



Planning and Zoning Board Meeting
November 12, 2020

Application number: TA-2020.07 Apartment building

Request: a request to amend Chapter 5 of the Land Development Code (LDC) to encourage the apartment building form within the Wilkinson Boulevard corridor and prohibit the form in other areas of the city.

Background: The city council has directed staff to prepare this amendment, which would prohibit the use of the “apartment building” form (Section 4.4) in all areas of the city except the Wilkinson Boulevard corridor. Council stated:

- This building form is more appropriate within this corridor because it will support density needed for the future light rail project; and
- Multi-family apartment units are still possible within other zones; however, they will need to be incorporated within a mixed-use building form that consists of non-residential uses at street level.

Analysis: Staff has evaluated the council directive and proposes the following amendments to Chapter 5 – District Provisions:

Zone	Purpose of the Zone	Amendment Building Type
Neighborhood Center Residential (NC-R) Maximum 16 du/acre	Intent is to create higher density residential areas that complement commercial districts with physical proximity and pedestrian interaction.	Remove apartment building Add shopfront building form
Neighborhood Center Commercial (NC-C) No maximum on multi-family use.	Provide pedestrian-scaled higher density residential opportunity for limited-scale commercial activities along existing mixed-use corridors and at the functional center of new neighborhoods. Developments in the district are to emulate the Main Street characteristics of Downtown and East Belmont.	Remove apartment building form
Downtown District (D-D) No maximum on multi-family use.	To encourage the redevelopment and expansion of the traditional city center.	Remove apartment building form

Infill Development (INF-D) 10%-40% gross land area	Intent is to design infill developments in built-up environments.	Remove apartment building form
Traditional Neighborhood Development (TN-D) 10%-40% gross land area	Intent is to allow for the development of fully integrated, mixed-use pedestrian-oriented neighborhoods.	Remove apartment building form.
Business Campus Development (BC-D) 0%-30% gross land area	Intent is to promote the existing academic campus settings.	Remove apartment building form.

Staff does not recommend removing the **apartment building** form from:

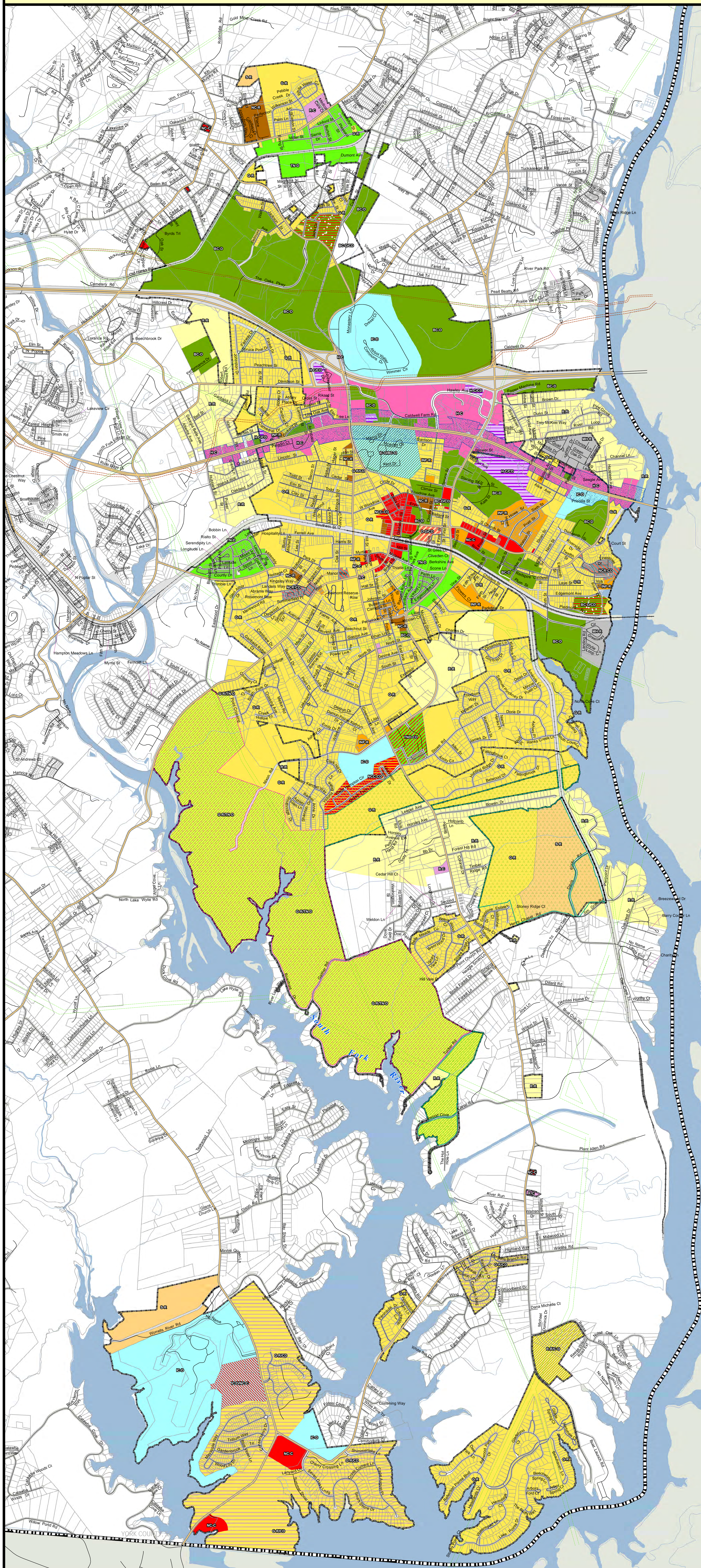
1. Highway Corridor (H-C) zoning district because the zoning district is located within the Wilkinson Boulevard corridor where multi-family development is encouraged; and
2. Institutional Campus Development (IC-D) zoning district because the apartment building form is limited to 0%-30% of gross land area and there are only six parcels currently zoned IC-D:
 - *Belmont Abbey College Campus: student housing may be needed in the future.*
 - *Sisters of Mercy Campus: multi-family housing is needed to support its operations.*
 - *Gaston College built-out college campus.*
 - *South Point High School: built out high school campus.*
 - *CaroMont Hospital Campus: this is a conditional district and cannot modify approved site plan without council approval.*
 - *City Works Campus: this is a conditional district and cannot modify approved site plan without council approval.*

Consistency Findings: Staff is still evaluating consistency with the various adopted land use plans and will have a full report at the upcoming meeting.

Recommendation: Staff recommends the board receive the report and provide a recommendation to council.

