



Village of Bayside  
9075 N Regent Road  
Architectural Review Committee Meeting  
October 16, 2023  
Village Board Room 6:00pm

## ARCHITECTURAL REVIEW COMMITTEE AGENDA

PLEASE TAKE NOTICE that a meeting of the Bayside Architectural Review Committee will be held at the Village Hall of the Village of Bayside, 9075 N. Regent Road, Bayside, Wisconsin in addition to virtually. Public can access this meeting of the Architectural Review Committee by phone or by computer. The phone number is: +309 205 3325. The Zoom Meeting code is: 883 5208 8556 and the Passcode is: 536566. <https://tinyurl.com/bdzc3uj> Persons desiring to speak in the remote format on a specific agenda item should register twenty-four hours in advance by calling (414) 206-3915. The following items of business will be discussed and possibly acted upon:

- I. **CALL TO ORDER AND ROLL CALL**
- II. **APPROVAL OF MINUTES**
  - A. Approval of September 11, 2023.
- III. **BUSINESS**
  - A. **8550 North Pelham Parkway – Chris Estes** The proposed project is the construction of 280 lineal feet of 6-foot cedar picket fence.
  - B. **8950 North Bayside Drive – Tim & Sharlene Byrne** The proposed project is the construction of a 308 square foot wooden shed.
  - C. **1010 East Glencoe Place – Kevin Kleinmann** The proposed project is the construction of a 316 square foot pavilion/ pergola.
  - D. **505 East Bay Point Road – Tony Aiello** The proposed project is the construction of a 120 square foot wooden shed.
  - E. **626 West Fairy Chasm Road – Kyle Maier** The proposed project is the construction of a 616 square foot detached garage.
  - F. **422 West Manor Circle – Kris & Bill Barger** The proposed project is the construction of a new pitched roof.
  - G. **9600 North Lake Drive – Morgan Allen** The proposed projects are the construction of 369 lineal feet of black aluminum fence and the addition of windows and doors.
  - H. **1450 East Fairy Chasm Road – Becky Frankiewicz** The proposed project of new windows and front porch alterations.
  - I. **600 Block of West Glencoe Place – Bayside Development Partners II, LLC** One North master signage plan.
- IV. **ADJOURNMENT**



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9075 N Regent Road  
Architectural Review Committee Meeting  
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## ARCHITECTURAL REVIEW COMMITTEE MEETING MINUTES

### I. CALL TO ORDER AND ROLL CALL

Chairperson Krampf called the meeting to order at 6:00 pm.

### II. ROLL CALL

Chair: John Krampf  
Members: Dan Zitzer - excused  
Marisa Roberts - excused  
Tony Aiello  
Ben Minkin  
Kavin Tadamrongwanish  
Trustee Liaison: Mike Barth

### III. APPROVAL OF MINUTES

- A. Approval of July 31, 2023 and August 7, 2023 meeting minutes.

Motion by Committee Member Aiello, seconded by Trustee Barth, to approve the July 31, 2023 and August 7, 2023 meeting minutes. Motion carried unanimously.

### IV. BUSINESS

#### A. 665 East Brown Deer Road – North Shore Fire Department

Robert Whitaker, North Shore Fire Department Chief, appeared on behalf of the project. There were no neighbors in attendance. Chief Whitaker described the project as 76.55 lineal feet of 9-foot solid wood fence to provide privacy to the abutting neighbor from the Fire Department parking lot.

Motion by Committee Member Tadamrongwanish, seconded by Committee Member Aiello, to approve the project as described and presented in the application contingent on the approval from the Board of Zoning Appeals. Motion carried unanimously.

#### B. 8550 North Pelham Parkway – Chris Estes

Project was tabled.

**C. 9419 North Waverly Drive – Matthew Dixon**

Matthew and Sadie Dixon, homeowners, appeared on behalf of the project. There were no neighbors in attendance. Mr. Dixon described the project as a 75 square foot wooden storage shed. Mr. Dixon stated the shed will match the homes roof and exterior paint color.

Motion by Trustee Barth, seconded by Committee Member Aiello, to approve the project as described and presented in the application. Motion carried unanimously.

**D. 9300 North Waverly Drive – Korre & Tyann Johnson**

Cody Wade, project designer, appeared on behalf of the project. There were no neighbors in attendance. Mr. Wade described the project as the construction of a 224 square foot single story addition. Mr. Wade stated the roof will match the current roof and the siding will be white steel to match the existing exterior color.

Motion by Committee Member Minkin, seconded by Trustee Barth, to approve the project as described and presented in the application. Motion carried unanimously.

**E. 9052 N Greenvale Rd – Jolena & Alex Presti**

Alex Presti, homeowner, appeared on behalf of the project. There were no neighbors in attendance. Mr. Presti described the project as the construction of a 75 square foot wooden storage. Mr. Presti stated the shed will match the homes roof and exterior paint color.

Motion by Trustee Barth, seconded by Committee Member Minkin, to approve the project as described and presented in the application. Motion carried unanimously.

**V. ADJOURNMENT**

Motion by Committee Member Aiello, seconded by Trustee Barth, to adjourn the meeting at 6:13pm. Motion carried unanimously.

Emma Baumgartner  
Operations Assistant

08/23/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

PROJECT/SITE OWNER:	PROJECT SUMMARY:
Chris Estes PROJECT ADDRESS: 8550 N Pelham Pkwy	New 6-foot cedar picket fence approximately 280 feet open design.

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration.

1. The fence design being open complies with the 50% open design requirement in the ordinance.
2. The board always considers matching fences with neighboring fences.

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager

# Project Proposal

Date 8/22/2023

Property Address 8550 N Pelham Pkwy

Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

Construct new fence surrounding back yard, will be around 280 linear feet of 6 foot cedar picket fence slats will be spaced enough for "open fence" definition of 50%, steel posts encased in wood two gates on either side of house

**Pickets are 5.5 inches and gap between each will be 5.5 inches.**

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input checked="" type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input checked="" type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input checked="" type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input checked="" type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input checked="" type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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Mars Construction

PLAT OF SURVEY

54-0223

LOCATION: North Pelham Parkway, Bayside, Wisconsin

LEGAL DESCRIPTION: PARCEL 7 - The South 30 feet of Lot 6, all of Lot 7 and the North 5 feet of Lot 8, all in Block 2 in PELHAM HEATH being a Subdivision of a part of the NW 1/4 of Section 9, T 8 N, R 22 E, in the Village of Bayside, Milwaukee County, Wisconsin.

January 10, 1966

Staked-January 19, 1966

Survey No. 28968



10/02/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Tim &amp; Sharlene Byrne</p> <p>PROJECT ADDRESS: 8950 N Bayside Dr</p>	<p>PROJECT SUMMARY: New 308 sq. Ft. wooden storage shed</p>
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I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

**Sec. 125-89. - "A" residence district regulations.**

1. Setbacks conform to the ordinance
2. Confirms with the Impervious requirements

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager



# Project Proposal

Date 10.02.23

Property Address 8950 N BAYSIDE DR

Zoning District "A"

Proposed Project Details (type of work, size, materials, location, etc.):

Erection of proposed SHED. SEE DRAWINGS.

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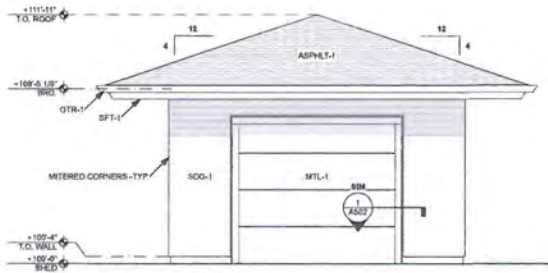
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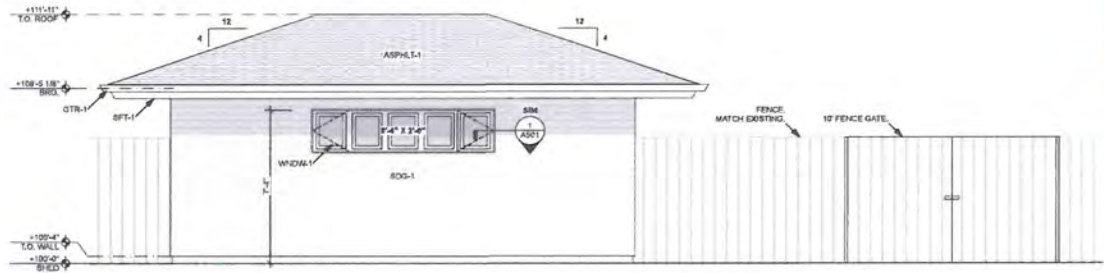
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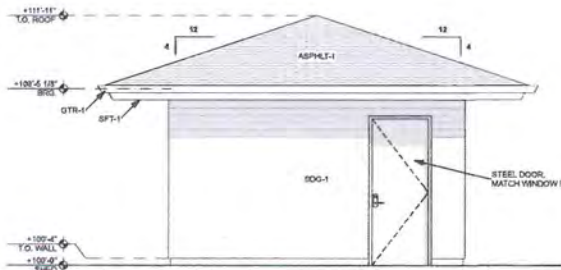




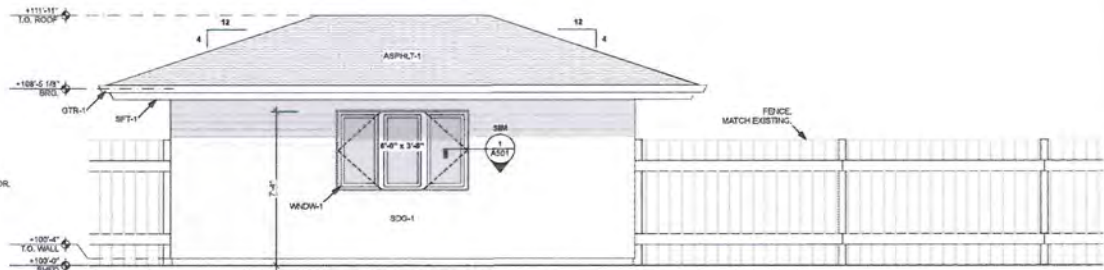
**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

CODE	MATERIAL	MANUFACTURER	ITEM #	DESCRIPTION	COLOR	NOTES
ASPHLT-1	ASPHALT SHINGLES	OWENS CORNING	DURATION DESIGNER	ASPHALT ROOFING SHINGLES	BLACK SABLE	
MIR-1	STONE	BUCHER STONE CORP.	FON DU LAC TAUOURED BLEND 55% ROCKFACED	STONE VENEER		SPECIAL BLEND 20% 1 1/4", 50% 5", 30% 7-3/4", GROUT COLOR: SPEC MIX SM276 - FANGLEWOOD
STM-1	SKILL CAP. & LIFTEL	BUCHER STONE CORP.	CUT STONE INDIANA SILVERBUFF	1" LIMESTONE CAP & SKILL, 8" LIFTEL		SEE ELEVATION & DETAILS
SFFT-1	SOFFIT	THERMOFRY BENCHMARK SERIES	BENC 6RANK ASH	TRADITIONAL STUCCO APPLICATION	NATURAL	
SDG-1	SIDING			1/2" - C20 (JEN)	WHITE ASH, BROWN	INSTALLATION: 65mm F0 CREW
MTL-1	ALUMINUM	PAC CLAD	24 GA COL	METAL CLADDING	DARK BRONZE	SEE ELEVATIONS & DETAIL FOR OVERLAP OF LINING & JOINTS
WIND-1	WINDOW	MARVIN	ULTIMATE	ULTIMATE HINGED FRENCH DOOR 62	EXT: BRONZE INT: WHITE OAK	
DOOR	DOOR	MARVIN	ULTIMATE	ULTIMATE HINGED FRENCH DOOR 62	EXT: BRONZE INT: WHITE OAK	
GTR-1	ALUMINUM		24 GA	1/2" HALF-ROUND PROFILE	DARK BRONZE	



**5 SHED YARD VIEW**



**6 SHED YARD VIEW**



**7 SHED STREET VIEW**

DRAWING NO: DATE  
 PROGRESS SET 06.31.2023  
 SHED CD SET 09.01.2023

PROJECT # 22.09

SHED ELEVATIONS AND PERSPECTIVES

**A101**



## Impervious Surface Calculator

Total Square Footage of Property		<b>48773</b>
Current Impervious Surface		
Home		8862
Accessory Structure(s)		
Driveway		
Deck/Patio		
Other		
	<b>Total</b>	<b>8862</b>
Allowable Impervious Surface		
Zone A - 25%		
Zone B - 35%		
Zone C - 40%		
Proposed Additional Surface		<b>308</b>
	<b>TOTAL</b>	<b>9170</b>
<b>Current + Proposed Percent of Impervious Surface</b>		<b>18.80138601</b>
Address	Zone	
8950 N Bayside Dr	Zone A - 25%	

10/02/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Kevin Kleinmann</p> <p>PROJECT ADDRESS: 1010 E. Glencoe Pl.</p>	<p>PROJECT SUMMARY: New 316 sq. Ft. Pavilion / Pergola</p>
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I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

**Sec. 125-91. - "C" residence district regulations.**

1. Setbacks conform to the ordinance
2. Confirms with the Impervious requirements

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

# Project Proposal

Date 9/29/2023

Property Address 1010 E. Glencoe Pl., Bayside, WI 53217

Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

Adding a pavilion / pergola structure to the existing concrete pool deck / patio located behind the house. Total square footage of the pavilion / pergola is 332 sq/ft. Existing metal pergola is temporary and would be removed. Pergola will be constructed from Cedar wood. This structure will be mounted on existing concrete pool deck which was constructed 2 years ago with depth and foundation to support the future implementation of this structure. The concrete pool deck on this side of the patio is 8+ inches thick with high strength (5000 PSI), reinforced (with rebar and fiber strands) concrete sitting on top of a 6+ inch compacted concrete substrate base foundation.

<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input checked="" type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input checked="" type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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JAMES A. EIDE  
MILTON H. SCHMIDT  
CLARENCE H. PIEPENBURG

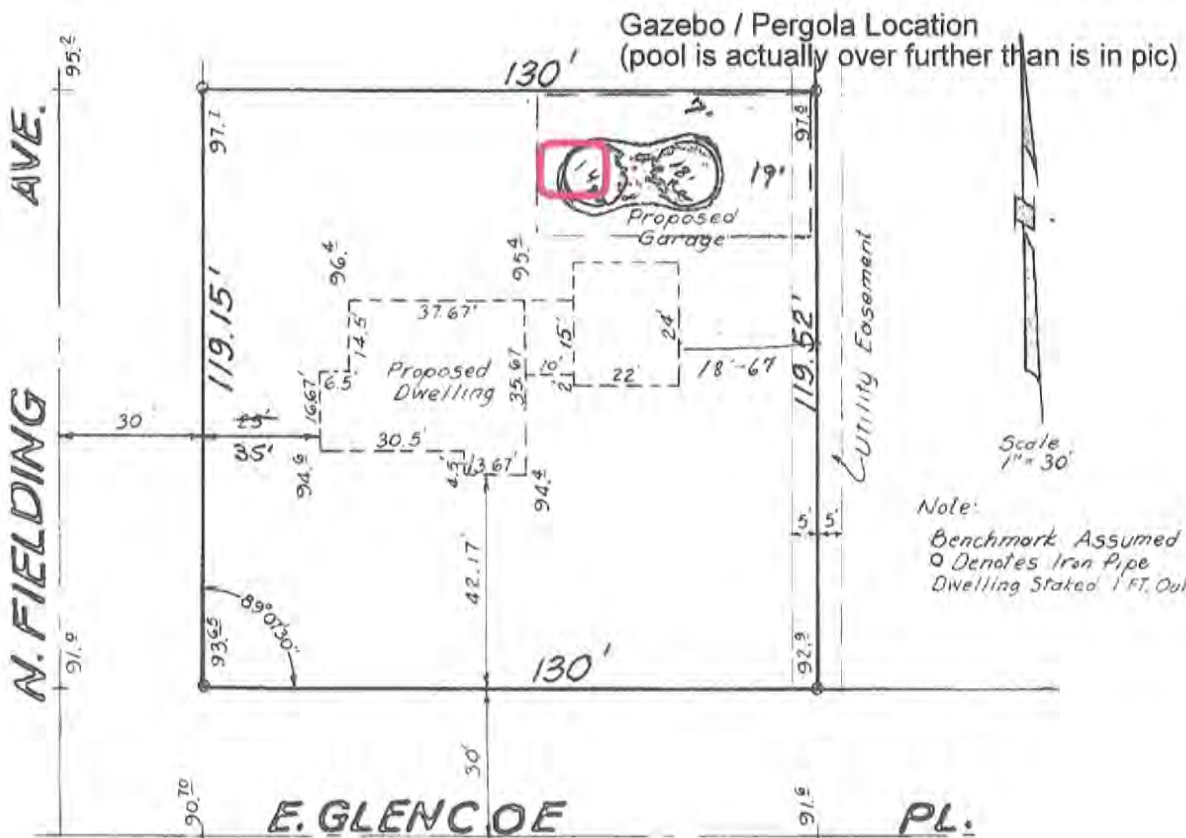
BADGER SURVEYING CO.

PHONE CONCORD 4-3782  
823 W. ATKINSON AVE.  
MILWAUKEE 6, WIS.

PLAT OF SURVEY

PROPERTY AT E. GLENCOE PL. (OWNER)  
LEGAL DESCRIPTION LOT 7, BLOCK 1, FLOWER SUBD., BEING A SUBD. OF A PART OF THE  
S. W. 1/4 OF SEC. 4, T. 8 N., R. 22 E., IN THE TOWN OF MILWAUKEE, MILWAUKEE COUNTY, WIS.

Key No 378



Prepared for Gary T. Chapman

State of Wisconsin, ss.  
County of Milwaukee

I hereby certify that on the 3<sup>rd</sup> day of March, 1953, I have surveyed the property described above according to the official records and that the above plat is a correct representation of the boundary lines and measurements of all buildings and other structures thereon.

Plat No. 53-176

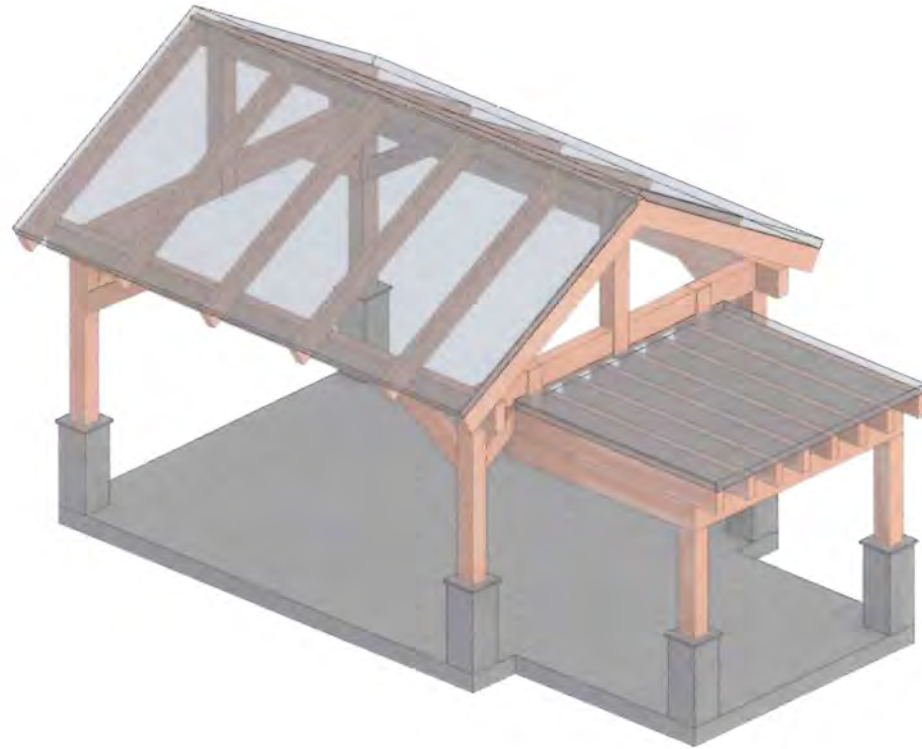
Signed Milton H. Schmidt  
Surveyor





## INDEX PAGE

DRAWING NAME	PAGE
PERGOLA COVER PAGE	A-001
PERGOLA FLOOR PLAN	A-002
PERGOLA ROOF PLAN	A-003
FRONT ELEVATION	A-004
SIDE ELEVATION	A-005
ROOF FRAMING PLAN	A-006
POST JOINERY	A-005



We provide Revit (BIM) Modeling and drafting services to various the architecture companies

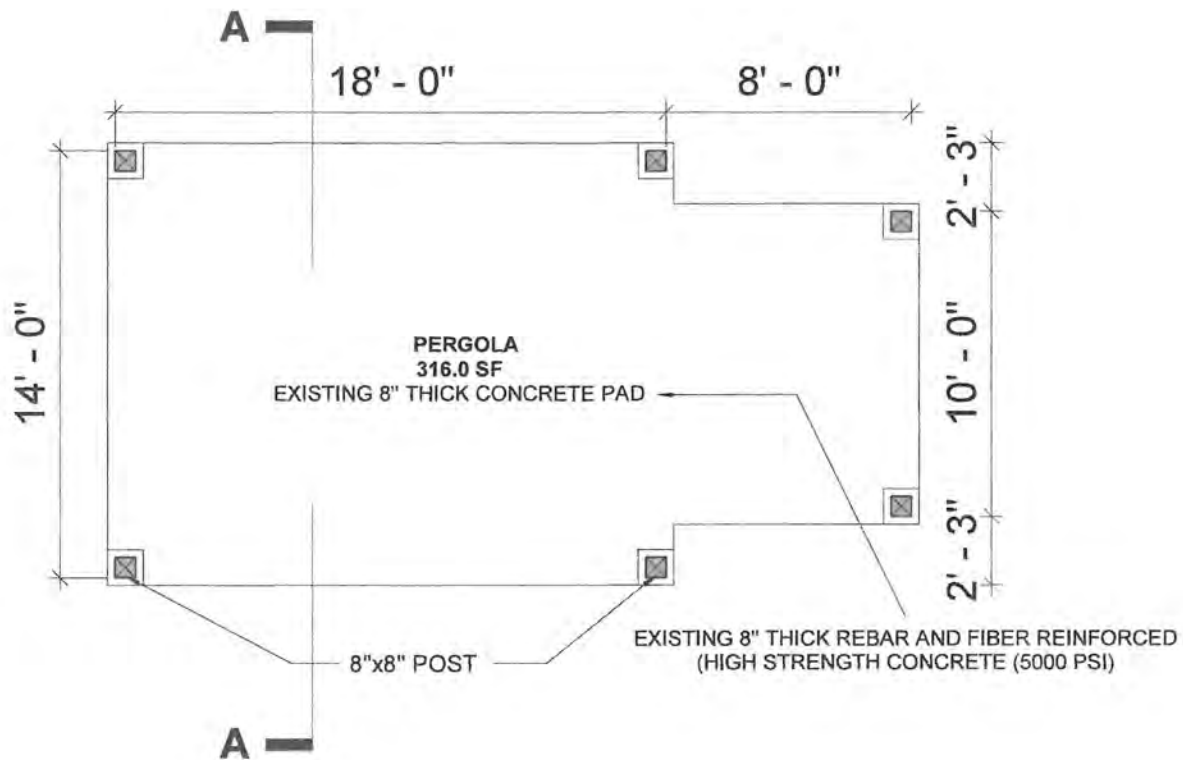
Project  
Gazebo / Pergola design

No	Description	Date

### PERGOLA COVER PAGE

Scale	3/16" = 1'-0"
Project number	012023
Date	Sep-2023
Drawn by	Engr. Parvez

**A-001**



We provide Revit (BIM) Modeling and drafting services to various the architecture companies

