



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
April 24, 2023
Village Board Room 6:00pm

ARCHITECTURAL REVIEW COMMITTEE AGENDA

PLEASE TAKE NOTICE that a meeting of the Bayside Architectural Review Committee will be held at the Village Hall of the Village of Bayside, 9075 N. Regent Road, Bayside, Wisconsin in addition to virtually. Public can access this meeting of the Architectural Review Committee by phone or by computer. The phone number is: +646 931 3860. The Zoom Meeting code is: **810 7540 7593** and the Passcode is: **224330**.

<https://tinyurl.com/3bd6j9h4> Persons desiring to speak in the remote format on a specific agenda item should register twenty-four hours in advance by calling (414) 206-3915. The following items of business will be discussed and possibly acted upon:

I. CALL TO ORDER AND ROLL CALL

II. APPROVAL OF MINUTES

- A. Approval of April 10, 2023 meeting minutes.

III. BUSINESS

- A. **9240 N Tennyson Dr – Mark & Ann Berkoff** The proposed project is the construction of a 545 square foot house addition and 36 lineal feet of 6-foot black aluminum fence.
- B. **306 W Ravine Baye Rd – Drew Perugino** The proposed project is the construction of a front and rear deck.
- C. **9607 N Lake Dr – Elizabeth & Joe Colacino** The proposed project is the construction of a 22-foot by 21-foot deck.
- D. **8640 N Pelham Pkwy – Bob & Ginny Stoffel** The proposed project is the construction of an 11-foot by 13-foot deck and hot tub.
- E. **8950 N Fielding Rd – William Kingdon** The proposed project is the construction of 256 lineal feet of 4-foot wooden picket fence.
- F. **8570 N Fielding Rd – Glenda Ruder & Scott Rudie** The proposed project is the construction of 92 lineal feet of 4-foot wooden dog eared fence.
- G. **8550 N Fielding Rd – Monica Scharfenberger** The proposed project is the construction of 42 lineal feet of 4-foot 6-inch black aluminum fence.
- H. **8927 N Navajo Rd – John & Elise Poelking** The proposed project is the construction of 57 lineal feet of 4-foot wooden picket fence.
- I. **9296 N Broadmoor Dr – Diana & Issak Lerner** The proposed project is the construction of 486 square foot garage addition, adding skylights to the roof, seamless metal patio roof, and new windows.
- J. **9100 N Fielding Rd – Julia & Kathleen Pandl** The proposed project is the construction of a 54 lineal feet of five-foot black/bronze metal open design fence.

IV. ADJOURNMENT

Emma Baumgartner
Operations Assistant

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at 414-206-3915. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of

the Village may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.baysidewi.gov).



Village of Bayside
9075 N Regent Road
Architectural Review Committee Meeting
April 10, 2023
Village Board Room, 6:00pm

**ARCHITECTURAL REVIEW COMMITTEE
MINUTES**

I. CALL TO ORDER AND ROLL CALL

Chairperson Krampf called the meeting to order at 6:00 pm.

II. ROLL CALL

Chair: John Krampf
Members: Dan Zitzer
Marisa Roberts
Tony Aiello
Kavin Tedamrongwanish
Kelly Marrazza
Trustee Liaison: Mike Barth - Excused
Also Present: Operations Assistant Emma Baumgartner

III. APPROVAL OF MINUTES

A. Approval of March 13, 2023, meeting minutes.

Motion by Committee Member Roberts, seconded by Committee Member Zitzer, to approve the March 13, 2023 meeting minutes. Motion carried unanimously.

IV. BUSINESS

A. 310 W Fairy Chasm Rd – Erin Lindsay & Sam Westcott

Angela Westmore, project designer, appeared on behalf of the project. There were no neighbors in attendance.

Ms. Westmore described the project as a remodel of the kitchen with changes to the windows at the back of the house and one door. The new windows will be a single mold three wide unit. One door will be removed from the back of the house.

Motion by Committee Member Roberts, seconded by Committee Member Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

B. 9100 N Fielding Rd – Julia & Kathleen Pandl

This project was tabled.

C. 9444 N Sleepy Hollow Ln – Chris Bick

Mr. Bick, homeowner, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Bick described the project as a new black steel fence. The fence will have one gate.

Motion by Committee Member Zitzer, seconded by Committee Member Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

D. 8669 N Lake Dr – Heather & Peter Klug

Mike Bohlen, lead designer, appeared on behalf of the project. There were no neighbors in attendance.

Mr. Bohlen described the project as constructing a new retaining wall and steps to replace the current failing retaining wall. The new wall will be constructed with natural lannon stone.

Motion by Committee Member Zitzer, seconded by Committee Member Aiello, to approved the project as described and presented in the application. Motion carried unanimously.

V. ADJOURNMENT

Motion by Committee Member Aiello, seconded by Committee Member Tedamrongwanish, to adjourn meeting at 6:36pm. Motion carried unanimously.

Emma Baumgartner
Operations Assistant

03/29/2023

PROJECT/SITE OWNER: Mark and Anne Berkoff PROJECT ADDRESS: 9240 N Tennyson Dr.	PROJECT SUMMARY: Addition to the house 545 square feet Fence 6 foot tall black aluminum 36 feet open design
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I have reviewed the proposed single-story addition and fencing for compliance with the Village's ordinances and have determined the following for consideration.

"A" residence district regulation.

1. Meets current setbacks
2. Meets the required height restrictions
3. A current survey was submitted.
4. The applicant stated that they are matching the existing house with materials.
5. The board always considers the aesthetics of the project.
6. The proposed fence meets the Villages fencing ordinance.
7. This review is only for ARC and not for a building permit.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date March 23, 2023

Property Address 9240 North Tennyson, Bayside, WI 53217

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Kitchen Remodel with Mudroom and Skullery addition. Addition of third car parking stall. Matching exterior
Hardi Plank Siding, white Marvin Windows, and white Painted brick at Garage Addition.

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <u>4-24-23</u> <input type="checkbox"/> Parcel Number: <u>0189971000</u> <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input checked="" type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input checked="" type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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Berkoff Dog Fence UPDATED

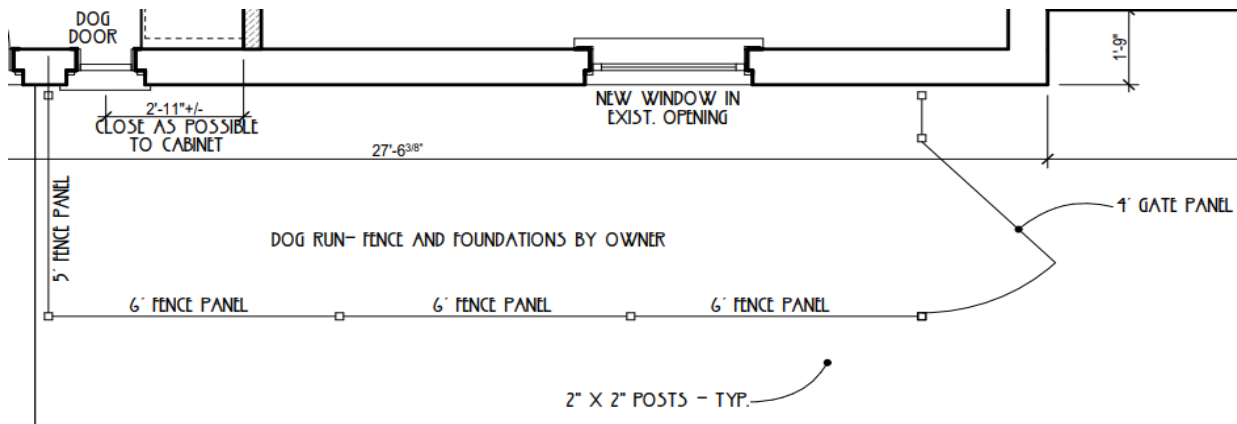
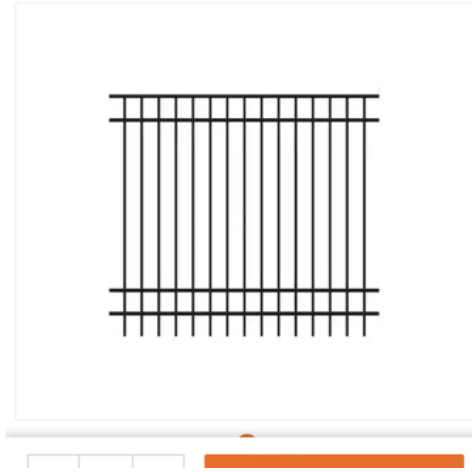
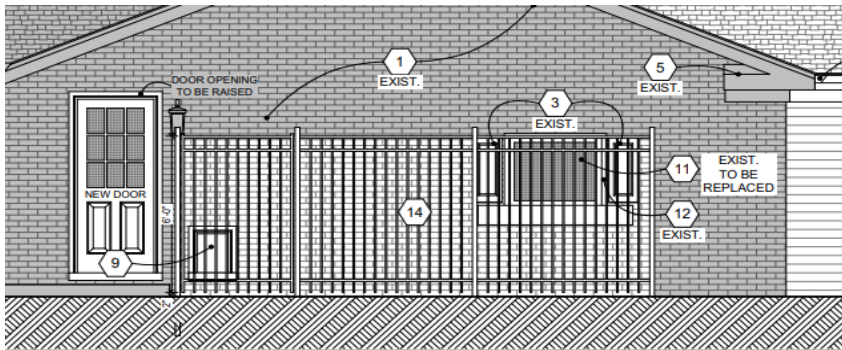
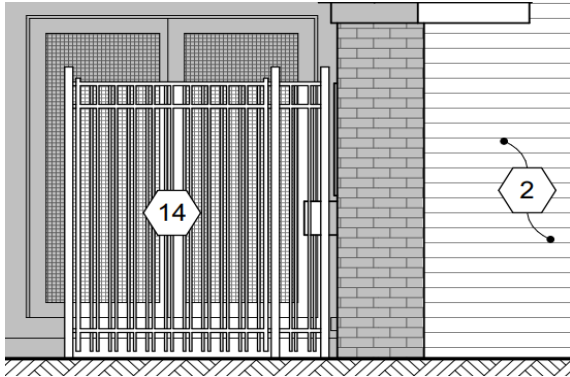
5' Wide x 18' Long x 6' Tall

140

Barrette Outdoor Living

Natural Reflections
Standard-Duty 6 ft. H x 6 ft.
W Black Aluminum Pre-
Assembled Fence Panel

★★★★★ (5)



Cornerstone Land Surveying, Inc.

Plat of Survey

Surveyor:
Richard Simon
5080 Fairy Chasm
West Bend, WI 53095
rs2698@gmail.com
(262) 424-5630

Address:
9240 North Tennyson Drive
Bayside, WI 53217

Description: As described on Document No. 10782542 Milwaukee County Registry

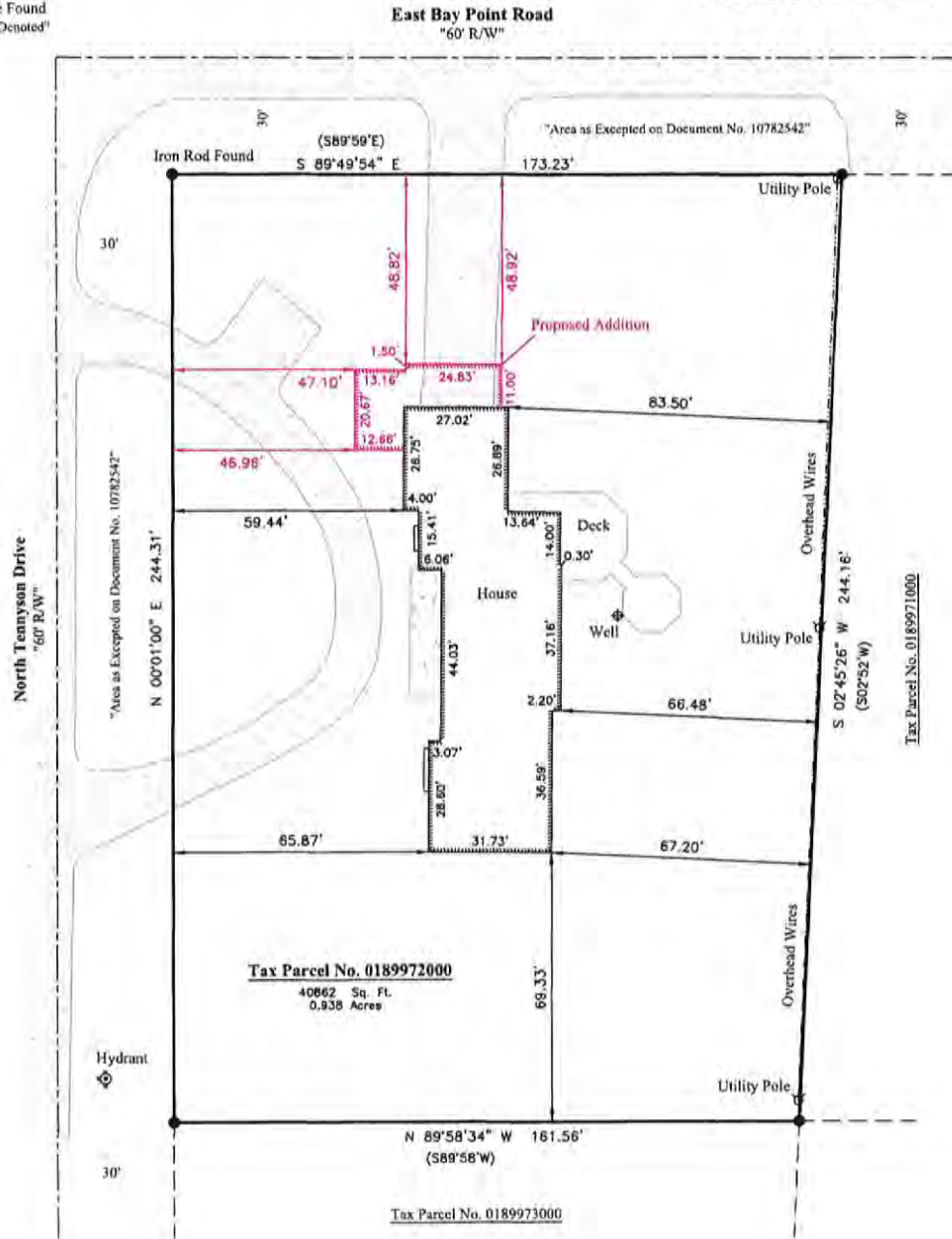
That part of the Northeast $\frac{1}{4}$ of Section 4, Township 8 North, Range 22 East, Village of Bayside, Milwaukee County, Wisconsin, described as follows: Commencing at the Southwest corner of said $\frac{1}{4}$ Section; thence N89°58'E along the South line of said $\frac{1}{4}$ section, 735.46 feet to a point in the centerline of a 60 foot public road; thence Northerly along the center of said public road on a curved line (whose center lies to the West having a radius of 521.70 feet and whose long chord is 224.76 feet long and bearing N12°27'E) a distance of 226.42 feet to a point of tangency; thence N00°01'E along the centerline of said public road, 55.58 feet to the place of beginning of the land to be described; thence continuing N00°01'E along the centerline of said public road, 273.97 feet to a point; thence S89°59'E along the centerline of a 60 foot public road, 205.00 feet to a point; thence S2°52'W on a line 274.14 feet to a point, thence S89°58'W, on a line 191.37 feet to the place of beginning. Excepting the West 30 feet and the North 30 feet thereof.

Scale 1" = 30'



Legend:

- Denotes Iron Pipe Found
"Unless Otherwise Denoted"



Notes:

- 1) Bearings or Distances in () are Recorded Measurements
- 2) In providing this boundary survey no attempt has been made to obtain or show data concerning the existence of any utility on the site, whether private, municipal, or public owned.
- 3) No Title Policy furnished therefore completeness of easements is not warranted.

STATE OF WISCONSIN) SS
COUNTY OF WASHINGTON)

"I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY ACCORDING TO OFFICIAL RECORDS AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO, WITHIN ONE YEAR FROM THE DATE HERETO."

