

03/29/2023

<b>PROJECT/SITE OWNER:</b>  Mark and Anne Berkoff <b>PROJECT ADDRESS:</b> 9240 N Tennyson Dr.	<b>PROJECT SUMMARY:</b>  Addition to the house 545 square feet Fence 6 foot tall black aluminum 36 feet open design
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I have reviewed the proposed single-story addition and fencing for compliance with the Village's ordinances and have determined the following for consideration.

**"A" residence district regulation.**

1. Meets current setbacks
2. Meets the required height restrictions
3. A current survey was submitted.
4. The applicant stated that they are matching the existing house with materials.
5. The board always considers the aesthetics of the project.
6. The proposed fence meets the Villages fencing ordinance.
7. This review is only for ARC and not for a building permit.

**VILLAGE CODE REVIEW**

**Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.**

**Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager**

# Project Proposal

Date March 23, 2023

Property Address 9240 North Tennyson, Bayside, WI 53217

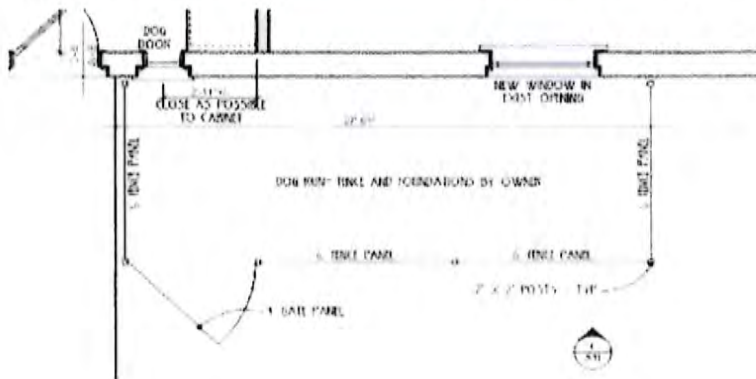
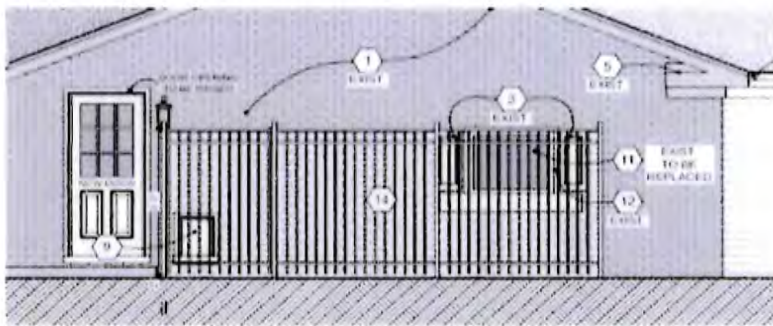
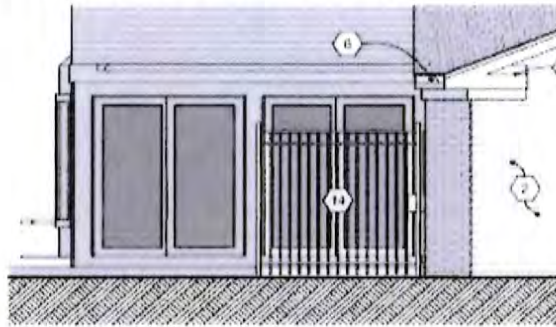
Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

Kitchen Remodel with Mudroom and Skullery addition. Addition of third car parking stall. Matching exterior  
Hardi Plank Siding, white Marvin Windows, and white Painted brick at Garage Addition.

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date: <u>4-24-23</u></li> <li><input type="checkbox"/> Parcel Number: <u>0189971000</u></li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input checked="" type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input checked="" type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input checked="" type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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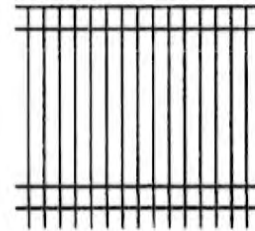
**Berkoff Dog Fence**  
**6' Wide x 18' Long x 6' Tall**



Barrette Outdoor Living

**Natural Reflections**  
**Standard-Duty 6 ft. H x 6 ft.**  
**W Black Aluminum Pre-**  
**Assembled Fence Panel**

★★★★☆



# Cornerstone Land Surveying, Inc.

## Plat of Survey



**Surveyor:**  
 Richard Simon  
 5080 Fairy Chasm  
 West Bend, WI 53095  
 rs2698@gmail.com  
 (262) 424-5630

**Address:**  
 9240 North Tennyson Drive  
 Bayside, WI 53217

**Description:** As described on Document No. 10782542 Milwaukee County Registry That part of the Northeast  $\frac{1}{4}$  of Section 4, Township 8 North, Range 22 East, Village of Bayside, Milwaukee County, Wisconsin, described as follows: Commencing at the Southwest corner of said  $\frac{1}{4}$  Section; thence N89°58'E along the South line of said  $\frac{1}{4}$  section, 735.46 feet to a point in the centerline of a 60 foot public road; thence Northerly along the center of said public road on a curved line (whose center lies to the West having a radius of 521.70 feet and whose long chord is 224.76 feet long and bearing N12°27'E) a distance of 226.42 feet to a point of tangency; thence N00°01'E along the centerline of said public road, 55.58 feet to the place of beginning of the land to be described; thence continuing N00°01'E along the centerline of said public road, 273.97 feet to a point; thence S89°59'E along the centerline of a 60 foot public road, 205.00 feet to a point; thence S2°52'W on a line 274.14 feet to a point; thence S89°58'W, on a line 191.37 feet to the place of beginning. Excepting the West 30 feet and the North 30 feet thereof

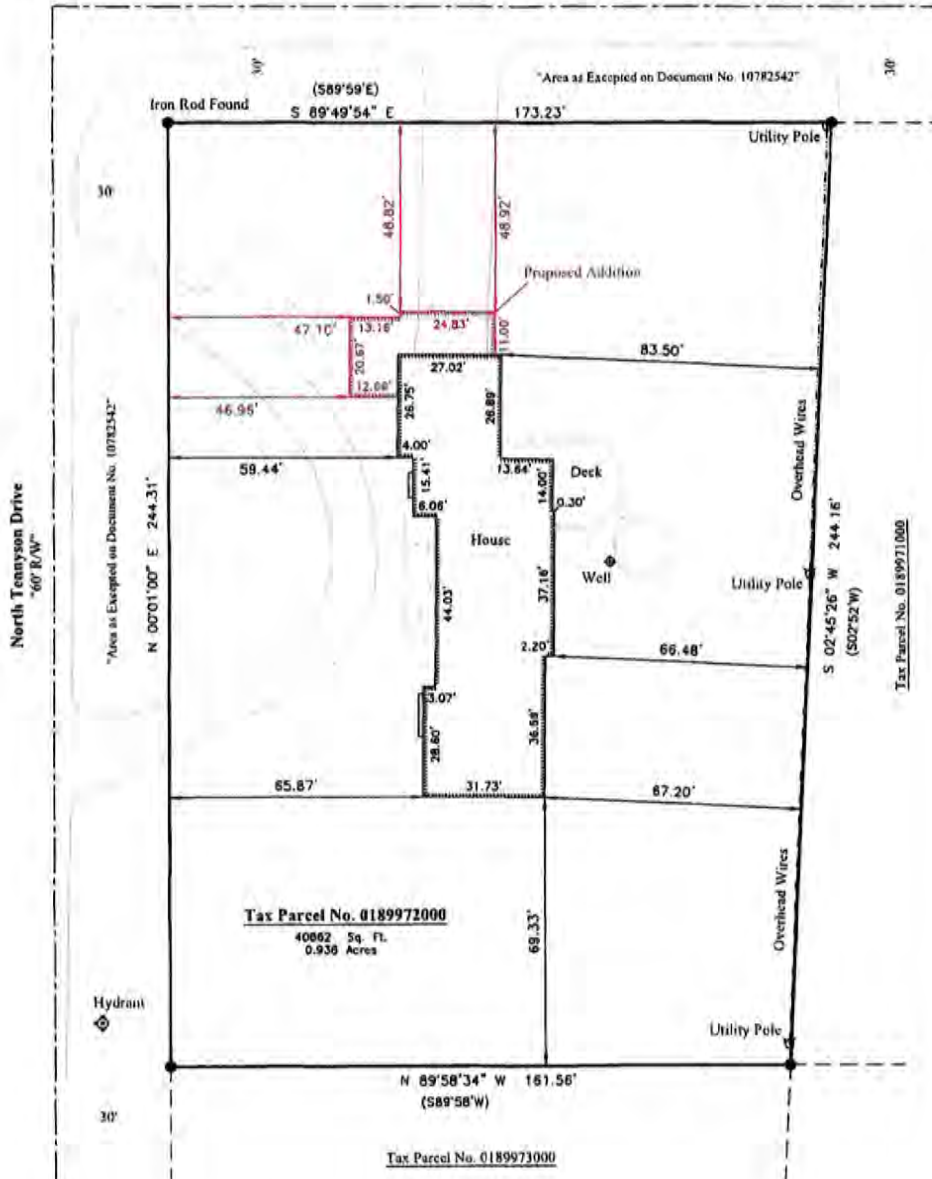
Scale 1" = 30'



### Legend:

- Denotes Iron Pipe Found  
 "Unless Otherwise Denoted"

East Bay Point Road  
 "60' R/W"



### Notes:

- 1) Bearings or Distances in ( ) are Recorded Measurements
- 2) In providing this boundary survey no attempt has been made to obtain or show data concerning the existence of any utility on the site, whether private, municipal, or public owned.
- 3) No Title Policy furnished therefore completeness of easements is not warranted.

STATE OF WISCONSIN

COUNTY OF WASHINGTON

"I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY ACCORDING TO OFFICIAL RECORDS AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO, WITHIN ONE YEAR FROM THE DATE HERETO

Survey For: Mark and Anne Berkoff

Dated this 10th day of March, 2023

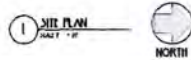
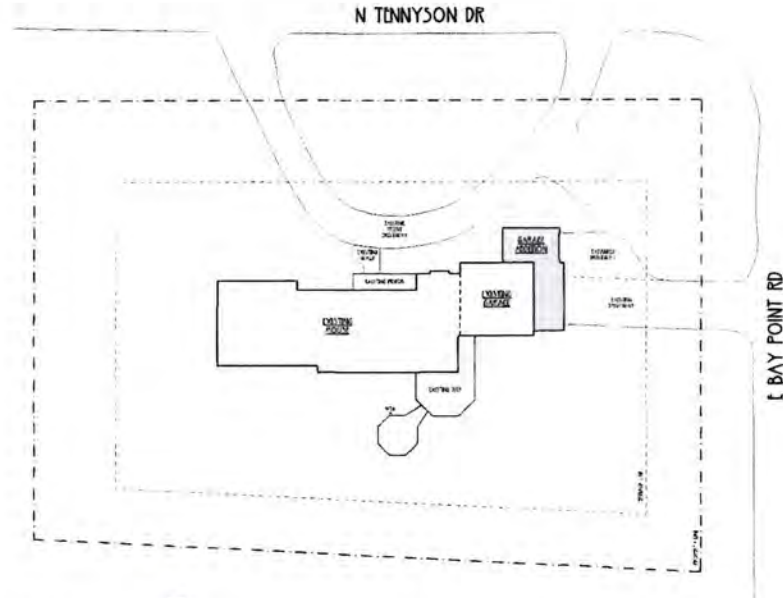
Revised this 22nd day of March, 2023

DOCUMENT KEY	
	EXISTING WALLS TO REMAIN
	WALLS TO BE REMOVED
	CONSTRUCTION, ROOF, OR WALL LINES NOT TO BE SHOWN
	PROPOSED EXTERIOR FINISH
	EXISTING EXTERIOR FINISH
	GRADE / WALL / ROOF / EXTERIOR FINISH
	AREAS TO BE REMOVED IN RENOVATION
	ATTENTION: ELEVATION PLANS REFER TO THESE PLANS FOR EXTERIOR VIEWS

SHEET INDEX	
00	SITE PLAN
01	FIRST FLOOR RENOVATION PLAN
02	FIRST FLOOR PLAN
03	EXTERIOR ELEVATIONS, DETAILS, & FINISH PLAN
04	OUTDOOR ELEVATIONS
05	FIRST FLOOR ELECTRICAL PLAN



SITE CALCULATIONS	
TOTAL SITE AREA	: 40,862 SF
EXISTING BUILDING AREA	: 3,532 SF
ADDITION BUILDING AREA	: 545 SF
TOTAL BUILDING AREA	: 4,077 SF
PERCENT OF TOTAL SITE AREA	: 9.98 %



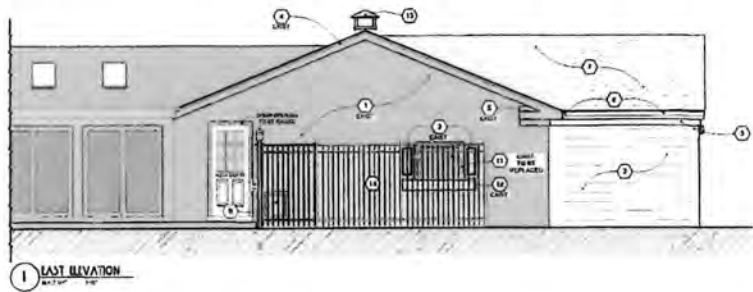
**TENNYSON RENOVATION**  
 9249 N TENNYSON DR  
 BAYSIDE, WI 53217  
 PROJECT NUMBER: PROJECT # 2214

DATE: 08/14/2014  
 DRAWN BY: J. J. JENSEN  
 CHECKED BY: J. J. JENSEN

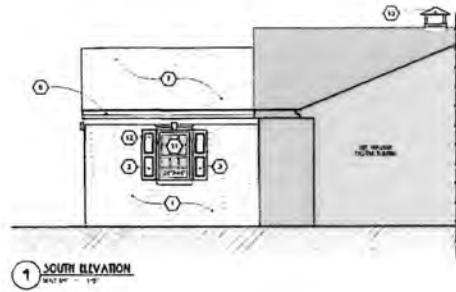
**SITE PLAN**

**CUJ**

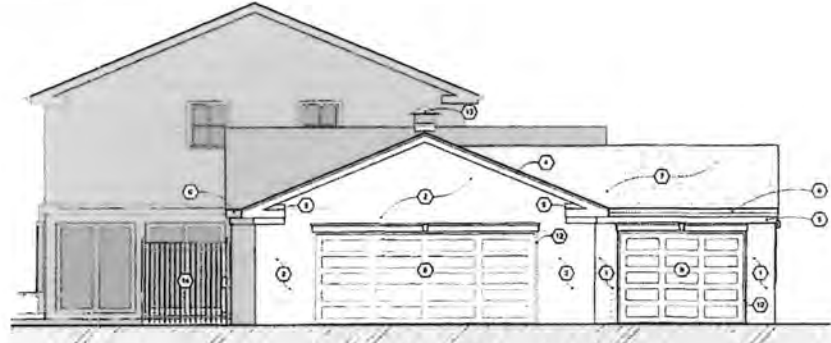
4732 N. OAKLAND AVE. SUITE 100 MILWAUKEE, WISCONSIN 53212 414.763.8875



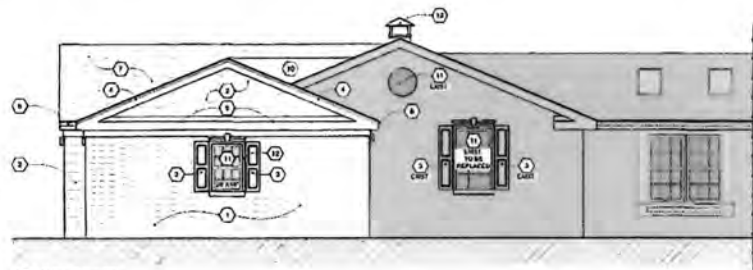
1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

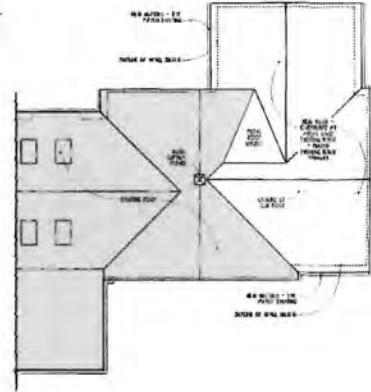


2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

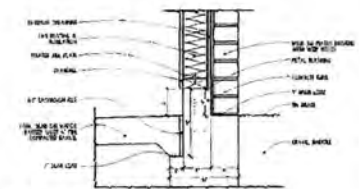


3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

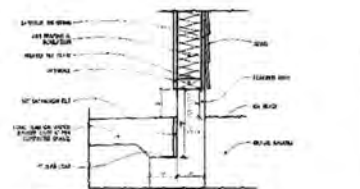
EXTERIOR ELEVATION NOTES	
1	EXIST. BRICK - MATCH EXISTING - SEE EXISTING DRAWING FOR DETAILS
2	NEW BRICK
3	NEW BRICK - MATCH EXISTING - SEE EXISTING DRAWING FOR DETAILS
4	NEW BRICK - MATCH EXISTING - SEE EXISTING DRAWING FOR DETAILS
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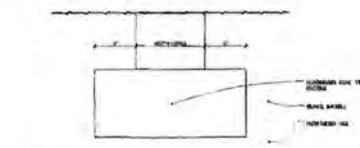
6 ROOF PLAN  
SCALE: 1/8" = 1'-0"



6 FOUNDATION AT BRICK WALLS  
SCALE: 1/4" = 1'-0"



7 FOUNDATION AT STONE WALLS  
SCALE: 1/4" = 1'-0"



9 TYPICAL FOOTING DETAIL  
SCALE: 1/4" = 1'-0"

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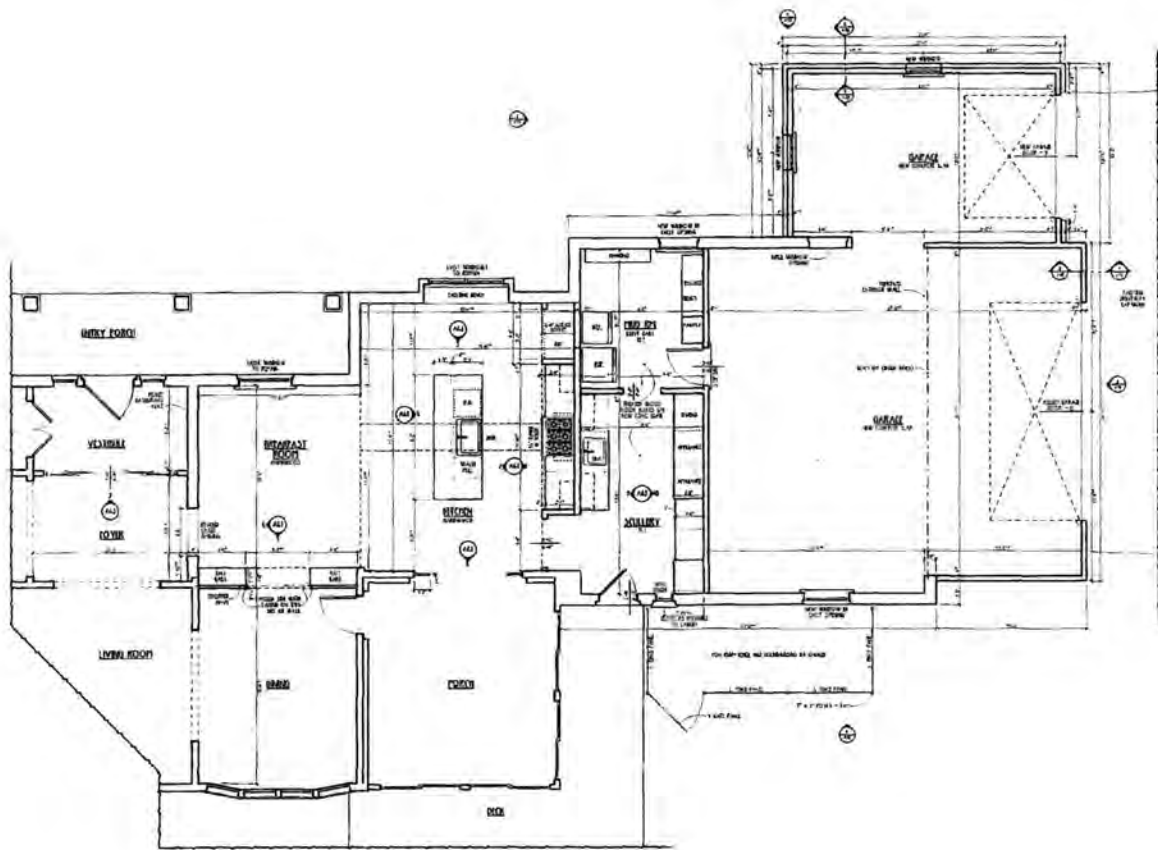
TENNYSON RENOVATION  
9248 N TENNYSON DR  
BAYSIDE, WI 53217

