

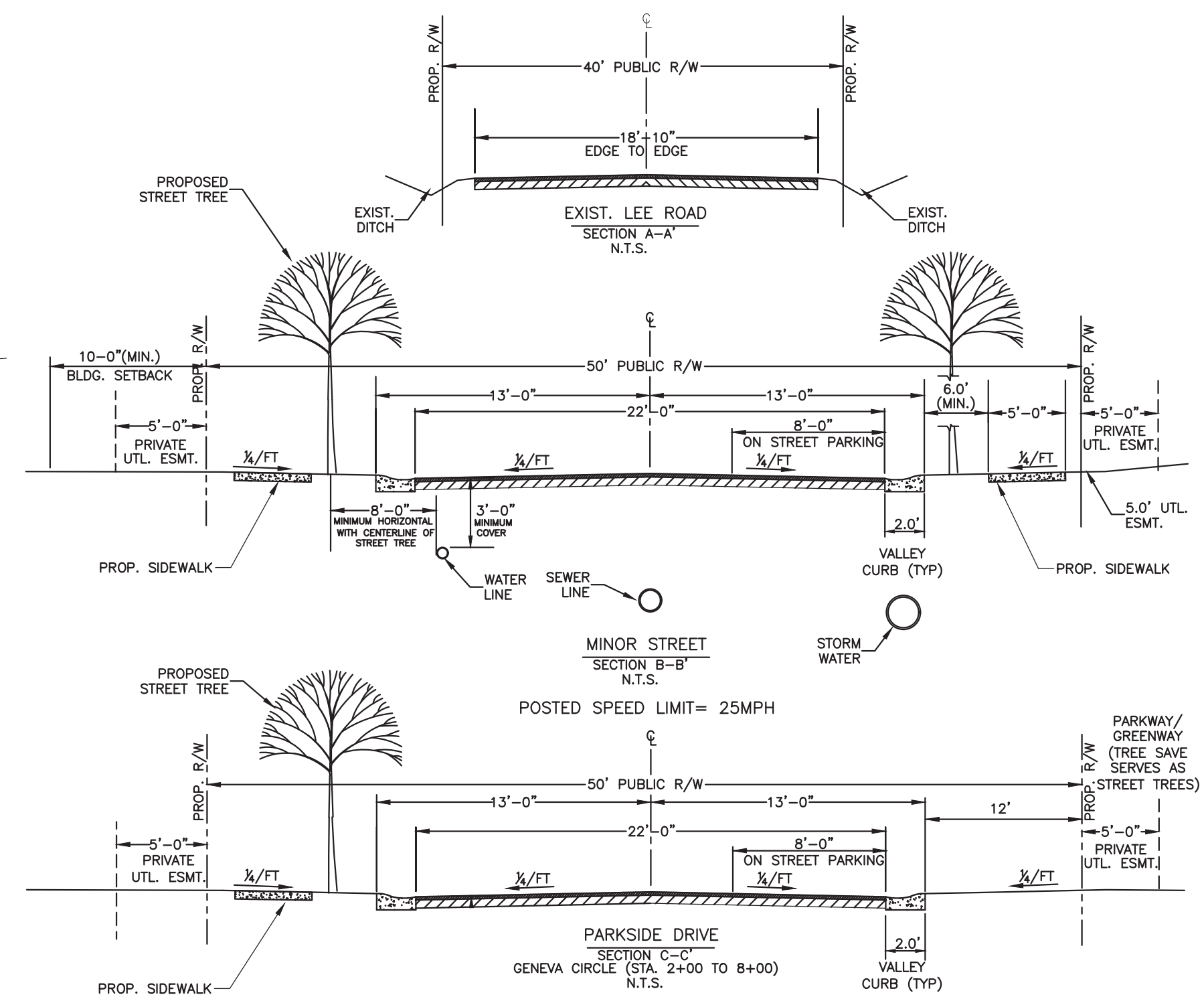
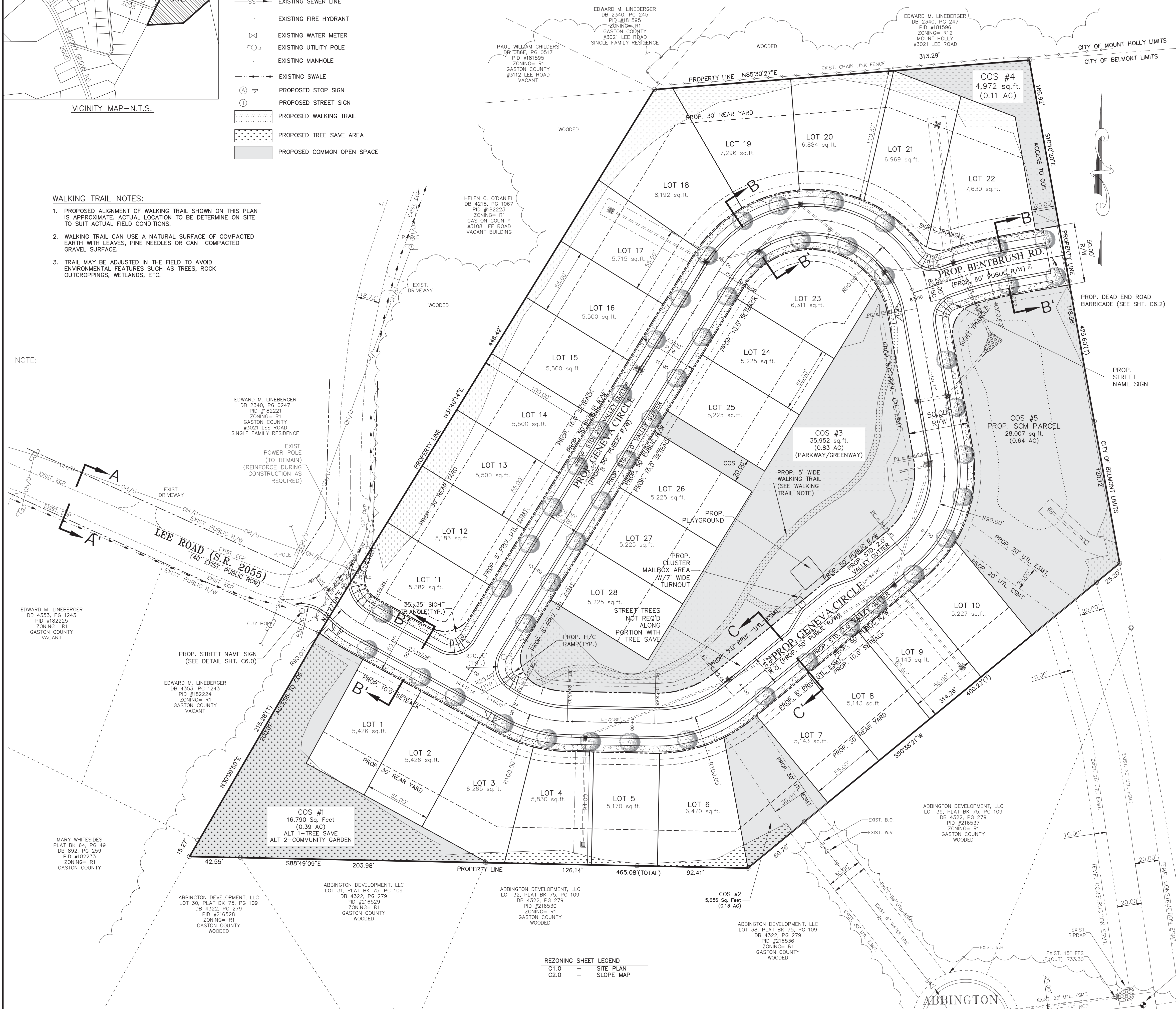
- LEGEND**
- PROPOSED LARGE MATURING TREE @ 40.0' O.C.
  - EXISTING TREELINE
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING UTILITY POLE
  - EXISTING MANHOLE
  - EXISTING SWALE
  - PROPOSED STOP SIGN
  - PROPOSED STREET SIGN
  - PROPOSED WALKING TRAIL
  - PROPOSED TREE SAVE AREA
  - PROPOSED COMMON OPEN SPACE

VICINITY MAP-N.T.S.