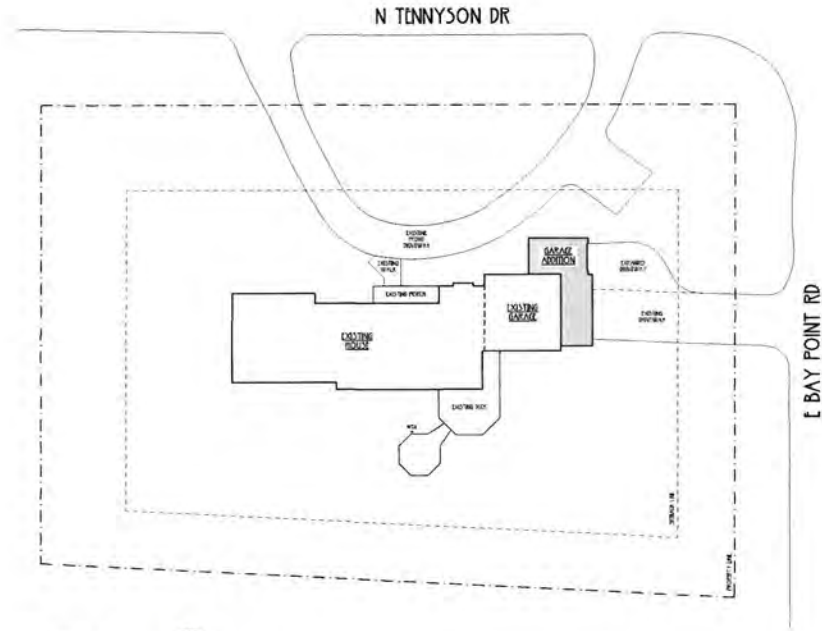
Survey For: Mark and Anne Berkoff
Dated this 10th day of March, 2023.
Revised this 22nd day of March, 2023.

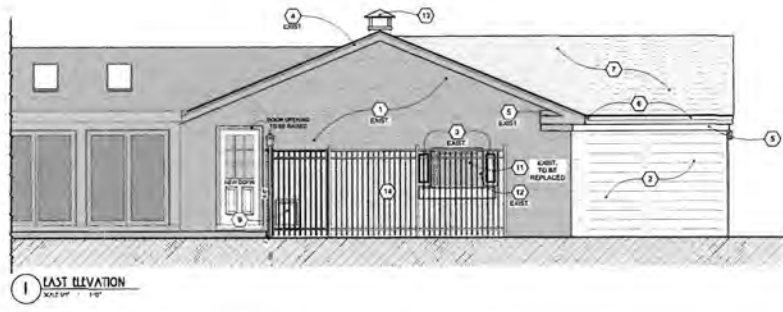
DOCUMENT KEY	
	EXISTING WALLS TO REMAIN
	WALLS TO BE REMOVED
	CONCRETE/PAVE 2'x4" WALL 3" MAX WITH 6"x6" RC
	FINISHWORK EXTENDS BELOW
	FINISHWORK EXTENDS ABOVE
	CEILING / WALL CORNER ELEMENTS ABOVE
	FLOOR TO BE REMOVED IN RENOVATION
	INDICATE ELEVATION FINISH SEE TO SHEET A31A FOR ELEVATED VIEW

SHEET INDEX	
CU	SITE PLAN
DU	FIRST FLOOR DEMOLITION PLAN
FU	FIRST FLOOR PLAN
AU1	EXTERIOR ELEVATIONS: DETACHED 1P HOUSE PLAN
AU2	INTERIOR ELEVATIONS
D1	FIRST FLOOR ELECTRICAL PLAN

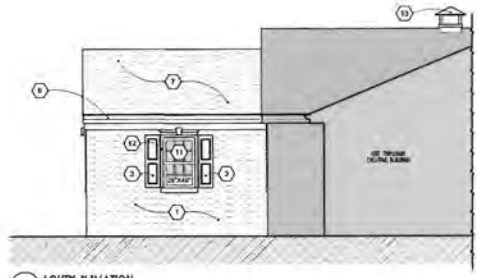


SITE CALCULATIONS	
TOTAL SITE AREA	: 40,862 SF
EXISTING BUILDING AREA	: 3,532 SF
ADDITION BUILDING AREA	: 545 SF
TOTAL BUILDING AREA	: 4,077 SF
PERCENT OF TOTAL SITE AREA	: 9.98 %

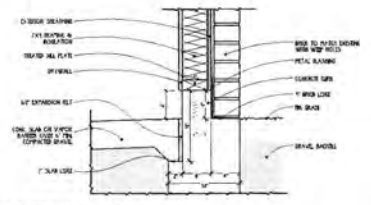




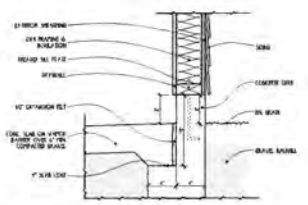
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



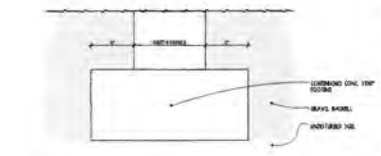
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



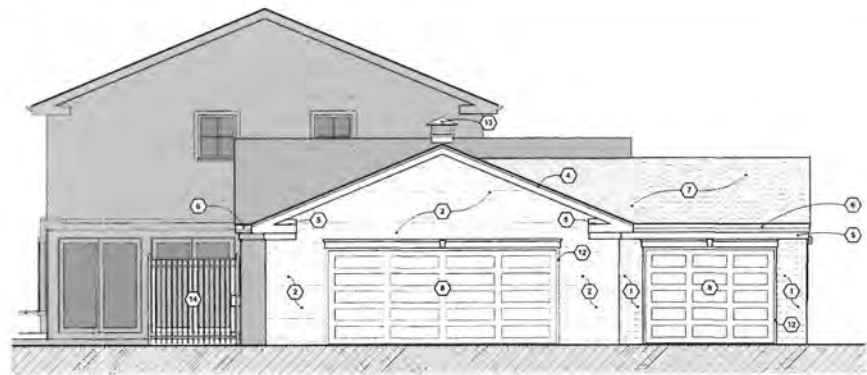
8 FOUNDATION AT BRICK WALLS
SCALE: 1/4" = 1'-0"



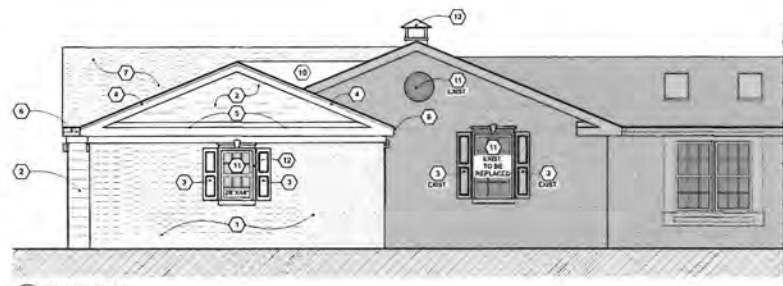
7 FOUNDATION AT SIDING WALLS
SCALE: 1/4" = 1'-0"



9 TYPICAL FOOTING DETAIL
SCALE: 1/4" = 1'-0"

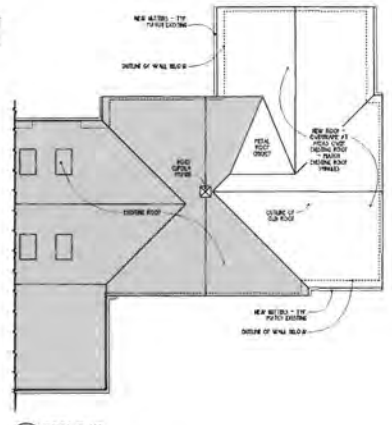


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

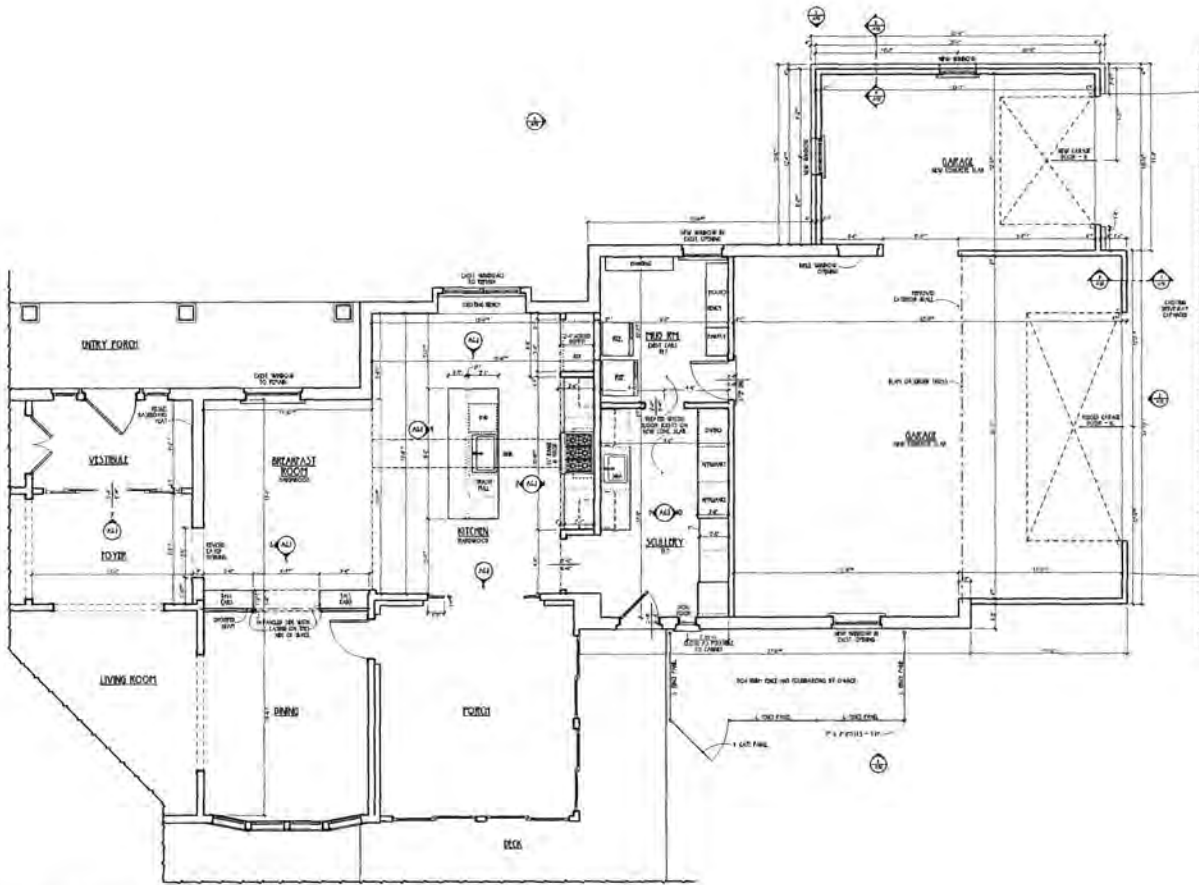


3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

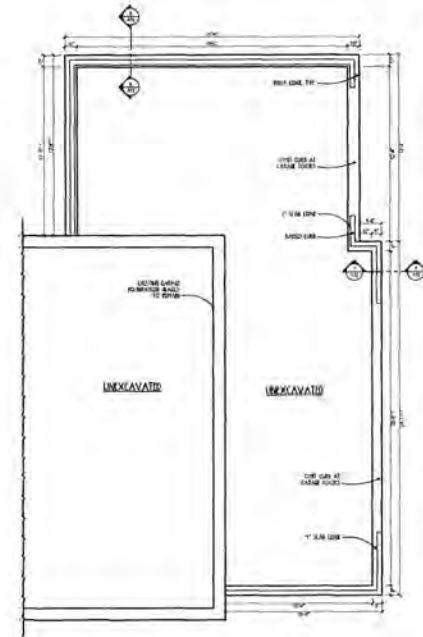
EXTERIOR ELEVATION NOTS	
1	PAINTED BRICK - PAINTED EXTERIOR - NEW POLYURETHANE AS FINISH
2	BRICK
3	BRICKS
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7	BRICKS WITH 1/2\"/>
8	BRICKS WITH 1/2\"/>
9	BRICKS WITH 1/2\"/>
10	NEW BRICKS - PAINTED EXTERIOR - POLYURETHANE FINISH
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98	BRICKS TO BE REPLACED
99	BRICKS TO BE REPLACED
100	BRICKS TO BE REPLACED



6 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



P E N &
H A M M E R



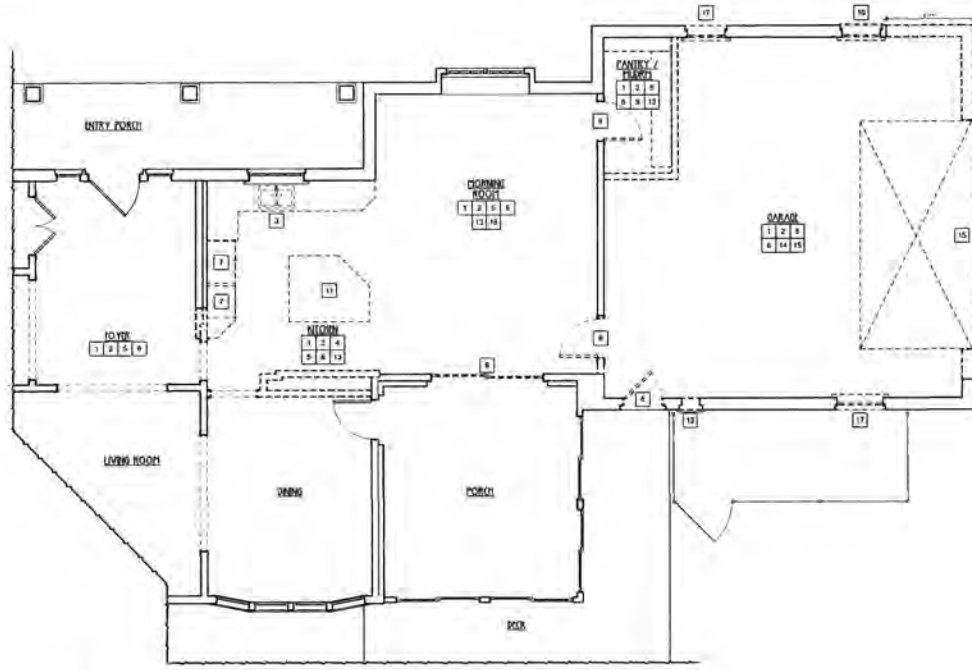
TENNYSON RENOVATION
9249 N TENNYSON DR
BAYSIDE, WI 53217
PROJECT NUMBER: PROJECT # 2214

DATE: 04/20/2023
BY: [Signature] 17:00:00
17:00:00

FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"
PEN & HAMMER ARCHITECTURE, INC.
1000 W. WISCONSIN AVENUE, SUITE 200
MILWAUKEE, WISCONSIN 53233
TEL: 414.224.4444 FAX: 414.224.4444
WWW.PENANDHAMMER.COM