PROJECT NUMBER: PROJECT # 2214

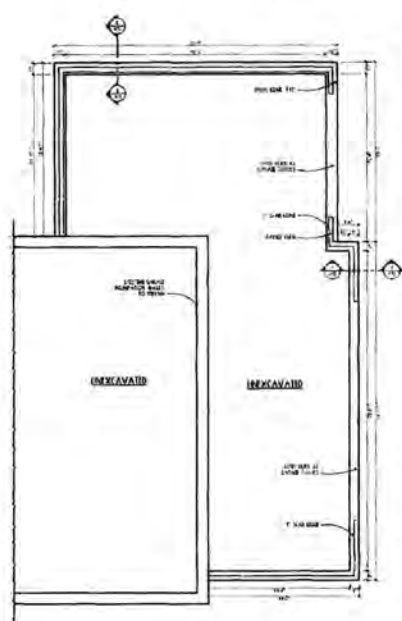
DATE: 11/15/2011  
BY: [Signature]

EXTERIOR ELEVATIONS, DETAILS & ROOF PLAN  
PROJECT # 2214  
9248 N TENNYSON DR  
BAYSIDE, WI 53217  
PEN & CO.  
1111 W. MARSHLAND AVE. #111 MILWAUKEE, WISCONSIN 53211 (414) 351-8333

A41



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"



**AIJ**

**FIRST FLOOR PLAN**

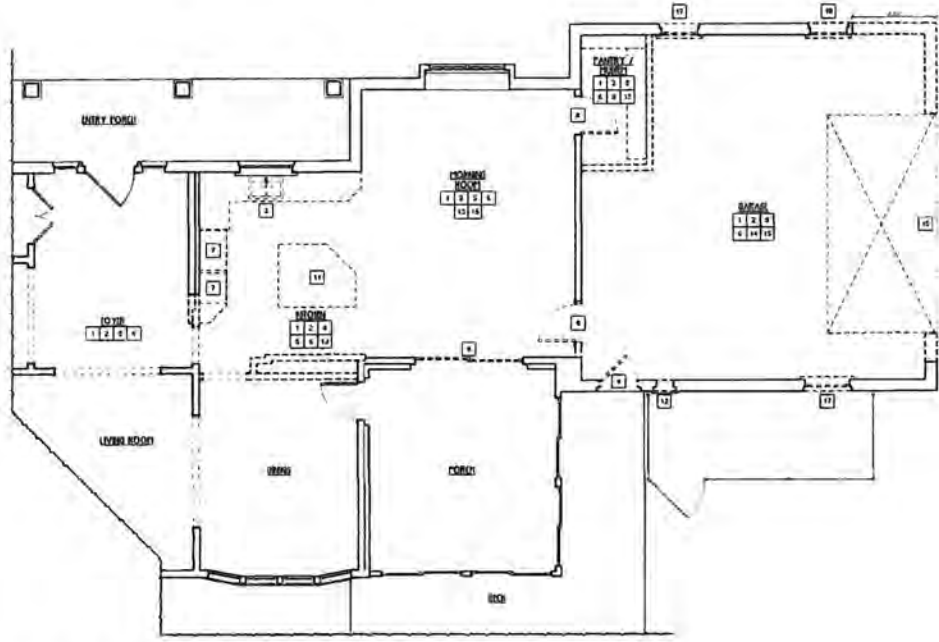
AIJ ARCHITECTURE  
1000 W. WISCONSIN ST., SUITE 100  
MILWAUKEE, WI 53233  
TEL: 414.224.1111  
WWW.AIJARCHITECTURE.COM

DATE: 08/14/2014  
BY: J. PENNELL  
CHECKED BY: M. HENNING

**TENNYSON RENOVATION**  
9240 N TENNYSON DR  
BAYSIDE, WI 53217  
PROJECT NUMBER: PROJECT # 2214



**P E N &**



1 FIRST FLOOR RENOVATION PLAN  
DATE: 11-11-14



**DEMOLITION NOTES**

1. REMOVE ALL EXISTING PARTITION WALLS
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**TENNYSON RENOVATION**  
9240 N TENNYSON DR  
DAYSIDE, WI 53217

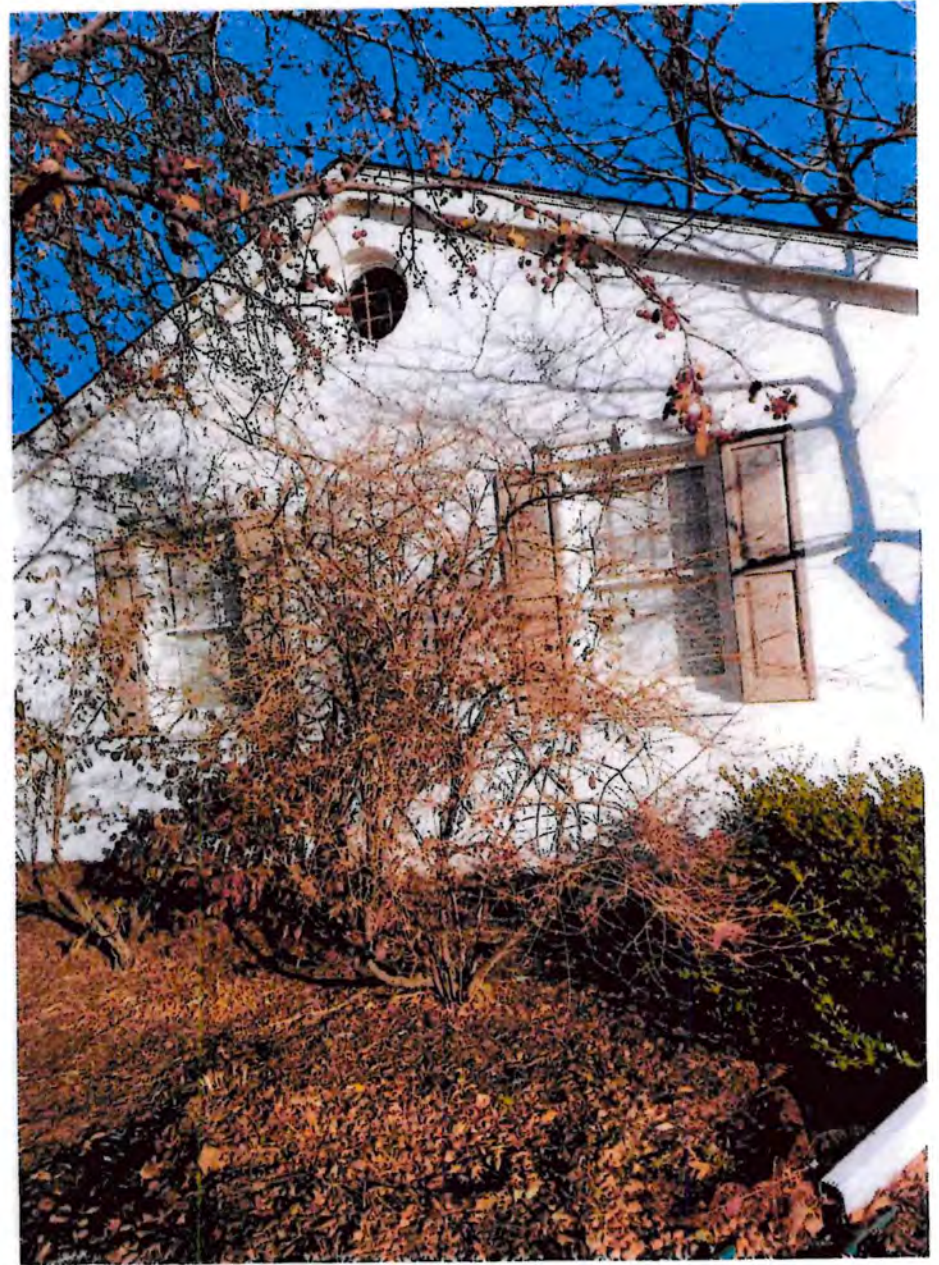
PROJECT NUMBER: PROJECT # 2214

**FIRST FLOOR DEMOLITION PLAN**



2525 N. DARIANO AVE. 1154 MILWAUKEE WISCONSIN 53111 414.270.4444







## Impervious Surface Calculator

Total Square Footage of Property		53521.1
Current Impervious Surface		
Home		1206
Accessory Structure(s)		
Driveway		3936.6
Deck/Patio		402.4
Other		
	<b>Total</b>	5545
Allowable Impervious Surface		
Zone A - 25%		
Zone B - 35%		
Zone C - 40%		
Proposed Additional Surface		545
	<b>TOTAL</b>	<b>6090</b>
<b>Current + Proposed Percent of Impervious Surface</b>		<b>11.3786899</b>
Address	Zone	
9240 N Tennyson Dr	Zone A - 25%	

05/23/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER:  Kathleen Roozen  PROJECT ADDRESS: 9126 N Meadowlark Ln</p>	<p>PROJECT SUMMARY:  New 6-foot wooden lattice fence approximately 259 feet open design.</p>
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I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration.

1. With the fence design being open lattice, this complies with the 50% open design requirement in the ordinance.
2. The board always considers matching fences with neighboring fences.

**VILLAGE CODE REVIEW**

**Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

**Services Offered**

Commercial Site Development  
 Subdivision Design and Platting  
 Planning  
 Streets and Highway Design  
 Drainage Studies  
 Water Distribution Systems  
 Sewer Collection Systems  
 Construction Surveying and Stake out Services



**Nienow Engineering Assoc.**  
 Consulting Engineers and Surveyors  
 5555 N. Port Washington Road  
 Milwaukee, WI 53217  
 414-963-4022  
 (Fax) 414-963-4028

PROJ. NO. 95294  
 W9529431

**PLAT OF SURVEY**

PREPARED FOR: **PENN**

**LEGAL DESCRIPTION:**  
**LOT 3, BLOCK 5, BAYSIDE, BEING A SUBDIVISION OF 39 ACRES LOCATED IN THE SOUTHEAST 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 22 EAST, MILWAUKEE COUNTY, WISCONSIN.**

CURVE DATA				
RADIUS	LENGTH	CHORD	BEARING	DELTA
3994.88'	112.75'	112.75'	N03°35'42"W	01°37'02"



**N. MEADOWLARK LANE**  
 60' WIDE

STATE OF WISCONSIN }  
 MILWAUKEE COUNTY }

I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any.

This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within (1) year from date hereof.

Dated at MILWAUKEE, WI this 23RD day of JUNE, 1995.

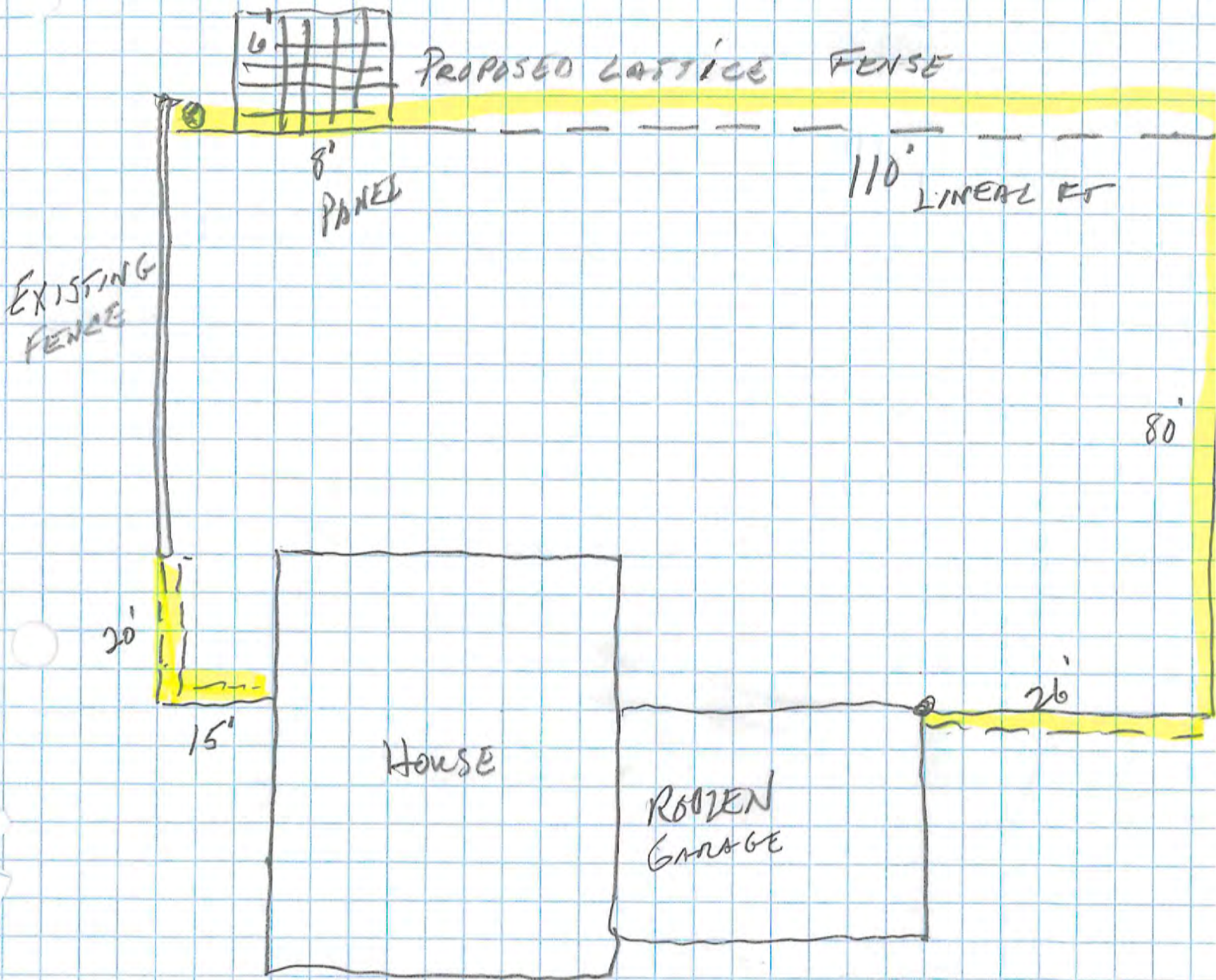
Resurveyed by [Signature] Surveyor

- LEGEND -
- - DENOTES IRON PIPE - SET
  - - DENOTES IRON PIPE - FOUND
  - - - DENOTES WIRE FENCE
  - ⊙ U.P. - DENOTES UTILITY POLE
  - ⊙ - DENOTES SANITARY MANHOLE

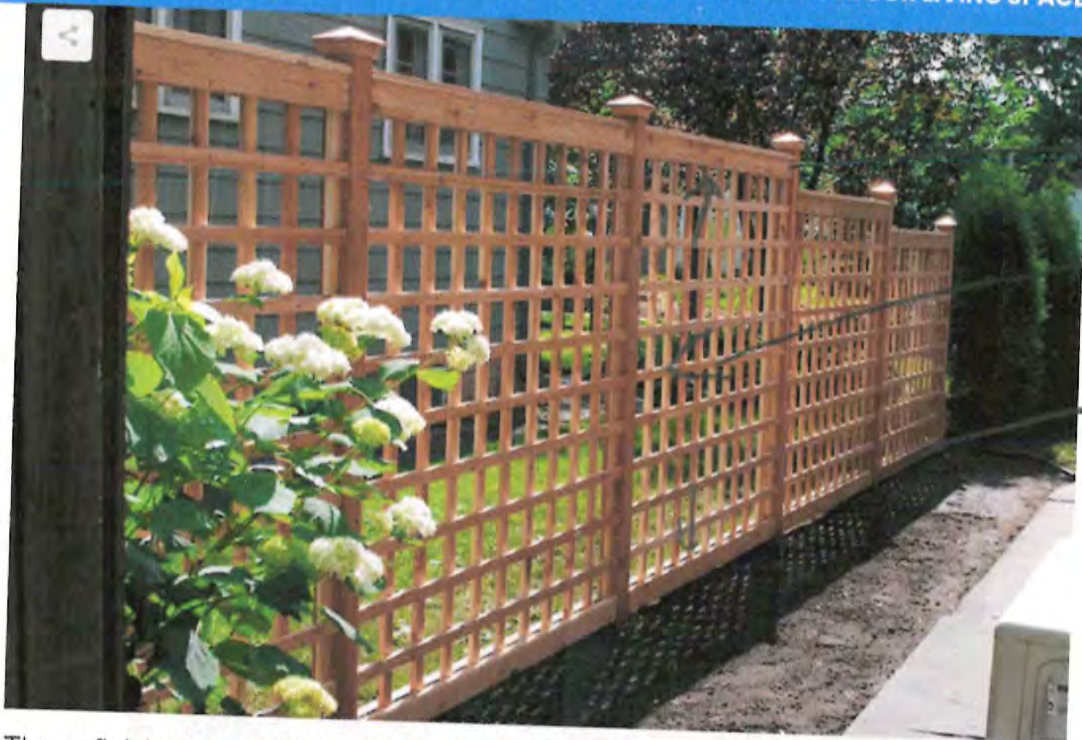
APPROVED  
 VILLAGE BOARD OF MAYORS  
 MILWAUKEE COUNTY

*[Handwritten signatures]*

\* NOTE PICTURE INCLUDED -



TOM & KATHLEEN ROOZEN  
9126 N MEADOWLARK LN  
BAYSIDE, WI  
53217  
414-336-8904



3"  
- 5' 6"  
- 3"  
-----  
6' 4"



The unfinished look of this wooden lattice fence panel is a natural beauty in itself. It separates the boundaries of a home while eliminating the restrictive feel of a full privacy fence.



A lattice fence is a really great decorative and functional option for most fencing needs. You may be very familiar with the lattice design, or you may be wondering what is a lattice fence? A lattice fence is most typically



40K



101 Different Types of Fence Style...

CONQUER THE DAY WITH DUNKIN'



ORDER NOW DUNKIN'

© 2021 Dunkin' Donuts, Inc.

Save



05/23/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Candace Covington</p> <p>PROJECT ADDRESS: 1061 W Jonathan Ln</p>	<p>PROJECT SUMMARY: Construct gazebo on existing concrete slab</p>
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I have reviewed the proposed construction of a gazebo for compliance with the Village's ordinances and have determined the following for consideration

1. There are no other issues with this submittal

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

**See comments is red  
Not including future landscaping**

**Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager**



# Project Proposal

Date 6/20/23

Property Address 1061 W. Jonathan Lane

Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

Install a 10x10 Aluminum Gazebo with Steel Roof. (see picture) Dark Brown

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date: <u>6/5/23</u></li> <li><input type="checkbox"/> Parcel Number:</li> <li><input checked="" type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td><input checked="" type="checkbox"/></td><td></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance	<input checked="" type="checkbox"/>			ARC	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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10 ft. D x 10 ft. W Genova Aluminum Gazebo with Galvanized Steel Roof Panels an...

by Sojag ★★★★★ (35) ❤️ 53

SPECIAL BUY

\$1411<sup>76</sup>

Save \$352.94 (20%)



Product Details

Specifications

Questions & Answers

Customer Reviews

Home / Storage & Organization / Outdoor Storage / Shade Structures / Gazebos

Internet #309461134 Model #500-9165036 Store SKU #1004319561

Sojag

❤️ 53

### 10 ft. D x 10 ft. W Genova Aluminum Gazebo with Galvanized Steel Roof Panels and Mosquito Netting

★★★★★ (35) Questions & Answers (51)



Live Chat

Feedback

Share Print

- 1 +

Add to Cart

- or -

Buy now with **PayPal**



### Free & Easy Returns In Store or Online

Return this item within 90 days of purchase. [Read Return Policy](#)

## Product Details



### Assembly Required



### Item Includes

Steel Gazebo



### Number Of Boxes Shipped

1



Featuring a galvanized steel construction, this Holden 10 ft. x 10 ft. Black Hard Top Steel Gazebo is the perfect addition to your backyard decor. Each gazebo features an air vent for added airflow and is able to withstand weather conditions due to the galvanized steel roof. Includes a zippered mosquito netting to keep out pesky bugs.