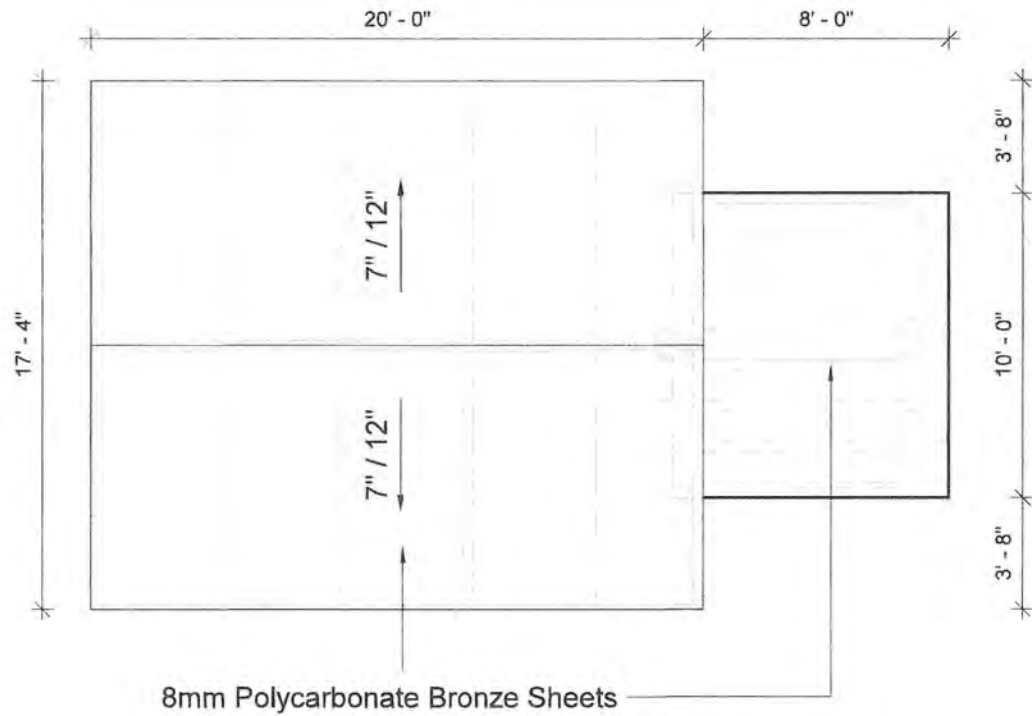
**Project**  
Gazebo / Pergola design

No	Description	Date

**PERGOLA FLOOR PLAN**

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Project number	012023
Date	Sep-2023
Drawn by	Engr. Parvez

**A-002**



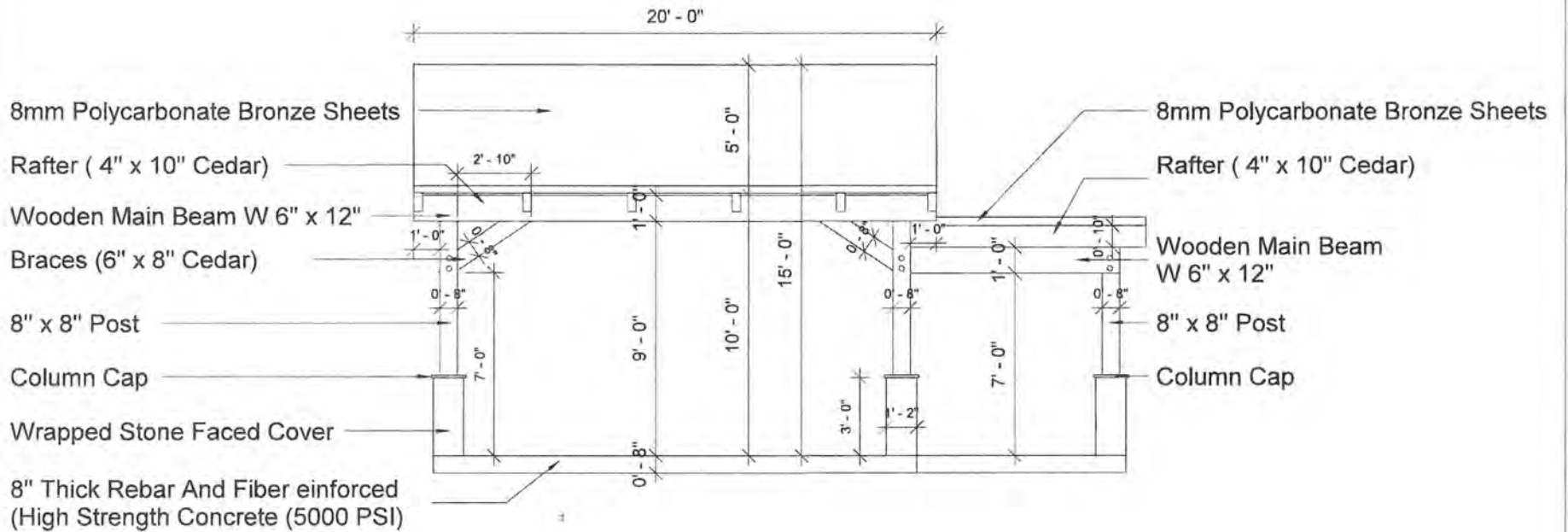
We provide Revit (BIM) Modeling and drafting services to various the architecture companies

Project
Gazebo / Pergola design

No	Description	Date

PERGOLA ROOF PLAN		
Scale	1/4" = 1'-0"	<b>A-003</b>
Project number	012023	
Date	Sep-2023	
Drawn by	Engr. Parvez	



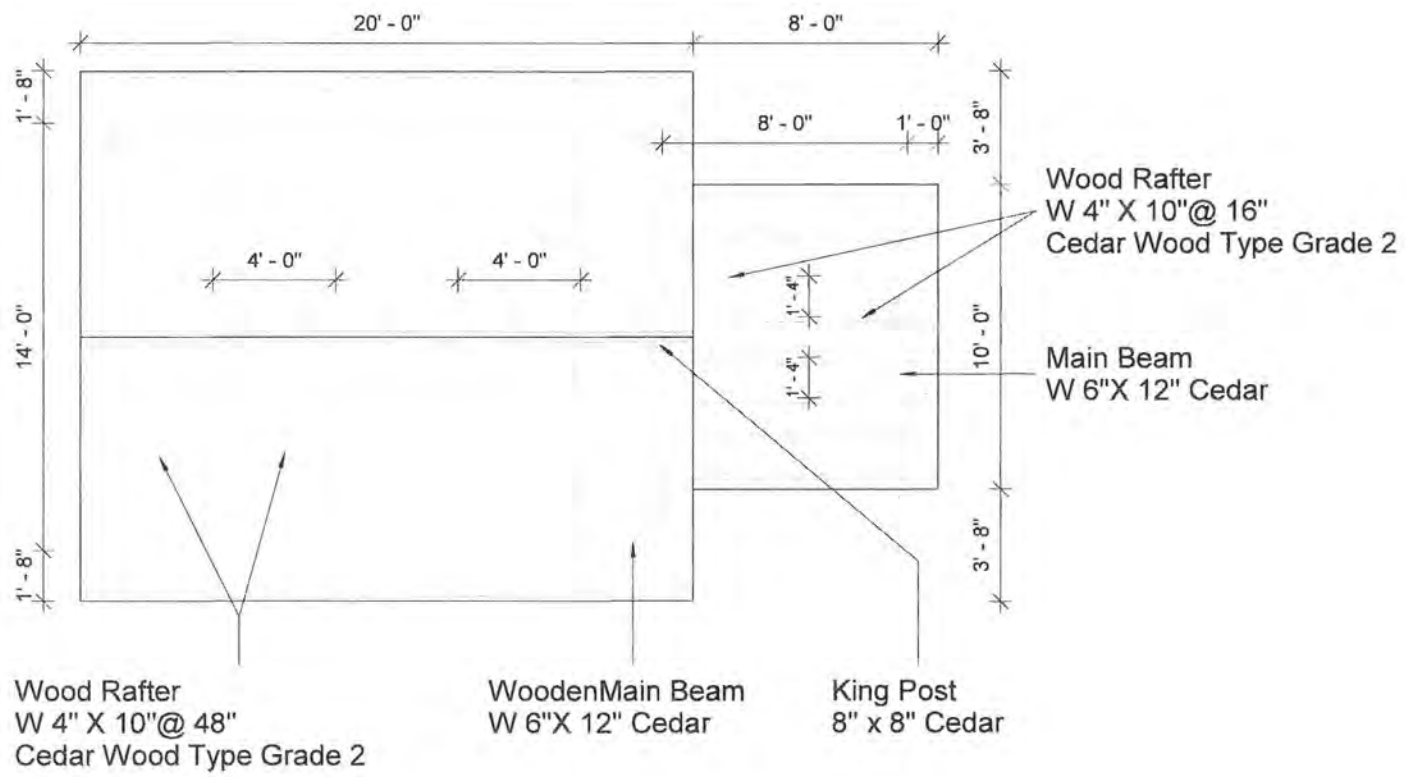


We provide Revit (BIM) Modeling and drafting services to various the architecture companies

<b>Project</b>
Gazebo / Pergola design

No	Description	Date

<b>SIDE ELEVATION</b>		
Scale	1/4" = 1'-0"	<b>A-005</b>
Project number	012023	
Date	Sep-2023	
Drawn by	Engr. Parvez	

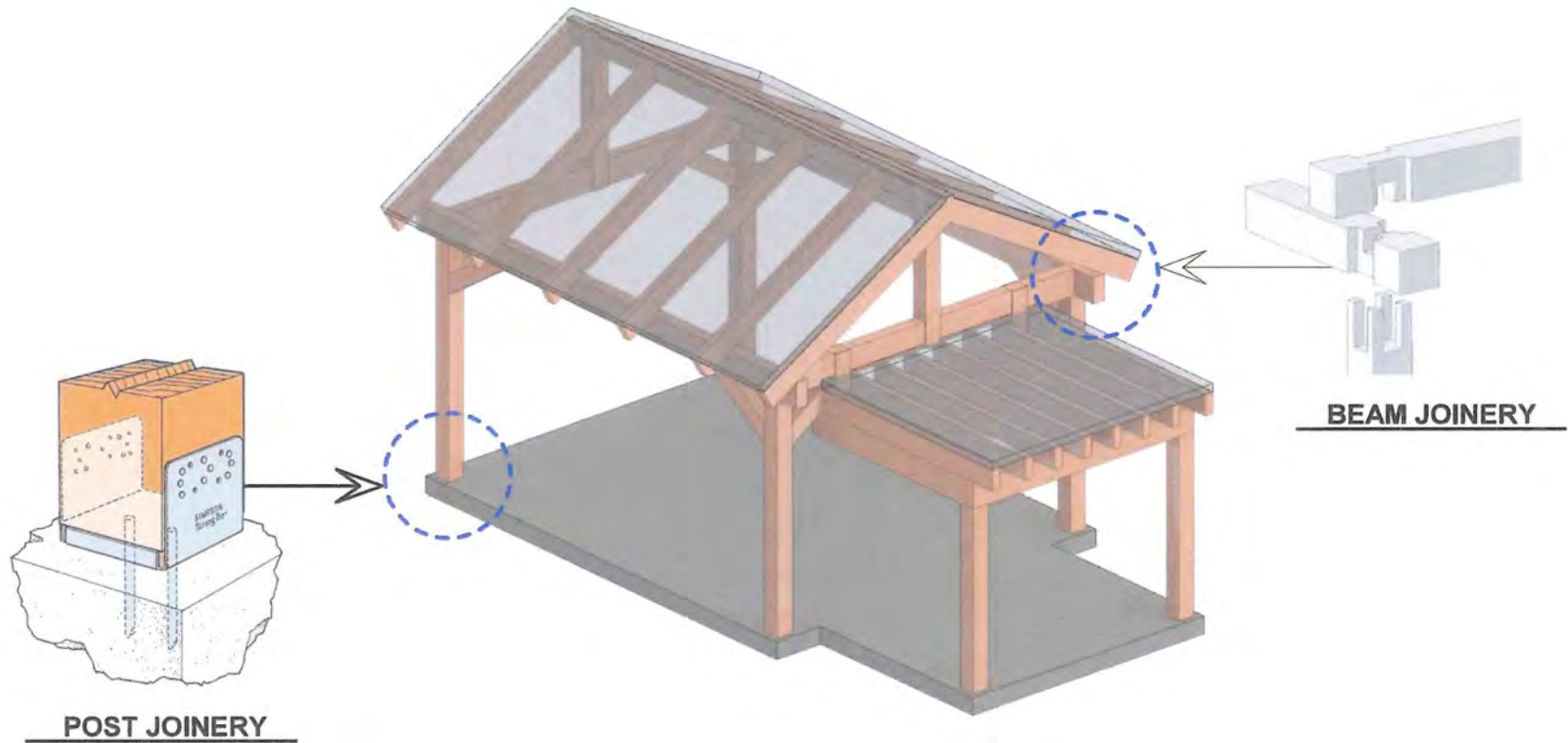


We provide Revit (BIM) Modeling and drafting services to various the architecture companies

Project
Gazebo / Pergola design

No	Description	Date

<b>ROOF FRAMING PLAN</b>		
Scale	1/4" = 1'-0"	<b>A-006</b>
Project number	012023	
Date	Sep-2023	
Drawn by	Engr. Parvez	



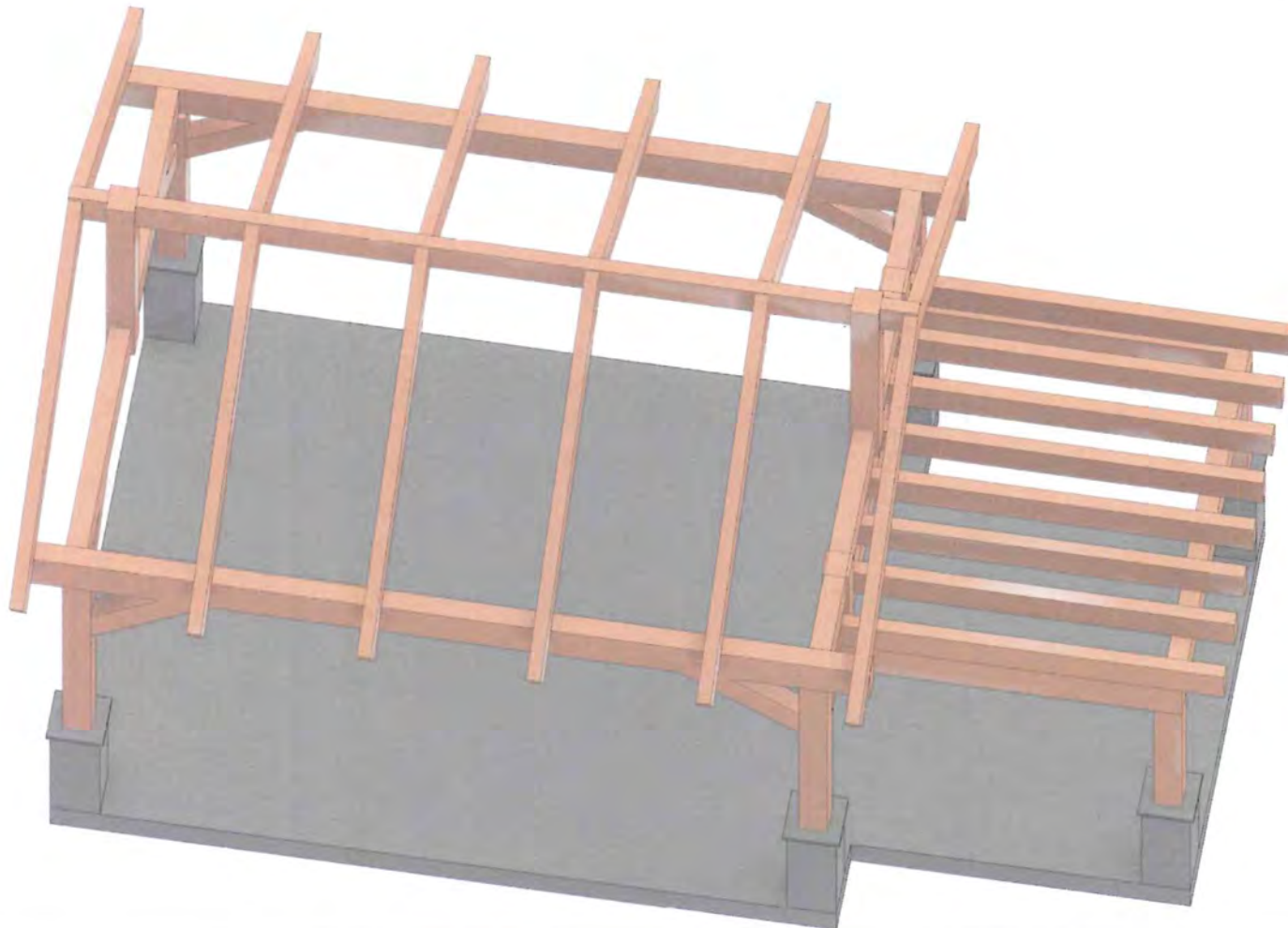
We provide Revit (BIM) Modeling and drafting services to various the architecture companies

Project
Gazebo / Pergola design

No	Description	Date

POST JOINERY		A-007
Scale	As indicated	
Project number	012023	
Date	Sep-2023	
Drawn by	Engr. Parvez	





**Pick Home**

We provide Revit (BIM) Modeling and drafting services to various the architecture companies

**Project**  
Gazebo / Pergola design

No	Description	Date

**WIREFRAME 3D VIEW**

Scale	
Project number	012023
Date	Sep-2023
Drawn by	Engr. Parvez

**A-008**

10/02/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Tony Aiello</p> <p>PROJECT ADDRESS: 505 E Bay Point Rd</p>	<p>PROJECT SUMMARY: New 120 sq. Ft. wooden storage shed</p>
---	---

I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

Sec. 125-90. - "B" residence district regulations.

1. Setbacks conform to the ordinance
2. Confirms with the Impervious requirements

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in red.

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager

# Project Proposal

Date \_\_\_\_\_

Property Address \_\_\_\_\_

Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

*removing current shed & replacing it with a new one.*

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<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date: <i>10/10</i></li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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5 of 8



- Wood Siding -
- Primed Only
- PAINTED by Owner  
 Color: Sherwin Williams: # SW7633  
 "TAUPE TONE"
- Asphalt Shingle Roofing  
 Color: G.A.F. WeatherWood.

Feedback

REGISTERED LAND SURVEYORS  
**MILTON H. SCHMIDT, Pres.**  
**CLARENCE H. PIEPENBURG, Vice-Pres.**  
**JAMES A. EIDE, Sec.-Treas.**

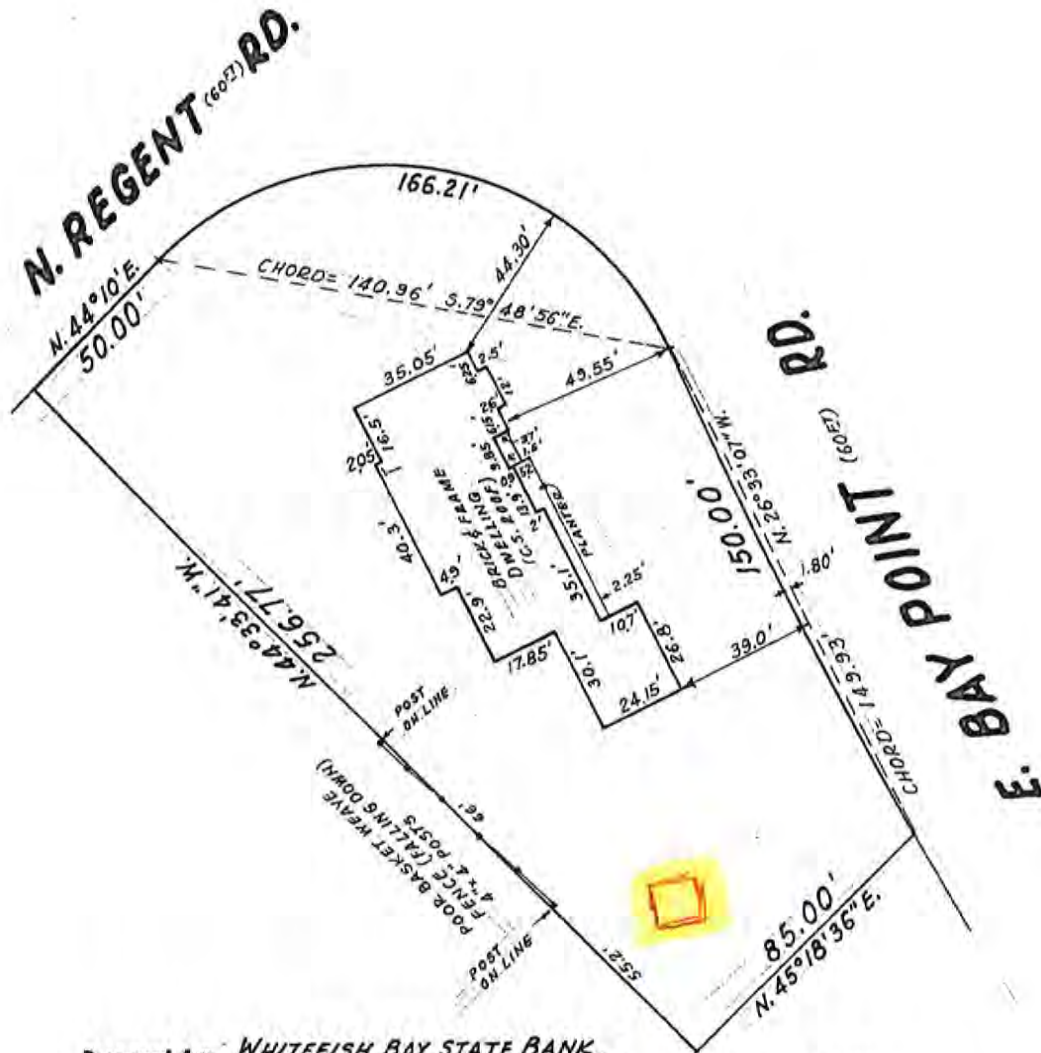
**BADGER SURVEYING CO., INC.**

PHONE 354-9080  
 7257 N. 51st STREET  
 MILWAUKEE, WIS. 53223

**PLAT OF SURVEY**

Property at 505 E. Bay Point Rd. Dr. Wilbert Wiviott-Owner  
 Legal Description: Lot 10, in Block 2, in Bayside Ravine Park, being a subdivision of a part of Assessment Subdivision No. 276, and a part of the North West 1/4 of Section 4, Township 8 North, Range 22 East, in the Village of Bayside, Milwaukee County, Wisconsin.

8-22-09-2-0098



Prepared for WHITEFISH BAY STATE BANK

State of Wisconsin, }  
 County of Milwaukee } ss.

I hereby certify that on the 31ST day of MAY, 1966, I have accurately surveyed the above described property and that the above plat is a correct representation thereof and shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

Plat No. 66-327

Signed James C. Eide  
 Registered Land Surveyor



-example  
photo



-what it comes  
like (DIY)

SW 7633

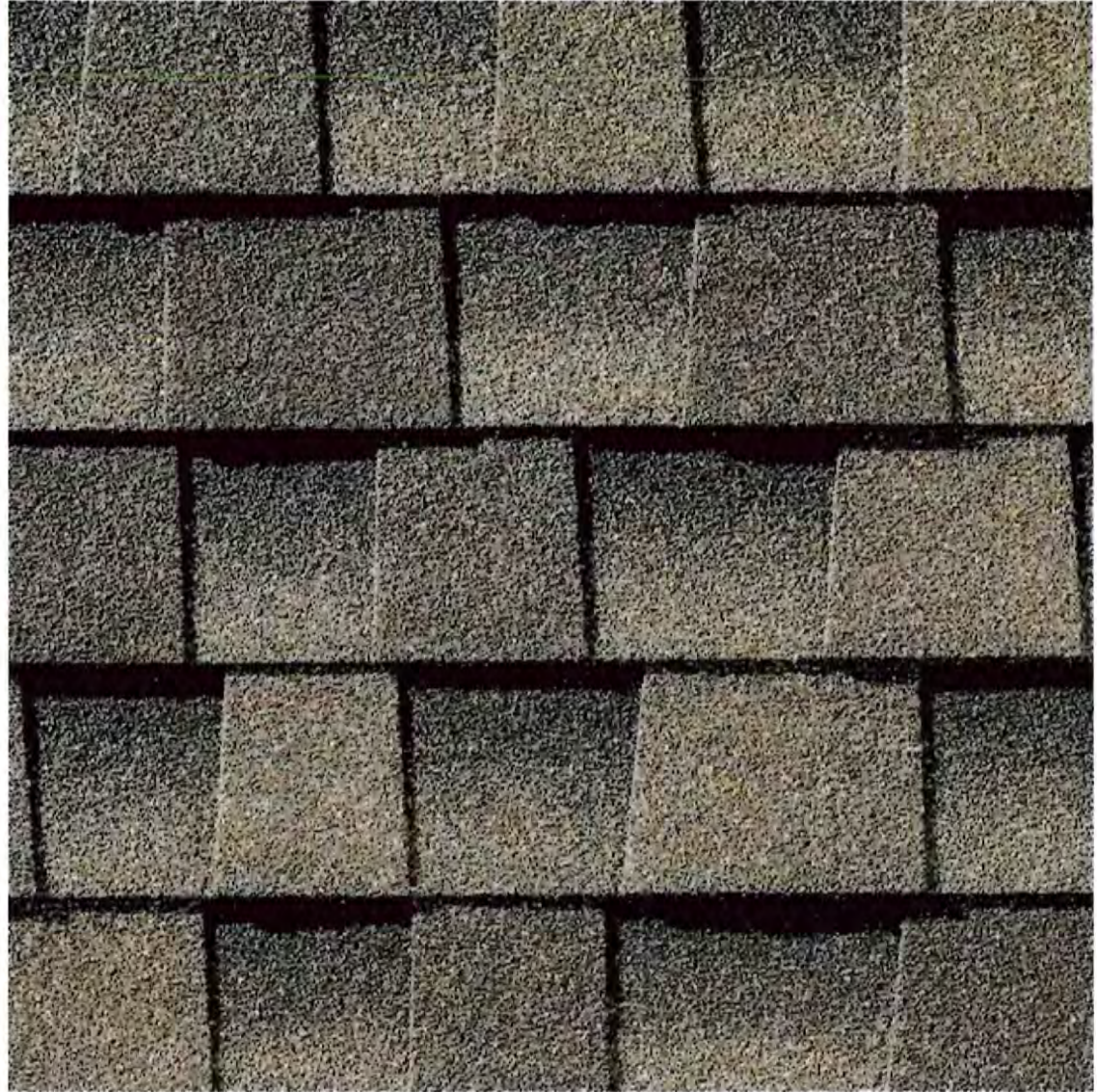
Taupe Tone



GAF

# Timberline HDZ Weathered Wood Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle) (21-Pieces)

★★★★★ (8205) Questions & Answers (22)



Hover Image to Zoom



-applicant's  
exterior of home

09/28/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

PROJECT/SITE OWNER: Kyle Maier  PROJECT ADDRESS: 626 W Fairy Chasm	PROJECT SUMMARY: New 22 X 28 616 Ft. detached
--	--

I have reviewed the proposed new shed for compliance with the Village's ordinances and have determined the following for consideration.