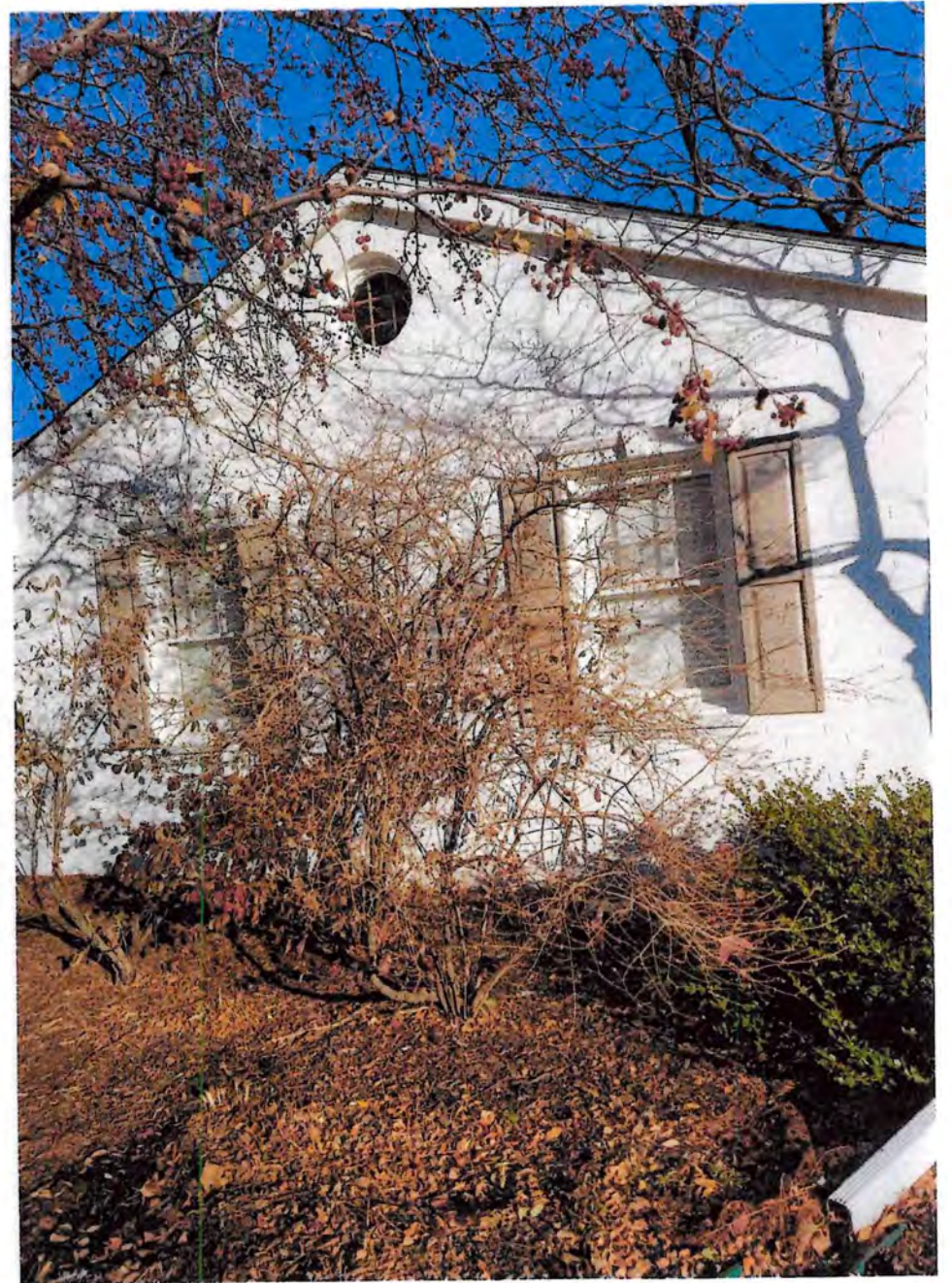
4330 N. ORCHARD AVE #105 MILWAUKEE WISCONSIN 53217 TEL: 414.224.4444



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"
NORTH

DEMOLITION NOTES

- 1 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 2 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 3 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 4 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 5 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 6 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 7 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 8 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 9 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 10 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 11 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 12 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 13 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 14 REMOVE BRICK AS SHOWN - LEAVE EXPOSED
- 15 REMOVE BRICK AS SHOWN - LEAVE EXPOSED





Impervious Surface Calculator

Total Square Footage of Property		53521.1
Current Impervious Surface		
	Home	1206
	Accessory Structure(s)	
	Driveway	3936.6
	Deck/Patio	402.4
	Other	
	Total	5545
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		545
	TOTAL	6090
Current + Proposed Percent of Impervious Surface		11.3786899
Address	Zone	
9240 N Tennyson Dr	Zone A - 25%	

03/29/2023

PROJECT/SITE OWNER: Drew Perugino PROJECT ADDRESS: 306 W Ravine Bay Rd.	PROJECT SUMMARY: Rebuild / expand front porch, rebuild rear patio, replace concrete patio with pavers
--	---

I have reviewed the proposed front porch expansion and replacement of patios for compliance with the Village's ordinances and have determined the following for consideration.

1. Building Inspection has no issues with this review.
2. The board always considers the aesthetics of the project.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 03/27/2022

Property Address 306 W. Ravine Bay Rd.

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Rebuild & expand existing front porch using Lannon stone coping & "Bristol Valley" unilock pavers. Rebuild rear patio w/ same material, retain size of existing. Replace existing rear concrete patio w/ new paver patio & install footings for future pergola & grill island

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input checked="" type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input checked="" type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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16-0170 74.7
19.3 43.7

Date July 31, 1978

PLAT OF SURVEY

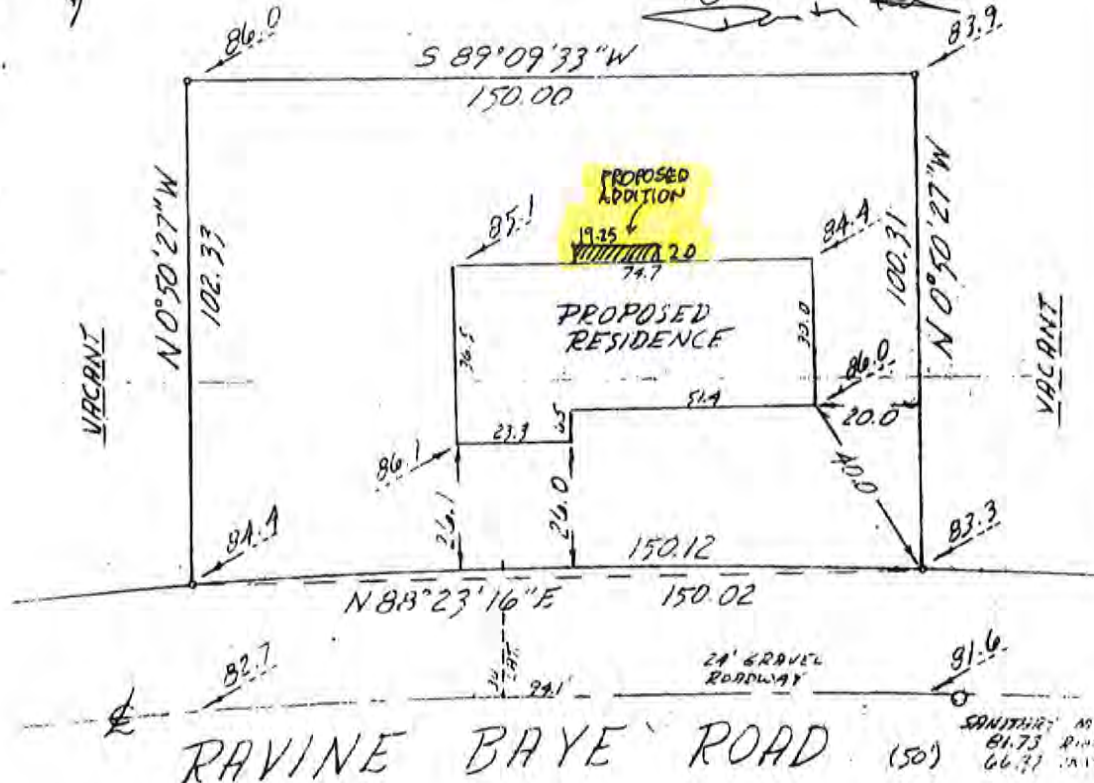
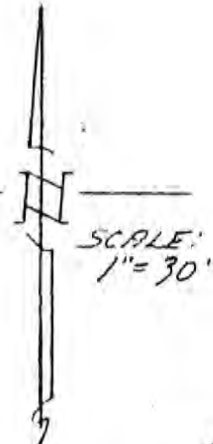
Job No. BA-3218-M

LOT 7, RAVINE BAYE ESTATES NO. 1, being a subdivision of part of the Northeast 1/4 of Section 5, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

APPROVED
VILLAGE OF BAYSIDE
BUILDING COMMITTEE

DATE **AUG 31 1992**

John Moom
Jim Coff
Brian Strait



Surveyed For:

Kingfogl Construction Corp.
3145 N. 124th Street
Brookfield, Wis. 53005

FINISHED GRADE

87.0

*OK BY 8/10/92
village of Bayside
5/11/92*

SURVEYED BY
PRUDLOW & BUECHL, INC.
233 OAKTON AVENUE
PEWAUKEE, WISCONSIN 53072

Phone 891-4444

I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, roadways and visible encroachments.

This survey is made for the exclusive use of the present owners of the property; also those who purchase, mortgage or guarantee the title thereto, within one year from date hereof, and to them I warrant the accuracy of said survey and map.

Michael W. Buechl
REGISTERED LAND SURVEYOR NO. 8-1106 - STATE OF WISCONSIN





PERUGINO RESIDENCE

MATERIAL PRESENTATION



PORCH MATERIAL

LANNON STONE COPING

Chisel Face, Thermal Top



Lannon top caps add to, and complete, any natural stone look in the landscape. They can be the finishing touch to any seat wall, fire pit or retaining wall. As natural stone product, color and texture may vary. Tones ranging from gray to buff can be expected.



LIGHTING OPTIONS

WALL LIGHTING

FXLuminare BP Wall Light



SIZE: 1" H. X 6.75" W.

Wall lights have the ability to perfectly illuminate hardscaping in your landscape. The copper/brass construction of this pathway light provides a unique accent to the landscape in the dark as well as in daylight.



PATIO MATERIAL OPTIONS

UNILOCK 'BRISTOL VALLEY' PAVERS



The subtle surface texture and an understated edge detail of Bristol Valley brings a new, refined elegance to the landscape. The added advantage of EasyClean™ which provides integral surface protection from stains minimizes maintenance in heavily trafficked spaces. Combined with the blended long-lasting colors of Enduracolor, Bristol Valley is an excellent choice for walkways, plazas and pedestrian applications.

UNILOCK 'BRISTOL VALLEY' PAVERS

Color Options & Sizes



Sizes:



SMALL RECTANGLE
36 CM X 18 CM X 6 CM
14.125" X 7.125" X 2.375"



SQUARE
36 CM X 36 CM X 6 CM
14.125" X 14.125" X 2.375"



LARGE RECTANGLE
54 CM X 36 CM X 6 CM
21.25" X 14.125" X 2.375"

COBBLE BORDER

Tumbled



SIZE: 10" L. X 5" W.

Tumbled cobble borders add a natural accent to any landscape. The size of these cobbles create a distinct border next to any paver or natural stone option. Color will vary between gray, buff, golden, and charcoal mix because this is a natural stone product.

Impervious Surface Calculator

Total Square Footage of Property		15240.1
Current Impervious Surface		
	Home	1206
	Accessory Structure(s)	
	Driveway	1802.9
	Deck/Patio	
	Other	
	Total	3008.9
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		630
	TOTAL	3638.9
Current + Proposed Percent of Impervious Surface		23.87713991
Address	Zone	
306 w ravine baye rd	Zone B - 35%	

04/10/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Elizabeth and Joe Colacino</p> <p>PROJECT ADDRESS: 9607 N Lake Dr.</p>	<p>PROJECT SUMMARY: New deck 22 X 21</p>
---	--

I have reviewed the proposed deck, for compliance with the Village's ordinances and have determined the following for consideration

There are no issues with this application.

This review is for ARC only and not for permitting

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

This review does not constitute a building plan review. The plan review for proper code compliance will be done at time of building permit application.

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 5/1/23

Property Address 9607 North Lake Dr

Zoning District Ozaukee County

Proposed Project Details (type of work, size, materials, location, etc.):

New 22x21 deck build using (13) 50/50 diamond piers and (6) sonopiers. Height off grade 13".

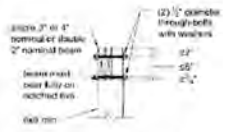
<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: 4/24/23 <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input checked="" type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Building</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Electrical</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Plumbing</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>HVAC</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Fill</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Impervious Surface</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Dumpster</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>ROW/Excavation</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Conditional Use</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Occupancy</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Special Exception/Variance</td> </tr> <tr> <td></td> <td><input type="checkbox"/></td> <td></td> <td>ARC</td> </tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input checked="" type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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Existing:

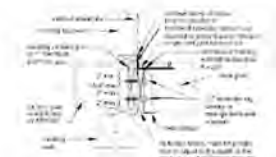


Example of new
board color/style:





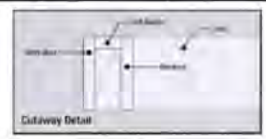
DETAIL 1: POST-TO-BEAM ATTACHMENT REQUIREMENTS



DETAIL 2: LEDGER BOARD TO BAND JOIST OR RIM JOIST

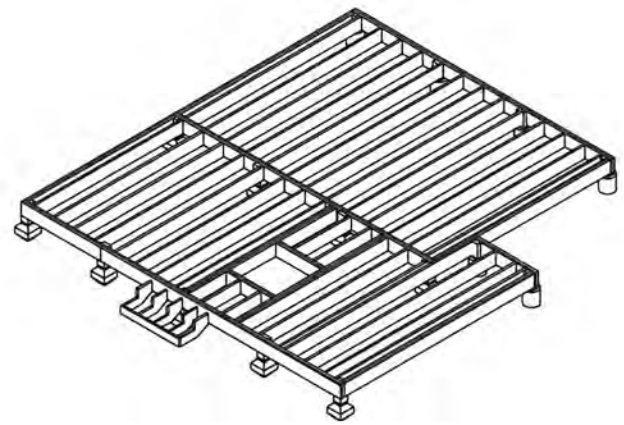
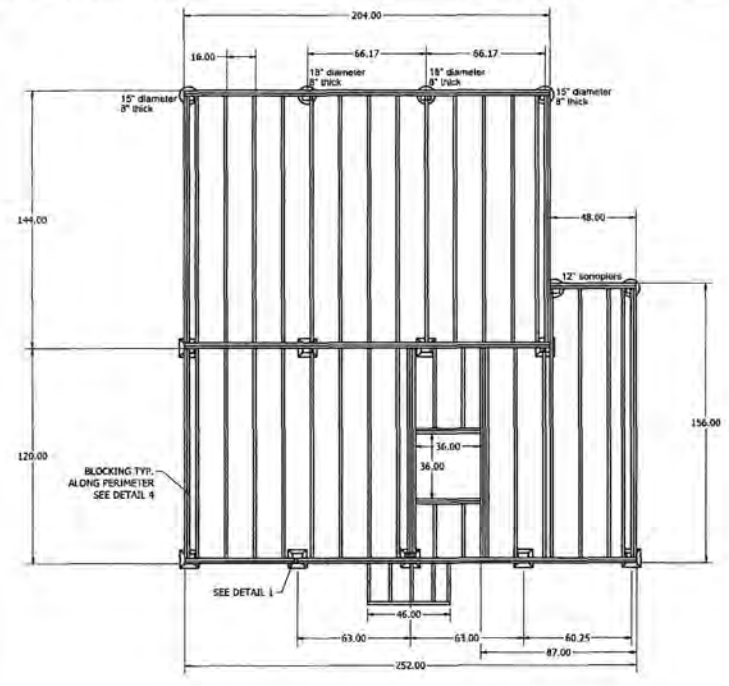


DETAIL 3: LEDGER BOARD FASTENER SPACING AND CLEARANCE



DETAIL 4

ZONE	REV	REVISION HISTORY	DATE	APPROVED
	A	DESCRIPTION	3/29/2023	
	B	COLORS/STAIRS ADDED	3/30/2023	
	C	PROJECTION FIXED	3/31/2023	



ITEM	QTY	PART NUMBER	DESCRIPTION
16	4	2X10G20	
17	9	2X10X16	
18	21	2X10X12	
19	20	2X10X10	
37	1	2X12X12	
38	1	2X6X10	
20	5	2X4X8	
21	1	6X6X8	
22	1	6X6X12	
23	32	POST TO BEAM BOLT ASSEMBLY	
13	15	4BA66Z POST BASE	
14	9	DIAMOND PIER	
15	6	ROUND PIER	
24	62	L15210Z JOIST HANGER	
25	4	HUC210-22 JOIST HANGER	
26	4	HUC210-32 JOIST HANGER	
27	1	JOIST HANGER NAILS BOX	
28	1	9x7.5\"/>	

