# CITY OF BELMONT BELMONT COMMUNITY RECREATION CENTER

1401 CATAWBA STREET BELMONT, NORTH CAROLINA

SCHEMATIC DESIGN





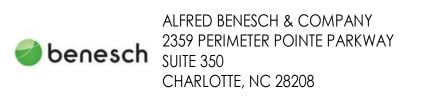
### CONSTRUCTION MANAGER



## STRUCTURAL ENGINEERS



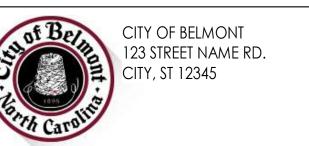
### **CIVIL ENGINEERS**



## M/E/P ENGINEERS



## **OWNER**



## **ARCHITECT**





benesch



CITY OF BELMONT

1401 CATAWBA STREET BELMONT, NORTH CAROLINA

RECREATION CENTER



SHEET INFORMATION

SCHEMATIC DESIGN Drawing Title
COVER





Know what's **below. Call** before you dig.

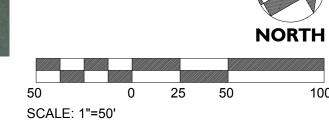
Sheet Title:

17.000385

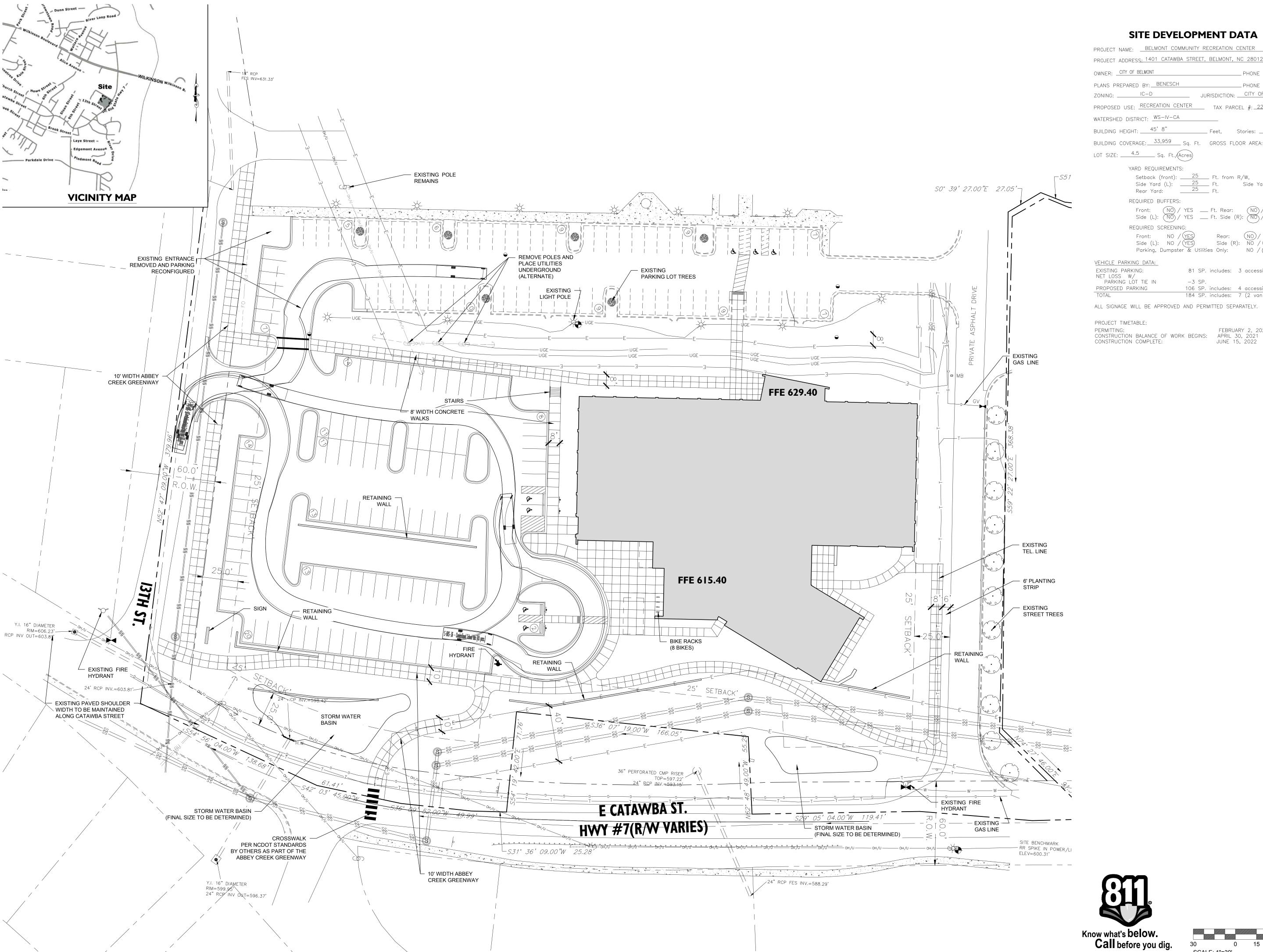
09.03.20

OVERALL SITE PLAN

Sheet No: C 100







SITE DEVELOPMENT DATA PROJECT NAME: BELMONT COMMUNITY RECREATION CENTER PROJECT ADDRESS: 1401 CATAWBA STREET, BELMONT, NC 28012 OWNER: CITY OF BELMONT \_\_\_PHONE # \_\_704 901-2067 PLANS PREPARED BY: BENESCH \_\_\_PHONE # <u>704-521-9880</u> ZONING: \_\_\_\_\_ IC-D \_\_\_\_ JURISDICTION: \_\_CITY\_OF\_BELMONT PROPOSED USE: RECREATION CENTER TAX PARCEL #: 222095 WATERSHED