**Sec. 125-90. - "B" residence district regulations.**

1. Setbacks conform to the ordinance.
2. There are no issues with this submittal.
3. The board always considers the aesthetics of the project.
4. **This review is only for ARC and not a building permit.**

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager

# Project Proposal

Date 9/21/23

Property Address 626 W Fairy Chasm Rd

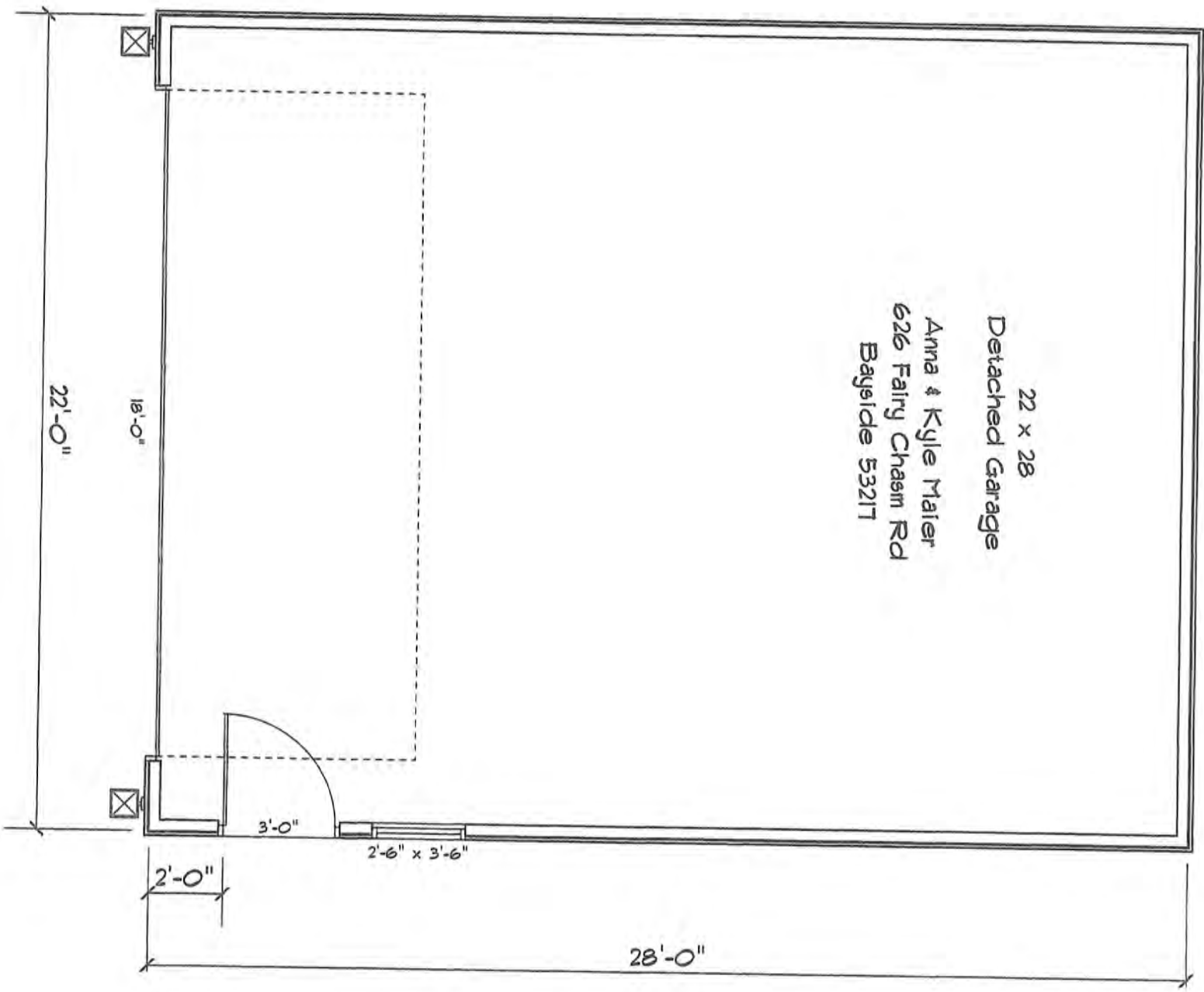
Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

22' x 28' detached garage

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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22 x 28  
Detached Garage  
Anna & Kyle Maier  
626 Fairy Chasm Rd  
Bayside 53217

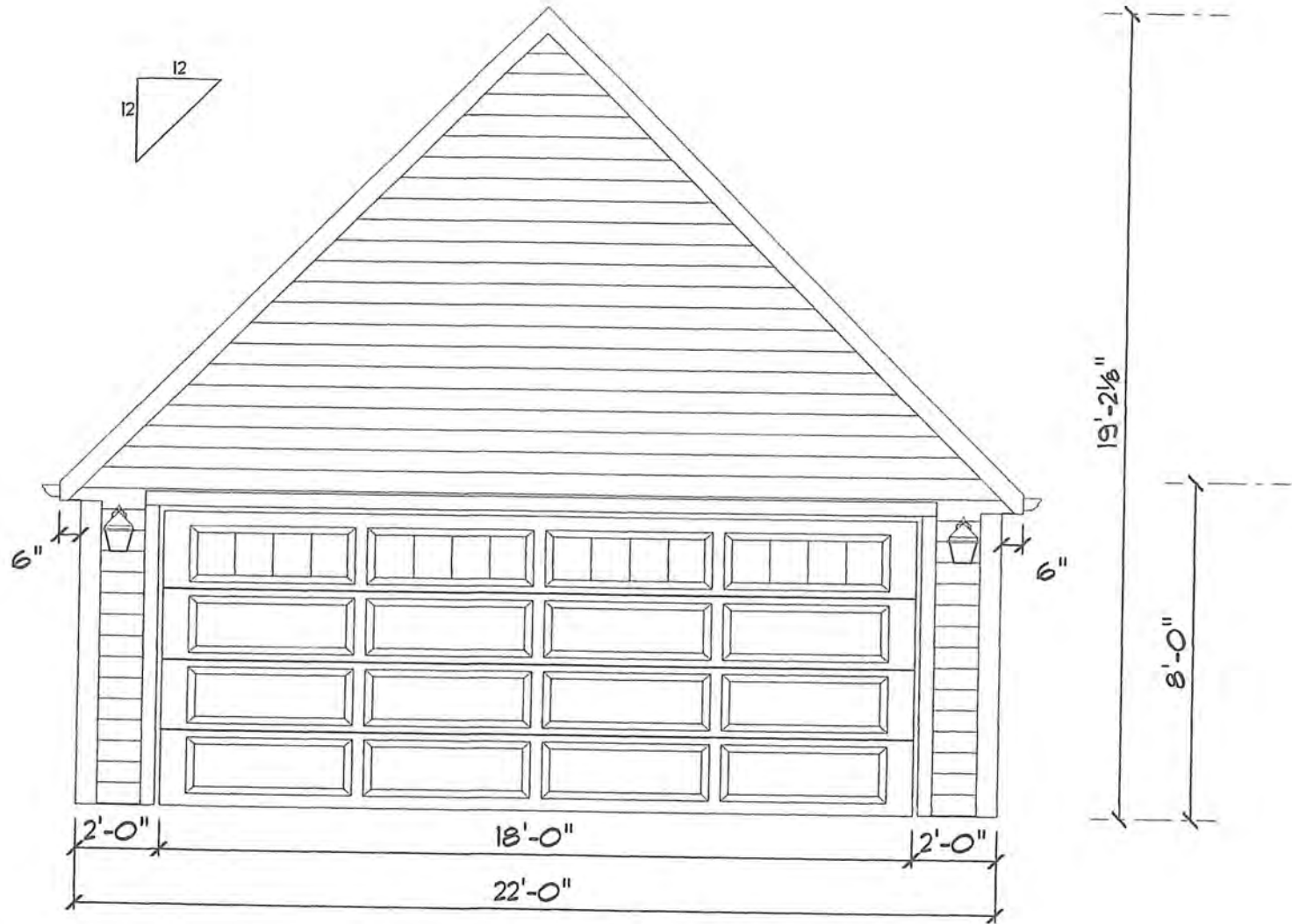


18 x 7  
Overhead Door  
w/ Madison Windows -  
Bronze

6" LP Siding -  
Urban Bronze

LP Soffit/Fascia &  
Door Trim -  
Urban Bronze

Seamless Gutters -  
Terra Bronze



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

Dimensional  
Shingles -  
Brownwood

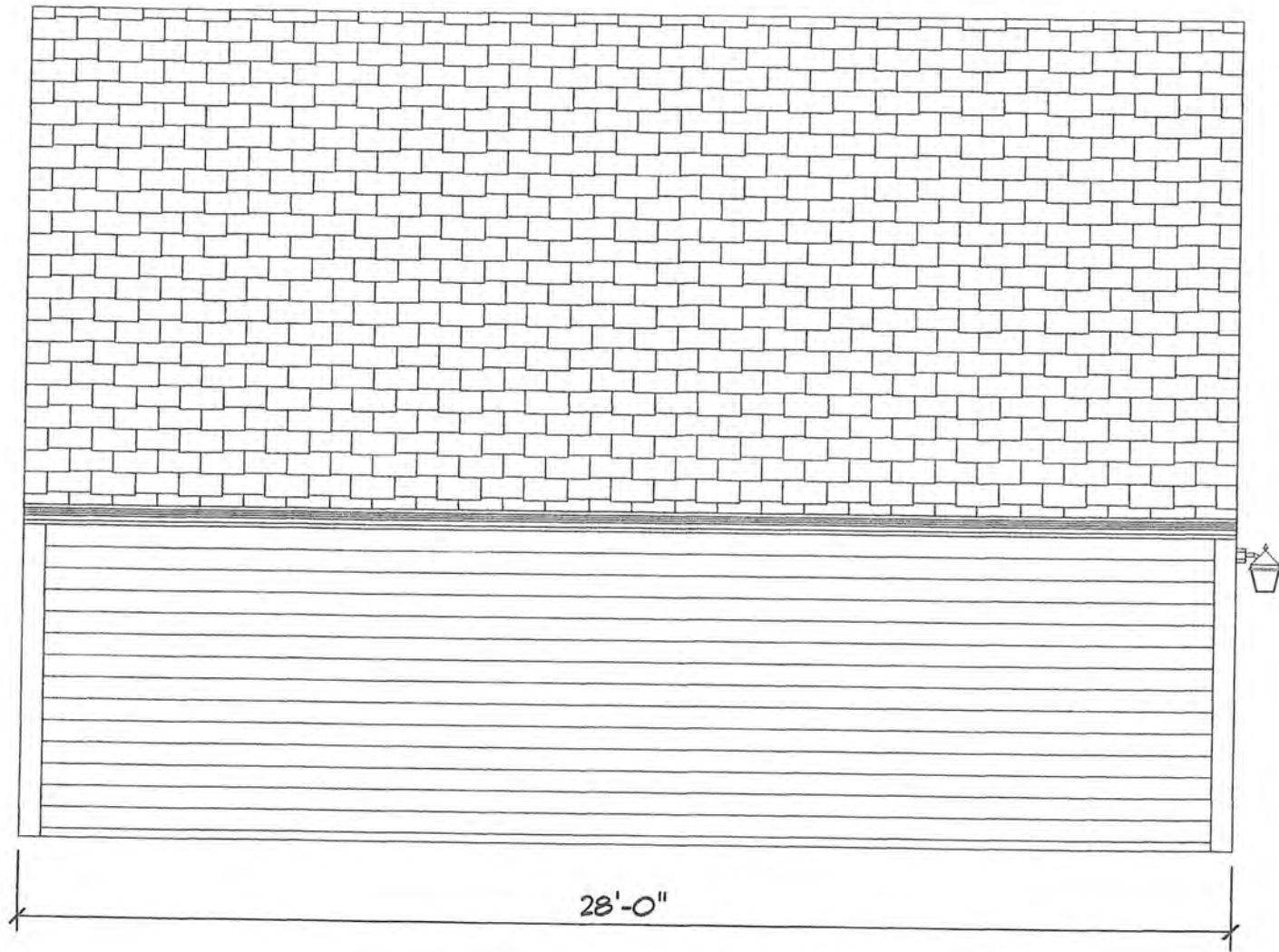
36" Fiberglass  
Service Door

30x42  
Single-Hung  
Window -  
Bronze



## RIGHT ELEVATION

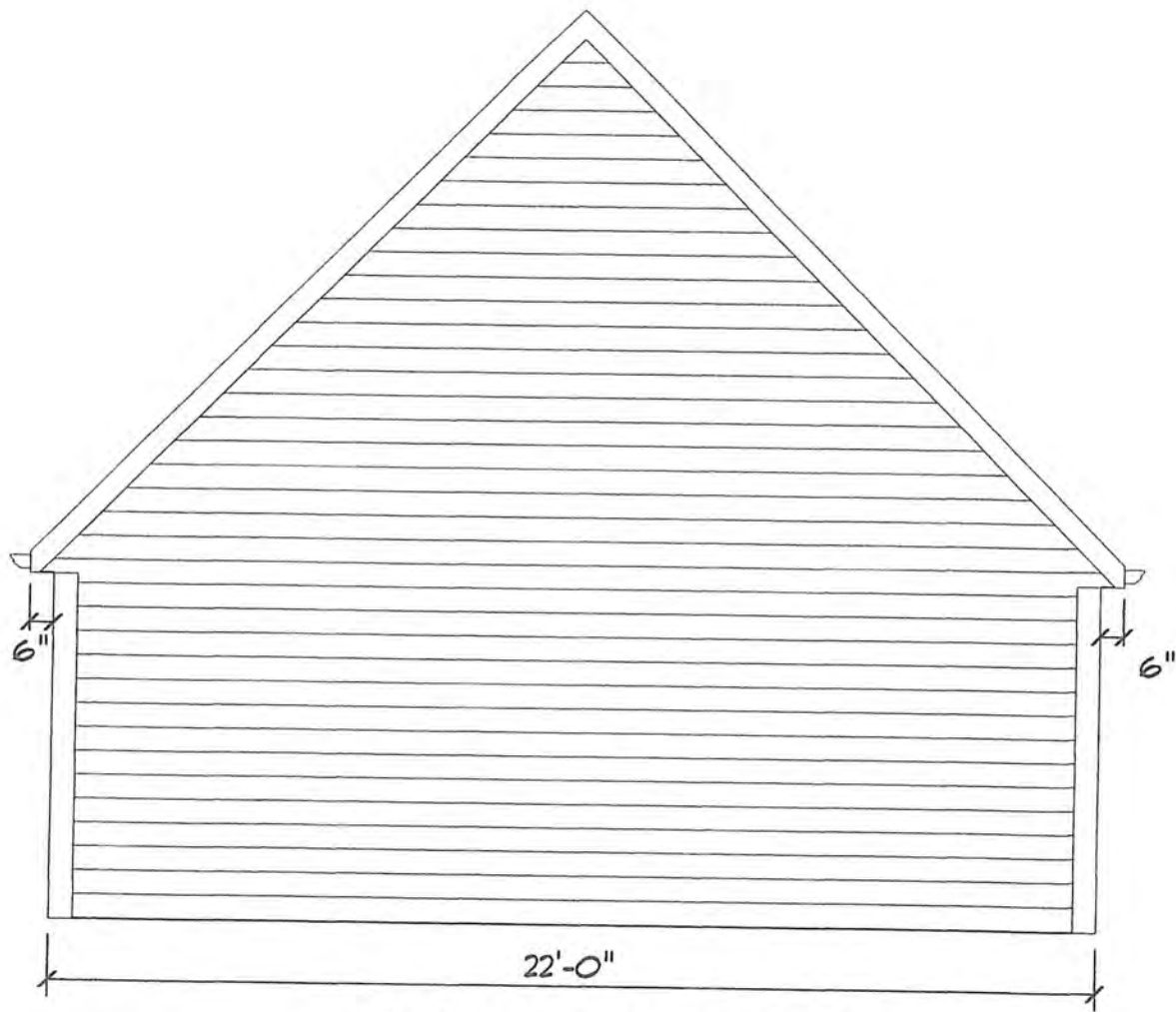
SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

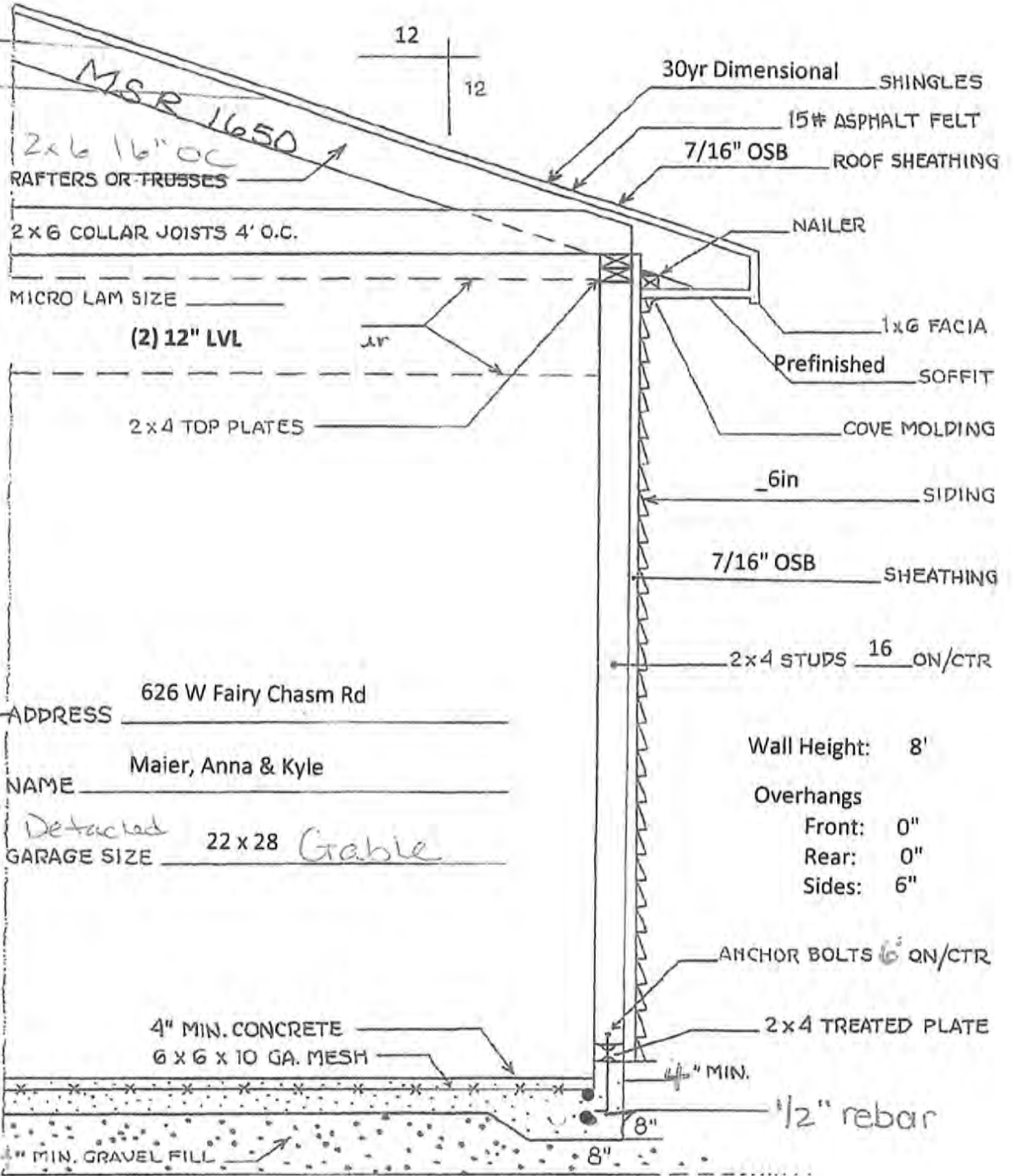




**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

Collar ties  
in upper 1/3  
of rafter  
1x6



12  
|  
12

MSR 1650  
2x6 16" OC  
RAFTERS OR TRUSSES

2x6 COLLAR JOISTS 4' O.C.

MICRO LAM SIZE

(2) 12" LVL

2x4 TOP PLATES

30yr Dimensional SHINGLES  
15# ASPHALT FELT  
7/16" OSB ROOF SHEATHING

NAILER

1x6 FACIA

Prefinished SOFFIT

COVE MOLDING

6in SIDING

7/16" OSB SHEATHING

2x4 STUDS 16 ON/CTR

Window  
Headers:  
2-Ply 2x6

ADDRESS 626 W Fairy Chasm Rd

NAME Maier, Anna & Kyle

Detached GARAGE SIZE 22 x 28 Gable

Wall Height: 8'

Overhangs

Front: 0"

Rear: 0"

Sides: 6"

ANCHOR BOLTS 6 ON/CTR

2x4 TREATED PLATE

4" MIN.

