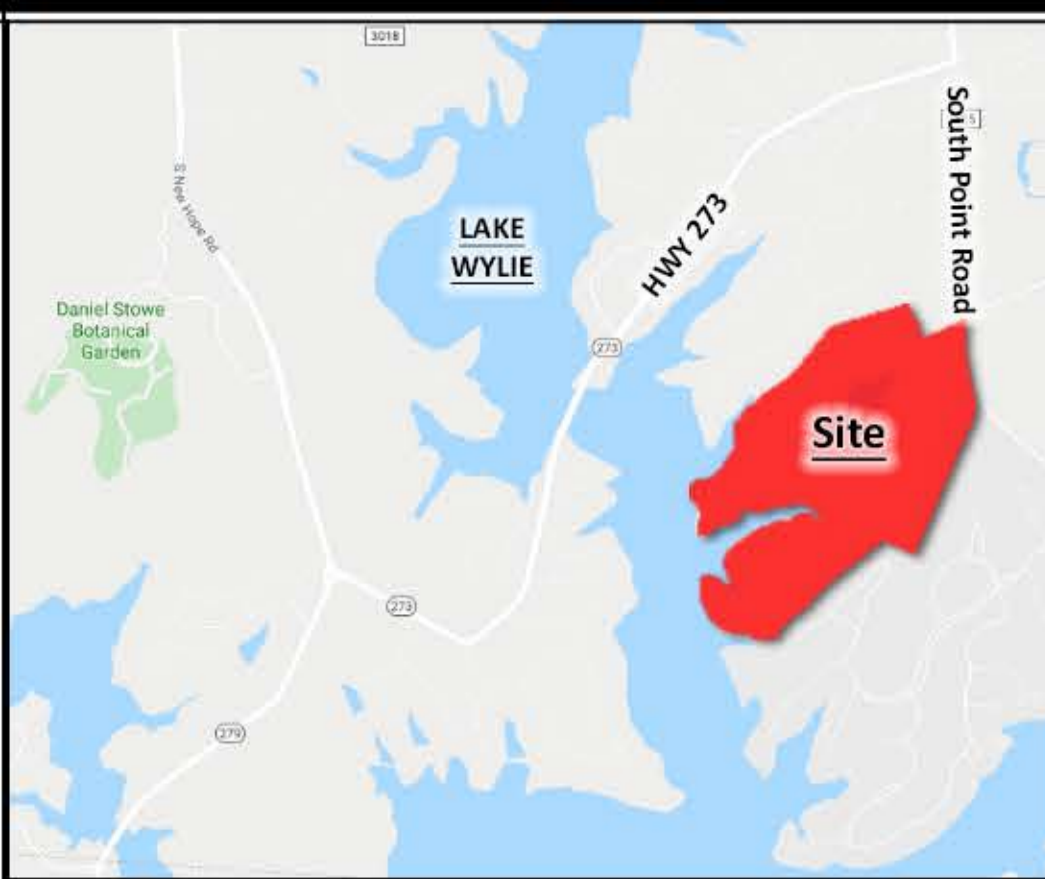
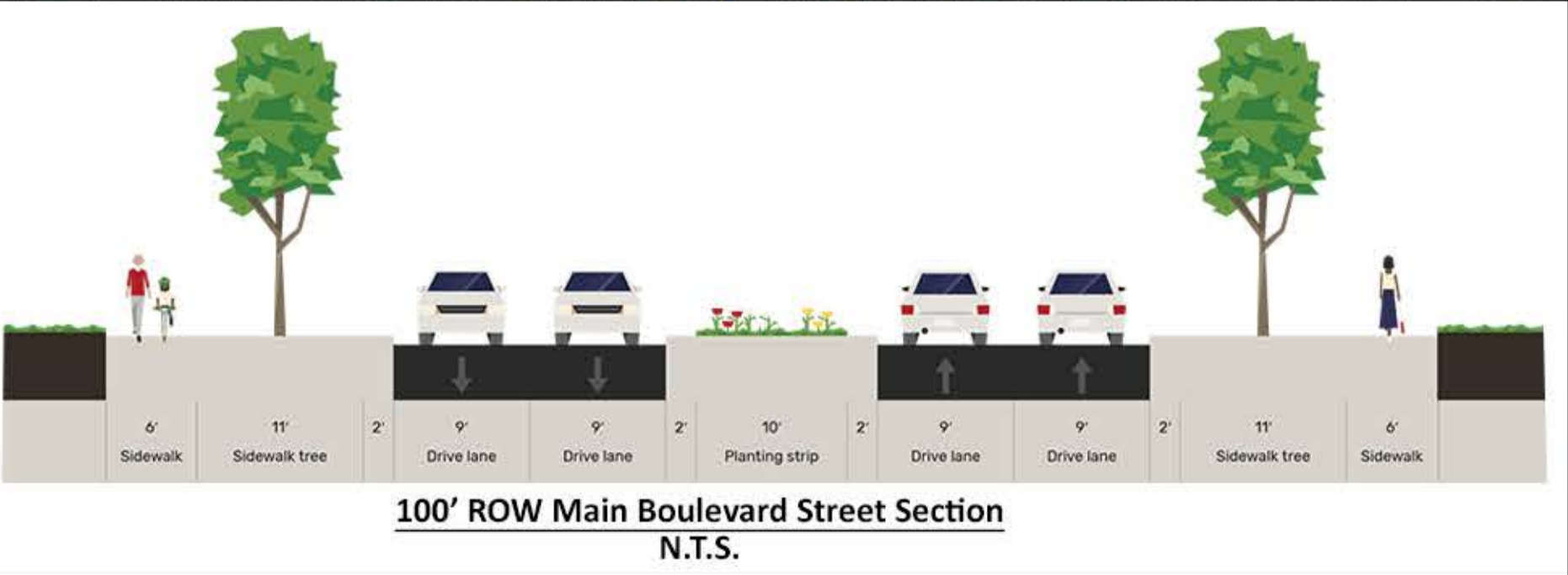
