



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
August 23, 2021
Remote Teleconferencing, 6:00pm

ARCHITECTURAL REVIEW COMMITTEE AGENDA

PLEASE TAKE NOTE: Due to the COVID-19 Pandemic, the Architectural Review Committee will be meeting via remote conferencing at the above noted time and date, at which the following items of business will be discussed and possibly acted upon.

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. Approval of August 9, 2021 meeting minutes.

III. BUSINESS

- A. **9000 N Pelham Pkwy – Nathaniel Greene** The proposed project is the installation of 138 linear feet of 4-foot high black aluminum fence with 2 gates.

Please review detailed plans [here](#).

- B. **8525 N Fielding Rd – Jon Goebel** The proposed project is the replacement of an existing screened room with a three season sun room on an existing 19.5-foot by 10-foot concrete slab.

Please review detailed plans [here](#).

- C. **231 W Fairy Chasm – Carols Bermudez** The proposed project the installation of 186 linear feet of 4-foot high cedar fencing with 3 gates.

Please review detailed plans [here](#).

IV. ADJOURNMENT

Leah Hofer
Assistant to the Village Manager

The Architectural Review Committee will utilize Zoom video conferencing software for this meeting. To join the zoom meeting using a computer or tablet:

<https://us02web.zoom.us/j/85446460964?pwd=dm9pbEo3R2hBQmF5MlNCVzBHMjNNZz09>

If using a telephone to dial in: 1-312-626-6799. The meeting id is: 854 4646 0964, password 281887.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



I. CALL TO ORDER

Chairperson Roberts called the meeting to order via remote teleconferencing at 6:02pm.

II. ROLL CALL

Chair: Marisa Roberts
Members: Elizabeth Levins
Dan Zitzer - Excused
Tony Aiello
John Krampf

Trustee Liaison: Mike Barth - Excused

Also Present: Assistant to the Village Manager Leah Hofer
Deputy Clerk Elizabeth Spaulding
There were three people in the audience.

III. APPROVAL OF MINUTES

A. Approval of July 19, 2021 meeting minutes.

Motion by John Krampf, seconded by Tony Aiello, to approve the July 19, 2021 meeting minutes. Motion carried unanimously.

IV. BUSINESS

A. 9621 N Lake Dr – Matt & Suzy Weyenberg

Suzy Weyenberg, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Ms. Weyenberg described the project as the installation of 172 linear feet of 4-foot high black metal fence with 3 gates.

Motion by John Krampf, seconded by Elizabeth Levins, to approve the project as described and presented in the application. Motion carried unanimously.

B. 100 E Fairy Chasm Rd – Matt & Jen Wisniewski

Nicolas Griswold, contractor, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Griswold described the project as the replacement of a bay window with a standard window at the rear of the house.

Motion by Marisa Roberts, seconded by Tony Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

C. 9281 N Broadmoor Rd – Kevin Pomazal

Kevin Pomazal, property owner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Pomazal described the project as the installation of a cedar wood and aluminum roof gazebo on an existing backyard concrete patio.

Motion by Tony Aiello, seconded by John Krampf, to approve the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Tony Aiello, seconded by Elizabeth Levins to adjourn the meeting at 6:18pm. Motion carried unanimously.

Respectfully submitted,

Leah Hofer
Assistant to the Village Manager

08/04/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|--|--|
| <p>PROJECT/SITE OWNER: Nathaniel Greene PROJECT ADDRESS: 9000 N. Pelham Pkwy</p> | <p>PROJECT SUMMARY: New fence 4-foot black aluminum fence 138 lineal foot</p> |
|--|--|

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. Current fence ordinance 104-125 (C) does not allow fences to exceed 50% of the perimeter of the property. The perimeter of the property is approximately 568 feet. The applicant states the proposed fence is 138 feet. This is 24.29% of the perimeter of the property. **The total fence cannot exceed 248 lineal feet.**
2. The four-foot-high black aluminum fence with 25 percent open design, meets current code
3. A current survey was provided
4. The board always considers matching fences with neighboring fences, no information was given on neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 9/1/21
 Property Address 9000 N Pelham Pkwy
 Zoning Residential

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Bluff Management <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors-change exceeds 25% of opening <input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

60' Aluminum Fence, Balcony design, 4' high, black color.

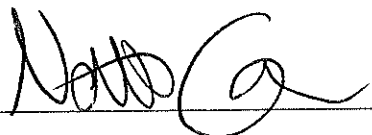
***** For Office Use Only *****

| Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Color photographs showing project location, elevations and surrounding views |
| <input type="checkbox"/> | <input type="checkbox"/> | Two (2) complete sets of building plans (including elevations and grading) |
| <input type="checkbox"/> | <input type="checkbox"/> | Survey |
| <input type="checkbox"/> | <input type="checkbox"/> | Samples or brochures showing materials, colors and designs |
| <input type="checkbox"/> | <input type="checkbox"/> | Application Fee |
| <input type="checkbox"/> | <input type="checkbox"/> | Parcel Number |
| <input type="checkbox"/> | <input type="checkbox"/> | ARC Agenda Date: |
| <input type="checkbox"/> | <input type="checkbox"/> | Building Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Fill Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Plan Commission/Conditional Use Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Tax Key Number |
| <input type="checkbox"/> | <input type="checkbox"/> | Right-of-Way/Excavation Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Variance Required |

Scope of Work

Only items listed are part of this permit. If work is done on items not listed on this permit they will be considered to have been completed without a permit and are subject to double fees.

| Item | Cost |
|--------------------|---------|
| 60' Aluminum fence | \$6,500 |
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Signature 

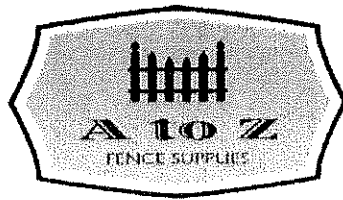
Total Cost \$6,500
Date 7/23/21

Requested Changes at time of work

Must be submitted to the Village prior to or same day work is completed. Failure to return the same day will result in double permit fees.

| Item | Cost |
|------|------|
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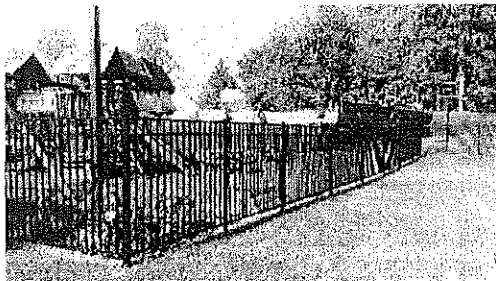
Total Cost _____
Signature _____ Date _____



5717 Black Walnut Dr. Hartford Wi
262-346-6100

Aaron@atozqualityfencing.com
www.atozfencesupplies.com

Lakeville Mn
612-964-3310



Bellamy

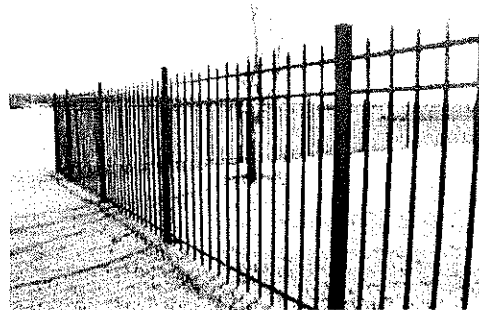
in black



Freedom



Imperial



Allguard



Patriot



All Style comes standard in 4', 5' & 6'. All styles available in residential, commercial, and industrial grade. Standard colors are Black and bronze. Standard gates are 4' singles and 8' doubles. Custom heights, colors and gate sizes are available.



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08/04/2021

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Village of Bayside, WI
Architecture Review Committee

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I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. Current fence ordinance 104-125 (C) does not allow fences to exceed 50% of the perimeter of the property. The perimeter of the property is approximately 568 feet. The applicant states the proposed fence is 138 feet. This is 24.29% of the perimeter of the property. **The total fence cannot exceed 248 lineal feet.**
2. The four-foot-high black aluminum fence with 25 percent open design, meets current code
3. A current survey was provided
4. The board always considers matching fences with neighboring fences, no information was given on neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**

Project Proposal

Date 9/1/21
 Property Address 9000 N Pelham Pkwy
 Zoning Residential

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Bluff Management <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors-change exceeds 25% of opening <input type="checkbox"/> Other |
|--|--|

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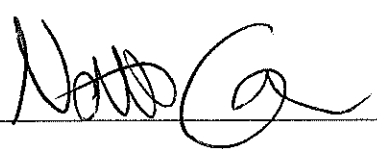
***** For Office Use Only *****

| Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Color photographs showing project location, elevations and surrounding views |
| <input type="checkbox"/> | <input type="checkbox"/> | Two (2) complete sets of building plans (including elevations and grading) |
| <input type="checkbox"/> | <input type="checkbox"/> | Survey |
| <input type="checkbox"/> | <input type="checkbox"/> | Samples or brochures showing materials, colors and designs |
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| <input type="checkbox"/> | <input type="checkbox"/> | Plan Commission/Conditional Use Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Tax Key Number |
| <input type="checkbox"/> | <input type="checkbox"/> | Right-of-Way/Excavation Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Variance Required |

Scope of Work

Only items listed are part of this permit. If work is done on items not listed on this permit they will be considered to have been completed without a permit and are subject to double fees.

| Item | Cost |
|--------------------|---------|
| 60' Aluminum fence | \$6,500 |
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Signature 

Total Cost \$6,500
Date 7/23/21

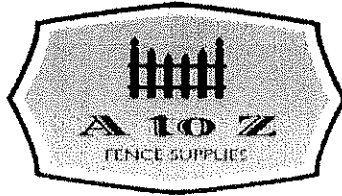
Requested Changes at time of work

Must be submitted to the Village prior to or same day work is completed. Failure to return the same day will result in double permit fees.

| Item | Cost |
|------|------|
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Signature _____

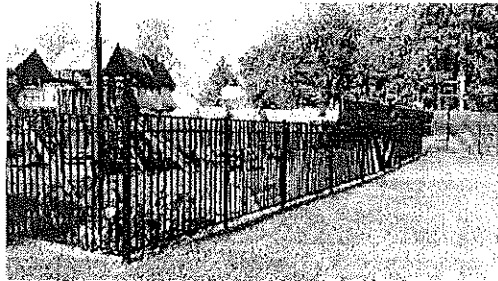
Total Cost _____
Date _____



5717 Black Walnut Dr. Hartford Wi
262-346-6100

Aaron@atozqualityfencing.com
www.atozfencesupplies.com

Lakeville Mn
612-964-3310



Bellamy

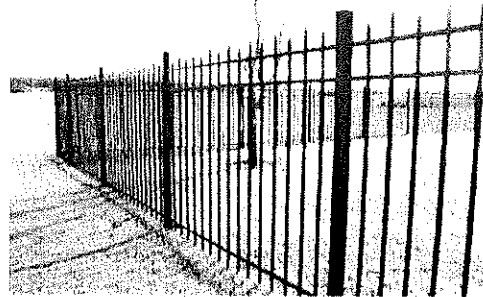
in black



Freedom



Imperial



Allguard



Patriot



All Style comes standard in 4', 5' & 6'. All styles available in residential, commercial, and industrial grade. Standard colors are Black and bronze. Standard gates are 4' singles and 8' doubles. Custom heights, colors and gate sizes are available.