Attachment A – Zoning Map
Attachment B - Draft Amendment of Chapter 5

CITY OF BELMONT ZONING MAP



ZONING AND OVERLAY LEGEND

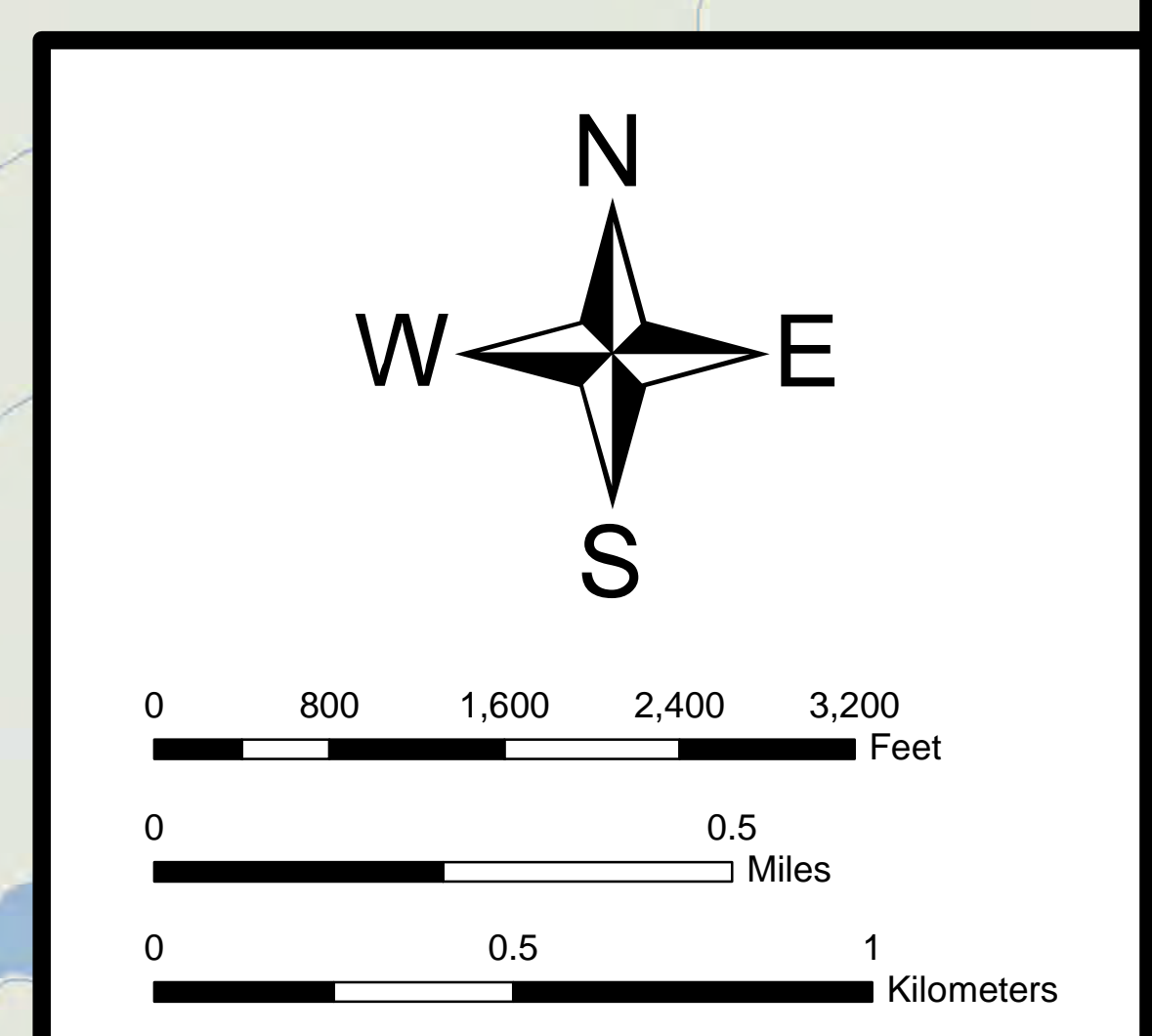
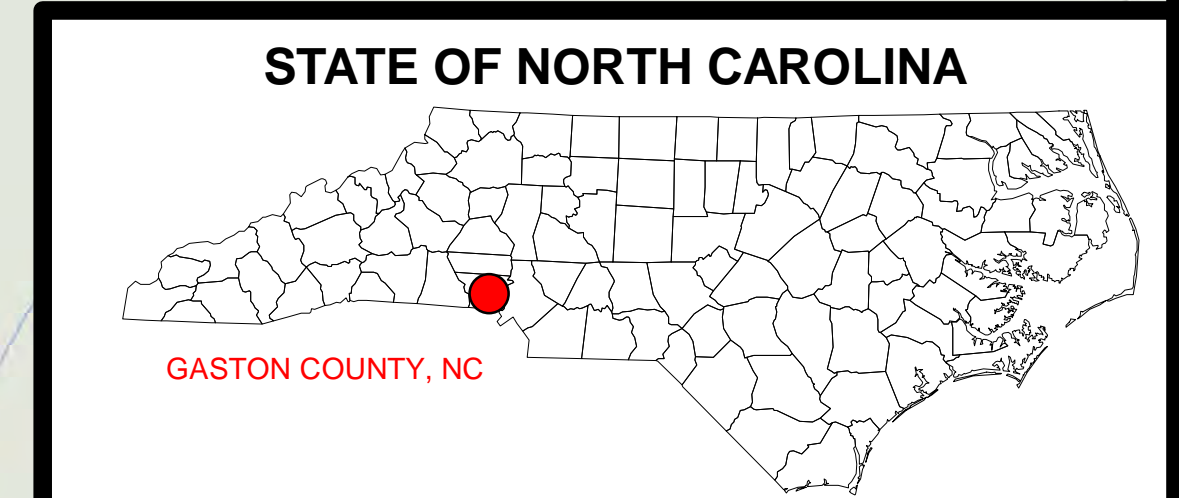
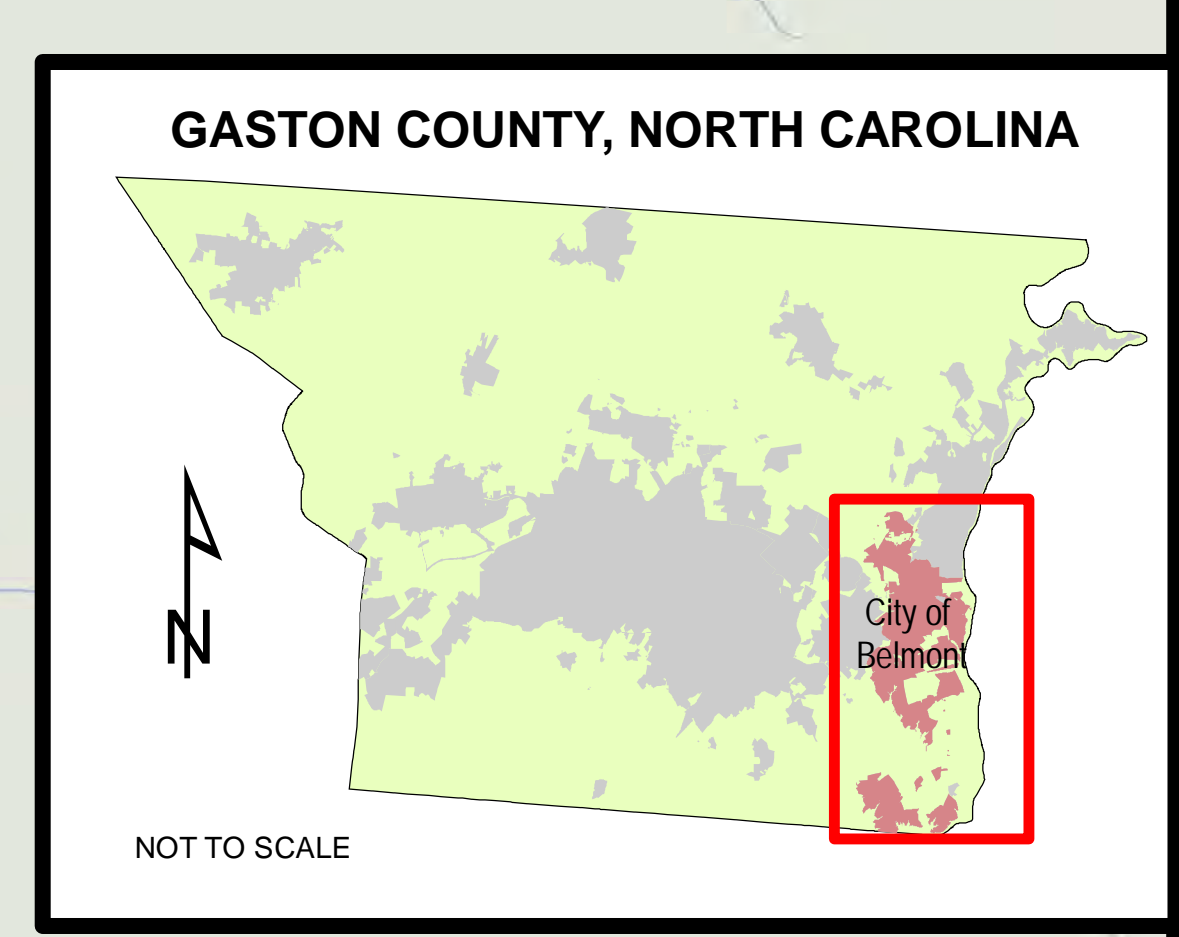
- BC-D, BUSINESS CAMPUS DEVELOPMENT
- BC-D/CD, BUSINESS CAMPUS DEVELOPMENT COND DISTRICT
- D-D/CD, DOWNTOWN DISTRICT CONDITIONAL DISTRICT
- DD, DOWNTOWN DISTRICT
- G-R, GENERAL RESIDENTIAL
- G-R/CD, GENERAL RESIDENTIAL CONDITIONAL DISTRICT
- G-R/TN-D, PARALLEL DISTRICT
- H-C, HIGHWAY COMMERCIAL
- H-C/CD, HIGHWAY COMMERCIAL CONDITIONAL DISTRICT
- I-C-D, INSTITUTIONAL CAMPUS DEVELOPMENT
- I-C-D/BC-D, PARALLEL DISTRICT
- I-C-D/NC-C, INSTITUTIONAL CAMPUS DEV NEIGH. CENTER COMMERCIAL
- INF-R, INFILL RESIDENTIAL
- MHR, MANUFACTURED HOUSING RESIDENTIAL
- NC-C, NEIGHBORHOOD CENTER COMMERCIAL
- NC-R, NEIGHBORHOOD CENTER RESIDENTIAL
- NCC-CD, NEIGHBORHOOD CENTER COMMERCIAL COND DIST
- NCR-CD, NEIGHBORHOOD CENTER RESIDENTIAL COND DIST
- R-C, RURAL COMMERCIAL
- R-R, RURAL RESIDENTIAL
- R-R/C-D, RURAL RESIDENTIAL/CONDITIONAL DISTRICT
- S-R, SUBURBAN RESIDENTIAL
- TN-D, TRADITIONAL NEIGHBORHOOD DEVELOPMENT
- TND-CD, TRADITIONAL NEIGHBORHOOD COND DISTRICT

Belmont Overlays

- HC-O, HIGHWAY CORRIDOR OVERLAY
- SF-O, SOUTH FORK ORVERLAY
- SPOD, SOUTH POINT PENINSULA

Legend

- Belmont City Limits
- Railroad
- Major Roadways
- Minor Roadways
- Parcel Lines
- County Area
- Creeks/Streams
- Rivers
- Municipal Areas
- Electric RW
- Pipeline RW



Although strict accuracy standards have been employed in the Compilation of this map, Gaston County does not make or imply any warranties or assume any responsibility for the information presented on this map or its use.

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5.1 GENERAL PROVISIONS

This Code establishes the following Districts for use as Zoning categories:

Rural Residential (RR)
 Suburban Residential (SR)
 General Residential (GR)
 Neighborhood Center Residential (NC-R)
 Neighborhood Center Commercial (NC-C)
 Downtown District (DD)
 Highway Commercial (HC)
 Infill Development (INF-D)
 Traditional Neighborhood Development (TN-D)
 Business Campus Development (BC-D)
 Institutional Campus District (IC-D)
 Reserved
 Watershed Protection Overlay (WP-O)
 Highway Corridor Overlay (HC-O)
 Rural Commercial (RC)
 Manufactured Housing Development (MH-D)
 Conditional Districts (CD)
 South Point Peninsula Overlay (SPP-O)
 South Fork Overlay (SF-O)

In addition, each District has a corresponding Conditional District (CD) as outlined in Section 5.18. The overlay zoning districts are not eligible for a Conditional District, although the underlying zoning district(s) are.