**WALKING TRAIL NOTES:**

1. PROPOSED ALIGNMENT OF WALKING TRAIL SHOWN ON THIS PLAN IS APPROXIMATE. ACTUAL LOCATION TO BE DETERMINE ON SITE TO SUIT ACTUAL FIELD CONDITIONS.
2. WALKING TRAIL CAN USE A NATURAL SURFACE OF COMPACTED EARTH WITH LEAVES, PINE NEEDLES OR CAN COMPACTED GRAVEL SURFACE.
3. TRAIL MAY BE ADJUSTED IN THE FIELD TO AVOID ENVIRONMENTAL FEATURES SUCH AS TREES, ROCK OUTCROPPINGS, WETLANDS, ETC.

NOTE:



**DEVELOPER:**  
HABITAT FOR HUMANITY OF GASTON COUNTY  
ATTN: KAY PENINGER  
1840 E. FRANKLIN BLVD.  
GASTONIA, NC 28054  
PH: 704-874-0499/FAX: 704-864-3139  
EMAIL: KAY@HABITATGASTON.ORG

**ENGINEER/SURVEYOR/PLANNER:**  
THE ISAACS GROUP, P.C.  
8720 RED OAK BLVD., STE. 420  
CHARLOTTE, NC 28217  
PH: 704-527-3440/FAX: 704-527-8335

**DEVELOPMENT DATA:**

TOTAL SITE ACREAGE: 7.58 ACRES  
EXISTING ZONING: S-R (SUBURBAN RESIDENTIAL)  
PROPOSED ZONING: GR-CO (GENERAL RESIDENTIAL CONDITIONAL DISTRICT)  
COUNTY: GASTON COUNTY  
WATERSHED CLASSIFICATION: CATAWBA RIVER WS-IV PROTECTED AREA  
TAX PARCEL: 182236 BELMONT

TOTAL SINGLE FAMILY LOTS: 28 LOTS  
DENSITY ALLOWED: 6.0 UNITS/ACRE  
DENSITY PROVIDED: 28/7.58 = 3.69 LOTS/ACRE  
MIN. AREA/LOT ALLOWED: 4,000 S.F.  
MIN. AREA/AVG. AREA PROVIDED: 5,143 S.F. (MIN.) / 5,280 S.F. (AVG.)  
MINIMUM LOT WIDTH: 55 FT.  
MINIMUM FRONT SETBACK: 20 FT.  
MINIMUM FRONT SETBACK PROPOSED: 10 FT.

SIDE YARD: 20% OF LOT WIDTH (MAY BE ALLOCATED ON ONE SIDE TO BE APPLIED CONSISTENTLY THROUGHOUT DEVELOPMENT EXCEPT ON CORNER LOTS)  
REAR YARD: 30 FT.  
CORNER YARD: 8 FT.  
MINIMUM PARKING PAD PROPOSED: 18' WIDE X 22' DEEP

TREE SAVE REQUIRED: 20%, OR 0.2(7.58) = 1.516 AC.\*  
TREE SAVE PROPOSED: 18.7%, OR 1.36 AC. (SHOWN ON THIS PLAN)  
ALT 1 (HABITAT PREFERRED): 13.5%, OR 1.024 AC. IF COMMUNITY GARDEN BUILT (SEE COS CALC BELOW)  
ALT 2: 0% OR 0.0 AC. IF ORDINANCE ADOPTED 10/04/2010 HONORED FOR THIS DEVELOPMENT  
ALT 3

NOTE: ANY TREESAVE INSIDE PRIVATE LOTS SHALL BE SHOWN AS A CONSERVATION EASEMENT ON FINAL PLAT.