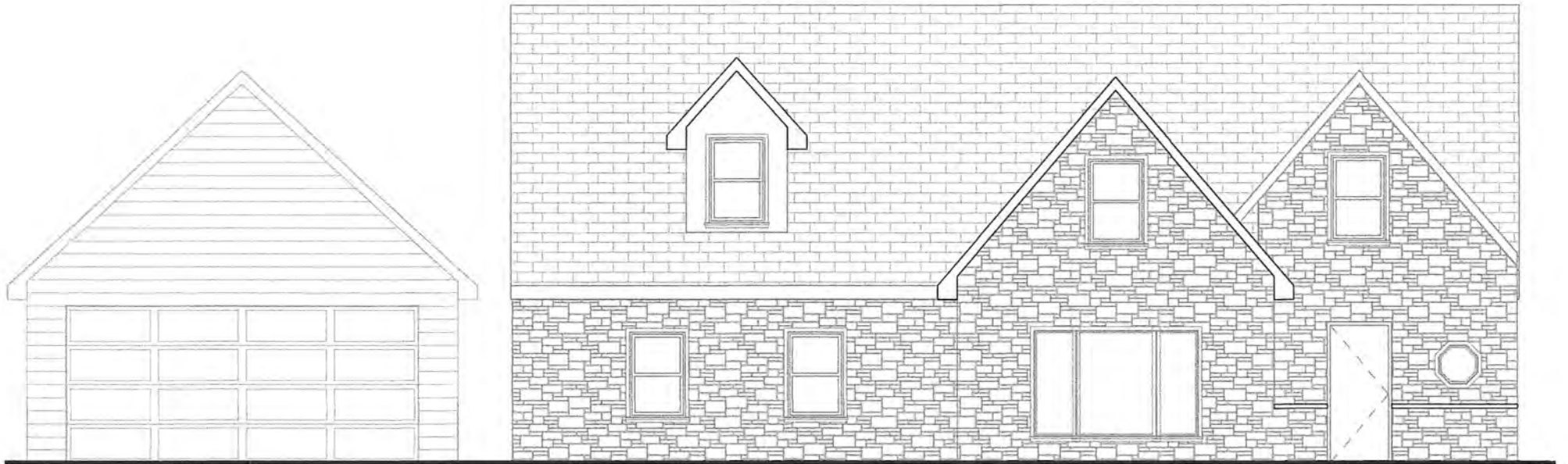
1/2" rebar

4" MIN. CONCRETE  
6 x 6 x 10 GA. MESH

4" MIN. GRAVEL FILL

8"





626 W FAIRY CHASM RD



VIEWS FROM FAIRY CHASM RD (GOOGLE MAPS)



VIEWS FROM IRONWOOD RD (GOOGLE MAPS)



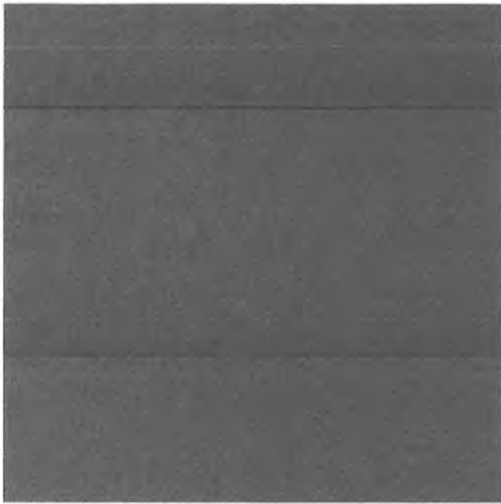
VIEW FROM FAIRY CHASM RD (TODAY)



VIEW FROM IRONWOOD RD (TODAY)

## Materials

SW 7048 Urbane Bronze



- LP 6" exposure siding
- Door trim
- LP Fascia & soffit

Owens Corning – Brownwood Shingle Color



# Plat of Survey

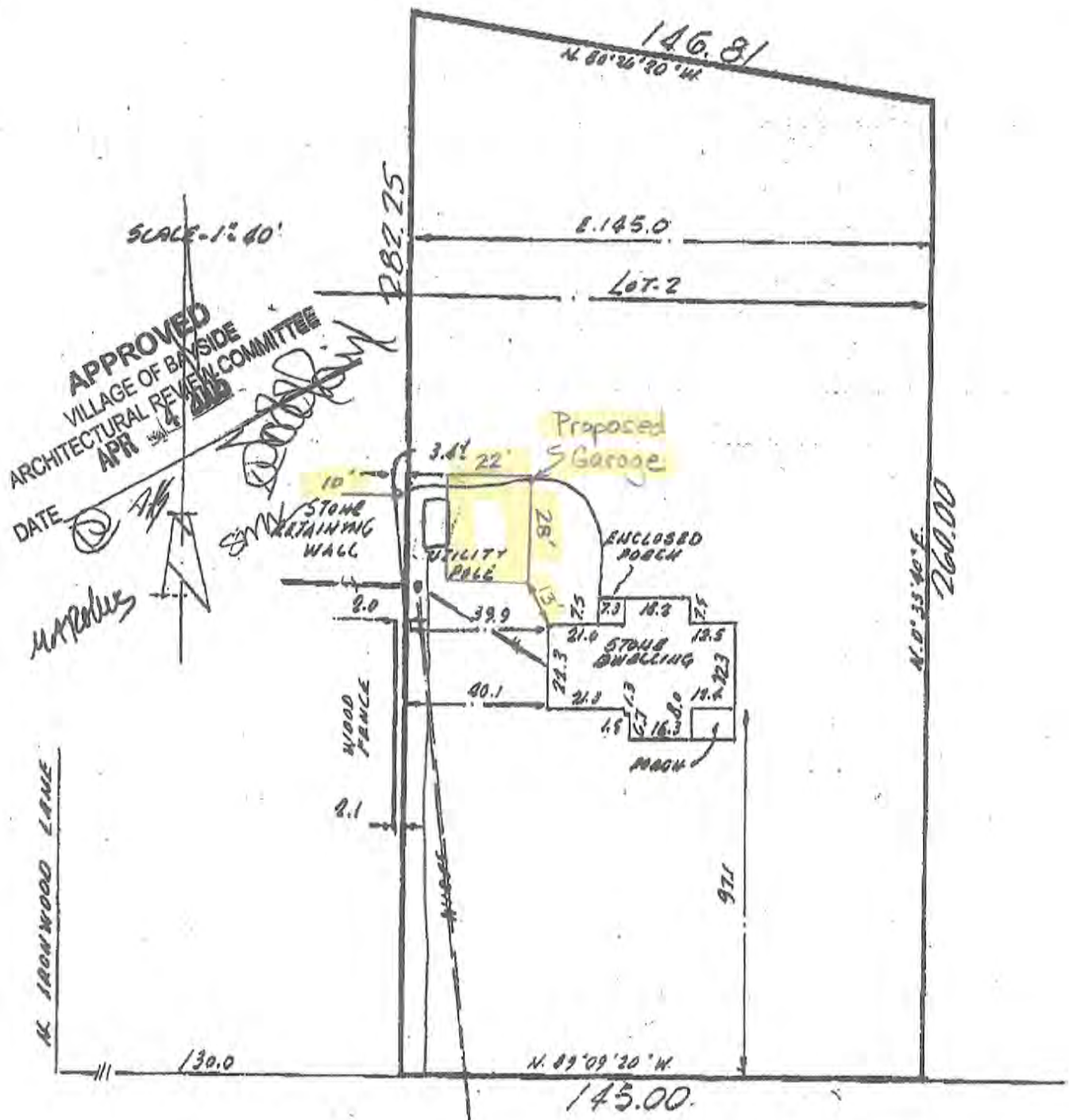
KNOWN AS 626 WEST FAIRY CHASM ROAD, IN THE VILLAGE OF BAYSIDE, WISCONSIN.  
THE EAST 145.00 FT. OF LOT 2 IN BLOCK 2 IN FAIRY CHASM ESTATES, BEING A SUBDIVISION  
OF A PART OF THE NE 1/4 AND THE NW 1/4 OF SECTION 5, T 8 N, R 22 E, IN THE VILLAGE  
OF BAYSIDE, MILWAUKEE COUNTY, WISCONSIN.

AUGUST 10, 1987

ERENT AND MARY LAGERGREN

SURVEY NO. 73876-M

NOTE: AN AGREEMENT HAS BEEN REACHED BETWEEN CENTRAL MORTGAGE COMPANY AND KENNETH E  
BERKE TO OMIT THE SETTING OF MONUMENTS ON PROPERTY CORNERS.





09/17/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER:  Kris &amp; Bill Barger  PROJECT ADDRESS: 422 W Manor Circle</p>	<p>PROJECT SUMMARY:  New pitched roof replacing flat roof</p>
---	---

I have reviewed the proposed new pitched roof, for compliance with the Village's ordinances and have determined the following for consideration.

1. The proposed submittal meets the prescribed ordinances.
2. The applicant stated that the new material will match the existing house
3. There are no issues with this submittal.
4. The board always considers the aesthetics of the project.
5. **This review is only for ARC and not a building permit.**

**VILLAGE CODE REVIEW**

Supporting documentation or testimony must be provide at the meeting to verify code compliance with the above observations in **red**.

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager

## Project Proposal

Date 9/11/23

Property Address 422 W MANOR CIRCLE

Zoning District "C" RESIDENCE DISTRICT

Proposed Project Details (type of work, size, materials, location, etc.):

REMOVE FLAT ROOF AND REPLACE WITH PITCHED ROOF TO MATCH HOME

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<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> ARC Agenda Date: 10-16-23</li> <li><input checked="" type="checkbox"/> Parcel Number: 0220016000</li> <li><input checked="" type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input checked="" type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input checked="" type="checkbox"/> Survey or <u>Milwaukee County Land Information Officer Aerial</u></li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input checked="" type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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Wade Design and Construction Inc.  
 5200 W Parkview Dr  
 Mequon, WI 53092  
 Tel: 262.512.1799

Kris & Bill Barger  
 422 W Manor Cir.  
 Bayside, WI 53217

New Garage Roof

ISSUE  
 9.11.2023

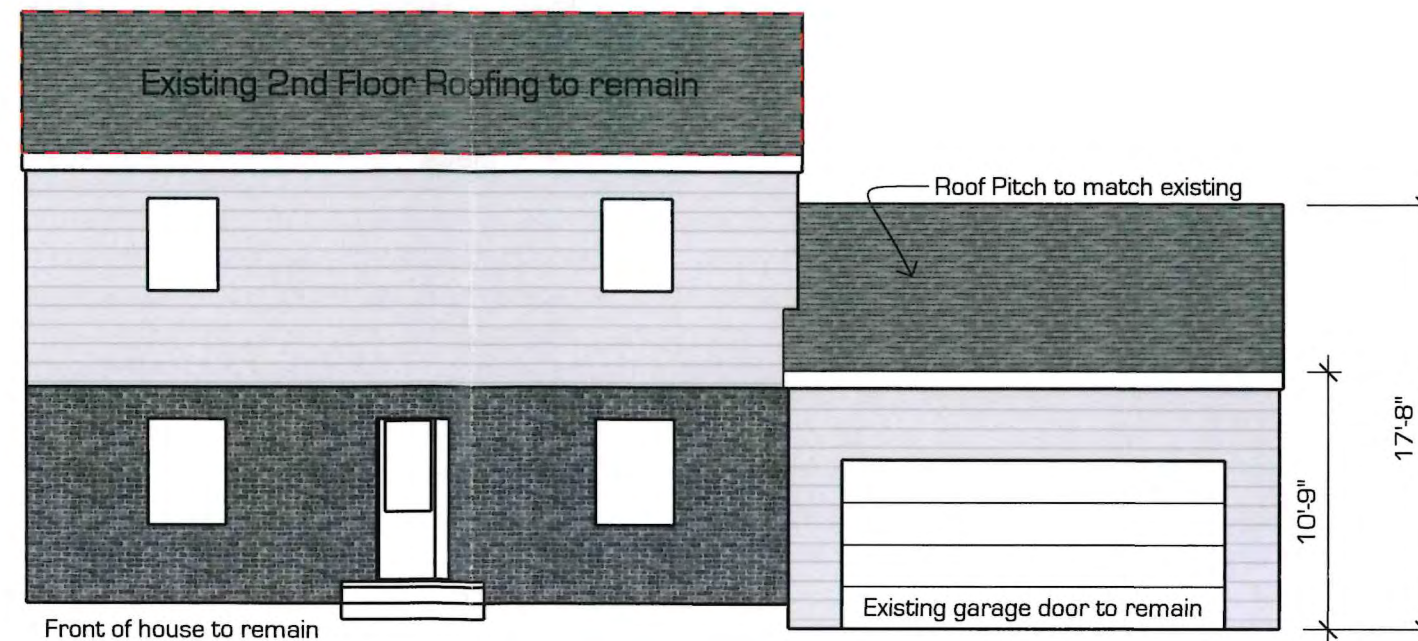
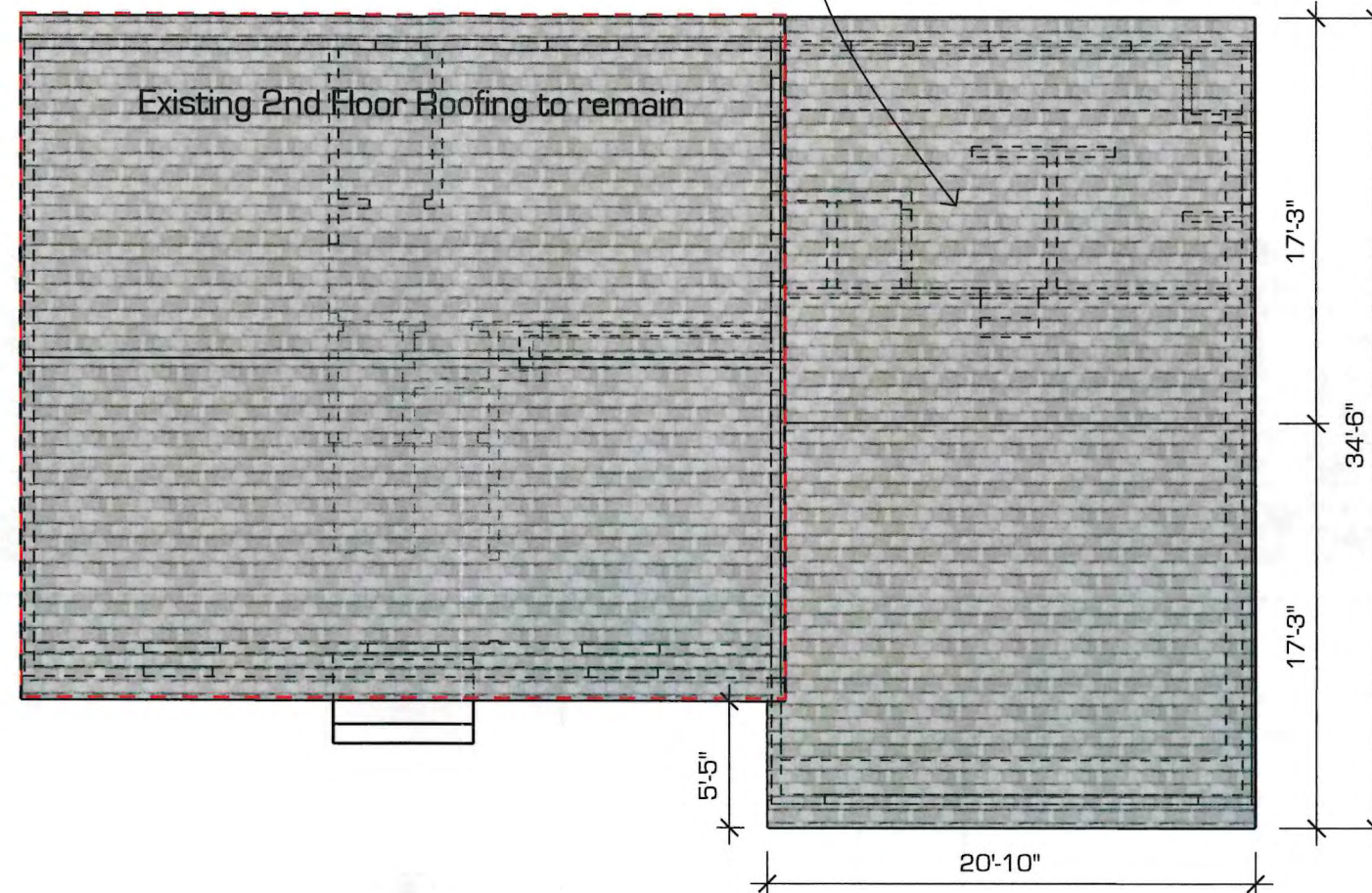
RE-ISSUE

DRAWN BY  
 MJW | CCW | EGK

FIRST FLOOR PLAN



Existing rubber roofing to be removed and new shingle roof to be installed on new roof framing over existing joists



1 Roof Plan  
 A1 Scale: 1/4"=1'

Wade Design and  
Construction Inc.  
5200 W Parkview Dr  
Mequon, WI 53092  
Tel: 262.512.1799

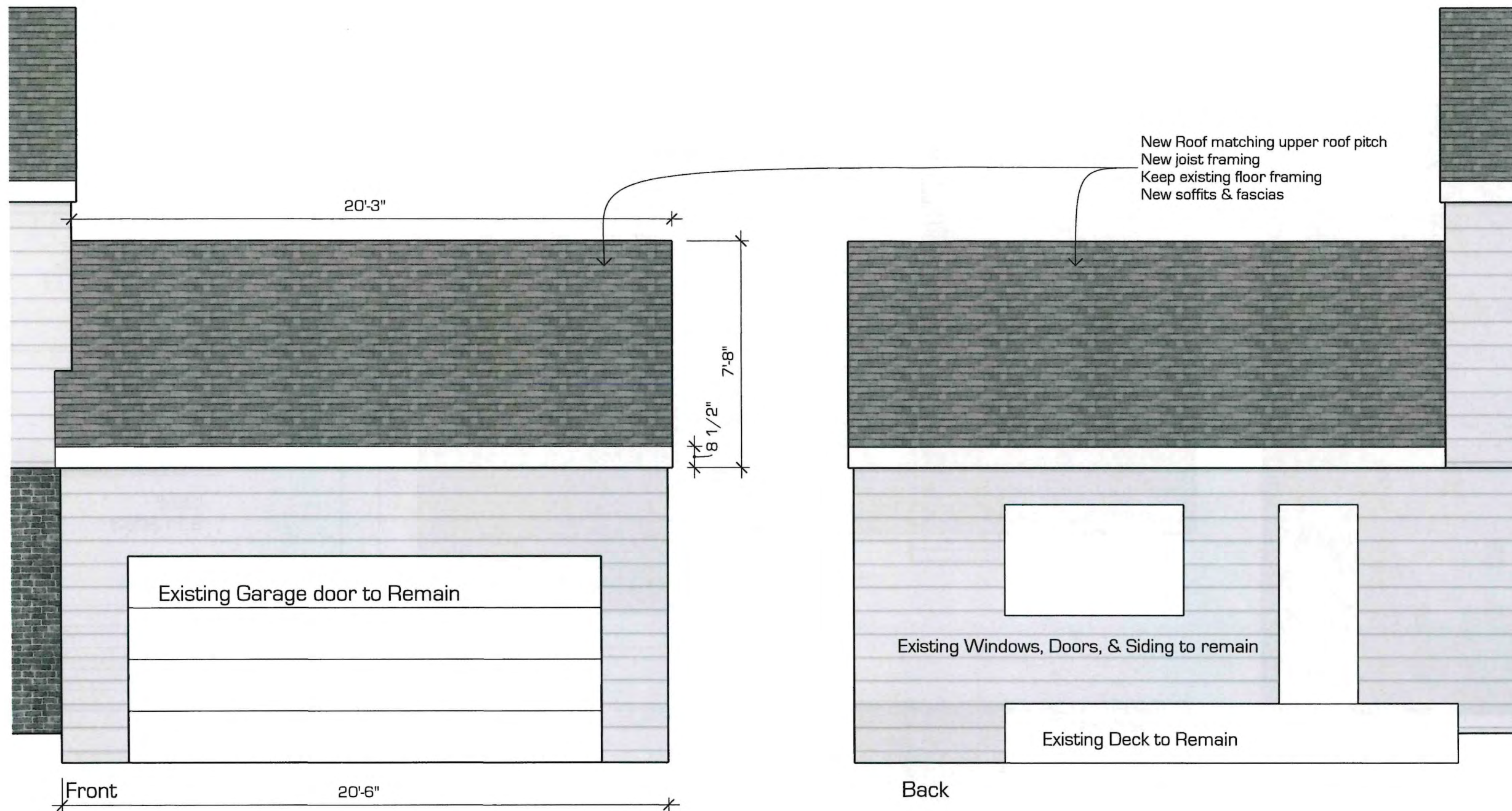
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422 W Manor Cir.  
Bayside, WI 53217

New Garage Roof

ISSUE  
9.11.2023

RE-ISSUE

DRAWN BY  
MJW | CCW | EGK



1 Front and Back of garage  
A2 Scale: 1/4"=1'



Wade Design and  
Construction Inc.  
5200 W Parkview Dr  
Mequon, WI 53092  
Tel: 262.512.1799

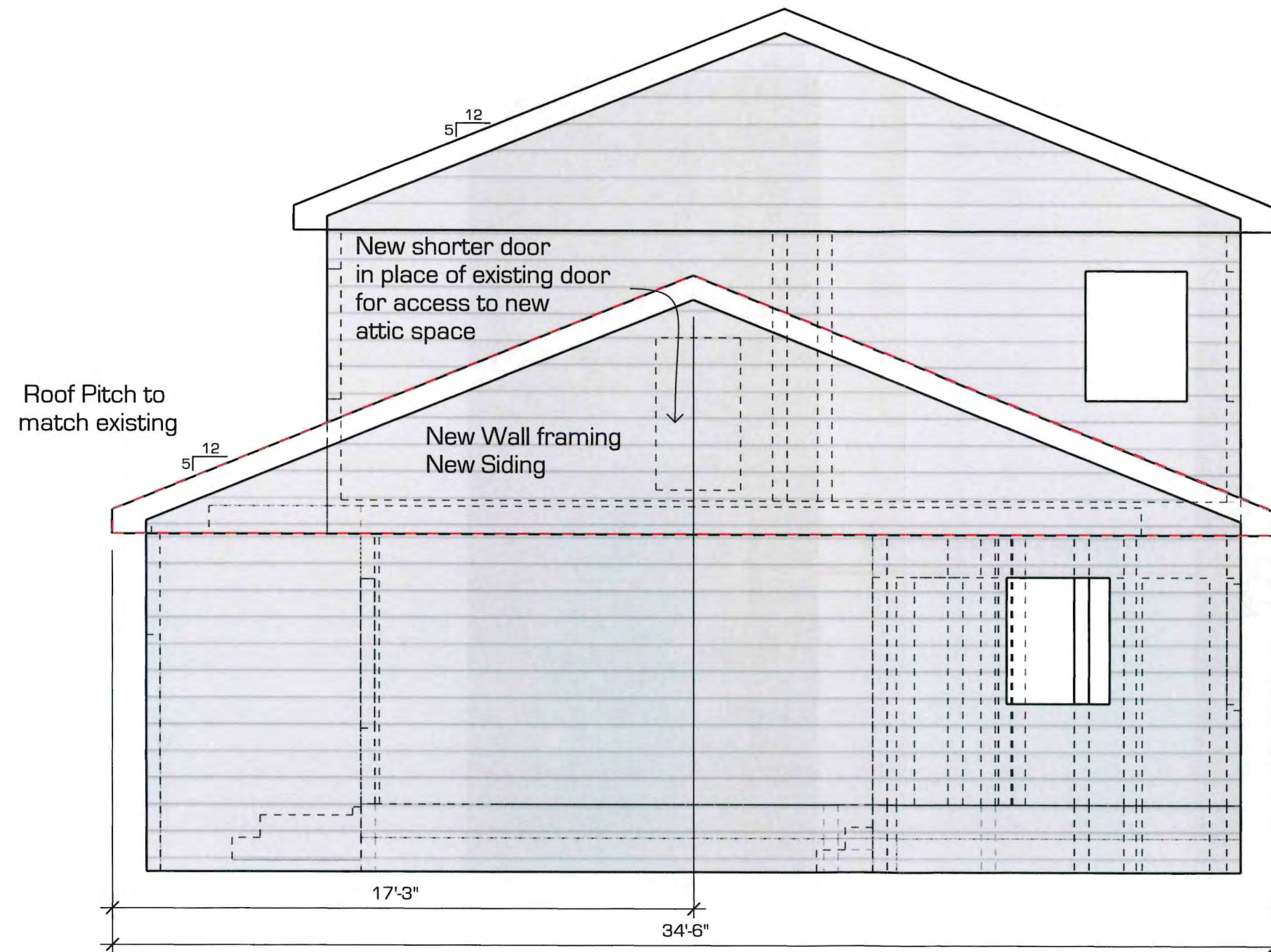
Kris & Bill Barger  
422 W Manor Cir.  
Bayside, WI 53217

New Garage Roof

ISSUE  
9.11.2023

RE-ISSUE

DRAWN BY  
MJW | CCW | EGK



1 Side of Garage  
A3 Scale: 1/4"=1'

A3

Wade Design and Construction Inc.  
5200 W Parkview Dr  
Mequon, WI 53092  
Tel: 262.512.1799

Kris & Bill Barger  
422 W Manor Cir.  
Bayside, WI 53217

New Garage Roof

ISSUE  
9.11.2023

RE-ISSUE

DRAWN BY  
MJW | CCW | EGK



Flat roof

No change to footprint of home



Pitched roof to match existing home

10/05/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER:  Morgan Allen  PROJECT ADDRESS: 9600 N Lake Dr.</p>	<p>PROJECT SUMMARY:  New 48-inch-high black aluminum open design fence 369 lineal feet</p>
--	--

I have reviewed the proposed new fence for compliance with the Village's ordinances and have determined the following for consideration

1. A current survey was provided.
2. The board always considers matching fences with neighboring fences.
3. There are no issues with this application.

**VILLAGE CODE REVIEW**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

## Project Proposal

Date 10-2-23

Property Address 9600 N. Lake Drive

Zoning District Residential

Proposed Project Details (type of work, size, materials, location, etc.):

New fence installation - install 369 LF - 4' high 3-rail black aluminum fencing to enclose wide and rear of the property.

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date: <u>10-16-23</u></li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input checked="" type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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## 4' Aluminum - Heritage ✓ Signed

4'H Black 400 Heritage (R)

Black

### Features & Benefits

- SolarShield Powder Coating
- Exceeds AAMA 2604 Standard
- Full Panel Coated after Assembly

### Specifications

- Post: 2" Sq.
- Rail: 1" Sq.
- Picket: 5/8" Sq.

10/05/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<b>PROJECT/SITE OWNER:</b> Morgan Allen	<b>PROJECT SUMMARY:</b> Adding and changing new windows and door during remodel
<b>PROJECT ADDRESS:</b> 9600 N Lake Dr.	