DISTRICT: WS-IV-CA BUILDING HEIGHT: 45' 8" Feet, Stories: 2 BUILDING COVERAGE: 33,959 Sq. Ft. GROSS FLOOR AREA: 42,025 Sq. Ft. LOT SIZE: 4.5 Sq. Ft. Acres YARD REQUIREMENTS: Setback (front): 25 Ft. from R/W,
Side Yard (L): 25 Ft. Side Yard (R): 25 Ft.

Rear Yard: 75 Ft. REQUIRED BUFFERS: Front: NO / YES \_\_ Ft. Rear: NO / YES \_\_ Ft. Side (L): NO / YES \_\_ Ft. Side (R): NO / YES \_\_ Ft. REQUIRED SCREENING: Front: NO / YES Rear: NO / YES
Side (L): NO / YES Side (R): NO / YES
Parking, Dumpster & Utilities Only: NO / YES VEHICLE PARKING DATA: EXISTING PARKING: 81 SP. includes: 3 accessible sp. NET LOSS W/ PARKING LOT TIE IN -3 SP. PROPOSED PARKING 106 SP. includes: 4 accessible sp. 184 SP. includes: 7 (2 van sp.) ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

FEBRUARY 2, 2021- APRIL 29, 2021



Seals:

CONSTRUCTION

Corp. NC license: F-1320

Project no: 17.000385 Date: 09.03.20

Sheet Title:

Revisions:

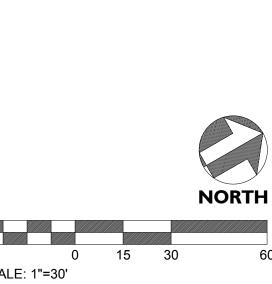
SITE PLAN

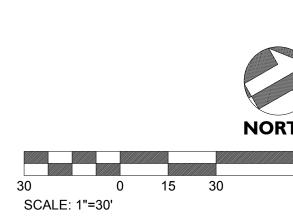
Sheet No:

NORTH

15 30

SCALE: 1"=30'









Seals:

PRELIMINARY NOT FOR CONSTRUCTION

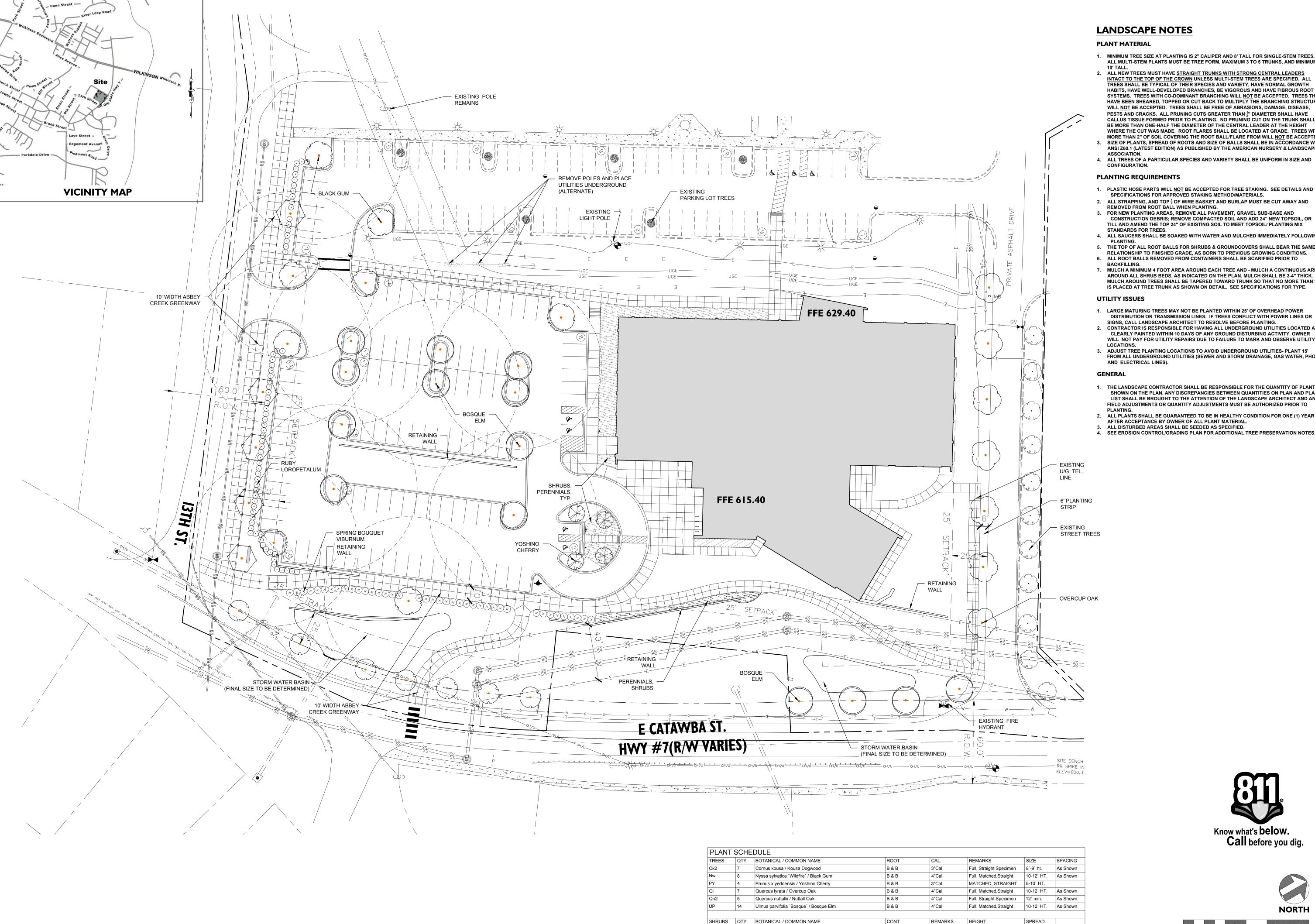
Corp. NC license: F-1320

Project no: 17.000385 Date: 09.03.20 Revisions:

Sheet Title:

**GRADING PLAN** 

Sheet No:



### LANDSCAPE NOTES

#### **PLANT MATERIAL**

- 1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM
- 2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN <sup>1</sup>/<sub>2</sub>" DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH
- MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED. SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE
- 4. ALL TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.

### PLANTING REQUIREMENTS

- 1. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE DETAILS AND SPECIFICATIONS FOR APPROVED STAKING METHOD/MATERIALS.
- 2. ALL STRAPPING, AND TOP  $\frac{1}{2}$  OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND
- REMOVED FROM ROOT BALL WHEN PLANTING. 3. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND
- TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/ PLANTING MIX STANDARDS FOR TREES.
- 4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING
- 5. THE TOP OF ALL ROOT BALLS FOR SHRUBS & GROUNDCOVERS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GROWING CONDITIONS.
- 6. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- 7. MULCH A MINIMUM 4 FOOT AREA AROUND EACH TREE AND MULCH A CONTINUOUS AREA AROUND ALL SHRUB BEDS, AS INDICATED ON THE PLAN. MULCH SHALL BE 3-4" THICK. MULCH AROUND TREES SHALL BE TAPERED TOWARD TRUNK SO THAT NO MORE THAN 2" IS PLACED AT TREE TRUNK AS SHOWN ON DETAIL. SEE SPECIFICATIONS FOR TYPE.

