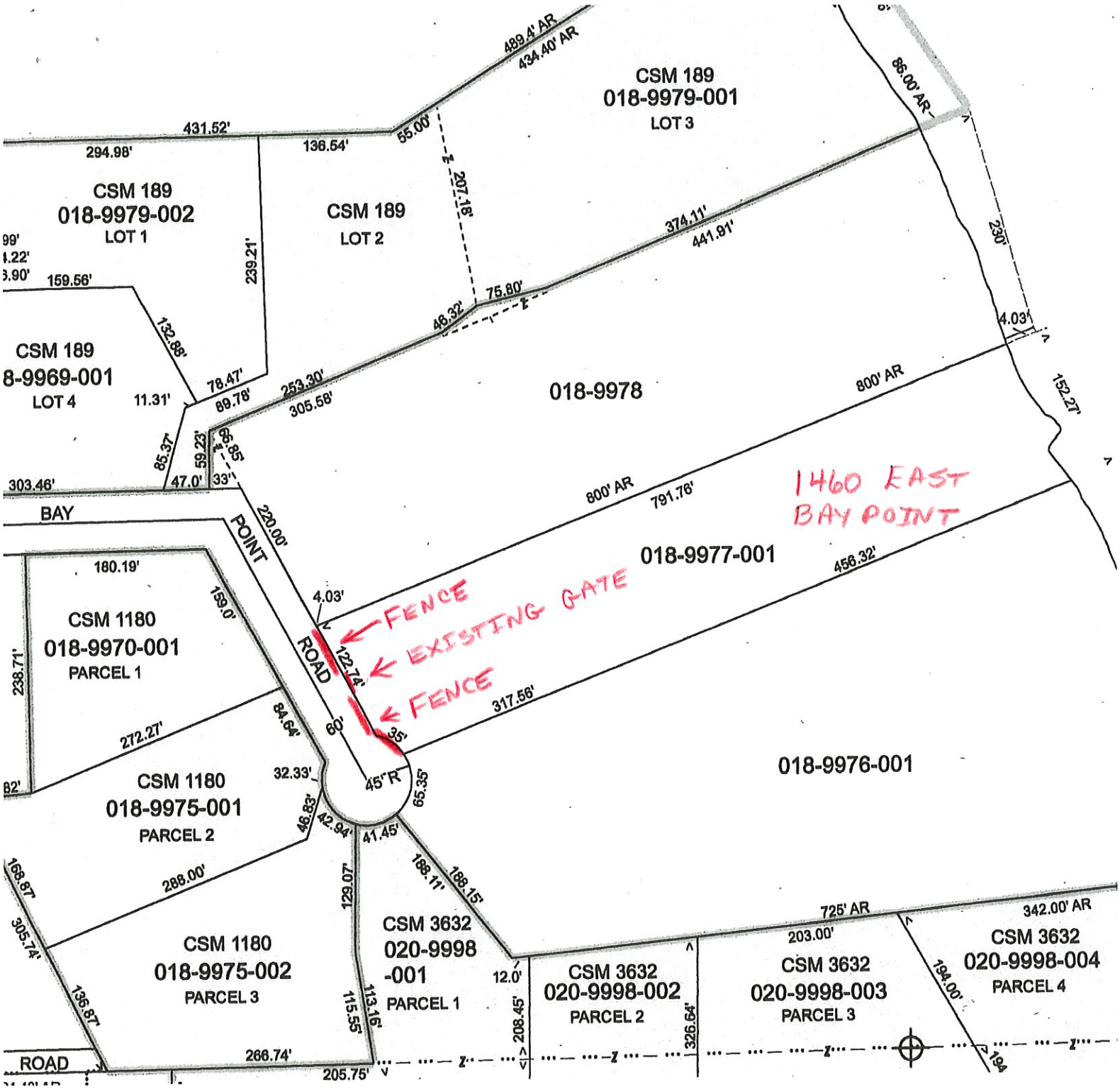
Black metal requires ARC approval.

Tod Doebler
Plans Examiner
262-957-7414
tdoebler@safebuilt.com

Proposed Fence. will be 5 ft tall

Picture of Proposed Fence Location

Picture of Proposed Fence Location



MAP PREPARED BY:
kee County Register of Deeds
Tax Listing Section