I have reviewed the proposed window and door change for compliance with the Village's ordinances and have determined the following for consideration

1. There are no other issues with this submittal

*104-2(a)(2) Architectural Review Committee: Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

#### VILLAGE CODE REVIEW

**See comments in red**  
**This is just for ARC review and not for permitting**

**Dave Hendrix**  
**SAFEbuilt**  
**Wisconsin Operations Manager**

# Project Proposal

Date OCT 3, 2023

Property Address 9600 N LAKE DRIVE

Zoning District \_\_\_\_\_

Proposed Project Details (type of work, size, materials, location, etc.):

ADD EGRESS WDW @ BASEMENT

INTERIOR FINISHES & FIXTURES @ FIRST FLOOR

NEW WINDOWS & DOOR @ KITCHEN EAST WALL

<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date:</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td><input type="checkbox"/></td><td></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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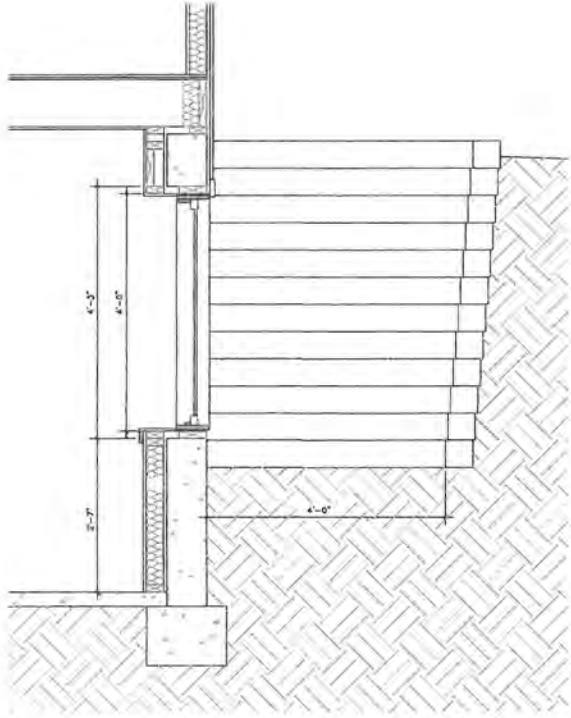
ARC CENTRAL LLC  
 ARCHITECTURE CONSTRUCTION  
 MANAGEMENT INTERIOR DESIGN  
 710.572.2888  
 arccentralllc@gmail.com

EXISTING & NEW  
 BASEMENT  
 PLAN

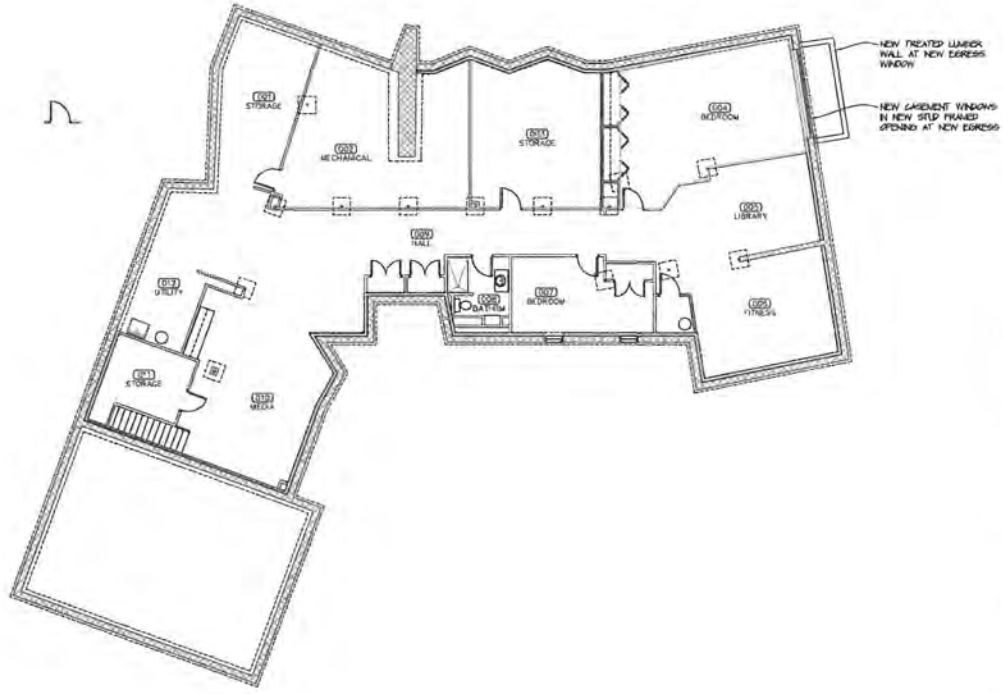
RESIDENTIAL ALTERATIONS  
 FOR  
 MORGAN ALLEN  
 9400 N LAKE DRIVE  
 BAYSIDE WI 53217

DATE	REVISIONS
SEP 21 23	DATE
23	PROJECT NO.
23	23

A100



1  
A100  
EXISTING BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"

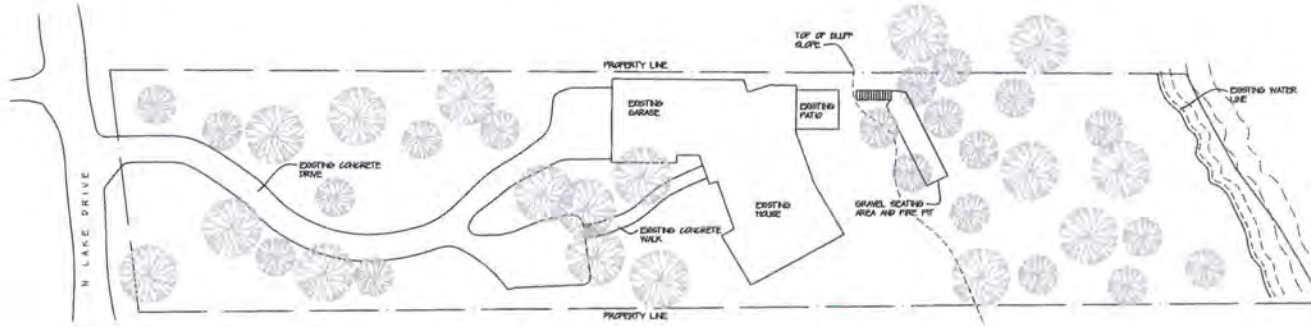


1  
A100  
EXISTING BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"



NEW STD FRAMED WALL
EXISTING WALL TO REMAIN
FRAMING TO BE DEMOLISHED

Residential Alterations for  
**Morgan Allen**  
 9600 N Lake Drive, Bayside WI 53217



1 SITE PLAN  
 T100 SCALE: 1" = 30'-0"

SHEET NOTES

ALL LUMBER USED SHALL BE NEW SPF #2 OR BETTER WITH STRUCTURAL PROPERTIES AS SPECIFIED IN THE NATIONAL DESIGN STANDARDS FOR WOOD CONSTRUCTION.  
 ALL LUMBER USED THAT IS EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, MASONRY OR CONCRETE, SHALL BE PRESURE PRESERVATIVE TREATED.  
 ANY AND ALL REFERENCE TO STUD FRAMED WALLS OR PARTITIONS ON THIS DRAWING NOT REFERRED TO STUD SPACED 16" ON CENTER WITH THE STUDS OR BEATING FASTENED TO THE SHORT SIDES OF THE STUDS.



DRAWING INDEX	
COVER SHEET	
T100	TITLE SHEET and SITE PLAN
ARCHITECTURAL	
A100	BASEMENT ALTERATION PLAN
A101	FIRST FLOOR ALTERATION PLAN
A201	EXISTING & NEW ELEVATIONS
A202	EXISTING & NEW ELEVATIONS



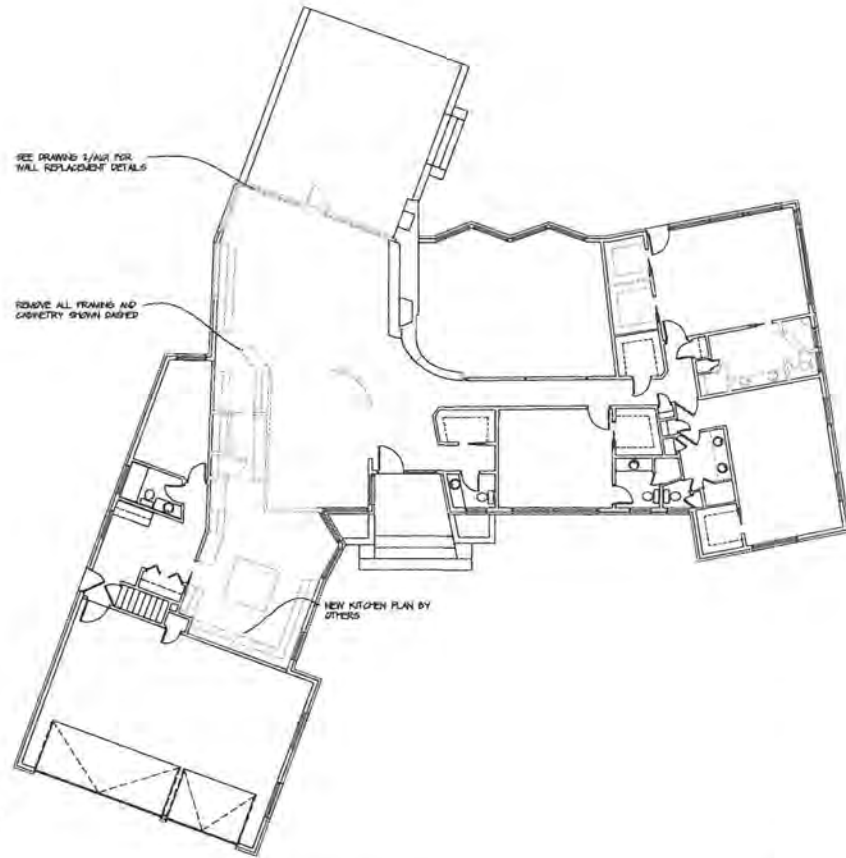
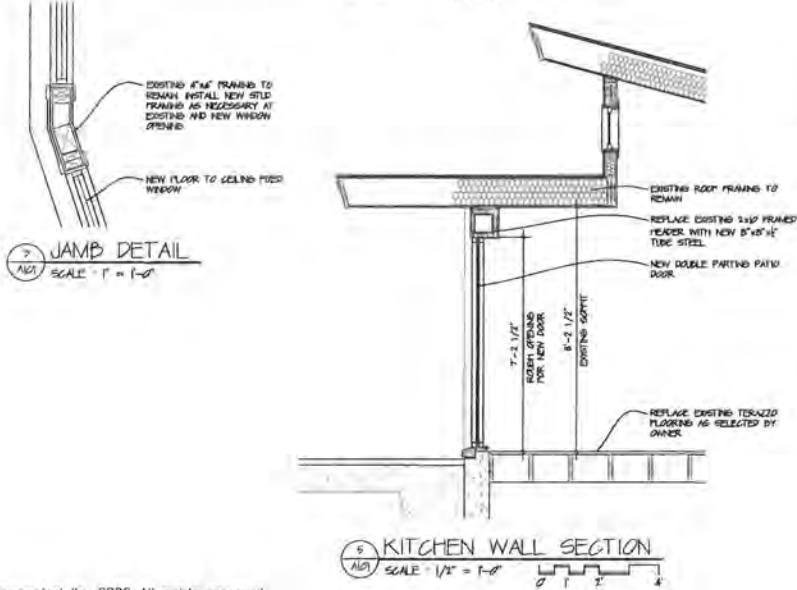
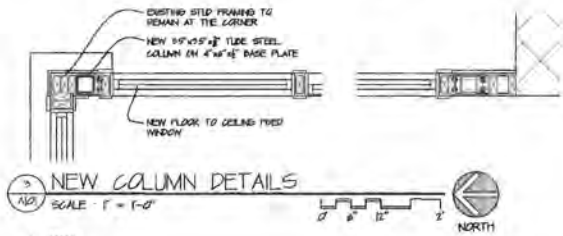
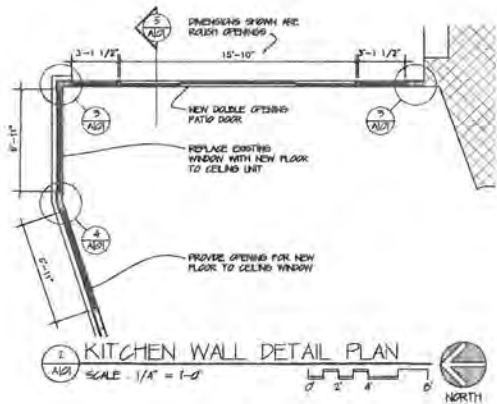
ARC CENTRAL LLC  
 ARCHITECTURE CONSTRUCTION  
 MANAGEMENT INTERIOR DESIGN  
 715 ST. JAMES  
 MILWAUKEE, WI 53233  
 www.arccentralllc.com

SITE PLAN  
 &  
 SHEET INDEX

RESIDENTIAL ALTERATIONS  
 FOR  
 MORGAN ALLEN  
 9600 N LAKE DRIVE  
 BAYSIDE WI 53217

REVISONS	DATE	DATE	DATE
Pre/In	09/23/23		
Con. Pack			
Approv. 1			
Rev. 1			
DATE	SEP 21, 23		
PROJECT NO.	23 048		

T100



NEW STD FRAMED WALL
EXISTING WALL TO REMAIN
FRAMING TO BE REINCLUDED



ARC CENTRAL LLC  
 ARCHITECTURE CONSTRUCTION  
 MANAGEMENT INTERIOR DESIGN  
 715.272.2988  
 arccentralllc@outlook.com

FIRST FLOOR  
 ALTERATION PLAN

RESIDENTIAL ALTERATIONS  
 FOR  
 MORGAN ALLEN  
 9400 N LAKE DRIVE  
 DAYSIDE WI 53217

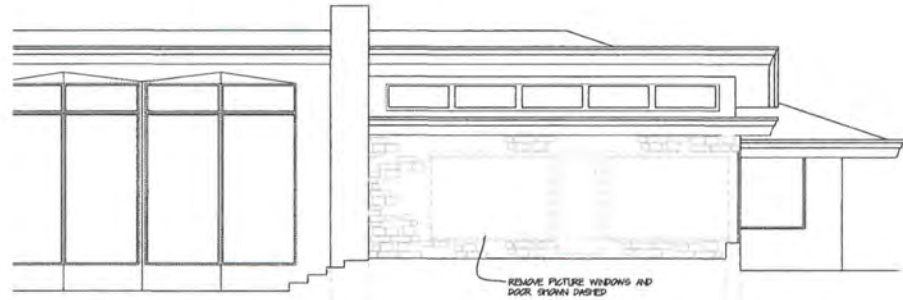
REVISIONS	DATE	DATE
FILED IN	DATE	DATE
PAGES	REV. 1	REV. 1
DATE	DATE	DATE
PROJECT NO.	PROJECT NO.	PROJECT NO.
13 0889	13 0889	13 0889

A101



WINDOWS AND DOOR TO BE REMOVED

3 EXISTING PATIO AREA  
A201



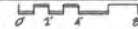
1 EXISTING BUILDING ELEVATION, east

A201 SCALE : 1/4" = 1'-0"



2 NEW BUILDING ELEVATION, east

A201 SCALE : 1/4" = 1'-0"

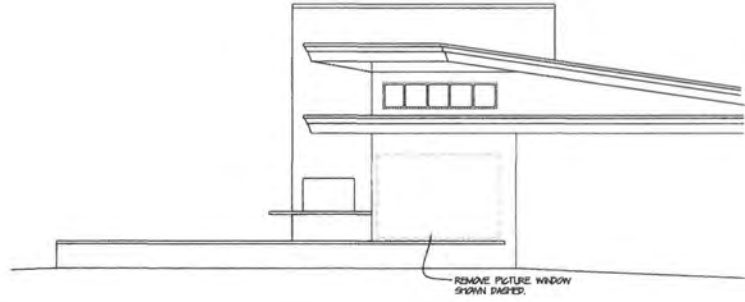


REVISIONS	
STEP	DATE
Prelim	SEP 21, 23
Con Docs	SEP 21, 23
Approval	SEP 21, 23
Rev. 1	SEP 21, 23
DATE	SEP 21, 23
PROJECT NO.	23 08B

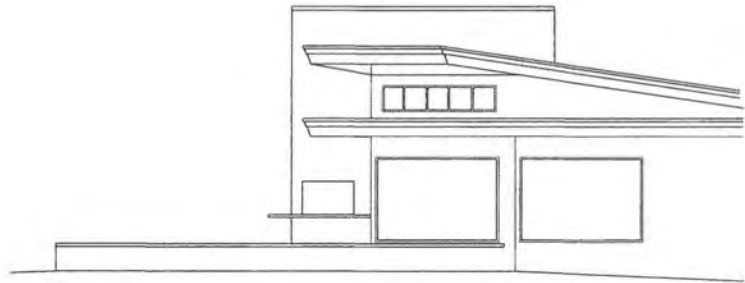




1  
A202 EXISTING NORTH WALL



1 EXISTING BUILDING ELEVATION, north  
SCALE: 1/4" = 1'-0"



2 NEW BUILDING ELEVATION, north  
SCALE: 1/4" = 1'-0"



REVISIONS	
NO.	DATE
Prelim	DATE
Con Docs	DATE
Approval	DATE
Rev. 1	DATE
SEP 21, 23	DATE
PROJECT NO	23 068

10/05/2023

Attention:  
Village of Bayside, WI  
Architecture Review Committee

<p>PROJECT/SITE OWNER: Becky Frankiewicz</p> <p>PROJECT ADDRESS: 1450 E Fairy Chasm</p>	<p>PROJECT SUMMARY:</p> <p>Changing windows, siding, and a new front porch addition</p>
---	---

I have reviewed the proposed window, siding change with the addition of a new front porch for compliance with the Village's ordinances and have determined the following for consideration.

1. There was no specific window cut sheet details submitted, you will need to refer to the window schedule on the plans.
2. The front porch addition is listed as an alternative on the plans, but the contractor stated that they are going ahead with that addition.

104-2(a)(2) Architectural Review Committee: *Construction and renovation should be made so that exterior architectural appearance shall be substantially consistent with structures already constructed in the immediate neighborhood, or with the character of the applicable district.*

**VILLAGE CODE REVIEW**

See comments is red  
This is just for ARC review and not for permitting

Dave Hendrix  
SAFEbuilt  
Wisconsin Operations Manager

# Project Proposal

Date \_\_\_\_\_

Property Address 1450 E. Fairy Chasm Road

Zoning District "A" Residence District

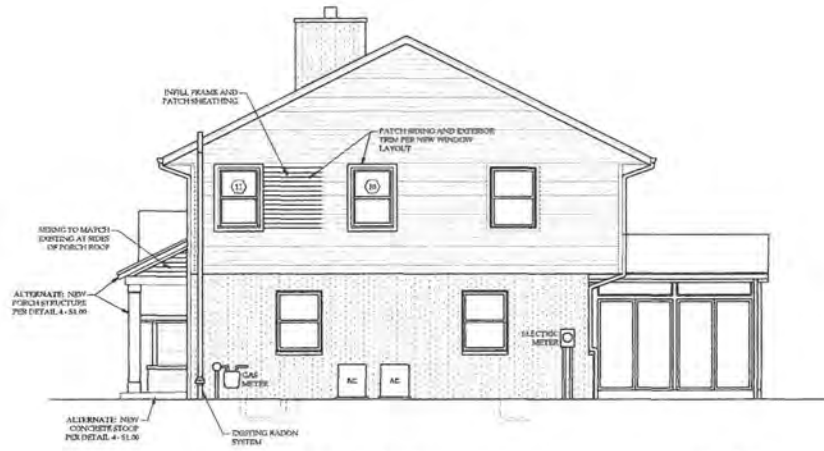
Proposed Project Details (type of work, size, materials, location, etc.):

Replacement of multiple windows. Siding to be painted or replaced. ~~Possible~~ front porch addition.  
*↳ on existing concrete*

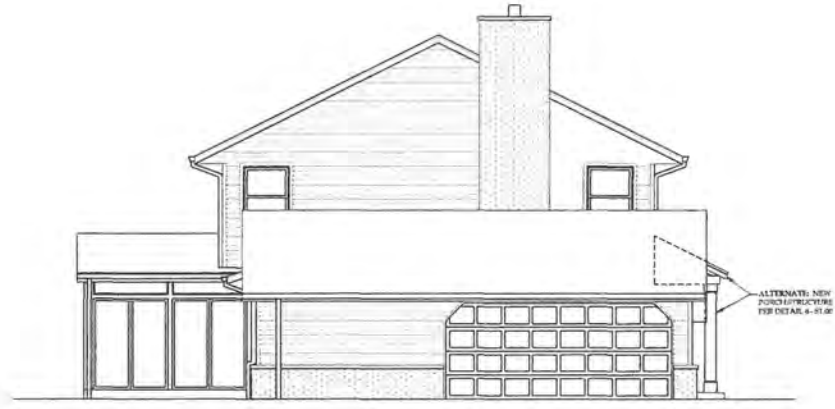
<ul style="list-style-type: none"> <li><input type="checkbox"/> ARC Agenda Date: 10/16/2023</li> <li><input type="checkbox"/> Parcel Number: 020-0129-000</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Building</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Electrical</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Plumbing</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>HVAC</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Fill</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Impervious Surface</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Dumpster</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>ROW/Excavation</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Conditional Use</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Occupancy</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Special Exception/Variance</td> </tr> <tr> <td></td> <td><input type="checkbox"/></td> <td></td> <td>ARC</td> </tr> </tbody> </table>	Y	N	Payment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance		<input type="checkbox"/>		ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input type="checkbox"/> Other</li> </ul>
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	<input type="checkbox"/>		ARC																																																		







1 EAST EXTERIOR ELEVATION  $\frac{1}{4}'' = 1'-0''$   
 SCALE



2 WEST EXTERIOR ELEVATION  $\frac{1}{4}'' = 1'-0''$   
 SCALE

**FBR**

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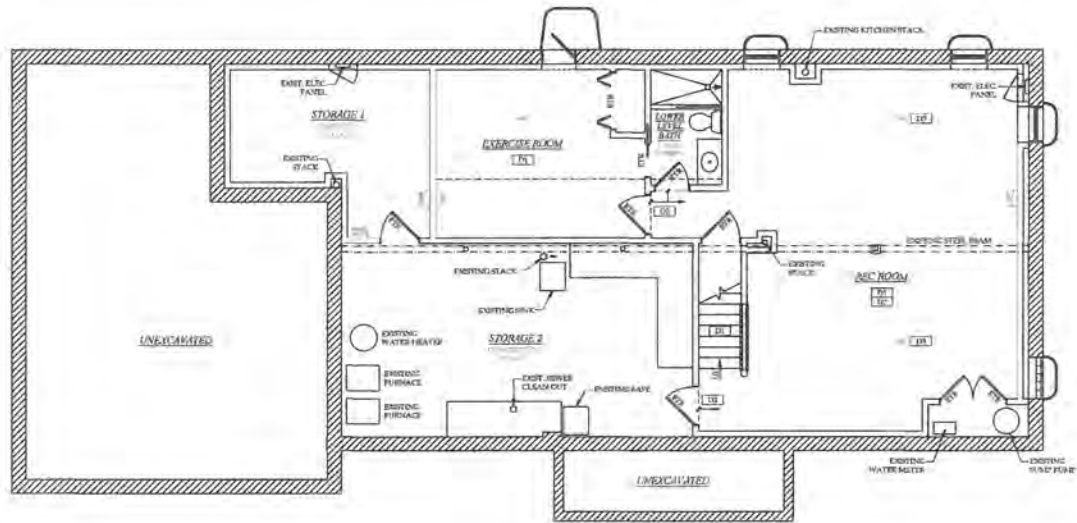
**FBR Residence**  
 1450 E. Fairy Chasm Road  
 Bayside, WI 53217

ARC REVIEW SET  
 10/02/2023

**RUVIN BROS.**  
 3111 W. Mill Road  
 Milwaukee, WI 53209  
 (414) 354-4220  
 (414) 354-5345 FAX  
 www.RuvinBros.com



**A2.01**



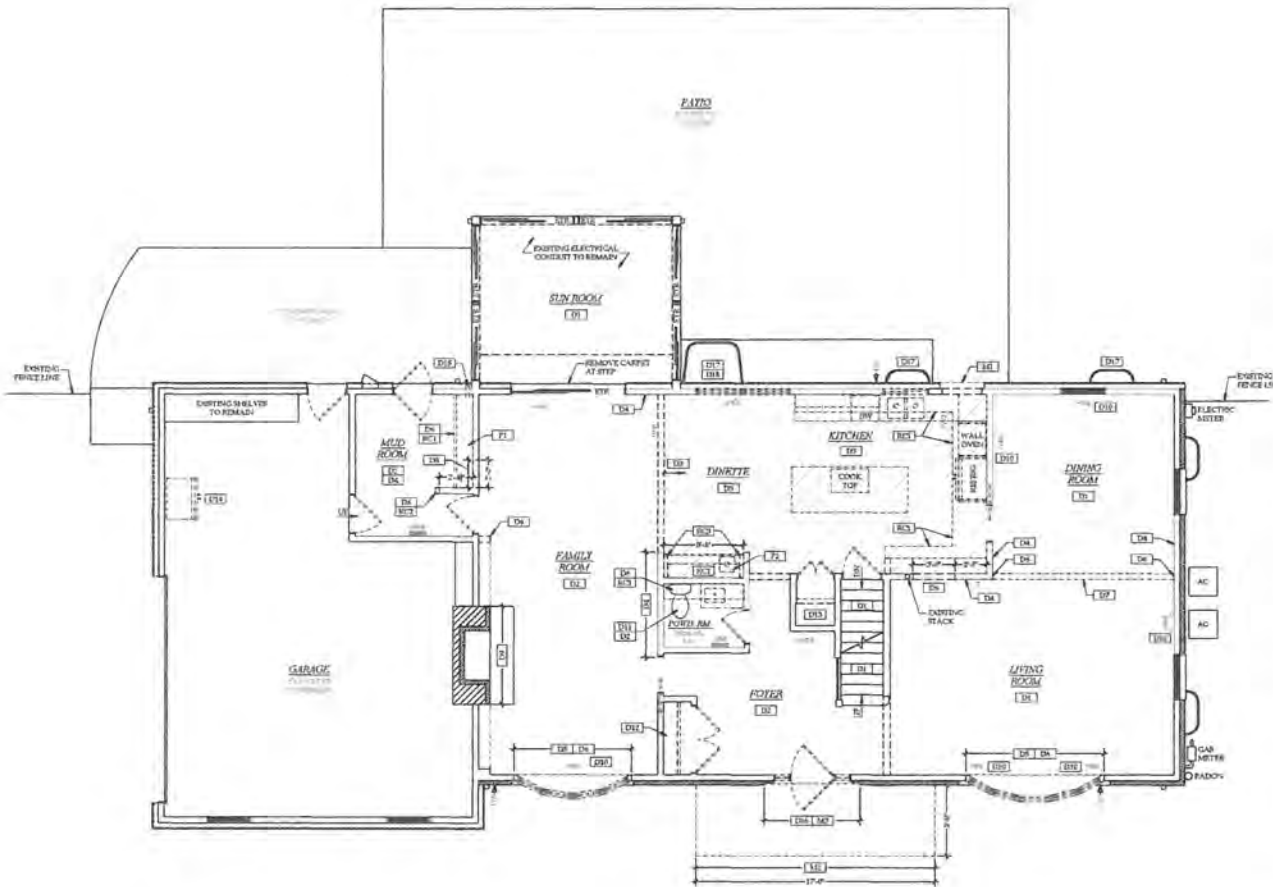
**DEMOLITION NOTES - LOWER LEVEL**  
**NOTED NOTE:**  
 D1 REMOVE CARPET, PAD, TACKERS, AND UNDERLAYMENT TO FINISH FLOOR.  
 D2 REMOVE SUSPENDED CEILING TILES AND METAL GRID SYSTEM.  
 D4 REMOVE AND SAVE HVAC CEILING GRILLS FOR REINSTALL.