These Districts are a cross-matrix of both the Building Types listed in Chapter 4 as well as the **Permitted Uses, Uses Permitted with Additional Requirements, and Uses Permitted subject to the issuance of a Special Use Permit (SUP) or Conditional District Zoning.**

All uses permitted in this Code have been divided into seven (7) general categories and are defined as follows:

- Residential:** Premises available for long-term human habitation by means of ownership and rental, but excluding short-term letting of less than a month's duration
- Lodging:** Premises available for short-term human habitation, including daily and weekly letting
- Office:** Premises available for the transaction of general business, but excluding commercial sales and manufacturing
- Commercial:** Premises available for the commercial sale of merchandise and prepared foods, but excluding manufacturing
- Manufacturing:** Premises available for the creation, assemblage, and repair of items including their retail sale except when such activity creates adverse impacts

- Civic:** Premises available for not-for-profit organizations dedicated to religion, arts and culture, education, government, social service, transit, and other similar functions
- Other:** Uses not otherwise classified but permitted with Performance Standards in Chapter 6 and/or subject to the issuance of a Special Use Permit in accordance with Section 15.10.

Within these categories, the uses are defined as Open, Limited, and Restricted indicating the general permissiveness within each use category.

Uses shall only be allowed in those zoning districts in which they are listed in the various general zoning districts contained in Chapter 5. The Land Development Code text does not identify all potential uses. Many allowable uses are contained within identified use categories (i.e., commercial use, light manufacturing, etc.) For instance, a “blueprinting service” is not specifically identified in any particular zoning district but meets the definition of a “commercial use.” Thus, a blueprinting service would be allowed in any district where “commercial uses” are allowed. Conversely, a “day care center”, which meets the definition of a “commercial use”, is specifically listed as being allowed in certain districts only. Accordingly, “day care centers” and similar uses which are specifically identified are only allowed in those identified zoning districts and are prohibited in all other zoning districts.

A Conditional District Zoning process may be used to satisfy a special use permit requirement when additional relief is requested in compliance with Section 5.18 Conditional Districts (CD), of this code and as provided in this Chapter.

5.2 RURAL RESIDENTIAL (RR)

Rural Residential districts are coded to accommodate very low density residential development and agricultural uses and, protect natural vistas, and landscape features that define our rural heritage.

The intent of this District is to maintain a rural boundary, preserving agricultural and forested areas on the perimeter of Belmont until utility infrastructure can be installed to allow for planned growth.

<p>1. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p>Detached House – Street Lot Only Civic Building</p>
<p>2. Specific District Provisions</p>	<p>1. Minimum Lot Size (Subject to increase by the Gaston County Health Dept.) Lots platted prior to June 6, 2002: 20,000 sq. ft. Lots platted after June 6, 2002: 2 acres</p> <p>2. Lot Width Minimum Lot Width at Right-of-Way: 40 ft.</p>

3. Permitted Uses (Rural Residential RR)	
Residential	<p>Limited Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, Manufactured Housing, and Bona Fide Farms</p>
Lodging	<p>Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided to guests.</p> <p>Permitted Uses: Bed and Breakfast Inns²</p>
Office	<p>Restricted Office: Customary home occupation uses are permitted provided the office use is restricted to the first floor or ancillary building and by the requirement of one assigned parking space for each 400 sq. ft., in addition to the parking requirement for each dwelling.</p> <p>Permitted Uses: Home Occupations²</p>
Commercial	<p>Restricted Commercial: Drive-in Theatres shall be permitted with a minimum lot size of 3 acres, and with the establishment of a Type A buffer/screening around the perimeter of the property. (See Section 11.2) Day Care Centers and Day Care Homes². All other commercial uses are forbidden.</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are not permitted.</p>
Civic	<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Recreational Facilities², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

5.3 SUBURBAN RESIDENTIAL (SR)

The Suburban Residential District is coded to allow low to moderate density development in areas farther from central Belmont, but to ensure that these areas develop along the same traditional lines as central Belmont. This District is intended to be the predominant residential district for areas identified on the Comprehensive Land Use Map as Suburban Neighborhood and Semi-Rural Neighborhood.

<p>1. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;">Detached House – Alley and Street Lot Townhouse Civic Building</p>
<p>2. Specific District Provisions</p> <p>District provisions may vary if lots are located within the South Point Peninsula Overlay District. See Chapter 5.19</p>	<p>1. Minimum Lot Size The minimum lot size for a duplex home shall be 21,780 square feet, except with approval of special use permit.</p> <p>2. Maximum Development Density Maximum Density (on a project by project basis): 3 Units/Acre</p> <p>3. Permitted Building Type Ratio The maximum number of Detached House-Alley Lot and Townhouse buildings in an SR development shall not exceed 30% of the total number of units.</p> <p>4. Lot Width</p> <p>On infill lots, the minimum lot width shall be equal to the average lot width of lots within 300 feet or 1 block length (whichever is greater), except with approval of a special use permit.</p>

3. Permitted Uses (Suburban Residential SR)	
Residential	<p>Limited Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Townhouses (in new developments only, no townhouses are permitted on infill lots in the SR District)</p>
Lodging	<p>Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided to guests.</p> <p>Permitted Uses: Bed and Breakfast Inns²</p>
Office	<p>Restricted Office: Customary home occupation uses are permitted provided the office use is restricted to the first floor or ancillary building and by the requirement of one assigned parking space for each 400 sq. ft., in addition to the parking requirement for each dwelling.</p> <p>Permitted Uses: Home Occupations²</p>
Commercial	<p>Limited Commercial: The area permitted for commercial uses is limited to the first story at corner locations. Parking shall be negotiated on a site-by-site basis.</p> <p>Permitted Uses: Day Care Centers and Day Care Homes²</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are not permitted.</p>
Civic	<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Recreational Facilities², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

5.4 GENERAL RESIDENTIAL (GR)

The General Residential District is coded to permit the health of the City’s historical neighborhoods as well as providing for the City’s expansion with new development along the same traditional lines under which they were established. This District is intended to be the predominant residential district for the City and represents the largest land area on the Zoning Map.

<p>2. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p>Detached House – Alley and Street Lot Townhouse Civic Building</p>
<p>2. Specific District Provisions</p> <p>District provisions may vary if lots are located within the South Point Peninsula Overlay District. See Chapter 5.19</p>	<p>1. Minimum Lot Size For Lots platted prior to June 6, 2002, the minimum lot size is 4,000 square feet. The minimum lot size for a duplex home shall be 10,000 square feet, except with approval of a special use permit.</p> <p>2. Maximum Development Density Maximum Density (on a project by project basis): 6 Units/Acre</p> <p>3. Permitted Building Type Ratio The maximum number of Detached House-Alley Lot and Townhouse buildings in a GR development shall not exceed 30% of the total number of units.</p> <p>4. Lot Width On infill lots, the minimum lot width shall be equal to the average lot width of lots within 300 feet or 1 block length (whichever is greater), except with approval of a special use permit.</p>

3. Permitted Uses (General Residential GR)	
Residential	<p>Limited Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Townhouses (in new developments only, no townhouses are permitted on infill lots in the GR District)</p>
Lodging	<p>Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided to guests.</p> <p>Permitted Uses: Bed and Breakfast Inns²</p>
Office	<p>Restricted Office: Customary home occupation uses are permitted provided the office use is restricted to the first floor or ancillary building and by the requirement of one assigned parking space for each 400 sq. ft., in addition to the parking requirement for each dwelling.</p> <p>Permitted Uses: Home Occupations²</p>
Commercial	<p>Limited Commercial: The area permitted for retail is limited to the first story at corner locations. Parking shall be negotiated on a site-by-site basis.</p> <p>Permitted Uses: Day Care Centers and Day Care Homes²; Events Facility^{2,3}, Temporary Amusements^{2,3}</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are not permitted.</p>
Civic	<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Recreational Facilities², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

³Subject to the issuance of a special use permit

5.5 NEIGHBORHOOD CENTER RESIDENTIAL (NC-R)

The Neighborhood Center Residential District is coded to provide for areas for residential and mixed-use development in close proximity to existing and planned commercial centers. The intent is to create higher density residential areas that compliment commercial districts with physical proximity and pedestrian interaction. Different housing types and lot styles are encouraged as well as office and civic uses.

<p>1. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;"> Detached House – Alley and Street Lot Townhouse Apartment Building <i>Shopfront Building</i> Civic Building </p>
<p>2. Specific District Provisions</p>	<p>1. Minimum Lot Size: The minimum lot size shall be based upon the building types requirements found in Chapter 4.</p> <p>2. Maximum Development Density Maximum Density (on a project by project basis): 16 units/acre</p>

3. Permitted Uses (Neighborhood Center Residential NC-R)	
Residential	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family. <i>Multi-family uses may only be located within shopfront (above street level) or townhouse building form.</i></p>
Lodging	<p>Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided to guests.</p> <p>Permitted Uses: Bed and Breakfast Inns²</p>
Office	<p>Open Office: The area available for office use is limited by the requirement of one assigned parking space for each 400 sq. ft.</p> <p>Permitted Uses: Home Occupations², Live-Work Units, Professional Offices Uses</p>
Commercial	<p>Limited Retail: The area permitted for commercial uses is limited to the first story at corner locations. Parking shall be negotiated on a site-by-site basis.</p> <p>Permitted Uses: Day Care Centers and Day Care Homes², Events Facility^{2,3}, Funeral Home^{2,3}</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are not permitted.</p>
Civic	<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Recreational Facilities², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

³Subject to the issuance of a special use permit

5.6 NEIGHBORHOOD CENTER COMMERCIAL (NC-C)

This District is coded to provide pedestrian-scaled higher density residential homes and opportunities for limited scale commercial activities along existing mixed use corridors and at the functional center of new neighborhoods. Developments in the NC-C Districts are to emulate the Main Street characteristics of Downtown and East Belmont, and encourage pedestrian use through connections to adjacent neighborhoods and the construction of mixed use buildings. NC-C may be used to apply initial zoning to existing commercial buildings outside of Downtown and East Belmont, and to allow for neighborhood-scaled commercial development outside the downtown commercial/civic area and village centers as shown on the Comprehensive Land Use Plan map.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;"> Detached House Townhouse Apartment Building Shopfront Civic Building Workplace Building (by Special Use Permit or Conditional District Zoning) Flex commercial building (only in areas located outside Downtown and East Belmont) </p>
<p>2. Specific District Provisions</p>	<ol style="list-style-type: none"> 1. Maximum Building Footprint: 6,000 square feet for buildings located in the Downtown Commercial and Civic area and the Catawba Street Corridor area as shown on the Belmont Comprehensive Land Use Plan. No maximum outside of these areas. 2. To maintain pedestrian scale, accessibility, and integration with the surrounding neighborhoods, Neighborhood Center Commercial Districts should not exceed 30 acres or extend 1/8 of a mile from the central focus of the area. 3. New Neighborhood Center Commercial Districts shall be located a minimum of 1/4 mile from each other. 4. A special use permit or Conditional District Zoning, shall be required for any building with a gross floor area of greater than 50,000 square feet.