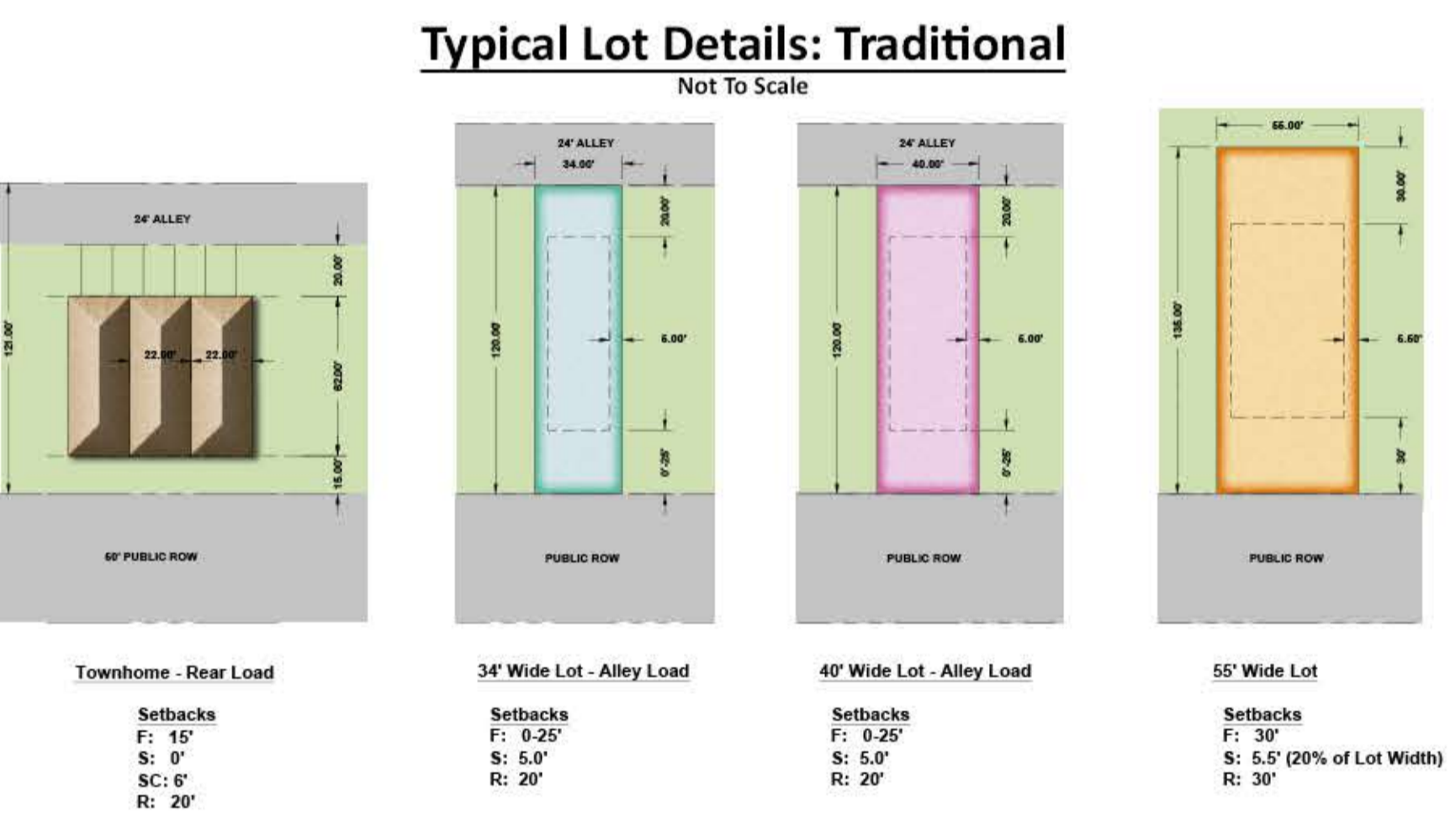
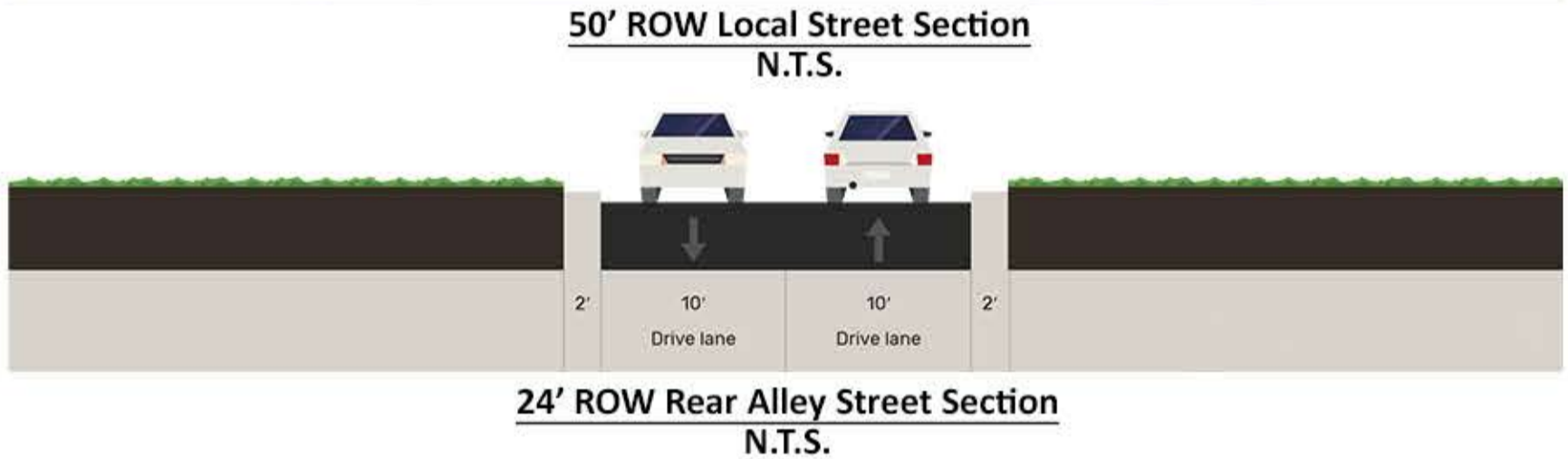
