



CITY OF BELMONT

PLANNING & ZONING

Planning and Zoning Board Meeting
April 15, 2021

Application number: TA-2021.01 Parking area for single-family street lots

Request: Staff requests the planning and zoning board review and make a recommendation to city council to amend chapter 4 of the Belmont Land Development Code (LDC). The intent of the proposed text amendment is to clarify the parking pad requirement for single-family residential street lots to ensure adequate and safe off-street parking area.

Background: Parking regulations must be revised from time to time to meet the needs of the community. The parking needs of our residents have evolved, particularly as households have larger vehicles and a greater number of vehicles than ever before.

Staff found that adequate regulations exist for houses with garages, per a council amendment in 2012. However, regulations are lacking for houses without garages. To address this concern, staff has received feedback from residents, has observed parking pad lengths that work well, and has researched standards from other communities. We now present this amendment for consideration.

Analysis: Current regulations generally require two parking spaces for residential uses (one space per bedroom up to two per unit). For street lot houses with garages, the code says, *“If a house has a street-facing garage, a minimum 30-foot parking pad in front of garage shall be required, and shall be measured from the property line/right-of-way to the garage door.”* This provides adequate parking even if the garage is being used for storage.

Our parking regulations are not specific for houses without garages, leaving staff to default to the parking space dimensions of nine feet by 18 feet per space.

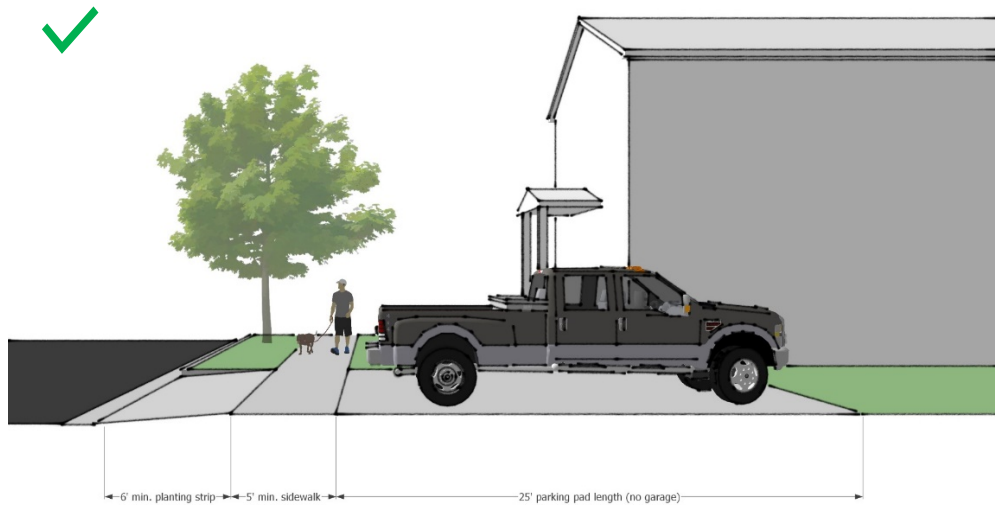
Staff conducted a comparison of parking requirements and found the city’s parking regulations are mostly in line with neighboring and jurisdictions. Generally, two parking spaces are required per dwelling unit with typical dimensions of nine feet by 18 to 20 feet. Regulations in Charlotte and Matthews include a defined parking pad area that is larger than the standard parking space dimensions.

<u>Jurisdiction</u>	<u>Spaces required</u>	<u>Area required</u>
Charlotte	2 spaces	20 ft. driveway and parking pad minimum length
Cornelius	2 spaces	9x19
Gastonia	2 spaces	9x19
Gaston County	2 spaces	9x19
Indian Trail	SF 2 spaces plus 1 per room rented	9x18
Matthews	2 spaces	9x20
		20 ft. from edge of sidewalk or property line

Further research shows that SUVs are often over 19 feet in length and large trucks often exceed 20 feet in length. Therefore, it is necessary to require a parking pad large enough for these vehicles with room to maneuver around and prevent encroachment onto an adjacent sidewalk or street.



Source: www.khou.com



Summary: Staff proposes increasing the minimum parking area for houses without garages from 18 to 25 feet in length, adding a minimum width requirement of ten feet to street lot parking pads, and making the other changes indicated in attachment A to update and add clarity to the parking pad requirements.

Building type	Existing requirement	Proposed parking pad requirement (per space)
Detached house-with garage	Parking pad 30 feet in length	30 feet in length x 10 feet in width
Detached house-without garage	9x18 feet per space	25 feet in length x 10 feet in width

Consistency Findings: The proposed text amendment is consistent with goals # 1, 3, and 4 of the Comprehensive Land Plan that address Land Use, Mobility, and Community Character.