A to Z Quality Fencing LLC

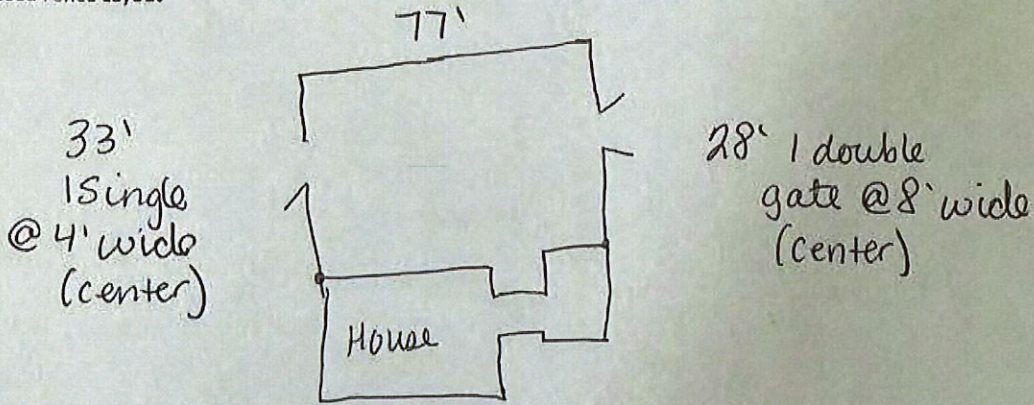
5717 Black Walnut Drive
Hartford, WI 53027
(262) 346-6100

1512 Windsor Lane
Shakopee, MN 55379
(612) 964-3310

Customer: Nathaniel Greene Email: nathaniel.greene@gmail.com Date: 7/30/21
Phone: 414-534-6040 Address: 100 1/2 g mail, com City: Bayside Zip: 53217
City/Town/Village of: Choose an item.

Top of Fence Shall: Follow Grade Be Level
Post Will Be Set: Concrete Footings Dig and Tamp Driven Post
Linear Feet: 38 Fence Style: Bik Bellamy Height: 4'
Post: 2 1/2" x 2 1/2" Post Top: Apex Rails: 1 1/4" Pickets: 3/4" x 3/4"
Gates: Qty 1 Single 4' Wide, Qty Single: Wide
Qty 1 Double 8' Wide, Qty Double Wide
Post Spacing: 8' +/- Remove Dirt from Work Site: YES NO Line clearing: YES NO
Coring: YES NO Diggers Hotline Called By: Customer A to Z Quality Fencing:
Tear out: YES NO Disposal: YES NO Water: YES NO Electrical: YES NO

Proposed Fence Layout



WE PROPOSE HEREBY TO FURNISH MATERIALS AND LABOR COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS FOR THE SUM OF: INSTALLED PRICE: ~~\$10,480.00~~ INSTALLED PRICE W/CASH DISCOUNT: \$6,745.00
DOWN PAYMENT: ~~\$3,474.00~~ DOWN PAYMENT W/ CASH DISCOUNT: \$3,372.50
FINAL PAYMENT: ~~\$3,474.00~~ FINAL PAYMENT W/ CASH DISCOUNT: \$3,372.50
(due at completion) (\$35 fee for returned checks)

Terms: Net upon Completion. Service charge of 1.5% per month after due date

All quotations are subject to conditions beyond Seller's control, customer agrees to establish property lines, obtain all necessary permits, and assumes responsibility for underground utilities. This proposal does not include charges for digging in rock, rubble, or underlying foundations or removal of obstructions from working area. Diggers Hotline will be called by us. We must stay 24" away from all buried utilities with our power digging equipment. If we go closer than 24" we must hand dig. All hand digs will be charged an additional \$75 per hole, plus customer assumes responsibility for any damaged lines. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our Workers are fully covered by Worker's Compensation Insurance. Labor guaranteed for 7 years and materials guaranteed per manufactures specifications. ALL materials are property of A to Z Quality Fencing LLC until final payment is made. All completed fences will have an A to Z Quality Fencing sign attached. Contract subject to office review and expire in 90 days. A to Z Quality Fencing cannot honor statements not included on this contract.

Customer Signature: _____ Date: _____
A to Z Signature: J. Field Date: 7/30/21



SURVEY No. 75060

Ernst H. Kirchman, Inc. PLAT No. _____

REGISTERED PROFESSIONAL ENGINEERS

HI 111top 2-2487

SURVEYORS

2673 North 28th Street
MILWAUKEE 10, WIS.

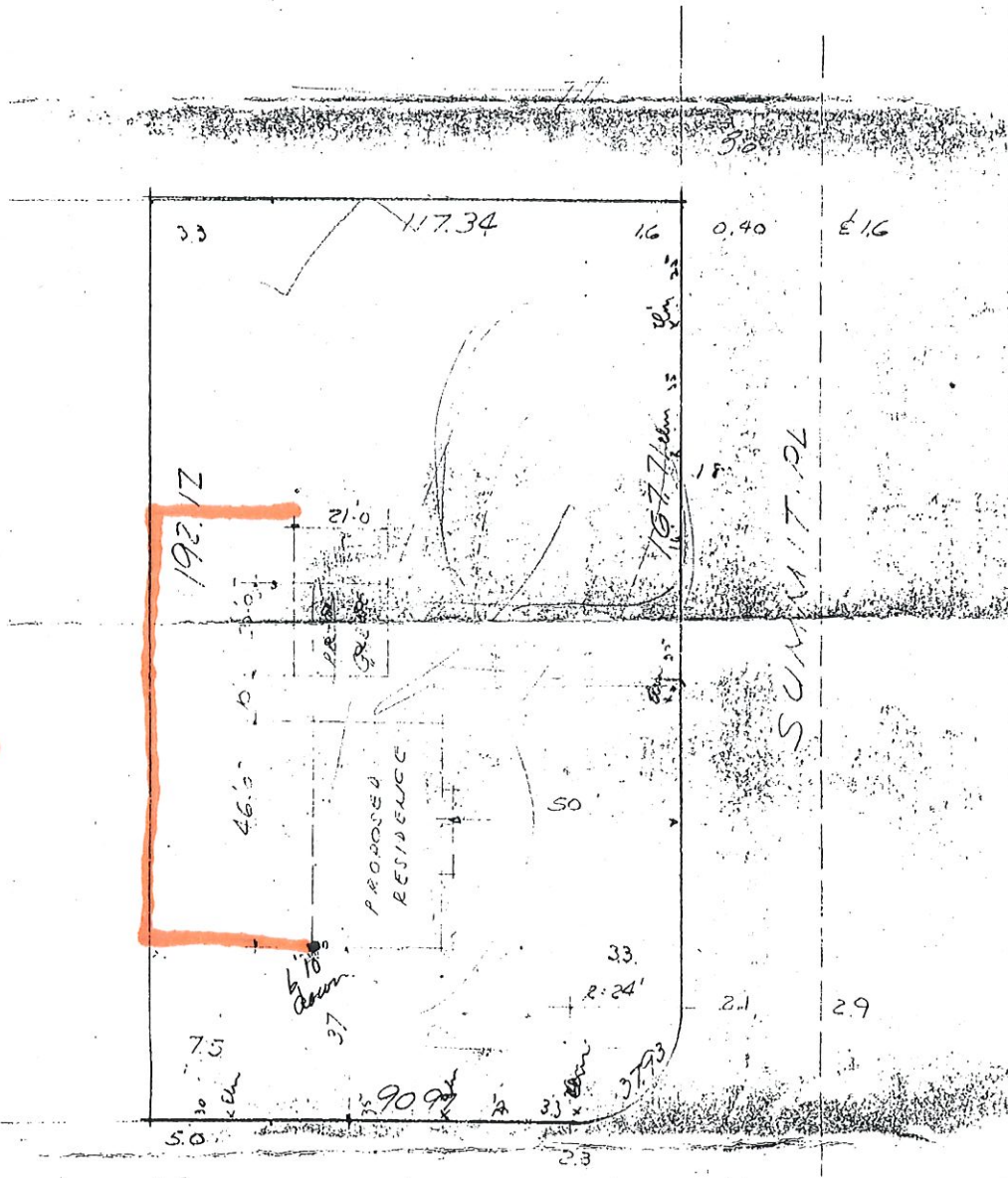
Lots and Farms Surveyed in any Locality.
Municipal Improvements.

Legal Descriptions

Surveys for Mortgage Loans,
Subdivisions, Grading Estimates.

Description Lot 4, Block 17, "CON'T. OF DAY SIDE", SW 4-8-22, Town of
Milwaukee, Milwaukee County.