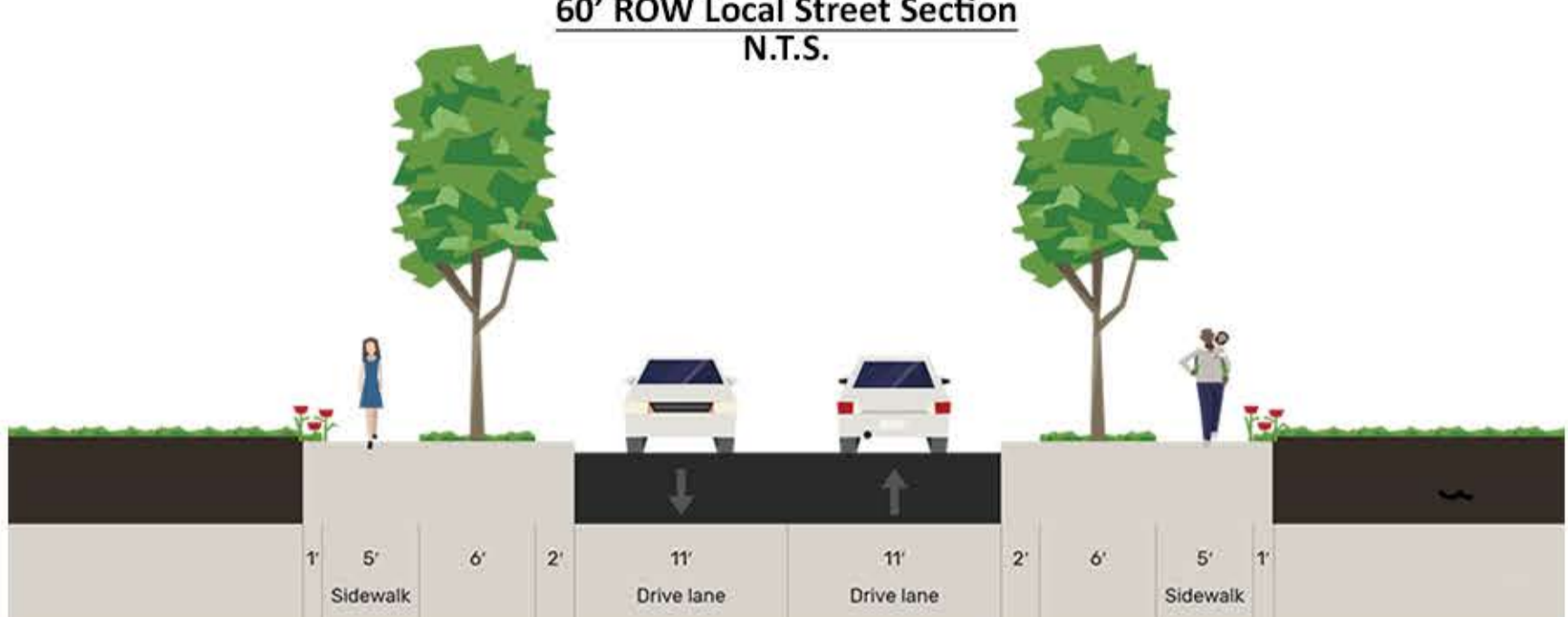