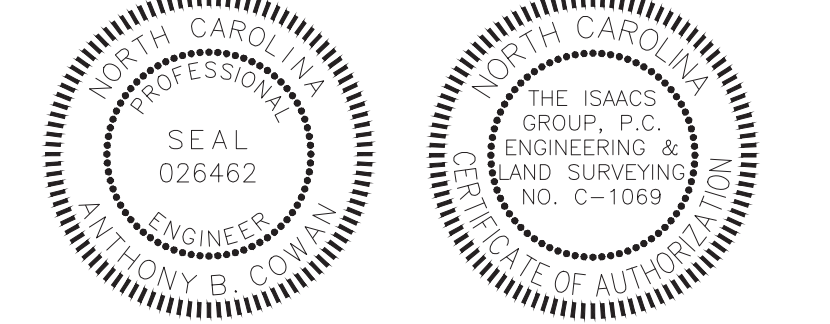
**COMMON OPEN SPACE CALCUS:**

DENSITY: 28/7.58 = 3.69 LOTS PER ACRE  
ESTIMATED BEDROOMS COUNT = 98 (3.5 ROOMS/LOT)  
OPEN SPACE MATRIX NUMBER = 520 (BASE)  
REQUIRED COS AREA = 98(520) = 50,960 S.F. ~ 1.17 ACRES

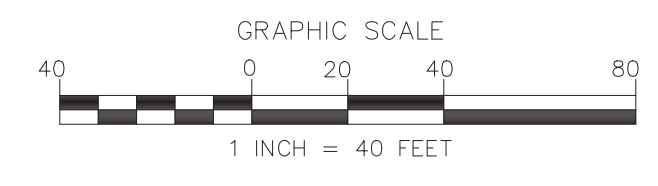
TOTAL COS PROVIDED:

- \* COS #1 ALT 1 (UNDEVELOPED/TREE SAVE): 0.39 AC.
- \*\* COS #1 ALT 2 (POTENTIAL COMMUNITY GARDEN): 0.39 AC.
- COS #2 (UNDEVELOPED): 0.13 AC.
- COS #3 (PARKWAY/GREENWAY): 0.83 AC.
- COS #4: (UNDEVELOPED): 0.11 AC.
- COS #5: (BMP PARCEL): 0.64 AC.
- TOTAL COS AREA PROVIDED: 2.10 AC.

\* TOTAL QUALIFYING IMPROVED COS AREA PROVIDED WITH ALT 1 = 0.83 AC. (COS #3 ONLY) (HABITAT PREFERRED)  
\*\* TOTAL QUALIFYING IMPROVED COS AREA PROVIDED WITH ALT 2 = 1.22 AC. (BOTH COS #3 + COS #1 WITH GARDEN)



Digitally signed by Anthony B. Cowan, P.E.  
Date: 2020.12.17 12:51:09-05'00'



**DIXON VILLAGE**  
BELMONT, NORTH CAROLINA

**REZONING SITE PLAN**

File #: 20162-SK.dwg Date: 11/13/2020 Project Egr: ABC  
LW: [Signature] Design By: ABC  
T: [Signature] Drawn By: ABC  
Scale: 1" = 40'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