### **Additional Resources**

**From the Manufacturer**

## Specifications

Dimensions: H 112.80 in, W 118.20 in, D 118.20 in





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**Width (ft) x Depth (ft)**

10x10

[See Similar Items](#)

---

**Frame Material**

Steel

[See Similar Items](#)

---

**Gazebo Type**

Patio

---

**Coverage Area (sq. ft.)**

100 sq ft

[See Similar Items](#)

---

**Features**

Hardtop

---

**Gazebo Features**

Hardtop

Rust-Resistant Components

Water Resistant

---

**Dimensions**

Approximate Depth (ft.)	10
Approximate Height (ft.)	9
Approximate Width (ft.)	10
Assembled Depth (in.)	118.20 in

Assembled Height (in.)	112.80 in
Assembled Width (in.)	118.20 in
Canopy Depth (in.)	118 in
Canopy Width (in.)	118 in
Coverage Area (sq. ft.)	100 sq ft
Height From Ground to Underside of Canopy Edge (in.)	79.1 in
Outside Post Spacing Depth (in.)	109 in
Outside Post Spacing Width (in.)	109 in
Overall Height from ground to top of canopy/Overall Dimensions in Height (in.)	113.7 in
Width (ft) x Depth (ft)	10x10

## Details

Assembly Required	Yes
Canopy Style	Peaked
Color Family	Black
Frame Color Family	Blacks
Frame Gauge	20
Frame Material	Steel
Gazebo Features	Hardtop, Rust-Resistant Components, Water Resistant
Gazebo Type	Patio
Maximum Roof Load	20
Maximum Wind Resistance	55
Product Weight (lb.)	300 lb
Returnable	90-Day
Roof Color Family	Black
Shape	Square
Style	Industrial

## Warranty / Certifications

Manufacturer Warranty	2 year limited warranty
-----------------------	-------------------------

[How can we improve our product information? Provide feedback.](#)

## Questions & Answers

525 Questions

## Customer Reviews



06/08/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<b>PROJECT/SITE OWNER:</b> Lowell Davis	<b>PROJECT SUMMARY:</b> Adding a new egress window
<b>PROJECT ADDRESS:</b> 407 E Ravine Baye Rd.	

I have reviewed the proposed egress window for compliance with the Village’s ordinances and have determined the following for consideration.

1. The owner states that the egress window will be installed on the Southwest corner of the house
2. There are no other issues with this submittal.

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

**See comments is red**  
**Not including future landscaping**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

# Project Proposal

Date 05.23.23  
 Property Address 407 E. Ravine Baye Rd  
 Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

Install egress window in basement of property located at the above mentioned address.  
The window is proposed to be a 48x48 in overall inches.  
This window will replace a 24x36 window in overall inches.

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Building</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Electrical</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Plumbing</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>HVAC</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Fill</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Impervious Surface</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Dumpster</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>ROW/Excavation</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Conditional Use</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Occupancy</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Special Exception/Variance</td> </tr> <tr> <td></td> <td></td> <td><input type="checkbox"/></td> <td>ARC</td> </tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input checked="" type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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06/08/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Tim Moll and Stephanie Heller</p> <p>PROJECT ADDRESS: 8871 N Mohawk Rd.</p>	<p>PROJECT SUMMARY:</p> <p>Adding a new egress window</p>
--	---

I have reviewed the proposed egress window for compliance with the Village's ordinances and have determined the following for consideration.

1. The owner states that the egress window will be installed on the front of the house
2. There are no other issues with this submittal.

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

**See comments is red  
Not including future landscaping**

**Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager**

# Project Proposal

Date 6/2/2023

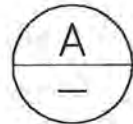
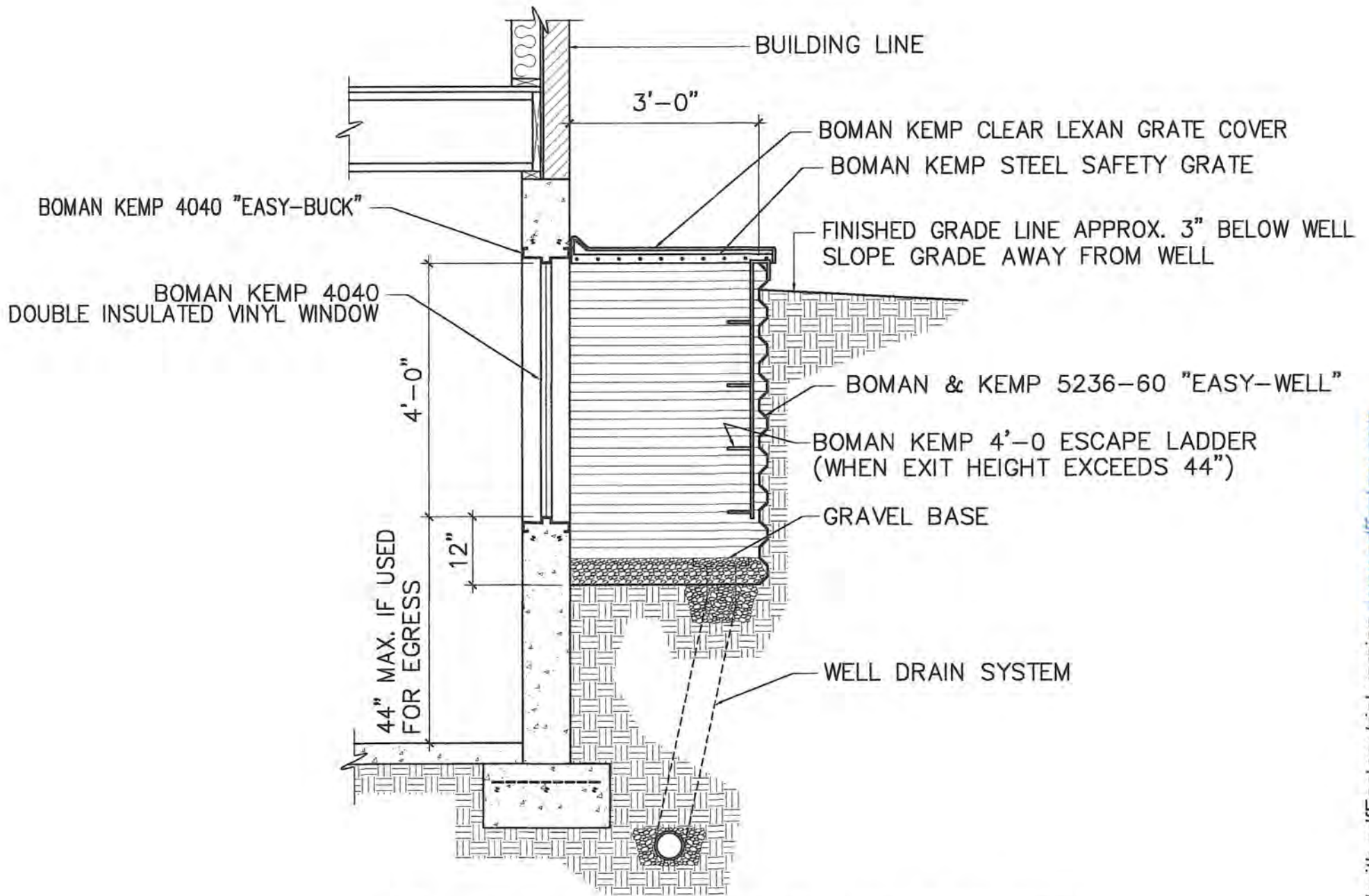
Property Address 8871 N. Mahawk Rd. Beside W1 53217

Zoning District C Residence District

Proposed Project Details (type of work, size, materials, location, etc.):

Replace basement small window with an egress window for an office space.

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input checked="" type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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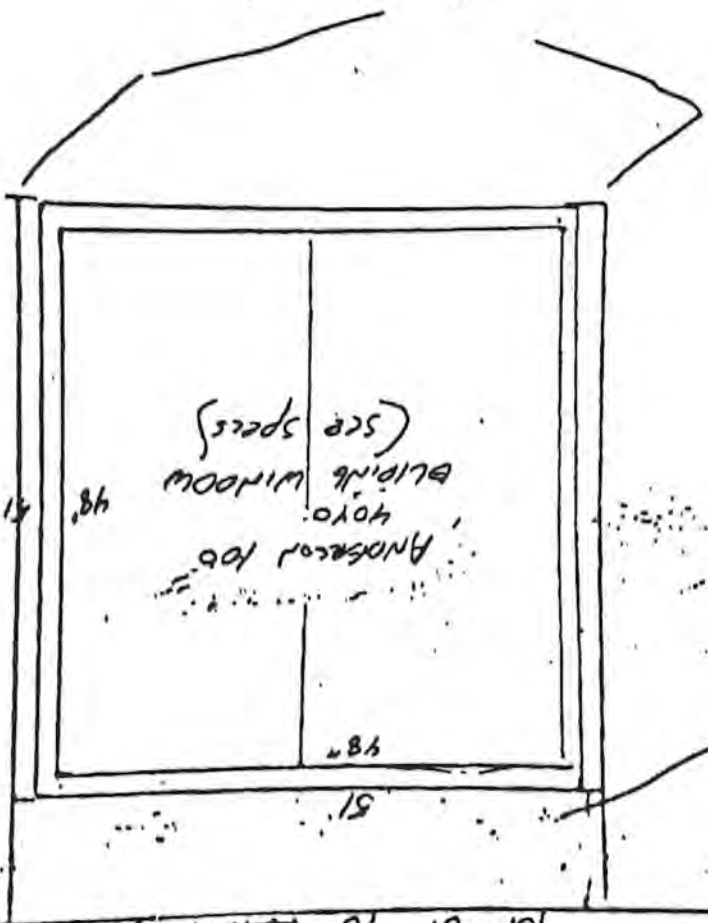


WALL SECTION THRU. WINDOW WELL

SHOWER STOPS

2 X 8

38-40"



ANDERSON 100  
 40x0  
 BLIND WINDOW  
 (see specs)

48"

48"

51"

2 X 19" HEMLOCK  
 WITH 3" X 4" X 3/8"  
 STEEL ANGLE  
 REINFORCEMENT

Block foundation  
 Top of 10" ~~Block~~ BEARING WALL

RESISTANCE  
 EXCESS WINDOW

2 PANEL UNITS

	24"	30"	36"	42"	48"	Rough Opening
	23 1/2"	29 1/2"	35 1/2"	41 1/2"	47 1/2"	Frame Size
	9 9/16" / 8 3/8"	12 9/16" / 11 3/8"	15 9/16" / 14 3/8"	18 9/16" / 17 3/8"	21 9/16" / 20 3/8"	Daylight Opening (Left / Right Sash)
12"	11 1/2"	17 1/2"	23 1/2"	29 1/2"	35 1/2"	31 1/2"
18"	17 1/2"	23 1/2"	29 1/2"	35 1/2"	41 1/2"	37 1/2"
24"	23 1/2"	29 1/2"	35 1/2"	41 1/2"	47 1/2"	43 1/2"
30"	29 1/2"	35 1/2"	41 1/2"	47 1/2"	53 1/2"	49 1/2"
36"	35 1/2"	41 1/2"	47 1/2"	53 1/2"	59 1/2"	55 1/2"
42"	41 1/2"	47 1/2"	53 1/2"	59 1/2"	65 1/2"	61 1/2"
48"	47 1/2"	53 1/2"	59 1/2"	65 1/2"	71 1/2"	67 1/2"
54"	53 1/2"	59 1/2"	65 1/2"	71 1/2"	77 1/2"	73 1/2"
	50 3/4" / 48 7/8"	50 3/4" / 48 7/8"	50 3/4" / 48 7/8"	50 3/4" / 48 7/8"	50 3/4" / 48 7/8"	50 3/4" / 48 7/8"

Elevation Legend:  
 ## = Maximum Performance Grade (PG) Rating With Standard Glazing  
 E = Unit Meets Egress - Clear Opening Exceeds 20" Width, 24" Height And 5.7ft²







05/23/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Barry &amp; Penny Goldman</p> <p>PROJECT ADDRESS: 8995 N Rexleigh Dr</p>	<p>PROJECT SUMMARY:</p> <p>Modify windows, elimination on and enlarging one</p>
---	---

I have reviewed the proposed window modification for compliance with the Village's ordinances and have determined the following for consideration

1. There are no other issues with this submittal

*104-2(a)(2) Architectural Review Committee: Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

**See comments is red**  
**Not including future landscaping**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

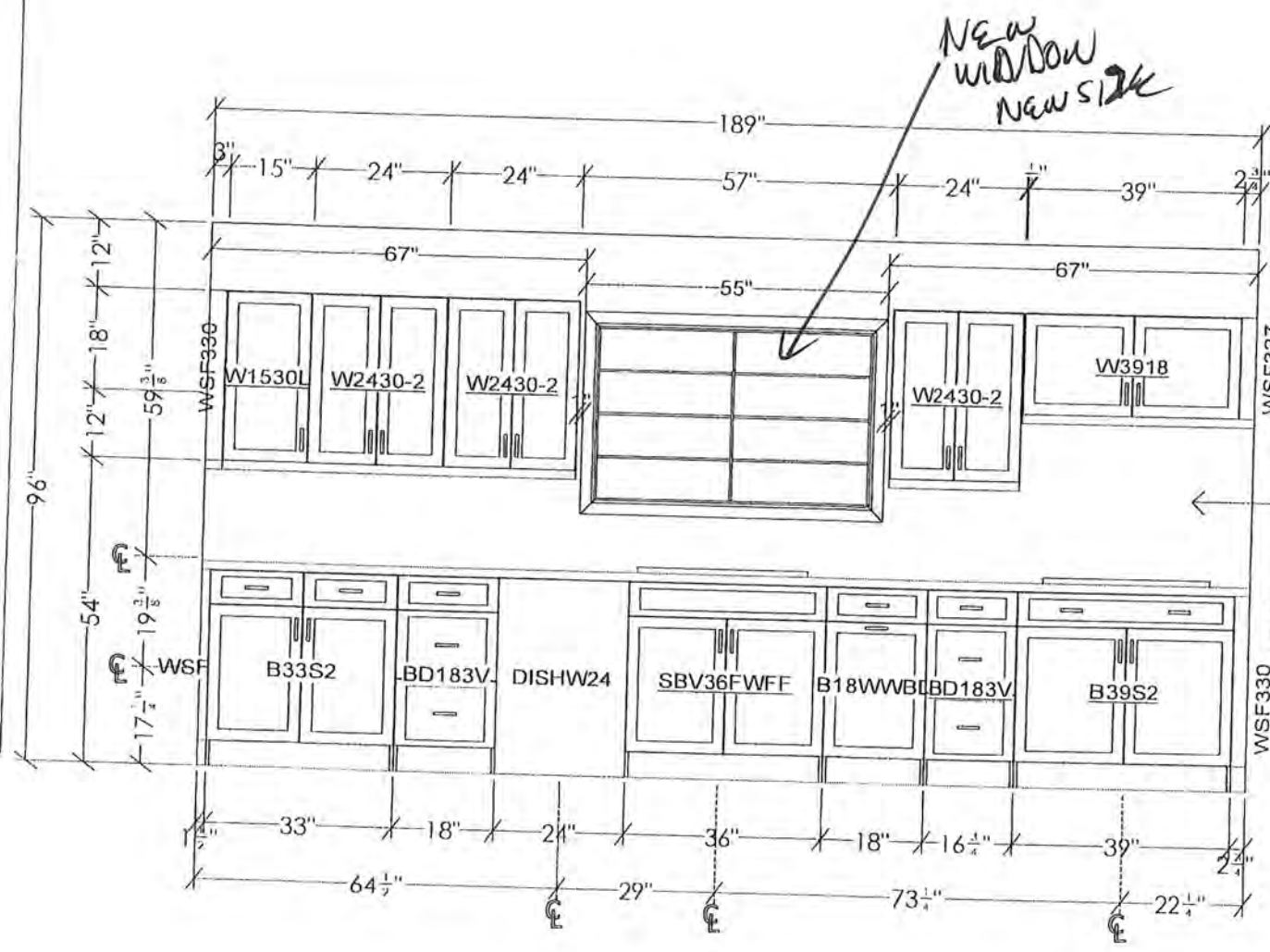
# Project Proposal

Date 7/18 - 9/18/23  
 Property Address 899 S. N. REXLEIGH DR.  
 Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

TOTAL KITCHEN REMODEL - ELIMINATING ONE WINDOW  
BACK OF HOUSE AND ENLARGING ONE WINDOW BACK OF HOUSE,  
ADDING ELECTRICAL OUTLETS AND MOVING 220 VOLT ACROSS  
KITCHEN. NEW CABINETS ETC.  
CURRENT WINDOW SIZE 37X48 2-WIDE CASEMENT  
NEW " " 37X55 " "  
 ↪ WINDOWS ARE BACK SIDE OF HOUSE

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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*NEW WINDOW  
NEW SIZE*

*OLD WINDOW  
OUT*

USE SCRIBE MOLDING TO CLEAN EDGE WHERE CABINETS MEET SOFFIT

UNIT IS LESS THAN 30" ABOVE COOKTOP. POWER PACK INSERT SHOULD BE MOUNTED INTO METAL LINER TO PROTECT CABINETRY COMBUSTIBLE MATERIAL FROM HEAT IN ORDER TO MEET BUILDING CODE REQUIREMENTS.

CLEAT BACK WALL IN CORNER FOR CT SUPPORT

All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 3/27/2023  
Printed: 4/21/2023



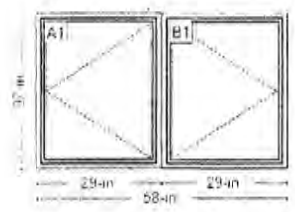
# Lowe's Custom Order Quote

Quote # 777289054  
Quote Name: 2-wide Casement  
Date Printed: 4/22/2023

**Customer:** Barry Goldman  
**Email:**  
**Address:** 8995 N. REXLEIGH DR  
BAYSIDE, WI 53217  
**Phone:** (414) 688-0752

**Store:** (2309) LOWE'S OF WAUWATOSA, WI  
**Associate:** ALBERTO MENDOZA (2362467)  
**Address:** 12000 WEST BURLEIGH  
WAUWATOSA, WI 53222-3113  
**Phone:** (414) 257-4159

**Item Total:** 3  
**PreSavings Total:** \$2,222.27  
**Freight Total:** \$0.00  
**Labor Total:** \$0.00  
**Pre-Tax Total:** \$1,888.93  
**Savings Total:** (2333.34)



Lifestyle | 2-Wide Casement | 58 X 37 |  
Without HGP | White | Remake  
Room Location: None Assigned

Product Warranty



Line #	Item Summary	Production Time	Was Price	Now Price	Quantity	Total Savings	Pre-Tax Total
100-1	Lifestyle   2-Wide Casement   58 X 37   Without HGP   White   Remake	72 days	\$2,096.15	\$1,781.73	1	\$314.42	\$1,781.73

Valid thru: 05/03/2023

Line #	Item Summary	Production Time	Was Price	Now Price	Quantity	Total Savings	Pre-Tax Total
100-2	Screen Full Screen White InView	72 days	\$63.06	\$53.60	1	\$9.46	\$53.60

Valid thru: 05/03/2023

Line #	Item Summary	Production Time	Was Price	Now Price	Quantity	Total Savings	Pre-Tax Total
100-3	Screen Full Screen White InView	72 days	\$63.06	\$53.60	1	\$9.46	\$53.60

Valid thru: 05/03/2023

06/06/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Igor Sorin</p> <p>PROJECT ADDRESS: 214 E Brown Deer Rd.</p>	<p>PROJECT SUMMARY: Construct pergola on existing patio</p>
--	---

I have reviewed the proposed construction of a pergola for compliance with the Village's ordinances and have determined the following for consideration.