1 LOWER LEVEL DEMOLITION PLAN  
 D1.00 REMODELED AREA: 300 SF

3/4" = 1'-0"



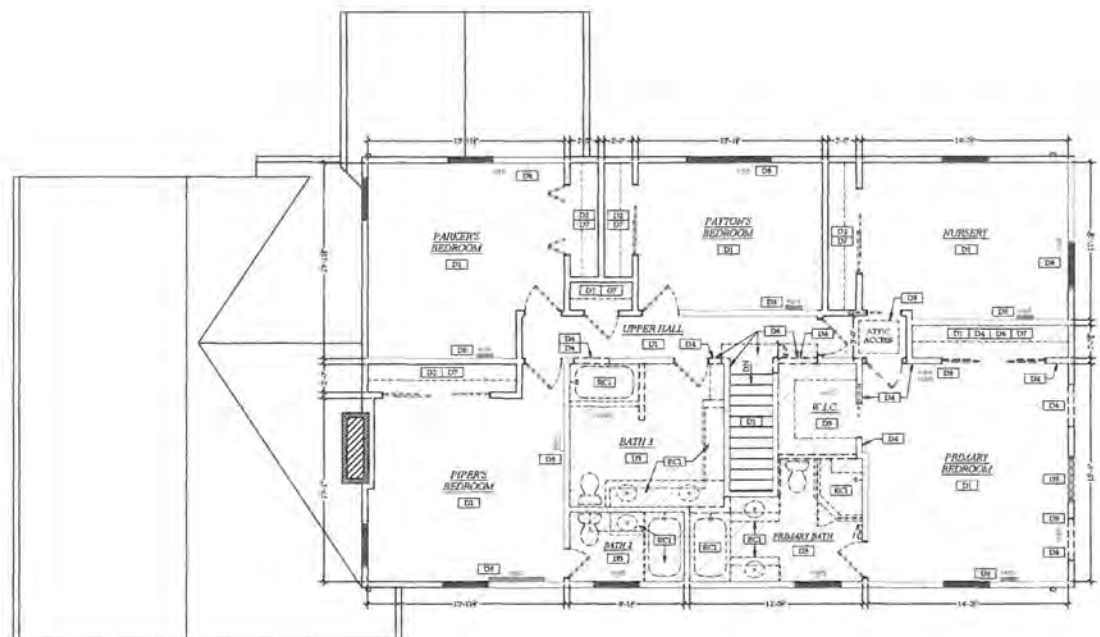
PLAN  
 NORTH



- DEMOLITION NOTES - FIRST FLOOR**
- GENERAL NOTES**
- 1. DEMOLITION CONTRACTOR TO REMOVE ALL INTERIOR DOORS INCLUDING HAMB AND CASING UNLESS NOTED OTHERWISE.
  - 2. PLUMBING CONTRACTOR TO DISCONNECT PLUMBING REQUIR'D TO BE IDENTIFIED PER PLAN. FUTURE REMOVAL BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE.
  - 3. ROUGH CARPENTRY IS TO REMOVE/REIFY ALL EXISTING STEP FRAMING AS REQUIRED FOR NEW CONSTRUCTION PER PLAN.
  - 4. SIDING CONTRACTOR:
    - ALTERNATE: REMOVE AND EXPOSE EXISTING SIDING AND BUTTERS FOR NEW SIDING FOR EXTERIOR MATERIALS TO BE I.D.
    - SAVE EXISTING DOWNPOUTS FOR REINSTALL.
- DETAILED NOTES**
- D01 - REMOVE CARPET, PAD, BACKING, AND UNDERLAMENT TO SUB FLOOR.
  - D02 - REMOVE LVT AND UNDERLAMENT TO FIN FLOOR.
  - D03 - REMOVE ALL FINISHES AND TRIM TO SUB FLOOR AND FINISH WALL, FRAMING, REMOVE CRT WALL AND INSULATION AT WALLS AND CEILING.
  - D04 - REMOVE SHANKERS TO SUBSTRATE.
  - D05 - REMOVE CASING AND WOOD SILL.
  - D06 - REMOVE DR WALL AS REQUIRED FOR NEW OR EXISTING FRAMING.
  - D07 - REMOVE DR WALL AT BOTTOM AND SIDE OF PERIMETRAL SLOTT.
  - D08 - REMOVE DR WALL TO 4" A.F.F.
  - D09 - REMOVE DR WALL AS REQUIRED AT TOP OF DR WALL. PLAN ABOVE BRICK IS CONTINUED AS BRICK DR WALL.
  - D10 - REMOVE AND SAVE HVAC BASE GRILL FOR REINSTALL.
  - D11 - REMOVE AND SAVE PLUMBING FIXTURES, VANITY CABINET, COUNTERTOP, AND BATH ACCESSORIES FOR REINSTALL.
  - D12 - REMOVE AND DISPOSE BELT DR. REMOVE BROOM HOSES AND GIVE TO GC FOR REUSE. EXISTING HANGING BUD WALL, CEILING, AND REFRIG JACKETS TO REMAIN.
  - D13 - REMOVE SHED SYSTEM.
  - D14 - REMOVE AND DISPOSE REFRIGERATOR AT GARAGE.
  - D15 - REMOVE DRIVE FRONT PER PLAN EXTERIOR REFRIG.
  - D16 - COMPLETELY REMOVE WINDOW ENTRY IN BRICK DR WALL. FUTURE REUSE CALLS AS PER PLAN ABOVE. MANUALLY OPENING TO REMAIN.
  - D17 - REMOVE WINDOW WELL COVER.
  - D18 - REMOVE FLYING STEP AT TOP OF WINDOW WELL.
  - D19 - REMOVE SLOTT FRAMING.
  - D20 - MODIFY FRAMING TO CUT BACK WALL FOR NEW CLERESTORY CONSTRUCTION PER PLAN.
  - D21 - REMOVE DRIFT FRAMING TO WINDOW ENTRY PER PLAN.
  - D22 - MODIFY EXISTING BRICK DR WALL COLLAR FOR NEW DOOR PER CONSTRUCTION PLAN.
  - D23 - ALTERNATE: REMOVE EXISTING ROOF SLAB. PLAN ABOVE. EXISTING ROOF FOUNDATION TO REMAIN.
  - D24 - ALTERNATE: REMOVE EXISTING ROOF SLAB.
  - D25 - DISCONNECT AND REMOVE LATEST WATER AND GAS HOUSES AND MANHOLES AND EXISTING DRAINAGE.
  - D26 - DISCONNECT AND REMOVE WATER AND DRAIN LINES.

1 FIRST FLOOR DEMOLITION PLAN  
D1.01 REMOVED AREA: 1,301 SF  
SCALE 1/4" = 1'-0"  
PLAN NORTH





**DEMOLITION NOTES - SECOND FLOOR**

**GENERAL NOTES**

- DEMOLITION CONTRACTOR TO REMOVE ALL INTERIOR DOORS INCLUDING LAMB AND CASING UNLESS NOTED OTHERWISE.
- PLUMBING CONTRACTOR TO DISCONNECT PLUMBING REFERRED TO BY REDUCED FLOOR PLAN. REMOVE REMOVAL BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE.
- ROUGH CARPENTER IS TO REMOVE/ACCEPT ALL EXISTING LITTED FRAMING AS REQUIRED FOR NEW CEILING SECTION PER PLAN.
- ROOFING CONTRACTOR - ALTERNATELY REMOVE AND DISPOSE EXISTING SIDING AND SHEET-PILING PER NEW SIDING PER EXISTING MATERIALS SCHEDULE. SAVE EXISTING DOWNSPOUTS FOR REINSTALL.

**ADDED NOTES**

- D1 - REMOVE CARPET, PAD, TACK FREE, AND UNDERLAYMENT TO SUB FLOOR.
- D2 - REMOVE FINE MOLDING AND HARDWOOD FLOOR TO SUB FLOOR.
- D3 - REMOVE ALL FIXTURES AND FINISHES TO SUB FLOOR AND FRESH WALL FRAMING. REMOVE EXTERIOR WALL AND INSULATION AT WALLS AND CEILING.
- D4 - REMOVE BATHROOM TO NEAREST BRAM.
- D5 - REMOVE CEILING.
- D6 - REMOVE EXTERIOR WALL AS REQUIRED FOR NEW CREWMOUNT FRAMING.
- D7 - COMPLETELY REMOVE EXISTING CLINET SYSTEM.
- D8 - REMOVE AND SAVE HVAC BASE GRILL FOR REINSTALL.
- D9 - REMOVE ATTIC SCUTTLE AND DRYWALL AT BOSS OF OPENING.
- D10 - REMOVE SMOKE TRANSOM.

1 SECOND FLOOR DEMOLITION PLAN  $\frac{1}{4}'' = 1'-0''$   
 D1.02 REMODELED AREA: 1,331 SF SCALE: PLAN NORTH SOUTH

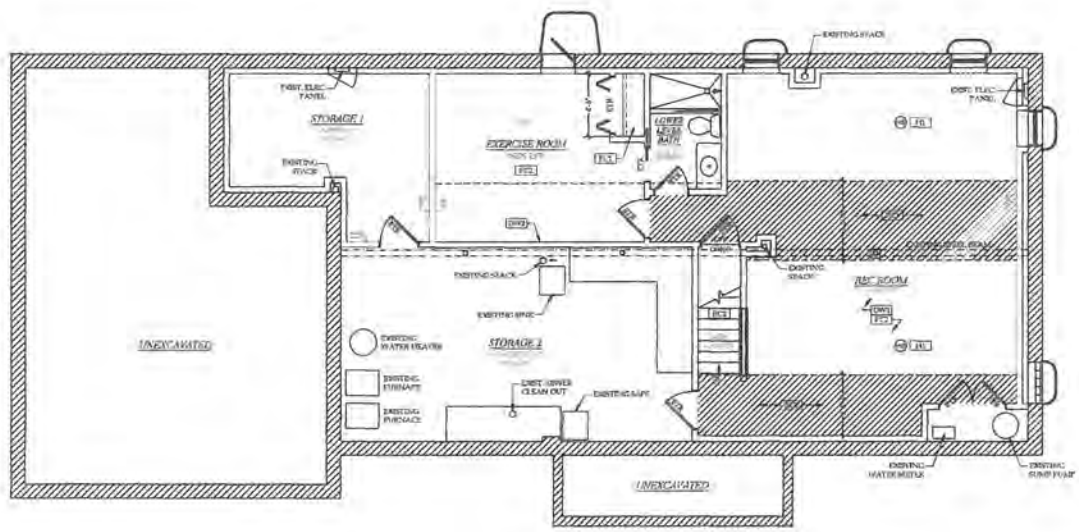
**FBR Residence**  
 1450 E. Fairy Chasm Road  
 Bayside, WI 53217

ARC REVIEW SET  
 1002/2023

**RUVIN BROS.**  
 3111 W. Hill Road  
 Milwaukee, WI 53209  
 (414) 354-4220  
 (414) 354-3185 FAX  
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**A1.00**



**CONSTRUCTION NOTES - LOWER LEVEL**

**GENERAL NOTES**

- ALL EXTERIOR DOOR/SWITCHES ARE TO THE FACE OF FINISHING CLS/A
- ALL INTERIOR DOOR/SWITCHES ARE TO THE FACE OF THE WALL UNLESS NOTED OTHERWISE
- ALL INTERIOR WALLS TO BE 5/8" GYPSUM BOARD ON STUDS
- ALL INTERIOR WALLS TO BE 1/2" GYPSUM BOARD ON STUDS

**WALL NOTES**

- W1 - FRAME NEW CEILING/WALL FIELD FRAMING TIGHT TO EXISTING FINISHES/CEILING AND STRUCTURAL STEEL
- W2 - RECONSTRUCT WALLS FROM BELOW TO ELEMENTS NOTED
- W3 - NEW DRYWALL CEILING THROUGHOUT EXISTING
- W4 - PATCH DRYWALL AT RELOCATED VENTS
- W5 - REPAIR ALL EXISTING WALLS/CEILING DURING FRAMEUP/CONSTRUCTION
- W6 - INSTALL ON NEW SHELVES AND HANGING RODS FOR BELLWORK
- W7 - REPAIR/REMOVE SPOULDS AT ALL
- W8 - INSTALL 2" X 4" SIPS FOR ALL NEW WALLS/ROCKWOOL BATT INSULATION 1" MINIMUM

**1 LOWER LEVEL CONSTRUCTION PLAN**       $\frac{3}{4}" = 1'-0"$

A1.00 REMODELED AREA: 320 SF      SCALE:

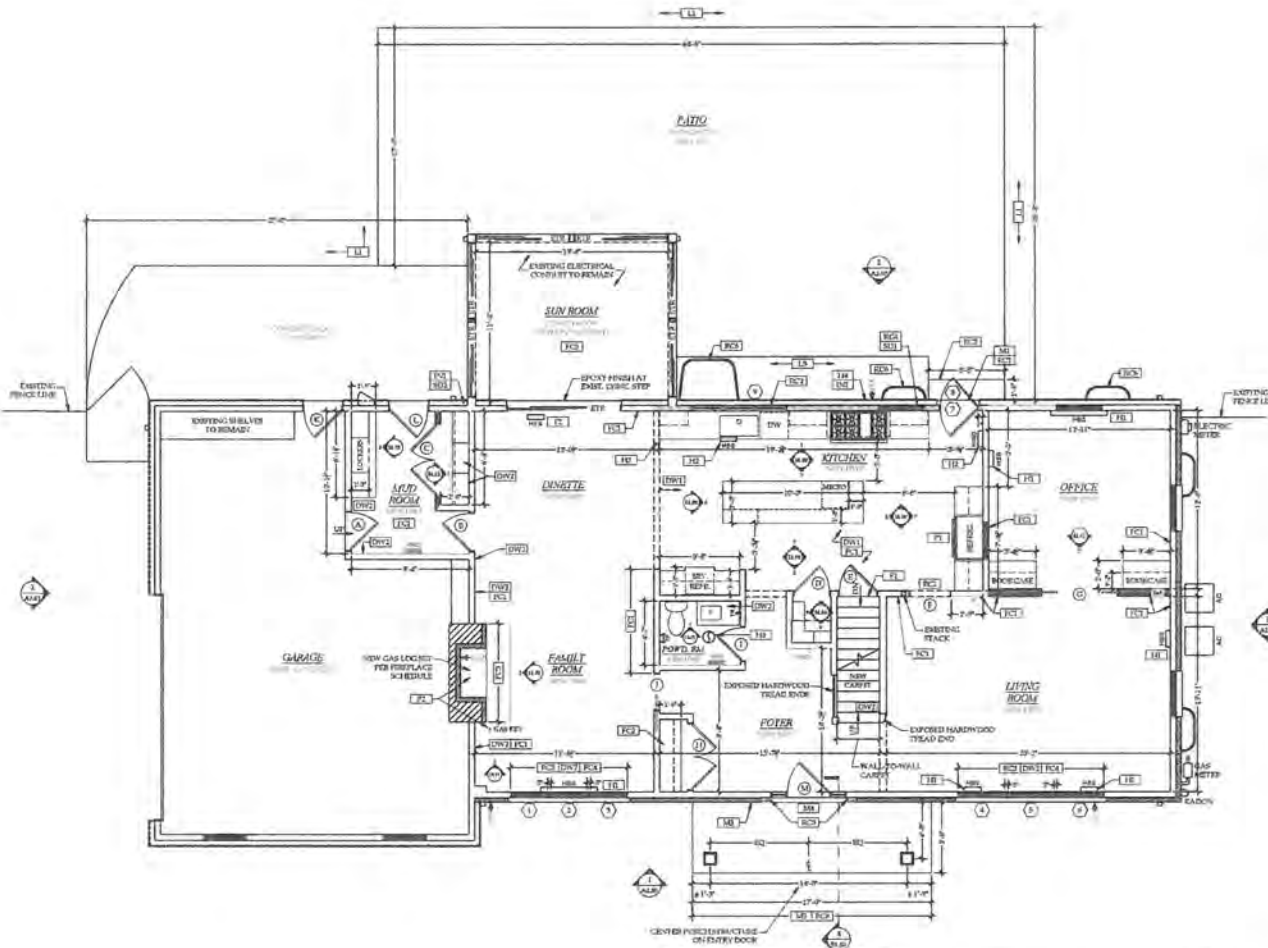
PLAN      VIEW

**BATH HARDWARE KEY**

- 1/2" RADIUS CABINETRY IS TO INSTALL PLACED AS SHOWN FOR ALL ANTI-THEFT HARDWARE PER PLAN.

1/2" R	TOWEL BAR
1/2" R	VANITY TOWEL BAR
1/2" R	TOILET PAPER HOLDER
1/2" R	TOWEL RING
1/2" R	SEMI TUB

- CONSTRUCTION NOTES - FIRST FLOOR**
- GENERAL NOTES**
- ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF 3/4" BATH RING.
  - ALL INTERIOR FINISHES ARE TO THE FACE OF EXISTING WALLS UNLESS NOTED OTHERWISE TO DOORS AND WINDOWS ARE TO ROSE OF FLOOR FINISH UNLESS NOTED OTHERWISE.
  - ALL INTERIOR WALLS TO BE SHUTTER FRAMED 1/2" G.
  - INSULATION CONTRACTOR:
    - INSTALL THERMAL INSULATION AND REPLACE VAPOR BARRIER AS REQUIRED BY WALLS OF FINISHED AREA.
  - WOOD CABINETRY:
    - INSTALL NEW CABINETS AT NEW DOORS AND WINDOWS.
    - DETAIL NEW HARDWARE PER PLAN.
    - INSTALL NEW BATH RINGS TO BE SHUTTER FRAMED 1/2" G.
  - SIDING CONTRACTOR:
    - ALTERNATE: INSTALL NEW SIDING PER EXTERIOR MATERIALS SCHEDULE. REPAIR ALL EXISTING DOWNPOUTS (MAINTAINED) DOWNSPOUTS.
  - ALTERNATE: SIDING CONTRACTOR TO INSTALL NEW GUTTER COVER AS SPEC.
- NOTES**
- IN - INSULATE WOODS CRETE VENT IS REMOVED AND DOWNDRAFT DUCT IS CAPPED.
  - WC1 - FRAME NEW WOOD OPERABLE PER WINDOW OR DOOR SCHEDULE.
  - WC2 - VERIFY POSTING BECAUSE OF WINDOW OR DOOR SCHEDULE. IDENTIFY PER WINDOW SCHEDULE.
  - WC3 - VERIFY EXISTING BECAUSE OF WINDOW OR DOOR SCHEDULE. IDENTIFY PER WINDOW SCHEDULE. INSTALL ONLY SHUTTER BETWEEN NEW WOOD OPERABLE.
  - WC4 - HOLLOW FRAME WALL AND PARTS TO BE BATHING WOODS WOOD IS REMOVED.
  - WC5 - INSTALL EXISTING TRIM AROUND AT NEW ENTRY DOOR WHITE PLANKING PLASTER FOR DETAILS 1 AND 3, 5, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



**1 FIRST FLOOR CONSTRUCTION PLAN**  
REMODELED AREA: 1,501 SF  
SCALE: 1/4" = 1'-0"  
PLAN NORTH

**BATH HARDWARE KEY**

- ROUGH CARPENTER IS TO INSTALL BLINDS/STAY AS NOTED FOR ALL BATH HARDWARE FOR PLAN.

1/2" R	TUB/SH. RAB
1/2" R	VANITY TUB/SH. RAB
1/2" R	TOLFT PAPER HOLDER
1/2" R	TUB/SH. RAB
1/2" R	ROSE HOOK

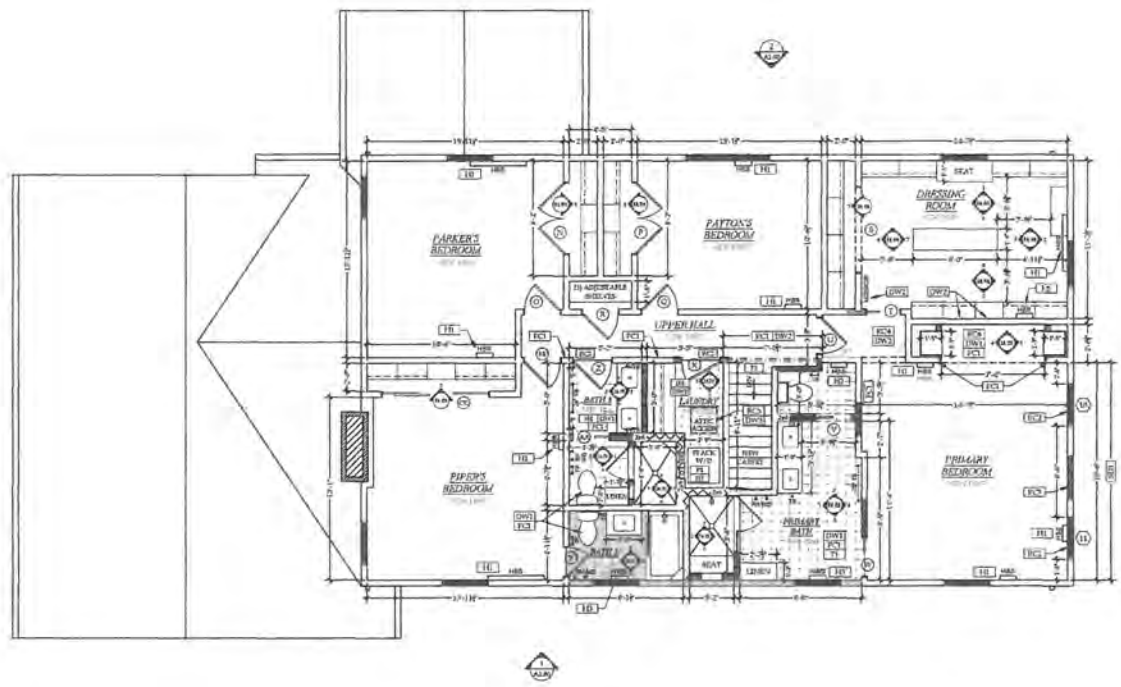
**CONSTRUCTION NOTES - SECOND FLOOR**

**GENERAL NOTES**

- ALL EXTERIOR DOOR/SWING ARE TO THE FACE OF WEATHERING UNIT
- ALL INTERIOR DOOR/SWING ARE TO THE FACE OF DRYWALL UNLESS NOTED OTHERWISE
- FINISHING TO ROOM/AREA WINDOW CASE TO FACE OF ROUGH OPENING UNLESS NOTED OTHERWISE
- ALL INTERIOR WALLS TO BE 2x4 STUDS FRAMED UNLESS NOTED OTHERWISE
- ROUGH CARPENTER TO INSTALL BLOCKING FOR ALL BATH ACCESSORIES AND SHOWER GLASS PER PLAN ELEVATIONS
- INSULATION CONFORMANCE:
  - INSTALL THERMAL INSULATION AND REPLACE VAPOR BARRIER AS REQUIRED AT CEILING AND WALLS OF FINISHED AREAS
  - INSTALL NEW SOUND INSULATION PER PLAN
- FINISH CARPENTER:
  - INSTALL FINISH CASING AT NEW DOORS AND WINDOWS
  - INSTALL NEW BASKETS PER PLAN
  - INSTALL NEW BATH HOLDING TUBS/SHOOTS IN THE SECOND FLOOR
- ALTERNATE: INSTALL NEW FINISH FLOOR MATERIALS SCHEDULE. REINSTALL EXISTING FLOOR/FINISHES DURING DEMOLITION.
- ALTERNATE: ROOMING CONTRACTOR TO INSTALL NEW CEILING COVER, SPEC. ....