#### **UTILITY ISSUES**

- 1. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR
- SIGNS, CALL LANDSCAPE ARCHITECT TO RESOLVE BEFORE PLANTING. 2. CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED AND CLEARLY PAINTED WITHIN 10 DAYS OF ANY GROUND DISTURBING ACTIVITY. OWNER WILL NOT PAY FOR UTILITY REPAIRS DUE TO FAILURE TO MARK AND OBSERVE UTILITY
- 3. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES- PLANT 15'
  FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS WATER, PHONE AND ELECTRICAL LINES).

### **GENERAL**

4` O.C.

67 Loropetalum chinense `Ruby` / Ruby Loropetalum

40 Viburnum tinus `Spring Bouquet` / Spring Bouquet Viburnum | Container or B&B | Full Specimen | 24"

18-24" HT.

18-24"

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUANTITY OF PLANTS SHOWN ON THE PLAN. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO
- 2. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR
- 3. ALL DISTURBED AREAS SHALL BE SEEDED AS SPECIFIED.

- LIST SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ANY
- AFTER ACCEPTANCE BY OWNER OF ALL PLANT MATERIAL.
- 4. SEE EROSION CONTROL/GRADING PLAN FOR ADDITIONAL TREE PRESERVATION NOTES.

Seals:

Corp. NC license: F-1320

Project no: 17.000385 Date: Revisions:

SCALE: 1"=30'

Sheet Title:

**LANDSCAPE PLAN** 

Sheet No:



Know what's **below**. **Call** before you dig.

**NORTH** 0 15 30



Seals:

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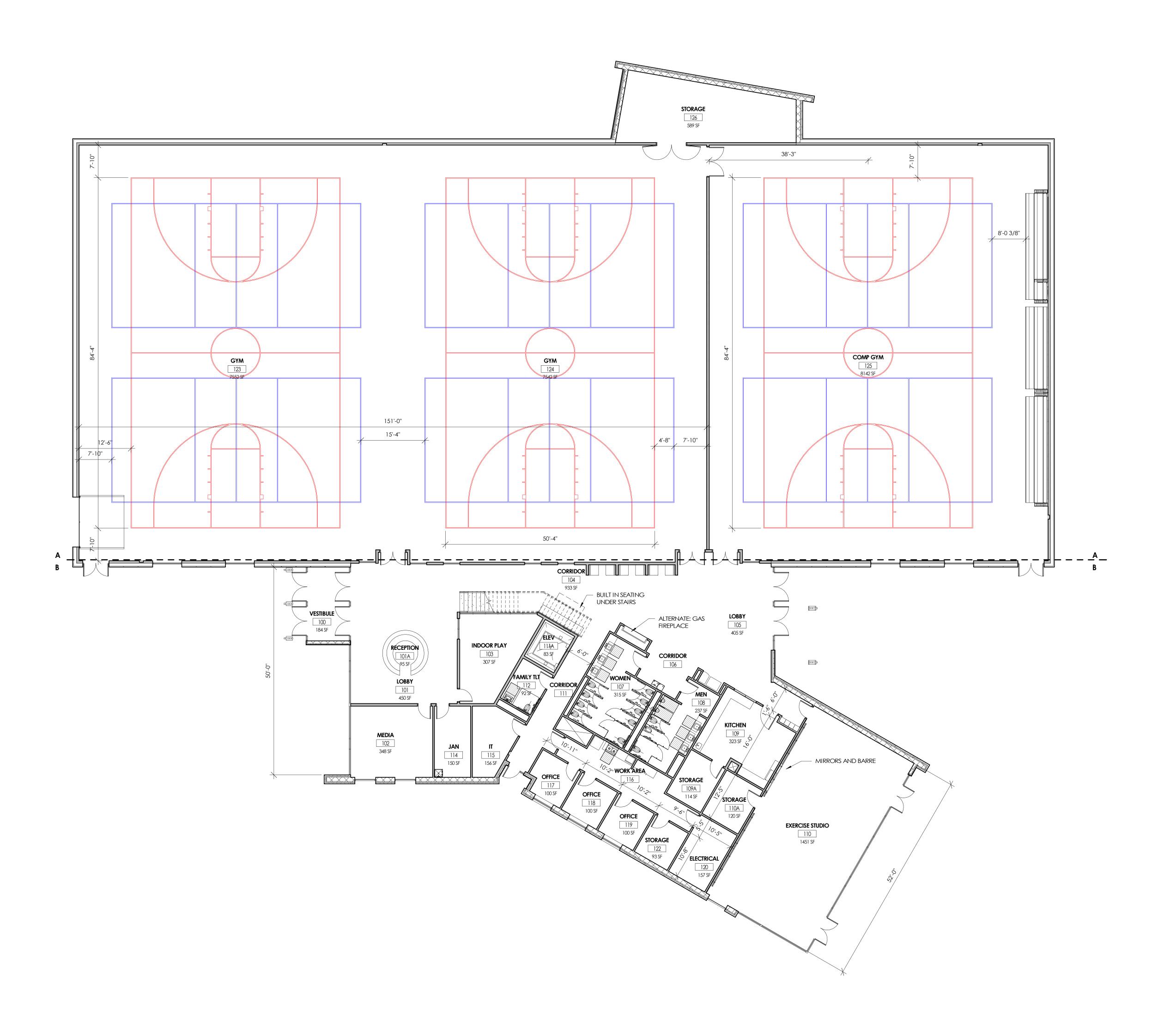
Sheet Title:

Revisions:

**DRAINAGE PLAN** 

Sheet No: C500

SCALE: 1"=30'



1 FLOOR PLAN LEVEL 1 OVERALL
A201 3/32' = 1'-0'

### FLOOR PLAN GENERAL NOTES

- ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO FIRESTOP ALL NEW PARTITIONS TO THE STRUCTURAL DECK ABOVE. FIRESTOPPING HEADS OF WALLS IS TO OCCUR AT ALL NEW WALL CONSTRUCTION WITHIN THE PROJECT.
   ALL WALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO FACE OF STUD FRAMING
- OR MASONRY UNLESS OTHERWISE NOTED.

  4. SEE SHEET A400 FOR INTERIOR PARTITION TYPES

  5. SEE A900'S FOR INTERIOR AND EXTERIOR DOORS, WINDOWS, CURTAINWALLS, AND STOREGROUNTS
- STOREFRONTS

  6. PROVIDE AN EDGE/TRANSITION STRIP CENTERED UNDER ALL DOORS WHERE

  AD LACENT ELOOP EINISUES ARE OF DIFFERENT MATERIALS
- ADJACENT FLOOR FINISHES ARE OF DIFFERENT MATERIALS.

  7. PROVIDE ACCESS PANELS, MINIMUM 24" x 24", OR OF SIZES REQUIRED, WHERE PLUMBING AND HEATING VALVES, WATER SWITCHES, VENTILATION SPLITTER DAPMERS,
- ETC. ARE SHOWN ON PLUMBING, HEATING AND VENTILATION DRAWINGS.

  8. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
- 9. ALL DOORS AND WINDOW SYSTEMS TO HAVE SEALANT AROUND THE ENTIRE PERIMETER (BOTH SIDES) OF FRAMES.
- 10. CONTRACTOR TO COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.
  11. REFER TO A700 FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ACCESSORIES LEGEND.

CPL | Architecture Engineering Planning
6302 FAIRVIEW RD. SUITE 102
CHARLOTTE, NC 28210
CPLteam.com

PROJECT INFORMATION

Project Number
15651.00
Client Name
CITY OF BELMONT

Project Name

BELMONT COMMUNITY

RECREATION CENTER

Project Address 1401 CATAWBA STREET BELMONT, NORTH CAROLINA

# Date Description



SHEET INFORMATION

07/24/2020
SCHEMATIC DESIGN
Drawn By Checked By
KAM DMS
Drawing Title
OVERALL FIRST FLOOR PLAN

DD

STORAGE TRACK 4608 SF OPEN TO BELOW —

1 SECOND FLOOR PLAN OVERALL

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Project Number 15651.00 Client Name