1. There are no other issues with this submittal.

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

**See comments in red**  
**Not including future landscaping**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

# Project Proposal

Date 5/28/23  
 Property Address 214 E Brown Door Rd  
 Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

*pre manufactured pergola for backyard patio to create shaded area*  
*color: grey*  
*material: aluminum*  
*wind rating: 40-45 mph*  
*coverage area: 260 sq ft*  
*Drainage system: hidden gutter*  
*weight/capacity: 22.4 lbs per sq ft*  
*Dimension 212.0" x 137.8" x 90.55"*

<input type="checkbox"/> ARC Agenda Date: <input type="checkbox"/> Parcel Number: <input type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial  PERMITS: Y N Payment <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Building <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Electrical <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Plumbing <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> HVAC <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Fill <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Impervious Surface <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Dumpster <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> ROW/Excavation <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Conditional Use <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Occupancy <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Special Exception/Variance <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> ARC	<input checked="" type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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## **Product Specification:**

COLOR: Grey

MATERIAL: Aluminum

WIND RATING: 40-45 mph

COVERAGE AREA: 200 sq.ft

DRAINAGE SYSTEM: Hidden gutter

WEIGHT CAPACITY(ROOF): 22.4 lbs per sq.ft

DIMENSION: 212.6"(L) X 137.8"(W) X 90.55"(H)

## **More Details:**

- **Adjustable Louvered Roof:** The unique louvered roof design allows you to control the amount of sun or shade you receive. Keeps out the bright light and harmful UV rays.
- **High Quality Material:** Constructed with powder coated aluminum frame, which is rust-resistant and not easy to deform. Designed to last for years to come.
- **Hidden Gutter Design:** This outdoor pergola has a built-in gutter system along the roof to redirect the water to outside posts, avoiding water accumulation on the roof and keeping dry underneath.
- **Assembly instructions and necessary hardware are included.** No special rivets, additional materials or welds are required for assembly. Recommend 4-6 people to install. **PURPLE LEAF doesn't offer installation service. Furniture NOT INCLUDED!**
- **In the case of high winds, snow or other extreme weather conditions, please open the louvers and raise or remove any shade screen accessories that have been installed to avoid potential damage to your pergola.**









Aerial phot of my yard and drawing of where pergola will go

06/06/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

PROJECT/SITE OWNER:	PROJECT SUMMARY:
Paul & Patti Gondek PROJECT ADDRESS: 9355 N Regent	New 4-foot cedar post with black decorative metal wire inserts fence approximately 70 feet open design. New three sections of 6-foot by 8 feet long cedar privacy fencing total of 24 feet.

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration.

1. With the fence design being open metal wire panels, this complies with the 50% open design requirement in the ordinance.
2. The three sections of privacy fencing totaling 24 lineal feet complies with the ordinance.
3. The board always considers matching fences with neighboring fences.

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

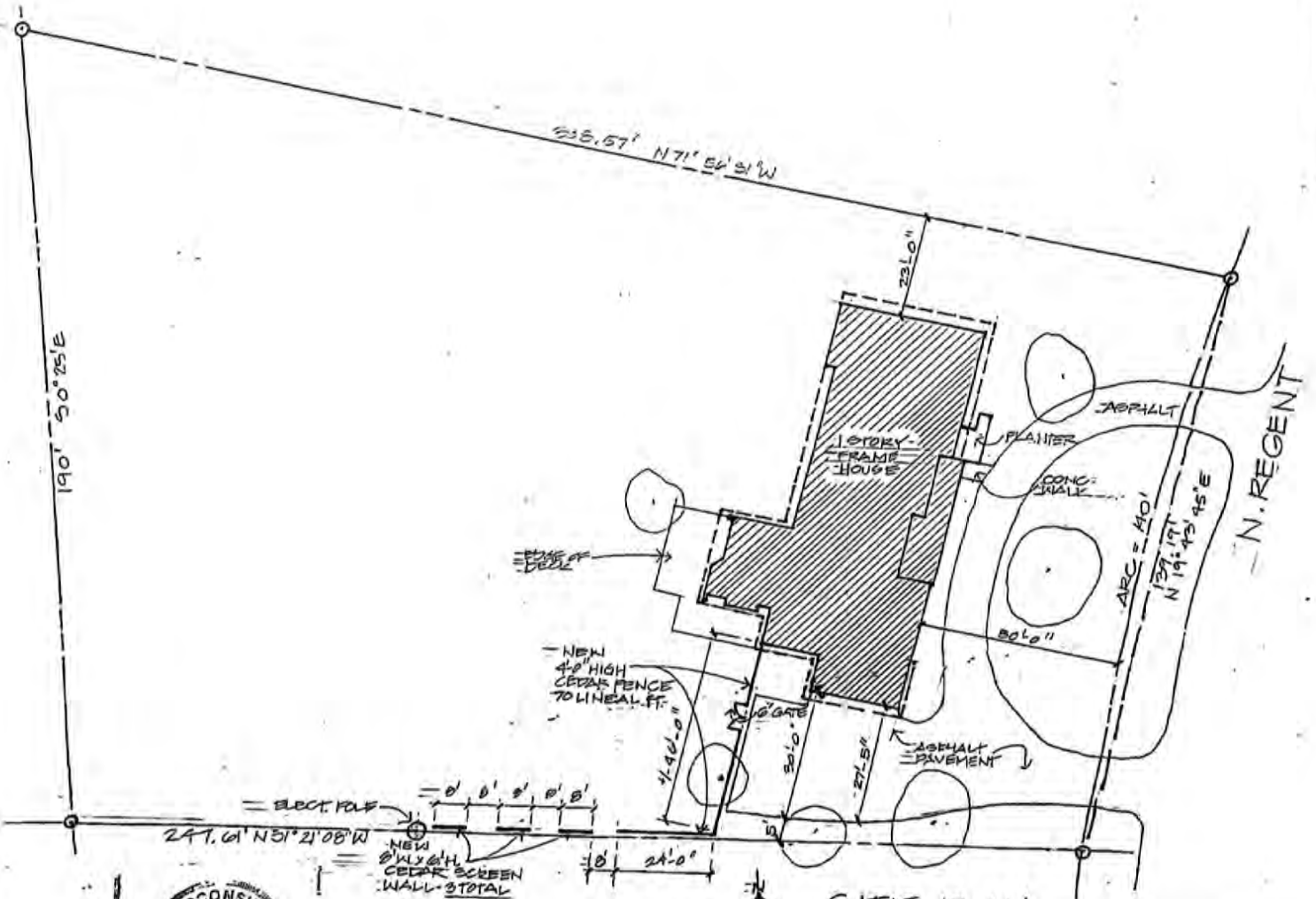
## Project Proposal

Date 6/13/2023  
 Property Address 9255 N. Prospect Rd.  
 Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

1) 70 linear ft of 4'-0" high cedar and decorative metal fencing with 6" wide gate. located behind driveway  
 2) 3 - 8'-0" wide x 6'-0" high cedar screen walls spaced equally along south property line.

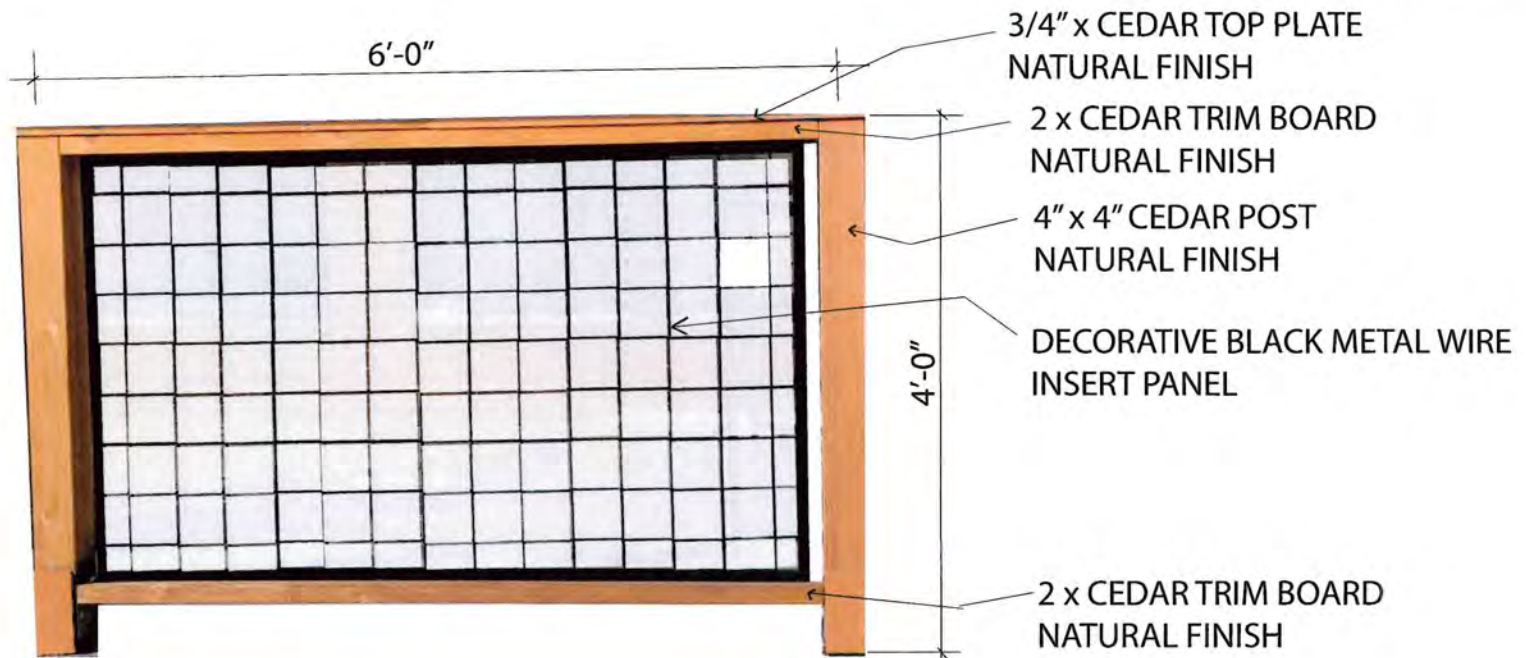
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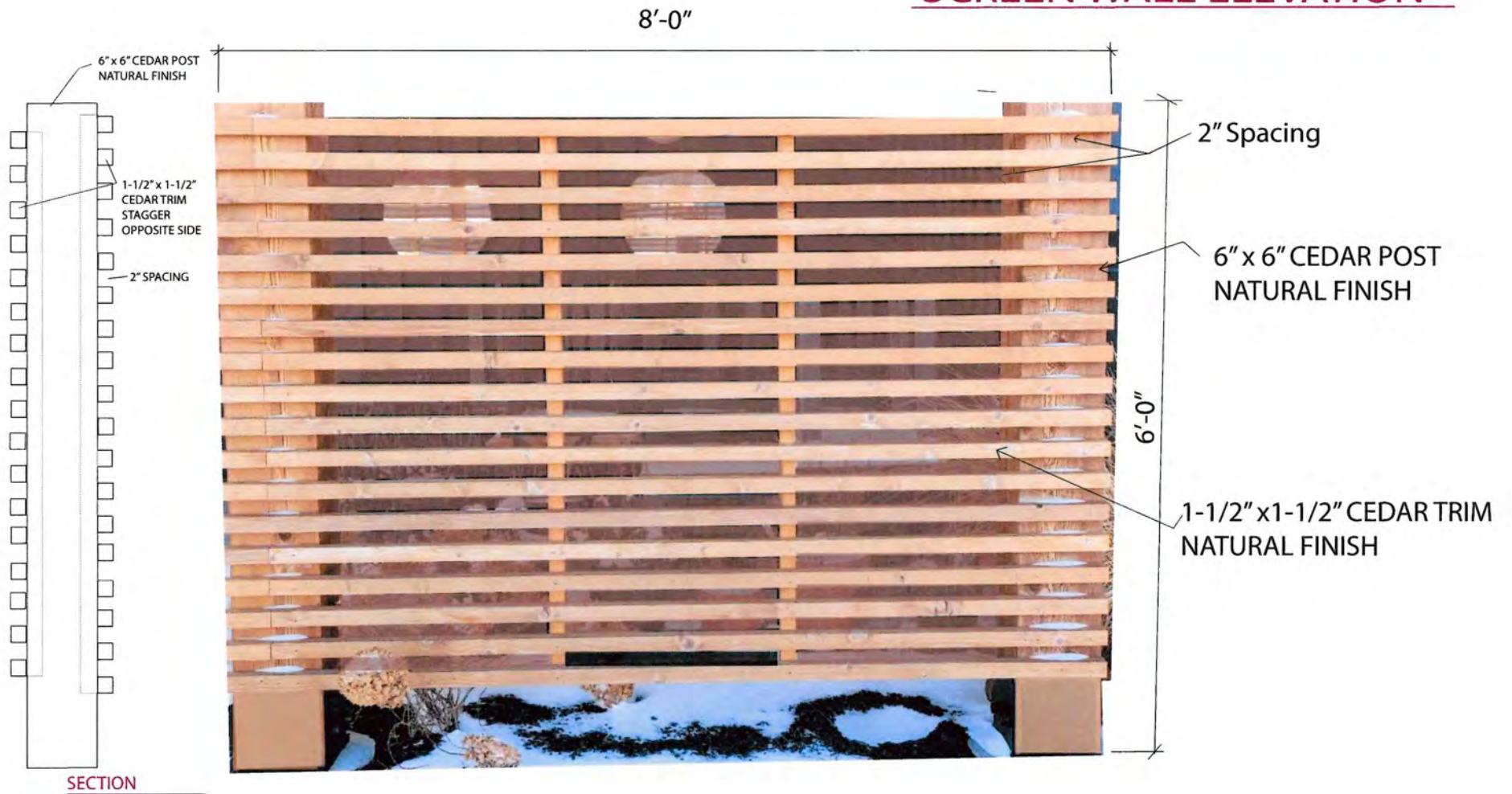
N  
 SITE PLAN  
 1" = 20'-0"  
 9355 N. REGENT RD.

## TYPICAL FENCE PANEL ELEVATION

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# SCREEN WALL ELEVATION







06/07/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<b>PROJECT/SITE OWNER:</b>  Yoko Koami  <b>PROJECT ADDRESS:</b> 1219 E Hermitage Rd	<b>PROJECT SUMMARY:</b>  New single-family home
--	---

I have reviewed the proposed new single-family home for compliance with the Village's ordinances and have determined the following for consideration

**"C" residence district regulation.**

- (1) A front yard setback of not less than 30 feet shall be provided, their proposed set back of 31 feet is compliant with the ordinance.
- (2) A side yard setback of not less than 10 feet shall be provided for on each side, their proposed side yard setback of 10.86 feet is compliant with the ordinance.
- (3) A rear yard setback of not less than 20 feet shall be provided, their proposed rear yard setback of 92.87 feet is compliant with the code.
- (4) They comply with the required minimum square footage of the house
- (5) They comply with the required height restriction.

A current survey was provided.

1. The proposed submittal meets the prescribed ordinances.
2. The board always considers the aesthetics of the project.
3. **This review is only the ARC and not a building permit.**
4. **Grading plan must be reviewed by the Villages Engineer**

**VILLAGE CODE REVIEW**

**Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

**Project Proposal**

Date 5/31/2023  
 Property Address 1219 E Hermitage Road  
 Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

*New Construction ~ Single Family home w/ Attached Garage  
 2,062 Sq Ft*

<input checked="" type="checkbox"/> ARC Agenda Date: <u>6/19</u> <input type="checkbox"/> Parcel Number: <u>0200023000</u> <input checked="" type="checkbox"/> Color photographs showing project location, elevations, and surround views. <input type="checkbox"/> Complete digital set of building plans (including elevations and grading). <input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs. <input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial  PERMITS: Y N Payment <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Building <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Electrical <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Plumbing <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> HVAC <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Fill <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Impervious Surface <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Dumpster <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> ROW/Excavation <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Conditional Use <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Occupancy <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Special Exception/Variance <input type="checkbox"/> ARC	<input type="checkbox"/> Accessory Structures/Generators <input type="checkbox"/> Additions/Remodel <input type="checkbox"/> Commercial Signage <input type="checkbox"/> Decks/Patios <input type="checkbox"/> Fence <input type="checkbox"/> Fire Pits <input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit <input type="checkbox"/> New Construction <input type="checkbox"/> Play Structures <input type="checkbox"/> Recreational Facilities/Courts <input type="checkbox"/> Roofs <input type="checkbox"/> Solar Panels/Skylights <input type="checkbox"/> Swimming Pools <input type="checkbox"/> Windows/Doors – change exceeds 25% of opening <input type="checkbox"/> Other
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*Koami,*  
Exterior Selections; Yoko BOYLH1122, Bayside

Roof; Driftwood  
OC Oakridge Pro 30



Windows; Black Exterior  
Alliance



Siding & Verticals; Vinyl Ovation Double 4  
Desert Sand



Front Door & Sidelights;  
Prefinished WBP Mocha



**WBP Mocha**  
Andersen Terratone  
Entrust Earthtone  
Frontline Terratone

Aluminum:  
Gutters/ Soffit/ Fascia; White  
MiraTEC:  
Frieze Board/ Corners/ Trim; White  
Porch Posts; White



WHITE

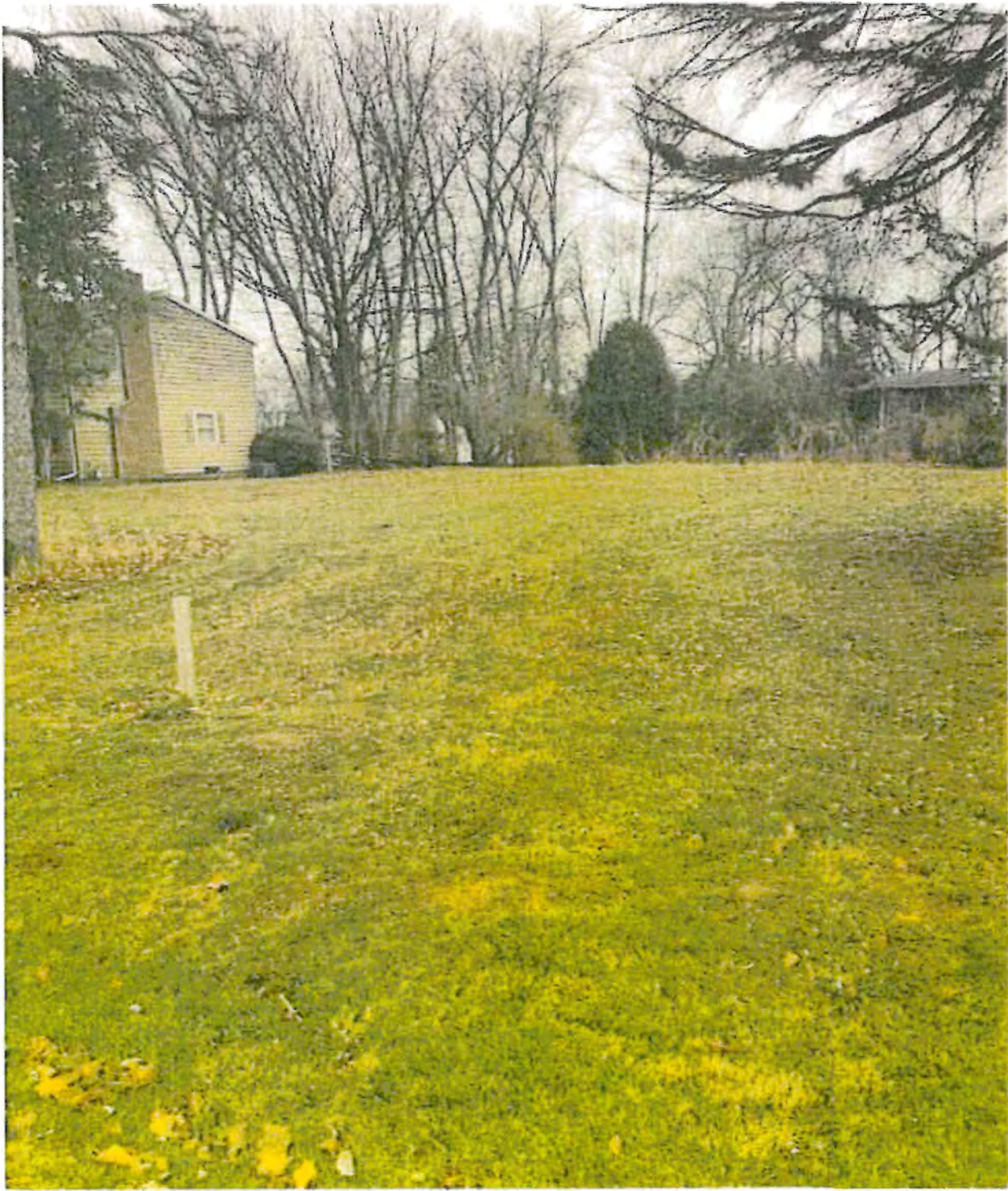
Service Door;  
Painted White



WHITE

Garage Door; White







5



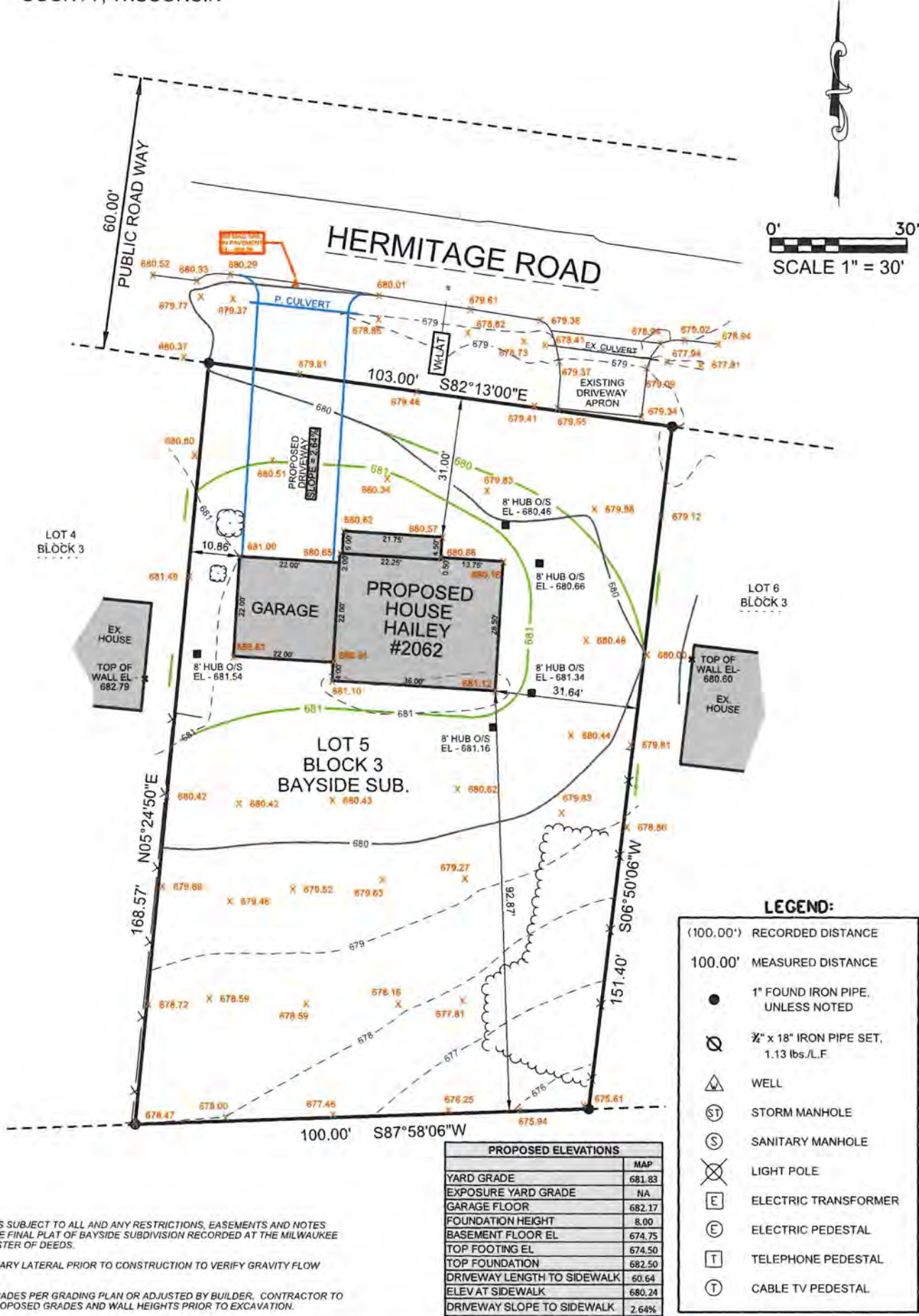
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# PLAT OF SURVEY