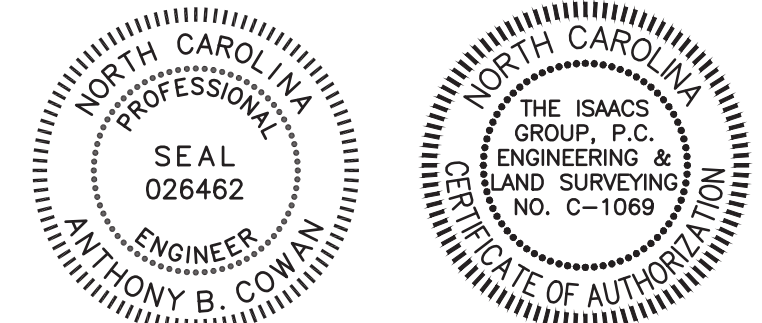
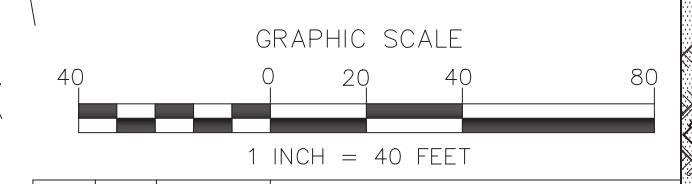
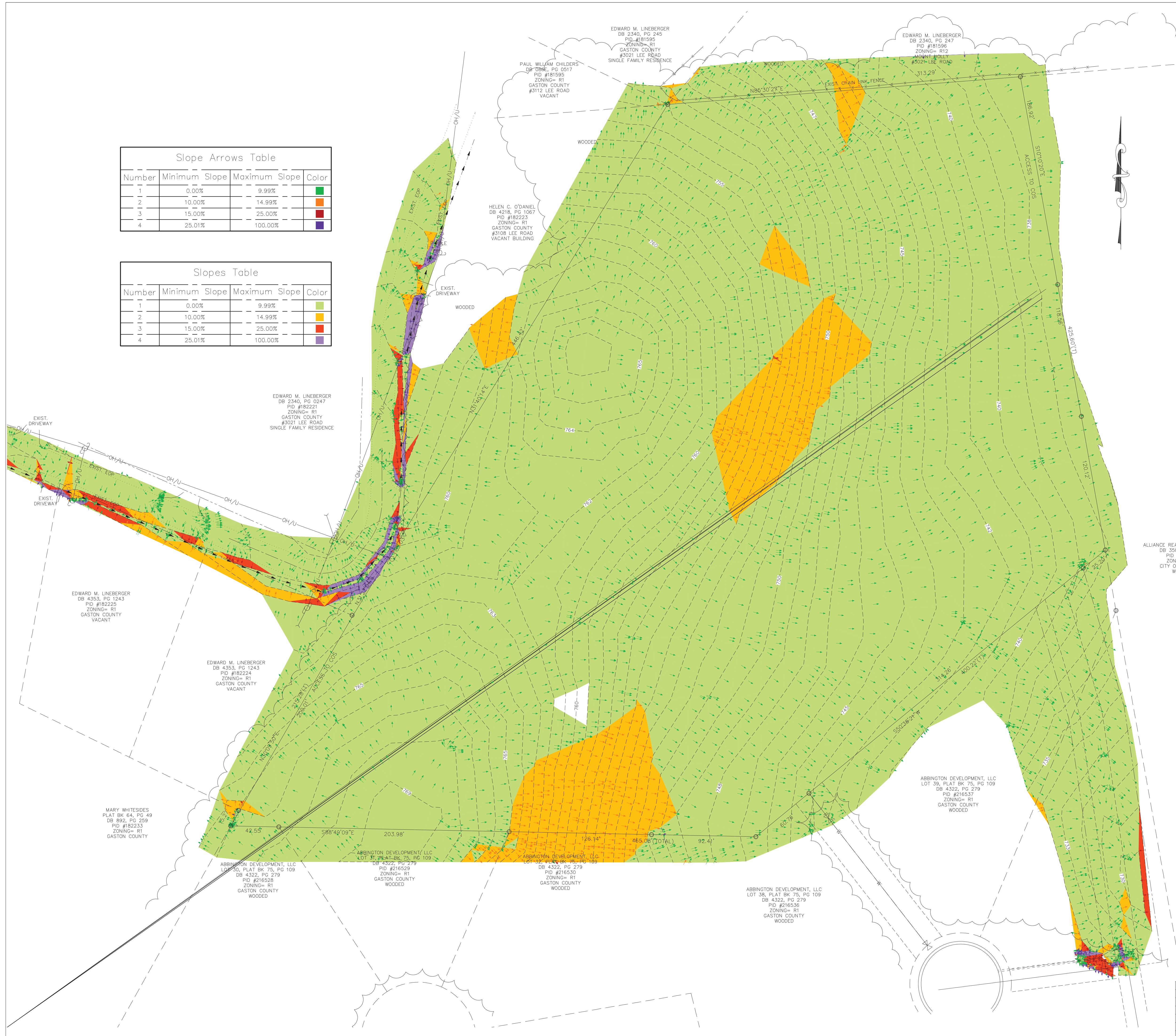
**RZ1.0**