MAXIMUM LOAD ON ROUND FOOTING
3000 PSI SOIL BEARING
DIAMETER CAPACITY

DIAMETER	CAPACITY
6	1000
8	1000
10	1100
12	1200
14	1300
16	1400
18	1500
20	1600
22	1700
24	1800
26	1900
28	2000
30	2100
32	2200
34	2300
36	2400

Minimum 2000 per
Sands/Gravels

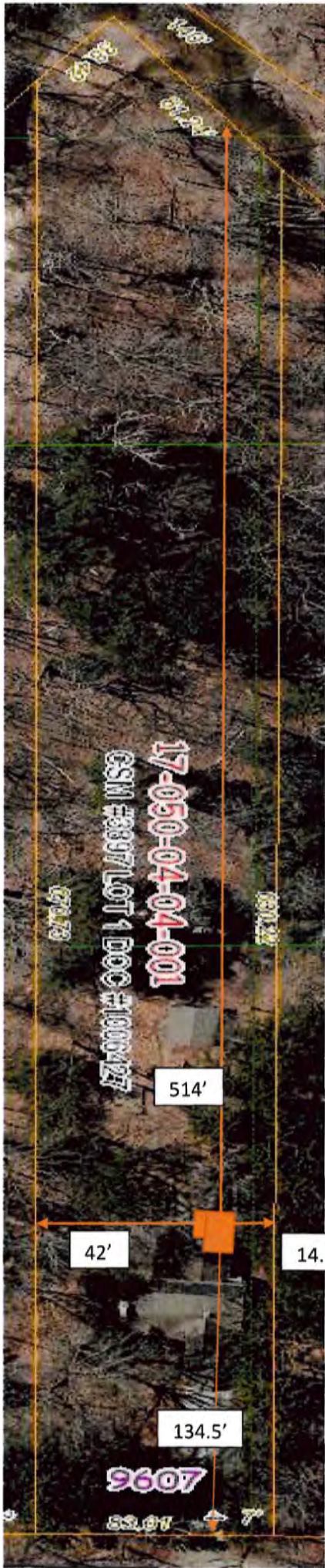
Material	Spring Load	Capacity	Capacity	Capacity	Capacity	Capacity
DR-0820	1000	1.0	1.0	1.0	1.0	1.0
DR-0820	1000	1.0	1.0	1.0	1.0	1.0
DR-0820	1000	1.0	1.0	1.0	1.0	1.0
DR-0820	1000	1.0	1.0	1.0	1.0	1.0
DR-0820	1000	1.0	1.0	1.0	1.0	1.0

TABLE 5

Load	1x6	1x8	1x10	1x12	1x14	1x16	1x18
Deck Ft. on 3\"/>							

DRAWN: []
 CHECKED: []
 DATE: 3/29/2023
 PROJECT: GREEN BAY DECKING LLC, 1518 S. BROADWAY ST. GREEN BAY, WI, 54304
 TITLE: COLACINO DECK
 DRAWING NO: TD-100-1301 REV C COLACINO DEC
 SCALE: 0.01 = 1'
 SHEET 1 OF 1

New 22x21 deck build using (13) 50/50 diamond piers and (6) sonopiers. 13" grade.



04/10/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Bob & Ginny Stoffel</p> <p>PROJECT ADDRESS: 8640 N Pelham Pkwy</p>	<p>PROJECT SUMMARY: New deck and hot tub</p>
---	--

I have reviewed the proposed deck and hot tub, for compliance with the Village's ordinances and have determined the following for consideration

There are no issues with this application.

This review is for ARC only and not for permitting

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

VILLAGE CODE REVIEW

This review does not constitute a building plan review. The plan review for proper code compliance will be done at time of building permit application.

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 4-10-23

Property Address 8640 N. PELHAM PKWY

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Relocate existing hot tub away from solar panel electrical boxes. Replace old hot tub deck with a ground level deck. Build a new deck extension, approx. 11' X 13', at ground level to relocate the hot tub in excess of 5' away from nearest solar electrical box. Hot tub has been empty and disconnected since solar electrical boxes were installed.

Existing deck is on the south side of the house per print. Deck addition will be on the east side of the house. See pictures.

Diamond Pier foundation. Building material is TimberTech Azek - slate grey per sample. Treated understructure.

elevations, and surround views.

- Two (2) complete digital sets of building plans (including elevations and grading).
- Samples or brochures showing materials, colors, and designs.
- Survey or Milwaukee County Land Information Officer Aerial

PERMITS:

- Fence
- Fire Pits
- Landscaping requiring Impervious Surface/Fill/Excavation Permit
- New Construction
- Play Structures
- Recreational Facilities/Courts
- Roofs
- Solar Panels/Skylights
- Swimming Pools
- Windows/Doors - change exceeds 25% of opening
- Other

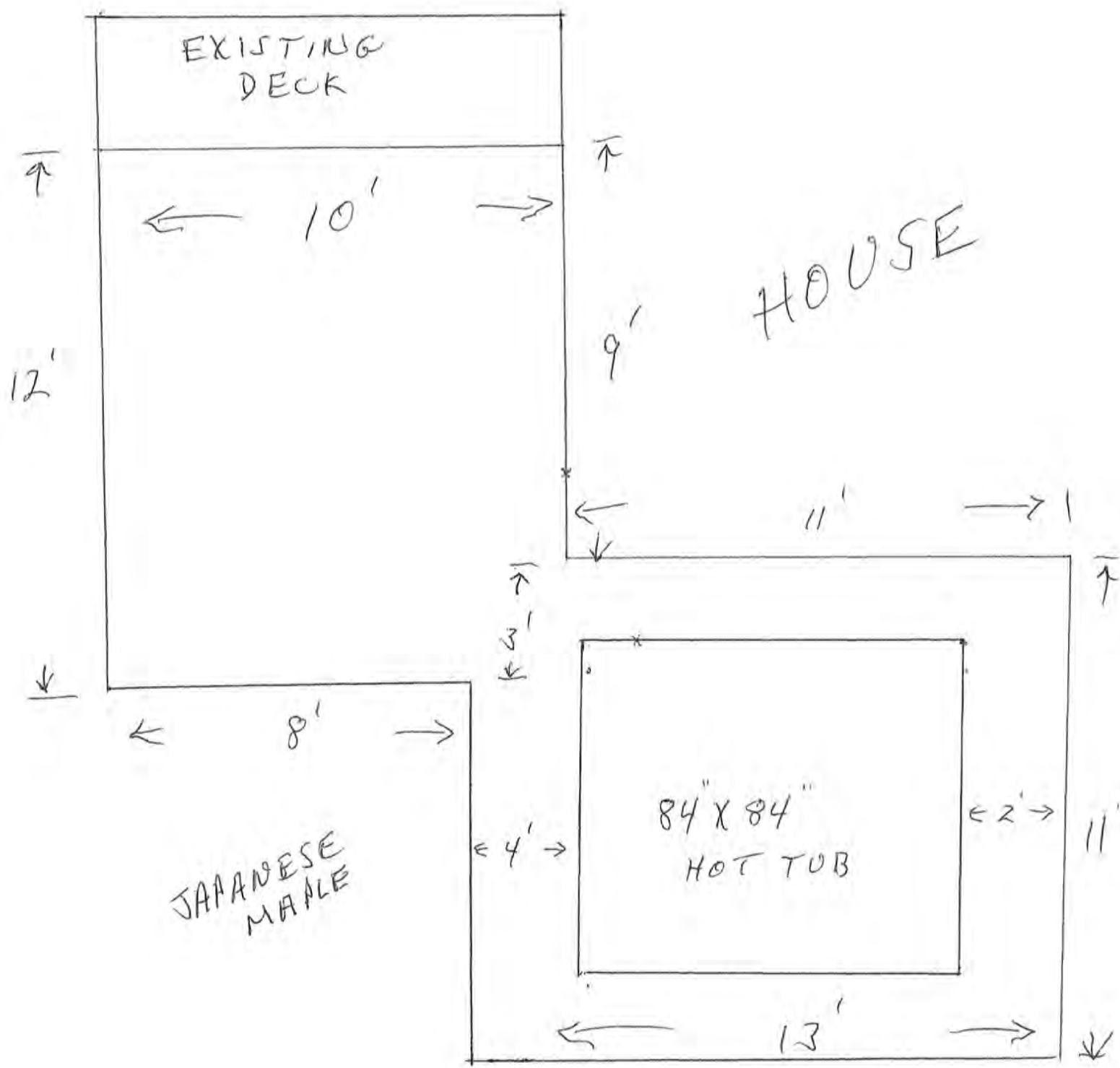
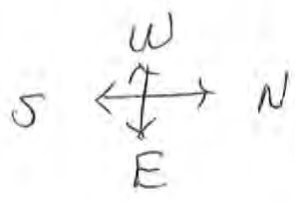
PERMITS:

Y N Payment

- | | | | |
|--------------------------|--------------------------|--------------------------|----------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Electrical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | HVAC |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Fill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Impervious Surface |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dumpster |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | ROW/Excavation |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Conditional Use |
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| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Special Exception/Variance |
| | | <input type="checkbox"/> | ARC |



8640 N. PELHAM PKWY



NOT TO SCALE

Plat of Survey

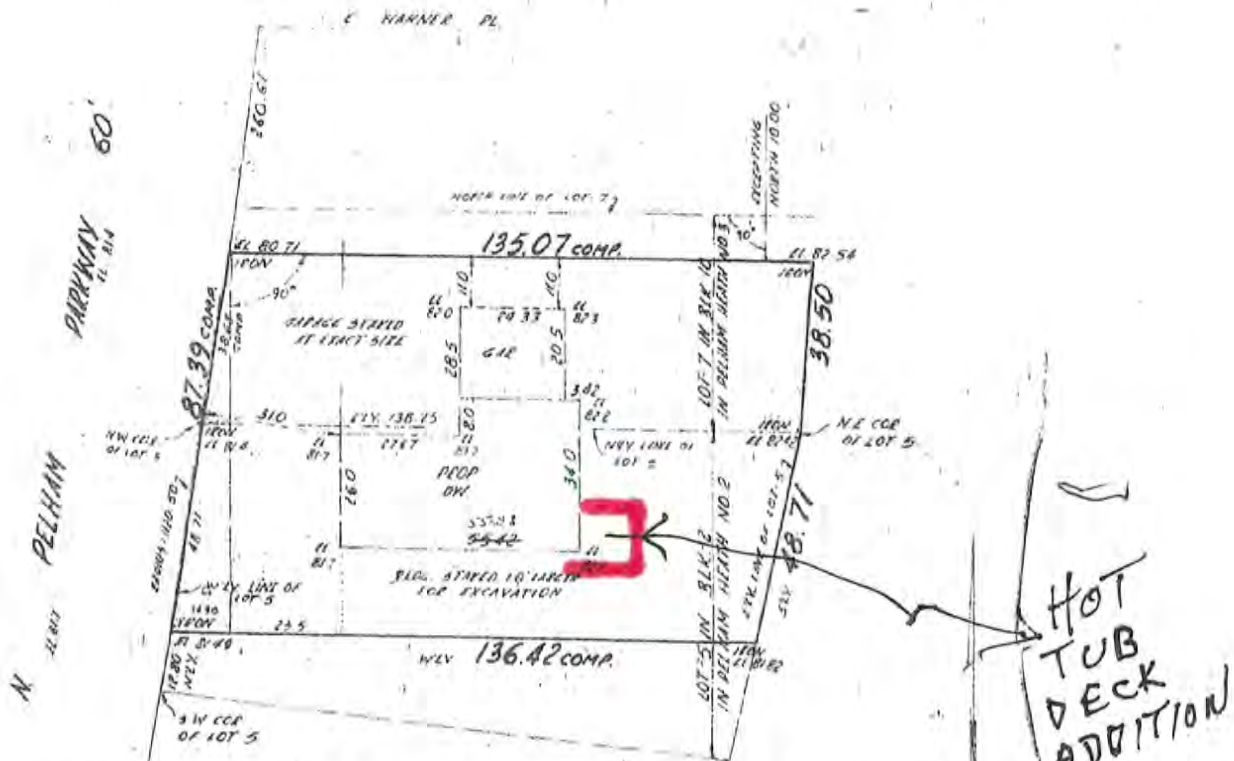
05V-0293

Known as North Pelham Parkway, in the Village of BaySide, Wisconsin Lot 7, excepting the North 10.00 ft. thereof, as measured at right angles to the North line of said Lot 7 in Block 10 in PELHAM HEATH NO. 3, being a Subdivision of a part of the NW 1/4 of Section 9, T 8 N, R 22 E, in the Village of BaySide, Milwaukee County, Wisconsin and that part of Lot 5 in Block 2 in PELHAM HEATH NO. 2, being a Subdivision of a part of the NW 1/4 of Section 9, T 8 N, R 22 E, in the Village of BaySide, Milwaukee County, Wisconsin, which is bounded and described as follows:

Commencing at the Northwest corner of said Lot 5; running thence Easterly along the Northerly line of Lot 5 aforesaid 138.75 ft. to the Northeast corner of said Lot 5; thence Southerly along the Easterly line of Lot 5 aforesaid 48.71 ft. to a point; thence Westerly to a point in the Westerly line of said Lot 5, said point being 12.80 ft. Northerly of the Southwest corner of said Lot 5, as measured along the Westerly line of said Lot 5; thence Northerly 48.71 ft. along the Westerly line of said Lot 5 on the arc of a curve whose center lies to the West and whose radius is 1120.50 ft. to the point of commencement.

December 5, 1962
January 8, 1963 (Staking Proposed Building)

Survey No. 102488-S
Revision No 1
Revision No. 2



We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

NATIONAL SURVEY SERVICE
CIVIL ENGINEERS AND SURVEYORS
5729 W. VILLET ST. BLUENOSHING B DRSD
MILWAUKEE 8 WISCONSIN



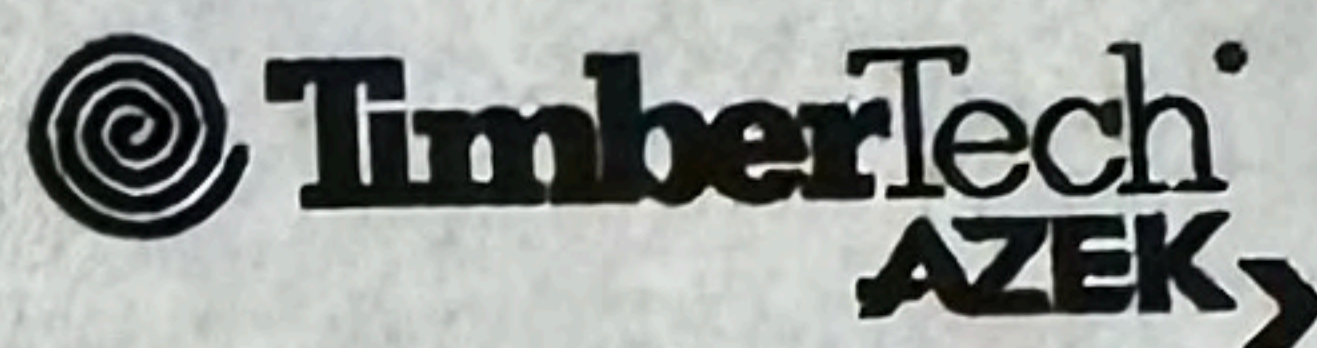
Kenneth E. Berke
SURVEYOR

SCALE 1" = 30'





slate gray



Harvest Collection®

WARM. NATURAL. EFFORTLESS.

\$\$\$

Channel the traditional painted wood look that homeowners across the nation can't get enough of. Slate Gray is the most popular color in the Harvest Collection — and for good reason. Featuring a cathedral wood grain pattern, this capped polymer decking lends elegance and style to all outdoor living spaces.