Orange = Fence



PELHAM PARKWAY

Survey Made for Chas. Held

Owner

State of Wisconsin } S. S.
County of Milwaukee }

We hereby certify that we have made the above Survey

House No. _____

Dated this 28th day of August 19 50.

ERNST H. KIRCHMAN, INC.

Scale 1" : 30'

By [Signature]
Pres. Surv.

08/09/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|---|--|
| <p>PROJECT/SITE OWNER: Jon Goebel PROJECT ADDRESS: 8525 N Fielding Rd</p> | <p>PROJECT SUMMARY: Replacing existing screen room with three season room</p> |
|---|--|

I have reviewed the proposed three season room for compliance with the Village's ordinances and have determined the following for consideration

1. Meets current setbacks
2. Meets the required height restrictions
3. A current survey was provided
4. The board always considers the aesthetics of the project

This three-season room is in the current footprint of an existing screened porch.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 8/5/21

Property Address 8525 N Fielding Rd Bayside, WI 53217

Zoning "C" district

- | | |
|--|--|
| <input type="checkbox"/> Accessory Structures/Generators <input checked="" type="checkbox"/> Additions/Remodel <input type="checkbox"/> Bluff Management <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors-change exceeds 25% of opening <input type="checkbox"/> Other |
|--|--|

Proposed project details (type of work, size, materials, etc.):

Replacing existing screenroom with three season sunroom on existing concrete slab. Room to be approx. 19.5' by 10'.

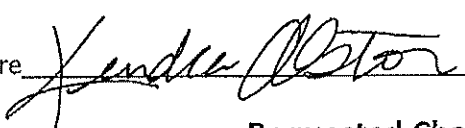
***** For Office Use Only *****

| Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Color photographs showing project location, elevations and surrounding views |
| <input type="checkbox"/> | <input type="checkbox"/> | Two (2) complete sets of building plans (including elevations and grading) |
| <input type="checkbox"/> | <input type="checkbox"/> | Survey |
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Scope of Work

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| Item | Cost |
|----------|--------|
| Addition | 23,577 |
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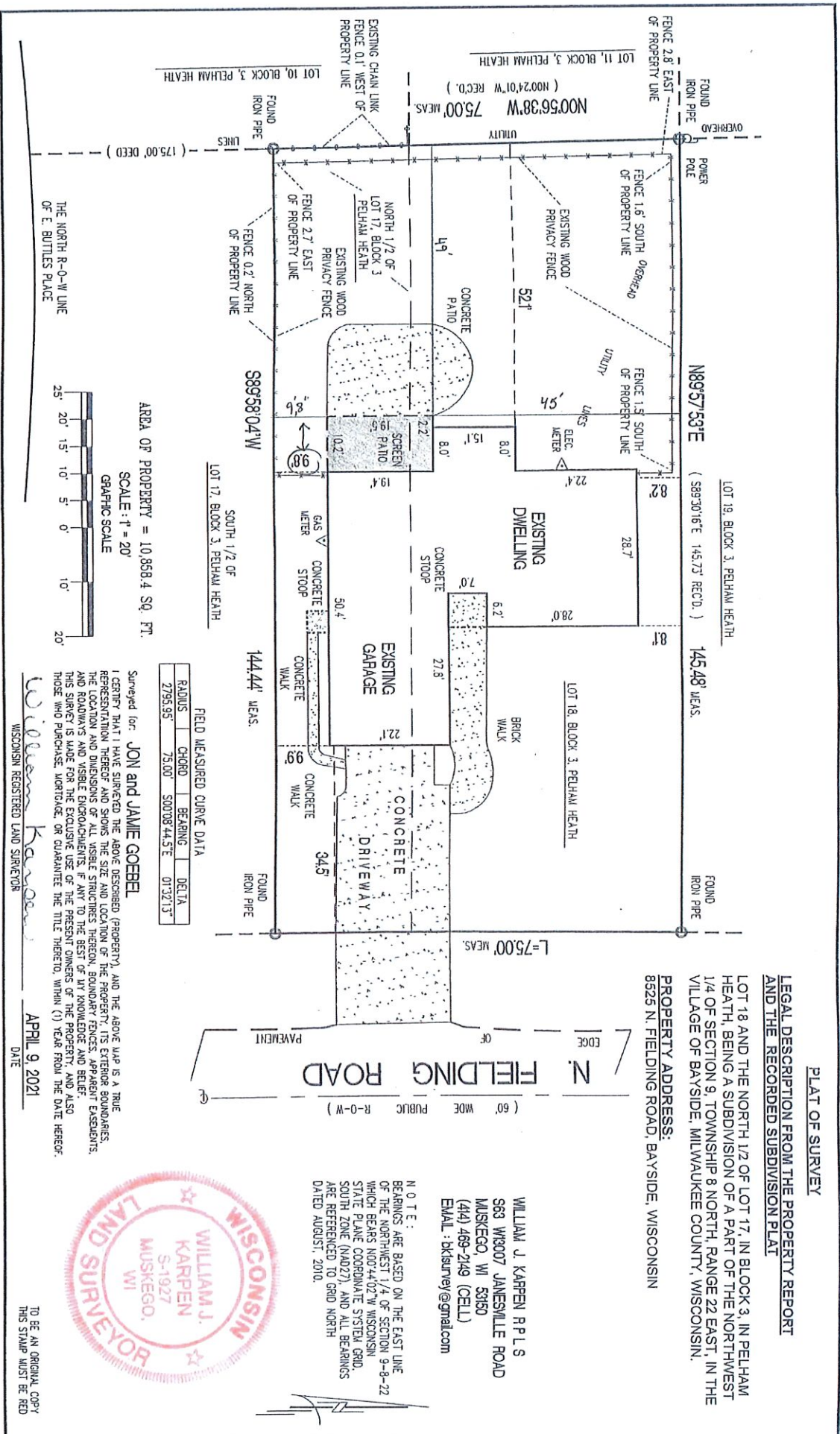
Signature  Total Cost 23,577
Date 8/5/21

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| Item | Cost |
|------|------|
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Signature _____ Total Cost _____
Date _____



PLAT OF SURVEY

LEGAL DESCRIPTION FROM THE PROPERTY REPORT AND THE RECORDED SUBDIVISION PLAT

LOT 18 AND THE NORTH 1/2 OF LOT 17, IN BLOCK 3, IN PELHAM HEATH, BEING A SUBDIVISION OF A PART OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF BAYSIDE, MILWAUKEE COUNTY, WISCONSIN.

PROPERTY ADDRESS:
8525 N. FIELDING ROAD, BAYSIDE, WISCONSIN

WILLIAM J. KARPEN P.L.L.C.
563 WISCONSIN JAMESVILLE ROAD
MUSKEGO, WI 53150
(444) 469-2149 (CELL)
EMAIL: dkisurvey@gmail.com

NOTE:
BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 9-8-22 WHICH BEARS N00°44'02\"/>

FIELD MEASURED CURVE DATA

| RADIUS | CHORD | BEARING | DELTA |
|----------|--------|-----------------|-------|
| 2795.95' | 75.00' | S00°08'44.5\"/> | |

AREA OF PROPERTY = 10,858.4 SQ. FT.



I, CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED (PROPERTY), AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY PLACES EXTERIOR SQUARES, REVISIONS AND DIMENSIONS OF THE SAME AND THE LOCATION OF THE PROPERTY PLACES EXTERIOR SQUARES, AND ROADWAYS AND VISIBLE ENCROACHMENTS OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO, WITHIN () YEAR FROM THE DATE HEREOF.

Surveyed for: **JON and JAMIE GOEBEL**

WILLIAM J. KARPEN
MUSKEGO, WI

APRIL 9, 2021
DATE



TO BE AN ORIGINAL COPY THIS STAMP MUST BE RED

ALL-SEASON SUNROOM

The perfect choice if you want natural light and views of the outdoors year-round. An all-season sunroom has full heating and air conditioning capability and is outfitted with the maximum insulation to keep the room comfortable in both the warmest and coolest of weather. Our all-season sunrooms bring together best-in-class components for flawless performance. Here is a closer look:

All-season sunroom in white, with a gabled roof, and solid knee panels



- 1 Insulated Roof Panel I-Beams**
- I-beams are the strongest load-bearing structures available
 - Thermal break helps keep the heat into your room
 - Choice of 4- or 6-inch roof panels
 - High R-value and rot-resistant performance
 - Lightweight cores create less stress on your walls and foundation

- 2 Load-Bearing Adjustable Header**
- Tilts to match the pitch of your roof
 - Sealed to become part of the roof
 - Enhances strength and the greater thickness supports a larger glass viewing area

- 3 Center Post Mullion**
- Adds additional strength to your room
 - Designed to conceal wiring
 - Allows outlets to be attractively recessed

- 4 Six-inch Insulated Knee Panels**
- Made to perfectly match the Champion stucco-embossed wall and roof design
 - Designed to resist denting and scratching
 - Cleans easily and will not yellow
 - Panels also available in energy efficient glass

- 5 Six-inch Corner Post**
- Large rectangular design engineered for maximum strength
 - Screws are invisible
 - Provides an attractive, maintenance-free exterior look

- 6 Energy Efficient Glass Windows**
- Superior U-factor helps keep warm air in and cold winter air out
 - Lower Solar Heat Gain number helps keep summer heat out and cool air in
 - Superb energy efficiency
 - Blocks harmful UV rays to reduce fading of carpets, drapes, and furniture
 - Your home is more comfortable year-round

- 7 Energy Efficient Glass Doors**
- High-efficiency, double insulated, argon-filled glass
 - Attractive, contemporary handles with mortised lock
 - Heavy-duty engineering
 - Dual-tandem rollers ensure smooth operation

- 8 Screen Doors**
- Patio-door quality
 - Locking handles
 - Fiberglass mesh will not bend or oxidize

- 9 Door-Sill Track**
- Recessed track prevents air infiltration, and ensures smooth operation
 - Stainless-steel rollers stay rust-free, and are featured on all sliding windows and doors