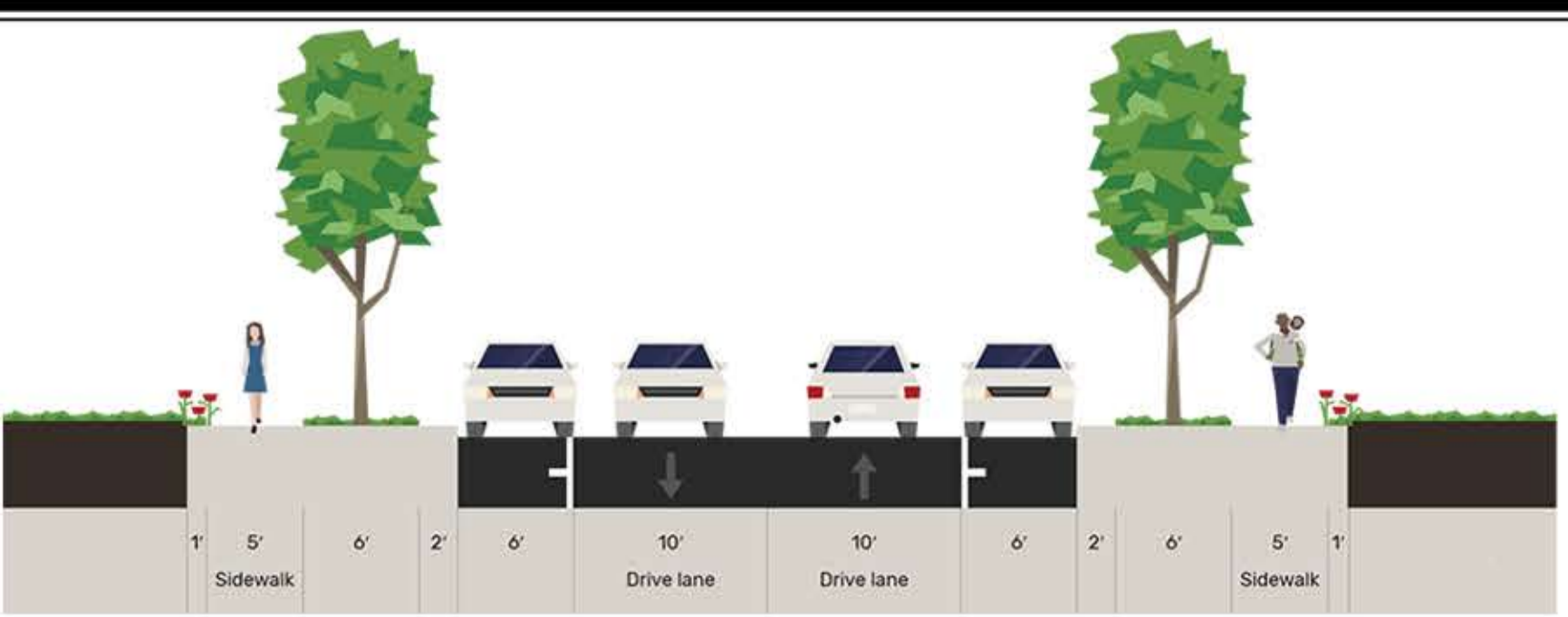
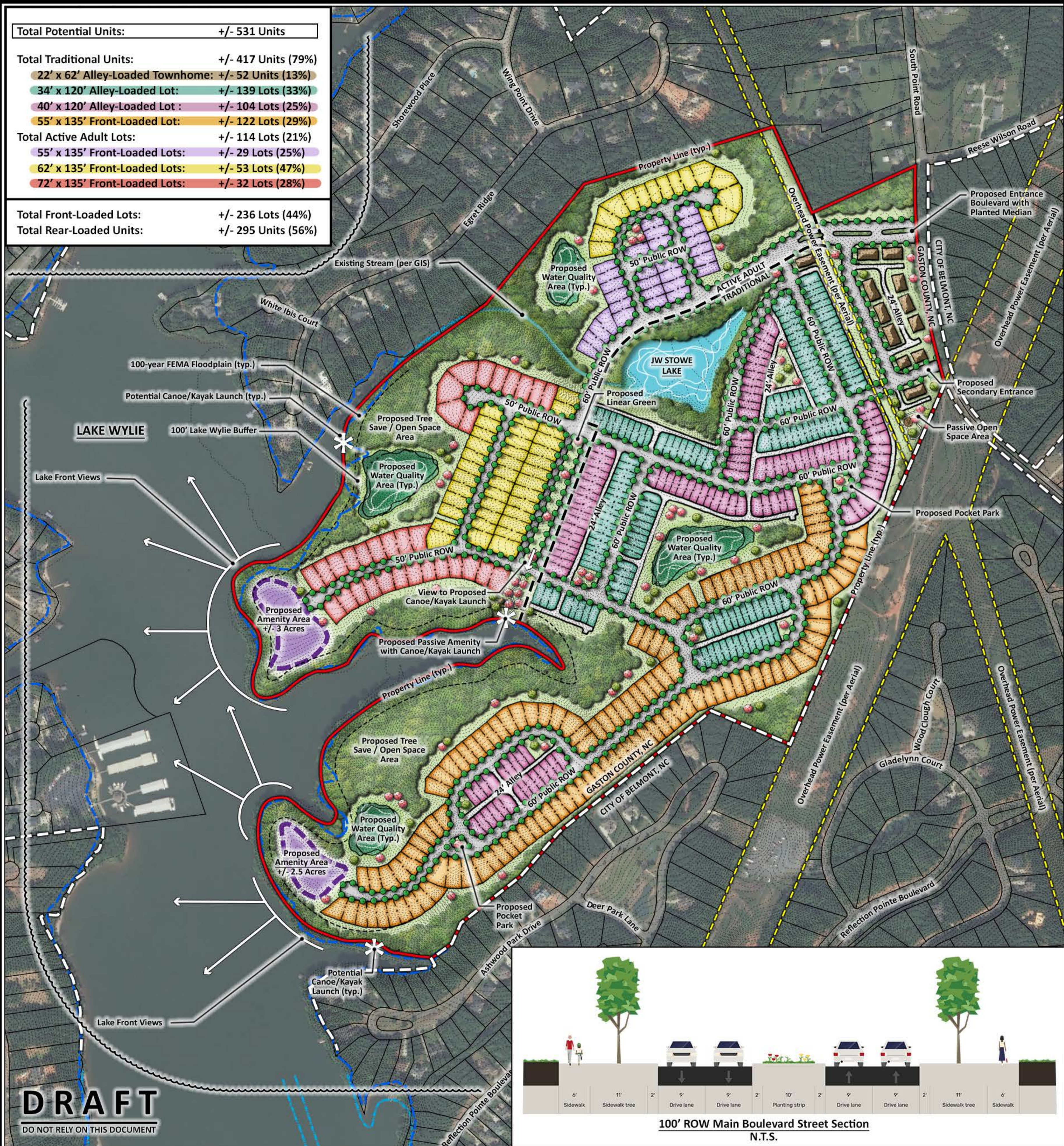