MOISTURE
RESISTANT



STAYS
COOLER



LOW-
MAINTENANCE



SLIP
RESISTANT



This board is made from up
to 54% recycled material.

Learn more at TimberTech.com





Impervious Surface Calculator

Total Square Footage of Property		11215.7
Current Impervious Surface		
	Home	2969.9
	Accessory Structure(s)	
	Driveway	945.5
	Deck/Patio	170.9
	Other	
	Total	4086.3
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		169
	TOTAL	4255.3
Current + Proposed Percent of Impervious Surface		37.94056546
Address	Zone	
8640 N Pelham Pkwy	Zone C - 40%	

04/10/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: William Kingdon PROJECT ADDRESS: 8950 N Fielding</p>	<p>PROJECT SUMMARY: New wooden picket fence open design</p>
---	--

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. There are no issues with this application.
2. The board always considers matching fences with neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 4/25/23

Property Address 8950 N. Fielding

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Picket fence along property (back-yard only).

Includes repair/replacement of neighbor's picket fence on north side

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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PLAT OF SURVEY

LOCATION: 8950 North Fielding Road, Bayside, Wisconsin

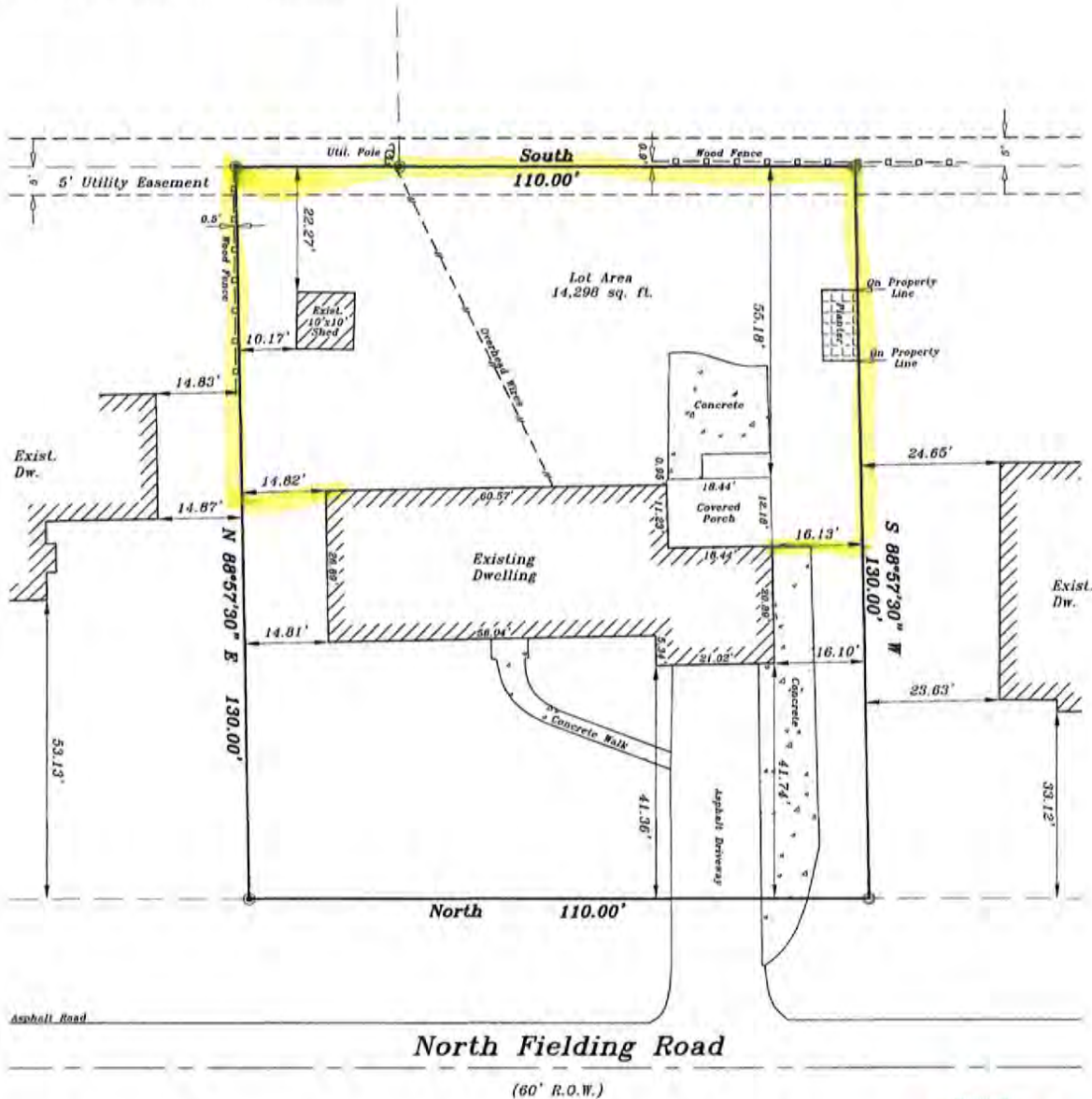
LEGAL DESCRIPTION:

Lot 10 in Block 1 in **FLOWER SUBDIVISION**, being a subdivision of a part of the Southwest 1/4 of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

February 20, 2023

February 24, 2023 Added Planter

Survey No. 114097



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH. (414) 529-5380
survey@metropolitansurvey.com
www.metropolitansurvey.com



- - Denotes Iron Pipe Found
- - Denotes Iron Pipe Set

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

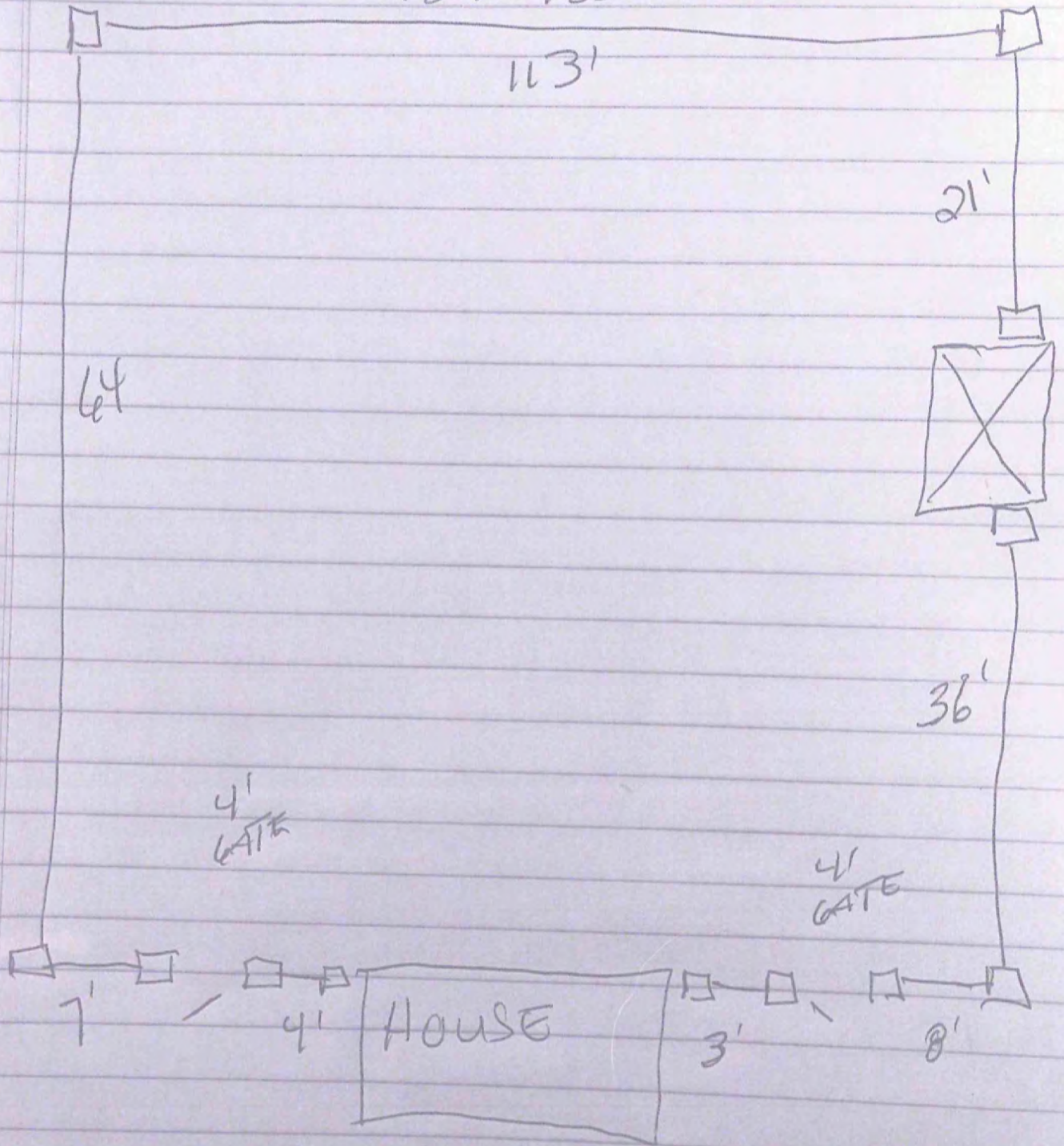
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer

Professional Land Surveyor S-2421

8950 NORTH Fielding Rd
BAYSIDE, WI
727-735-7383





SAMPLE
MATERIAL



☆ currently
there →
(neighbors)





04/10/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

PROJECT/SITE OWNER: Glenda Ruder & Scott Rudie PROJECT ADDRESS: 8570 N Fielding	PROJECT SUMMARY: New 4-foot wooden dog-eared fence open design
--	--

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. There are no issues with this application.
2. The board always considers matching fences with neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 4/10/23
 Property Address 8570 N. Fielding Rd.
 Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Dog eared picket fence - will connect to our neighbors fence to the north
@ 8580 Fielding, have received their permission.
- Fence is only in our back yard. Will be open in the back due to wooded area
and down to south end of our back yard out 73 feet.
* Please see document from Clover Fence.*

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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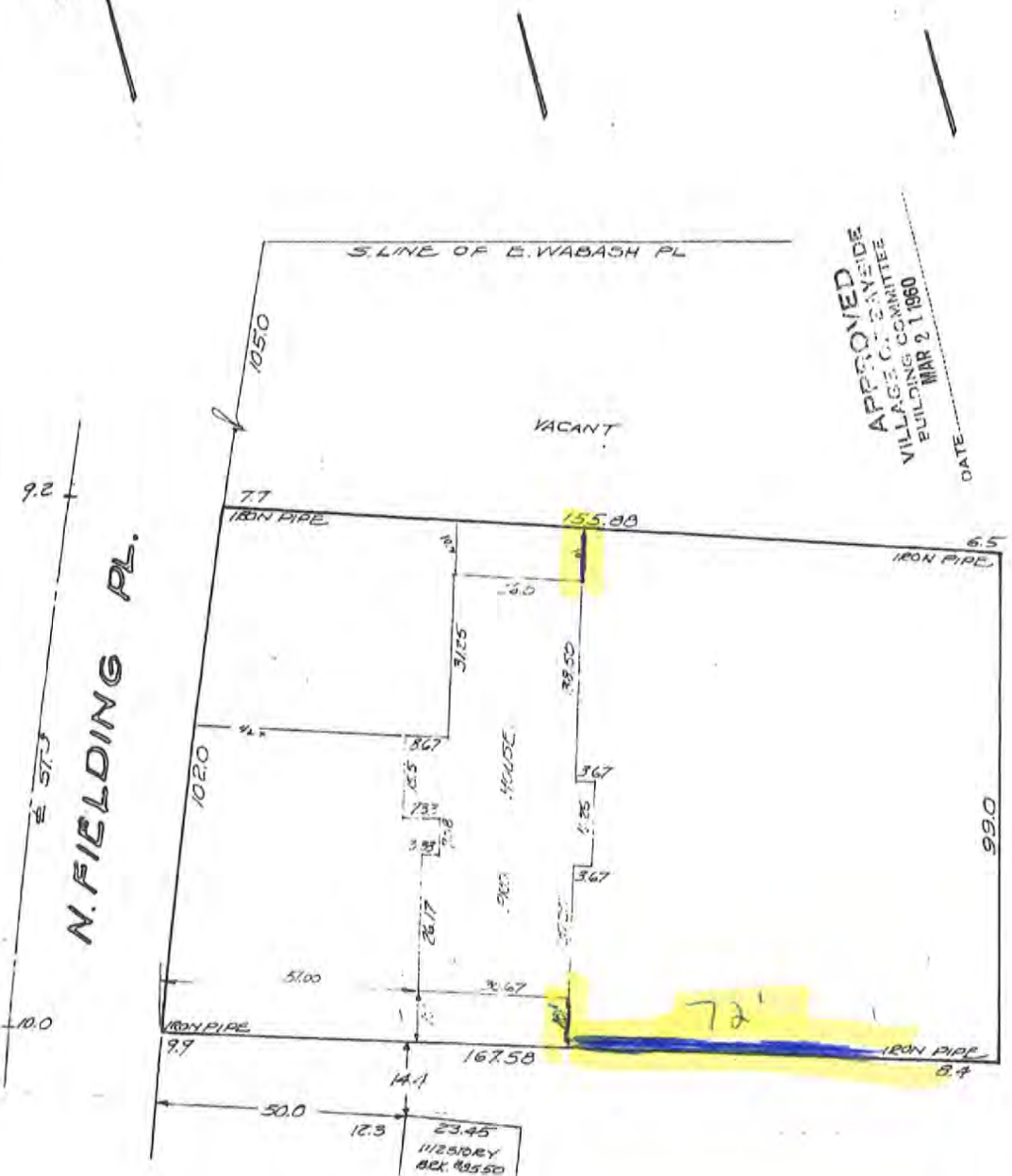
Plat No. Mil-32-65

PLAT OF SURVEY

OF PROPERTY OF Roland Ritz

described as follows: Lots 3 & 4, Block 6, Pelham Heath in the NW 1/4 of Section 9-8-22 in the Village of Bayside.

464-105



APPROVED
 VILLAGE C. BAYSIDE
 BUILDING COMMITTEE
 MAR 21 1960
 DATE



H. C. WEBSTER & SON
 200 North Superior Street
 MILWAUKEE, WIS.
 DONALD W. WEBSTER
 REGISTERED CIVIL ENGINEER
 ASSOCIATE
 ROY J. CHARMOCK

SCALE 1" = 20 FT
 AFFIDAVIT:

I hereby certify that I have made a survey on
 of the 19..... and that the location
 of the Building on above described
 property is correctly shown on the above plat.

STATE OF WISCONSIN
 COUNTY OF MILWAUKEE

I, D. W. WEBSTER, Surveyor, do hereby certify that I
 have made a survey of the above described property and that
 the above plat is a true representation of said survey.

Milwaukee, Wis. July 20, 1959
 D. W. Webster



CLOVER FENCE

6916 Druid Lake Rd.
Hartford, WI 53027

"No luck needed, we guarantee it!"