**REMARKS**

- RE1 - REMOVE NEW FINISH CEILING MATERIAL PER DETAIL 1 IN THE ARCH
- RE2 - FRAME NEW ROUGH OPENING FOR WINDOW OR DOOR AS INDICATED
- RE3 - INSTALL FRAME WALL AND PATCH FINISHING WHERE WINDOW IS REMOVED
- RE4 - INSTALL FRAME CASING FINISH WHERE ATTACHED TO BE REMOVED
- RE5 - REMOVE EXISTING CASING FINISH TO REUSE 2x4 + 2x4 OF ROUGH OPENING FOR NEW ATTIC ACCESS PANEL
- RE6 - REMOVE NEW WALL AND TYPICAL CEILING NOT TO FACE OF EXISTING ROUGH OPENING. INSTALL BLOCKING FOR BATH ACCESSORIES. SEE DETAIL 1-1400.
- RE7 - REINSTALL EXISTING HVAC CEILING SAVED DURING DEMOLITION
- RE8 - REMOVE DUCTWORK TO RELOCATE HVAC SUPPLY. NEW METAL GRILL COVER, PREPARED BY OTHER
- RE9 - NEW METAL GRILL COVER AT POSITION LOCATED, PREPARED BY OTHER
- RE10 - REMOVE DUCTWORK TO SERVICE REWORKED BATH AND LAUNDRY ROOM. LOCATION PER DISCUSSION OF HVAC CONTRACTOR.
- RE11 - PROVIDE AND INSTALL LAUNDRY DETER. BOX, EXHAUST TO EXTERIOR.
- RE12 - PROVIDE AND INSTALL LAUNDRY WASHER BOX.
- RE13 - PATCH SIDING AND EXTERIOR TRIM PER NEW WINDOW LAYOUT
- RE14 - NEW DRYWALL AT WALLS AND CEILING
- RE15 - PATCH DRYWALL
- RE16 - PATCH AND INSTALL 2" x 2" INSULATED DRYWALL ACCESS PANEL. TEST ACCESS HOLES, LABEL, SA-100-07-22 OR EQUIV.
- RE17 - NEW BASKETS
- RE18 - ALTERNATE: INSTALL ELECTRIC HEAT MAT SYSTEM THROUGHOUT PRIMARY BATH FLOOR AND HALLWAY, WHERE BY OTHERS
- RE19 - NEW HANDHELD SHOWER PER FLOORING SCHEDULE.



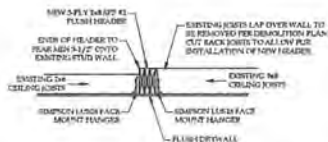
**1 SECOND FLOOR CONSTRUCTION PLAN**  $\frac{3}{8}'' = 1'-0''$

A1.02 REMEMBRED AREA: 1,353 SF

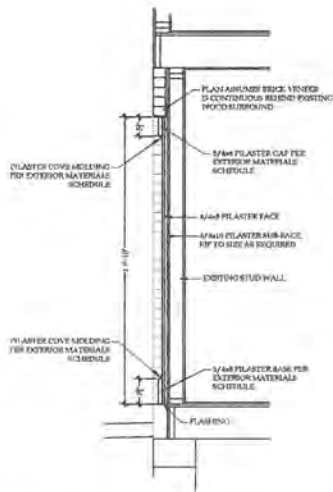
SCALE

PLAN

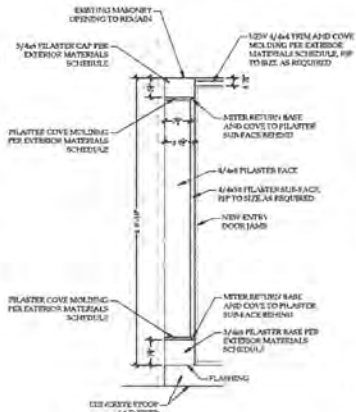
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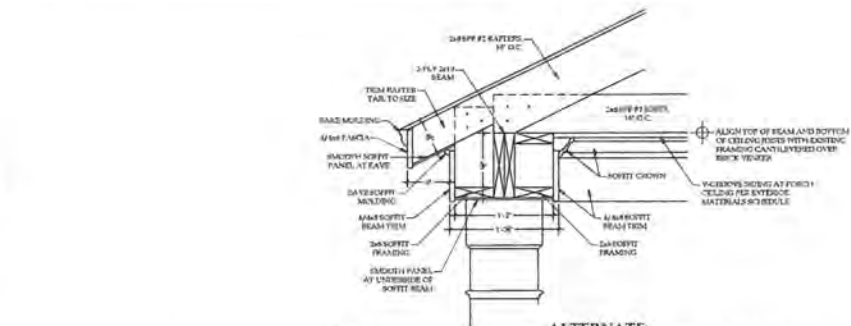
1 FLUSH STRUCTURAL HEADER  
 AT UPPER HALL CEILING  $\frac{3}{4}'' = 1'-0''$



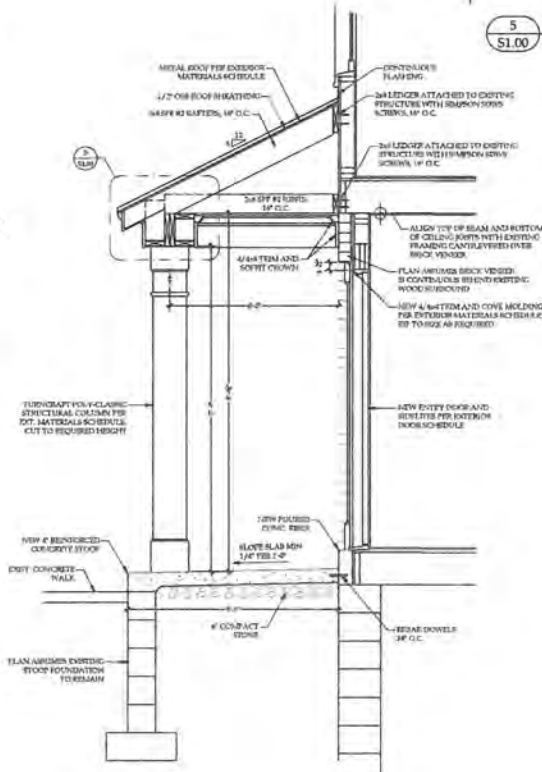
2 PILASTER SECTION DETAIL  
 AT FRONT ENTRY DOOR  $\frac{3}{4}'' = 1'-0''$



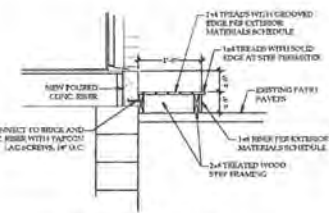
3 PILASTER ELEVATION DETAIL  
 AT FRONT ENTRY DOOR  $\frac{3}{4}'' = 1'-0''$



5 ALTERNATE FRONT PORCH SOFFIT DETAIL  
 AT FRONT EAVE  $1\frac{1}{2}'' = 1'-0''$



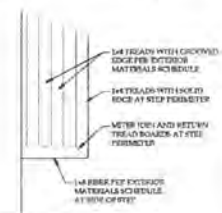
4 ALTERNATE FRONT PORCH SECTION DETAIL  
 AT FRONT PORCH  $\frac{3}{4}'' = 1'-0''$



6 PATIO STEP DETAIL  
 AT KITCHEN DOOR  $\frac{3}{4}'' = 1'-0''$

**STEP NOTES**

- COMPOSITE FIBER AS IS TYPICAL FOR EXTERIOR MATERIALS SCHEDULE
- USE COMPOSITE FIBER FOR ALL TYPICAL STEP CONSTRUCTION



7 PATIO STEP PLAN DETAIL  
 AT KITCHEN DOOR  $\frac{3}{4}'' = 1'-0''$

**FBR**

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**FBR Residence**  
 1450 E. Fairy Chasm Road  
 Bayside, WI 53217

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 18023823

**RUVIN BROS.**  
 3111 W. Mill Road  
 Milwaukee, WI 53209  
 (414) 354-4220  
 (414) 354-3345 FAX  
 www.RuvinBros.com



**S1.00**





SOUTH & WEST ELEVATIONS



SOUTH ELEVATION



EAST & SOUTH ELEVATIONS



3111 W MILL ROAD  
MILWAUKEE, WI 53209  
(414) 354-4220 OFFICE  
(414) 354-5385 FAX  
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NORTH & EAST ELEVATIONS



WEST & NORTH ELEVATIONS



NORTH ELEVATIONS



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Pac-Clad  
Standing Seam  
Metal Roof in standard  
finish to approximate  
existing asphalt roof



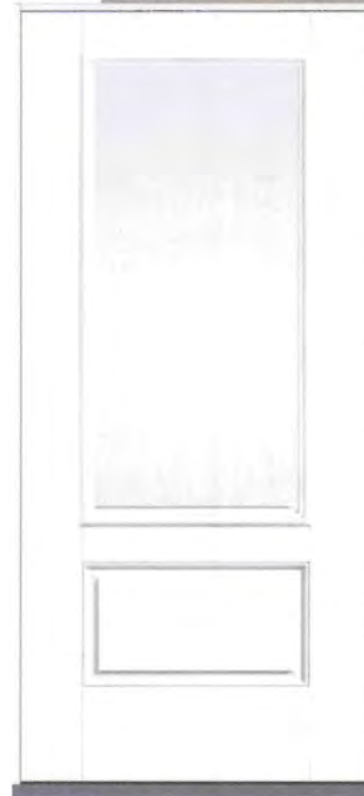
James Hardie Plank Lap Siding  
in Cobble Stone with James  
Hardie Arctic White Trim



Existing Brick to Remain



Turncraft Poly-Classic  
FRP Square Column with  
Craftsman Cap & Base



ThermaTru Smooth Star  
3/4 Lite 1 Panel Door  
with Clear Low-E Glass  
(2) Side Lites to Match



3111 W MILL ROAD  
MILWAUKEE, WI 53209  
(414) 354-4220 OFFICE  
(414) 354-5385 FAX  
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# Project Proposal

Date 8/28/2023

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Property Address 600 Block of West Glencoe Place

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Zoning District APPROVED PUD

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Proposed Project Details (type of work, size, materials, location, etc.):

The One North Masterplan is an approved Planned Unit Development district within the Village of Bayside. Located northwest of the Brown Deer Road and N Port Washington Road intersection, it is an active mixed-used community destination. Permitted uses within the PUD district are commercial retail, fitness, professional services, general office, medical office, parks & public recreation, restaurants, multifamily and senior residential apartments, town homes, and/or condos, and civic and/or library spaces. As part of the PUD plan, the goal is to have a comprehensive signage design guidelines for all Buildings and Tenants to follow to ensure a high quality community with clear way finding and design. Provided as part of this submittal are the Building Signage Standards as well as the proposed Masterplan Site Monument Sign Designs.

<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> ARC Agenda Date: 09/11/23</li> <li><input type="checkbox"/> Parcel Number:</li> <li><input type="checkbox"/> Color photographs showing project location, elevations, and surround views.</li> <li><input type="checkbox"/> Complete digital set of building plans (including elevations and grading).</li> <li><input type="checkbox"/> Samples or brochures showing materials, colors, and designs.</li> <li><input type="checkbox"/> Survey or Milwaukee County Land Information Officer Aerial</li> </ul> <p>PERMITS:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Y</th> <th style="text-align: left;">N</th> <th style="text-align: left;">Payment</th> <th></th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Building</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Electrical</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Plumbing</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>HVAC</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Fill</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Impervious Surface</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Dumpster</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>ROW/Excavation</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Conditional Use</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Occupancy</td></tr> <tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td>Special Exception/Variance</td></tr> <tr><td></td><td></td><td><input type="checkbox"/></td><td>ARC</td></tr> </tbody> </table>	Y	N	Payment		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROW/Excavation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conditional Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupancy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special Exception/Variance			<input type="checkbox"/>	ARC	<ul style="list-style-type: none"> <li><input type="checkbox"/> Accessory Structures/Generators</li> <li><input type="checkbox"/> Additions/Remodel</li> <li><input type="checkbox"/> Commercial Signage</li> <li><input type="checkbox"/> Decks/Patios</li> <li><input type="checkbox"/> Fence</li> <li><input type="checkbox"/> Fire Pits</li> <li><input type="checkbox"/> Landscaping requiring Impervious Surface/Fill/Excavation Permit</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Play Structures</li> <li><input type="checkbox"/> Recreational Facilities/Courts</li> <li><input type="checkbox"/> Roofs</li> <li><input type="checkbox"/> Solar Panels/Skylights</li> <li><input type="checkbox"/> Swimming Pools</li> <li><input type="checkbox"/> Windows/Doors – change exceeds 25% of opening</li> <li><input checked="" type="checkbox"/> Other</li> </ul> <p style="font-size: small; margin-top: 10px;"> <small>MASTERPLAN PUD - SIGNAGE              - BUILDING SIGNAGE GUIDELINES              (*NOTE INDIVIDUAL BUILDING SIGNAGE LOCATIONS WILL BE SUBMITTED IN EACH INDIVIDUAL BUILDING SUBMISSION)              - MASTERPLAN MONUMENT SIGN DESIGN</small> </p>
Y	N	Payment																																																			
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## OUTLINE OF SIGNAGE MASTER PLAN

10/02/2023

- A. Regulated** - No sign shall be erected, posted, painted, or maintained upon any real estate or personal property within PUDD 1 unless it complies with the provisions of this Signage Master Plan.
- B. Definition of a sign** – per Sec. 116-6(a)(1) of Village of Bayside Municipal Code
- C. Other Definitions** –
- a. Façade Frontage** – the building façade which a tenant has frontage facing a street or sidewalk
- D. Signage Permitted in PUDD 1**
- a. MULTIFAMILY BUILDING:** Each Multifamily building to be allowed:
- one (1) ground monument sign nearest to main entry
  - Building identifying signage shall be limited to one (1) primary building sign and one (1) secondary building sign at each tenant entry.
- b. INDIVIDUAL TENANT BUILDING COMMERCIAL SIGNAGE:** Each individual tenant commercial building is limited to:
- For large tenants (10,000 SF or larger) – allowed one (1) ground monument sign nearest to the main entry
  - One (1) ground monument sign allowed per building. If a building houses more than one retailer / company, it is required that these companies utilize a multiple-tenant sign.
    - One (1) primary sign per “façade frontage” per tenant
    - One (1) secondary sign per “façade frontage” per tenant
  - In general it is expected commercial tenants will have a primary sign at the main entry location, a secondary sign at a secondary entry location as needed, and a tertiary sign in an end cap condition as needed.
  - All commercial signage to be submitted as a signage package and will be reviewed by Village prior to approvals.
- c. MULTI TENANT BUILDING (MULTIFAMILY & COMMERCIAL) SIGNAGE:** Each Multi-tenant building is limited to:
- For large tenants (10,000 SF or larger) – allowed one (1) ground monument sign nearest to the main entry
  - One (1) ground monument sign allowed per building. If a building houses more than one retailer / company, it is required that these companies utilize a multiple-tenant sign.
    - One (1) primary sign per “façade frontage” per tenant
    - One (1) secondary sign per “façade frontage” per tenant

- In general it is expected commercial tenants will have a primary sign at the main entry location, a secondary sign at a secondary entry location as needed, and a tertiary sign in an end cap condition as needed.
- All commercial signage to be submitted as a signage package and will be reviewed by Village prior to approvals.

### **Building Signage**

- **Building Primary Signs – On-Building**
  - o Sign Types
    - Architectural Feature Signage – a building mounted sign that integrated into an architectural element, like a decorative canopy or screen element that features extruded signage
    - Extruded signage – a building mounted sign composed of three-dimensional letters that may include a light source
    - Cut-out signage – a building mounted sign composed of flat cutout one-dimensional letters cut from a sheet
  - o Number of Signs Allowed: Maximum of 1 per “façade frontage” per tenant
  - o Maximum Height: Max 3 feet
  - o Maximum Width: no restriction
  - o Maximum Area: 30 sf per sign, not to exceed total maximum of 50 sf per tenant.
  - o Permitted Materials:
    - Translucent durable plastic
    - Stainless steel
    - Steel channel
    - Aluminum
    - Wood
    - Durable, high-quality composite materials that simulate any of the above
  - o Sign Location Requirements:
    - Cannot project over or impede visibility of any roadway or vehicular traffic condition
    - All projections must be located 80” above adjacent sidewalks
- **Building Secondary Signs – On-Building**
  - o Sign Types
    - Blade signage - A building mounted sign that projects perpendicular to the building. Wall mounted or suspended.
    - Awning signage – A signage graphic affixed to a building mounted element that provides shelter
    - Applied Vinyl Graphic Signage - Located on glazing, max. 10% glazing coverage
  - o Number of Signs Allowed: Maximum of 1 per “façade frontage” per tenant
  - o Maximum Height: 2 feet 6 inches
  - o Maximum Width: 2 feet 6 inches
  - o Maximum Area: 6.25 sf per side

- Permitted Materials:
    - Translucent durable plastic
    - Stainless steel
    - Steel channel
    - Aluminum
    - Wood
    - High quality Fabric (Awning signage only)
    - Durable, high-quality composite materials that simulate any of the above
    - Vinyl Lettering/Graphics on glazing
  - Sign Location Requirements:
    - Cannot project over or impede visibility of any roadway or vehicular traffic condition
    - All projections must be located 80" above adjacent sidewalks
- **Building Ground Monument Signs – Freestanding**
- Sign Types
    - Free standing sign that stands directly on the ground
  - Number of Signs Allowed:
    - For large tenants (10,000 SF or larger) – allowed one (1) ground monument sign nearest to the main entry
    - One (1) ground monument sign allowed per building. If a building houses more than one retailer / company, it is required that these companies utilize a multiple-tenant sign.
  - Maximum Height: 8 feet, measured from the adjacent street level
    - Solid base must be a minimum of 24" tall
  - Maximum Width: 10 feet, including base
    - Maximum Area: 80 sf per side, including base
  - Permitted Materials:
    - Translucent durable plastic
    - Stainless steel
    - Steel channel
    - Aluminum
    - Wood
    - Durable, high-quality composite materials that simulate any of the above
  - Sign Location Requirements:
    - Outside of vision triangle
- **Building Pedestrian Wayfinding Signs – Freestanding**
- Sign Types
    - Freestanding signs, located for pedestrians to assist in wayfinding through the site. Located at key gathering nodes, trail systems, and entries.
  - Number of Signs Allowed: as needed to provide adequate wayfinding. All pedestrian wayfinding sign location to be submitted to village for their review

and approval on quantity and location of signs. No more than 4 per road intersection.

- Maximum Height: 5 feet, including base
  - Maximum Width: 2 feet, including base
  - Maximum Area: 10 sf per side, including base
  - Permitted Materials:
    - Durable plastic
    - Stainless steel
    - Steel channel
    - Aluminum
    - Wood
    - Durable, high-quality composite materials that simulate any of the above
  - Sign Location Requirements:
    - Outside of vision triangle
- **Development Gateway Signage** - Ground level monument signs that are oriented to the site as a whole. Located along main entry points to the development.
- Two (2) ground monument signs to be dedicated to overall development, its tenants, and activities are permitted.
  - Ground monument signs may include permanent display of development brand or its tenants and/or a combination thereof.
  - These development monument signs will be limited to a height of 25' above street level.
  - Development monument signs should be a solid, regular shape (i.e. rectangular with solid base). Solid base must be a minimum of 36" tall. Signs should have two main sides, each facing the main direction of travel.
  - One (1) Digital/electronic sign to be allowed.
  - Digital/electronic signs may not change a message or display by an electronic process more frequently than 10-second intervals. Signage must have dimming capabilities. Signage to be high quality, full color and to integrate cohesively with monument sign.
  - Each digital/electronic sign shall be placed in a such a manner so as to not interfere with, confuse or present any hazard to traffic
- E. Illuminated Signs** – Illuminating signs or signs containing illuminating material shall be subject to the following:
- a. Internal illumination for signs must be nonintermittent.
  - b. A single-sided sign with internal illumination must have an opaque backing or be mounted on a wall. A two-sided sign with internal illumination does not require the opaque backing.
  - c. The light source for signs with external sources of illumination shall be focused and shielded to illuminate the sign only, avoid light spill, and conceal the light source from view.
  - d. No illuminated sign may create glare, light spill, or reflection onto adjacent property or on to a street or alley such as to create a traffic hazard or to exceed 0.2 footcandles within

five feet inside a residential property line. No unshielded light, string of lights, or flashing light shall be permitted.

- e. An internally illuminated sign shall light only lettering and images. The background portion of the sign shall be opaque and not illuminated. There shall be an exception for portions of signs depicting changeable information. Such signs may incorporate a lighted background around the changeable portion only.

**F. Sign Prohibitions and Limitations**

- Electronic Message Signs / Screens – prohibited in locations other than development gateway monument sign
- Pennants, banners, balloons, etc. – prohibited per Section 116-6(c)
- Box Signs – signs that are self-enclosed in a typically square or rectangular structure with or without internal lighting are prohibited.

**G. Sign Setback, Height, Measurement** – per Section 116-6(a)(10)

**H. Sign Permits** – per Sec. 116-2

**I. Maintenance** – per Sec. 116-3

**J. Removal of Sign and Sign Structures where Business is no Longer in Operation** – when a tenant space goes out of operation and becomes vacant, village may request that signs for said previous tenants to be removed

**K. Nonconforming/Existing Signage in PUDD 1** – n/a

**L. Temporary Signs** – per Sec. 116-8

# ONE NORTH MIXED-USE DEVELOPMENT

AUGUST 28, 2023

RINKA+

## DEVELOPMENT SIGNAGE STANDARDS





# ONE NORTH SIGNAGE STANDARDS

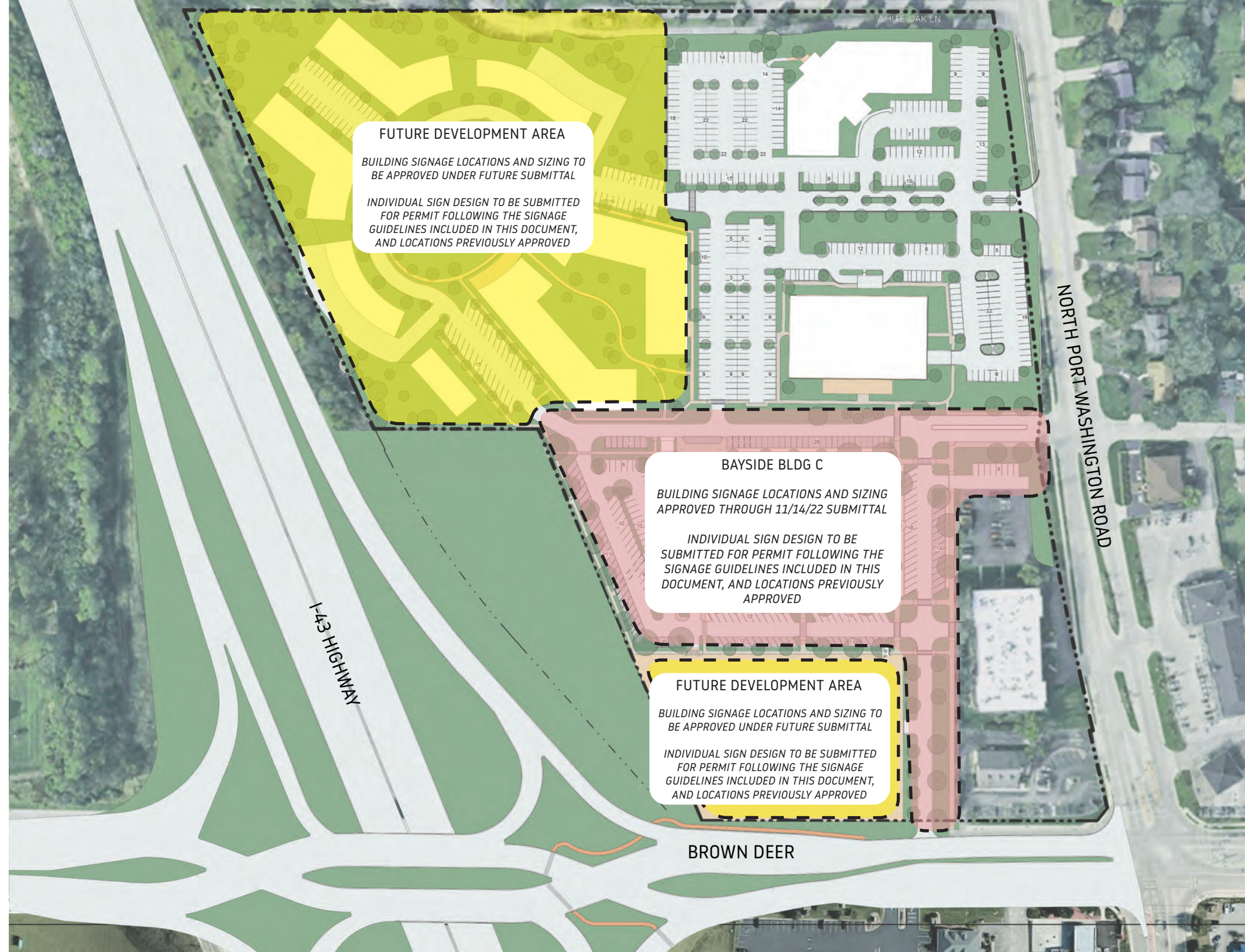
The following pages identify types, quantity, scale, placement, orientation, and materials for building site and building signage to ensure the creation of a user-friendly, multi-scaled experience through signage.