**REZONING SHEET LEGEND**

C1.0	-	SITE PLAN
C2.0	-	SLOPE MAP

Slope Arrows Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	9.99%	Green
2	10.00%	14.99%	Orange
3	15.00%	25.00%	Red
4	25.01%	100.00%	Purple

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	9.99%	Light Green
2	10.00%	14.99%	Yellow
3	15.00%	25.00%	Orange
4	25.01%	100.00%	Purple



Digitally signed by  
Anthony B. Cowan, P.E.  
Date: 2020.11.13  
14:37:14-05'00'

NO.	BY	DATE	REVISION

Project: **DIXON VILLAGE**  
BELMONT, NORTH CAROLINA

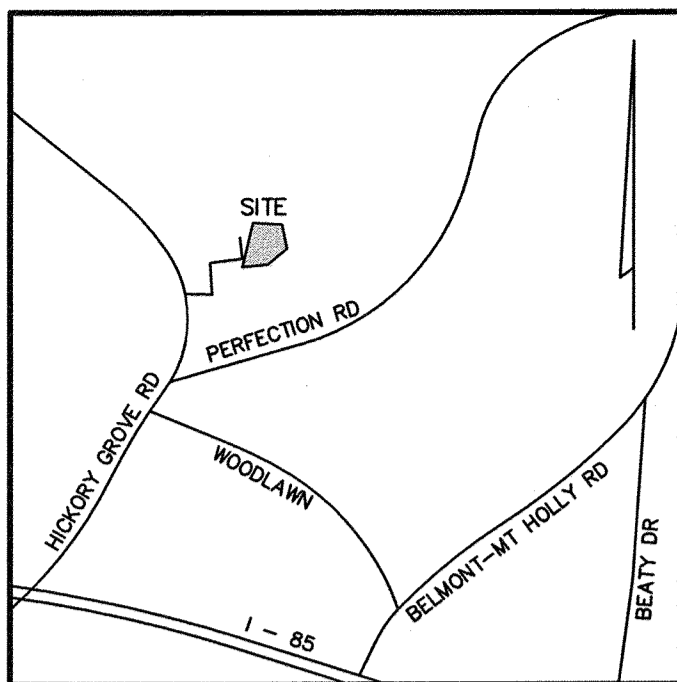
Title: **SLOPE ANALYSIS**  
PRE-DEVELOPED CONDITIONS

File #: 09118.dwg Date: 11/12/20 Project Egr: ABC

**THE ISAACS GROUP, P.C.**  
CIVIL ENGINEERING DESIGN AND LAND SURVEYING  
Scale: 1"=40'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