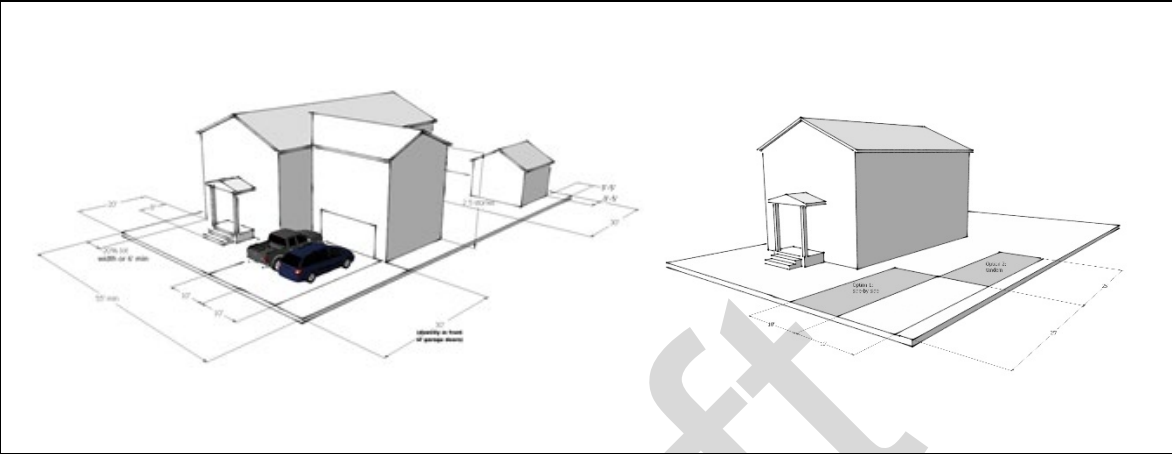
- The proposed amendment ensures a **balanced approach to land use** by adopting regulations that are specific to each building type and just enough to meet the need for each situation.
- The amendment supports **choices in mobility** by ensuring safer movement on sidewalks and driveways and increases public safety.
- Finally, the amendment **enhances the character of the town and improves community appearance**. By increasing the required parking area, we intend to prevent parking in inadequate areas too small for the size of the vehicles. This amendment will allow residents additional room to park their vehicles with space to maneuver around them while keeping our sidewalks unobstructed.

Recommendation: Staff is of the opinion that the required findings can be made to support this request and recommends the planning and zoning board transmit its recommendation to approve to the city council.

Attachment A – Existing regulations and draft amendment of Chapter 4
Attachment B – PB Consistency Findings

4.2 DETACHED HOUSE

Type B: Street Lot The street lot is a medium or large sized lot (55 feet or greater in width) that provides primary vehicular access from the street.



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft. or one block length (whichever is less). Where no frontage condition currently exists, the minimum setbacks shall be as follows:

Front: 20 ft. (Exception R-R – 40 ft.)

Sides: 20% of the lot width or 6 feet on each side, whichever is greater. (The entire setback may be allocated to one side with a minimum of 12 feet building separation).

Sides (Infill Lots): Lots $\geq 10,000 \text{ ft}^2 = 12 \text{ ft.}$
 Lots $< 10,000 \text{ ft}^2 = 8 \text{ ft.}$

Rear: 30 ft.

Parking: See section 9.2 (1) for the number of required spaces. Street-facing garages shall include a 30-foot-deep parking pad in front of garage doors. All other homes shall provide a parking pad 25-foot-deep. Parking spaces shall be 10 feet wide (per required space). All required parking pad depths shall be measured from property line.

Accessory Structure Side/Rear Setback: For lots less than or equal to 7,000 square feet in area there shall be a minimum three (3) ft. setback on side and rear lot lines; otherwise there shall be a minimum side or rear yard setback of five (5) ft. Excludes Temporary Family Health Care Structures. *See Chapter 3 for additional requirements.

Minimum Lot Width: 55 ft.

Maximum Height: 2 ½ Stories

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into any required front or rear setback a maximum of 8 ft.

Lot Coverage (Maximum Impervious): 50%

Minimum Lot Size (Duplex Only): 10,000 ft²

Performance Standards may vary based on zoning classification. See zoning district classification in Chapter 5.





Statement of consistency

In considering the text amendment of the Land Development Code request associated with petition TA2021.01, Parking amendment of Chapter 4, the Planning and Zoning Board finds:

The proposed text amendment is consistent with goals # 1, 3, and 4 of the Comprehensive Land Plan that address Land Use, Mobility, and Community Character.

- The proposed amendment ensures a **balanced approach to land use** by adopting regulations that are specific to each building type and just enough to meet the need for each situation.
- The amendment supports **choices in mobility** by ensuring safer movement on sidewalks and driveways and increases public safety.
- Finally, the amendment **enhances the character of the town and improves community appearance**. By increasing the required parking area and preventing parking in tight and inadequate areas, this amendment will allow residents additional room to park their vehicles with space to maneuver while keeping our sidewalks unobstructed.

This finding is supported by a - vote by the Belmont planning and zoning during its April 15, 2021 meeting.

Walter Dixon, Chairman

Date