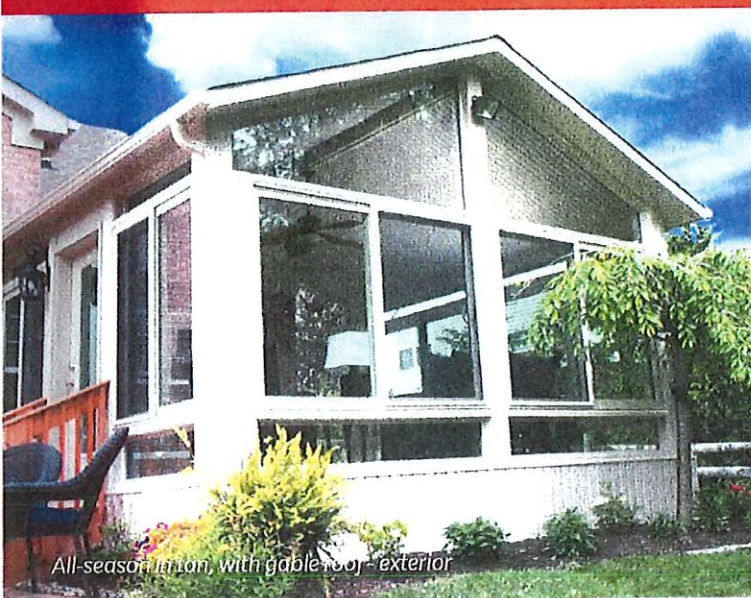
ADDITIONAL FEATURES

- Hidden connectors conceal screws and bolts for an attractive exterior and interior finish
- Raceway hides electric and phone wires
- No exposed aluminum means reduced condensation and a warmer room in the winter
- Larger glass expanses provide maximum panoramic views
- Optional/extra five- or six-inch seamless gutter is matched to your home

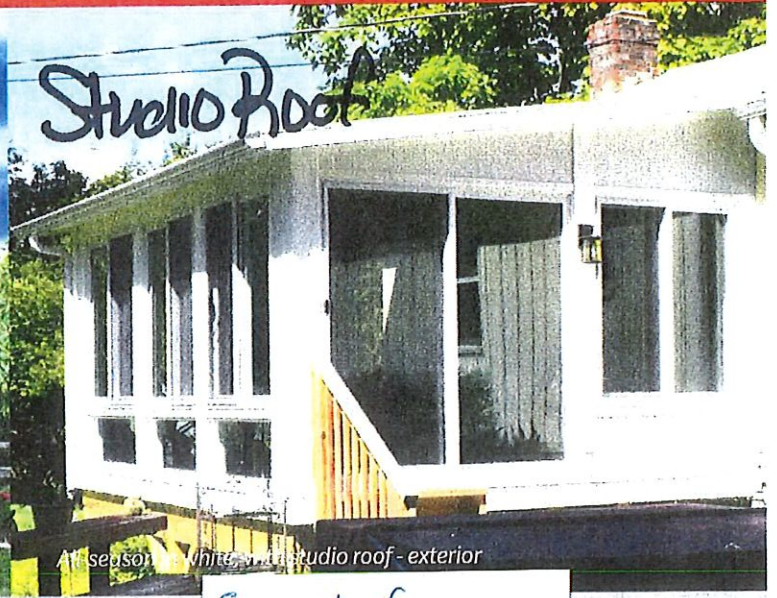
CHAMPION

ROOFING STYLES *Example of Proposed*

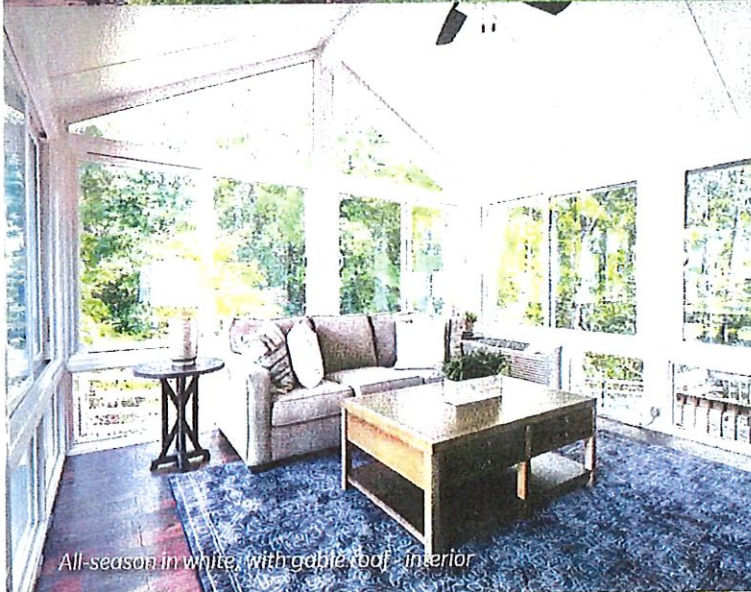
All-season and three-season sunrooms are available with gable or studio roofs to complement your existing architecture. A gable roof has two pitched sides that meet in a peak, while a studio roof is a single plane that slants down from your existing structure.



All-season in tan, with gable roof - exterior



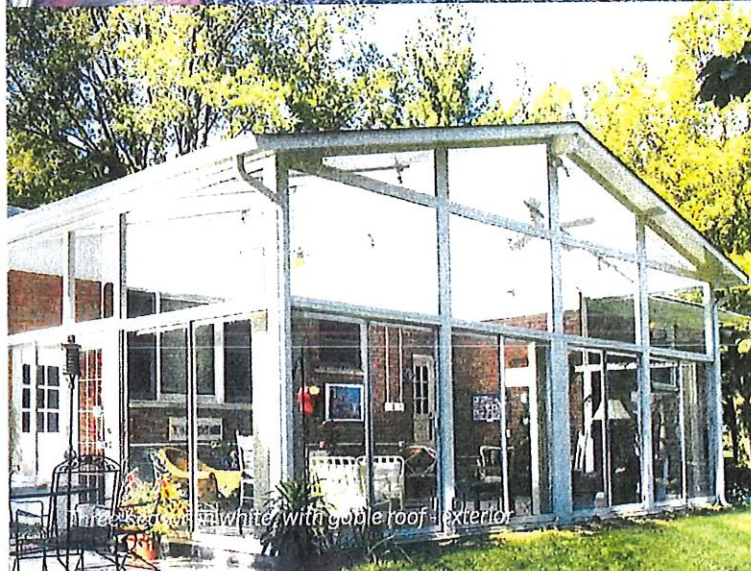
All-season in white, with studio roof - exterior



All-season in white, with gable roof - interior



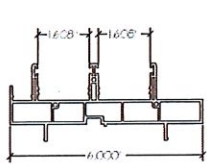
Example of Proposed - color is tan



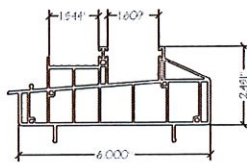
Three-season in white, with gable roof - exterior



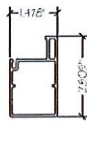
Three-season in white, with studio roof - exterior