Total Potential Units:	+/- 531 Units
Total Traditional Units:	+/- 417 Units (79%)
22' x 62' Alley-Loaded Townhome:	+/- 52 Units (13%)
34' x 120' Alley-Loaded Lot:	+/- 139 Lots (33%)
40' x 120' Alley-Loaded Lot:	+/- 104 Lots (25%)
55' x 135' Front-Loaded Lot:	+/- 122 Lots (29%)
Total Active Adult Lots:	+/- 114 Lots (21%)
55' x 135' Front-Loaded Lots:	+/- 29 Lots (25%)
62' x 135' Front-Loaded Lots:	+/- 53 Lots (47%)
72' x 135' Front-Loaded Lots:	+/- 32 Lots (28%)
Total Front-Loaded Lots:	+/- 236 Lots (44%)
Total Rear-Loaded Units:	+/- 295 Units (56%)



Vicinity Map
Not To Scale

Site Data:

Tax Parcels: 193557, 193558, 193559, & 201459

Total Acreage: +/- 221.36 Acres (per GIS)

Location:
Existing: Gaston County, NC
Proposed: Belmont, NC

Zoning:
Existing: R-1 (Scenic View Overlay & Highway Corridor Overlay) (Gaston County, NC)
Proposed: SR (CD) (Belmont, NC)

Watershed: Duharts Creek-South Fork Catawba River

Total Potential Units: +/- 531 Units

Potential Density: +/- 2.40 DU/AC

Open Space:
Required: +/- 22.94 Acres *
Proposed: +/- 22.94 Acres Min.

Tree Save:
Required: +/- 52.4 Acres (25% Exist. Canopy)
Proposed: +/- 52.4 Acres (25%) Min.

*** Note:** Open Space Requirement is calculated by multiplying the number of bedrooms per unit x (number of units x 520 SF): 3.5 (549 x 520) = 999,180 SF

General Notes

1. Base information provided by Gaston County GIS Data and should be verified for accuracy.
2. All site plan, zoning, and wetland information utilized in the preparation of this plan is considered to be preliminary in nature and subject to change and final verification.
3. Draft - Do not rely on this document.

Floodplain Information
Floodplain information obtained from FEMA FIRM Panels 3710359200J & 3710359100L effective date of study 09/28/2007 & 09/02/2015

Stream/Wetland Information
Stream/Wetland information is based on preliminary information provided to ESP by Gaston County GIS data. For purposes of preparation of this Sketch Plan, any potential wetland areas and stream features depicted on the plan are considered to be preliminary in nature and approximate in location. The Sketch Plan will need to be revised once all agencies approved on-site wetland/stream and appropriate jurisdictional boundaries are surveyed and verified with acceptable levels of accuracy-unit loss may occur.