LOT 5, BLOCK 3 IN BAYSIDE SUBDIVISION, LOCATED IN PART OF THE SOUTHEAST ¼ OF SECTION 4, TOWNSHIP 8 NORTH, RANGE 22 EAST, VILLAGE OF BAYSIDE, MILWAUKEE COUNTY, WISCONSIN



**NOTES:**

THIS PARCEL IS SUBJECT TO ALL AND ANY RESTRICTIONS, EASEMENTS AND NOTES SHOWN ON THE FINAL PLAT OF BAYSIDE SUBDIVISION RECORDED AT THE MILWAUKEE COUNTY REGISTER OF DEEDS.

EXPOSE SANITARY LATERAL PRIOR TO CONSTRUCTION TO VERIFY GRAVITY FLOW TO BASEMENT.

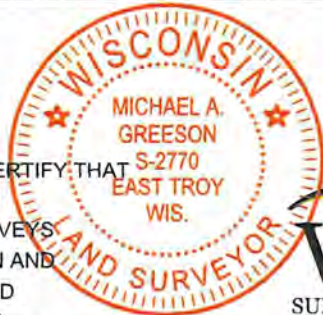
PROPOSED GRADES PER GRADING PLAN OR ADJUSTED BY BUILDER. CONTRACTOR TO VERIFY ALL PROPOSED GRADES AND WALL HEIGHTS PRIOR TO EXCAVATION.

**SURVEY MADE FOR:**  
**BIELINSKI HOMES, INC.**  
 1830 MEADOW LANE  
 PEWAUKEE, WI 53072

DATE	ITEM
05/26/2023	PRELIM SURVEY
05/31/2023	PERMIT SURVEY

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE TO WITHIN ONE (1) YEAR FROM DATE HERETO.

I, MICHAEL A. GREESON P.L.S. #2770, HEREBY CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY SURVEYS (CHAPTER A-E 7) FOR THE STATE OF WISCONSIN AND HAS BEEN PREPARED UNDER MY DIRECTION AND CONTROL AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



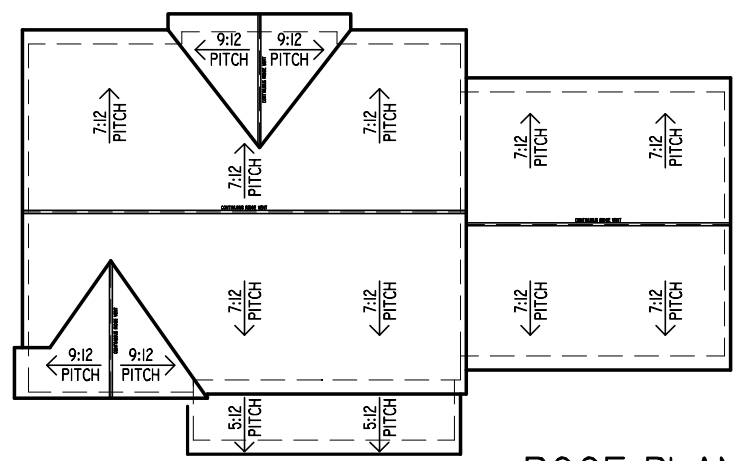
*Michael A. Greeson*

**V<sup>2</sup>G**  
 SURVEYING, LLC  
 123 WOLF RUN - SUITE 4  
 MUKWONAGO, WI 53149  
 (262) 378-5097

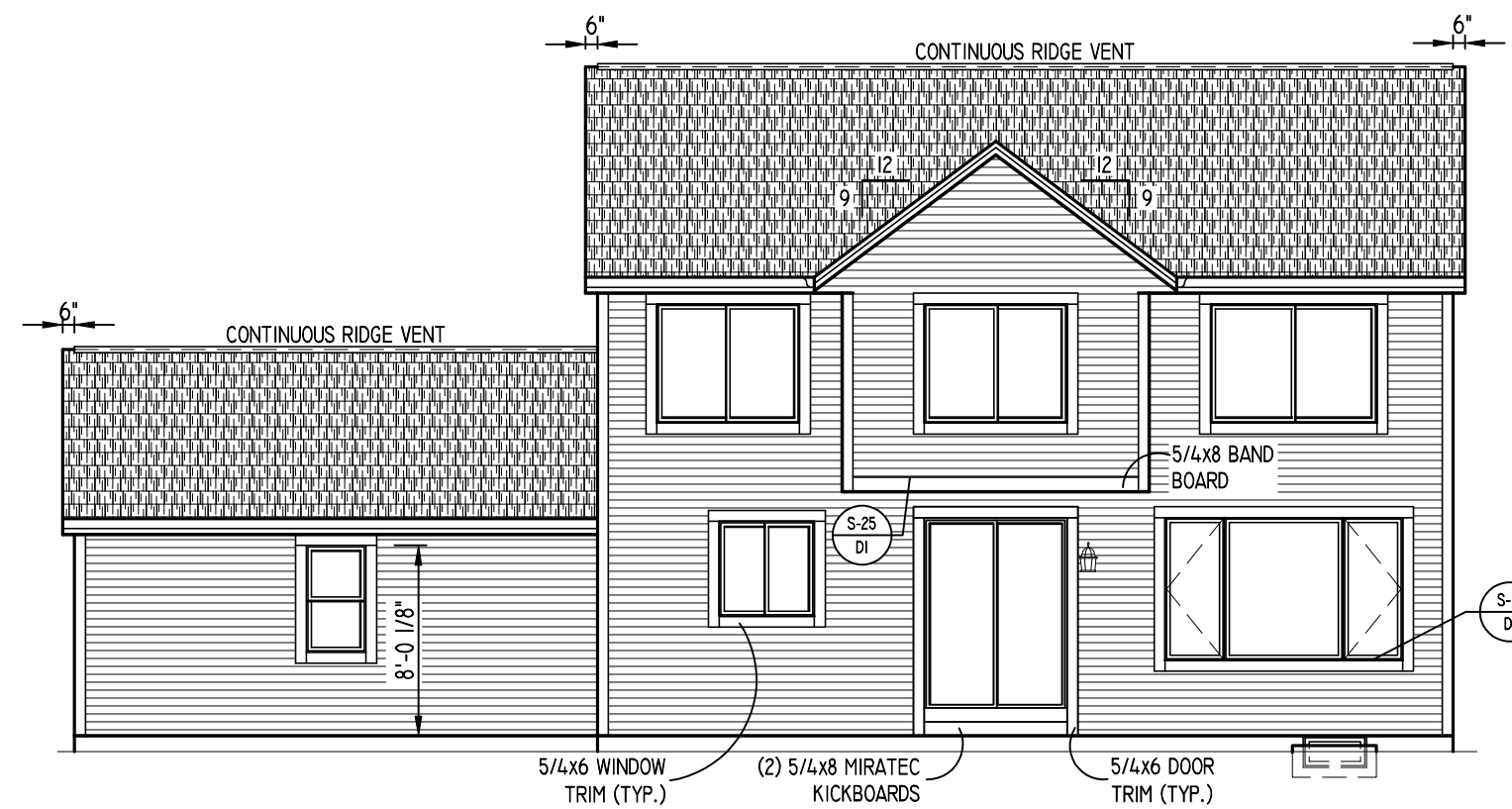
FILE NAME: 2023-060 BIELINSKI LOT 5 E. HERMITAGE RD. VILLAGE OF BAYSIDE.DGN

PLOT DATE: 05/31/2023

V2G JOB#: 2023-060

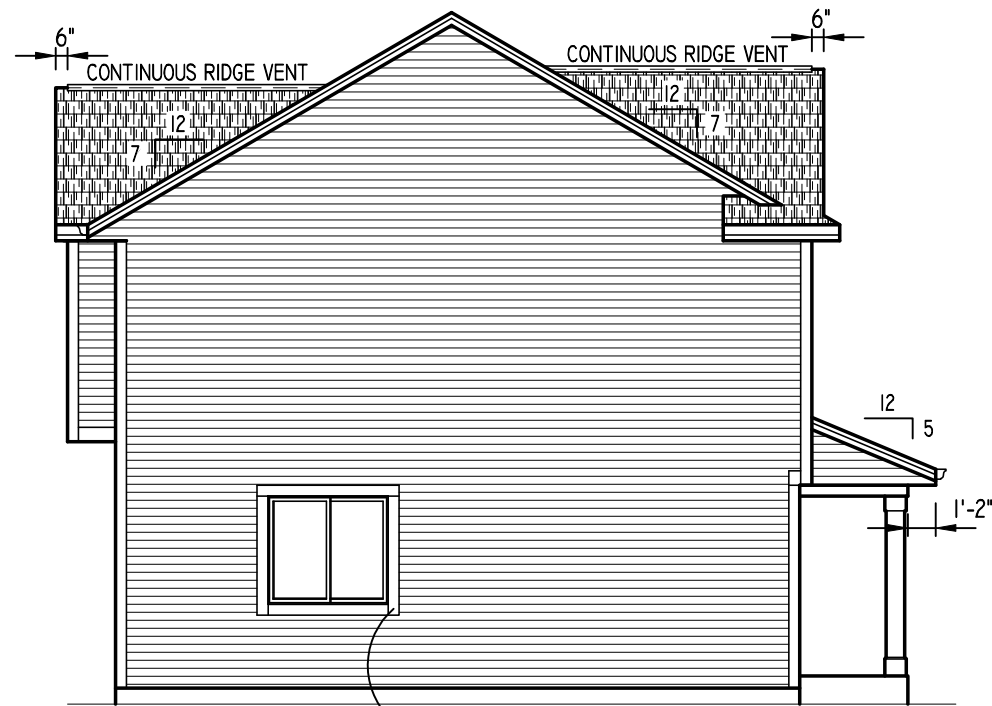


**ROOF PLAN**  
SCALE: 1/16" = 1'-0"

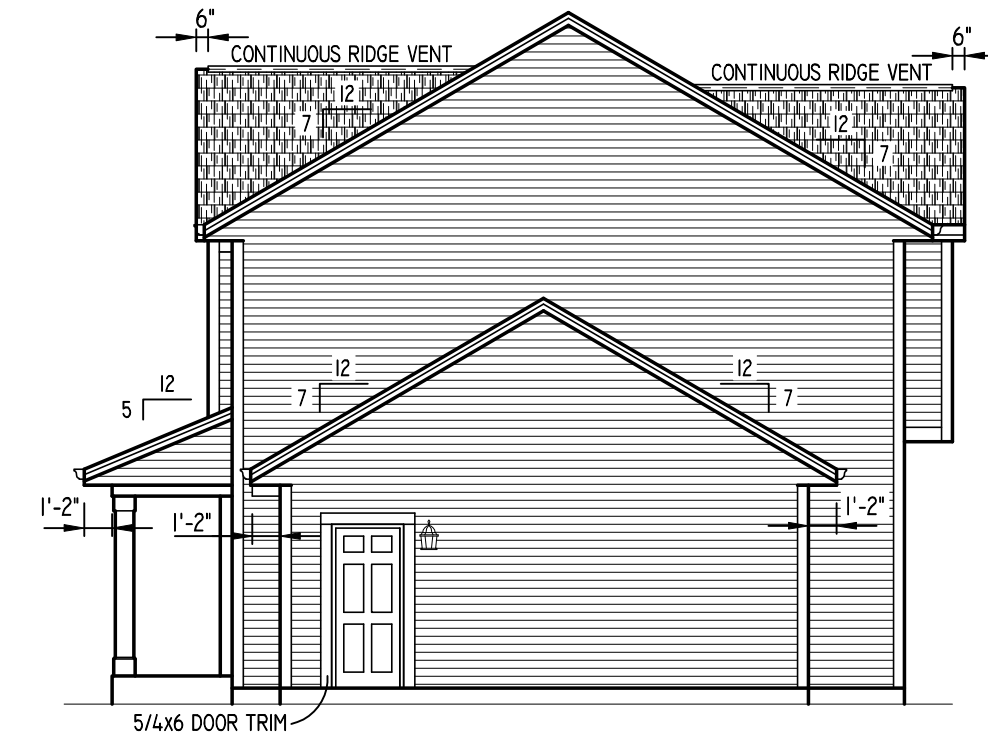


**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**NOTE: HEEL HEIGHTS ARE AS FOLLOWS:**  
 -5:12 ROOF PITCH (5 3/16" HEEL) W/ 1'-2" OVERHANG  
 -7:12 ROOF PITCH (6 9/16" HEEL) W/ 1'-2" OVERHANG  
 -9:12 ROOF PITCH (8 7/8" HEEL) W/ 1'-2" OVERHANG



**RIGHT ELEVATION**



**LEFT ELEVATION**



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS**
- ROOFING: PRO 30 DIMENSIONAL SHINGLES.
  - SIDING: DOUBLE 4" EXP. LOW MAINTENANCE VINYL LAP SIDING
  - 5/4x6 & 5/4x4 MIRATEC CORNERS BOARDS.
  - VINYL CORNER ON INSIDE CORNERS.
  - FASCIA: 8" ALUMINUM CLAD.
  - SOFFIT: VENTED ALUMINUM.
  - RAKE FASCIA: 6" ALUMINUM CLAD.
  - RAKE TRIM: 3" ALUMINUM CLAD.
  - RAKE FRIEZE: 5/4x6 MIRATEC.
  - FIXTURE BLOCKS: VINYL J-BLOCK; PAINTED MIRATEC @ STONE AREAS.
  - GARAGE JAMB: PAINTED MIRATEC.
  - (1) ROW (3'-0" WIDE) ICE & WATER SHIELD ENTIRE LENGTH ALL VALLEYS
  - ICE & WATER SHIELD AS REQUIRED @ SADDLES.

**BIELINSKI HOMES**  
 1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Revision	By	Date

Built for:  
**Yoko Kaomi**  
 1219 E. Hermitage Rd.  
 Bayside, WI

Job Number:  
**BOYL-H-1122**

Phase: WORKING MODEL  
 Drawn By: ECB  
 Plan Date: 4/27/23 Release Date: ---

Technical Data:  
**SQUARE FOOTAGE:**  
 1ST FLOOR - 1015 SQ. FT.  
 2ND FLOOR - 1048 SQ. FT.  
 OPEN VOLUME - N/A  
 TOTAL 2062 SQ. FT.

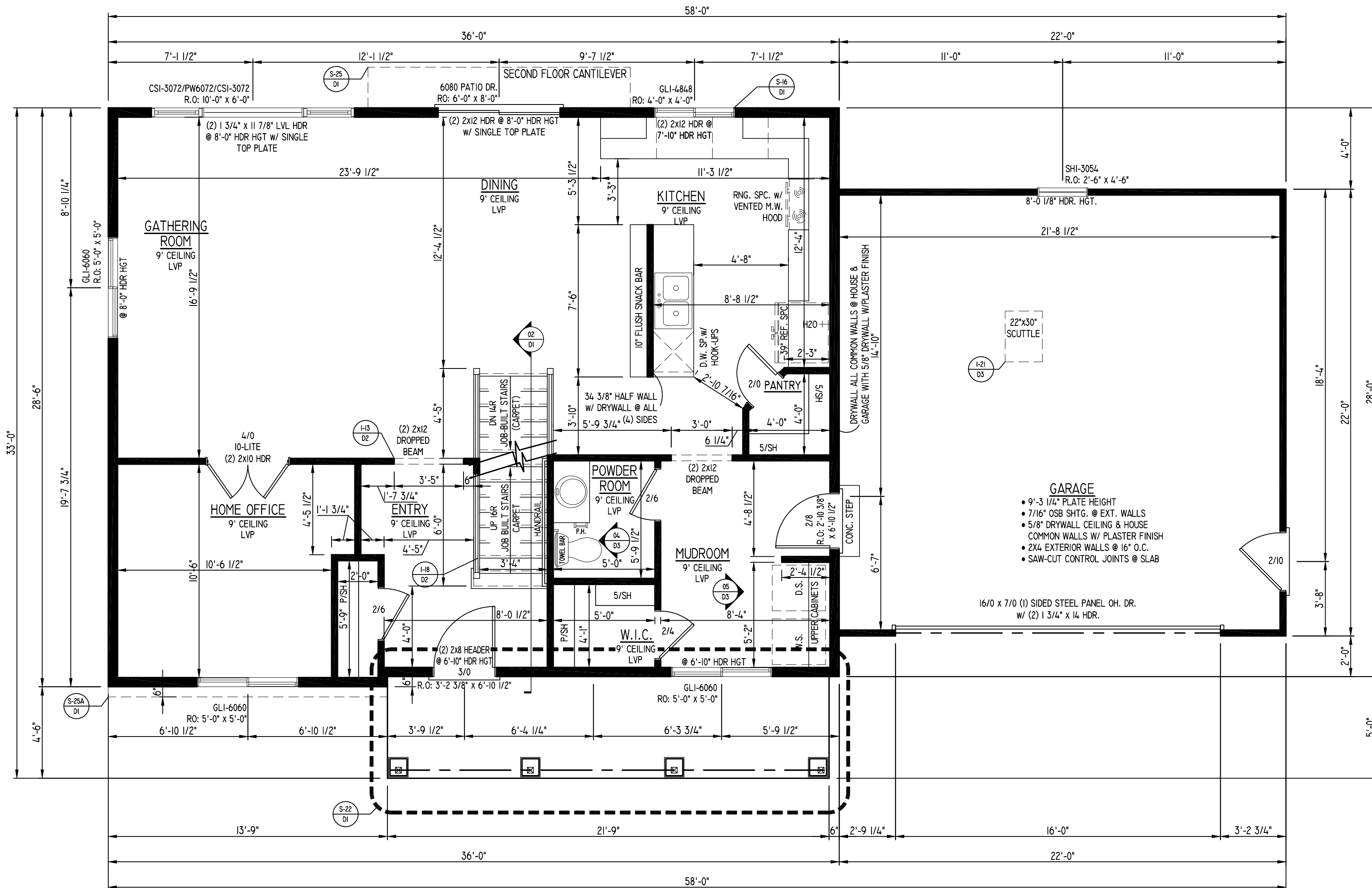
GARAGE AREA - 484 SQ. FT.  
 OVERALL WIDTH - 58'-0"  
 OVERALL DEPTH - 33'-0"