3. Permitted Uses (Neighborhood Center Commercial NC-C)	
Residential	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family. <i>Multi-family uses may only be located within shopfront (above street level) or townhouse building forms.</i></p>
Lodging	<p>Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times.</p> <p>Permitted Uses: Bed and Breakfast Inns and Hotels²</p>
Office	<p>Open Office: The area available for office use is limited by the requirement of one assigned parking space for each 400 sq. ft.</p> <p>Permitted Uses: Home Occupations, Live-Work Units, and Office Uses</p>
Commercial	<p>Open Commercial: The area available for commercial use is limited to the requirement of one assigned parking space for each 400 square feet of gross space.</p> <p>Permitted Uses: Commercial Uses, Drive-through Commercial^{2&3}, Restaurants², Private Night Clubs³, Funeral Homes², Convenience Stores (in flex commercial buildings only)², Neighborhood Stores², and Day Care Centers, and Day Care Homes²</p>
Manufacturing	<p>Restricted Manufacturing: Neighborhood Manufacturing.²</p>
Civic	<p>Open Civic: Civic uses shall be permitted.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Parking Structures², Recreational Facilities² Outdoor Storage of Landscaping/Garden Supplies/Live Plants², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

³Subject to the issuance of a special use permit

5.7 DOWNTOWN DISTRICT (DD)

The Downtown District is coded to encourage the redevelopment and expansion of the traditional City center. This center is intended to serve as the civic, cultural, and governmental hub of activity for the entire Belmont community.

Commercial components of the Downtown District may exceed 18,000 square feet within a single building. Individual buildings are encouraged to be mixed vertically with street level commercial and upper level residential. Higher densities of residential development are encouraged.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;"> Detached House Townhouse Apartment Building Shopfront Building Civic Building </p>
<p>2. Specific District Provisions</p>	<ol style="list-style-type: none"> 1. Loading areas are permitted in the rear yard only. 2. Street level commercial, office, and/or lodging is required within individual buildings when located adjacent to a collector street as identified in Section 8.2 (15) of the LDC. Any other permitted uses will be considered by Conditional District Zoning.

3. Permitted Uses (Downtown District DD)	
Residential	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family. <i>Multi-family uses may only be located within shopfront (above street level) or townhouse building form.</i></p>
Lodging	<p>Open Lodging: Food service may be provided at all times.</p> <p>Permitted Uses: Bed and Breakfast Inns and Hotels</p>
Office	<p>Open Office:</p> <p>Permitted Uses: Home Occupations, Live-Work Units, and Office Uses</p>
Commercial	<p>Open Commercial: Permitted Uses: Commercial Uses, Restaurants, Night Clubs and Bars with Live Music², Entertainment Uses</p> <p>Excluded Uses: Drive-through Commercial, Automotive, Boat & Heavy Equipment Sales and Service, Adult Establishments, Adult Video Stores, Pool Halls, Billiard Parlors, Game Rooms, and Arcades.</p>
Manufacturing	<p>Restricted Manufacturing: Neighborhood Manufacturing.²</p>
Civic	<p>Open Civic: Civic uses shall be permitted.</p>
Other	<p>Cemetery², Essential Services-Class 1 & 2², Parking Structures², Recreational Facilities², Temporary Uses², Temporary Family Health Care Structure²</p> <p>Outdoor Storage of Landscaping/Garden Supplies², Water-related Structures²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

5.8 HIGHWAY COMMERCIAL (HC)

The intensity of commercial development in the Highway Commercial district is established by the traffic of the fronting thoroughfare. Though coded primarily for auto dependent development along the frontage, buildings that do not front along Wilkinson Boulevard shall be scaled to the pedestrian.

The intent of these regulations is to facilitate convenient access, minimize traffic congestion, and reduce the visual impact of excessive signage and parking lots. In addition to Wilkinson Boulevard, North Main Street, McAdenville Road, and Park Street in the proximity of Wilkinson Boulevard and the south side of I-85 may be designated for Highway Commercial development.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;"> Townhouse Apartment Building Shopfront Building Workplace Building Flex Commercial Building Civic Building </p>
<p>2. Specific District Provisions</p>	<ol style="list-style-type: none"> 1. Parking shall be in the side or rear yard only. Parking may be permitted in the front yard subject to the issuance of a special use permit or Conditional District Zoning provided: <ol style="list-style-type: none"> a. There exists no practical alternative for the location of such parking because of the unique needs generated by a specific use b. The parking in the front yard, if provided, shall be set back a minimum of 10 feet from the right-of-way and shall be screened using a Type B-Semi Opaque Screen found in Section (11.2.B) 2. Loading areas in the rear yard only. 3. Uses greater than 50,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.

3. Permitted Uses (Highway Commercial HC)	
Residential	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the minimum parking requirements of 1 ½ assigned spaces per unit. <i>Permitted Uses:</i> Multi-Family</p>
Lodging	<p>Open Lodging: The number of bedrooms available for lodging is limited by the parking requirements of Chapter 9. Food service may be provided at all times. <i>Permitted Uses:</i> Bed and Breakfast Inns, Motels, and Hotels</p>
Office	<p>Open Office: The area available for office use is limited by the parking requirements of Chapter 9. <i>Permitted Uses:</i> Home Occupations, Live-Work Units, and Office Uses</p>
Commercial	<p>Open Commercial: The area available for commercial use is limited to the parking requirements of Chapter 9.</p> <p>Permitted Uses: Retail Commercial Uses, Restaurants, Private Nightclubs^{1,2}, Entertainment Uses, Adult Establishments^{1&2}, and Adult Video Stores ^{1&2}, Automotive/Boat/Heavy Equipment/Manufactured Home Sales and/or Service^{1&2}, Day Care Centers and Day Care Homes¹, Convenience Stores¹, Drive-through Commercial¹, Events Facility¹, Temporary Amusements¹, ABC package store/beer and wine (exclusive) discount store, Body/skin piercing establishment, Cash-advance/vehicle title loan service, Electronic gaming operation¹, Palm reading/fortune telling/psychic reading/tarot reading establishment, Pawn shop, Tattoo parlor and/or permanent cosmetic salon.</p>
Manufacturing	<p>Restricted Manufacturing: No manufacturing activity is permitted.</p>
Civic	<p>Open Civic: Civic uses shall be permitted.</p>
Other	<p>Essential Services-Class 1 & 2¹, Parking Structures, Recreational Facilities¹, Outdoor Storage¹, Water-related Structures¹</p>

¹See Performance Standards in Chapter 6

²Subject to the issuance of a special use permit

5.9 INFILL DEVELOPMENT (INF-D)

The intent of this District is to design infill developments in built-up environments that adhere to the following neighborhood design principles:

- Integration of existing street systems
- Flexibility of housing types
- Small-scale commercial uses that serve the immediate neighborhood
- Creation of a useable and coherent public realm
- Reservation of prominent sites for civic uses, where practical

Though it is similar to the Traditional Neighborhood Development, Infill Development has a more limited range of permitted building types and uses.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;">Detached House – Alley and Street Lot Townhouse Apartment Building Shopfront Building Civic Building</p>												
<p>2. Specific District Provisions</p>	<ol style="list-style-type: none"> 1. Minimum project size: 3 acres 2. Maximum project size: 40 acres (Projects in excess of 40 acres shall be developed as a TN-D) 3. Shopfront Buildings shall not exceed a maximum footprint area of 6,000 square feet. 4. The total number of multi-family units shall not exceed 35% of the total residential units or 25 acres, whichever is less, except with a special use permit or Conditional District Zoning. 												
<p>3. Gross Land Allocation by Use The percentages are allocated on a gross area basis inclusive of the street rights-of-way.</p>	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>Use</u></th> <th style="text-align: left;"><u>Minimum - Maximum</u></th> </tr> </thead> <tbody> <tr> <td>Single-Family Uses</td> <td>15% - 75%</td> </tr> <tr> <td>Duplex and Multi-Family Uses</td> <td>10% - 40%</td> </tr> <tr> <td>Lodging/Office/Retail Uses</td> <td>2% - 10%</td> </tr> <tr> <td>Civic Uses</td> <td>2% - no maximum</td> </tr> <tr> <td>Open Space</td> <td>Per Chapter 7</td> </tr> </tbody> </table>	<u>Use</u>	<u>Minimum - Maximum</u>	Single-Family Uses	15% - 75%	Duplex and Multi-Family Uses	10% - 40%	Lodging/Office/Retail Uses	2% - 10%	Civic Uses	2% - no maximum	Open Space	Per Chapter 7
<u>Use</u>	<u>Minimum - Maximum</u>												
Single-Family Uses	15% - 75%												
Duplex and Multi-Family Uses	10% - 40%												
Lodging/Office/Retail Uses	2% - 10%												
Civic Uses	2% - no maximum												
Open Space	Per Chapter 7												