Access Points/Driveways/Streets

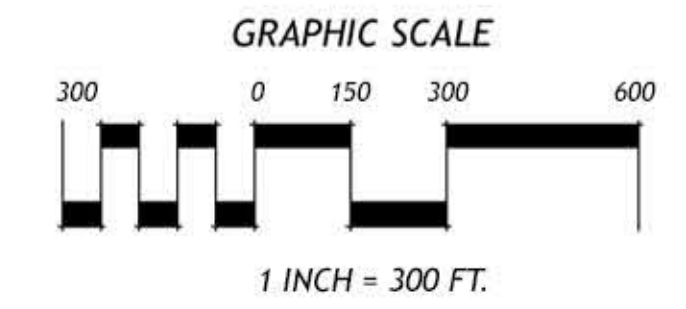
1. Proposed project site entrance locations are considered preliminary in nature and need to be verified for adequate sight distance.
2. All roadway and street systems are considered to be preliminary and will need to be verified for sufficiency to satisfy or exceed minimum requirements established in the Gaston County and applicable standards identified by NCDOT. Street connections are conceptual and may be subject to change based on agency input and review.

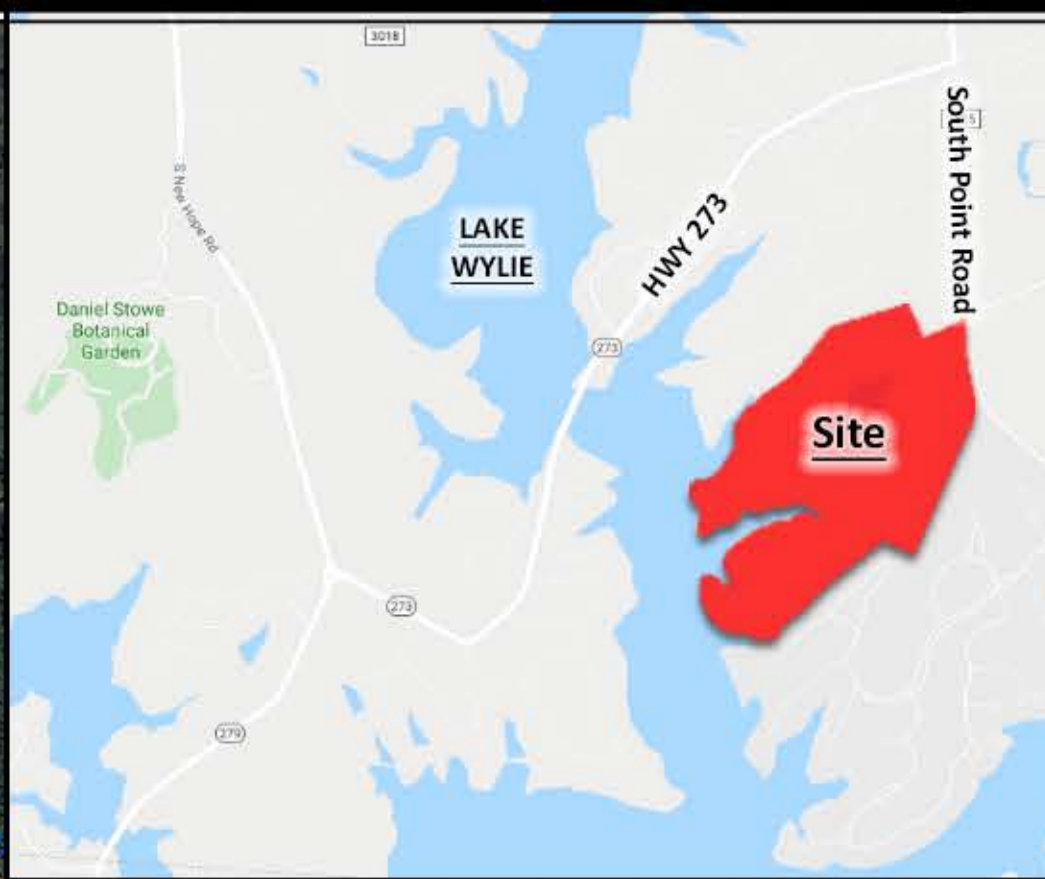
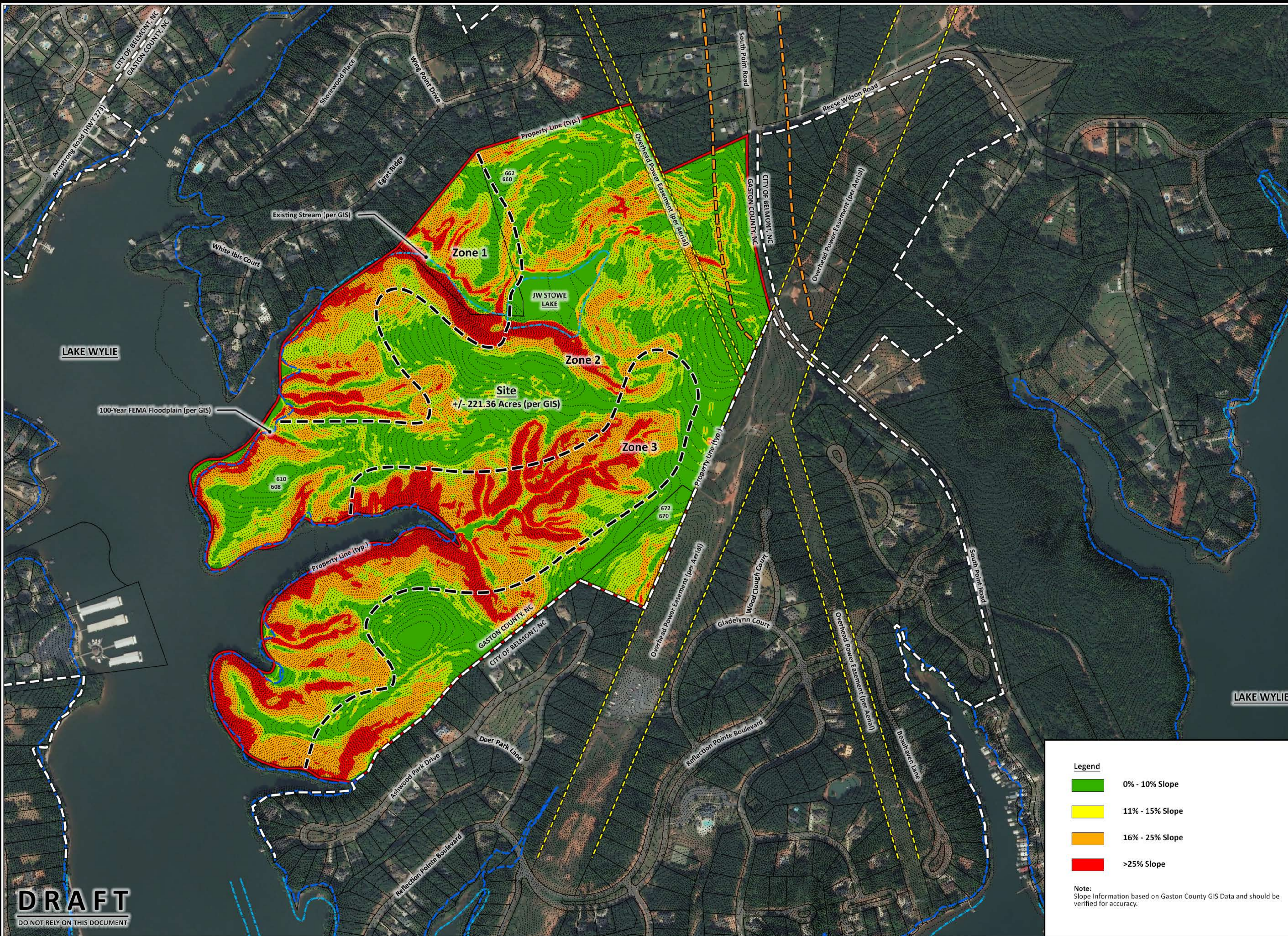
Open Space /Tree Save
Open Space and Tree Save areas are conceptual and preliminary. The exact location of these areas may change as the client finalizes decisions regarding final layout, product allocation, and as other spatially dependent project components such as stormwater areas, wetland areas, utility features, and buffers, (as applicable) for this project are better defined.