Model:  
**HAILEY**

Elevation: TRANSITIONAL  
 Plan#2062 Series: HARMONY

Sheet Title:  
**2-CAR ELEVATION**

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 Model: HAILEY Elevation: TRANSITIONAL  
 Series: HARMONY Plan: #2062



# FIRST FLOOR PLAN

9' 1 1/8" PLATE HGT SCALE: 1/4" = 1'-0"

- WINDOW DESIGNATIONS ARE IN INCHES
- WINDOW HEAD HGT. @ 8'-0" A.F.F. ON THIS FLOOR UNLESS OTHERWISE NOTED
- ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
- ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS

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Elevation: TRANSITIONAL  
Plan: #2062

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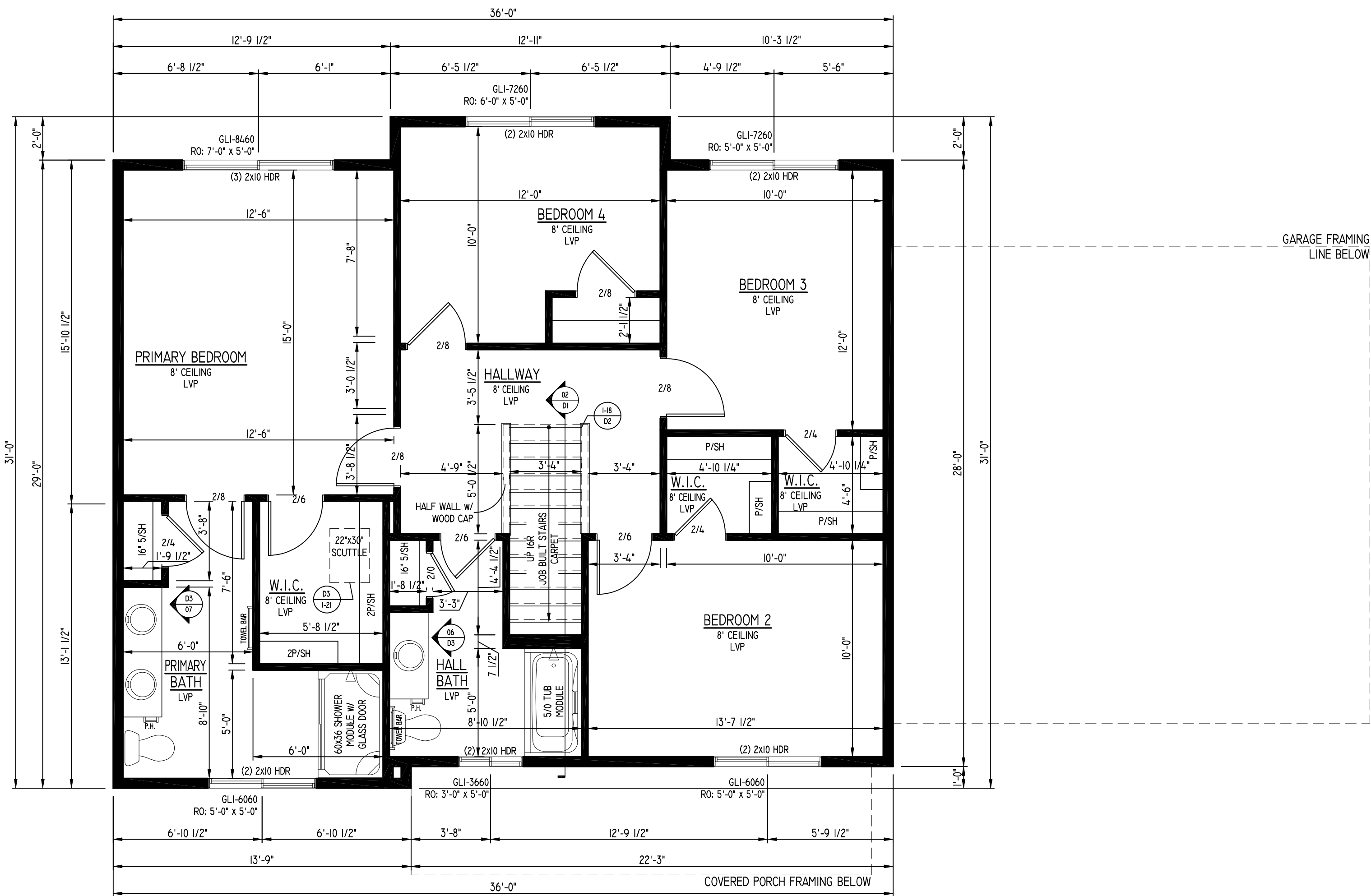
Job Number:  
**BOYL-H-1122**

Phase: WORKING MODEL  
Drawn By: ECB  
Plan Date: 4/27/23 Release Date: ---

Technical Data:  
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2ND FLOOR - 1048 SQ. FT.  
OPEN VOLUME - N/A  
TOTAL 2062 SQ. FT.

GARAGE AREA - 484 SQ. FT.  
OVERALL WIDTH - 58'-0"  
OVERALL DEPTH - 33'-0"

Model: **HAILEY**  
Elevation: TRANSITIONAL  
Plan#2062 Series: HARMONY  
Sheet Title: **FIRST FLOOR PLAN**



## SECOND FLOOR PLAN

8'-1 1/8" PLATE HGT. SCALE: 1/4" = 1'-0"

- WINDOW DESIGNATIONS ARE IN INCHES
- WINDOW HEAD HGT. @ 6'-10" A.F.F. ON THIS FLOOR UNLESS OTHERWISE NOTED
- ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
- ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS

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Revision	By	Date

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Job Number:  
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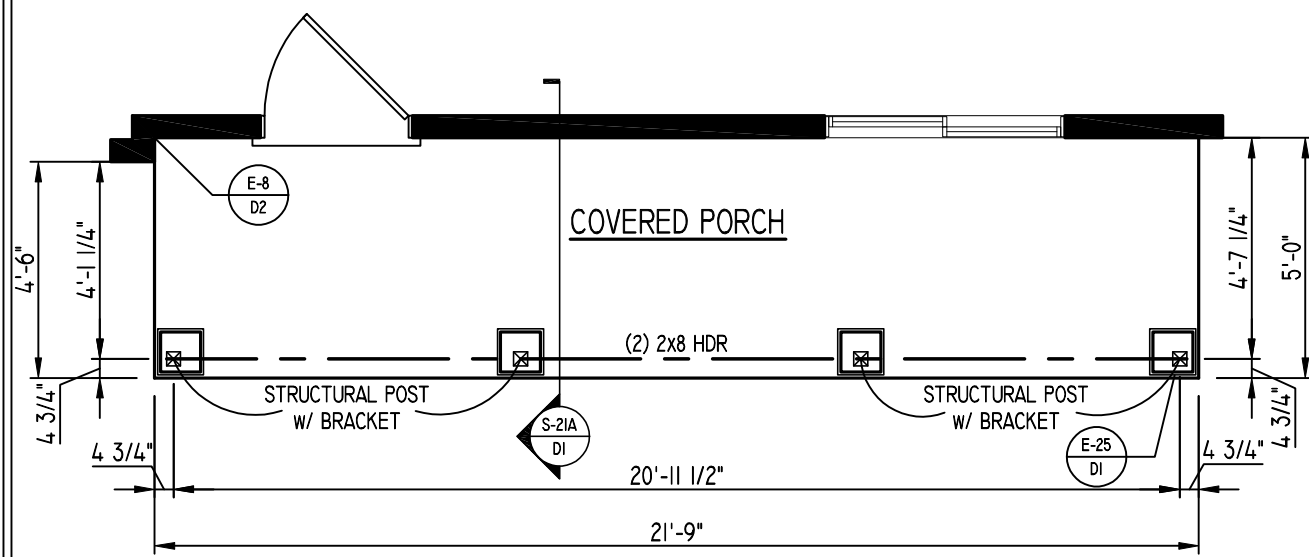
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 Drawn By: ECB  
 Plan Date: 4/27/23 Release Date: ----

Technical Data:  
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 2ND FLOOR - 1048 SQ. FT.  
 OPEN VOLUME - N/A  
 TOTAL 2062 SQ. FT.

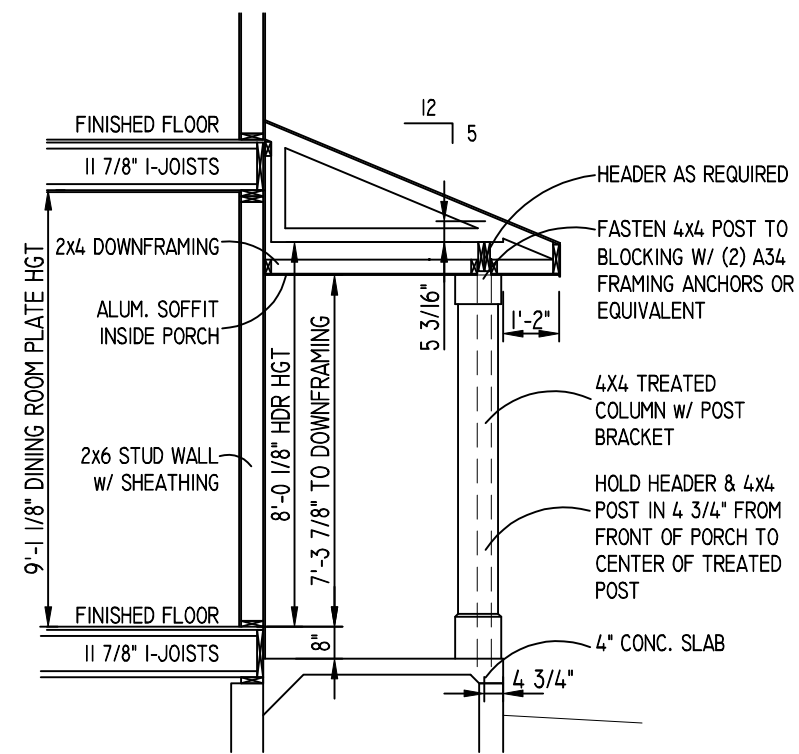
GARAGE AREA - 484 SQ. FT.  
 OVERALL WIDTH - 58'-0"  
 OVERALL DEPTH - 33'-0"

Model: **HAILEY**  
 Elevation: TRANSITIONAL  
 Plan#2062 Series: HARMONY  
 Sheet Title: **SECOND FLOOR PLAN**

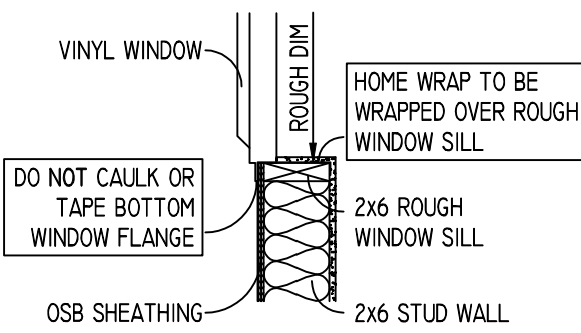




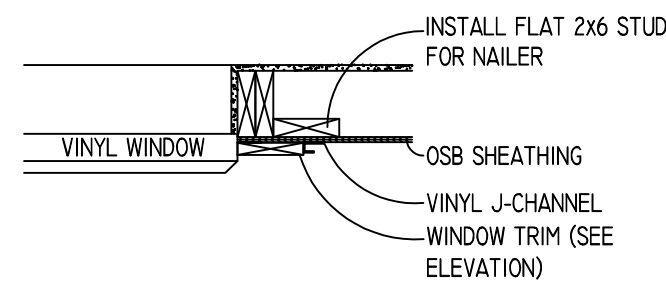
**S-21** PORCH SECTION  
SCALE: 1/4" = 1'-0"



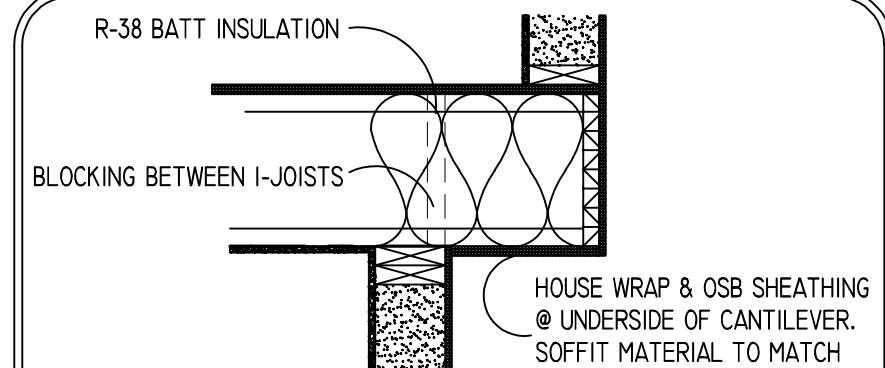
**S-21A** PORCH SECTION  
SCALE: 1/4" = 1'-0"



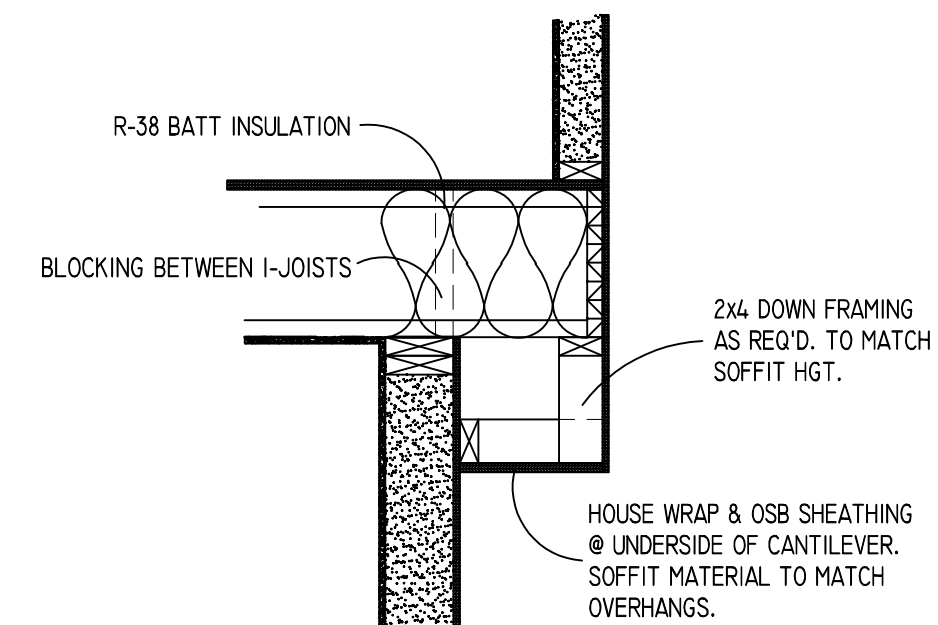
**S-15** WINDOW SILL DETAIL  
SCALE: 3/4" = 1'-0"



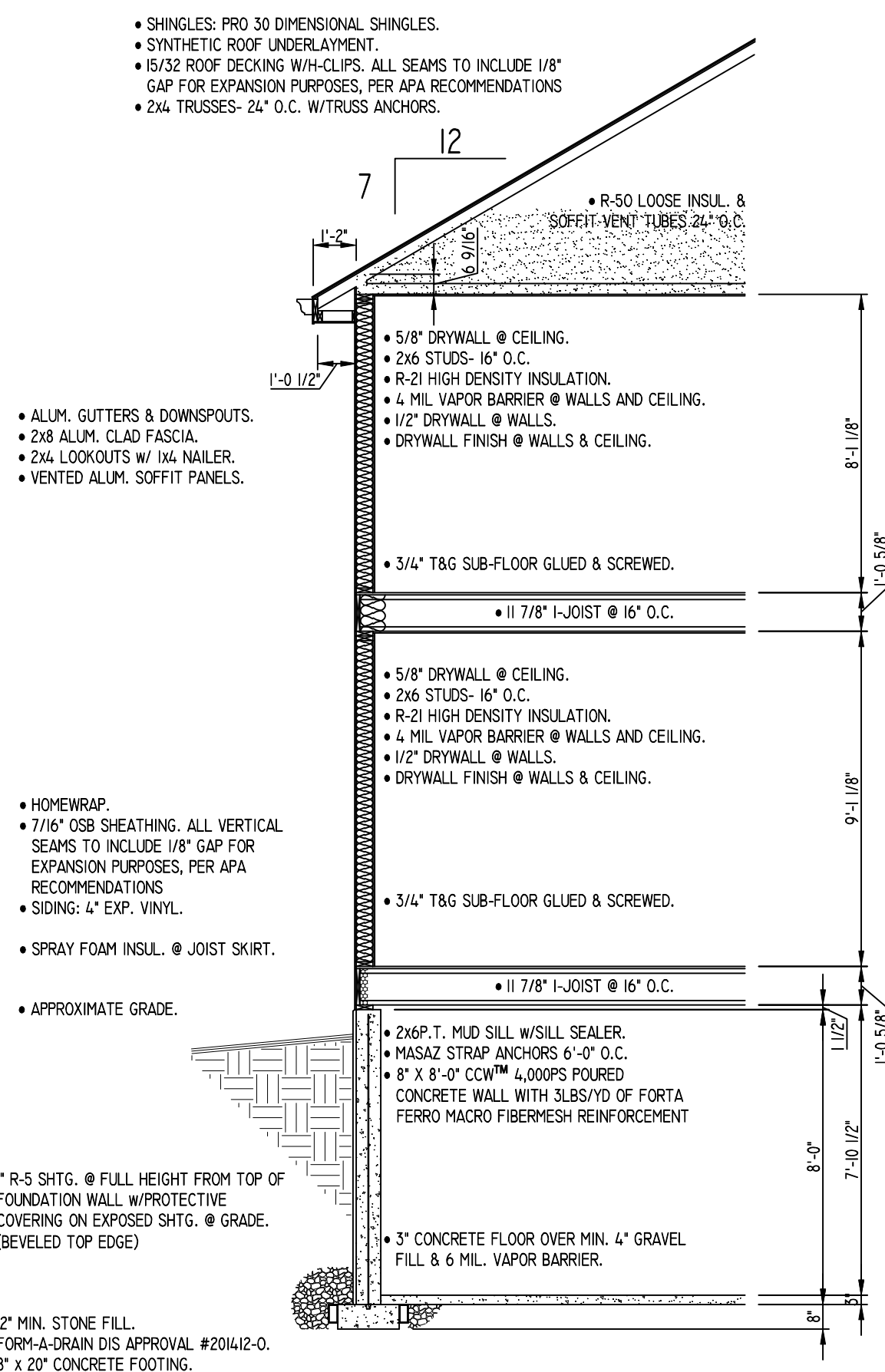
**S-16** WINDOW TRIM DETAIL  
SCALE: 3/4" = 1'-0"