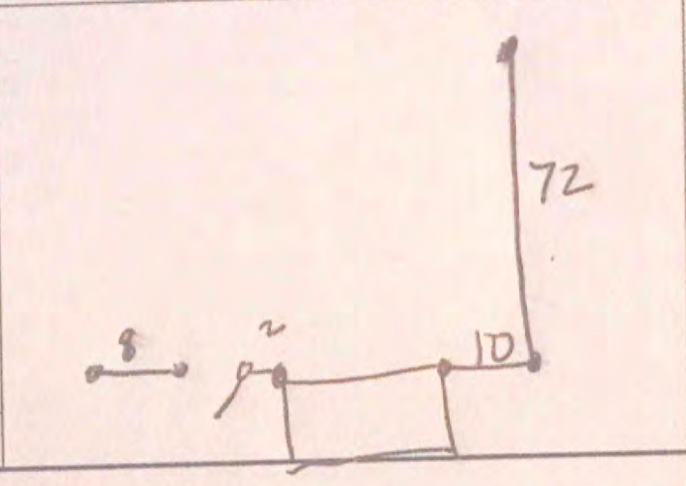
PHONE: (414) 759-9358

EMAIL: cloverfence@gmail.com

<input checked="" type="checkbox"/> Hotline Needed	<input checked="" type="checkbox"/> Customer to get permit
WORK TO BE PERFORMED AT:	BILLING ADDRESS (if different than work location)
NAME <u>Glanda</u>	NAME
STREET <u>8570 N Fielding</u>	STREET
CITY / ZIP <u>Bayshore</u>	CITY / ZIP
TELEPHONE <u>503-706-2440</u>	TELEPHONE

WE PROPOSE TO FURNISH ALL LABOR AND MATERIAL FOR THE ERECTION OF FENCE AS DESCRIBED BELOW:

Fabric <u>wood</u>	Wire Only <u>wood dog ear</u>
Footage <u>92</u>	Style <u>picket</u>
Gauge	O.D. of Line Posts in inches <u>4x4</u>
Mesh	End & Corner Posts in inches
Height <u>48"</u>	Gate posts in inches QTY.
Top Rail	Gate Size <u>2' x - gate</u>
Tension Wire	
Top	
Bottom	
Barb Wire	
<input type="checkbox"/> Follow Grade	<input type="checkbox"/> Follow Height
<input type="checkbox"/> Tear Out /Haul Away	



MISC. cell Cedar
cell set in concrete

ATTENTION: CUSTOMER RESPONSIBLE FOR LOT LINES AND PERMITS
7 YEARS ON WOOD - 15 YEARS ON CHAIN LINK FENCE - 3 YEARS ON GATES

4480⁰⁰

Dirt removal to be done by Customer Dirt removal done by CLOVER = Cost \$

COST OF TRANSACTION \$ DOWN PAYMENTS BALANCE DUE ON COMPLETION \$ 4080⁰⁰

Any alterations or deviations from this proposal or unforeseen expense will be charged for additionally, same to be paid for on completion. Any change from original plan to be done at owner's risk and expense.

The contractor is not responsible for any material or workmanship altered due to weather or ground conditions.

Contractor is not responsible for ruts, grass and lawn damage or neighbor's lawn while trying to complete this contract.

Contractor will not be considered as trespassing during construction and after until job is completed and paid in full.

Owner is responsible for any needs in writing from neighbors and/or Board of Appeals to obtain permits and/or permission to proceed with job.

Owner is responsible for obtaining current Plat of Survey (if necessary).

Balance of payment is due upon completion. Late payments subject to interest charges at the rate of 1 1/2% per month on unpaid balance. Lien rights to be activated within 30 days of non-payment.

I have read and understand this contract. The price, specifications, and conditions are satisfactory and I hereby accept. You are authorized to do the work as specified.

CUSTOMER'S SIGNATURE [Signature] DATE 4/10/23

ACCEPTED BY ERIC Roepke DATE 04/10/23

Picket Fences



04/10/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Monica Scharfenberger PROJECT ADDRESS: 8550 N Fielding</p>	<p>PROJECT SUMMARY: New 4-foot 6-inch black aluminum fence open design</p>
---	---

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. There are no issues with this application.
2. The board always considers matching fences with neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

**Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager**

Project Proposal

Date 4/19/23

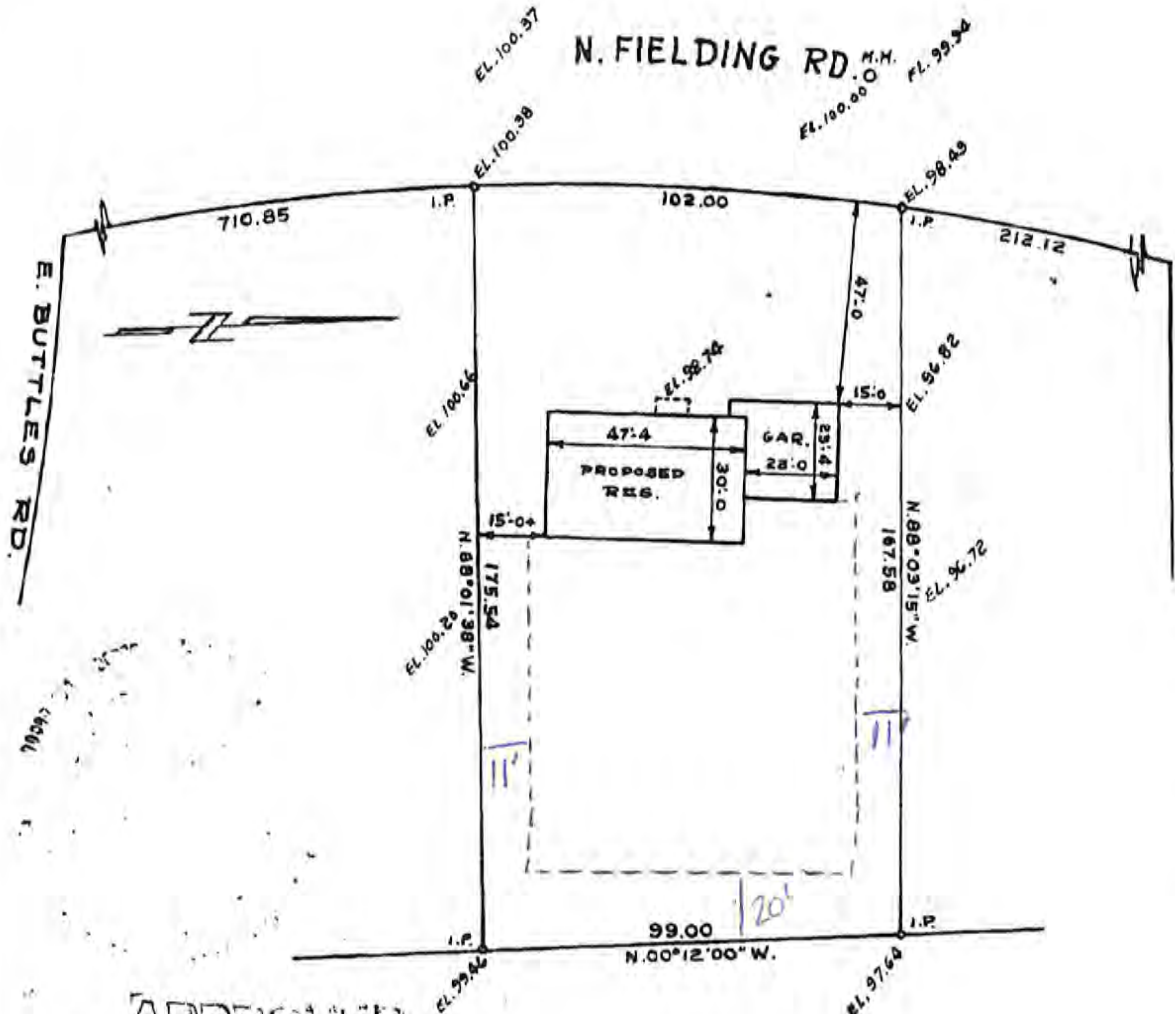
Property Address 8550 N. Fielding Rd.

Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

Backyard Fence

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Two (2) complete digital sets of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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APPROVED
 VILLAGE OF WAYSIDE
 BUILDING COMMITTEE

DATE APR 7 1958

STATE OF WISCONSIN }
 COUNTY OF MILWAUKEE } SS

I, Russell G. Behling, certify that I have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundaries and location of buildings and other improvements on said property and the correct measurements thereof.

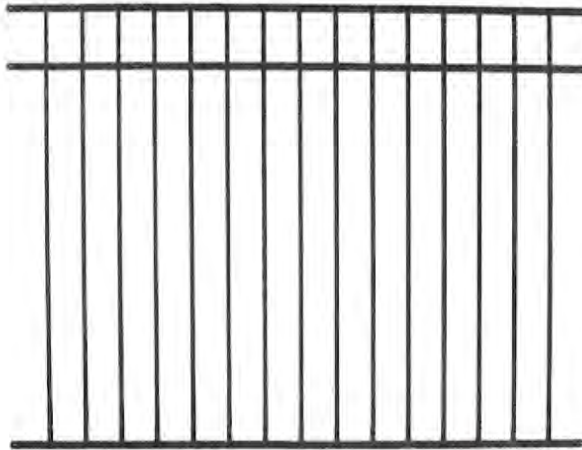
Milwaukee, Wisconsin - March 26, 1958

Russell G. Behling
 Surveyor

EZ Fence Asbury 4' 6" x 6' Black 3-Rail Aluminum Fence Panel

(Actual Size 54" H x 70-1/2" W)

Model Number: 1716720 | Menards® SKU: 1716720



EVERYDAY LOW PRICE

\$89.99

11% MAIL-IN REBATE Good Through 4/9/23

\$9.90

FINAL PRICE

\$80⁰⁹ each

You Save \$9.90 with Mail-In Rebate

- 4' 6" high
- 3-rail style
- Quality aluminum construction
- Easy and fast installation
- Designed for 6' on center post installation

[View More Information >](#)

Pick Up At Store ⓘ
 14 In-Stock at **WAUKESHA**
[Check Another Store for Availability](#)

Shipping & Delivery
 Available

Description & Documents

The Asbury Aluminum Fence Panel is an easy-to-install fence panel that's four feet and six inches high by six feet wide. The external post and bracketing system are sold separately. This fence panel is constructed of quality aluminum and designed with simple, elegant lines.

Brand Name: **Specrail**



Features

- 4' 6" high
- 3-rail style
- Quality aluminum construction
- Easy and fast installation
- Designed for 6' on center post installation
- Powder coated for durability
- Posts sold separately

Specifications

Product Type	Metal Fence Panel	Material	Aluminum
Thickness	1 inch	Special Features	Rust Resistant
Overall Height	54 inch	Weight	14 pound
Overall Width	70-1/2 inch	Color/Finish	Black
Installed Height	54 inch	Rough Opening Width	72 inch
Top Style	Flat	Shipping Dimensions	71.25 H x 54.00 W x 1.12 D
Shipping Weight	13.0 lbs	Return Policy	Regular Return (view Return Policy)

Please Note: Prices, promotions, styles and availability may vary by store and online. Inventory is sold and received continuously throughout the day; therefore, the quantity shown may not be available when you get to the store. This inventory may include a store display unit. Online orders and products purchased in-store qualify for rebate redemption. Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise



To see our special offers and

email@address.com

sales, please enter your email address today to get immediate access! We value your privacy and trust at Menards. We will not distribute your information to any other company. View our [Privacy Policy](#). This site is protected by reCAPTCHA and the Google [Privacy Policy](#) and [Terms of Service](#) apply.

Zip Code



04/11/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER:</p> <p>John & Elise Poelking</p> <p>PROJECT ADDRESS: 8927 N Navajo</p>	<p>PROJECT SUMMARY:</p> <p>New 4-foot wooden picket fence open design</p>
---	---

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration.

1. There are no issues with this application.
2. The board always considers matching fences with neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date May / June 2023
 Property Address 8927 N Navajo Road Bayside, WI 53217
 Zoning District C

Proposed Project Details (type of work, size, materials, location, etc.):

Replacing current fence between house + detached garage. We will be removing one of 2 gates and changing the angle of fencing next to the garage, which will require cutting the existing concrete. Our current 5' cedar fence will be replaced with 4' cedar posts + fencing. The fence will be 57' long.

<input type="checkbox"/> ARC Agenda Date: <u>4/24/23</u> <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Two (2) complete digital sets of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial PERMITS: <table style="width: 100%; border: none;"> <tr> <td style="width: 10%; text-align: center;">Y</td> <td style="width: 10%; text-align: center;">N</td> <td style="width: 10%; text-align: center;">Payment</td> <td style="width: 80%;"></td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td>Building</td> </tr> <tr> <td style="text-align: center;"><input 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PLAT NO. LS-2642-07
 FIELD CREW: D.R.G. & J.J.H.
 DRAWN BY: J.G.S.

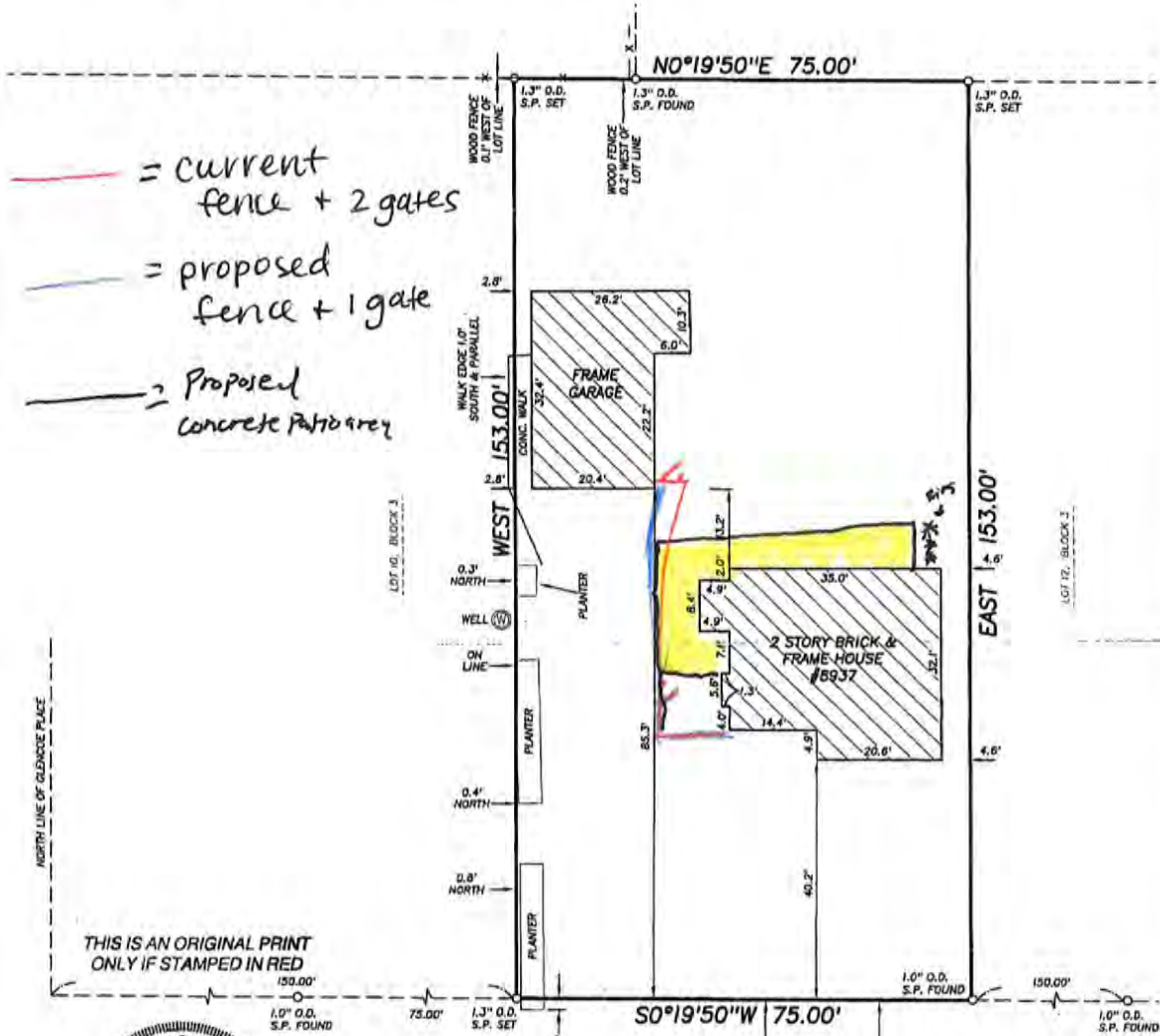


NORTH SHORE ENGINEERING, INC.
 Consulting Engineers & Land Surveyors
 11433 N. Port Washington Rd., Mequon, Wisconsin, 53092
 (262) 241-9400 • FAX: (262) 241-5337

PLAT OF SURVEY

Prepared For: Rick Eckart / 8927 N. Navajo Road

Property Description: Lot 11, Block 3 of "Northway" being a subdivision of part of the Southeast 1/4 of Section 5, Town 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.