Potential Stormwater Quality Areas
Location of proposed stormwater areas are conceptual and preliminary and still need to be determined. The exact size and location of these areas will change as the client finalizes decisions regarding final layout, product allocation, and as other proposed changes to the project are better defined. Layout and unit count subject to change based on final design of stormwater areas.

Public Information
ESP Associates is not responsible for plan deficiencies created by incorrect, incomplete, missing or outdated information derived from public sources such as GIS, Planning and Zoning departments.

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Watershed:	Duharts Creek-South Fork Catawba River

General Notes
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Tree Zone Legend
 The vegetation has been classified according to general location and characteristics and is described below.

Zone 1 - This portion of the site consists primarily of hardwood deciduous trees including White Oak (*Quercus alba* L.), Scarlet Oak (*Quercus coccinea* Muench.), Yellow Poplar (*Liriodendron tulipifera* L.), Sweet Gum (*Liquidambar styraciflua*), Eastern Redbud (*Cercis canadensis* L.) and similar species. The topography in this area is the steepest on site, with some portions having a slope greater than 25%. A stream flows through this zone, and a small area is lakeside.

Zone 2 - This area contains mostly evergreen trees with some deciduous scattered throughout. Many Pine species such as the Loblolly Pine (*Pinus taeda*) and Shortleaf Pine (*Pinus echinata* Mill.) characterize this area along with Eastern Red Cedar (*Juniperus virginiana* L.) and several of the same deciduous species in zone 1. This is the flattest zone; only has a few locations that exceed 15% slope. A significant portion is lakeside.