2.8 Permitted Uses (Infill Development INF-D)	
Residential	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family</p>
Lodging	<p>Limited Lodging: The number of bedrooms available for lodging is limited by the parking requirements of Chapter 9. Food service may only be provided in the morning.</p> <p>Permitted Uses: Bed and Breakfast Inns²</p>
Office	<p>Limited Office: Customary home occupation uses are permitted provided the office use is restricted to the first floor or ancillary building and by the requirement of one assigned parking space for each 400 sq. ft., in addition to the parking requirement for each dwelling.</p> <p>Permitted Uses: Home Occupations² and Live-Work Units</p> <p>Exceptions: Offices (in existing Workplace buildings only)</p>
Commercial	<p>Limited Commercial: Commercial uses are forbidden with the following exceptions: One Neighborhood Store shall be permitted for each 300 units in a neighborhood.</p> <p>Permitted Uses: Day Care Centers and Day Care Homes² and Neighborhood Store²</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are forbidden.</p>
Civic	<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a special use permit or Conditional District Zoning.</p>
Other	<p>Essential Services, Class 1 & 2², Recreational Facilities², Water-related Structures², Temporary Family Health Care Structure²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

5.10 TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TN-D)

The intent of this District is to allow for the development of fully integrated, mixed-use pedestrian-oriented neighborhoods that minimize traffic congestions, suburban sprawl, infrastructure costs, and environmental degradation. Traditional Neighborhoods adhere to the following design principles:

- All neighborhoods have identifiable centers and edges
- Edge lots are readily accessible to commercial and/or recreation by non-vehicular means (a distance not greater than ¼ mile)
- Uses and housing types are mixed and in close proximity to one another
- Street networks are interconnected and blocks are small
- Civic buildings are given prominent sites throughout the neighborhood

<p>1. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;"> Detached House – Alley and Street Lot Townhouse Apartment Building Shopfront Building Workplace Building Civic Building </p>
<p>2. Specific District Provisions</p>	<ol style="list-style-type: none"> 1. Minimum project size: 40 acres 2. Maximum project size: 200 acres (Projects in excess of 200 acres should be developed as multiple Traditional Neighborhoods, each individually subject to all such provisions) 3. The entire land area of the TND shall be divided into blocks, streets, and lots and optional natural or greenbelt areas. 4. Similar land categories shall generally front across streets. Dissimilar categories shall abut at rear lot lines. Corner lots which front on streets of dissimilar use shall be set back the same as the adjacent use with the lesser setback. 5. Large-scale, single use (conference spaces, theaters, athletic facilities, etc.) shall occur behind or above occupiable street front space. 6. The long axis of streets exceeding 500 feet in length shall have appropriate termination with either a public monument, specifically designed building facade, or a gateway to the ensuing space. 7. No portion of the TND is further than 660 feet (1/8 mile) from an open space as defined in Chapter 7. 8. See Section 5.19 for residential district performance standards if located within the South Point Peninsula Overlay District

<p>3. Gross Land Allocation by Use</p> <p>The percentages are allocated on the gross land area including street rights-of-way.</p>	<table border="0"> <thead> <tr> <th style="text-align: left;"><u>Use</u></th> <th style="text-align: left;"><u>Minimum - Maximum</u></th> </tr> </thead> <tbody> <tr> <td>Single-Family Uses</td> <td>15% - 75%</td> </tr> <tr> <td>Duplex and Multi-Family Uses</td> <td>10% - 40%</td> </tr> <tr> <td>Lodging/Office/Commercial/Manuf. Uses*</td> <td>2% - 40%</td> </tr> <tr> <td>Civic Uses</td> <td>2% - no maximum</td> </tr> <tr> <td>Open Space</td> <td>Per Chapter 7</td> </tr> </tbody> </table> <p>*The developer may request that the City Council waive the lodging/office/commercial/manufacturing uses after five years of the plat being recorded or after 50% build out of residential units in the development, whichever is sooner, if the development is located within one (1) street-mile of a Village Center or Downtown Commercial and Civic Center as shown on the Belmont Comprehensive Land Use Plan map.</p>	<u>Use</u>	<u>Minimum - Maximum</u>	Single-Family Uses	15% - 75%	Duplex and Multi-Family Uses	10% - 40%	Lodging/Office/Commercial/Manuf. Uses*	2% - 40%	Civic Uses	2% - no maximum	Open Space	Per Chapter 7
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Lodging/Office/Commercial/Manuf. Uses*	2% - 40%												
Civic Uses	2% - no maximum												
Open Space	Per Chapter 7												
<p>4. Permitted Uses (Traditional Neighborhood Development TN-D)</p>													
<p>Residential</p>	<p>Open Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service. Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family</p>												
<p>Lodging</p>	<p>Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times. Permitted Uses: Bed and Breakfast Inns² and Hotels</p>												
<p>Office</p>	<p>Open Office: The area available for office use is limited by the requirement of one assigned parking space for each 400 sq. ft. Permitted Uses: Home Occupations, Live-Work Units, and Office Uses</p>												
<p>Commercial</p>	<p>Open Commercial: The area available for commercial use is limited to the requirement of one assigned parking space for each 400 square feet of gross-commercial space. Permitted Uses: Commercial Uses, Restaurants, Drive-through Commercial^{2,3}, and Neighborhood Stores²</p>												
<p>Manufacturing</p>	<p>Limited Manufacturing: The area available for manufacturing use is limited to the building. Permitted Uses: Light Manufacturing Uses (no outdoor storage permitted)</p>												
<p>Civic</p>	<p>Open Civic: Civic uses shall be permitted.</p>												
<p>Other</p>	<p>Cemetery², Essential Services-Class 1 & 2², Parking Structures², Recreational Facilities², and Water-related Structures²</p>												

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

³Subject to the issuance of a special use permit

5.11 BUSINESS CAMPUS DEVELOPMENT (BC-D)



In order to maintain an attractive and viable environment in which to locate workplaces, the City of Belmont has created this District to promote the existing academic campus setting in the City and the Southern Piedmont Region.

Business Campus Developments are coded to permit the development of corporate office campus, light industrial uses and heavy industrial uses. Such developments are typically too large in scale to fit within a neighborhood environment and must be designed in a manner that is more appropriate to their technology, production methods, and/or operations.

Business Campus Developments are coded to achieve the high quality site design and use flexibility inherent in campus design. This is accomplished through attention to a building’s architectural compatibility with other buildings and the relationship of buildings to the public realm.

This District may not be used to circumvent other Sections in this Code.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;">Detached House – Alley and Street Lot Townhouse Apartment Building Shopfront Building Workplace Building Civic Building</p>
<p>2. Specific District Provisions</p>	<p>1. Minimum District Size: 40 Acres</p> <p>2. Minimum District Setbacks (as measured from exterior District boundary) Parking: 80 ft. Light Manufacturing Uses: 200 ft. Heavy Manufacturing Uses: 400 ft.</p> <p>3. Maximum Building Height (within District only): 5 Stories or 60 ft.</p> <p>4. For infill lots, parking shall be allowed only in the side and rear yards, except as approved by a special use permit or Conditional District Zoning</p> <p>5. Individual parcel(s) may be zoned BC-D contingent upon:</p> <ul style="list-style-type: none"> • The parcel(s) is (are) adjacent to an existing BC-D district; and, • Workplace and civic/institutional building types shall be the only building types permitted, except upon approval of a Conditional District Zoning; and • Only office and professional uses shall be allowed.

<p>3. General Provisions</p>	<ol style="list-style-type: none"> 1. Internal setbacks and the location of parking areas shall be set during the review process. Consideration shall be given to the placement of buildings in a manner that encourages pedestrian activity and facilitates the provision of public transit. 2. A coherent, interconnecting network of internal streets shall be designed to accommodate the various uses found within the District. 3. The street network shall be designed in a manner to facilitate bus transit. Front doors shall be located to provide easy access to the interior of buildings from transit stops. 4. The interior of new Business Campus Developments shall maintain a well-defined open space network to give prominence to important structures and allow for assembly and pedestrian circulation. 5. Where practical, buildings are encouraged to integrate into the urban fabric. 6. All buildings shall front upon a street, square, green, park, or quadrangle. Buildings not fronting on a street shall provide for vehicular access from a rear alley or street. Such streets shall be constructed to the public street standards detailed in Chapter 8 but may be privately maintained. 7. Public streets, parking areas and private driveways may encroach into setbacks that do not abut public external streets or residential uses up to 40 feet. 8. All buildings shall be designed in a manner that is pedestrian in scale and massing unless a technological requirement demands a different trajectory. 												
<p>4. Permitted Building Type Mix The percentages are allocated on the gross land area.</p>	<table style="margin-left: auto; margin-right: auto;"> <tr> <td>Detached House – Alley and Street Lot</td> <td>0% - 30%</td> </tr> <tr> <td>Townhouse</td> <td>0% - 30%</td> </tr> <tr> <td>Apartment Building</td> <td>0% - 30%</td> </tr> <tr> <td>Shopfront Building</td> <td>0% - 20%</td> </tr> <tr> <td>Workplace Building</td> <td>55% - 100%</td> </tr> <tr> <td>Civic Building</td> <td>unlimited</td> </tr> </table>	Detached House – Alley and Street Lot	0% - 30%	Townhouse	0% - 30%	Apartment Building	0% - 30%	Shopfront Building	0% - 20%	Workplace Building	55% - 100%	Civic Building	unlimited
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 <p style="text-align: center;"><i>Workplace buildings aligned on streets</i></p>	 <p style="text-align: center;"><i>Typical public street cross-section in a BC-D</i></p>												