CITY OF BELMONT Project Name

BELMONT COMMUNITY

RECREATION CENTER

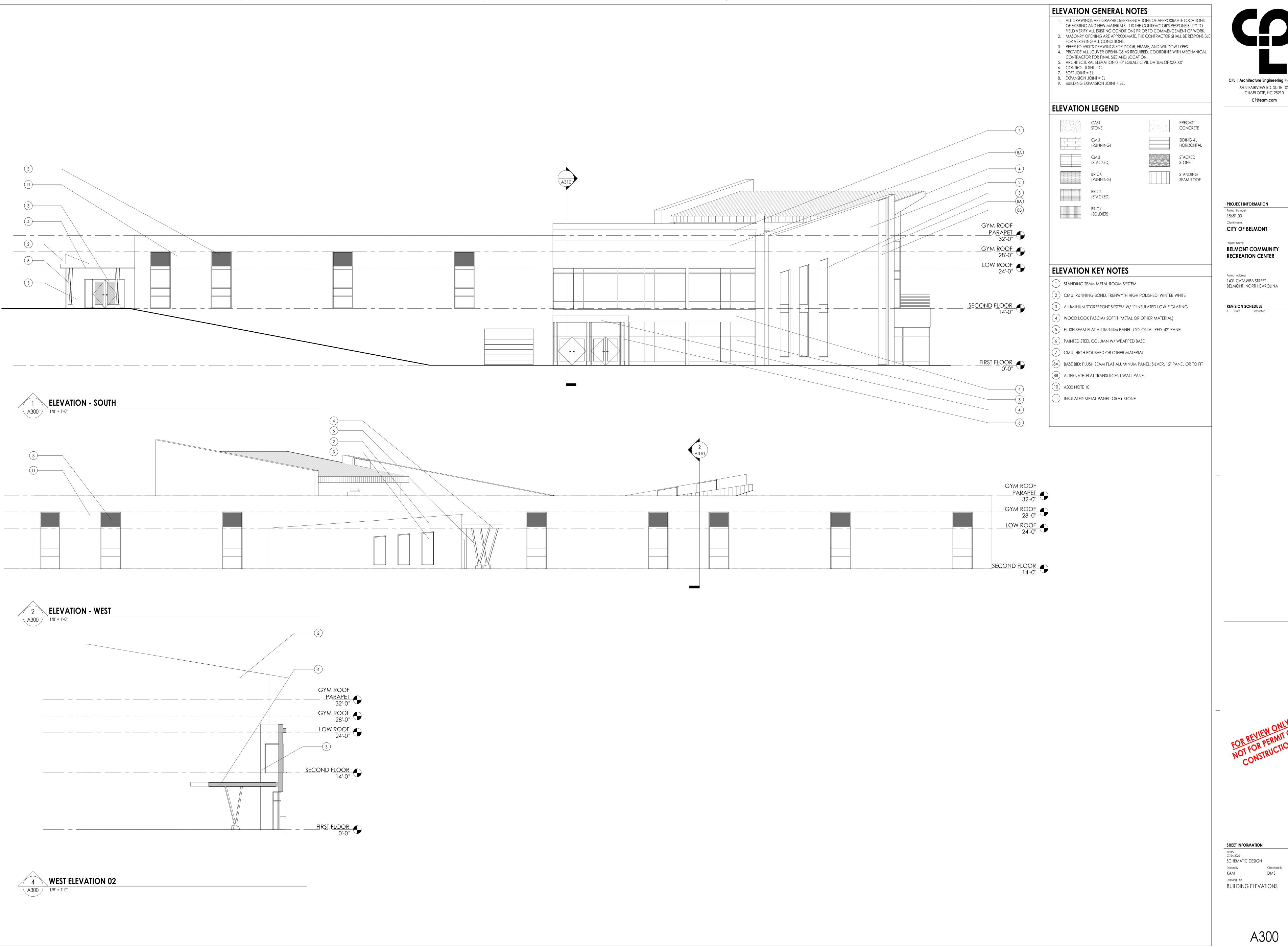
Project Address 1401 CATAWBA STREET BELMONT, NORTH CAROLINA