Zone 3 - This area is mostly deciduous and consists of hardwood trees including White Oak (*Quercus alba* L.), Scarlet Oak (*Quercus coccinea* Muench.), Yellow Poplar (*Liriodendron tulipifera* L.), Sweet Gum (*Liquidambar styraciflua*), Eastern Redbud (*Cercis canadensis* L.) and similar species. There are some evergreen trees scattered throughout including many Pine species (*Pinus*). The topography in this area is steep, with many portions having a slope greater than 25%. A significant portion is lakeside.

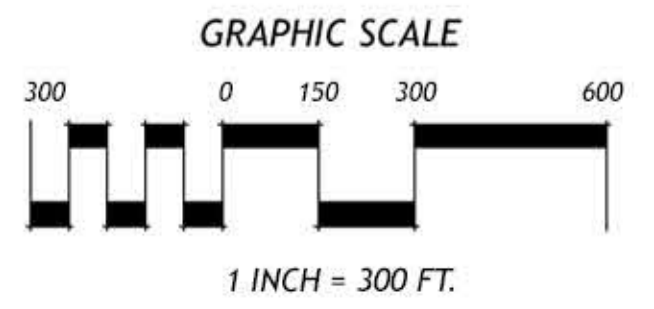
Note: Conceptual Tree Exhibit information based on GIS data provided by Gaston County GIS and subject to verification based on field visit.

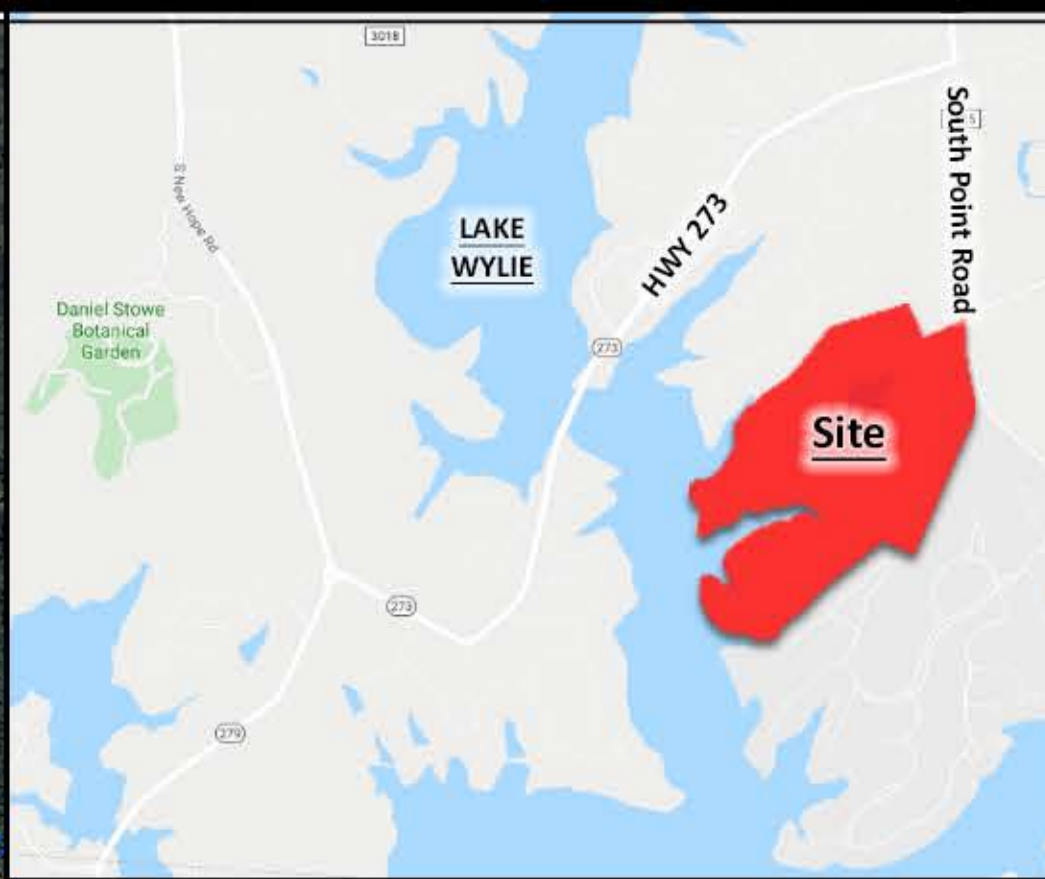
Legend

	0% - 10% Slope
	11% - 15% Slope
	16% - 25% Slope
	>25% Slope

Note: Slope Information based on Gaston County GIS Data and should be verified for accuracy.

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Note: Conceptual Tree Exhibit information based on GIS data provided by Gaston County GIS and subject to verification based on field visit.

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Lakeview Farms Site
Sketch Plan - Conceptual Tree Exhibit

ESP Job #HW58
 SKPR2020.12)
 Revised November 19, 2020