5. Permitted Uses (Business Campus Development BC-D)	
Residential	<p>Open Residential: The number of dwellings is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio that may be reduced according to the shared parking standard.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family. <i>Multi-family uses may only be located within shopfront (above street level), or townhouse building form.</i></p>
Lodging	<p>Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times.</p> <p>Permitted Uses: Bed and Breakfast Inns² and Hotels</p>
Office	<p>Open Office: The area available for office use is limited by the requirement of one assigned parking space for each 250 sq. ft., a ratio that may be reduced according to the shared parking standards.</p> <p>Permitted Uses: Office Uses, Live-Work Units</p>
Commercial	<p>Restricted Commercial: Free-standing commercial uses are forbidden. Commercial uses are permitted as an auxiliary use within buildings containing primarily office uses such as cafeterias and restaurants, and specialty stores.</p> <p>Permitted Uses: Commercial Uses, Restaurants², and Day Care Centers and Day Care Homes². Drive-through Commercial²; Events Facility²; Temporary Amusements²</p>
Manufacturing	<p>Open Manufacturing: The area available for manufacturing use is limited to the building and a contiguous yard to its rear screened from view. The parking requirement shall be negotiated according to the specific manufacturing activity.</p> <p>Permitted Uses: Light Manufacturing Uses, Heavy Manufacturing Uses³</p>
Civic	<p>Open Civic: Civic Uses, Hospitals²</p>
Other	<p>Cemetery², Essential Services-Class 1 and 2², Essential Services-Class 3³, Parking Structures², Recreational Facilities², Water-related Structures²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6


³Subject to the issuance of a special use permit

5.12 INSTITUTIONAL CAMPUS DEVELOPMENT (IC-D)

The intent of this District is to allow for the continued and future use, expansion, and new development of academic and religious campuses, as well as government and health-care facilities with a total development size larger than 15 acres.

This district is coded to promote the many varied uses associated with such institutions while maintaining the overall design integrity of the traditional campus setting.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;">Detached House – Alley and Street Lot Townhouse Apartment Building Shopfront Building Workplace Building Civic Building</p>
<p>2. Specific District Provisions</p>	<p>1. Minimum District Size: 15 Acres</p> <p>2. Minimum District Setbacks (as measured from exterior District boundary) Front (as defined by the Main Entrances): 80 ft. All other sides: 25 feet</p> <p>3. Maximum Building Height (within District only): 5 Stories or 60 ft.</p> <p>4. Buildings within an IC-D development are exempt from the building type requirement listed in Section 4.1 but shall be aligned in a manner that creates formal space such as squares and quadrangles to give prominence to important structures and to allow for gathering and pedestrian circulation</p> <p>5. Parking areas shall not encroach into any required front setback and must be set back at least ten feet from all side and rear yards. Parking areas in the side and rear yards must be screened with a solid wall or fence that is at least four feet in height. Parking areas shall be interconnected within the property.</p>

<p>3. General Provisions</p>	<ol style="list-style-type: none"> 1. Internal setbacks and the location of parking areas shall be set during the review process. Consideration shall be given to the placement of buildings in a manner that encourages pedestrian activity and facilitates the provision of public transit. 2. A coherent, interconnecting network of internal streets shall be designed to accommodate the various uses found within the District. 3. The street network shall be designed in a manner to facilitate bus transit. Front doors shall be located to provide easy access to the interior of buildings from transit stops. 4. The interior of new Institutional Campus Developments shall maintain a well-defined open space network to give prominence to important structures and allow for assembly and pedestrian circulation. 5. All buildings shall front upon a street, square, green, park, or quadrangle. Buildings not fronting on a street shall provide for vehicular access from a rear alley or street. Such streets shall be constructed to the public street standards detailed in Section 6.0 but may be privately maintained. 6. Public streets, parking areas and private driveways may encroach into setbacks that do not abut public external streets or residential uses up to 40 feet. 7. All buildings shall be designed in a manner that is pedestrian in scale and massing unless a technological requirement demands a different trajectory. 													
<p>4. Permitted Building Type Mix</p> <p>The percentages are allocated on the gross land area.</p>	<table style="margin-left: auto; margin-right: auto;"> <tr> <td>Detached House – Alley and Street Lot</td> <td>0% - 30%</td> </tr> <tr> <td>Townhouse</td> <td>0% - 30%</td> </tr> <tr> <td>Apartment Building</td> <td>0% - 30%</td> </tr> <tr> <td>Shopfront Building</td> <td>0% - 20%</td> </tr> <tr> <td>Workplace Building</td> <td>55% - 100%</td> </tr> <tr> <td>Civic Building</td> <td>unlimited</td> </tr> </table>		Detached House – Alley and Street Lot	0% - 30%	Townhouse	0% - 30%	Apartment Building	0% - 30%	Shopfront Building	0% - 20%	Workplace Building	55% - 100%	Civic Building	unlimited
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Civic Building	unlimited													
														

5. Permitted Uses	
Residential	<p>Open Residential: The number of dwellings is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio that may be reduced according to the shared parking standard.</p> <p>Permitted Uses: Single Family Homes, Accessory structures¹, Duplexes, and Multi-Family</p>
Lodging	<p>Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times.</p> <p>Permitted Uses: Bed and Breakfast Inns², Hospice and Assisted Living Facilities, Hotels¹</p>
Office	<p>Open Office: The area available for office use is limited by the requirement of one assigned parking space for each 250 sq. ft., a ratio that may be reduced according to the shared parking standards.</p> <p>Permitted Uses: Home Occupations², Office Uses, Live-Work Units</p>
Commercial	<p>Restricted Retail: Free-standing commercial uses are not permitted. Events facility², Day Care Centers and Day Care Homes², Restaurants²</p>
Manufacturing	<p>Restricted Manufacturing: Manufacturing uses are not permitted. Uses</p>
Civic	<p>Open Civic: Civic Uses, Hospitals³.</p>
Other	<p>Cemetery², Essential Services-Class 1 and 2², Essential Services-Class 3³, Parking Structures², and Recreational Facilities², Water-related Structures²</p>

¹See Performance Standards in Chapter 3

²See Performance Standards in Chapter 6

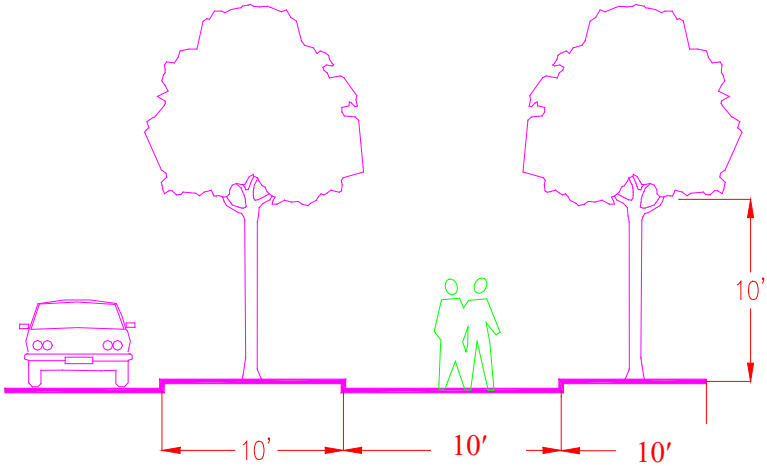
³Subject to the issuance of a special use permit

5.13 Reserved

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5.15 HIGHWAY CORRIDOR OVERLAY (HC-O)

This District is coded to preserve and improve the transportation efficiency, non-motorized mobility, and aesthetics of the Wilkinson Boulevard corridor. All provisions of the underlying district shall be effective except those specifically stated in this chapter.

<p>1. Streetscape Requirements</p>	<p>All development shall provide the following improvements across the frontage:</p> <ul style="list-style-type: none"> • 10 foot landscape strip between the curb and multi-use path • 10 foot wide multi-use path • 10 foot (minimum) landscape strip behind the sidewalk • Canopy Trees planted 40 feet on-center on both sides of the multi-use path staggered every 20 feet (Where aerial utility lines prohibit the installation of Canopy Trees, Small Maturing Trees may be substituted with permission of the Planning Director)  <p>The diagram illustrates the streetscape layout. From left to right: a car is positioned on the road. To its right is a 10-foot wide landscape strip containing a tree. This is followed by a 10-foot wide multi-use path where two people are walking. To the right of the path is another 10-foot wide landscape strip with a second tree. A vertical dimension line on the right indicates that the trees are 10 feet high. Horizontal dimension lines below the ground line show the 10-foot widths of the landscape strips and the 10-foot width of the multi-use path.</p>
<p>2. General Provisions</p>	<ol style="list-style-type: none"> 1. Minimum lot frontage: 200 feet 2. Minimum Lot Area: 2 acres (applicable for Automotive/Boat/Heavy Equipment/Mobile Home Sales and/or Services, Mini-Storage Facilities, and Hotels/Motels only) 3. Lot Provisions: The HC overlay shall exist along the entire length of the Wilkinson Boulevard corridor within the city's zoning jurisdiction (including the ETJ). The HC overlay shall consist of lots fronting along the boulevard for a depth measured from the center-line of the right-of-way to the rear of the affected property, but not to exceed 500 feet in length (depth).