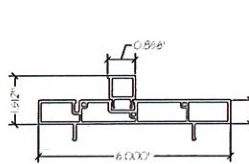
① VINYL FRAME JAMB/HEAD



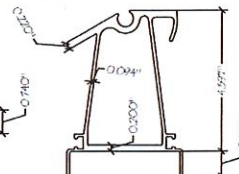
② VINYL FRAME SILL



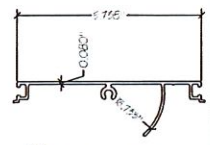
③ VINYL SASH



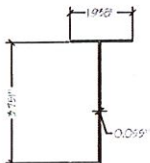
④ TWO PART VINYL TRANSOM



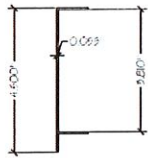
⑤ ALUMINUM HEADER BASE



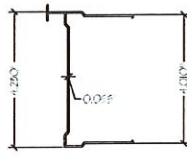
⑥ ALUMINUM HEADER TRIM



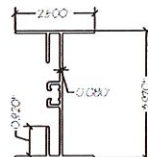
⑦ ALUMINUM 4" SILL



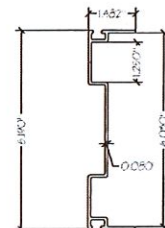
⑧ ALUMINUM 4" F-CANNEL



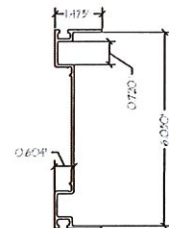
⑨ ALUMINUM 4" HANGER BASE



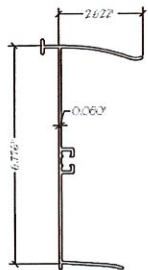
⑩ ALUMINUM 4" I-BEAM



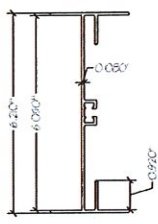
⑪ ALUMINUM FLOOR BASE



⑫ ALUMINUM GIRT SECTION



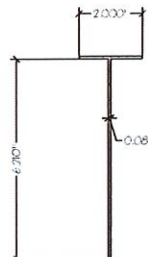
⑬ ALUMINUM 6" HANGER BASE



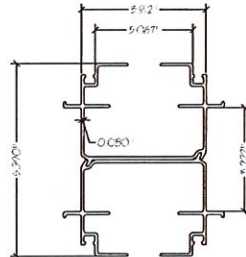
⑭ ALUMINUM 6" I-BEAM



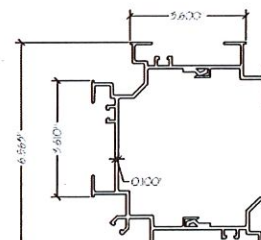
⑮ ALUMINUM 6" F-CANNEL



⑯ ALUMINUM 6" SILL



⑰ ALUMINUM CENTER MULLEN/ROOF POST



⑱ ALUMINUM CORNER POST

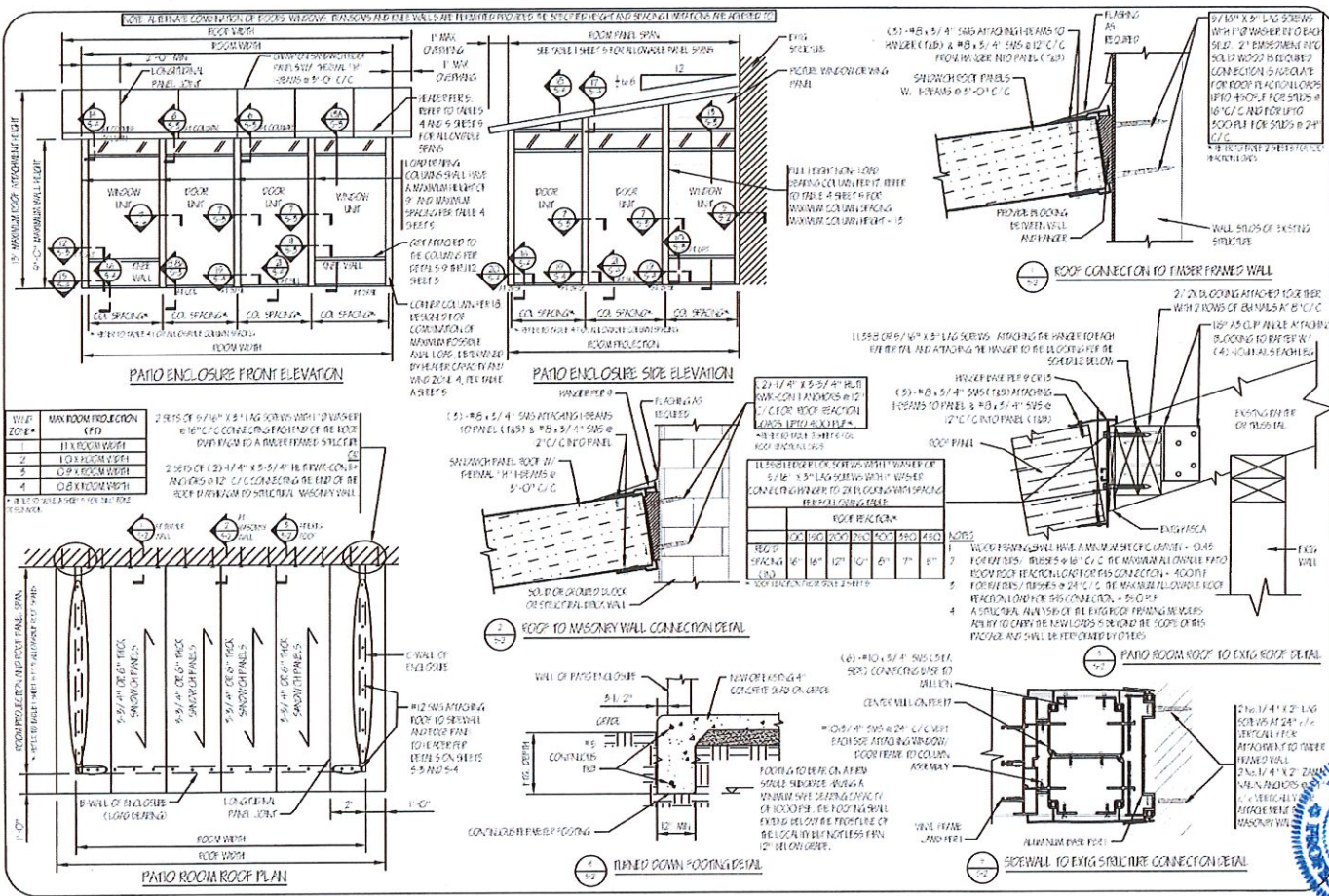
CES
 CHAMPION ENCLOSURE SUPPLIERS
 12111 CHAMPION WAY, CINCINNATI, OH 45241
 PH: (513) 763-3866 FAX: (513) 763-3865

CHAMPION WINDOWS AND PATIO ROOMS
 6" Wall System with Studio Style Roof
 PARTS AND COMPONENTS

DATE: 2/13/19
 SCALE: NTS
 Drawn by: MJG
 REV. DATE:

SHEET 1 OF 3
 MARTIN J. GOSS
 E-34522
 WEST CHESTER, OHIO
 PROFESSIONAL ENGINEER

2/17/2020



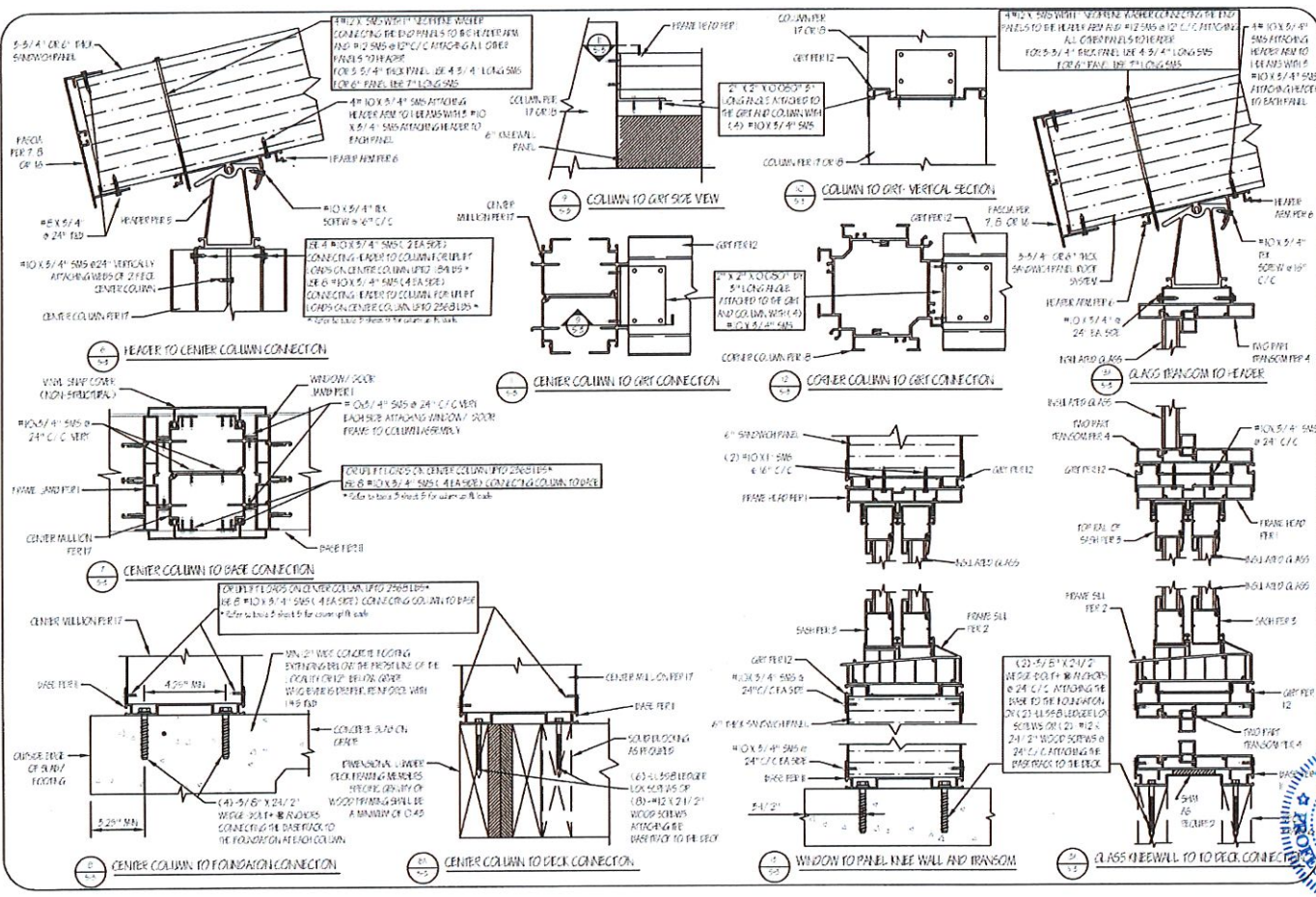
CES
CHAMPION ENCLOSURE SUPPLIERS
 12111 CHAMPION WAY, CINCINNATI, OH 45241
 PH: (513) 752-3388 FAX: (513) 752-3385

CHAMPION WINDOWS AND PATIO ROOM
 6" Wall System with Studio Style Roof
ELEVATION AND SECTION DETAILS

DATE: 2/13/19
 SCALE: NTS
 Drawn by: MJG
 REV: DATE:

WISCONSIN
MARTIN J. GOSS
 E-34522
WEST CHESTER
OHIO
 PROFESSIONAL ENGINEER

2/17/2020



CES
CHAMPION ENCLOSURE SUPPLIERS
 12111 CHAMPION WAY, CINCINNATI, OH 45241
 TEL: 513.252.3535 FAX: 513.252.3535

CHAMPION WINDOWS AND PATIO ROOM
 6' Wall System with Studio style Roof
SECTION DETAILS