All future buildings and development shown in yellow on the conceptual site plan must submit signage elevations and plans for approval against these guidelines and the Village of Bayside Zoning Code. Signs may include the following types of signage:

## BUILDING SIGNAGE TYPES

- ① BUILDING PRIMARY SIGNS
- ② BUILDING SECONDARY SIGNS
- ③ BUILDING GROUND MONUMENT SIGNS
- ④ BUILDING PEDESTRIAN WAYFINDING SIGNS

Overall development monument signage and freeway facing development monument signage locations, sizing, and design to be submitted and approved separately.



**FUTURE DEVELOPMENT AREA**  
BUILDING SIGNAGE LOCATIONS AND SIZING TO BE APPROVED UNDER FUTURE SUBMITTAL  
INDIVIDUAL SIGN DESIGN TO BE SUBMITTED FOR PERMIT FOLLOWING THE SIGNAGE GUIDELINES INCLUDED IN THIS DOCUMENT, AND LOCATIONS PREVIOUSLY APPROVED

**BAYSIDE BLDG C**  
BUILDING SIGNAGE LOCATIONS AND SIZING APPROVED THROUGH 11/14/22 SUBMITTAL  
INDIVIDUAL SIGN DESIGN TO BE SUBMITTED FOR PERMIT FOLLOWING THE SIGNAGE GUIDELINES INCLUDED IN THIS DOCUMENT, AND LOCATIONS PREVIOUSLY APPROVED

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# BUILDING SIGNAGE TYPES - ① PRIMARY SIGNAGE

## SCALE

- SCALED APPROPRIATELY TO BUILDING ARCHITECTURE BUT NOT TO EXCEED 3'-0" IN HEIGHT AT ALL COMMERCIAL AND RETAIL CONDITIONS
- OFFICE BUILDING SIGNAGE MAY EXCEED ABOVE STATED HEIGHT WHEN SCALED PROPORTIONATELY TO BUILDING FACADE

## QUANTITY

- 1 PRIMARY SIGN RECOMMENDED PER FACADE FRONTAGE PER TENANT\*

## PLACEMENT & ORIENTATION

- AT OR NEAR ENTRY FACADES
- PARALLEL TO BUILDING, PERPENDICULAR TO ENTRY
- BETWEEN OR ALIGNED WITH COLUMN BAYS

## MATERIAL

- ALLOWABLE MATERIALS LISTED ON FOLLOWING PAGE EXCLUDING VINYL

## TYPES/EXAMPLES

- ① ARCHITECTURAL FEATURE SIGNAGE
  - FEATURE AS PART OF BUILDING ARCHITECTURE
  - INTERNALLY NEON, INTERNAL, OR REVERSE LIT



- ② EXTRUDED SIGNAGE
  - FLOATING OR WALL MOUNTED
  - REVERSE OR INTERNALLY LIT



- ③ CUT-OUT SIGNAGE
  - OFFSET OR WALL MOUNTED
  - INTERNAL OR EXTERNALLY LIT



- ④ AWNING SIGNAGE
  - LINEAR, WALL MOUNTED



# BUILDING SIGNAGE TYPES - ② SECONDARY SIGNAGE

## SCALE

- MAXIMUM HEIGHT UP TO 2'-6"
- MAXIMUM WIDTH UP TO 2'-6"
- MAXIMUM SF: 6.25 SF EACH SIDE

## QUANTITY

- 1 FLAG SIGNS PER TENANT FACADE (FABRIC OR SOLID)

## PLACEMENT & ORIENTATION

- LOCATE SECONDARY SIGNAGE NEAR TENANT SPACE BEING SIGNED

## MATERIAL

- ALLOWABLE MATERIALS LISTED ON PAGE 7

## TYPES/EXAMPLES

- ① FLAG SIGNAGE
  - WALL MOUNTED OR SUSPENDED
  - MAY NOT EXTEND MORE THAN 30" OFF FACADE
  - PERPENDICULAR TO PATH OF PEDESTRIAN AND VEHICLE TRAVEL
  - MOUNTING HEIGHTS TO EXCEED MINIMUM ACCESSIBLE HEIGHT REQUIREMENTS

- ② VINYL SIGNAGE
  - APPLIED AT OR NEAR ENTRIES
  - TEXT/GRAPHIC/PATTERN MAY NOT CAUSE MORE THAN 10% OF GLAZING TO BECOME OPAQUE.



# BUILDING SIGNAGE TYPES - ③ GROUND MONUMENT SIGN

## SCALE

- MAXIMUM HEIGHT UP TO 8'-0"
- MAXIMUM WIDTH UP TO 10'-0"
- MAXIMUM SF: 80 SF EACH SIDE

## QUANTITY

- LIMITED TO 1 SIGN PER MAJOR DEVELOPMENT SITE TENANT
- EFFORTS SHOULD BE MADE TO LIMIT QUANTITY TO AVOID OVER-SIGNING DEVELOPMENT SITE

## PLACEMENT & ORIENTATION

- NOT TO BE LOCATED IN TRAFFIC VISION TRIANGLES
- LOCATED AT OR NEAR BUILDING ENTRANCES WHERE POSSIBLE

## MATERIAL

- ALLOWABLE MATERIALS LISTED ON PAGE 7

## TYPES/EXAMPLES



# BUILDING SIGNAGE TYPES - ④ PEDESTRIAN WAYFINDING SIGNS

## SCALE

- MAXIMUM HEIGHT UP TO 5'-0"
- MAXIMUM WIDTH UP TO 2'-0"
- MAXIMUM SF: 10 SF EACH SIDE

## QUANTITY

- LIMITED TO NECESSARY QUANTITY REQUIRED FOR CLEAR WAYFINDING
- EFFORTS SHOULD BE MADE TO LIMIT QUANTITY TO AVOID OVER-SIGNING DEVELOPMENT SITE

## PLACEMENT & ORIENTATION

- NOT TO BE LOCATED IN TRAFFIC VISION TRIANGLES

## MATERIAL

- ALLOWABLE MATERIALS LISTED ON PAGE 7.

## TYPES/EXAMPLES

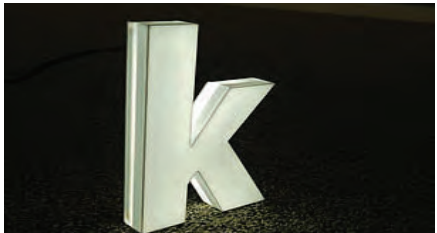


# BUILDING SIGNAGE TYPES - ADDITIONAL GUIDELINES

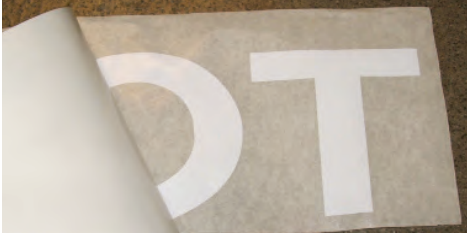
## RECOMMENDED SIGNAGE MATERIALS

- Signage materials and textiles selected should be durable, contrast and complement the building's facade, be properly illuminated, and be well integrated into the overall building design.

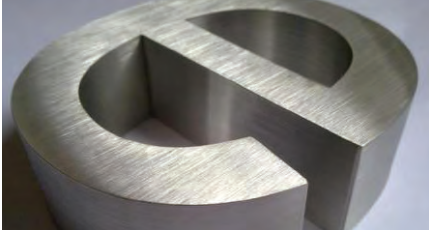
### TYPES/EXAMPLES



TRANSLUCENT DURABLE PLASTIC



VINYL LETTERING/GRAPHICS  
(SECONDARY SIGNAGE, WAYFINDING, ADDRESSING ONLY)



STAINLESS STEEL



STEEL CHANNEL



ALUMINUM



WOOD

## EXAMPLE SIGNAGE PLACEMENT

- Signage is recommended near the entry within facade elements.



# ONE NORTH MIXED-USE DEVELOPMENT

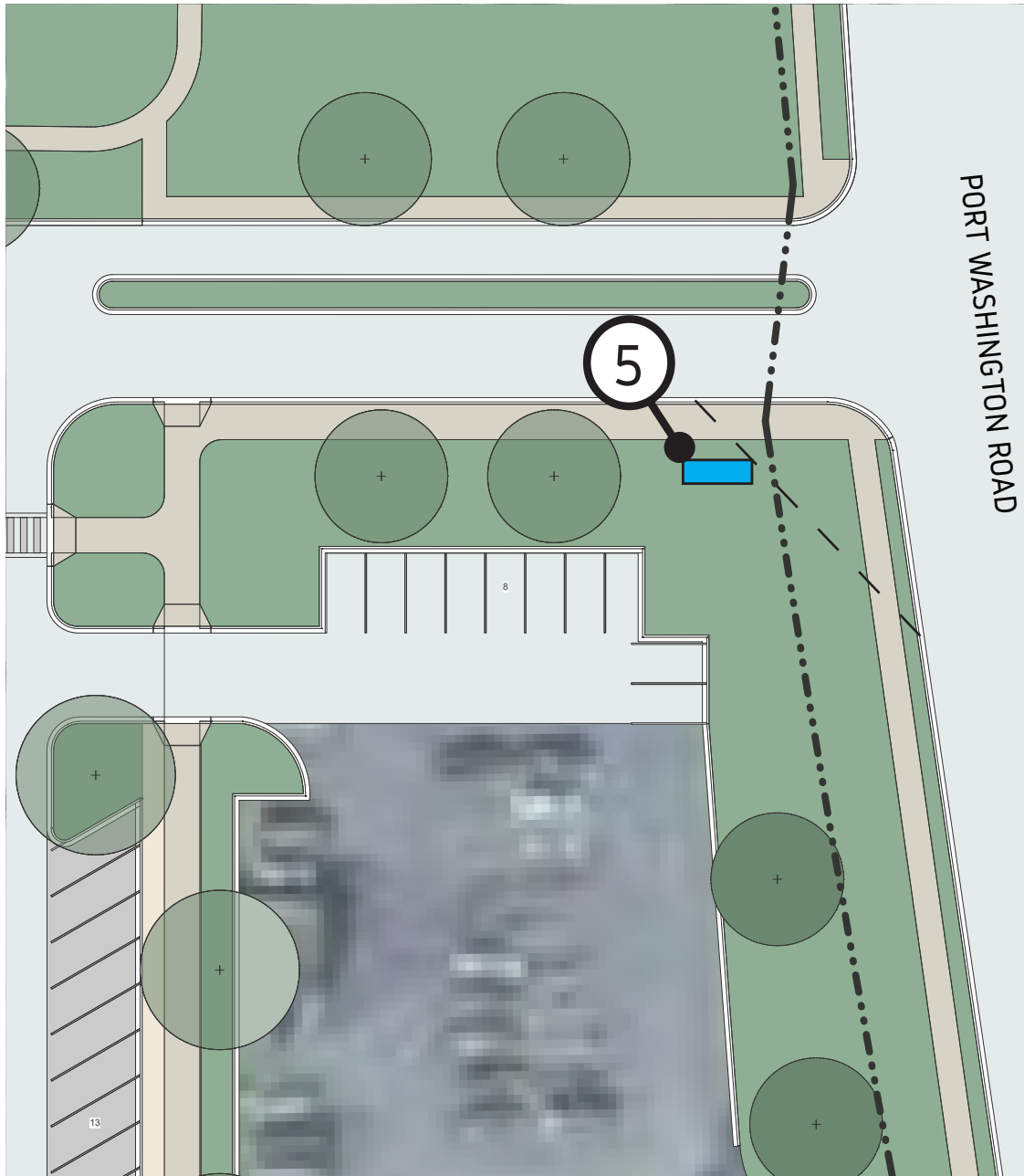
AUGUST 28, 2023

RINKA+

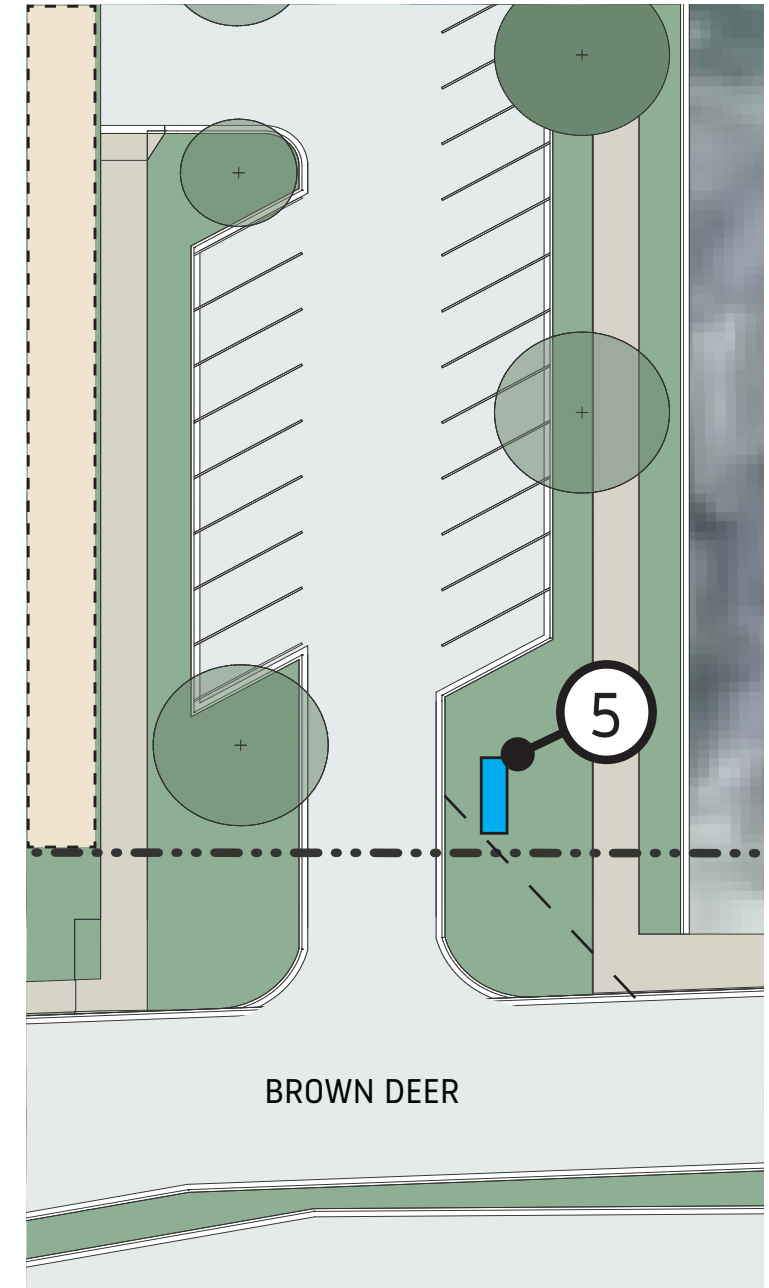
## DEVELOPMENT MONUMENT SIGNAGE SUBMITTAL



# DEVELOPMENT SITE SIGNAGE - PROPOSED DEVELOPMENT MONUMENT SIGN LOCATIONS



DEVELOPMENT MONUMENT SIGN  
LOCATION 1 - NORTH PORT WASHINGTON ROAD



DEVELOPMENT MONUMENT SIGN  
LOCATION 2 - BROWN DEER ROAD



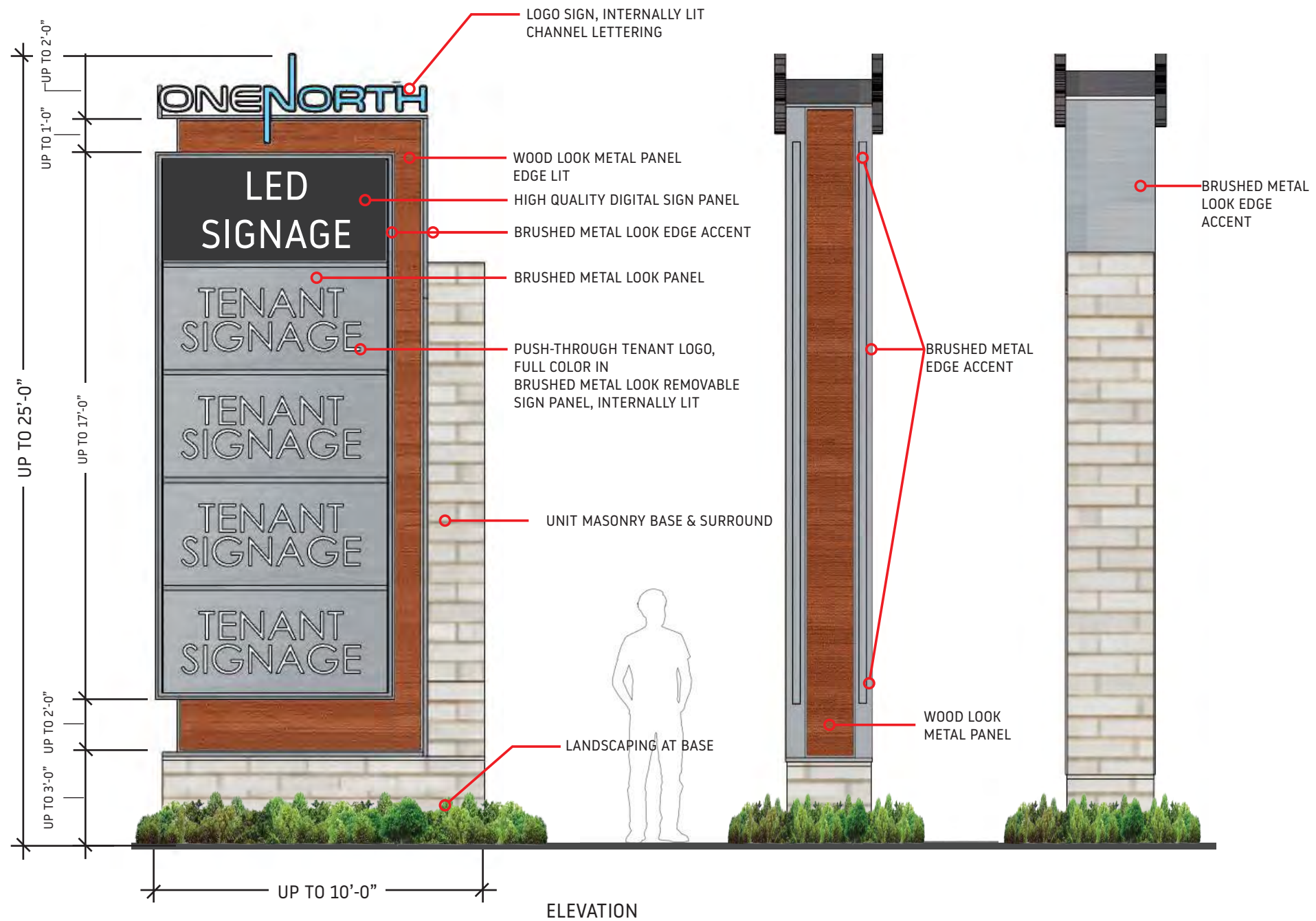
EXAMPLE MONUMENT SIGNAGE



KEY PLAN



# ① DEVELOPMENT MONUMENT SIGN CONCEPT



CONCEPT RENDER

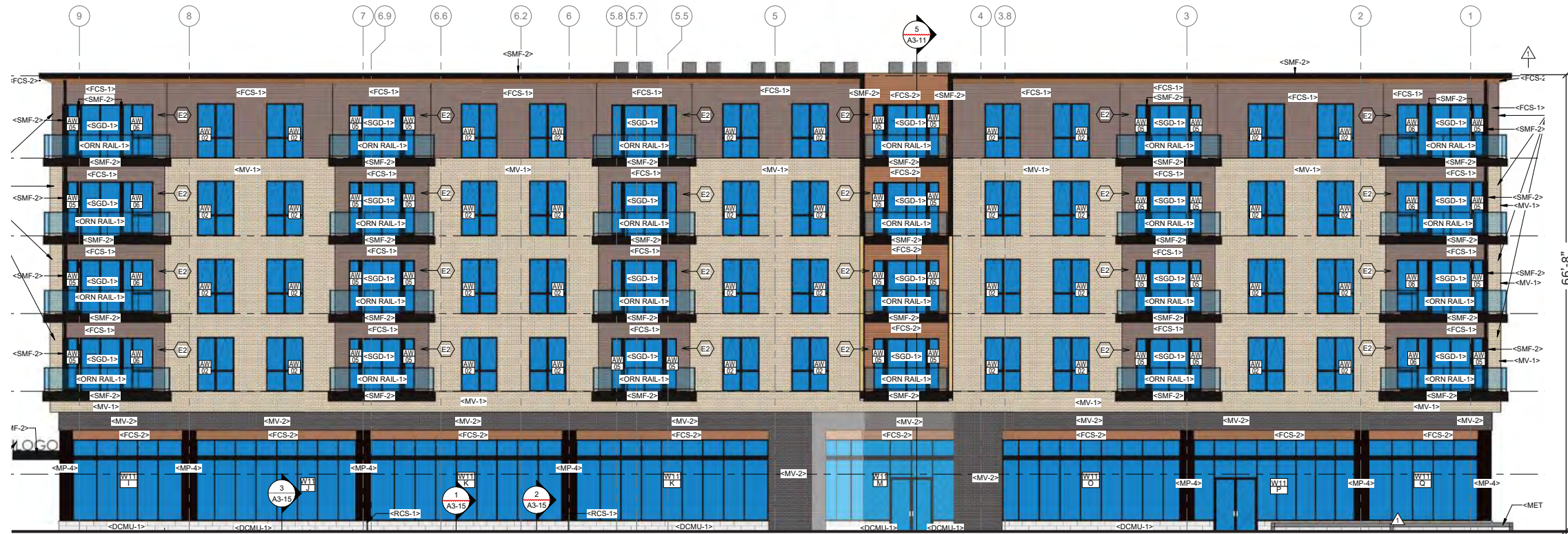


KEY PLAN

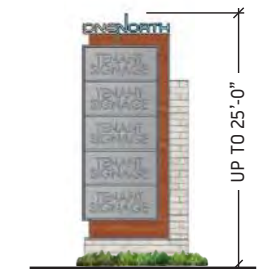
# SITE ELEVATION COMPARISON



KEY PLAN & LEGEND



② BUILDING C



① DEVELOPMENT MONUMENT SIGN

# DEVELOPMENT MONUMENT SIGN



## KEY PLAN & LEGEND

DEVELOPMENT MONUMENT SIGN  
(WESTBOUND ON GLENCOE AT ONE  
NORTH ENTRANCE)



# DEVELOPMENT MONUMENT SIGN



## KEY PLAN & LEGEND

DEVELOPMENT MONUMENT SIGN  
(WESTBOUND ON GLENCOE AT ONE  
NORTH ENTRANCE)

