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PROJECT NUMBER

2018-6100.06

PROJECT NAME

BELMONT MIXED USE  
IMPERIAL LOFTS

BELMONT, NC

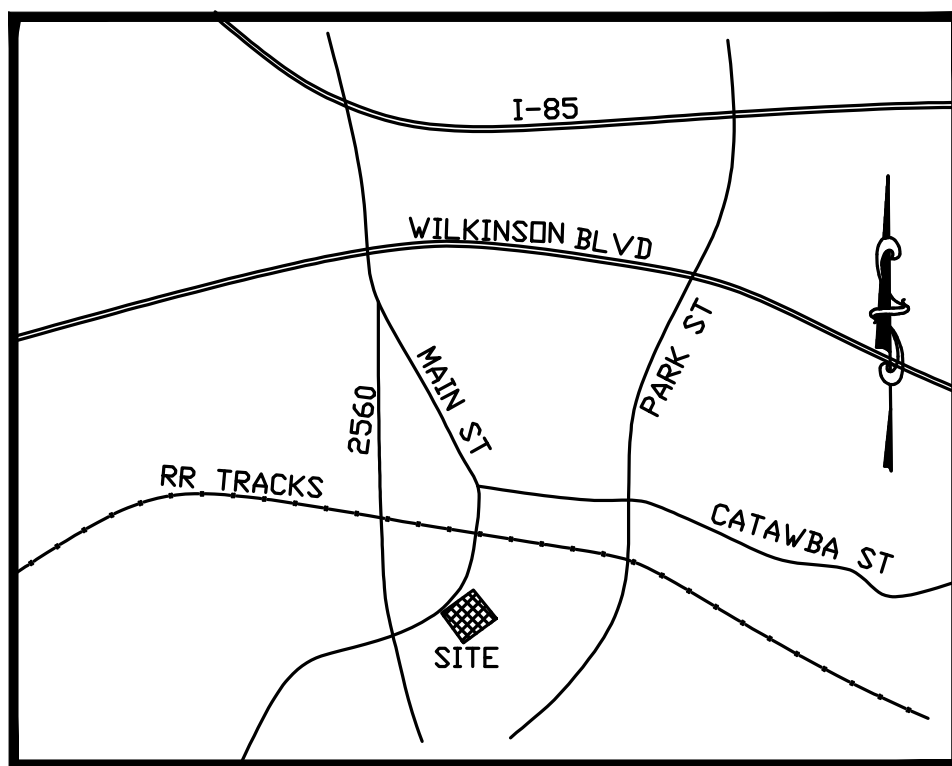
ISSUE DATE

03.18.2021



**3D RENDERING  
STREET VIEW**





VICINITY MAP  
(NOT TO SCALE)

# BELMONT MIXED-USE DEVELOPMENT

## 201 1/2 SOUTH MAIN STREET BELMONT, NC 28012

**SITE SUMMARY**

OWNER/DEVELOPER: ANDY MERCER  
311 N. MAIN STREET  
BELMONT, NC 28012-3155

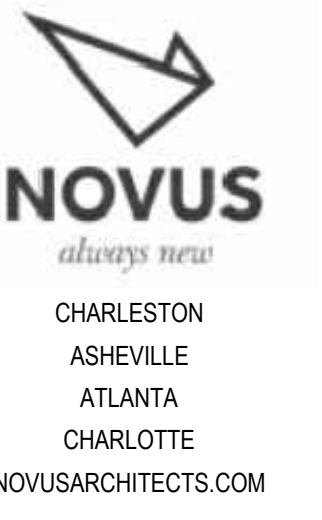
SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 0.43 AC  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL # : #126708  
PIN #: 3594182431  
OWNER ID: BE011 - PERIMETER CBD BELMONT  
DB 4816, PG 1933  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

**BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL:**  
1st FLOOR = 4,959 SF  
2nd FLOOR = 4,959 SF  
3rd FLOOR = 3,884 SF

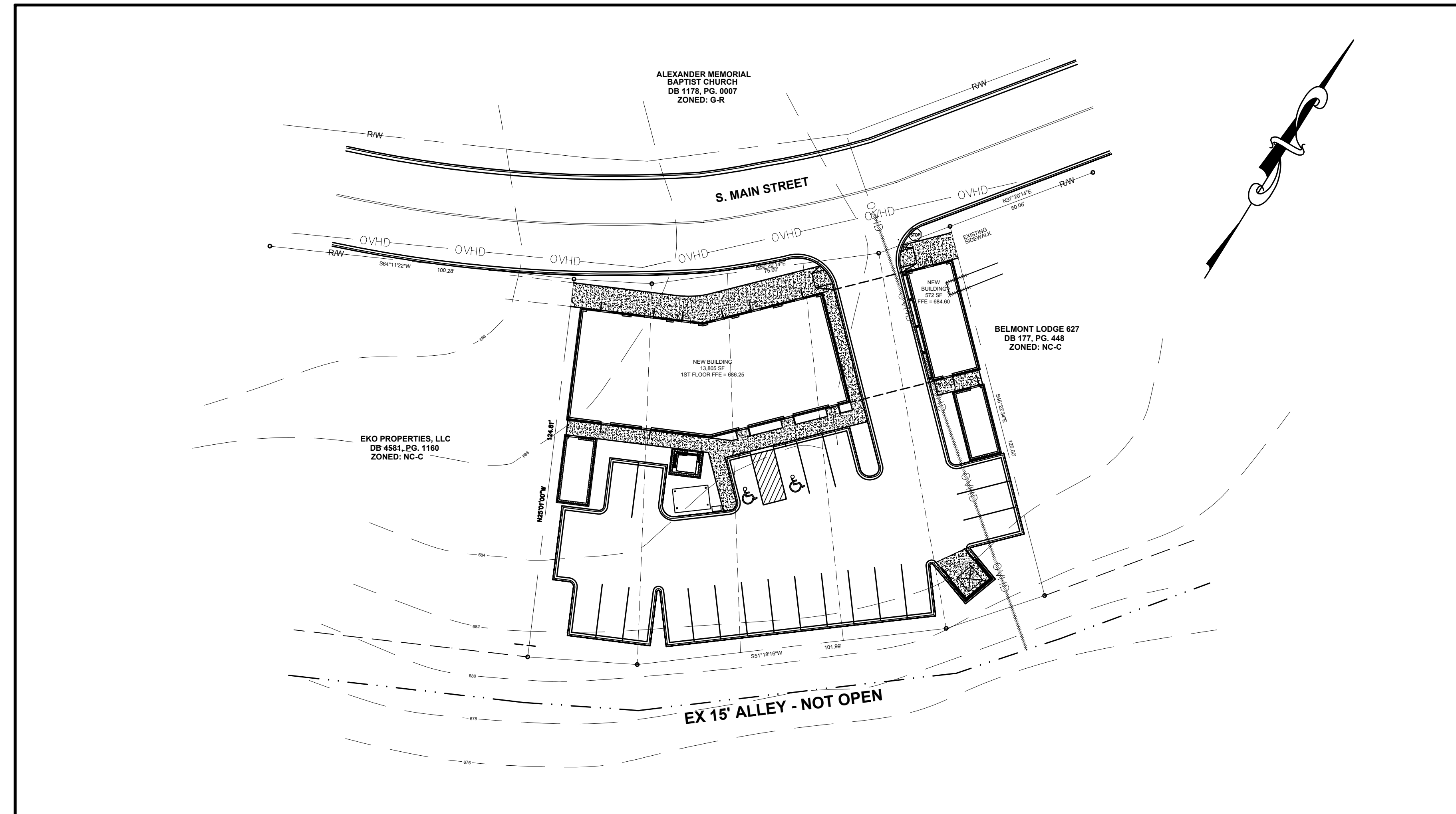
**PARKING:**  
PARKING REQ'D:  
1 SPACE PER 400SF: 13,802 / 400 = 34.5 SPACES = 35 SPACES  
PARKING PROVIDED: 22 SPACES INCLUDING 2 HANDICAP  
BICYCLE PARKING: 8 BICYCLE SPACES

**SETBACKS: C1 & C3 ZONING:**  
MIN. FRONT SETBACK = 0'  
MIN. SIDE SETBACK = 0' MIN. REAR SETBACK = 0'  
MIN. LOT WIDTH = 50' MAX. BLDG. HEIGHT = 110'  
MIN. LOT AREA = 5,000 SF

**FLOOD INFORMATION:**  
ZONE X: MINIMAL FLOOD RISK  
PARCEL: 3594 MAP NO.: 3710359400M  
PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.22979 LONGITUDE: -81.039  
CID #: 370320 COUNTY: GASTON



1950 Abbott Street  
Suite 605  
Charlotte, NC 28203  
P: (704) 373-3101  
www.novusarchitects.com



**GENERAL SITE NOTES**

- ALL DIMENSIONS ARE TO EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
- SITE INFORMATION TAKEN FROM SURVEY BY CAROLINAS DESIGN GROUP DATED JAN 2020 & GASTON COUNTY GIS TOPO.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING, SIDEWALK & RAMP DIMENSIONS.
- CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC. WITH APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR TO COORDINATE WITH OWNER & PROJECT ENGINEER FOR EXISTING BUILDING DEMOLISHING & ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
- CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN RW'S WITH NCDOT.
- ALL TRAFFIC SIGNS, STRIP PAINTINGS ETC. TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONSTRUCTION TO CONFORM TO THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS.
- ALL DRIVEWAYS SHALL COMPLY WITH THE CITY OF BELMONT & NCDOT STANDARDS.
- LIGHTING SHALL COMPLY WITH THE CITY OF BELMONT ZONING ORDINANCES.
- HANDICAP RAMPS, SIGNAGE, SPACES, ETC TO BE PER THE CITY OF BELMONT ORDINANCES & ADA STANDARDS.

**SYMBOL LEGEND**

- IP(F) ⊙ IRON PIN FOUND
- CP(F) ⊠ IRON PIN SET
- IP(S) ⊙ IRON PIN SET
- PK(F) ○ P-K NAIL FOUND
- ⊙ FIRE HYDRANT
- TP ⊠ TELEPHONE PEDESTAL
- OVERHEAD UTILITY
- UP ○ UTILITY POLE
- ☆ LIGHT POLE
- WV ⊠ WATER VALVE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- SS — PROPOSED SANITARY SEWER LINE
- - - - - EXISTING SEWER LINE
- W — PROPOSED WATER LINE
- - - - - EXISTING WATER LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- G — GAS LINE
- DRAINAGE DITCH/WATER COURSE
- ~ ~ ~ ~ ~ APPROX. TREE/SHRUB LINE
- X — CHAIN LINK FENCE
- ⊠ TEMPORARY STONE FILTER
- SEWER CLEANOUT
- ⇒ ⇒ FLOW DIRECTIONAL ARROWS
- ⊠ TEMPORARY ROCK CHECK DAM
- DENUDE/CONSTRUCTION LIMITS
- x — TEMPORARY SILT/CONSTRUCTION FENCE
- EXISTING DRAINAGE STRUCTURE & PIPE
- CURB & GUTTER
- - - - - 680 — EXISTING CONTOURS
- 680 — PROPOSED CONTOURS
- SEDIMENT BASIN
- ⊠ TEMPORARY CONSTRUCTION ENTRANCE

**SHEET INDEX**

- C-S COVER SHEET**
- C-1 SITE PLAN**
- C-2 EROSION CONTROL PLAN**
- C-3 GRADING & DRAINAGE PLAN**
- C-4 UTILITY PLAN**
- C-5 DETAILS SHEET**
- C-6 DETAILS SHEET**
- L-1 LANDSCAPE PLAN**

**PRELIMINARY DRAWINGS**  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION



Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

COVER SHEET

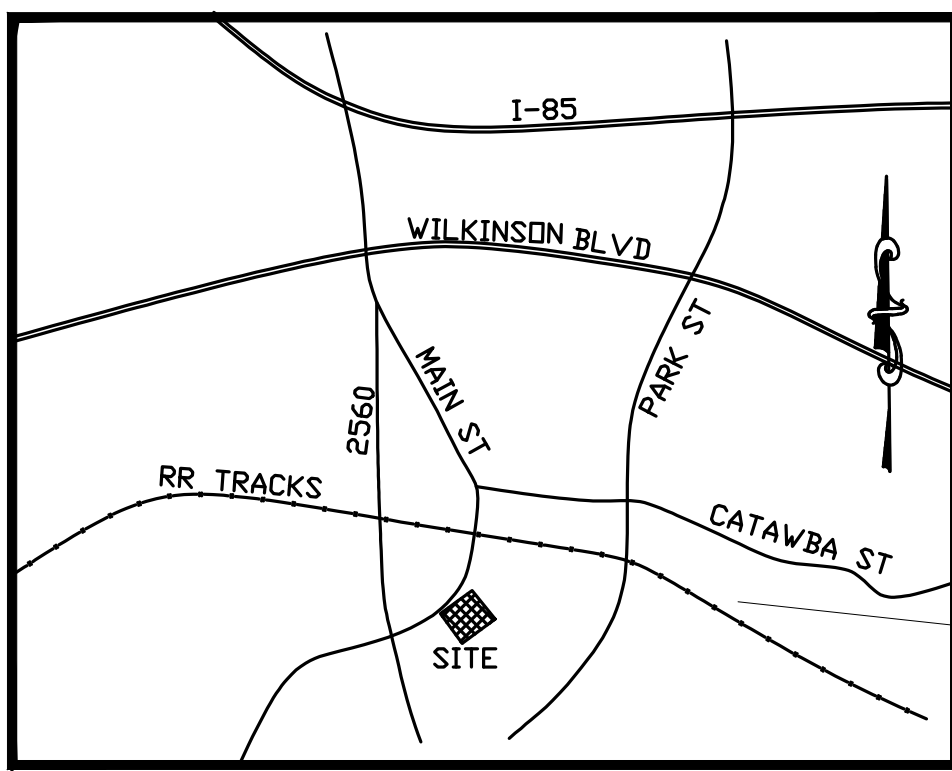
REVISIONS: Δ		
No.	Description	Date

DRAWN BY: xxx  
CHECKED BY:  
DATE: 01.14.2020

2018-6100.06

C-S

Design Development



VICINITY MAP  
(NOT TO SCALE)

ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R

S. MAIN STREET

BELMONT LODGE 627  
DB 177, PG. 448  
ZONED: NC-C

EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C

EX 15' ALLEY - NOT OPEN

**SITE SUMMARY**

OWNER/DEVELOPER: ANDY MERCER  
31 N. MAIN STREET  
BELMONT, NC 28012-3155

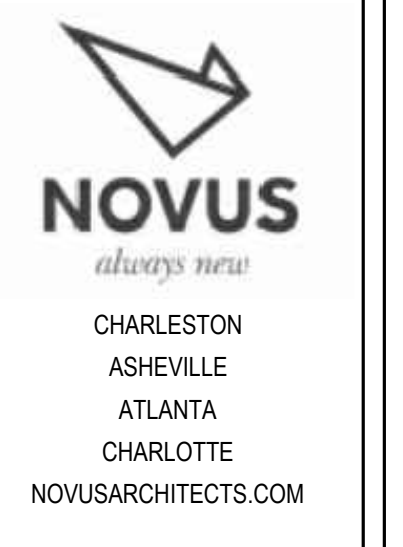
SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 0.43 AC  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL # = #126708  
PIN# = 3594152431  
OWNER ID: BE011 - PERIMETER CBD BELMONT  
CD #916, PG 1933  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

**BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL:**  
1st FLOOR = 4,959 SF  
2nd FLOOR = 4,959 SF  
3rd FLOOR = 3,884 SF

**PARKING:**  
PARKING REQ'D:  
1 SPACE PER 400SF: 13,802 / 400 = 34.5 SPACES = 35 SPACES  
PARKING PROVIDED: 22 SPACES INCLUDING 2 HANDICAP  
BICYCLE PARKING: 8 BICYCLE SPACES

**SETBACKS: CL & CD ZONING:**  
MIN. FRONT SETBACK = 5'  
MIN. SIDE SETBACK = 0' MIN. REAR SETBACK = 0'  
MIN. LOT WIDTH = 50' MAX. BLDG. HEIGHT = 115'  
MIN. LOT AREA = 5,000 SF

**FLOOD INFORMATION:**  
ZONE X: MINIMAL FLOOD RISK  
PARCEL: 3594 MAIN NO: 37103994004  
PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 36.29879 LONGITUDE: -81.039  
CID # 370320



1950 Abbott Street  
Suite 605  
Charlotte, NC 28203  
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**SYMBOL LEGEND**

IP(F) ⊙	IRON PIN FOUND
OP(F) □	IRON PIN SET
IP(S) ⊙	IRON PIN SET
PK(F) ○	P-K NAIL FOUND
⊠	FIRE HYDRANT
TP □	TELEPHONE PEDESTAL
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☆	LIGHT POLE
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SS —	PROPOSED SANITARY SEWER LINE
-S-S-S-S-	EXISTING SEWER LINE
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~	APPROX. TREE/SHRUB LINE
X	CHAIN LINK FENCE
⊠	TEMPORARY STONE FILTER
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⊠	TEMPORARY CONSTRUCTION ENTRANCE

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION



Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

DEMOLITION PLAN

REVISIONS: △

No.	Description	Date

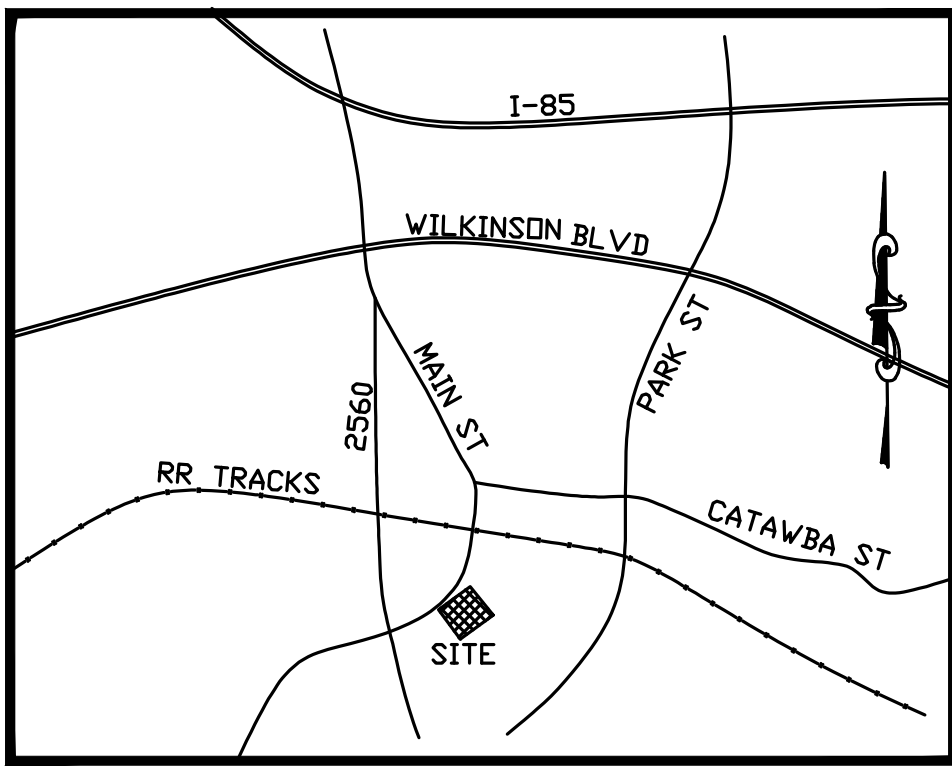
DRAWN BY: XXXX  
CHECKED BY:  
DATE: 01.14.2020

2018-6100.06

D-1

Design Development





VICINITY MAP  
(NOT TO SCALE)

ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R

SITE SUMMARY

OWNER/DEVELOPER: ANDY MERCER  
31 N. MAIN STREET  
BELMONT, NC 28012-3155

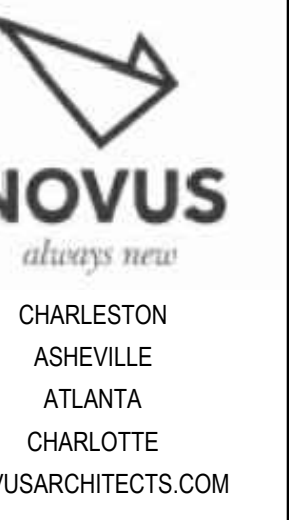
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PARCEL # : #126708  
PIN # : 359418451  
OWNER ID: BE011 - PERIMETER CBD BELMONT  
DB #16, PG 1033  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

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FLOOD INFORMATION:  
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PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.23979 LONGITUDE: -81.039  
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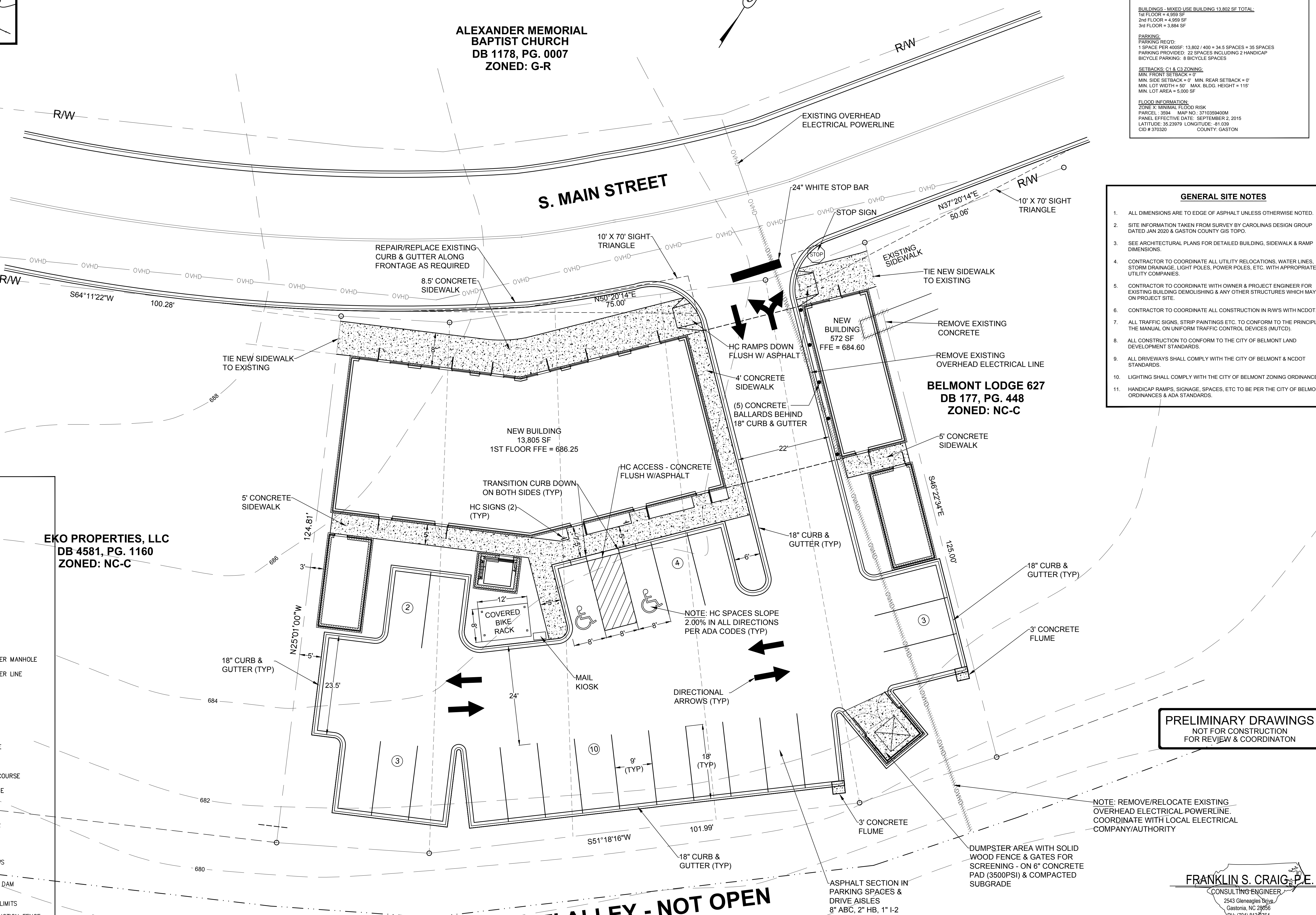
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- TEMPORARY CONSTRUCTION ENTRANCE