C5.3



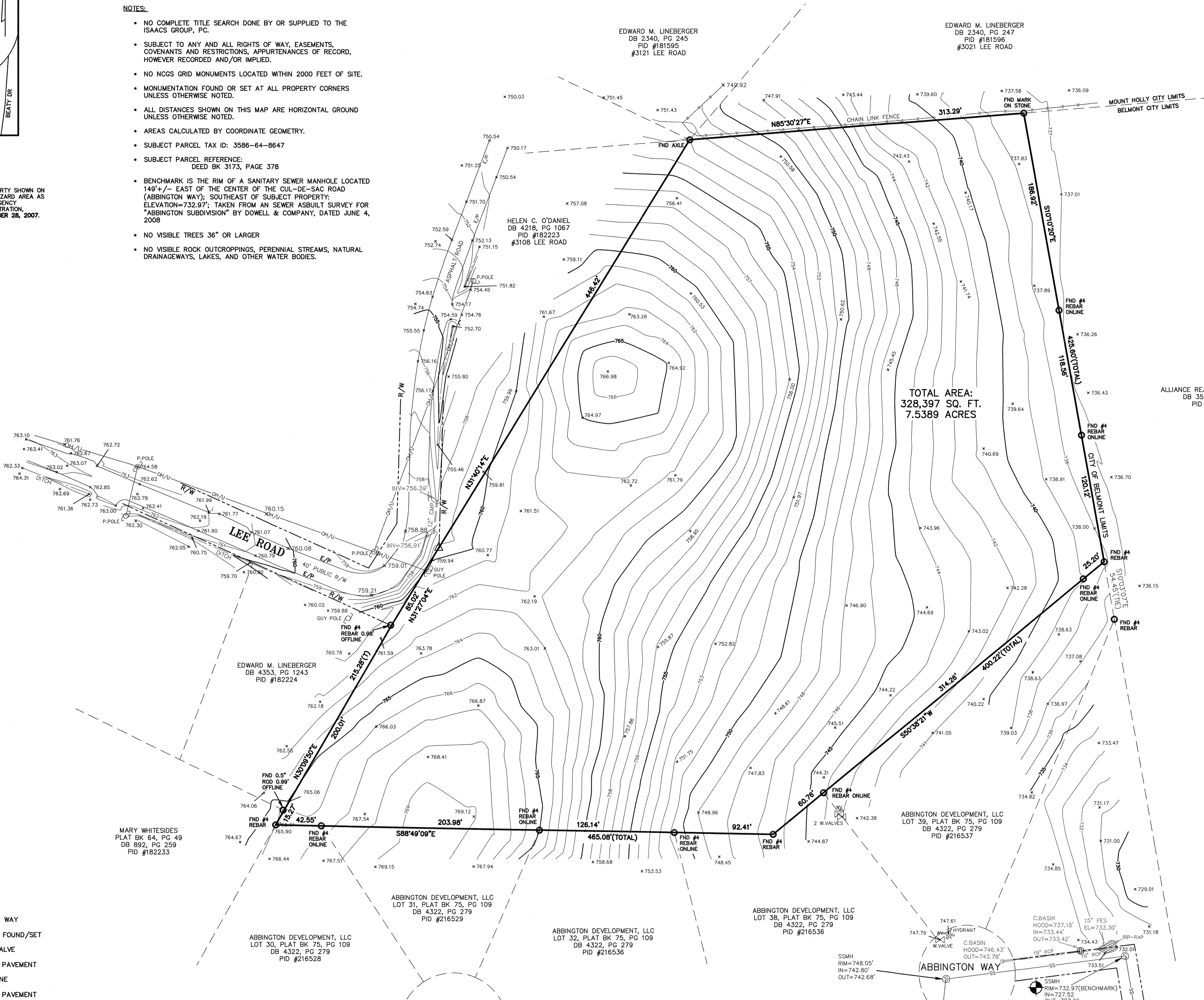
VICINITY MAP  
NOT TO SCALE

**FLOOD CERTIFICATION**

THIS IS TO CERTIFY THAT A PORTION OF THE PROPERTY SHOWN ON THIS PLAT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, COMMUNITY NUMBER 371035-86004, DATED SEPTEMBER 28, 2007.