<p>2. Access Management</p>	<p>1. Driveways shall be limited in accordance with the following standards. Where the NC DOT Driveway Manual conflicts, the stricter of the two standards shall prevail.</p>															
	<table border="0" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;"><u>Frontage (feet)</u></td> <td style="width: 50%;"><u>Number of Driveways Allowed</u></td> </tr> <tr> <td>≤ 500</td> <td>1</td> </tr> <tr> <td>501-999</td> <td>2</td> </tr> <tr> <td>>1000</td> <td>3</td> </tr> <tr> <td> </td> <td></td> </tr> <tr> <td><u>Development Type</u></td> <td><u>Minimum Spacing (feet)</u></td> </tr> <tr> <td><u>Residential</u></td> <td>100</td> </tr> <tr> <td><u>Commercial</u></td> <td>400</td> </tr> </table>	<u>Frontage (feet)</u>	<u>Number of Driveways Allowed</u>	≤ 500	1	501-999	2	>1000	3	 		<u>Development Type</u>	<u>Minimum Spacing (feet)</u>	<u>Residential</u>	100	<u>Commercial</u>
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≤ 500	1															
501-999	2															
>1000	3															
<u>Development Type</u>	<u>Minimum Spacing (feet)</u>															
<u>Residential</u>	100															
<u>Commercial</u>	400															
<p>2. The minimum distance between a driveway and an intersection shall be as follows. Where the NC DOT Driveway Manual conflicts, the stricter of the two standards shall prevail.</p>																
<table border="0" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;"><u>Street Type</u></td> <td style="width: 50%;"><u>Minimum Distance (feet)</u></td> </tr> <tr> <td><u>Major/Minor Thoroughfare</u></td> <td>500</td> </tr> <tr> <td><u>Local/Collector Street</u></td> <td>200</td> </tr> </table>	<u>Street Type</u>	<u>Minimum Distance (feet)</u>	<u>Major/Minor Thoroughfare</u>	500	<u>Local/Collector Street</u>	200										
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<u>Major/Minor Thoroughfare</u>	500															
<u>Local/Collector Street</u>	200															
<p>3. The Minimum Spacing between median openings shall be 1000 feet. Where the NC DOT Median Crossover Guidelines conflict, the stricter of the two standards shall prevail.</p>																

5.16 RURAL COMMERCIAL (RC)**1. INTENT**

Rural Commercial is coded for commercial clusters along primary rural corridors within the extraterritorial jurisdiction of the city and for existing commercial clusters within the City which are less pedestrian oriented in design than NC-C development.

Carrying capacity of the road or intersection is the factor which limits the size of R-C development.

Uses located in R-C districts shall draw from a local area as opposed to a regional area characteristic of H-C development.

South Point Road, Perfection Avenue and South New Hope Rd. are the designated primary rural corridors along which R-C development can occur.

2. USES PERMITTED

Commercial Uses (Including Commercial, Business, Service, Office, and Wholesaling) up to 20,000 square feet

Exclusions: Uses listed above which involve on-site manufacturing, outdoor storage of hazardous materials, warehousing and/or storage necessitating daily truck travel (not including servicing of establishments located within the district or mini-storage facilities), machine shops, auto parts and supply stores, mining, adult retail, pool halls and gaming rooms, and gambling facilities.

3. USES PERMITTED WITH CONDITIONS

Essential Services, Class 1, 2, & 3 (Class 3 is allowed by special use permit only)

Commercial uses exceeding 20,000 square feet in area

Indoor storage of hazardous material (*Fireworks sales shall not be permitted except as a minor stock item)

Service Stations and Garages

Drive In Theaters

Water-related Structures¹

4. LOT PROVISIONS/ SETBACKS/ ENCROACHMENTS

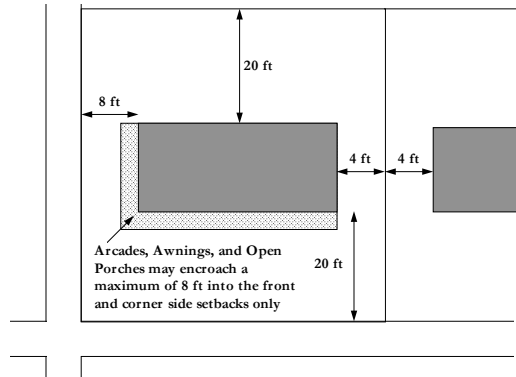
Lot Width (min): 40 feet

Front Setback (min): 20 feet

Side Setback (min): 4 feet (Corner Lot - 8 ft)

Rear Setback (min): 20 feet

Arcades, awnings, and open porches shall be permitted to encroach a maximum of 6 ft into front setbacks and *corner side* setbacks only.



5. BUILDING HEIGHT

The vertical distance from the mean elevation of the finished grade relative to the frontage street, to the roof line of the structure.

All uses - Maximum 35 ft.

Exceptions:

- Roof equipment not intended for human occupancy and which is necessary to the structure upon which it is placed.
- Principal buildings not intended for human occupancy such as solariums, atriums and greenhouses.
- Institutional Campus Development with conditions.

6. PARKING AND LOADING REQUIREMENTS

Parking requirements shall be as follows:

Offices: 1 per 300 sq ft
 Commercial: 1 per 250 sq ft
 Restaurant/Night Clubs/Lounges/Bars: 1 per 75 sq ft
 Hotels/ Motels/Bed and Breakfast Inns: 1 per room or suite
 Drive-thru Business: 11 car lengths for first windows plus 7 for each additional window
 All other Uses: 1 per 250 sq ft

Off Street Loading Requirements shall be as follows:

Office/Restaurant/Hotel
 Less than 5,000 sq ft: None
 5,000-50,000 sq ft: 1
 Over 50,000: 2 plus 1 for each additional 100,000 sq ft of space

All Other Uses
 Less than 5,000 square feet: None
 5,000-20,000 square feet: 1
 Over 20,000 square feet: 2 plus 1 for each additional 30,000 sq ft

7. ARCHITECTURAL STANDARDS

All walls **visible** from a public right-of-way shall be clad with the same material required for the front of the building (see A. Materials below).
Approved metal paneling may not exceed 40% of any facade of a structure visible from a ROW.

All walls **not visible** from a public right-of-way may be constructed of cinder block. Blocks or approved metal paneling shall be painted to match the overall color scheme of the rest of the building.

A. Materials

1. Building walls may be clad in brick, cast concrete, stucco, wood or wood clapboard, approved metal paneling, or material that is similar in appearance and durability.
2. Pitched roofs shall be clad in wood shingles, slate, sheet metal, corrugated metal, or diamond tab asphalt shingles.

B. Configurations

1. Two wall materials may be combined horizontally on one facade. The heavier material must be below.
2. Roof pitch may not vary within a development.

C. Techniques

1. Stucco shall be float finish.
2. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.

5.17 MANUFACTURED HOUSING DEVELOPMENT (MH-D)**1. INTENT**

Manufactured housing is a recognized form of affordable housing.

The MH-R district is coded to allow for the development of neighborhoods which utilize manufactured housing as its principle building type. Manufactured housing neighborhoods can only occur in a MH-R district.

The intent is to treat manufactured housing with the same design considerations applied to homes built to the Standards set forth in the North Carolina Building Code and those codified in this Ordinance.

The minimum development size shall be 5 acres. Max size 40 acres.

2. USES PERMITTED

Manufactured Housing
Essential Utility Services, Class 1 & 2¹
Water-related Structures¹

3. USES PERMITTED WITH CONDITIONS

Customary Home Occupations

4. LOT AND BUILDING PROVISIONS

The following lot sizes are to be the minimum size requirements and may be increased due to requirements for placement of well and septic tank systems, such as soil conditions and separation distances, the topography of the land or other environment conditions. The applicant shall indicate on the application, the number of bedrooms per house for which the septic tank system should be evaluated.

Porches, patios, and bay windows may encroach into a front yard setback only.

CATEGORY	Water & Sewer Available	Water or Sewer Available	Well & Septic Tank
MINIMUM LOT SIZE	8000 sq ft	10,000 sq ft	20,000 sq ft
LOT WIDTH AT BUILDING LINE	60 ft	70 ft	90 ft
LOT WIDTH AT STREET RIGHT-OF-WAY	40 ft		
FRONT SETBACK	20 ft		
SIDE SETBACK	12 ft	15 ft	
REAR SETBACK	30 ft		
MAXIMUM HEIGHT	35 ft		
ENCROACHMENTS (Rear yard setbacks)	(10ft)	(12ft)	(12ft)

5. ACCESSORY STRUCTURES

The following uses are permitted within outbuildings:

- Parking
- Gazebo
- Poolhouse
- Sauna
- Workshop
- Equipment Enclosure

Trash containers, mechanical equipment and outdoor storage shall be located only within the rear yard.

Mailboxes, newspaper boxes, walls, fences, birdhouses, flagpoles, and pump covers may be placed in any front, side or rear yard. Doghouses may be placed in rear yards only.

Lots Over 10,000 sq ft

Accessory structures shall not exceed 40% of the total area of the principle structure. At no time shall the total area of an accessory use exceed 25% of the rear yard. Such uses shall only be permitted in the rear yard. Accessory structures with a total area exceeding 500 square feet shall be constructed using materials and features similar to the principle structure.

- Minimum side and rear setbacks: 5 ft
- Minimum setback from principle structure: 10 ft
- Maximum Height: 26 ft

Lots Under 10,000 sq ft

Accessory structures shall not exceed 500 sq ft.

- Minimum side and rear setback: 5 ft
- Minimum setback from home: 10 ft
- Maximum height: 26 ft

Accessory structures in rear yards that abut a publicly dedicated street shall be set in the portion of the rear yard opposite the street.

6. ACCESSORY USES

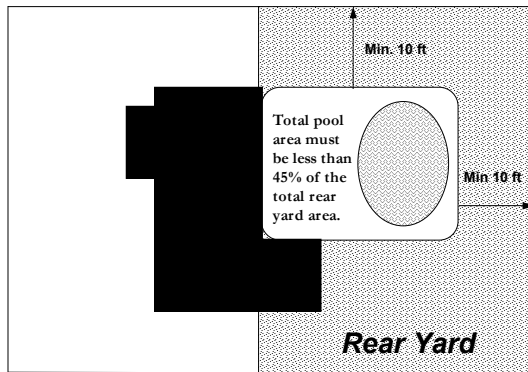
(A) POOLS

All pools, whether above-ground or in-ground, shall be built only in rear yards. The definition of a pool shall include all structures, and walks or patio areas of cement, stone, or wood *at or above grade*, built for, and used in conjunction with the pool.