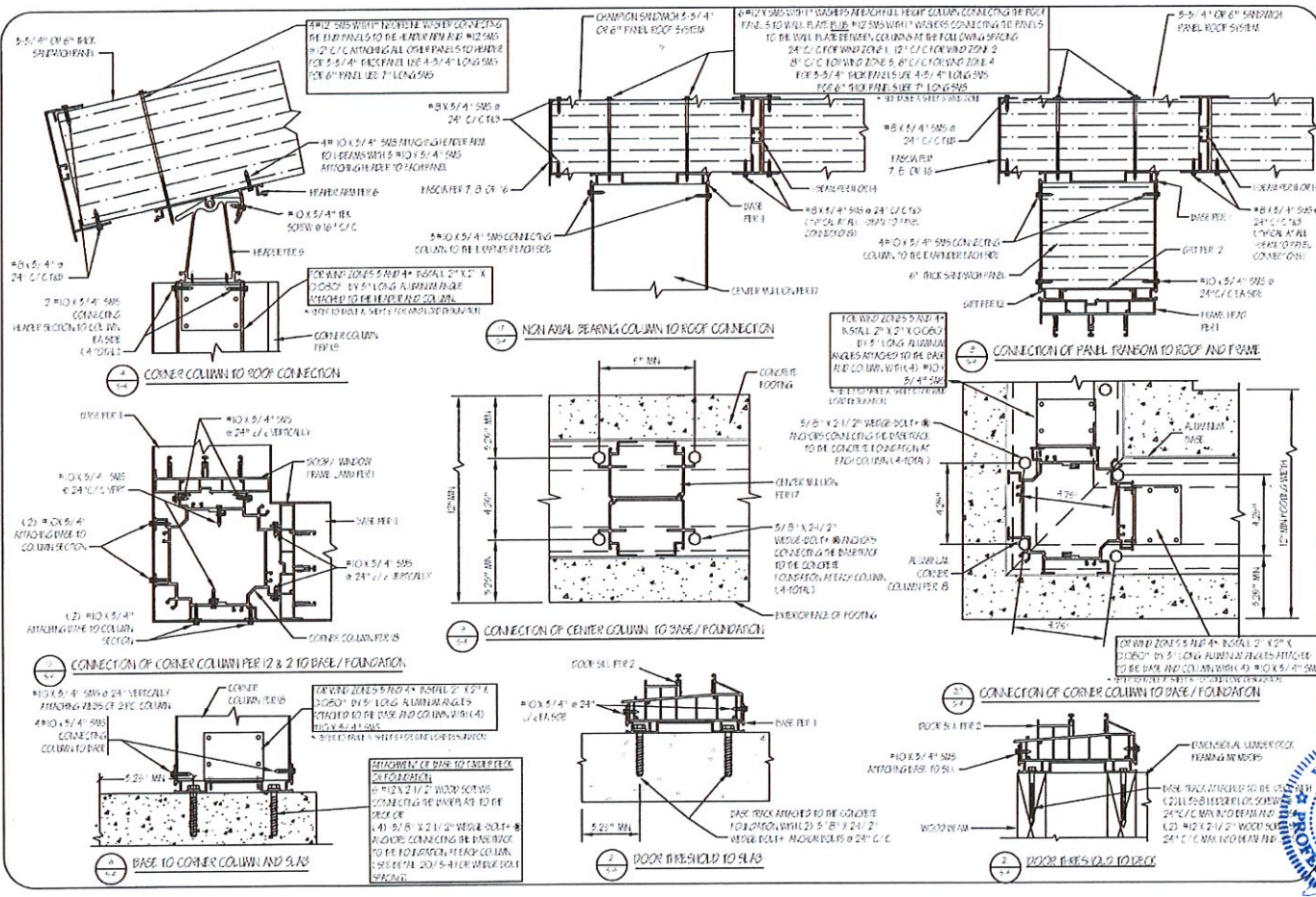
DATE: 2/13/19
 SCALE: NTS
 Drawn by: MJG
 REV. DATE:

SHEET: 3 OF 5

MARTIN J. GOSS
 E-34522
 WEST CHESTER, OHIO
 PROFESSIONAL ENGINEER

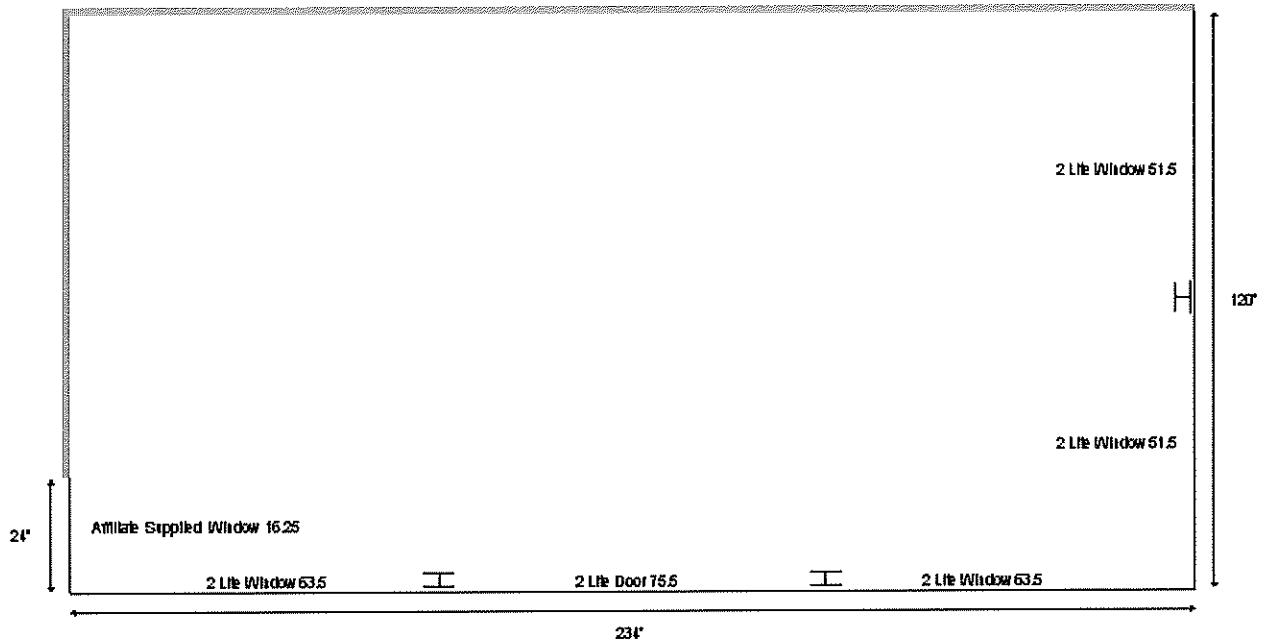
2/17/2020

2/17/2020



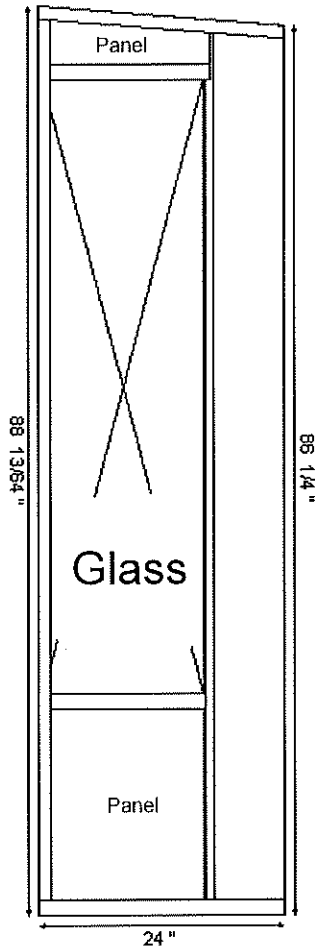
ORDER NO: 1795
ITEM: 1
DATE: 12/15/20

Floor Plan



| Dimensions |
|-------------------------|
| Attachment Height: 96 " |
| B Wall Height: 86.25 " |
| B Wall Width: 234 " |
| A Wall Width: 24 " |
| C Wall Width: 120 " |
| Roof Overhang: 6 " |

A Wall



Dimensions

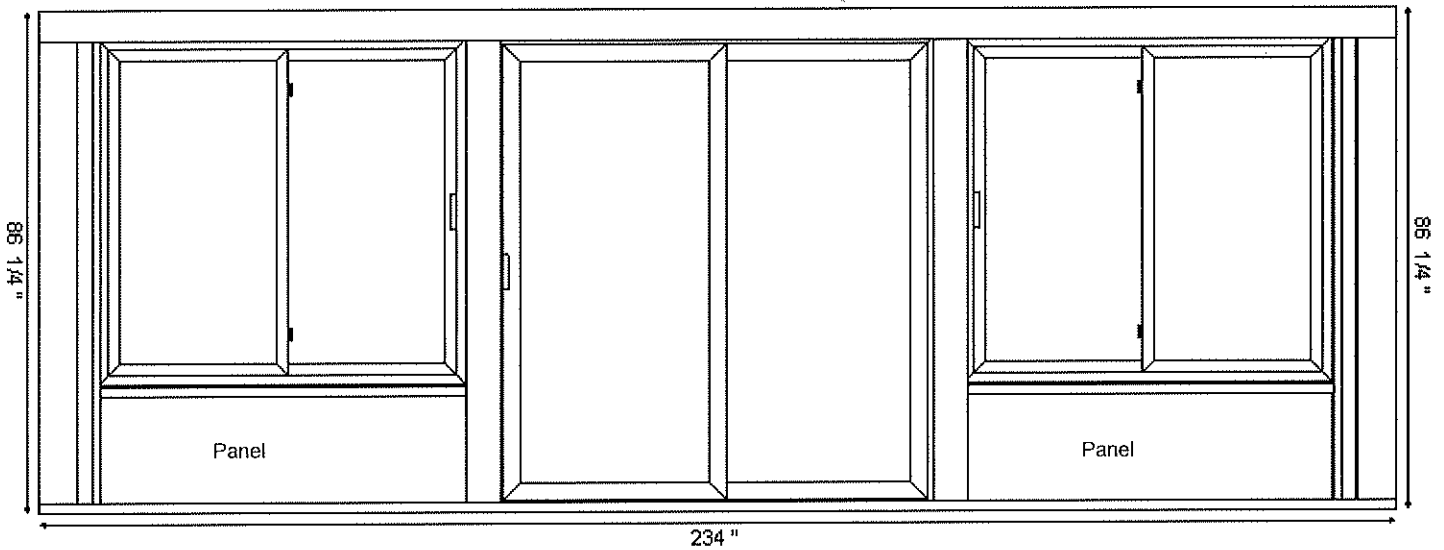
Attachment Height: 96 "
B Wall Height: 86.25 "
A Wall Width: 24 "
Roof Overhang: 6 "