**NOTES:**

- NO COMPLETE TITLE SEARCH DONE BY OR SUPPLIED TO THE ISAACS GROUP, PC.
- SUBJECT TO ANY AND ALL RIGHTS OF WAY, EASEMENTS, COVENANTS AND RESTRICTIONS, APPURTENANCES OF RECORD, HOWEVER RECORDED AND/OR IMPLIED.
- NO NCGS GRID MONUMENTS LOCATED WITHIN 2000 FEET OF SITE.
- MONUMENTATION FOUND OR SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.
- ALL DISTANCES SHOWN ON THIS MAP ARE HORIZONTAL GROUND UNLESS OTHERWISE NOTED.
- AREAS CALCULATED BY COORDINATE GEOMETRY.
- SUBJECT PARCEL TAX ID: 3586-64-8647
- SUBJECT PARCEL REFERENCE: DEED BK 3173, PAGE 378
- BENCHMARK IS THE RIM OF A SANITARY SEWER MANHOLE LOCATED 149'4" EAST OF THE CENTER OF THE CUL-DE-SAC ROAD (ABBINGTON WAY); SOUTHEAST OF SUBJECT PROPERTY; ELEVATION=732.97'; TAKEN FROM AN SEWER ASBUILT SURVEY FOR "ABBINGTON SUBDIVISION" BY DOWELL & COMPANY, DATED JUNE 4, 2008
- NO VISIBLE TREES 36" OR LARGER
- NO VISIBLE ROCK OUTCROPPINGS, PERENNIAL STREAMS, NATURAL DRAINAGEWAYS, LAKES, AND OTHER WATER BODIES.

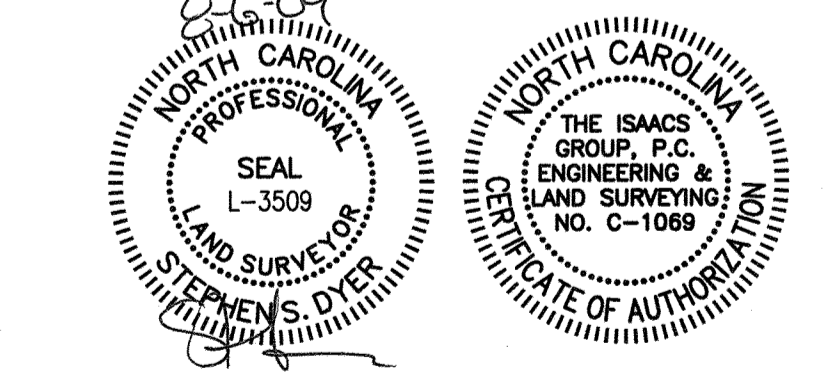


TOTAL AREA:  
328,397 SQ. FT.  
7.5389 ACRES

ALLIANCE REAL ESTATE III, INC.  
DB 3509, PG 343  
PID #182259

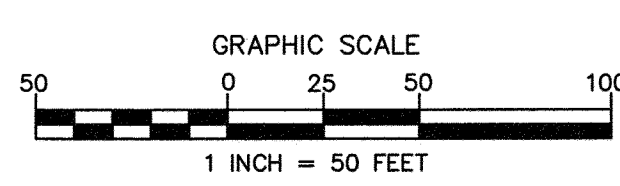
I, STEPHEN S. DYER, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED BOOK 196, PAGE 454); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DASHED LINES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH GS-17-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 23RD DAY OF JULY 2009.

STEPHEN S. DYER, PLS L-3509



**LEGEND:**

- R/W RIGHT OF WAY
- IRON PIN FOUND/SET
- ⊗ WATER VALVE
- E/P EDGE OF PAVEMENT
- CL CENTERLINE
- E/P EDGE OF PAVEMENT
- CMP CONCRETE MASONRY PIPE
- x— BARBED WIRE FENCE
- o— GUARD RAIL
- TBM TEMPORARY BENCHMARK
- SS— SANITARY SEWER LINE



NO.	BY	DATE	REVISION
1	CBH	08/06/09	REVISED PER BELMONT PLAN REQUIREMENTS

**BOUNDARY-TOPOGRAPHIC SURVEY**

**HABITAT FOR HUMANITY SITE**

SOUTHPOINT TOWNSHIP  
GASTON COUNTY, NORTH CAROLINA

File #: 09118-BT Date: 07-23-2009 Project P.L.S.: SSD

Surveyed By: BAL  
Drawn By: MWJ  
Scale: 1"=50'

**THE ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND LAND SURVEYING

8720 RED OAK BLVD. SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335



LEE ROAD

SITE

HICKORY GROVE ROAD