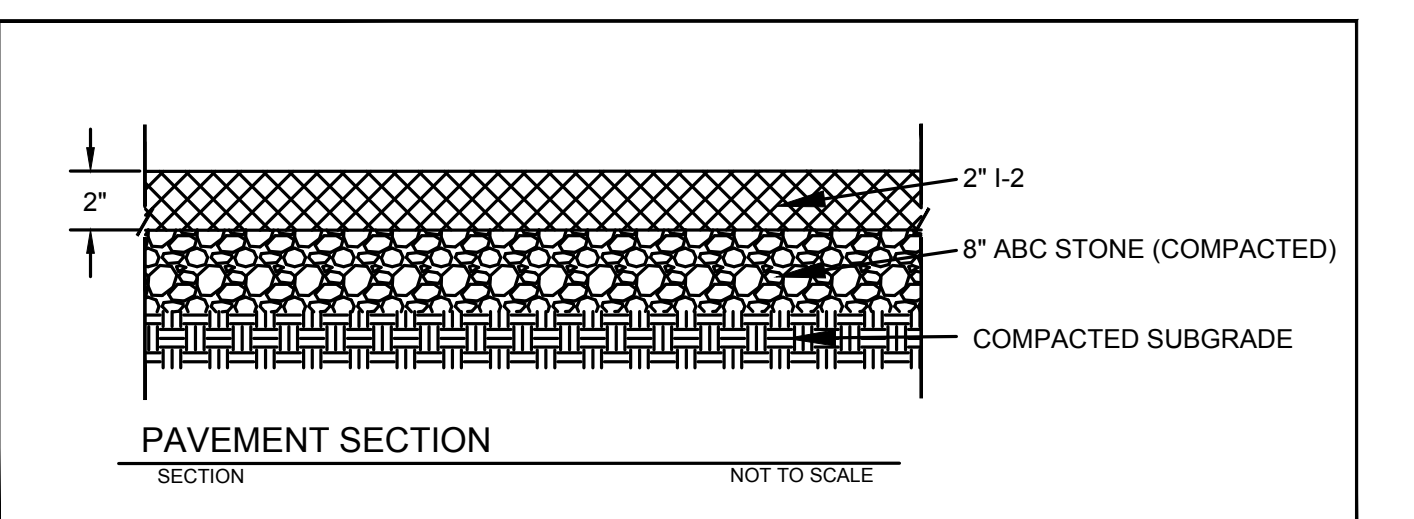
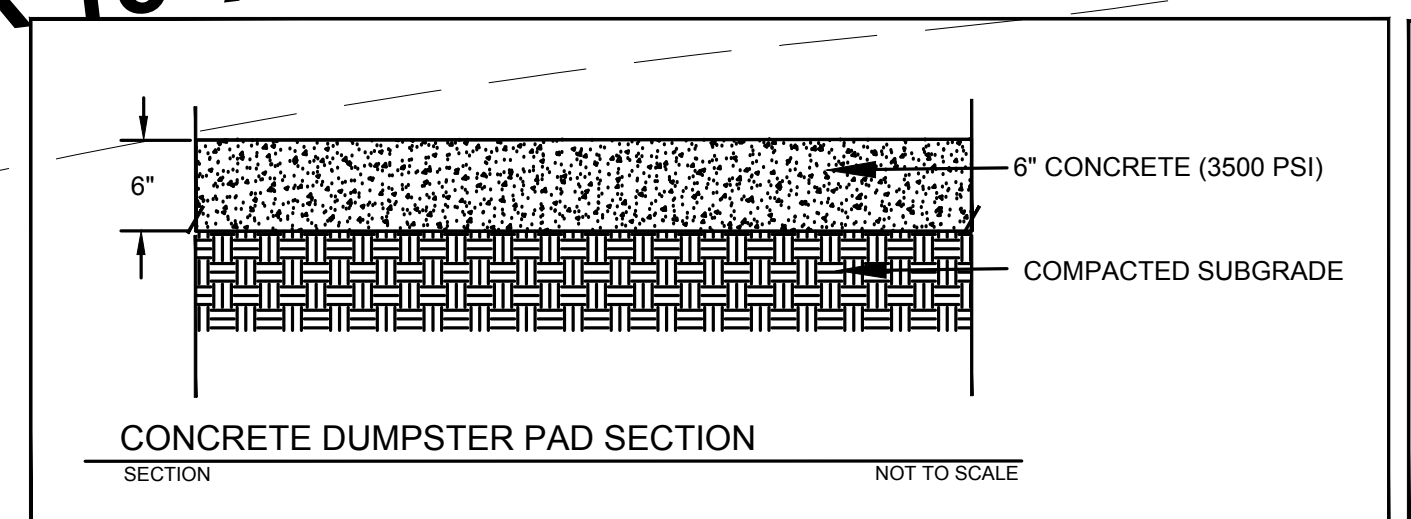
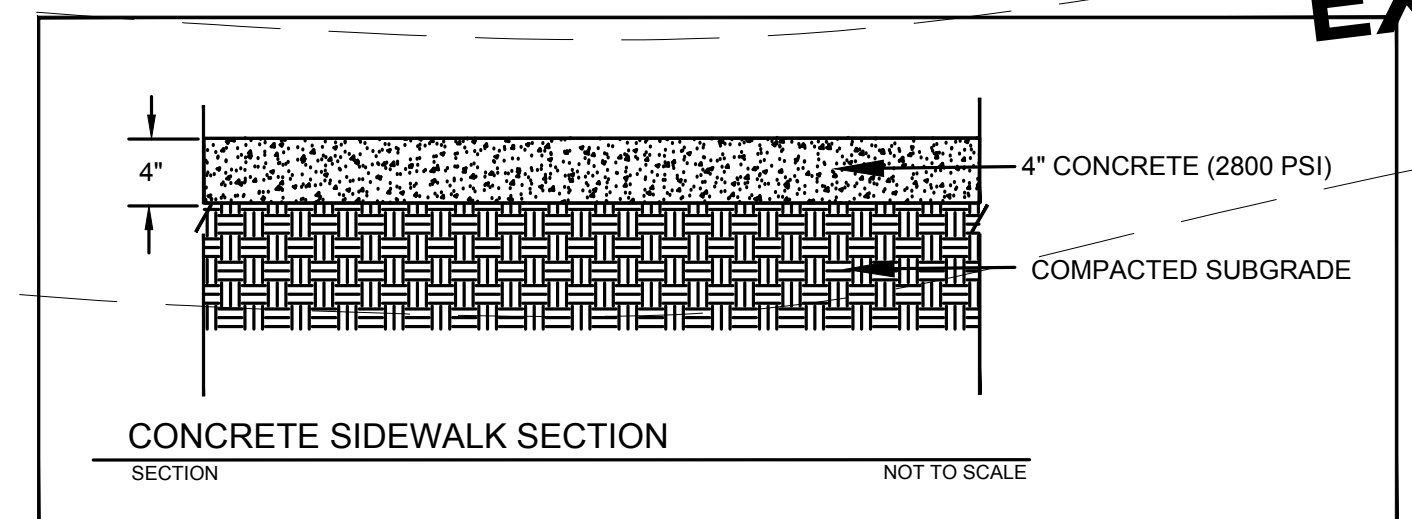
EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C



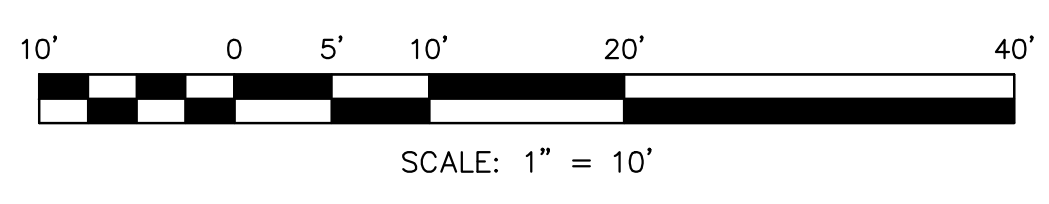
PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION

NOTE: REMOVE/RELOCATE EXISTING OVERHEAD ELECTRICAL POWERLINE. COORDINATE WITH LOCAL ELECTRICAL COMPANY/AUTHORITY

EX 15' ALLEY - NOT OPEN



FRANKLIN S. CRAIG, P.E.  
CONSULTING ENGINEER  
2543 Glen Eagles Drive  
Gastonia, NC 29056  
PH: (704) 813-9764



Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

SITE PLAN

No.	Description	Date

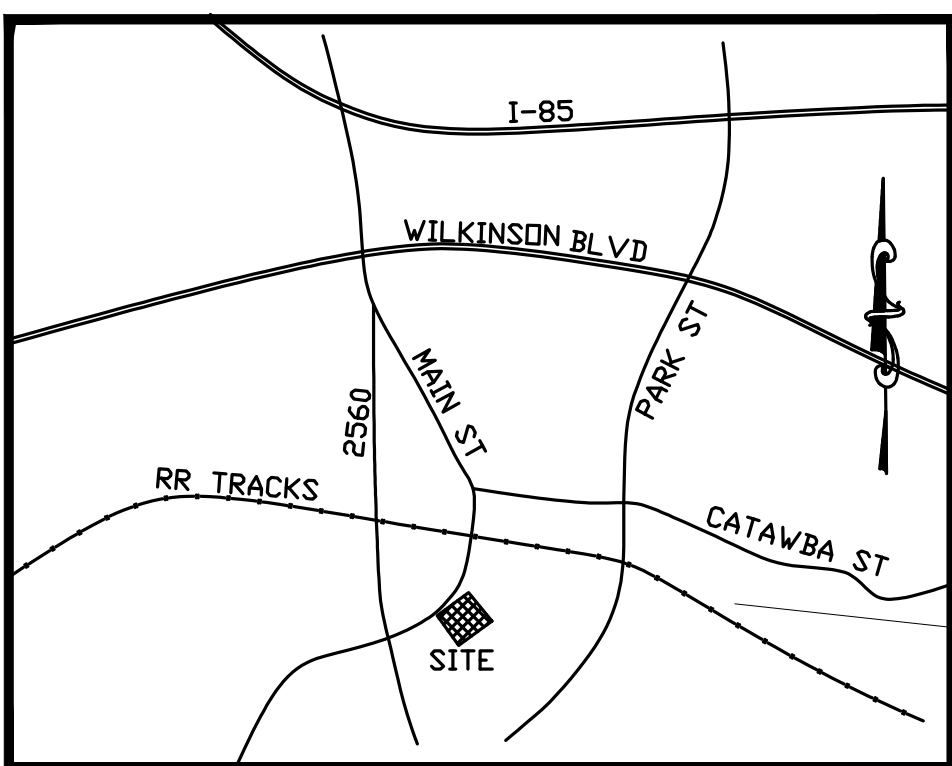
DRAWN BY: XXX  
CHECKED BY:  
DATE: 01.14.2020

2018-6100.06

C-1

Design Development





VICINITY MAP  
(NOT TO SCALE)

ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R

SITE SUMMARY

OWNER/DEVELOPER: ANDY MERCER  
31 W. MAIN STREET  
BELMONT, NC 28012-3155

SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 0.43 AC  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL #: #120708  
PIN #: 3594192431  
OWNER ID: BE011 - PERMETER CBD BELMONT  
DB 4818, PG. 1033  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL  
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2nd FLOOR = 4,969 SF  
3rd FLOOR = 3,884 SF

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PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.2979° LONGITUDE: -81.029°  
CID #: 370320 COUNTY: GASTON

**NOVUS**  
always new

CHARLESTON  
ASHEVILLE  
ATLANTA  
CHARLOTTE  
NOVUSARCHITECTS.COM

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Charlotte, NC 28203  
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NOTES:  
EFFECTIVE OCTOBER 1, 2010, PERSON RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT & EROSION CONTROL MEASURE ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM, CAN BE FOUND ON THE LAND QUALITY WEB SITE: [HTTP://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL/FORMS](http://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms) AS A MINIMUM, THE INSPECTIONS SHALL BE PERFORMED AFTER EACH OF THE FOLLOWING PHASES OF A PLAN:

1. INSTALLATION OF PERIMETER EROSION & SEDIMENT CONTROL MEASURES.
2. INSTALLATION OF SEDIMENT TRAPS/BASIN.
3. CLEARING & GRUBBING OF EXISTING GROUND COVER.
4. COMPLETION OF ANY PHASE OF GRADING THAT REQUIRES PROVISION OF STABILIZATION.
5. INSTALLATION OF MEASURES DURING ANY PHASE OF THE PROJECT.
6. COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
7. INSTALLATION OF STORM WATER RETENTION MEASURES.
8. QUARTERLY UNTIL THE ESTABLISHMENT OF PERMANENT GROUND COVER IS FULLY ESTABLISHED.

EROSION CONTROL NOTES:

1. ON-SITE BURIAL PITS REQUIRE ON-SITE DEMOLITION LANDFILL PERMIT FROM THE CITY OF BELMONT ZONING ADMINISTRATOR.
2. ANY GRADING BEYOND THE DENIED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE NCDEQ'S & GCONR EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NCDEQ & GCONR EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED AREAS, SLOPES, ETC. MUST BE SEED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS. ALL REMAINING AREAS ARE TO BE SEED AND MULCHED WITHIN 14 DAYS.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE INSPECTOR OF GASTON COUNTY NATURAL RESOURCES DEPARTMENT.
6. THE CONTRACTOR IS TO ENSURE THAT ALL WATER DRAINS OUT AND AWAY FROM PAD AREAS WHEN EXECUTING FINAL SITE GRADES.
7. THE CONTRACTOR IS TO CLEAN OUT ALL EROSION CONTROL MEASURES AND DEVICES PERIODICALLY OR AFTER EACH RAINFALL EVENT AND TO ENSURE THAT ALL EROSION CONTROL MEASURES ARE IN OPERATING CONDITION.

EROSION CONTROL SEQUENCE

1. SET UP A PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE EROSION CONTROL INSPECTOR OF GASTON COUNTY NATURAL RESOURCES (704) 922-4181. TO DISCUSS EROSION CONTROL MEASURES, FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO LAND DISTURBING ACTIVITY IS A VIOLATION OF CODE AND IS SUBJECT TO A FINE.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE, TEMPORARY SILT DITCHES, SILT FENCING/CONSTRUCTION FENCING, TEMPORARY SILT FENCE OUTLET AND ALL EROSION CONTROL MEASURES NECESSARY TO STABILIZE SITE.
3. CALL FOR ON-SITE INSPECTION BY GASTON COUNTY NATURAL RESOURCES INSPECTOR (704) 922-4181. WHEN FIELD MEASURES ARE APPROVED, BEGIN CLEARING AND GRUBBING SITE.
4. MAINTAIN ALL EROSION MEASURES AND DEVICES AS NEEDED.
5. BEGIN SPECIFIC GRADING ON SITE AND FOR FUTURE BUILDING PAD AREAS, DRIVEWAYS, ETC. AS INDICATED ON STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADES.
6. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, THE US DEPARTMENT OF AGRICULTURE, US SOIL CONSERVATION SERVICE, NCGENR AND THE GASTON COUNTY NATURAL RESOURCES DEPARTMENT.
7. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL MEASURES, STRUCTURES AND DEVICES, TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE GASTON COUNTY NATURAL RESOURCES INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
8. WHEN ALL PROPOSED GRADES ARE ESTABLISHED AND COMPLETE, SEED AND MULCH ALL DISTURBED AREAS, AND CONTACT THE GASTON COUNTY NATURAL RESOURCES INSPECTOR FOR A FINAL INSPECTION.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, THE CONTRACTOR MUST CONTACT AND HAVE WRITTEN PERMISSION FROM THE APPROPRIATE PROPERTY OWNERS BEFORE PROCEEDING.
10. TOTAL DENUDED AREA: 0.40 AC±

EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C

BELMONT LODGE 627  
DB 177, PG. 448  
ZONED: NC-C

EX 15' ALLEY - NOT OPEN

TOTAL DENUDED AREA: 0.40 ACRES

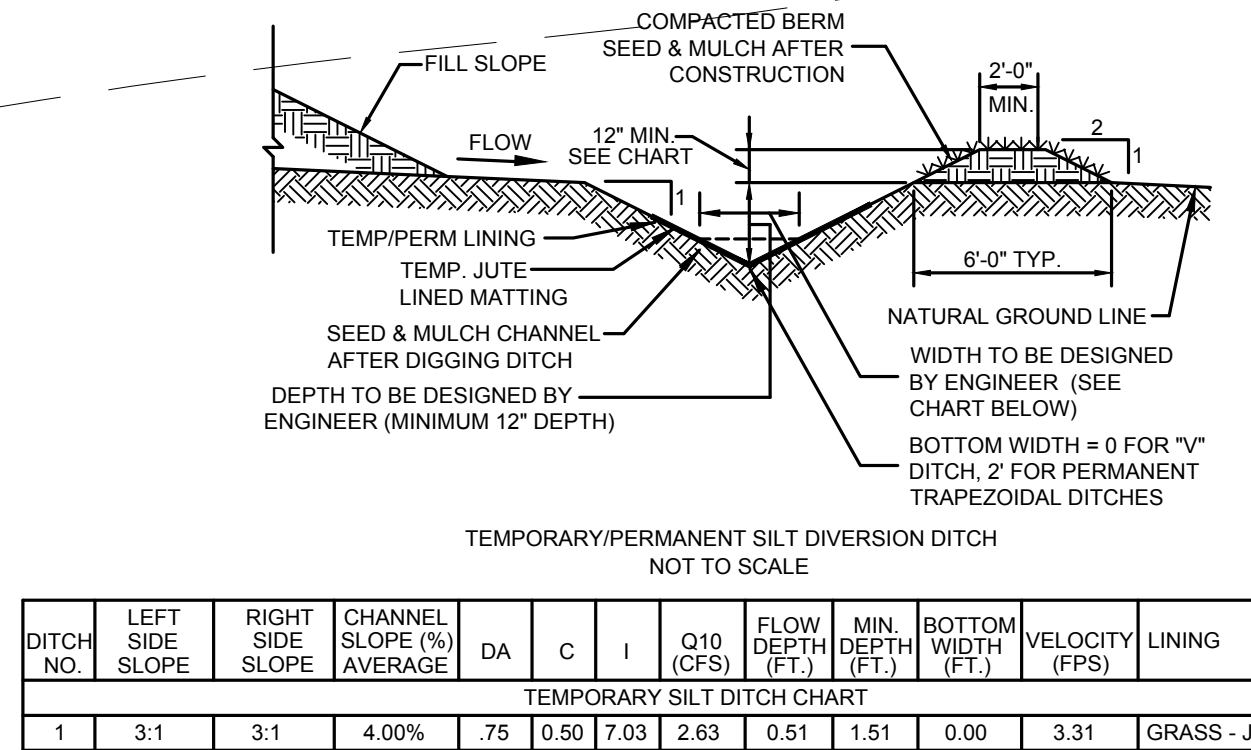
NO EC PERMIT REQUIRED. INDIVIDUAL EC PERMIT FOR THE SITE TO BE APPLIED FOR BY CONTRACTOR ONCE CONSTRUCTION STARTS.

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION

FRANKLIN S. CRAIG, P.E.  
CONSULTING ENGINEER  
2543 Glen Eagles Drive  
Gastonia, NC 29056  
Ph: (704) 812-9764

**SYMBOL LEGEND**

- IP(F) ⊙ IRON PIN FOUND
- OM(F) ⊠ IRON PIN SET
- IP(S) ⊙ IRON PIN SET
- PK(F) ⊙ P-K NAIL FOUND
- ⊙ FIRE HYDRANT
- TP ⊠ TELEPHONE PEDESTAL
- OVERHEAD UTILITY
- UP ⊙ UTILITY POLE
- ☆ LIGHT POLE
- WV ⊠ WATER VALVE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- SS — PROPOSED SANITARY SEWER LINE
- - - - - EXISTING SEWER LINE
- - - - - PROPOSED WATER LINE
- - - - - EXISTING WATER LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- G — GAS LINE
- DRAINAGE DITCH/WATER COURSE
- ~ ~ ~ ~ ~ APPROX. TREE/SHRUB LINE
- x — CHAIN LINK FENCE
- ⊙ TEMPORARY STONE FILTER
- ⊙ SEWER CLEANOUT
- → → FLOW DIRECTIONAL ARROWS
- ⊙ TEMPORARY ROCK CHECK DAM
- - - - - DENUDED/CONSTRUCTION LIMITS
- x — x — TEMPORARY SILT/CONSTRUCTION FENCE
- — — — — EXISTING DRAINAGE STRUCTURE & PIPE
- — — — — CURB & GUTTER
- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- ⊙ SEDIMENT BASIN
- ⊙ TEMPORARY CONSTRUCTION ENTRANCE



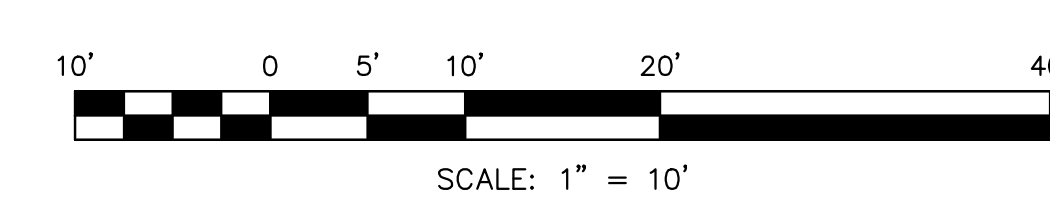
TEMPORARY SILT DITCH CHART

DITCH NO.	LEFT SIDE SLOPE	RIGHT SIDE SLOPE	CHANNEL SLOPE (%) AVERAGE	DA	C	I	Q10 (CFS)	MIN. DEPTH (FT.)	MIN. WIDTH (FT.)	VELOCITY (FPS)	LINING	
1	3:1	3:1	4.00%	75	0.50	7.03	2.63	0.51	1.51	0.30	3.31	GRASS - JUTE
2	3:1	3:1	2.50%	2.25	0.50	7.03	7.91	0.85	1.85	0.00	3.86	GRASS - JUTE

NOTES:  
1. USE JUTE MATTING OR APPROVED ALTERNATE ON ALL TEMP. DITCHES.

General Erosion Control Notes

1. ON-SITE BURIAL PITS REQUIRE ON-SITE DEMOLITION LANDFILL PERMIT FROM THE TOWN OF MT HOLLY ZONING ADMINISTRATOR.
2. ANY GRADING BEYOND THE DENIED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE GCONR EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE GCONR EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED AREAS, SLOPES, ETC. MUST BE SEED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS. ALL REMAINING AREAS ARE TO BE SEED AND MULCHED WITHIN 14 DAYS.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE INSPECTOR OF THE GASTON COUNTY NATURAL RESOURCES DEPARTMENT.
6. THE CONTRACTOR IS TO ENSURE THAT ALL WATER DRAINS OUT AND AWAY FROM PAD AREAS WHEN EXECUTING FINAL SITE GRADES.
7. THE CONTRACTOR IS TO CLEAN OUT ALL EROSION CONTROL MEASURES AND DEVICES PERIODICALLY OR AFTER EACH RAINFALL EVENT AND TO ENSURE THAT ALL EROSION CONTROL MEASURES ARE IN OPERATING CONDITION.



Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

REVISIONS: △

No.	Description	Date

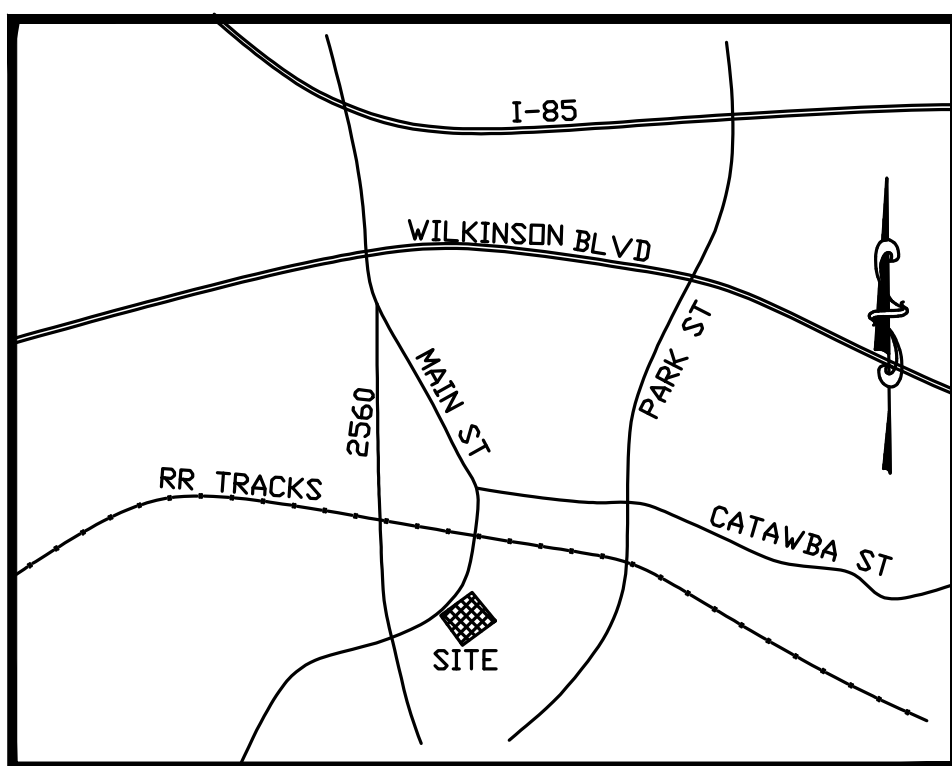
DRAWN BY: xxx  
CHECKED BY:  
DATE: 01-14-2020

2018-6100.06

C-2

Design Development





VICINITY MAP  
(NOT TO SCALE)

**ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R**

**SITE SUMMARY**

OWNER/DEVELOPER: ANDY MERCER  
31 N. MAIN STREET  
BELMONT, NC 28012-3155

SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 0.43 AC  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL # = #126708  
PIN # 3094182431  
OWNER ID: B011 - PERIMETER CRD BELMONT  
DB 4916, PG 1033  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

**BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL:**  
1st FLOOR = 4,959 SF  
2nd FLOOR = 4,959 SF  
3rd FLOOR = 3,884 SF

**PARKING:**  
PARKING REQ'D:  
1 SPACE PER 400SF: 13,802 / 400 = 34.5 SPACES = 35 SPACES  
PARKING PROVIDED: 22 SPACES INCLUDING 2 HANDICAP  
BICYCLE PARKING: 8 BICYCLE SPACES

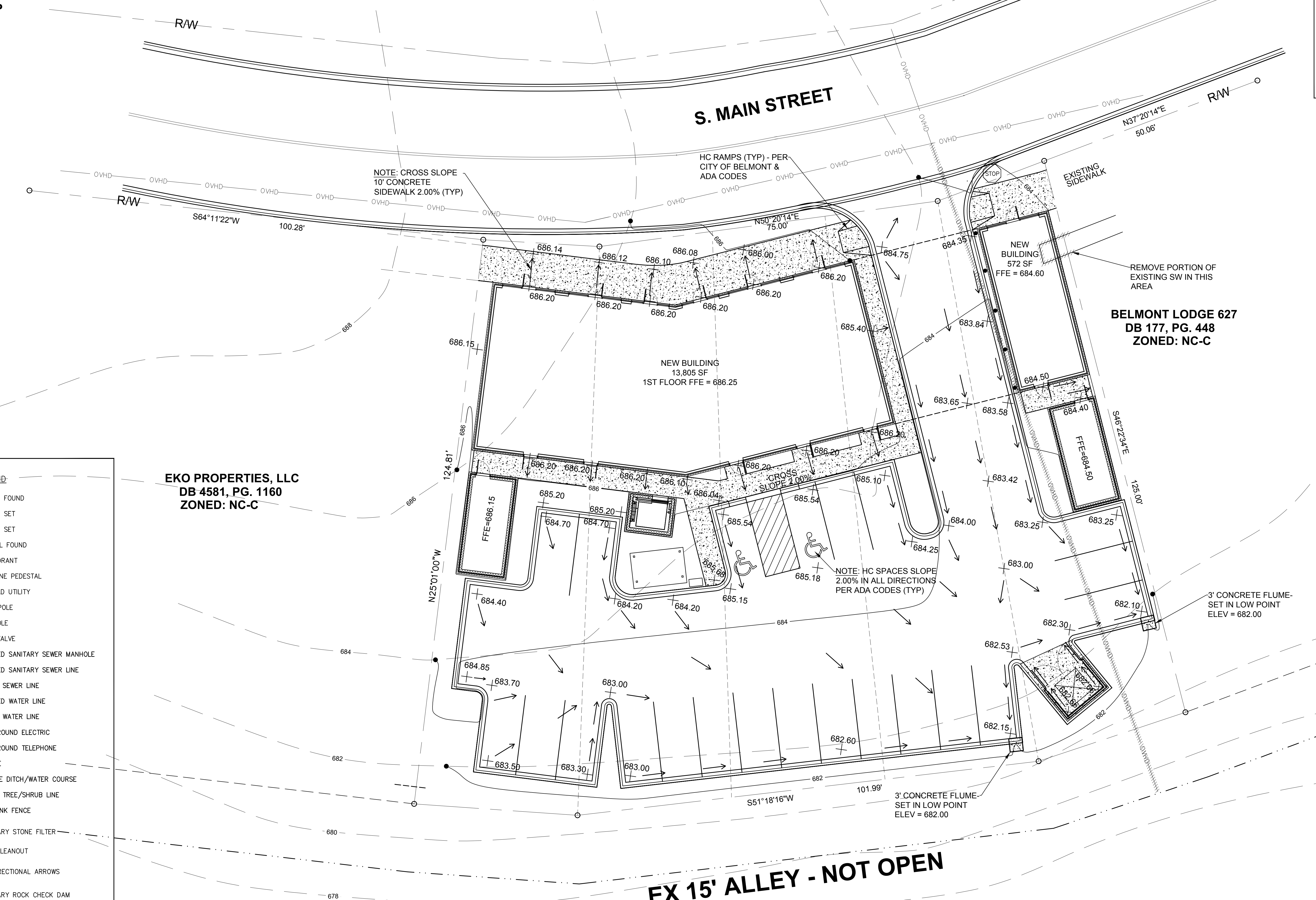
**SETBACKS: C1 & C3 ZONING:**  
MIN. FRONT SETBACK = 0'  
MIN. SIDE SETBACK = 0' MIN. REAR SETBACK = 0'  
MIN. LOT WIDTH = 50' MAX. BLDG. HEIGHT = 115'  
MIN. LOT AREA = 5,000 SF