A pool as defined above shall not exceed 45% of a required rear yard.

Pools, as defined above, shall be setback a minimum of 10 ft from all side and rear property lines. Patio areas *at grade* have no setback requirements from rear or side lot lines

Pools shall have the rear yard enclosed by a privacy fence with a minimum height of four (4) feet and a maximum height of eight (8) feet.



(B) SATELLITE DISHES

Satellite dishes less than 20 inches in diameter may be located anywhere on a lot. All other satellite dishes shall adhere to the following standards:

1. Satellite dishes shall be no larger than eight (8) feet in diameter
2. The maximum height shall be fifteen (15) feet unless the applicant can prove:
 - a) a less intrusive location is not possible and,
 - b) a higher location will improve reception
3. The dish must be installed and grounded properly.
4. Satellite dishes may not be located in front or side yards and shall meet all setbacks applicable to accessory structures.
5. Satellite dishes shall be screened from view with dense landscaping materials, fences, or other solid materials, to the extent that it does not impair reception.
6. Satellite dishes with a reflective surface shall be painted a subdued or natural color.
7. Satellite dishes shall not be located on a roof.

7. MANUFACTURED HOUSING STANDARDS

In no instance may a manufactured home be used for a nonresidential purpose. A manufactured home must bear a seal certifying that it was built to the standards adopted on July 1, 1976 that meets or exceeds the construction standards promulgated by the US Department of Housing and Urban Development that were in effect at the time of construction and that satisfies each of the following additional criteria:

Materials

1. The exterior siding consists of wood, hardboard, vinyl, brick or aluminum and shall be comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction.
2. The roof shall be finished with a type of shingle that is commonly used in standard residential construction.
3. A continuous, permanent brick foundation or curtain wall, unpierced except for required ventilation and access, shall be installed upon a poured concrete footer after placement on the lot, and before occupancy.

Configurations

1. The minimum width (the width being the narrower of the two overall dimensions) of the main body of the manufactured home as assembled on the site shall be at least twenty-two (22) feet for a distance extending along the length (the length being the longer of the two overall dimensions) of at least twenty (20) feet.
2. Stairs, porches, entrance platforms and other means of entrance and exit to the manufactured home shall be installed and constructed in accordance with the standards set by the by the NC Department of Insurance.
3. The pitch of the roof of the manufactured home shall have a minimum vertical rise of four (4) feet for each twelve (12) feet of horizontal run, or the standard of each individual manufacturer's equivalent to a 4' x 12' roof pitch. Not applicable to existing manufactured home parks.
4. The roof of the manufactured home shall have an overhang (eave) extending at least ten (10) inches from each vertical exterior wall. A site installed gutter may be counted in the width of the eave.

Techniques

1. The manufactured home is set up on the site in accordance with the standards set by the NC Department of Insurance.
2. The manufactured home shall face the fronting street
3. The tongue, axes, transporting lights, and removable towing apparatus are removed after placement on the lot and before occupancy.

8. GENERAL PROVISIONS

- a) No manufactured home shall be located within a 100 year *flood plain* as established by the most recent Federal Emergency Management Agency map.
- b) All parking shall be on-site in side or rear yards and driveways only.
- c) Developments with twenty or more homes shall have at least four entrances/exits.
- d) Streets shall follow the provisions of Section 3.15 (b). Private streets do not require curb and gutter. Sidewalks shall be provided as per Section 3.15 (d). *Note: These references are for a previous Ordinance. For current reference, please see Chapter 8.*
- e) Open Space shall be provided for as per Section 3.15(h) and 3.16 *Note: These references are for a previous Ordinance. For current standards, please see Chapter 7.*
- f) Landscaping shall be provided for as per Section 3.15(I) and 3.15 (j). *Note: These references are for a previous Ordinance. For current reference, please see Chapter 11.*

5.18 CONDITIONAL DISTRICTS (CD)

Conditional Districts provide for orderly and flexible development under the general policies of the base district without the constraints of the general district standards. Because Conditional District developments are constructed in a comprehensive manner, they establish their own building, street, block, and lot pattern which may be unique from other surrounding blocks or neighborhoods. This Conditional District may be used in any district but is not intended to relieve hardships that would otherwise be handled using a variance procedure.

A. Applicability:

District	Minimum Area Required
Rural Residential (R-R)	40 Acres
Suburban Residential (S-R)	15 Acres
General Residential (G-R)	15 Acres
Neighborhood Center-Residential (NC-R)	None
Neighborhood Center-Commercial (NC-C)	None
Downtown District (D-D)	None
Highway Commercial (H-C)	2 Acres
Infill Development (INF-D)	3 Acres
Traditional Neighborhood Development (TND)	30 Acres
Business Campus Development (BC-D)	10 Acres
Institutional Campus Development (IC-D)	15 Acres
Rural Commercial	2 Acres
Manufactured Home Residential (MH-R)	5 Acres
South Point Peninsula Overlay District	10 Acres

B. Modification to General Provisions:

Within a Conditional District (CD), any proposed use must be allowed in of the corresponding Base District. Conditions and site-specific standards imposed in a conditional district shall be limited to those that address the conformance of the development and use of the site to city ordinances and an officially adopted comprehensive or other plan and those that address the impacts reasonably expected to be generated by the development or use of the site. If no specific request is made by the petitioner to the change in the development standards or if the petition is silent on the point, it shall be understood that the underlying zoning district guidelines and standards

shall apply. In addition to the modification of specific district provisions (except use), the following General Provisions as detailed in Chapters 4-11 may be varied if specifically requested by the petitioner as part of a Conditional District application:

CH	Title	Exception to modifications:
4	Building Type Requirements	
5	District Provisions	Uses permitted may not be varied unless the use proposed is not currently defined or contemplated by the Code
6	Additional Requirements for Certain Uses	
7	Open Space	May substitute required open space for payment in lieu in accordance with Section 7.2. Amount required may not be reduced.
8	Streets and Greenways	Variations already permitted by Section 8.1. No further modifications permitted.
9	Parking	
10	Signs	Only standards in Section 10.1, 10.2, and 10.3 may be varied. Signage may exceed the permitted amount by no more than 50%.
11	Tree Protection and Landscaping	No further modifications permitted. Alternate Methods of Compliance provided in Section 11.5.

C. Establishment of a Conditional District (CD)

For the development plan review process for the establishment of a Conditional District (CD), please see Section 15.6.

5.19 SOUTH POINT PENINSULA OVERLAY DISTRICT (SPP-O)

The South Point Peninsula Overlay is coded to allow low to moderate density development in areas farther from central Belmont in keeping with the adopted Comprehensive Land Use Map. This overlay provides the opportunity to fulfill the vision of the Suburban Neighborhood, Semi-Rural Neighborhood, and the Village Center Neighborhoods while providing flexibility through the Conditional District Zoning process.

<p>1. Permitted Building Types Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p style="text-align: center;">Detached House – Alley and Street Lot Townhouse Civic Building TND Building Types*</p> <p>* Underlying zone must be TND and requires Conditional District Zoning</p>
<p>2. Specific District Provisions Any exceptions to these requirements may be considered through a Conditional Zoning District.</p>	<p>1. Minimum Lot Size The minimum lot size for a duplex home shall be 21,780 square feet, except with approval of a special use permit.</p> <p>2. Maximum Development Density Maximum Density (on a project by project basis): 3 DUA Exceptions may be considered or developments within a planned village center as represented in the Comprehensive Land Use Map by Conditional District Zoning.</p> <p>3. Permitted Building Type Ratio The maximum number of Detached House-Alley Lot and Townhouse buildings in a GR or SR development shall not exceed 30% of the total number of units. See TND ratios if applicable. Conditional Zoning District Required.</p> <p>4. Lot Width On infill lots, the minimum lot width shall be equal to the average lot width of lots within 300 feet or 1 block length (whichever is greater), except with approval of special use permit.</p> <p>5. Setbacks – See Building Types</p>

5.20 SOUTH FORK OVERLAY DISTRICT (SF-O)

The South Fork Overlay is a zoning tool designed to implement the vision of the newly adopted South Fork Small Area Plan. This overlay district is for mixed use development consisting of a mix of residential types and densities, future office and retail uses in the village centers, supported by recreational open space and a multi-modal roadway network. The small area plan is found on pages 194-200 of the Comprehensive Land Use Plan.

<p>1. Permitted Building Types</p> <p>Except where topographic or pre-existing building conditions prohibit, all new buildings shall front on public streets.</p>	<p>See South Fork Small Area Plan and Underlying Zoning District</p>
<p>2. Specific District Provisions</p> <p>Development shall follow the community form principles of the small area plan.</p>	<p>1. Minimum Lot Size</p> <p>The minimum lot size for a duplex home shall be 10,000 square feet, except with approval of a special use permit.</p> <p>2. Maximum Development Density</p> <p>Maximum Density (on a project by project basis): 3 DUA gross acre in residential areas of the small area plan (outside of the planned village centers).</p> <p>Planned village centers, as represented in the small area plan map, shall be processed by Conditional District Zoning.</p> <p>3. Permitted Building Type Ratio</p> <p>The maximum number of Detached House-Alley Lot and Townhouse buildings in a GR zone shall not exceed 30% of the total number of units.</p> <p>4. Lot Width – See Building Type</p> <p>5. Setbacks – See Building Types</p>