THIS IS AN ORIGINAL PRINT ONLY IF STAMPED IN RED



N. NAVAJO ROAD

SURVEY CERTIFICATE

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadways, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof.

Dated at Mequon, Wisconsin. this 17th day of May, 2007

Recertified _____ Surveyor [Signature]

Picket/Open Fencing



Contemporary Picket with Double Gate



Contemporary Picket Dog Eared



Estate Picket



Arrowhead Picket with 3 Picket Sweep



2 x 2 Picket



Horizontal Fence

04/11/2023

PROJECT/SITE OWNER:	PROJECT SUMMARY:
Diana & Isaak Lerner PROJECT ADDRESS: 9296 N Broadmoor Dr.	New garage addition 486 square feet Siding, trellis, roof with skylights, new seamless metal roof, new windows

I have reviewed the proposed single-story addition and siding, trellis, roof with skylights, new seamless metal roof, new windows for compliance with the Village's ordinances and have determined the following for consideration.

"B" residence district regulation.

1. Meets current setbacks
2. Meets the required height restrictions
3. A current survey was submitted.
4. The applicant stated that they are matching the existing house with materials.
5. The board always considers the aesthetics of the project.
6. **This review is only for ARC and not for a building permit.**

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 04/10/2023

Property Address 9296 N Broadmoor Dr

Zoning District "B" Residential District

Proposed Project Details (type of work, size, materials, location, etc.):

Exterior:
New Garage Addition, New Exterior Siding on Existing to match New Addition, Exstg. & New Brick to be painted to match, New Column & Beam Trellis System @ Entry, New Roof & skylights over Exstg. Family Room, All Exstg. Window Trim, Door Trim, Fascia Board, Trim Board & Gutters to be painted to match New Addition, New Rear Expanded Covered Patio. New Seamless Metal Roof to cover New Rear Patio, Laundry, Workshop & Garage Addition. New Windows on Addition, New Clearstory Windows @ Family Room, New Window @ Bedroom on South Facade.

Interior:
New Kitchen Layout, New Laundry & Workshop in Exstg. Garage location.

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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LERNER RESIDENCE

(1) STORY FRONT ADDITION, EXTERIOR FACADE ENHANCEMENTS, INTERIOR KITCHEN REMODEL



3 SOUTH WEST PERSPECTIVE



4 SOUTH EAST PERSPECTIVE



5 SOUTH EAST PERSPECTIVE



6 NORTH WEST PERSPECTIVE



EXISTING PHOTOGRAPHS



PROJECT:
LERNER RESIDENCE

OWNER:
LERNER RESIDENCE

PROJECT ADDRESS:
9296 N BROADMOOR RD
BAYSIDE, WI 53217

CONTRACTOR:

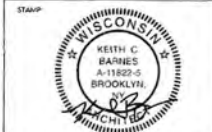
CONTACT:

ARCHITECT:
KEITH BARNES, ASA 608-669-4923
KEITH@KCBBUILDINGS.COM

DRAWING ISSUANCE SCHEDULE:

NO.	DESCRIPTION	DATE
1	ARB SUBMITTAL	04/10/23

GENERAL NOTES:
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERENCED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT.
ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.
NO WORK SHALL BE STARTED UNTIL PLANS HAVE BEEN APPROVED BY THE BUILDING INSPECTOR AND ALL OTHER AGENCIES HAVING JURISDICTION.



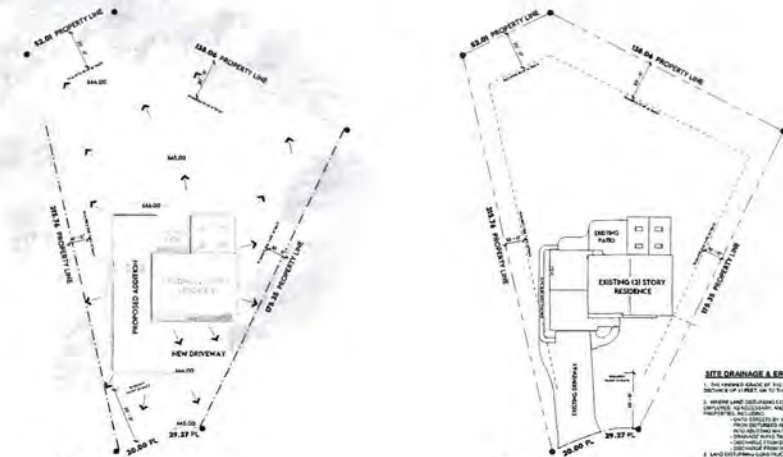
SHEET TITLE:
COVER SHEET & PROJECT INFORMATION

SCALE: **AS INDICATED**

DATE: **03/17/2023**

SHEET NO:
A-000

CONVERTED TO THIS DATE



2 PROPOSED SITE PLAN
1" = 30'-0"

1 EXISTING SITE PLAN
1" = 30'-0"

SITE DRAINAGE & EROSION GENERAL NOTES

- 1. THE OWNER SHALL OBTAIN PERMITS FROM THE APPLICABLE AGENCIES AT A MINIMUM OF 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- 2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
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- 5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.

SITE DRAINAGE & EROSION CONTROL LEGEND

EROSION CONTROL BARRIER: [Symbol]

SLURRY WALL FENCE: [Symbol]

ALL SLOPES SHALL BE TO [Symbol]

SLOPE: [Symbol]

DOWNSPOUT LOCATION: [Symbol]



SCOPE OF WORK

- EXISTING:**
 - EXISTING 1ST FLOOR FOOTING TO ACCOMMODATE A NEW GARAGE ADDITION.
 - REWORKING EXISTING GARAGE SPACES INTO A MULTIPLE LANEWAY ROOM & WIPER ROOM.
 - NEW WINDOW LAYOUT THAT ACCOMMODATES 16 WINDOW UNITS & FINISHES EXISTING ROOM.
 - REWORKING THE GARAGE.
 - REWORKING 1 LANEWAY ROOM & WIPER ROOM INTO A FINISH GARAGE & WIPER ROOM.
 - REWORKING 1 LANEWAY ROOM & WIPER ROOM INTO A FINISH GARAGE & WIPER ROOM.
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 - REWORKING 1 LANEWAY ROOM & WIPER ROOM INTO A FINISH GARAGE & WIPER ROOM.
- NEW:**
 - NEW 1ST FLOOR GARAGE @ FAMILY ROOM, NEW GARAGE & WIPER ROOM.
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FLOOR AREA SUMMARY:

FLOOR AREA	1st Flr	2nd Flr
1ST FLOOR GROSS FLOOR AREA:	1,940 SF	2,172 SF
2ND FLOOR GROSS FLOOR AREA:	1,940 SF	2,172 SF
TOTAL GROSS FLOOR AREA:	3,880 SF	4,344 SF
NET AREA:	3,585 SF	4,049 SF

PERMITS SUMMARY:

PERMIT TYPE	STATUS
EROSION CONTROL	2,172 SF
NEW GARAGE	4,344 SF
NEW GARAGE	4,344 SF
NEW GARAGE	4,344 SF
NEW GARAGE	4,344 SF

DRAWING INDEX

NO.	DESCRIPTION
1	COVER SHEET & PROJECT INFORMATION
2	PROPOSED SITE PLAN
3	EXISTING SITE PLAN
4	...



2 NORTH (BACK) ELEVATION
1/4" = 1'-0"



1 SOUTH (FRONT) ELEVATION
1/4" = 1'-0"

- EXT. ELEVATION GENERAL NOTES**
1. ALL NEW WINDOWS SHOWN ARE INSULATED GLASS UNITS. SEE TO MATCH EXISTING.
 2. VERIFY EXISTING WINDOW FRAME, SILL, THRESHOLD, FINISH & SCHEDULE TO BE MATCHED TO NEW WINDOW SCHEDULE.
 3. EXISTING LIGHT FIXTURES SHALL BE DEMONSTRATED BY CONTRACTOR.

- EXT. ELEVATION RETRO NOTES**
1. NEW DOOR (SEE FLOOR PLAN FOR DIMENSIONS)
 1. NEW WINDOW (SEE FLOOR PLAN FOR DIMENSIONS)
 1. NEW COLLAR & BEAM TRUSS SYSTEM (STRUCTURES TO BE REMOVED & CLAD W/ TRUSS-WOOD PERIM & SILENT PANELING OR BRICK)
 2. 2" VERTICAL FIBER CEMENT PANELS
 1. 1" HOUR COMPOSITE FINISHING SYSTEM
 1. 1/2" EXPOSURE BRAN METAL ROOF - PAINTED DARK GRAY
 1. EXISTING & NEW BRICK TO BE PAINTED DARK GRAY
 1. NEW 4 TERMINATED GARAGE DOOR W/ HORIZONTAL GLASS WINDOWS
 1. CORNER PLUS (DIMENSION BY A MAX. OF 7')
 1. NEW FINISH (GLASS, PAINTED GRIP & GLASS) W/ TRUSS DARK GRAY FINISHING
 1. 2" VERTICAL FIBER CEMENT PANELS
 1. 1/2" VERTICAL FIBER CEMENT PANELS
 1. ASPHALT SHINGLE ROOF - TO MATCH EXISTING

WINDOW SCHEDULE

Qty	Window Type	Height	Width	SB Height	SB Width	Notes
0001	Window - Awning - White - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Verify Sill - Match to (S)
0002	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0003	Window - Awning - White - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0004	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0005	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0006	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0007	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0008	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0009	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0010	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0011	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0012	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0013	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0014	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
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0019	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)
0020	Window - Casement - 14' x 14' - Polymer - Espresso - Custom - 14' x 14'	14'-0"	14'-0"	12'-0"	12'-0"	Match to (S)

WINDOW GENERAL NOTE
1. WINDOW SCHEDULE ABOVE IS FOR NEW OPENINGS ONLY.
2. NEW WINDOWS TO MATCH EXISTING OR EXISTING WINDOWS. ALL GLASS SHALL BE CLEAR INSULATED GLASS W/ ULTRA CLEAR LOW-E COATING.



LERNER RESIDENCE

PROJECT: LERNER RESIDENCE
ADDRESS: 9296 N BROADHURST RD BAYSIDE, WI 53217

ARCHITECT: KEITH C. BARNES, AIA 800-649-4263 115714P@KCBUILDINGS.COM

DRAWING ISSUANCE SCHEDULE

NO.	DESCRIPTION	DATE
1	ARB SUBMITTAL	04/10/23

GENERAL NOTES
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT.
NO WORK SHALL BE STARTED UNTIL PLANS HAVE BEEN APPROVED BY THE BUILDING INSPECTOR AND ALL OTHER AGENCIES HAVING JURISDICTION.



EXTERIOR ELEVATIONS

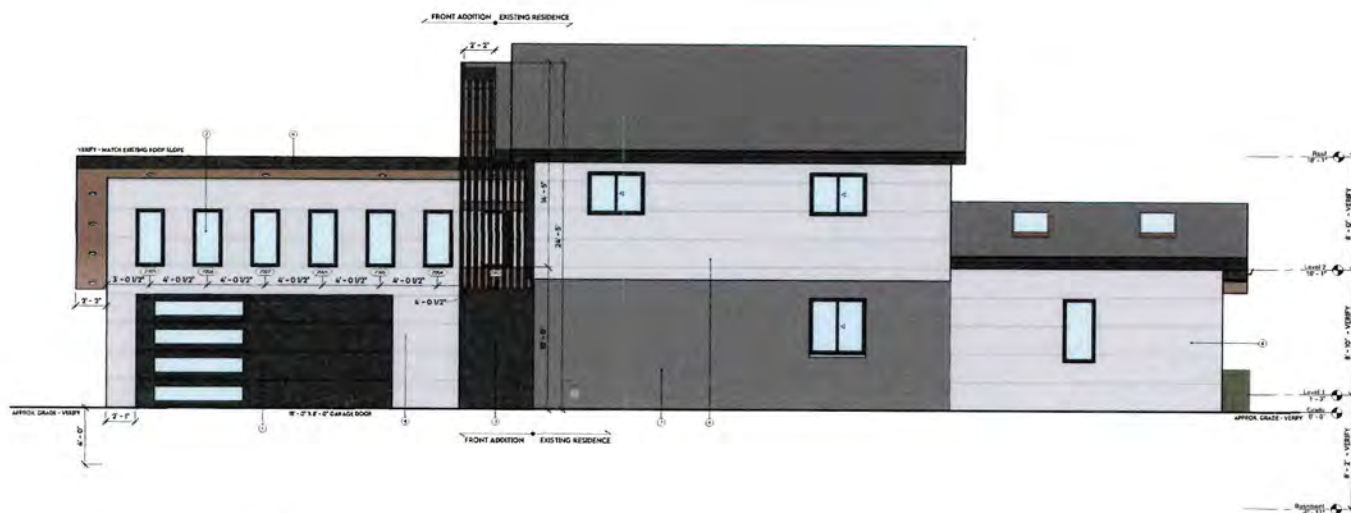
SCALE: 1/4" = 1'-0"
DATE: 03/07/2023

A-201

DATE PLOTTED: 4/10/2023 9:20:30 AM



2 WEST (SIDE) ELEVATION
1/8" = 1'-0"



1 EAST (SIDE) ELEVATION
1/8" = 1'-0"

EXT. ELEVATION GENERAL NOTES
 1. ALL NEW WINDOW UNITS ARE INSULATED GLASS UNITS TO MATCH EXISTING
 2. DOWNPOUTS NOT SHOWN FOR CLARITY
 3. ALL EXISTING EXTERIOR WINDOW FRAMES, DOORS, AND EXTERIOR WALLS SHALL BE PAINTED TO MATCH NEW COLOR SCHEME
 4. EXISTING LIGHT FIXTURES TO BE RELOCATED TO NEW WINDOW UNITS AS SHOWN BY OTHER CONTRACTOR

EXT. ELEVATION KEYED NOTES
 (1) NEW DOOR USE FLOOR PLAN FOR DIMENSIONS
 (2) NEW WINDOW USE FLOOR PLAN FOR DIMENSIONS
 (3) NEW COLUMN & BEAM FRAMES SYSTEM CONSTRUCTION TO BE PERFORMED & CLASSED BY TRUSSEL WOOD FABRIC & DARK GREY PANELING OR DARKER
 (4) 2" WOOD COMPOSITE PANELING SYSTEM
 (5) 1/2" EXTERIOR SLASH METAL ROOF - PAINTED DARK GREY MET
 (6) EXISTING & NEW ROOF TO BE PAINTED DARK GREY
 (7) NEW 6" INSULATED GABLE END DOOR W/ MONUMENTAL GLASS WINDOW
 (8) CONCRETE FILL EXTERIOR BY 4" MAX OF 2"
 (9) ASPHALT COLUMNS - PAVED OUT & CLASSED BY TRUSSEL WOOD FABRIC PANELING
 (10) 2" VERTICAL FIBER CEMENT PANEL
 (11) 2" VERTICAL FIBER CEMENT PANEL
 (12) ASPHALT SHINGLE ROOF - TO MATCH EXISTING

KCB BUILDINGS, LLC
ARCHITECTS

PROJECT:
LERNER RESIDENCE

OWNER:
LERNER RESIDENCE

PROJECT ADDRESS:
**9296 N BROADMOOR RD
BAYSIDE, WI 53217**

CONTRACTOR:

CONTACT:

ARCHITECT:
CONTACT:
**KEITH BARNES, AIA 408-669-0723
KEITH@KCBUILDINGS.COM**

GRAPHIC ISSUANCE INFORMATION

NO.	DESCRIPTION	DATE
1	ARB SUBMITTAL	04/10/23

GENERAL NOTES

CONTRACTOR TO HELP VERIFY ALL DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT.

ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.

NO WORK SHALL BE STARTED UNTIL PLANS HAVE BEEN APPROVED BY THE BUILDING INSPECTOR AND ALL OTHER AGENCIES HAVING JURISDICTION.