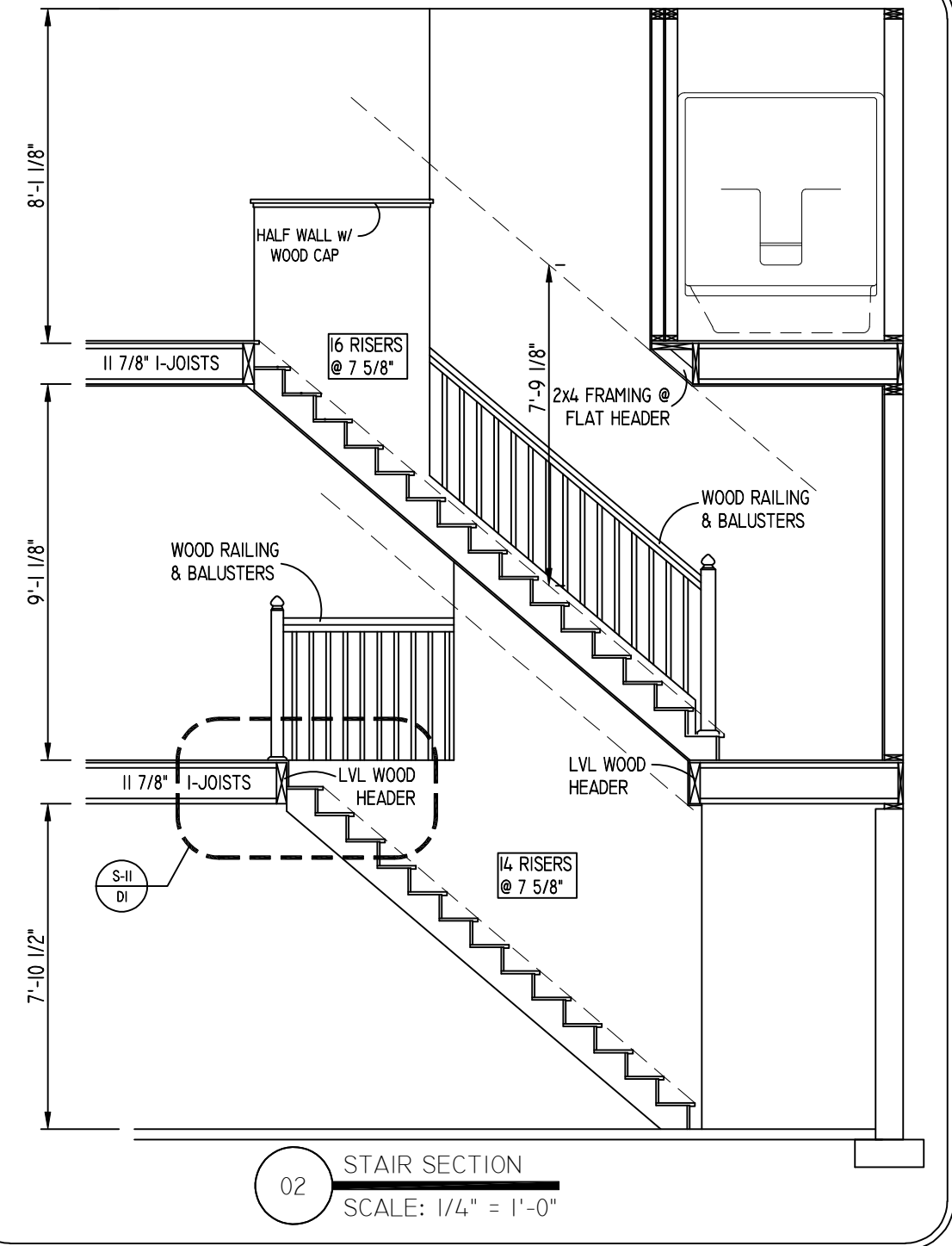
**S-25** CANTILEVER DETAIL



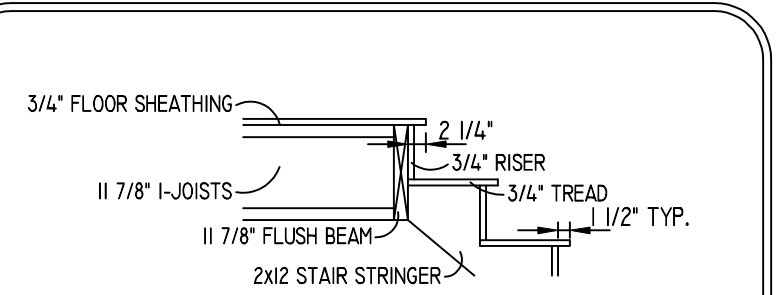
**S-25A** CANTILEVER DETAIL



**01** TYPICAL SECTION  
2 STORY W/ ALUMINUM CLAD



**02** STAIR SECTION  
SCALE: 1/4" = 1'-0"



**S-11** ENLARGED STAIR SECTION  
SCALE: 1/2" = 1'-0"

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Series: HARMONY  
Plan: #2062

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Revision	By	Date

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1219 E. Heritage Rd.  
Bayside, WI

Job Number:  
**BOYL-H-1122**

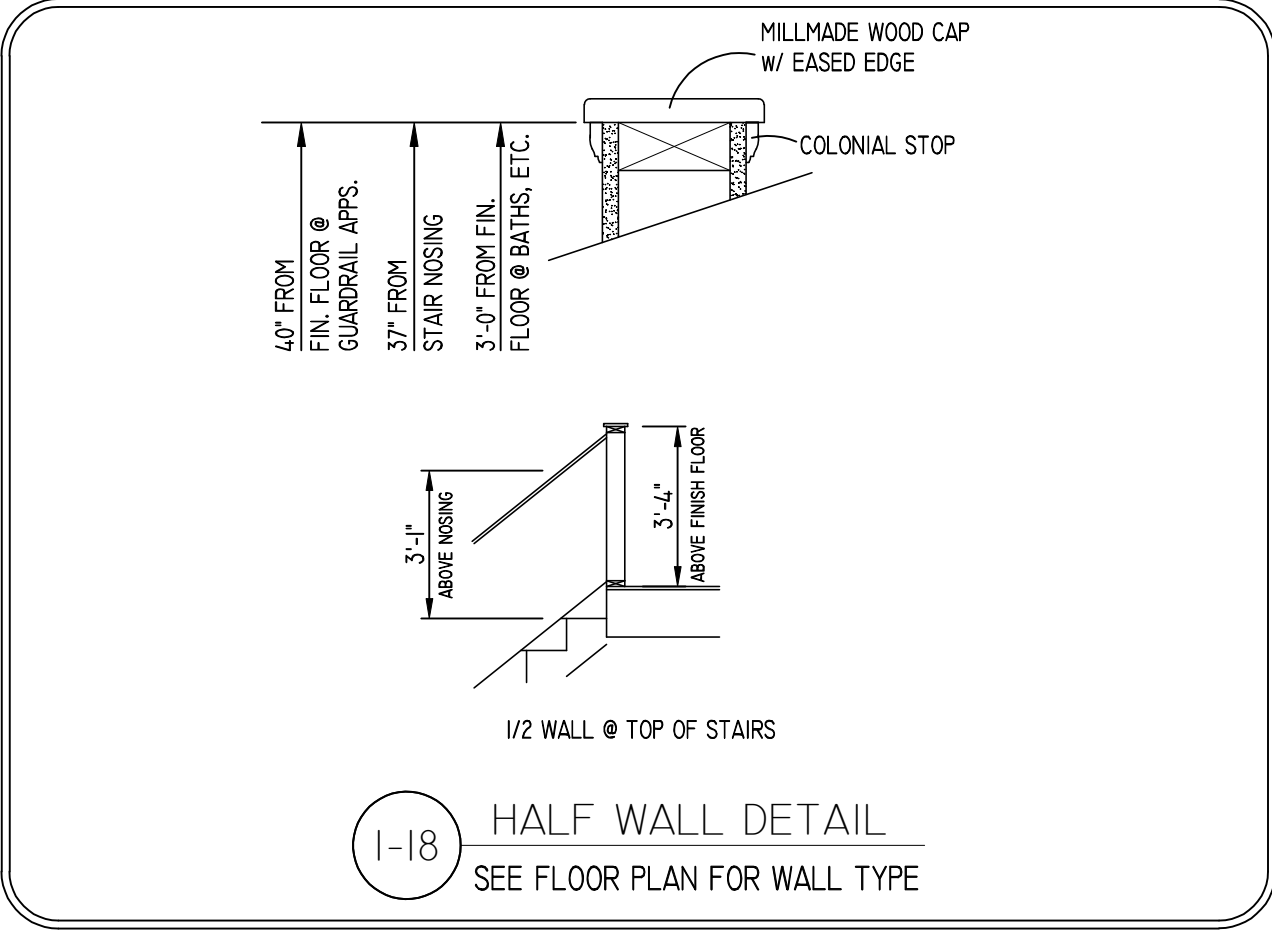
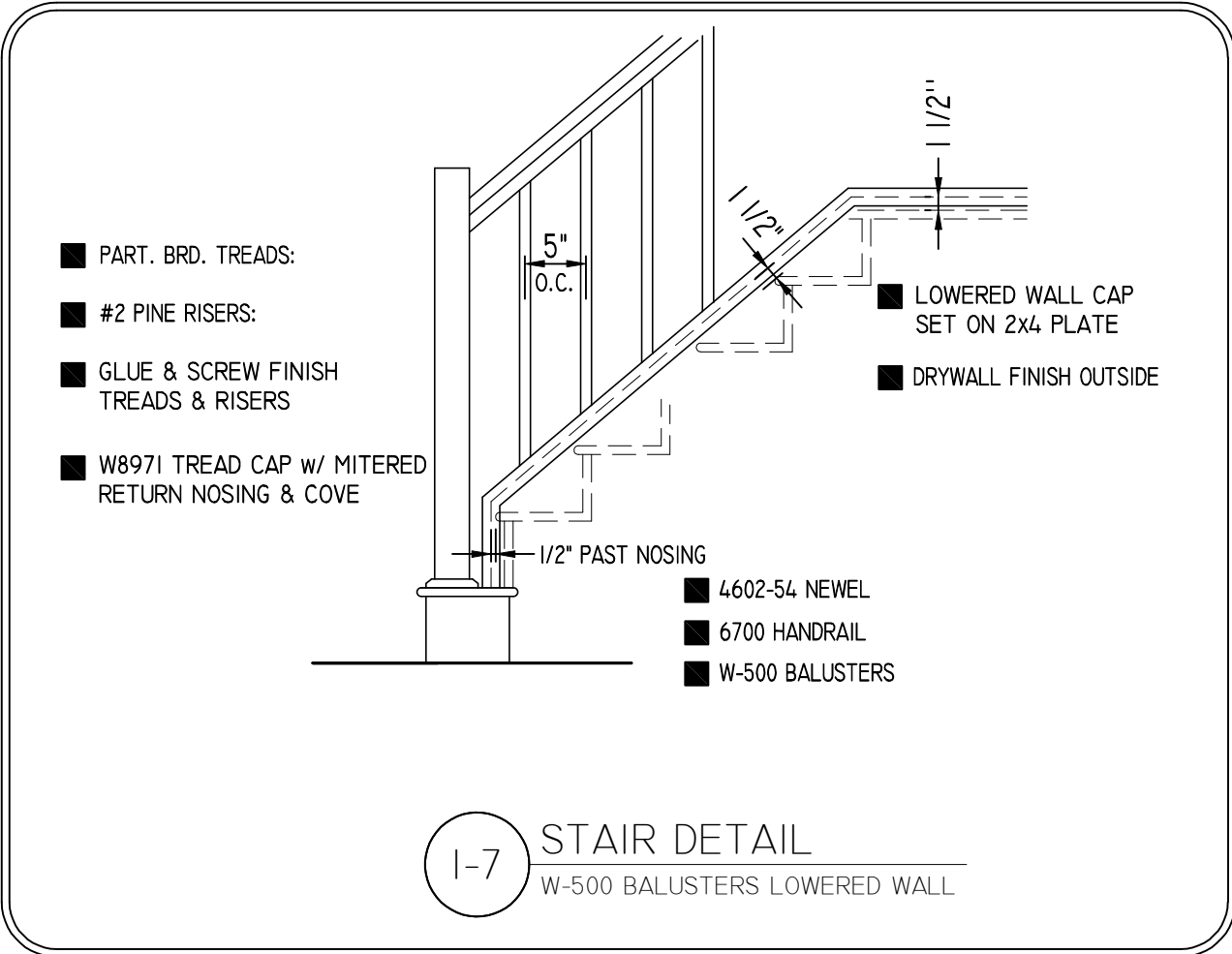
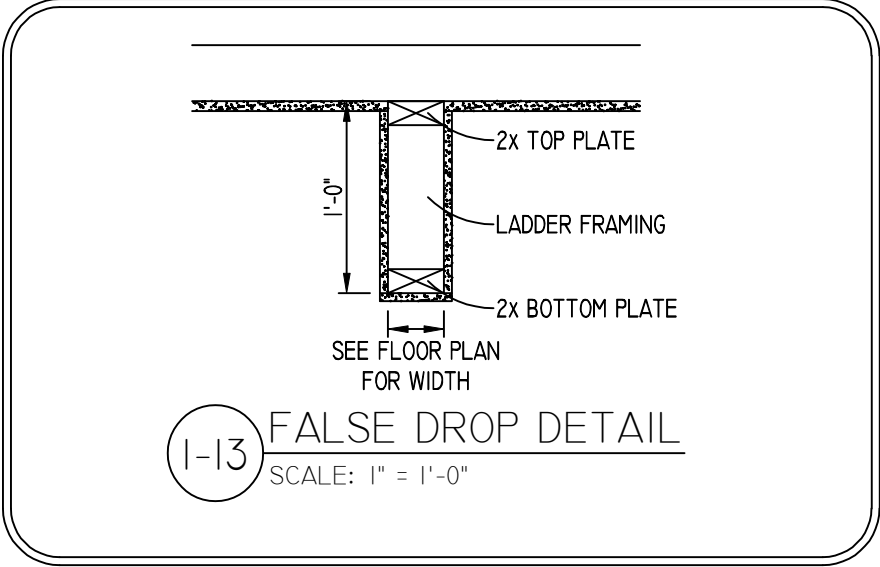
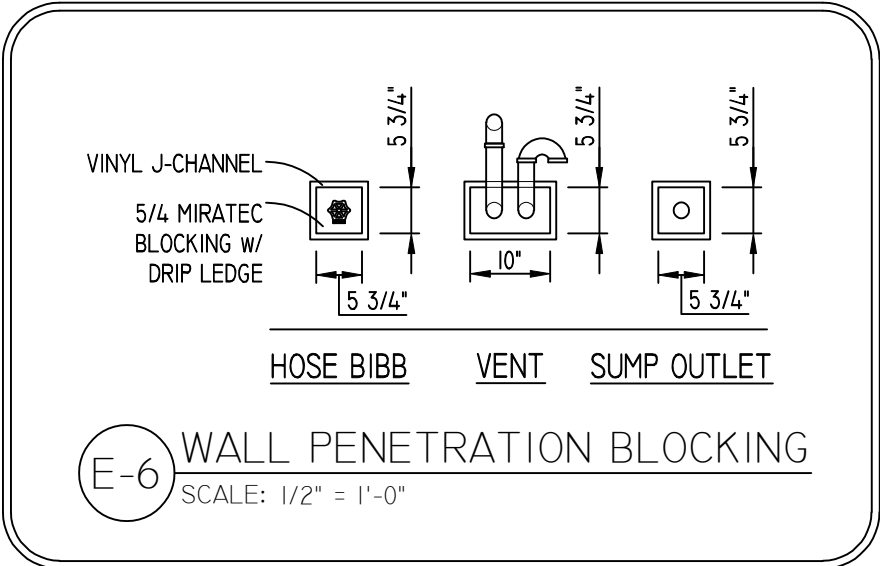
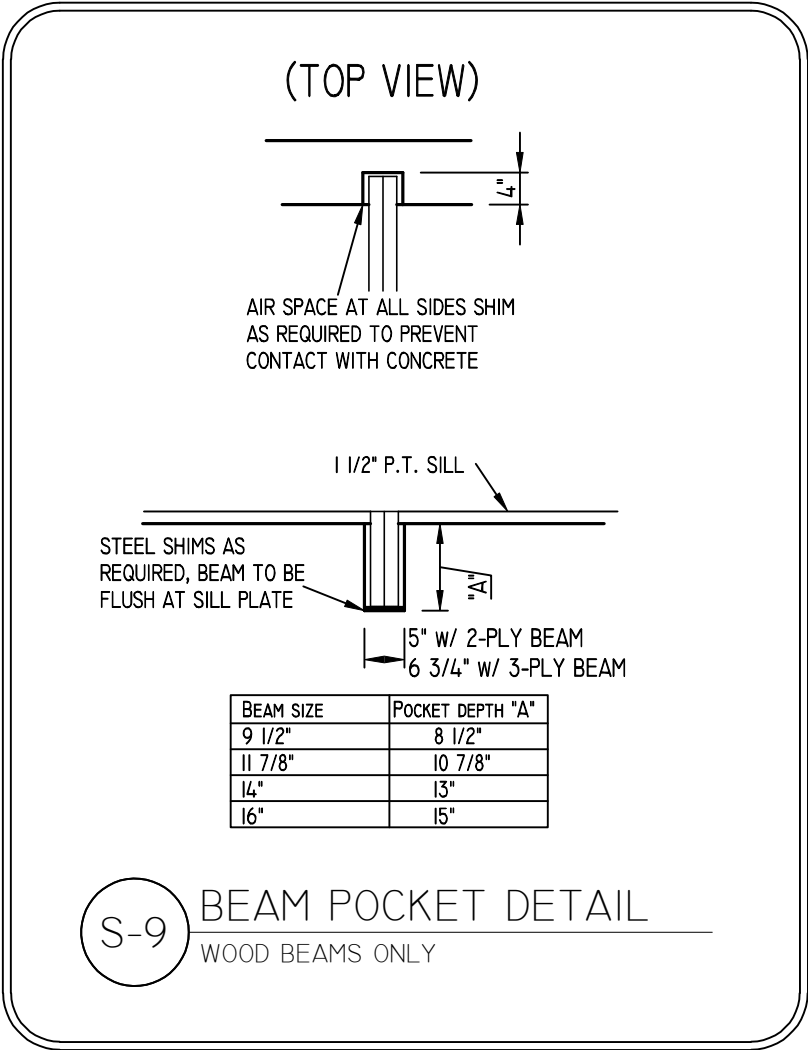
Phase: WORKING MODEL  
Drawn By: ECB  
Plan Date: 4/27/23 Release Date: ---

Technical Data:  
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OPEN VOLUME - N/A  
TOTAL 2062 SQ. FT.

GARAGE AREA - 484 SQ. FT.  
OVERALL WIDTH - 58'-0"  
OVERALL DEPTH - 33'-0"

Model: HAILEY  
Elevation: TRANSITIONAL  
Plan#2062 Series: HARMONY  
Sheet Title: DETAILS

Sheet Number: DI of 3



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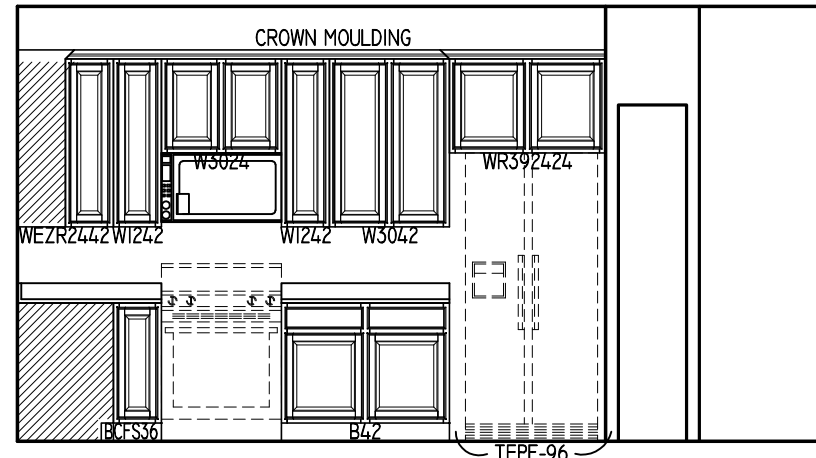
OVERALL WIDTH - 58'-0"  
OVERALL DEPTH - 33'-0"

Model: **HAILEY**

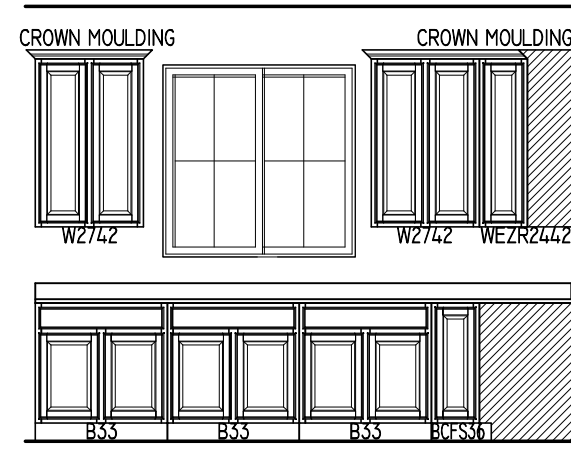
Elevation: TRANSITIONAL  
Plan#2062 Series: HARMONY

Sheet Title: **DETAILS**

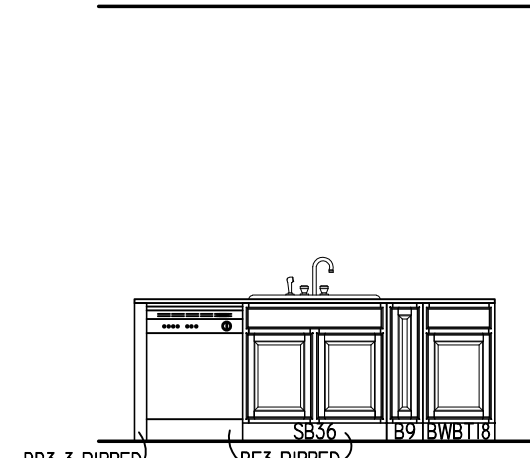
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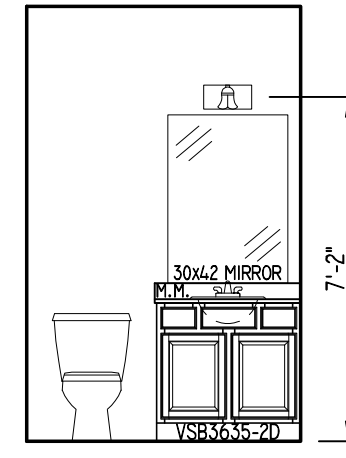
01 KITCHEN  
SCALE: 1/4" = 1'-0"