Layout

0.625" (BASE PLATE) + 16.25" (Affiliate Supplied Window) + 6.5625" (Corner Post) + 0.5625"
(Remainder - No Fill)

ORDER NO: 1795
 ITEM: 1
 DATE: 12/15/20

B Wall



Dimensions

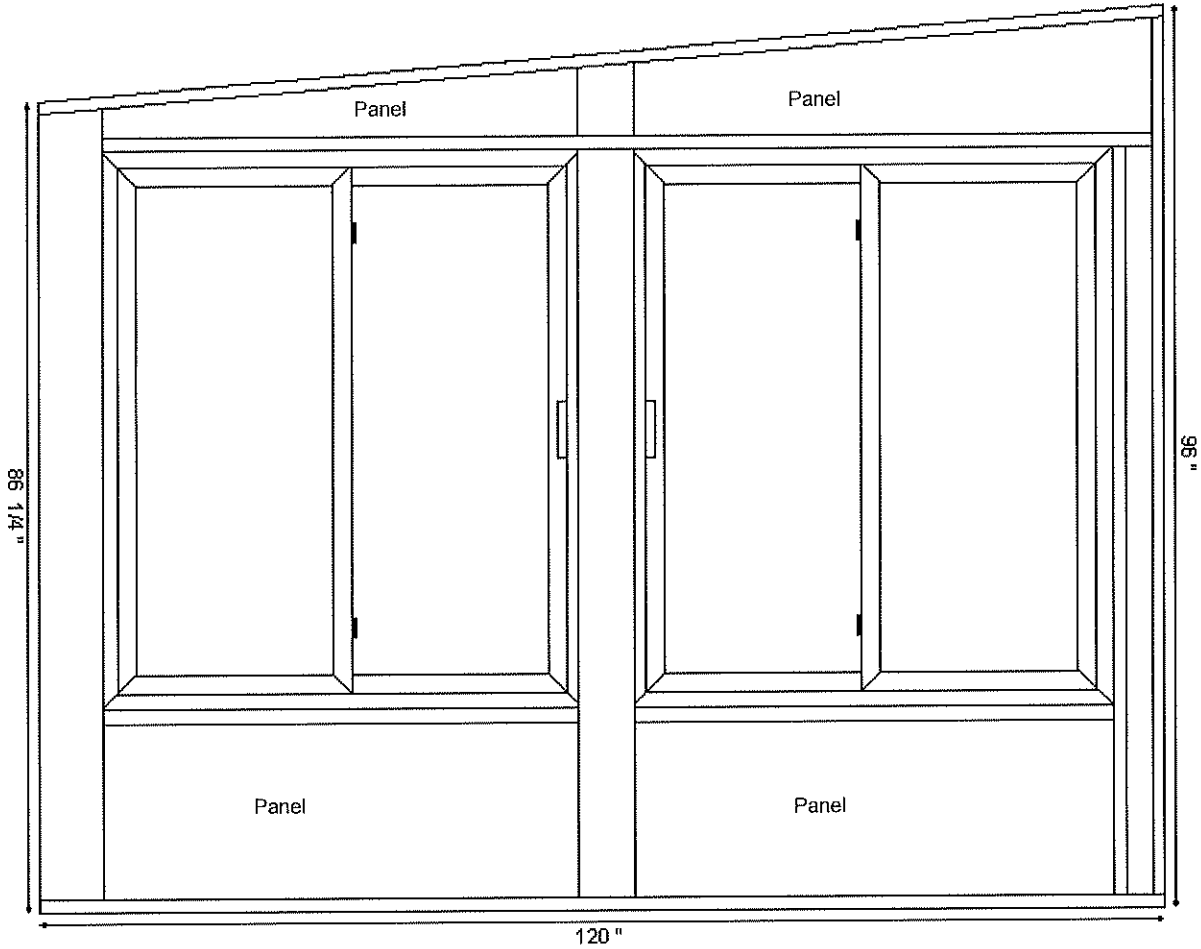
Attachment Height: 96 "
 B Wall Height: 86.25 "
 B Wall Width: 234 "
 Roof Overhang: 6 "

Layout

6.5625" (Corner Post) + 3.5" (Foam) + 0.625" (WINDOW PLATE) + 63.5" (2 Lite Window) + 5.0625"
 (Wall Mullion) + 75.5" (2 Lite Door) + 5.0625" (Wall Mullion) + 63.5" (2 Lite Window) + 0.625"
 (WINDOW PLATE) + 3.5" (Foam) + 6.5625" (Corner Post)

ORDER NO: 1795
ITEM: 1
DATE: 12/15/20

C Wall



Dimensions

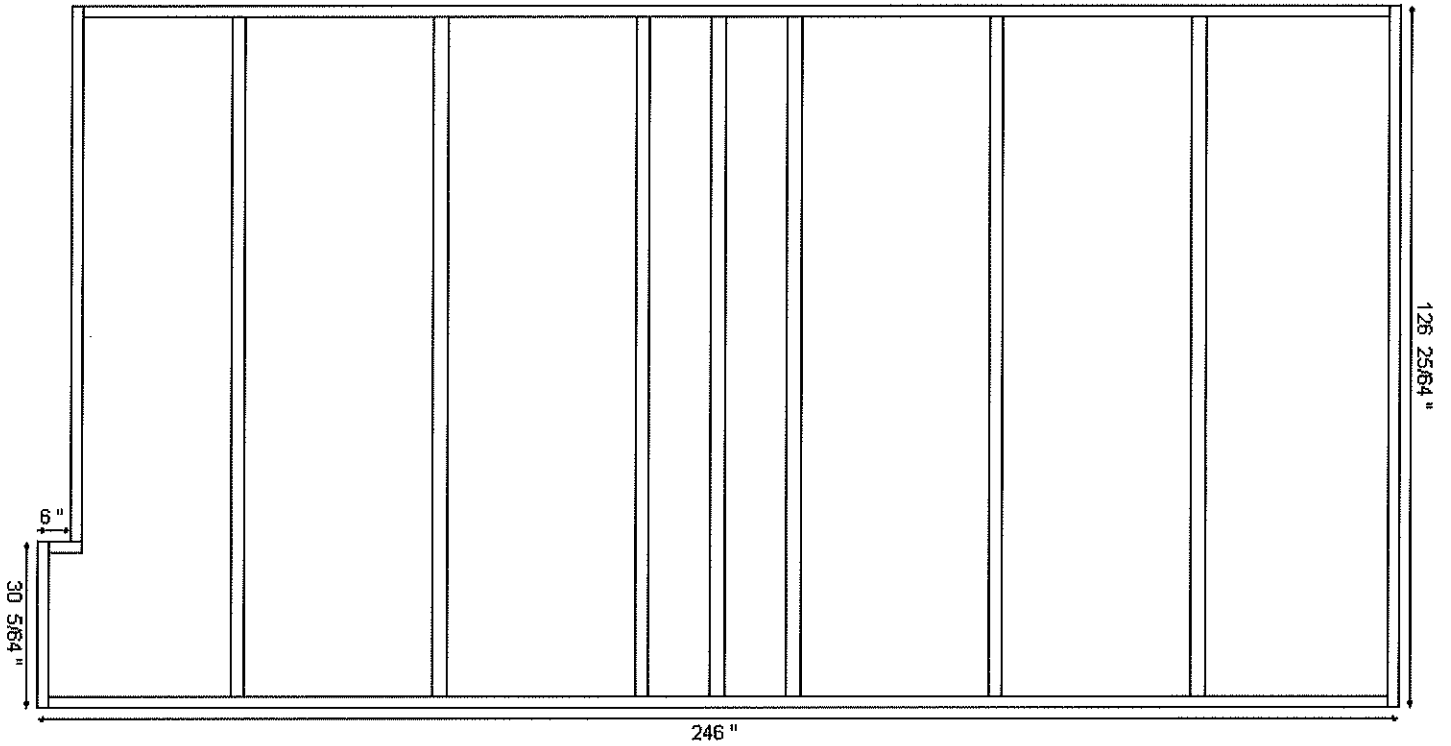
Attachment Height: 96 "
B Wall Height: 86.25 "
C Wall Width: 120 "
Roof Overhang: 6 "

Layout

6.5625" (Corner Post) + 51.5" (2 Lite Window) + 5.0625" (Wall Mullion) + 51.5" (2 Lite Window) + 0.625" (WINDOW PLATE) + 4.125" (Foam) + 0.625" (BASE PLATE)

ORDER NO: 1795
ITEM: 1
DATE: 12/15/20

Roof



Dimensions

Attachment Height: 96 "
B Wall Height: 86.25 "
B Wall Width: 234 "
A Wall Width: 24 "
C Wall Width: 120 "
Roof Overhang: 6 "



08/05/2021

Attention:
Village of Bayside, WI
Architecture Review Committee

| | |
|---|---|
| <p>PROJECT/SITE OWNER: Carlos Bermudez PROJECT ADDRESS: 231 W Fairy Chasm</p> | <p>PROJECT SUMMARY: New fence 4-foot cedar fence 186 lineal feet Open design</p> |
|---|---|

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. Current fence ordinance 104-125 (C) does not allow fences to exceed 50% of the perimeter of the property. The perimeter of the property is approximately 549.72 feet. The applicant states the proposed fence is 186 feet. This is 33.83% of the perimeter of the property. **The maximum open design fence is 274.86, the actual indicated length of fence on the survey is 200 feet.**
2. The four-foot-high cedar fence with stated open design, **they did not supply any photos of the type of fence or examples of the open spacing of the boards.**
3. A current survey was provided
4. The board always considers matching fences with neighboring fences. **It does show the neighboring fence in the photos.**

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**

Project Proposal

Date 8/2/21

Property Address 231 W. FAIRY CHASM RD, BAYSIDE, WI 53217

Zoning RESIDENTIAL

- | | |
|--|---|
| <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input checked="" type="checkbox"/> Bluff Management <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> FirePits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit | <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input checked="" type="checkbox"/> Windows/Doors-change exceeds 25% of opening <input type="checkbox"/> Other |
|--|---|

Proposed project details (type of work, size, materials, etc.):

INSTALLATION OF APPROX. 186' OF 4' HIGH CEDAR SPACED UNIVERSAL DESIGN WITH TWO 4X4 WALK GATES AND ONE 8' DOUBLE DRIVE GATE.