**FLOOD INFORMATION:**  
ZONE X: MINIMAL FLOOD RISK  
PARCEL 3094 MAP NO: 3715330400M  
PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.23979 LONGITUDE: -81.038  
GID #: 370302 COUNTY: GASTON

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www.novusarchitects.com



**SYMBOL LEGEND**

IP(F) ⊙	IRON PIN FOUND
CM(F) ⊙	IRON PIN SET
IP(S) ⊙	IRON PIN SET
PK(F) ⊙	P-K NAIL FOUND
⊙	FIRE HYDRANT
TP ⊙	TELEPHONE PEDESTAL
—	OVERHEAD UTILITY
UP ⊙	UTILITY POLE
☆	LIGHT POLE
W ⊙	WATER VALVE
⊙	PROPOSED SANITARY SEWER MANHOLE
—SS—	PROPOSED SANITARY SEWER LINE
- - - S - - -	EXISTING SEWER LINE
—W—	PROPOSED WATER LINE
- - - W - - -	EXISTING WATER LINE
—UE—	UNDERGROUND ELECTRIC
—UT—	UNDERGROUND TELEPHONE
—G—	GAS LINE
—	DRAINAGE DITCH/WATER COURSE
~	APPROX. TREE/SHRUB LINE
X	CHAIN LINK FENCE
⊙	TEMPORARY STONE FILTER
○	SEWER CLEANOUT
→	FLOW DIRECTIONAL ARROWS
⊙	TEMPORARY ROCK CHECK DAM
—	DENUDED/CONSTRUCTION LIMITS
X	TEMPORARY SILT/CONSTRUCTION FENCE
—	EXISTING DRAINAGE STRUCTURE & PIPE
—	CURB & GUTTER
- - - 680 - - -	EXISTING CONTOURS
— 680 —	PROPOSED CONTOURS
⊙	SEDIMENT BASIN
⊙	TEMPORARY CONSTRUCTION ENTRANCE

**EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C**

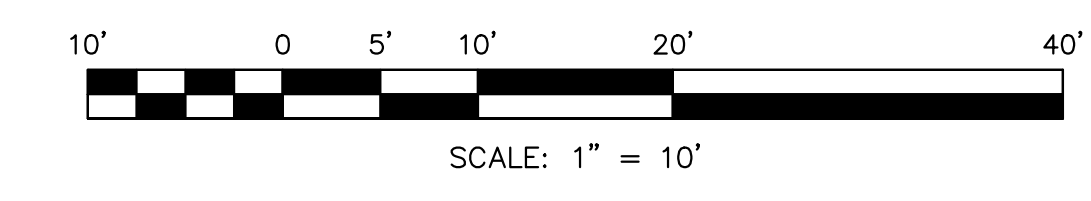
**BELMONT LODGE 627  
DB 177, PG. 448  
ZONED: NC-C**

**EX 15' ALLEY - NOT OPEN**

- GENERAL GRADING & SITE NOTES:**
1. THE UTILITIES & THE LOCATIONS THEREOF, SHOWN ON THE DRAWING, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH & EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF, OR THE INCLUSION OF, UTILITY LOCATIONS ON PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-1000 (800-632-4949).
  2. SITE DESIGN, GRADING & SITE INFORMATION TAKEN FROM SURVEY BY CAROLINAS DESIGN GROUP, INC. DATED MARCH 2020 & GASTON COUNTY GIS.
  3. ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
  4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, CONTRACTOR MUST HAVE WRITTEN PERMISSION FROM THE OWNER(S) BEFORE PROCEEDING.
  5. ALL CONSTRUCTION & CONSTRUCTION MATERIALS WITHIN TOWN RIGHT-OF-WAY & DOT RIGHT-OF-WAY SHALL CONFORM TO THEIR STANDARD SPECIFICATIONS (NCDOT & THE CITY OF BELMONT) & CONTRACTOR TO PROVIDE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE & LOCAL AUTHORITIES.
  7. ALL HANDICAP RAMP, PARKING SPACES, ETC. TO MEET ALL ADA CODES. ALL DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF BELMONT DEVELOPMENT STANDARDS & NCDOT STANDARDS.
  8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR THE LOCATION & DIMENSIONS OF BUILDING AND SURROUNDING AREAS.
  9. USE WYES, BENDS, TEES, ETC. AS NECESSARY FOR ALL DRAINAGE PIPES DRAINING ROOF LEADERS, DOWNSPOUTS, ETC.
  10. CONTRACTOR TO SUBMIT ALL SITE CONSTRUCTION SHOP DRAWINGS TO ENGINEER FOR APPROVAL. ANY SUBSTITUTIONS OR REVISIONS TO MATERIALS OR CONSTRUCTION SHALL BE APPROVED FIRST BY ENGINEERING OR OWNER PRIOR TO CONSTRUCTION.
  11. ALL DESIGN & CONSTRUCTION AND CONSTRUCTION MATERIALS SHALL CONFORM TO THE CITY OF BELMONT DEVELOPMENT STANDARDS & NCDOT SPECIFICATIONS.
  12. TOP SOIL TO BE STRIPPED & STOCKPILED IN AREA DESIGNATED BY ENGINEER. ANY UNSUITABLE MATERIALS ON SITE ARE TO BE QUALIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER OR OWNER REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED. ANY EXCESS SOIL TO BE WASTED ON SITE IN AREAS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. SOIL TO BE WASTED AS MUCH ALLOWED TO ENSURE STABILIZED CONTRACTOR TO COORDINATE WITH GEOTECHNICAL ENGINEER.
  13. ANY SUBSURFACE DRAINAGE SYSTEMS TO BE INSTALLED. IF INITIAL SOILS REPORT RECOMMENDED SUBSURFACE DRAINAGE SYSTEMS BE INSTALLED UNDER FOOTINGS AND BUILDING AREAS, CONNECTIONS TO BE FIELD COORDINATED. WATER-PROOF ALL BUILDING WALLS & FOUNDATIONS PER BUILDING CODE STANDARDS.
  14. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE GASTON COUNTY NATURAL RESOURCES EROSION CONTROL ORDINANCE & IS SUBJECT TO A FINE. STABILIZATION IS THE BEST FORM OF EROSION CONTROL.
  15. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  16. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE & SHALL REMOVE FROM THE CHANNEL & BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK & OTHER ACCUMULATIONS.
  17. THE CITY OF BELMONT & GASTON COUNTY ZONING & INSPECTIONS HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE & DOES NOT ASSUME RESPONSIBILITY FOR THEM. CONTRACTOR TO SUBMIT RETAINING WALL DRAWINGS TO THE CITY OF BELMONT OFFICE FOR APPROVALS & PERMITS.
  18. NON-STANDARD ITEMS (E.G. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH DEPARTMENT TRANSPORTATION & THE CITY OF BELMONT BEFORE INSTALLATION.
  19. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE TOWN/COUNTY ENGINEERING DEPT.

**PRELIMINARY DRAWINGS**  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION

**FRANKLIN S. CRAIG, P.E.**  
CONSULTING ENGINEER  
2543 Glenageagh Drive  
Gastonia, NC 29056  
PH: (704) 813-9764



REVISIONS: △

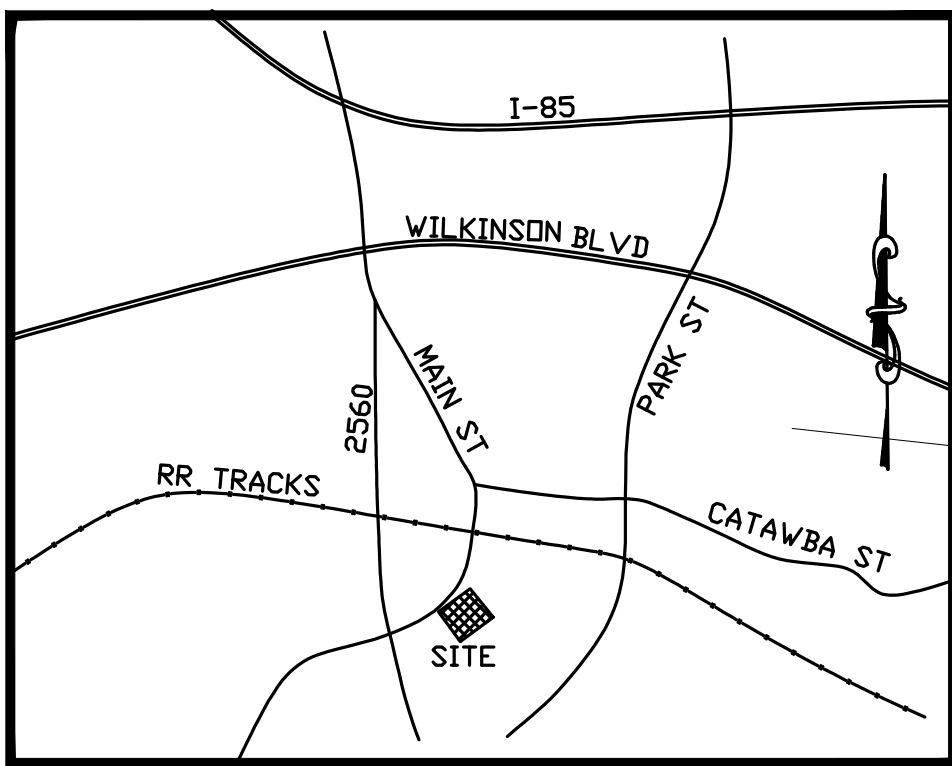
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DATE: 01.14.2020  
2018-6100.06

**C-3**

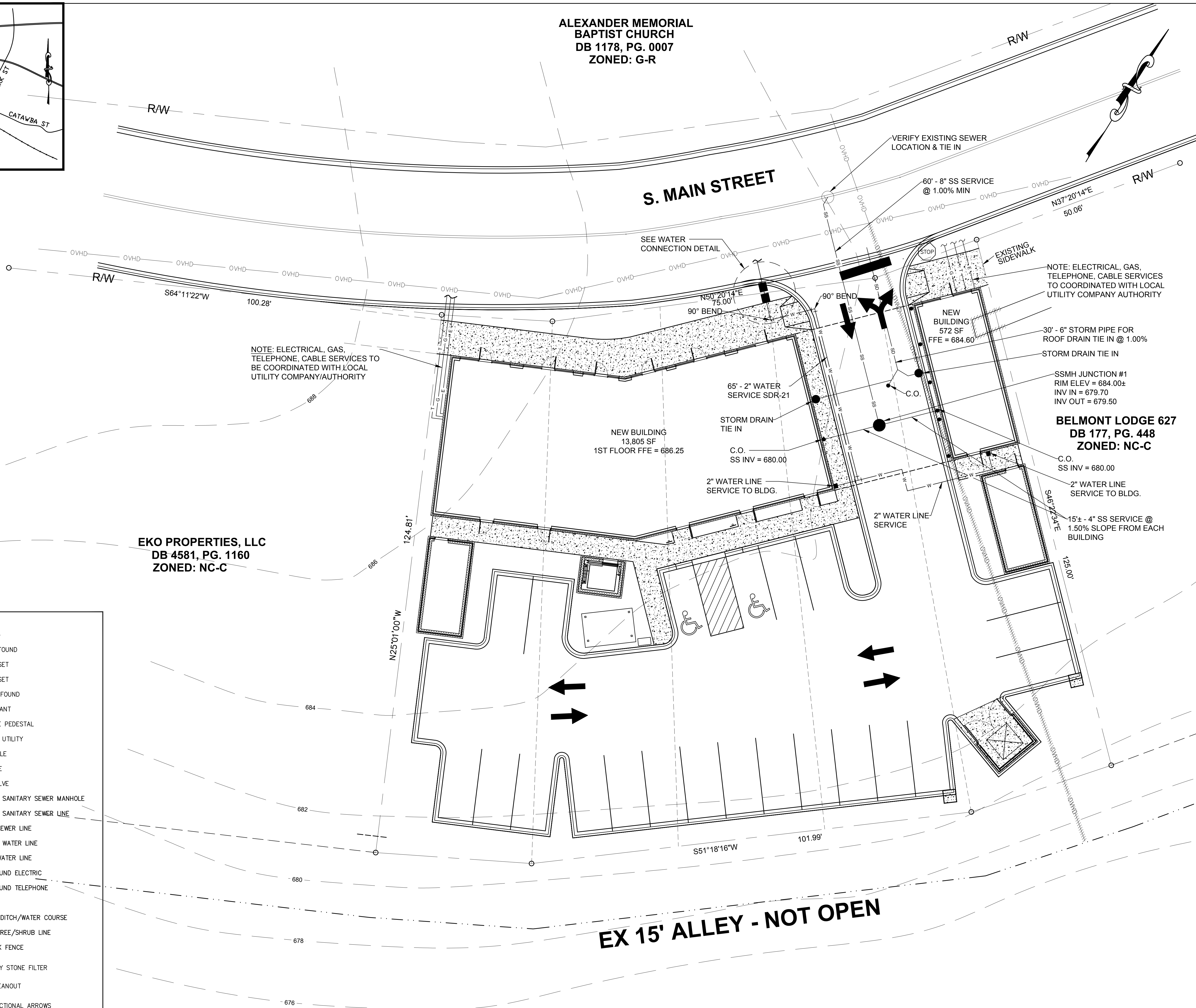
Design Development





VICINITY MAP  
(NOT TO SCALE)

ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R



NOTE: ELECTRICAL, GAS,  
TELEPHONE, CABLE SERVICES TO  
BE COORDINATED WITH LOCAL  
UTILITY COMPANY/AUTHORITY

EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C

EX 15' ALLEY - NOT OPEN

**SITE SUMMARY**

OWNER/DEVELOPER: ANDY MERCER  
31 N. MAIN STREET  
BELMONT, NC 28012-3155

SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 1.43 ACRES  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL # : #128708  
PIN # : 358415431  
OWNER ID: BE011 - PERIMETER CBD BELMONT  
DB #16, PG 1023  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

**BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL:**  
1ST FLOOR = 4,959 SF  
2ND FLOOR = 4,959 SF  
3RD FLOOR = 3,884 SF

**PARKING:**  
PARKING RECD:  
1 SPACE PER 400SF: 13,802 / 400 = 34.5 SPACES = 35 SPACES  
PARKING PROVIDED: 22 SPACES INCLUDING 2 HANDICAP  
BICYCLE PARKING: 4 BICYCLE SPACES

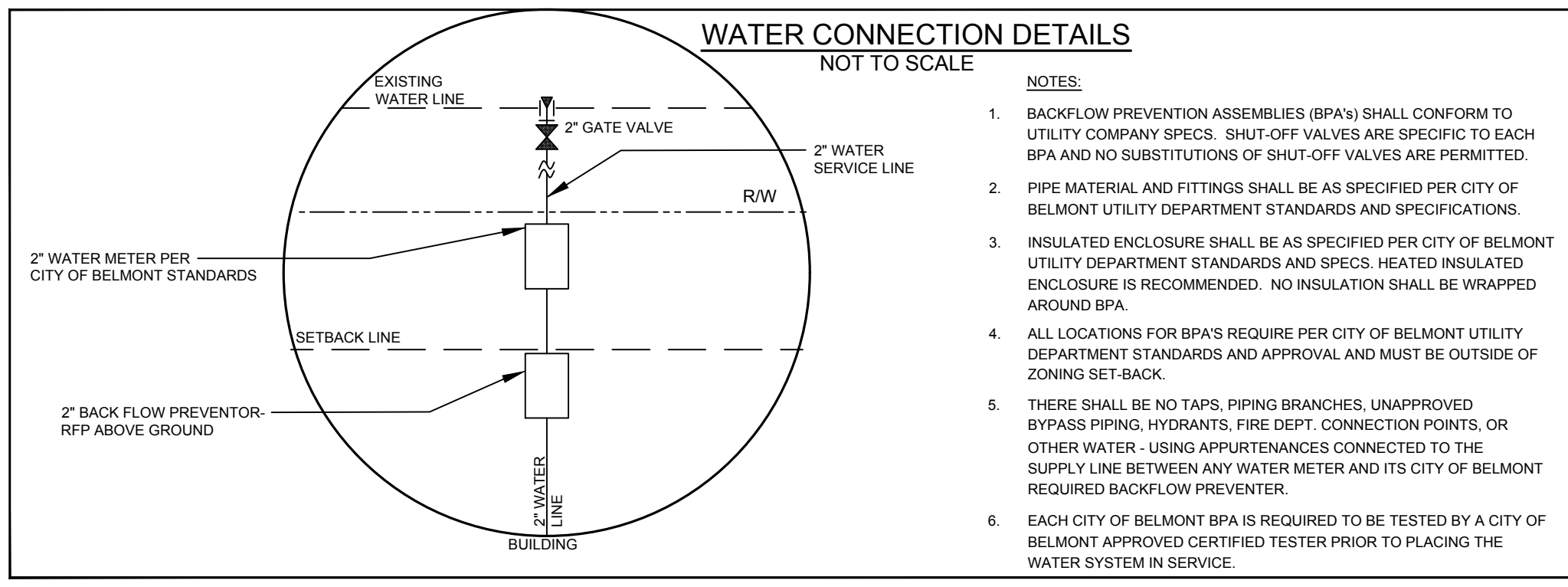
**SETBACKS: C1 & C3 ZONING:**  
MIN. FRONT SETBACK = 0'  
MIN. SIDE SETBACK = 0' MIN. REAR SETBACK = 0'  
MIN. LOT WIDTH = 50' MAX. BLDG. HEIGHT = 110'  
MIN. LOT AREA = 5,000 SF

**FLOOD INFORMATION:**  
ZONE X MINIMAL FLOOD RISK  
PARCEL : 3584 MAP NO. 3710359400M  
PANEL EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.22979 LONGITUDE: 81.038  
CID # 370320 COUNTY: GASTON

- GENERAL UTILITY NOTES:**
1. THE UTILITIES & THE LOCATIONS THEREOF SHOWN ON THE DRAWING REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH & EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT L&CO (1-800-832-4449) PRIOR TO DIGGING.
  2. UTILITY INFORMATION SHOWN TAKEN FROM FIELD SURVEYS BY CAROLINAS DESIGN GROUP DATED JAN 2020.
  3. CONTRACTOR TO VERIFY LOCATION & DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CARE SHALL BE TAKEN TO PREVENT DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THESE UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  4. CONTRACTOR TO COORDINATE WITH OTHER UTILITY COMPANIES TO PREVENT CONFLICTS (I.E. PIPE CROSSINGS) WHEN LAYING PIPE. SOME UTILITIES MAY NEED TO BE ADJUSTED IN FIELD. CONTACT ENGINEER IMMEDIATELY IF SUCH A CASE ARISES.
  5. CONTRACTOR TO COORDINATE ANY UTILITY REMOVALS & RELOCATIONS WITH THE CITY OF BELMONT UTILITY DEPARTMENT.
  6. USE WYES, BENDS & TEES AS NECESSARY FOR UTILITY CONSTRUCTION (IF NECESSARY).
  7. CONTRACTOR TO OBTAIN APPROVED LISTS FOR NAMES & MODELS OF ALL METERS & BACKFLOW DEVICES FROM CITY OF BELMONT UTILITIES (IF NECESSARY).
  8. MINIMUM COVER OVER ALL WATER LINES IS TO BE 3'.
  9. MINIMUM SEPARATION DISTANCES FOR SANITARY SEWER LINES FROM:  
A. WATER LINES - 18" VERTICAL OR 10' HORIZONTAL  
B. STORM SEWERS - 12" VERTICAL
  10. O.P.P. WITH MECHANICAL JOINT ENDS MAY BE SUBSTITUTED WHERE SEPARATION DISTANCES BETWEEN THE SANITARY SEWER LINE & WATER LINE OR STORM SEWER CANNOT BE MAINTAINED. PIPE MUST BE LAD- SUCH THAT FULL SECTIONS OF PIPE ARE CENTERED ON THE CROSSING POINT & EXTEND A DISTANCE OF 5' ON EACH SIDE OF THE POINT OF CROSSING.
  11. ALL CONSTRUCTION & CONSTRUCTION MATERIALS SHALL CONFORM TO CITY OF BELMONT UTILITIES STD. DETAILS & SPECIFICATIONS.
  12. CONTRACTOR TO PROVIDE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE & LOCAL AUTHORITIES.
  13. ALL TAP FEES FOR WATER METER, SANITARY SEWER, GAS, ELECTRICAL, ETC. TO BE PAID BY UTILITY CONTRACTOR.
  14. WATER & SEWER SERVICES SHALL BE INDICATED ON THE CURB WITH MARKINGS 5' OR 10' PER CITY OF BELMONT UTILITIES.
  15. PRESSURE TAPS ARE REQUIRED FOR ALL CONNECTIONS TO EXISTING CITY WATER MAINS. ONLY CITY PERSONNEL SHALL OPERATE EXISTING SYSTEM VALVES.
  16. ALL WATER SUPPLIED FOR CONSTRUCTION PURPOSES, INCLUDING THAT USED FOR WATER MAIN PRESSURE TESTING & DISINFECTION, WILL BE PAID FOR BY THE CONTRACTOR.
  17. ALL 8" SEWER SERVICES TO BE SET AT MIN. OF 1.00% SLOPE.

**SYMBOL LEGEND**

- IP(F) ⊙ IRON PIN FOUND
- OM(F) ⊙ IRON PIN SET
- IP(S) ⊙ IRON PIN SET
- PK(F) ⊙ P-K NAIL FOUND
- ⊙ FIRE HYDRANT
- TP □ TELEPHONE PEDESTAL
- OVERHEAD UTILITY
- UP ○ UTILITY POLE
- ☆ LIGHT POLE
- WV ⊕ WATER VALVE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- SS — PROPOSED SANITARY SEWER LINE
- S-S-S-S- EXISTING SEWER LINE
- W — PROPOSED WATER LINE
- W-W-W-W- EXISTING WATER LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- G — GAS LINE
- DRAINAGE DITCH/WATER COURSE
- ~ APPROX. TREE/SHRUB LINE
- X — CHAIN LINK FENCE
- ⊙ TEMPORARY STONE FILTER
- SEWER CLEANOUT
- ⇒ FLOW DIRECTIONAL ARROWS
- ⊙ TEMPORARY ROCK CHECK DAM
- DENUDE/CONSTRUCTION LIMITS
- X — TEMPORARY SILT/CONSTRUCTION FENCE
- EXISTING DRAINAGE STRUCTURE & PIPE
- CURB & GUTTER
- 680 --- EXISTING CONTOURS
- 680 --- PROPOSED CONTOURS
- SEDIMENT BASIN
- ⊙ TEMPORARY CONSTRUCTION ENTRANCE



NOTE:  
CONTRACTOR TO VERIFY EXACT LOCATIONS, SIZES & DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

NOTE:  
ELECTRICAL, TELEPHONE & GAS SERVICE LINES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. EXACT LOCATIONS TO BE DETERMINED BY LOCAL UTILITIES IN FIELD. CONTRACTOR TO COORDINATE ALL SERVICE CONNECTIONS & LOCATIONS. AVOID CONFLICTS WITH OTHER UTILITIES

NOTE:  
UTILITY CONTRACTOR TO MEET MINIMUM SEPARATION AT WATER & SEWER CROSSINGS. REFER TO NOTE 8 & 9. VERIFY CROSSINGS & FLOW LINE INVERTS IN THE FIELD

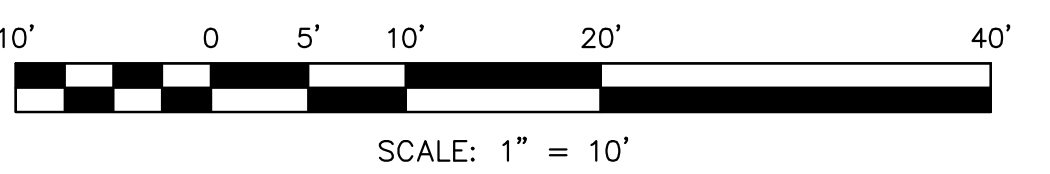
REPAIR PAVEMENT BACK TO ORIGINAL CONDITIONS WATER SERVICE OR OTHER UTILITIES CONSTRUCTION IN EXISTING ASPHALTS

NOTE:  
ALL UTILITIES (WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, CABLE, ETC.) TO BE UNDERGROUND SERVICES

CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE OWNER OR CONTRACTOR.

**CAUTION:**  
THE LOCATIONS & ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS & ELEVATIONS OF UTILITIES PRIOR TO THE START OF CONSTRUCTION.

NOTE:  
ANY REVISIONS TO THE SITE PLAN CANNOT PLACE OTHER ITEMS IN NON-COMPLIANCE. OWNER IS RESPONSIBLE FOR BRINGING THIS PROJECT INTO COMPLIANCE WITH ALL APPLICABLE CITY, & COUNTY CODES, LAND DEVELOPMENT STANDARDS, EROSION CONTROL ORDINANCE & NCOTD STATE REGULATIONS. THE SITE DESIGNER (CIVIL ENGINEER, LANDSCAPE ARCHITECT OR SURVEYOR) IS RESPONSIBLE FOR ACCURATELY PORTRAYING THE ROAD RIGHT-OF-WAY ON THE PLANS. THE RIGHT-OF-WAY MUST BE RESEARCHED & A TRUE REPRESENTATION OF THE LAND RIGHTS AS RECORDED IN THE DEED OF REGISTRAR OFFICE MUST BE SHOWN. ALL PROPOSED IMPROVEMENTS & CONSTRUCTION WITHIN A MAINTAINED RIGHT-OF-WAY IS TO BE DONE IN ACCORDANCE WITH THE "WORK AREA TRAFFIC CONTROL HANDBOOK" (WATCH).



PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
FOR REVIEW & COORDINATION

FRANKLIN S. CRAIG, P.E.  
CONSULTING ENGINEER  
2543 Glenageles Drive  
Gastonia, NC 28056  
PH: (704) 513-7164

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www.novusarchitects.com

Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

UTILITY PLAN

REVISIONS: △

No.	Description	Date

DRAWN BY: xxx  
CHECKED BY: xxx  
DATE: 01.14.2020

2018-6100.06

C-4

Design Development



Seeding mixture	Rate (lb/acre)
Species German millet	40
In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.	
<b>Seeding dates</b> Mountains—May 15 - Aug. 15 Piedmont—May 1 - Aug. 15 Coastal Plain—Apr. 15 - Aug. 15	
<b>Soil amendments</b> Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Referitize if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.	

Seeding mixture	Rate (lb/acre)
Species Rye (grain)	120
<b>Seeding dates</b> Mountains—Aug. 15 - Dec. 15 Coastal Plain and Piedmont—Aug. 15 - Dec. 30	
<b>Soil amendments</b> Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Repair and referitize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.	

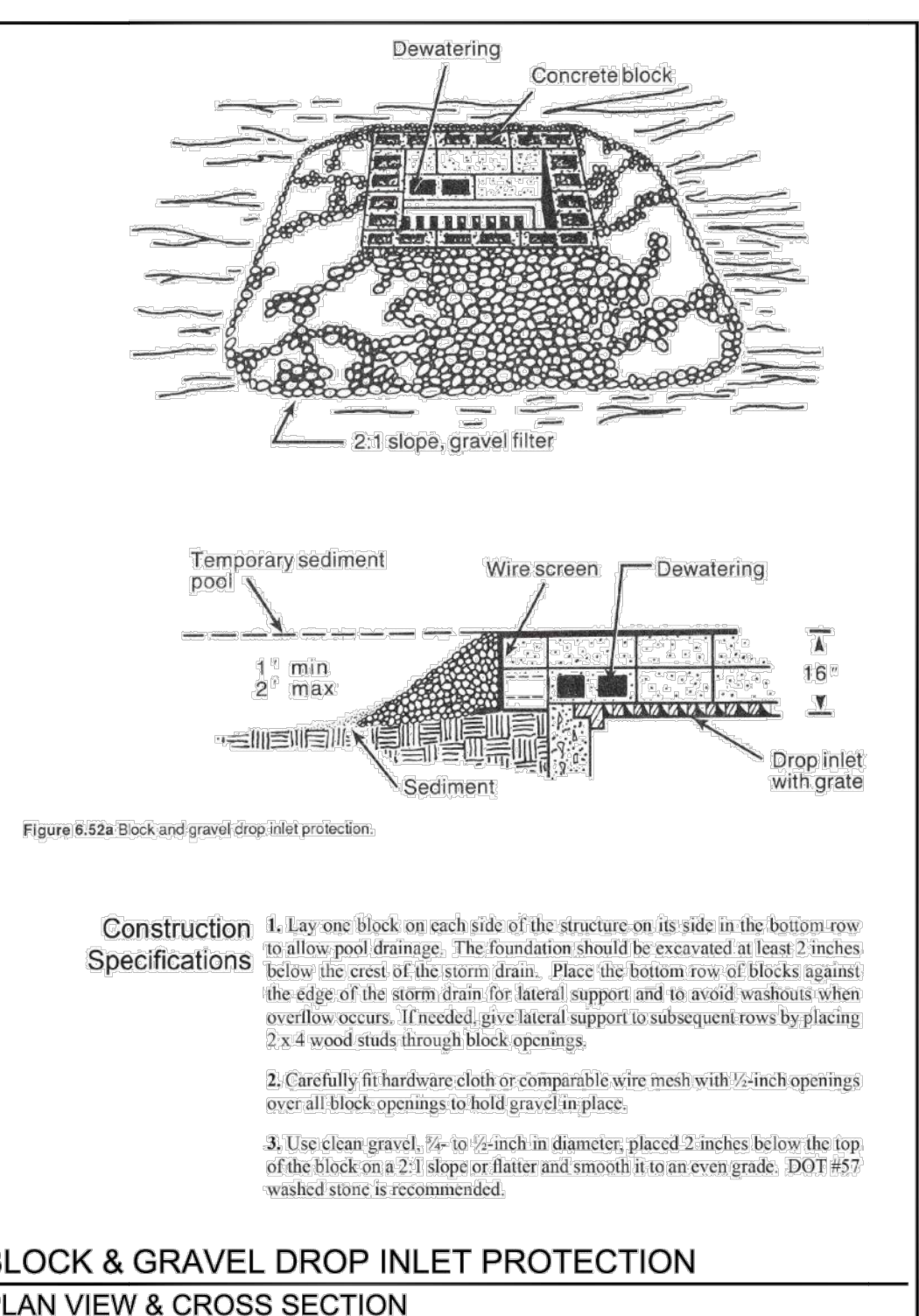
Seeding mixture	Rate (lb/acre)
Species Rye (grain) Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50
Omit annual lespedeza when duration of temporary cover is not to extend beyond June.	
<b>Seeding dates</b> Mountains—Above 2500 feet: Feb. 15 - May 15 Below 2500 feet: Feb. 1 - May 1 Piedmont—Jan. 1 - May 1 Coastal Plain—Dec. 1 - Apr. 15	
<b>Soil amendments</b> Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Referitize if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.	

Seeding mixture	Rate (lb/acre)
Species Tall fescue Kentucky bluegrass Korean lespedeza Redtop	60 10 10 10
<b>Seeding note</b> After Aug. 15, use unscarified seed.	
<b>Name plants</b> Between May 1 and Aug. 15, add 10 lb/acre German millet or 15 lb/acre Sudangrass. Prior to May 1 or after Aug. 15, add 40 lb/acre rye (grain).	
<b>Seeding dates</b> Best: Aug. 15 - Sept. 1 Possible: July 25 - Sept. 15 Mar. 1 - Apr. 1	
<b>Soil amendments</b> Apply lime and fertilizer according to soil tests or apply 4,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000 lb/acre grain straw or equivalent cover of another suitable mulching material. Anchor mulch by tacking with asphalt, netting, or by crisscrossing with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Referitize in the second year unless growth is fully adequate. May be mowed once or twice per year, but mowing is not necessary. Reseed, referitize, and mulch damaged areas immediately.	

Seeding mixture	Rate (lb/acre)
Species Tall fescue Crown vetch Korean lespedeza Redtop	40 10 10 5
<b>Seeding note</b> If seasonal mowing is desired, substitute 20 lb/acre sericea lespedeza for crown vetch.	
<b>Name plants</b> Between May 1 and Aug. 15, add 10 lb/acre German millet or 15 lb/acre Sudangrass. Prior to May 1 or after Aug. 15, add 40 lb/acre rye (grain).	
<b>Seeding dates</b> Best: Aug. 15 - Sept. 1 Possible: July 25 - Sept. 15 Mar. 1 - Apr. 1	
<b>Soil amendments</b> Apply lime and fertilizer according to soil tests or apply 4,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000-5,000 lb/acre grain straw or equivalent cover of another suitable mulching material. Anchor mulch by tacking with asphalt, netting, or by crisscrossing with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Referitize in the second year unless growth is fully adequate. Reseed, referitize, and mulch damaged areas immediately.	

Seeding mixture	Rate (lb/acre)
Species Tall fescue Sericea lespedeza Korean lespedeza Redtop Kentucky bluegrass	100 20 20 5 5
<b>Seeding note</b> After Aug. 1, use unscarified seed for sericea lespedeza.	
<b>Name plants</b> Between May 1 and Aug. 15, add 10 lb/acre German millet or 15 lb/acre Sudangrass. Prior to May 1 or after Aug. 15, add 40 lb/acre rye (grain).	
<b>Seeding dates</b> Best: Aug. 15 - Sept. 1 Possible: July 25 - Sept. 15 Mar. 1 - Apr. 1	
<b>Soil amendments</b> Apply lime and fertilizer according to soil tests or apply 4,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
<b>Mulch</b> Apply 4,000-5,000 lb/acre grain straw or equivalent cover of another suitable mulching material. Anchor mulch by tacking with asphalt, netting, or by crisscrossing with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>Maintenance</b> Referitize in the second year unless growth is fully adequate. Reseed, referitize, and mulch damaged areas immediately.	

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER, FALL, LATE WINTER & EARLY SPRING



BLOCK & GRAVEL DROP INLET PROTECTION PLAN VIEW & CROSS SECTION

Criteria	Suitability of Soil for Establishment of Low-maintenance Vegetation			Limiting Factors
	Good	Fair	Poor	
pH	5.6-7.8	4.5-5.5	<4.5	Too acid; possible Al, Mn, Fe toxicity
Available water capacity	>.10	.05-.10	<.05	Too dry
Texture*	l, sil, si, sil	sc, sil, cl	sc, sic, c	Too high in clay
Coarse fragments† (≥10 in)	<15%	15-30	>35	Too high in sand
Depth to bedrock (in)	>10	3-10	>10	Lg. stones restrict slope, droughty
Salinity (mmhos/cm)	0-8	8-16	>16	Excess salt