Stamp:

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
DATE: 03/17/2023

SHEET NO.:
A-202

ANDRETTA & BELL, S.A.

PROJECT:

LERNER RESIDENCE

OWNER:

LERNER RESIDENCE

PROJECT ADDRESS:

9296 N BROADMOOR RD
BAYSIDE, WI 53217

CONTRACTOR:

CONTRACT:

ARCHITECT:

CONTACT: KEITH BARNES, AIA, 508-640-7475
KEITH@KCBBUILDINGS.COM

DRAWING CONFORMANCE SCHEDULE:

NO.	DESCRIPTION	DATE
1	ARB SUBMITTAL	04/10/23

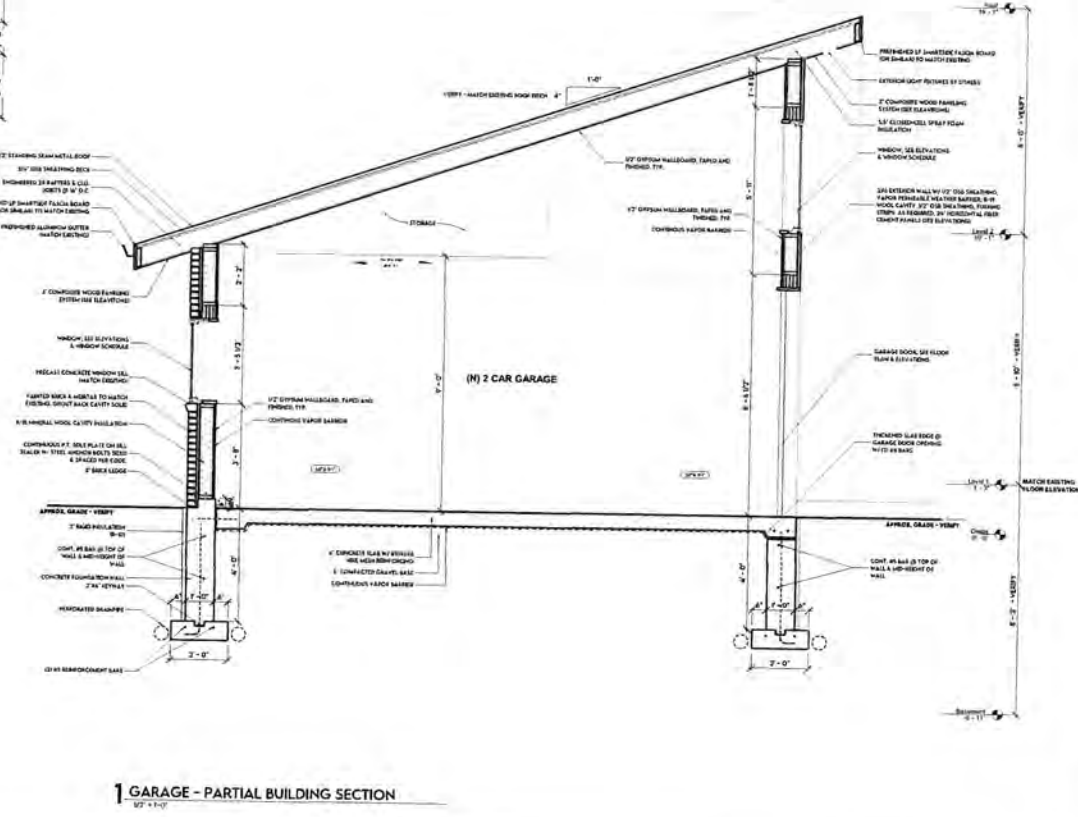
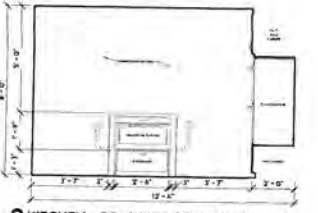
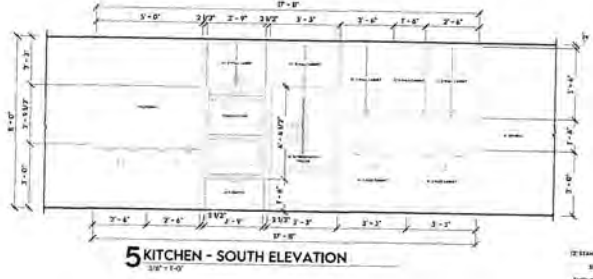
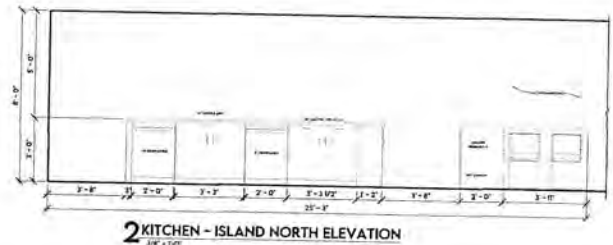
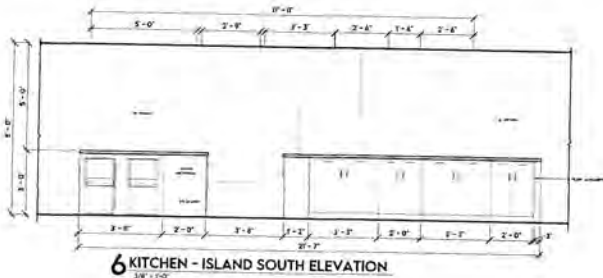
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SHEET TITLE:
PARTIAL BUILDING SECTION & INTERIOR ELEVATIONS

SCALE: AS INDICATED
DATE: 04/10/2023

SHEET NO.:
A-301



Impervious Surface Calculator

Total Square Footage of Property		22949.7
Current Impervious Surface		
	Home	2857.5
	Accessory Structure(s)	
	Driveway	1683.4
	Deck/Patio	413.4
	Other	115.9
	Total	5070.2
Allowable Impervious Surface		
	Zone A - 25%	
	Zone B - 35%	
	Zone C - 40%	
Proposed Additional Surface		959
	TOTAL	6029.2
Current + Proposed Percent of Impervious Surface		26.27136738
Address	Zone	
9296 N Broadmoor Rd	Zone B - 35%	

03/09/2023

Attention:
Village of Bayside, WI
Architecture Review Committee

<p>PROJECT/SITE OWNER: Julia & Kathleen Pandl PROJECT ADDRESS: 9100 N Fielding Rd.</p>	<p>PROJECT SUMMARY: New five-foot black/bronze metal open design fence 54 lineal feet</p>
--	---

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. Current fence ordinance does not allow fences to exceed 50%. This application conforms with the ordinance.
2. The total linear footage of fencing is 54 feet.
3. The height of the fence is 5 feet open design, which is compliant with the ordinance.
4. The proposed fence is 10.15% of the property's lineal footage of 532 feet.
5. A current survey was provided.
6. The board always considers matching fences with neighboring fences.

VILLAGE CODE REVIEW

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix
SAFEbuilt
Wisconsin Operations Manager

Project Proposal

Date 3/8/2023
 Property Address 9100 N. Fielding Rd
 Zoning District _____

Proposed Project Details (type of work, size, materials, location, etc.):

54 foot Aluminum Gate (Black/Bronze) around Patio.
Drawings Included

<ul style="list-style-type: none"> <input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Two (2) complete digital sets of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Building</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Electrical</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Plumbing</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>HVAC</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Fill</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Impervious Surface</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Dumpster</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>ROW/Excavation</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Conditional Use</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Occupancy</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Special Exception/Variance</td> </tr> <tr> <td></td> <td><input type="checkbox"/></td> <td></td> <td>ARC</td> </tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input checked="" type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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From Dave Hendrix at SAFEbuilt:

“In the event a building is irregularly configured, such as an L- shaped or V- shaped structure, or the building upon a corner lot, irregularly shaped lot, or lot which abuts more than one public or private road, such that there are or appear to be multiple front, side, or rear sides of the structure, the determination of the front, rear, or side areas, as well as the determination of the location of any fencing, shall be referred by the Building Inspector to the Architectural Review Committee, which shall then review the matter without requirement of any appeal fee. ARC shall consider the least obstructive alternative, and any other criteria as set forth in the provisions of this chapter which serve to balance the interests of the applicant with the interests of the surrounding property owners.

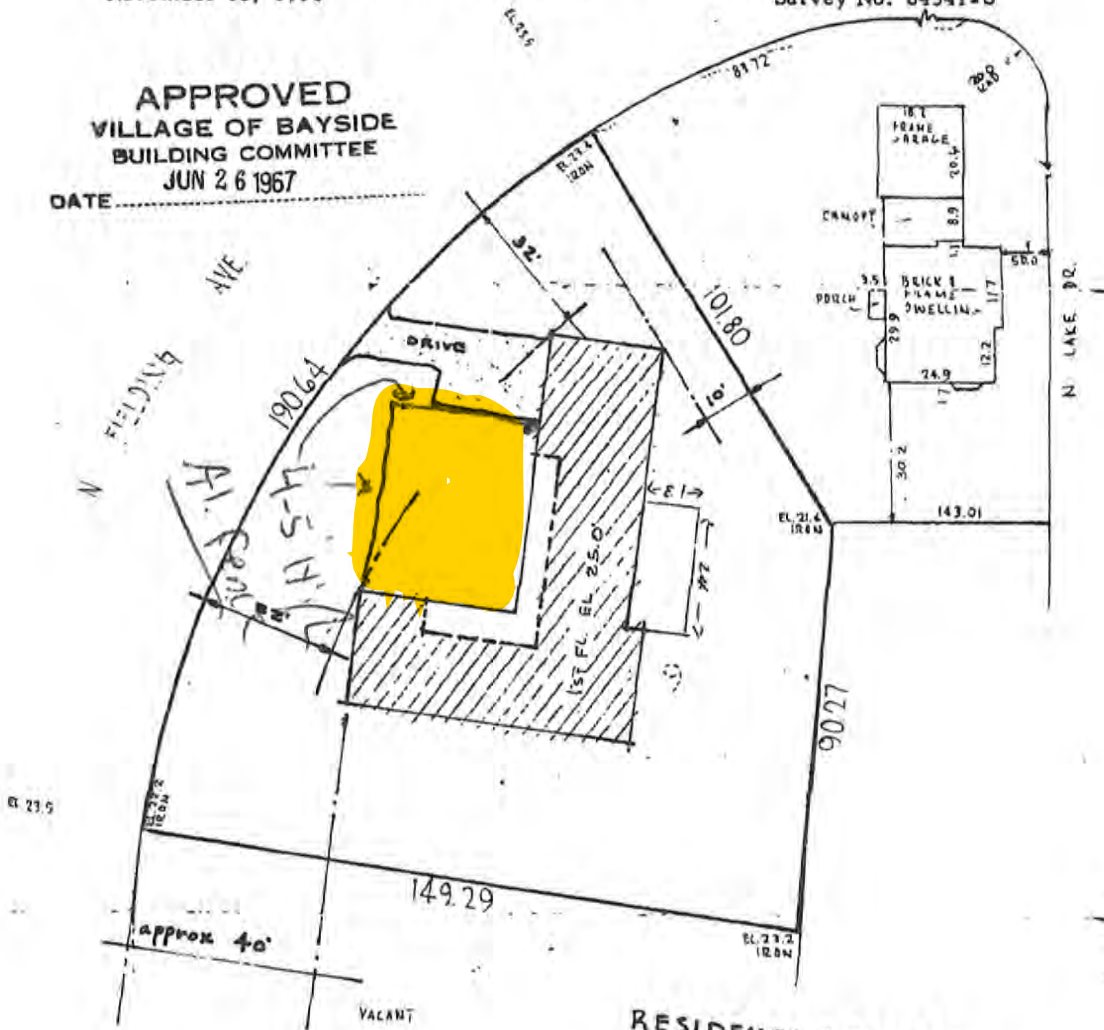
Corner lots shall have one front yard for each abutting stretch of street or other frontage reserved for highway purposes.”

Plat of Survey

Known as *Plot* North Fielding Avenue, V of Bayside, Wisconsin
 Lot 9 in Block 14 in Continuation of Bay Side, being a Subdivision of 49.14
 acres located in the S. W. 1/4 of Section 4, T-8-N, R-22-E, in the Village
 of Bayside, Milwaukee County, Wisconsin.
 November 13, 1954

Survey No. 64341-S

APPROVED
 VILLAGE OF BAYSIDE
 BUILDING COMMITTEE
 DATE JUN 26 1967



RESIDENCE & GARAGE FOR
 MR. & MRS. ROBERT K. COPE
 NORMAN A. HINTZ, ARCHITECT, AIA.

We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

NATIONAL SURVEY SERVICE
 CIVIL ENGINEERS AND SURVEYORS
 3729 W VLIET ST. BLUEMOUND 9-9830
 MILWAUKEE 8 WISCONSIN

Kenneth E. Burke
 SURVEYOR



A-1 FENCE CO., INC.



Proposal No. _____

740 N. Dekora Woods Boulevard, Saukville WI 53080
262-251-6766 • FAX 262-268-8024 • www.a1-fence.com

Date: 3-8-23

We propose to provide all necessary materials and labor to construct a fence according to the sketch, specifications and guarantee presented below, on the purchaser's property located at.

Address: 9100 N Feldberg
Name: Sula Paul
City: Bayshore
Telephone: (414) 810-9118

Fence Height <u>4.5</u>	Gate Style A) Arch up B) Arch Down C) <u>Straight</u>	Post Style Diamond Arrowhead Dado  
Post Size <u>3.5</u>	Gate Post Size <u>3.5</u>	

RESPONSIBILITY OF THE CUSTOMER

1. Obtain permits.
2. Provide a survey of the property.
3. Provide a place for the dirt from post holes dug.
4. If there is an existing fence to be taken down, the CUSTOMER must make arrangements for its disposal.
5. 10% deposit with signature. Non refundable after 3 days.
6. Full payment is due upon completion of work.

CUSTOMER'S RIGHT TO CANCEL

You may cancel this agreement in person or in writing, by notifying the seller by 5 PM of the third business day after you signed this proposal. And, if you wish, you may write "I hereby cancel" across the face of this page as written notice.

GUARANTEE

Seller agrees to correct any defect in workmanship or materials at no cost to the buyer for the following period of time:

Installed Fencing: 5 yr

Installed Gate: 1 yr

UNDERGROUND CABLES:

Telephone _____ Electric _____

A-1 Fence Co. assumes no responsibility for damage to any buried electric or plumbing service not installed by a public utility.

Salesman: Grant

"The sting of poor quality outlives the joy of low price."

A-1 Fence Co is not liable for disturbance or necessary changes of landscaping, nor are they liable for damage to existing surfaces such as concrete, brick, etc. due to installation or work performed. Checking of post are not warranted as that is the nature of the wood. Painting any part of the fence will void warranty.

PURCHASER AGREES TO PAY BALANCE DUE UPON COMPLETION OF WORK

Style of Fence
PC 30

Accepted by: _____

Date signed: _____

Total footage: _____

TOTAL PRICE: _____

Credit Card Payment will be subject to a 5.0% surcharge.

SKETCH



Installation Notes

120' x 40' = 4800
20' x 30' = 600
5400

COLORS

CourtYard® Aluminum Fencing is available in 12 standard AAMA 2604 colors to complement your project; from satin colors to textured colors. Custom colors and AAMA 2605 colors are available by special order.



Textured Colors



Black Fine Texture



Bronze Fine Texture



Brown Fine Texture



White Fine Texture



Grey Fine Texture

Colors shown are a close approximation of the true color.

Please request actual samples for accurate powder coating colors.

Non Textured Colors



Gloss Beige



Chocolate



Ninety Bronze



Sandy Shore



Satin Black



Gloss White



Speckled Walnut

Optional Color



Gold Accent
Fine Texture
(Upcharge may apply)

Select CourtYard® accessories are available in an optional Gold Accent color. See pages 18 and 19 for more information on the items available.



CourtYard®
ALUMINUM FENCING

Beauty. Strength. Durability.



**Digger
Specialties
Inc.**



Transforming the Outdoor Living Experience™