***** *For Office Use Only* *****

| Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Color photographs showing project location, elevations and surrounding views |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Two (2) complete sets of building plans (including elevations and grading) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Survey |
| <input type="checkbox"/> | <input type="checkbox"/> | Samples or brochures showing materials, colors and designs |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Application Fee |
| <input type="checkbox"/> | <input type="checkbox"/> | Parcel Number |
| <input type="checkbox"/> | <input type="checkbox"/> | ARC Agenda Date: |
| <input type="checkbox"/> | <input type="checkbox"/> | Building Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Fill Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Plan Commission/Conditional Use Permit |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tax Key Number |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Right-of-Way/Excavation Permit |
| <input type="checkbox"/> | <input type="checkbox"/> | Variance Required |

Scope of Work

Only items listed are part of this permit. If work is done on items not listed on this permit they will be considered to have been completed without a permit and are subject to double fees.

| Item | Cost |
|---|------------|
| APPROX. 186' OF 6" HIGH 4" DIA. CHAGED UNIVERSAL DESIGN WITH TWO 44" WALKWAYS AND ONE 4" DOUBLE DRIVE GATE. | \$8,100.00 |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

Signature 

Total Cost \$8,110.00 -----

Date 8/2/2021 -----

Requested Changes at time of work

Must be submitted to the Village prior to or same day work is completed. Failure to return the same day will result in double permit fees.

| Item | Cost |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

Total Cost. -----

Signature -----

Date -----

Badger Fence

Work Order

Salesmen TR2

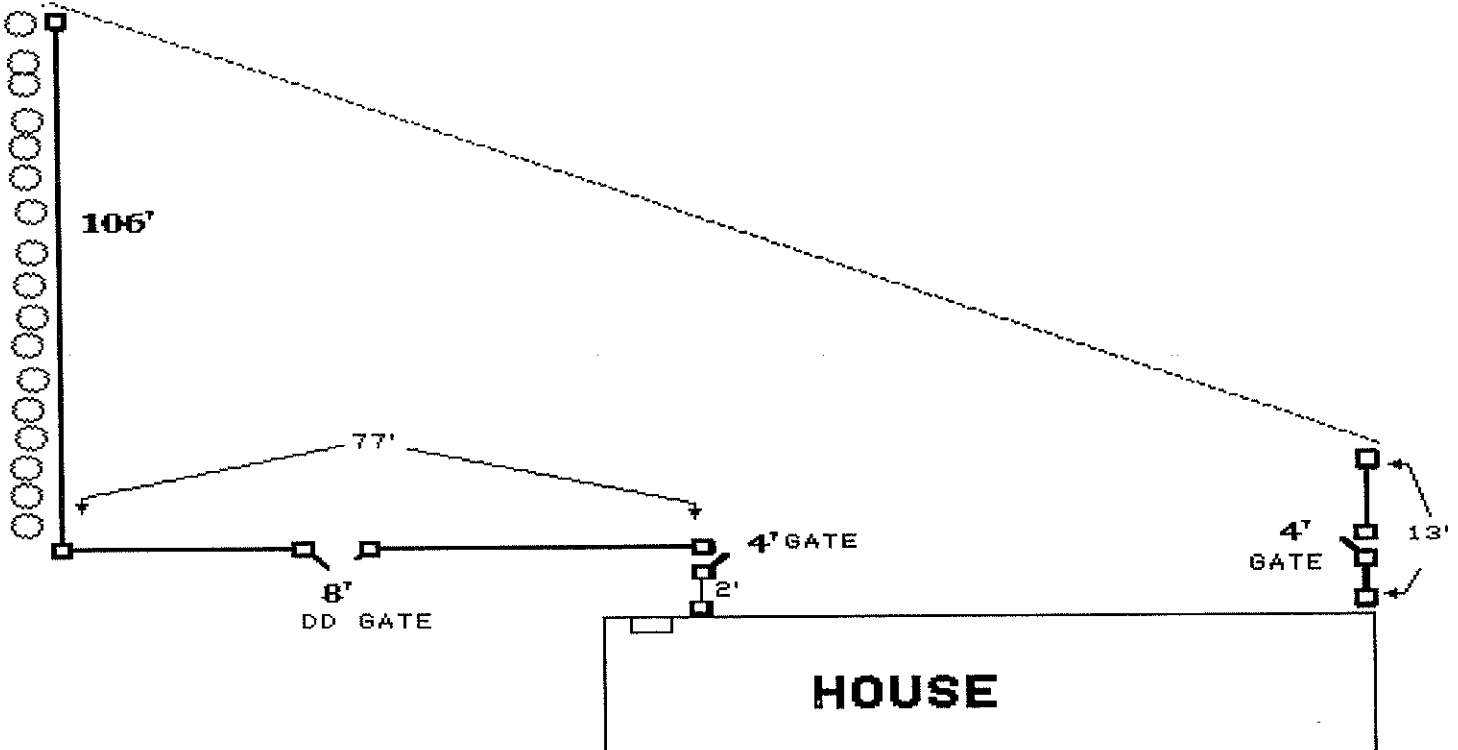
Date 7/22/21

INSTALLED AT:

CARLOS BERMUDEZ
231 W. FAIRY CHASM RD, BAYSIDE
954-305-4586

Proposal # 7083

| SET DATE: _____ CREW: _____ | | | | COMPLETION DATE: _____ CREW: _____ | | | | |
|--------------------------------|--------|---------|---------|------------------------------------|------|-----------------|------------|-----------------|
| Description | Lineal | HT | Style | Line | Term | Gates | Gate Post | Rails |
| SPACED UNIVERSAL | 186' | 4' | DOG EAR | 4X4 | 4X4 | 2@4X4 1@8'DD | 4X4 6X6 | TOP & BOTTOM |
| PERMIT | | | | | | | | |
| 14-16 WEEKS WEATHER PERMITTING | | | | | | | | |
| All Posts in Concrete | YES | HOTLINE | | | | | | |



Plat No. _____

H. C. WEBSTER & SON

MILWAUKEE & WIS.

DONALD W. WEBSTER
REGISTERED CIVIL ENGINEER

ASSOCIATES
ROY J. CHARMOCK

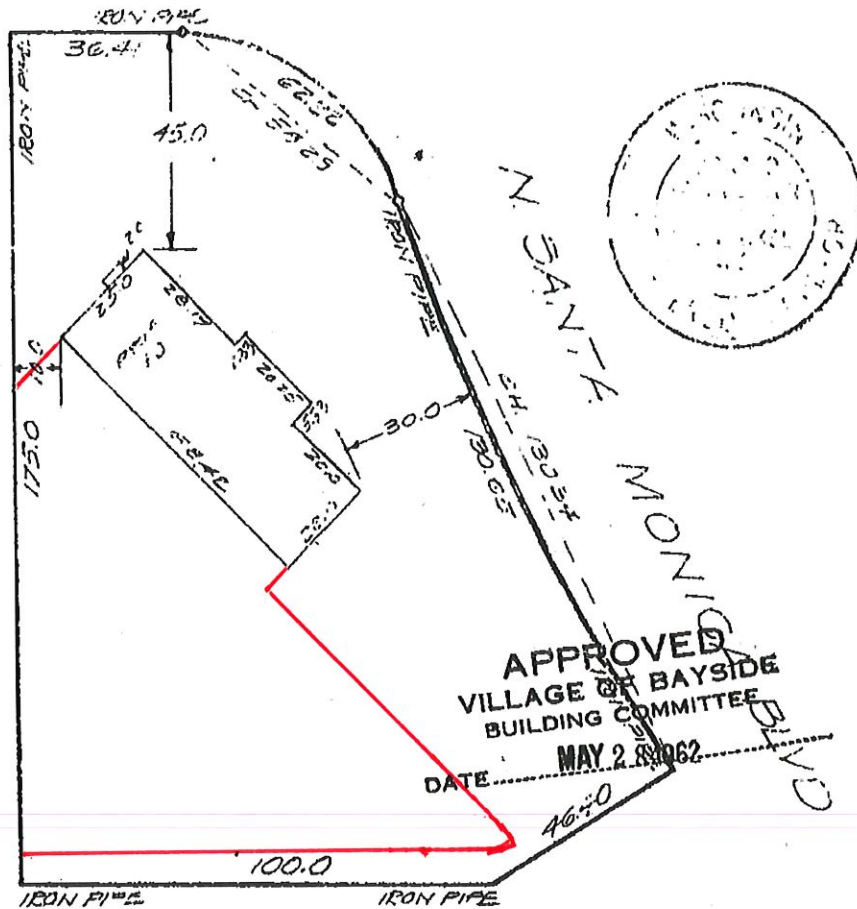
448-5

PLAT OF SURVEY

OF PROPERTY OF M.L. Fishman Bldg. Corporation

described as follows: Lot 5, Block 4, North Acres Addition No. 1 in the SE 1/4 of Section 5, Town 3 North, Range 22 East in the Village of Bayside, Milwaukee County Wisconsin.

W. FAIRY CHURCH RD



APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE
DATE MAY 2 8 1962

AFFIDAVIT: SCALE 1" = 30 FT.
I hereby certify that I have made a survey on
.....195..... and that the location
of the.....Building on above described
property is correctly shown on the above plat.

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

I, D. W. WEBSTER, Surveyor, do hereby certify that I
have made a survey of the above described property and that
the above plat is a true representation of said survey.

Milwaukee, Wis. April 3 1962

D. W. Webster