REVISION SCHEDULE



SHEET INFORMATION

SCHEMATIC DESIGN Drawing Title
OVERALL SECOND FLOOR PLAN

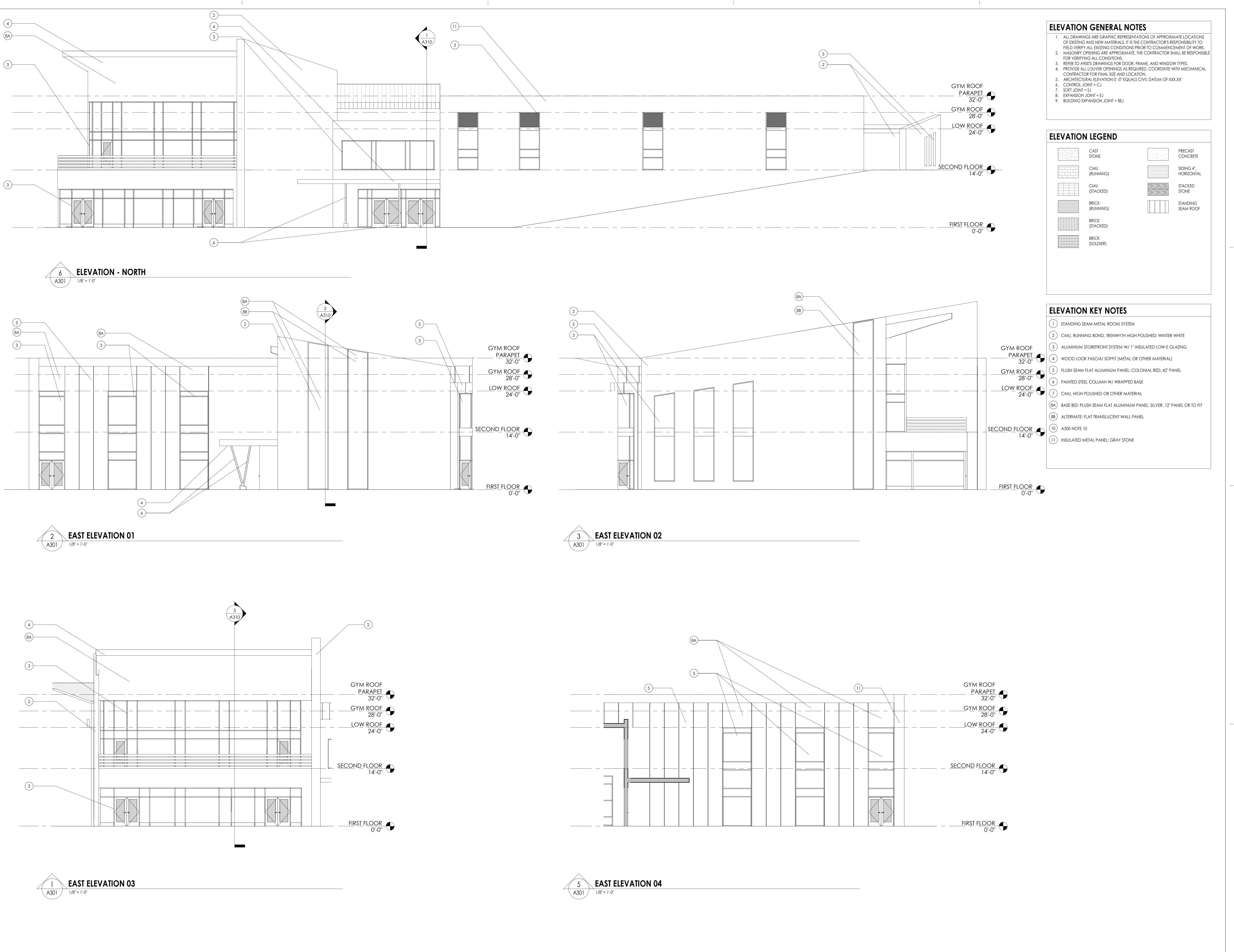


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PROJECT INFORMATION

1401 CATAWBA STREET BELMONT, NORTH CAROLINA

Drawing Title
BUILDING ELEVATIONS



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6302 FAIRVIEW RD. SUITE 102
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15651.00
Client Name
CITY OF BELMONT

Project Name
BELMONT COMMUNITY
RECREATION CENTER

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BELMONT, NORTH CAROLINA

REVISION SCHEDULE



Issued
07/24/2020
SCHEMATIC DESIGN
Drawn By Checked By
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Drawing Title
BUILDING ELEVATIONS