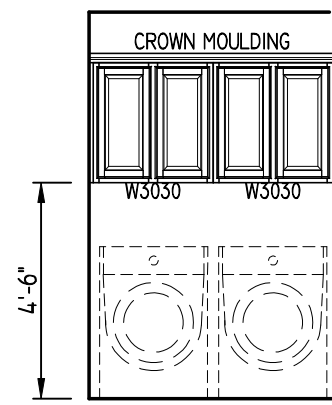
02 KITCHEN  
SCALE: 1/4" = 1'-0"



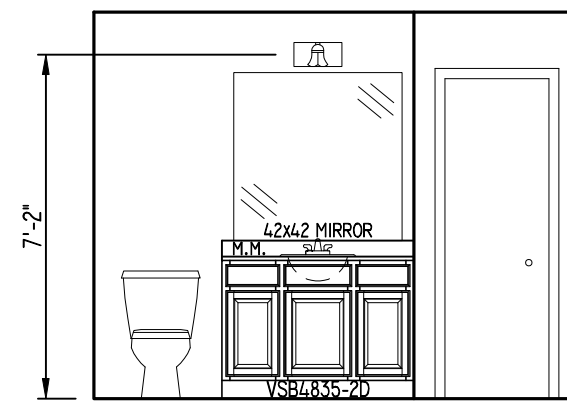
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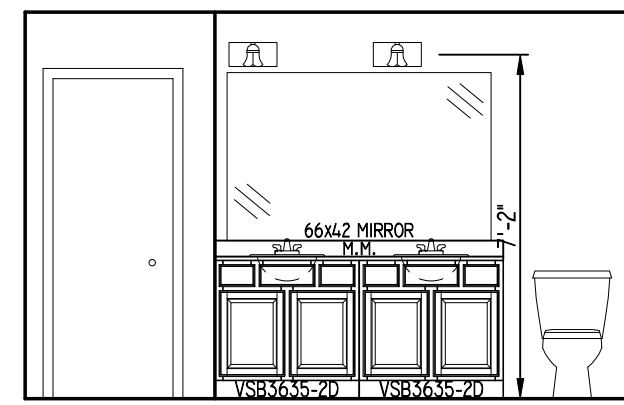
04 PWDR. ROOM  
SCALE: 1/4" = 1'-0"



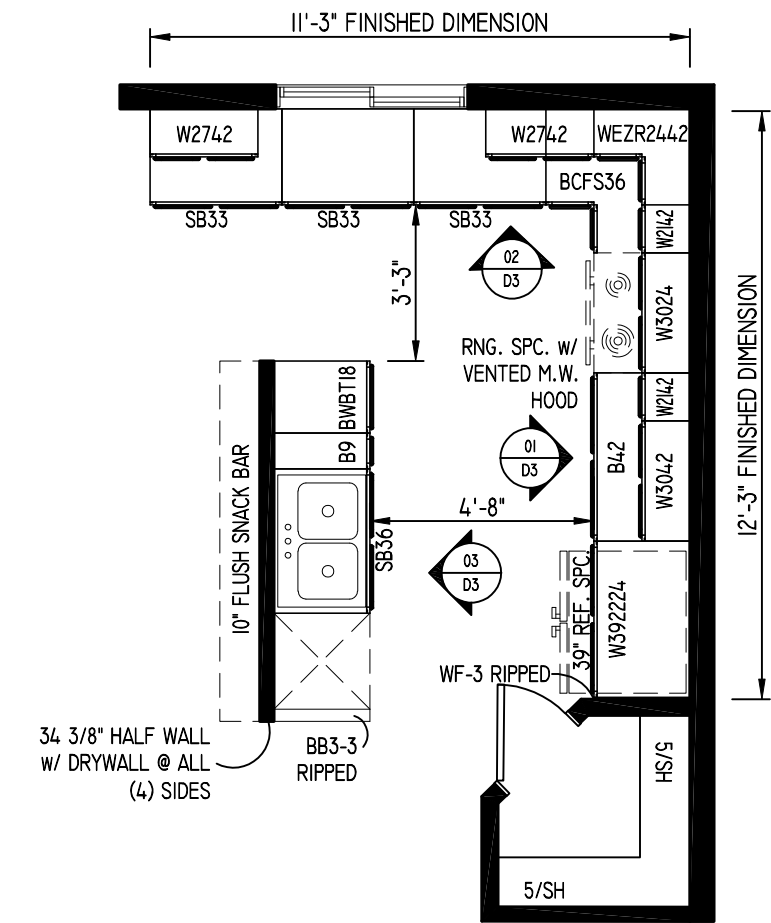
05 LAUNDRY  
SCALE: 1/4" = 1'-0"



06 HALL BATH  
SCALE: 1/4" = 1'-0"

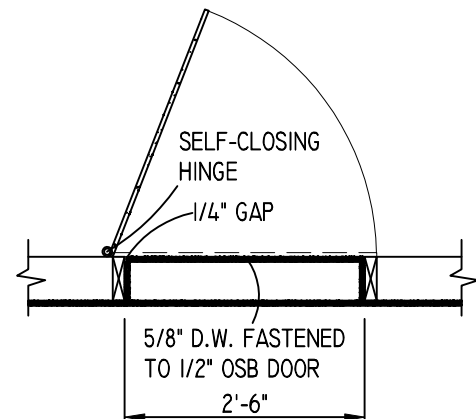


07 PRIMARY BATH  
SCALE: 1/4" = 1'-0"



K-I KITCHEN CABINET LAYOUT

- ALL KITCHEN DETAIL DIMENSIONS ARE FINISHED DIMENSIONS
- CROWN MOULDING @ KITCHEN CABINETS
- BASE LEVEL CABINET DOOR HARDWARE THROUGHOUT
- QUARTZ COUNTERTOPS @ KITCHEN



1-21 SCUTTLE DOOR DETAIL  
SELF CLOSING

- DOOR NEEDS TO BE ABLE TO CLOSE UNDER ITS OWN WEIGHT.

### NOTES

- GENERAL:**
- SOME NOTES MAY NOT PERTAIN. IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO CLARIFY WHICH NOTES DO NOT PERTAIN.
  - THESE NOTES ARE TO BE COMBINED WITH THE CONSTRUCTION WORK SHEET. IF THERE ARE VAGUE OR CONFLICTING INSTRUCTIONS, IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO GET CLARIFICATION FROM OUR CONSTRUCTION DEPARTMENT.
- EXTERIOR:**
- FLOOR PLAN DIMENSIONS ARE OUT-TO-OUT OF STUD WALLS.
  - OUTSIDE FACE OF 2X6 WALL STUDS ARE TO BE FLUSH WITH OUTSIDE OF FOUNDATION WALL.
  - ALL EXTERIOR WALLS ARE 2X6, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
  - ALL WINDOW CALLOUTS ARE LISTED IN INCHES.
  - ALL EXTERIOR HEADERS ARE TO BE (2) 2X6'S UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
  - WINDOW HEADERS HEIGHTS ARE TO BE AS FOLLOWS:
    - 6'-8" FOR 8'-0" CEILINGS; UNLESS NOTED OTHERWISE
    - 8'-0" FOR 9'-0" CEILINGS; UNLESS NOTED OTHERWISE
  - HOME WRAP TO BE INSTALLED ON THE ENTIRE EXTERIOR OF THE HOUSE INCLUDING GABLE ENDS.
  - GARAGE TO HAVE OSB SHEATHING @ ALL EXTERIOR WALLS & GABLES, DOUBLE SOLE PLATES W/ PRESSURE TREATED BOTTOM PLATE, AND THE FLOOR TO BE 4" CONCRETE, SLOPED TOWARDS DOOR.
  - ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
  - ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
  - ICE & WATER SHIELD TO BE USED AT ALL SADDLES AND DORMERS.
  - 8" MAX @ ALL EXTERIOR STEPS.
- INTERIOR:**
- ALL PLAN DIMENSIONS ARE ROUGH FRAMING DIMENSIONS
  - ALL INTERIOR WALLS ARE 2X4, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
  - ALL INTERIOR HEADERS ARE TO BE LADDER FRAME UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
  - PLUMBER TO VERIFY IF SEWER HOOK UP FOR SUMP PUMP IS REQUIRED. LOCATE CROCK FOR SEWER LATERAL. **DO NOT DRILL** THROUGH ANY LOAD BEARING STUDS @ WINDOW HEADERS. USE ISLAND VENT AS NEEDED.
  - ALL 42" HIGH MIRRORS ARE TO BE SET ON BACKSPLASH.
  - STANDARD HEIGHTS:
    - TOILET PAPER HOLDERS 26" A.F.F.
    - TOWEL BARS 54" A.F.F.
    - HAND RAILS 30" TO 36" ABOVE NOSING
    - GUARD RAILS 40" A.F.F.
  - SOLID BLOCKING REQUIRED @ SHOWER DOORS ON TILED WALLS AND WITHIN 1'-0" OF EACH END OF HAND RAILS.
  - STAIRS
    - MINIMUM HEADROOM FOR ALL STAIRS TO BE 6'-8" UNLESS OTHERWISE NOTED.
    - 8" RISER HEIGHT MAX.
  - 20 MIN. FIRE RATED DOOR @ GARAGE COMMON WALL.
  - GARAGE COMMON WALL TO BE 3/8" FIRECODE DRYWALL W/ A 3/4" HOUR FIRE RATING.
  - ALL AREAS WITH VINYL FLOORING ARE TO BE FLUSH WITH ADJACENT WOOD OR CERAMIC FLOORS.
  - LOCATIONS OF HVAC, ELECTRICAL OUTLETS, LIGHTS & SWITCHES ARE APPROXIMATE; UNLESS NOTED OTHERWISE.
  - GFI OUTLETS @ WASHING MACHINE TO BE 38" A.F.F.
  - CEILING @ BASEMENT STAIR OPENINGS TO BE FLAT 6" ABOVE BOTTOM OF HEADER.
  - SCUTTLE DOORS TO BE SELF CLOSING W/ LATCH.
  - TEMPERED GLASS @ DOORS, SIDELIGHTS, TUB ENCLOSURES, STAIR LANDINGS & PANELS WITHIN 24" OF DOORS.

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By	Revision	Date

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1219 E. Heritage Rd.  
Bayside, WI

Job Number:  
**BOYL-H-1122**

Phase: WORKING MODEL  
Drawn By: ECB  
Plan Date: 4/27/23 Release Date: ---

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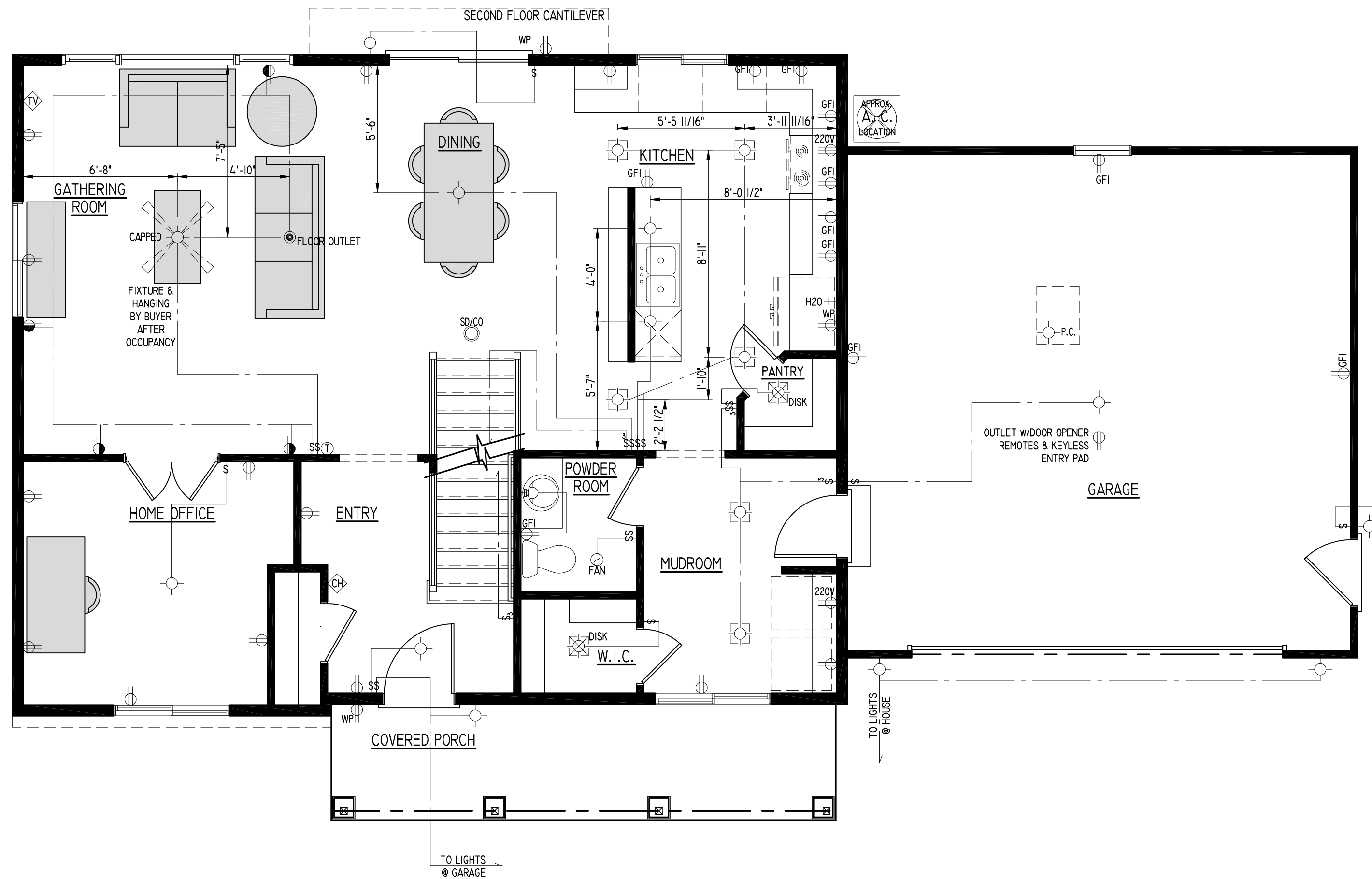
Model:  
**HAILEY**

Elevation: TRANSITIONAL  
Plan#2062 Series: HARMONY

Sheet Title:  
**DETAILS & INTERIOR ELEV.**

Sheet Number:  
**D3 OF 3**





# FIRST FLOOR PLAN

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By	Date	Revision

Built for:  
**Yoko Kaomi**  
 1219 E. Hermitage Rd.  
 Bayside, WI

Job Number:  
**BOYL-H-1122**

Phase: WORKING MODEL  
 Drawn By: ECB

Plan Date: 4/27/23 Release Date: ---

Technical Data:  
**SQUARE FOOTAGE:**  
 1ST FLOOR - 1015 SQ. FT.  
 2ND FLOOR - 1048 SQ. FT.  
 OPEN VOLUME - N/A  
 TOTAL 2062 SQ. FT.

GARAGE AREA - 484 SQ. FT.

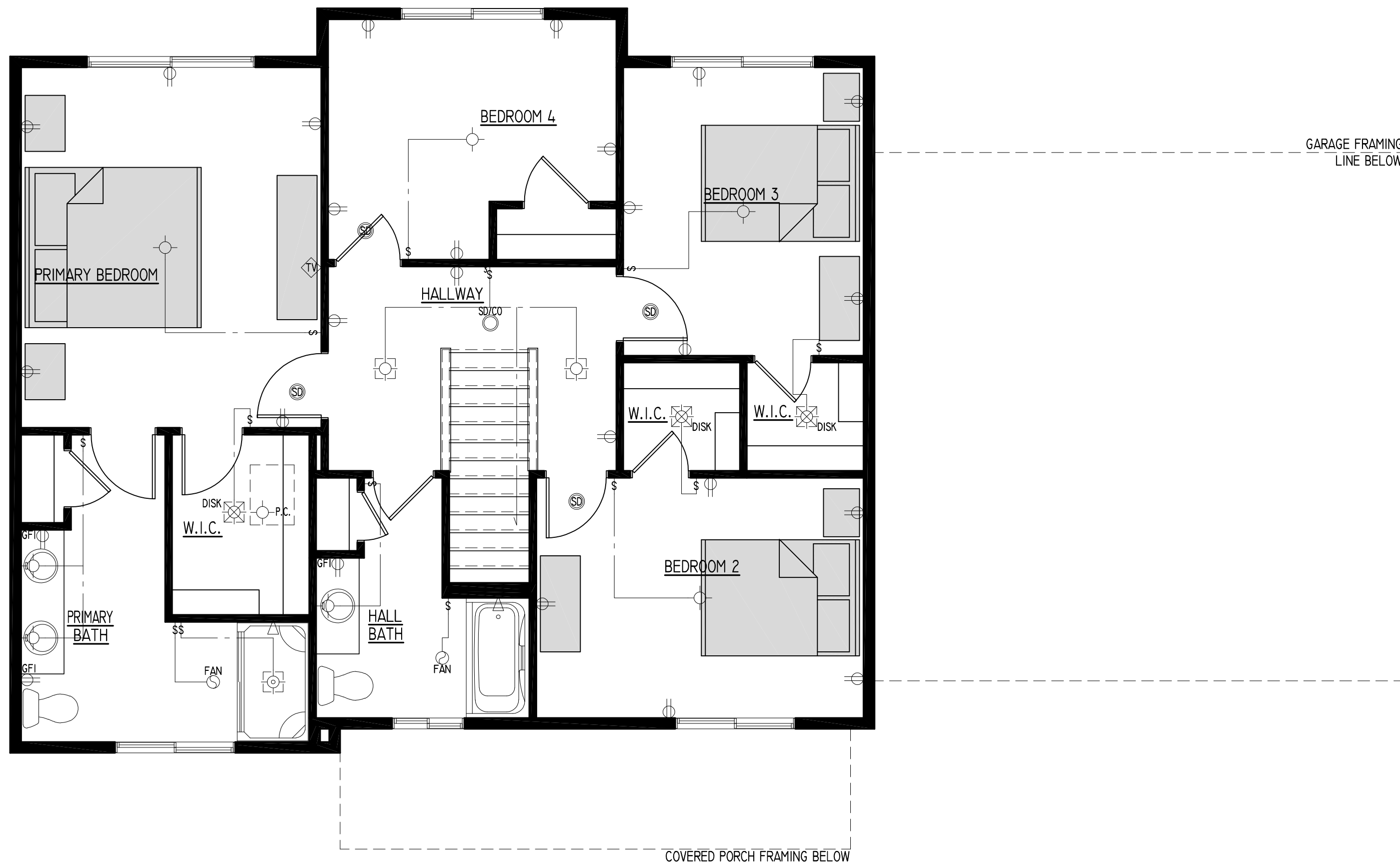
OVERALL WIDTH - 58'-0"  
 OVERALL DEPTH - 33'-0"

Model: **HAILEY**

Elevation: TRANSITIONAL  
 Plan#2062 Series: HARMONY

Sheet Title  
**FIRST FLOOR  
 ELECTRICAL PLAN**

Sheet Number  
**E1 OF 2**



## SECOND FLOOR PLAN

Model: HAILEY  
 Elevation: TRANSITIONAL  
 Series: HARMONY  
 Plan: #2062

**BIELINSKI**  
 HOMES  
 1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

By	Date	Revision

Built for:  
**Yoko Kaomi**  
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Job Number:  
**BOYL-H-1122**

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Plan Date: 4/27/23 Release Date: ----

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 SQUARE FOOTAGE:  
 1ST FLOOR - 1015 SQ. FT.  
 2ND FLOOR - 1048 SQ. FT.  
 OPEN VOLUME - N/A  
 TOTAL 2062 SQ. FT.

GARAGE AREA - 484 SQ. FT.  
 OVERALL WIDTH - 58'-0"  
 OVERALL DEPTH - 33'-0"

Model:  
**HAILEY**

Elevation: TRANSITIONAL  
 Plan#2062 Series: HARMONY

Sheet Title  
**SECOND FLOOR  
 ELECTRICAL PLAN**

Sheet Number  
**E2 OF 2**

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