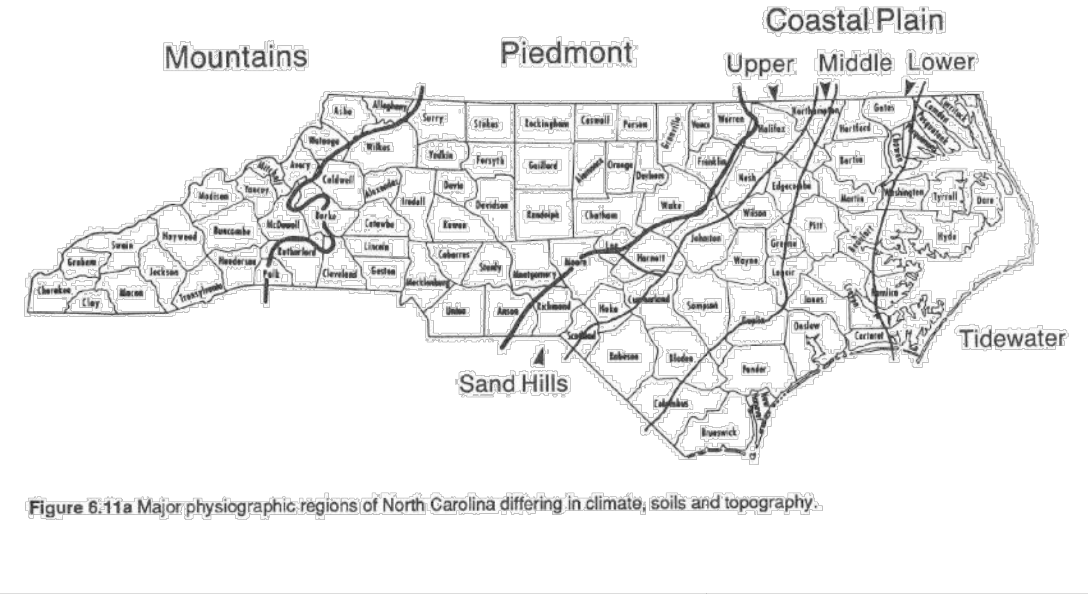
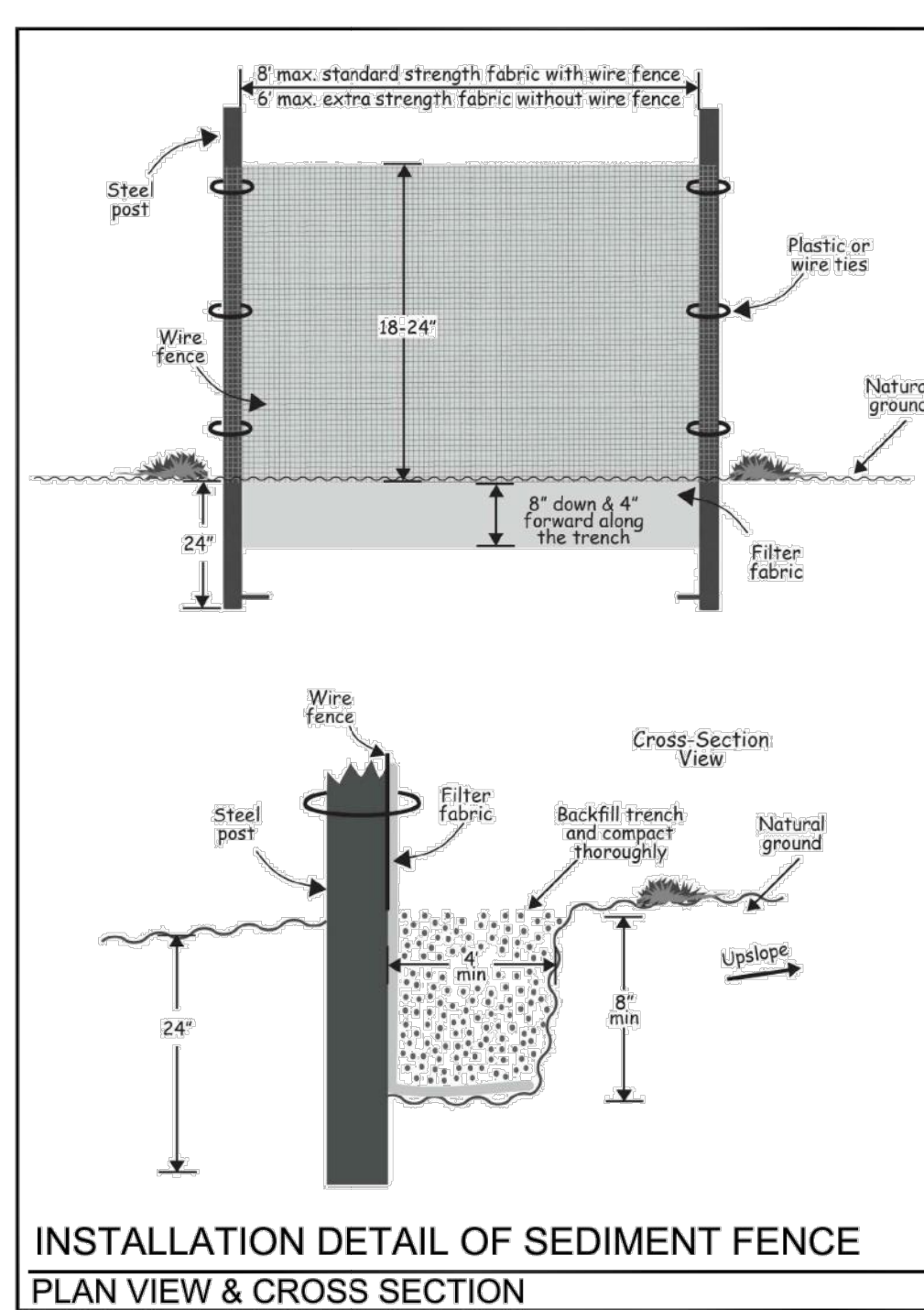
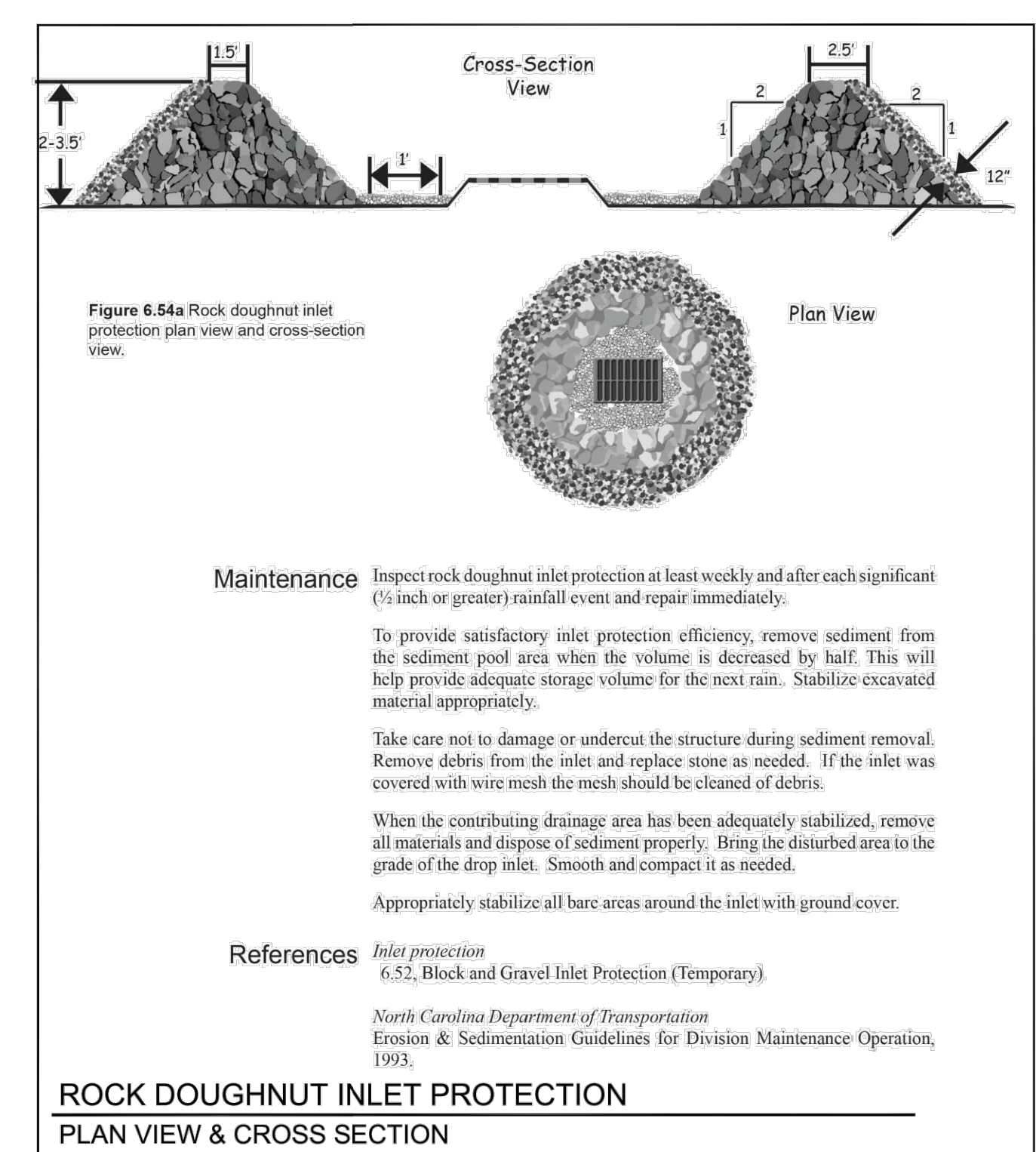


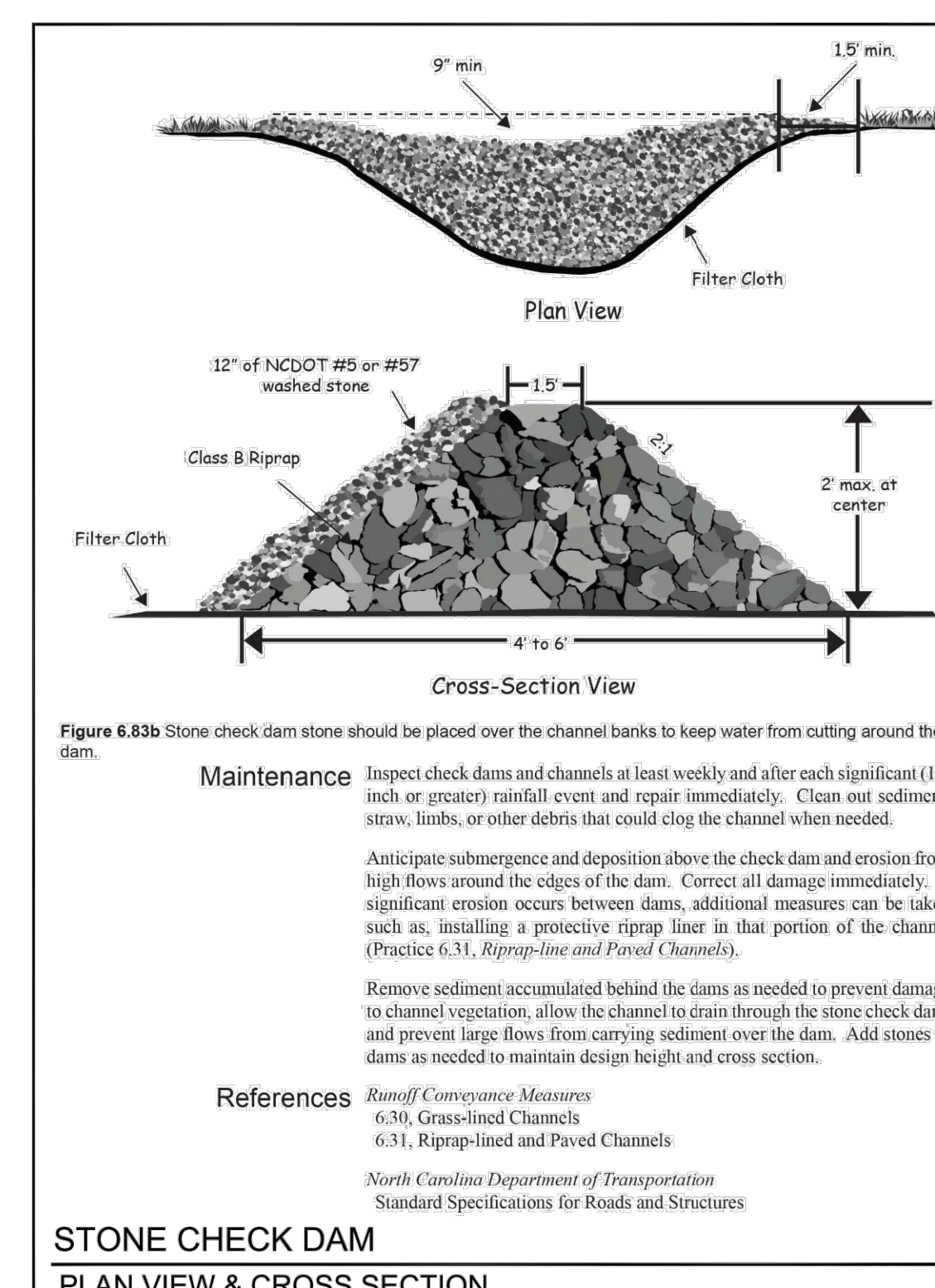
Figure 6.11a Major physiographic regions of North Carolina differing in climate, soils and topography.



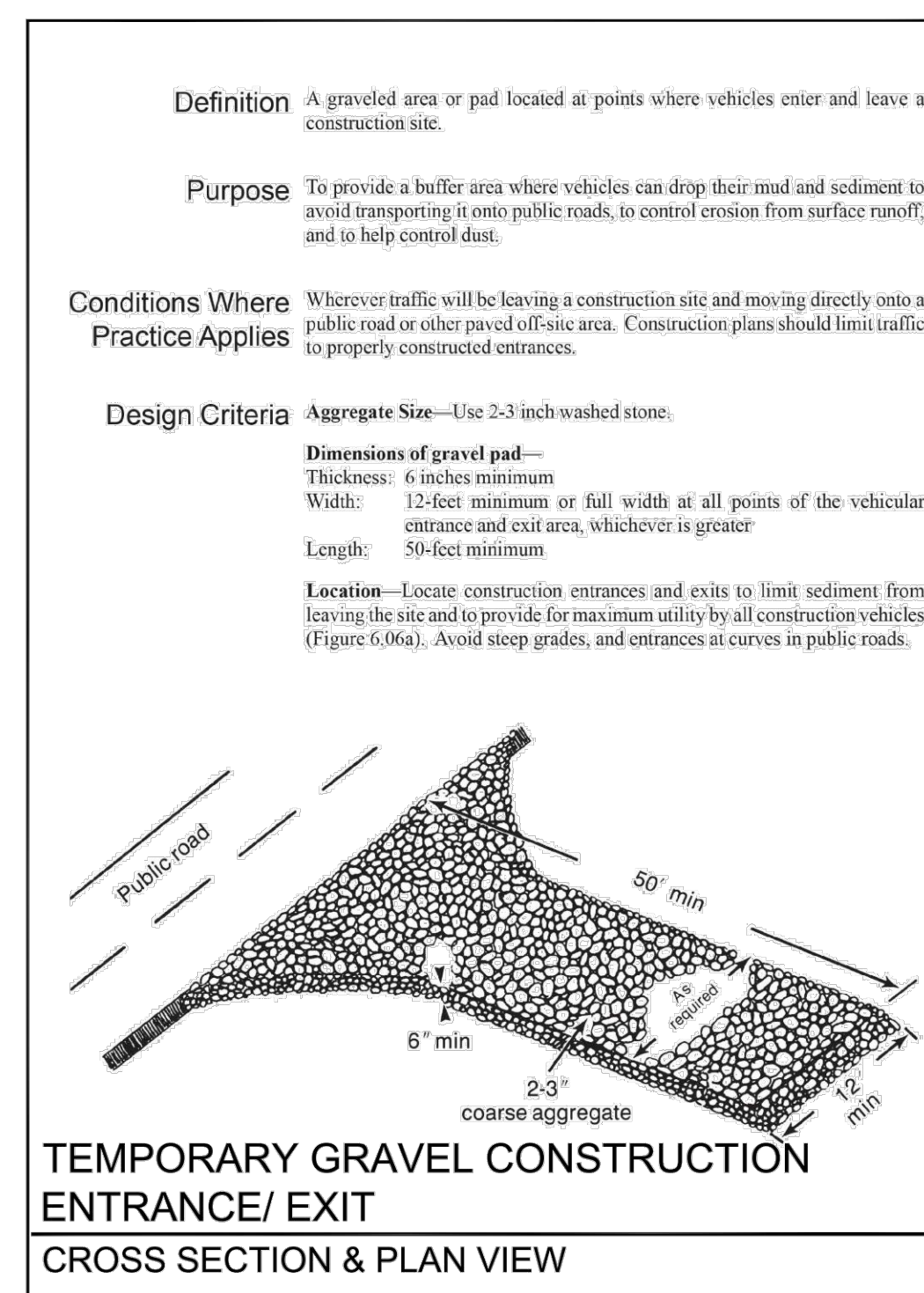
INSTALLATION DETAIL OF SEDIMENT FENCE PLAN VIEW & CROSS SECTION



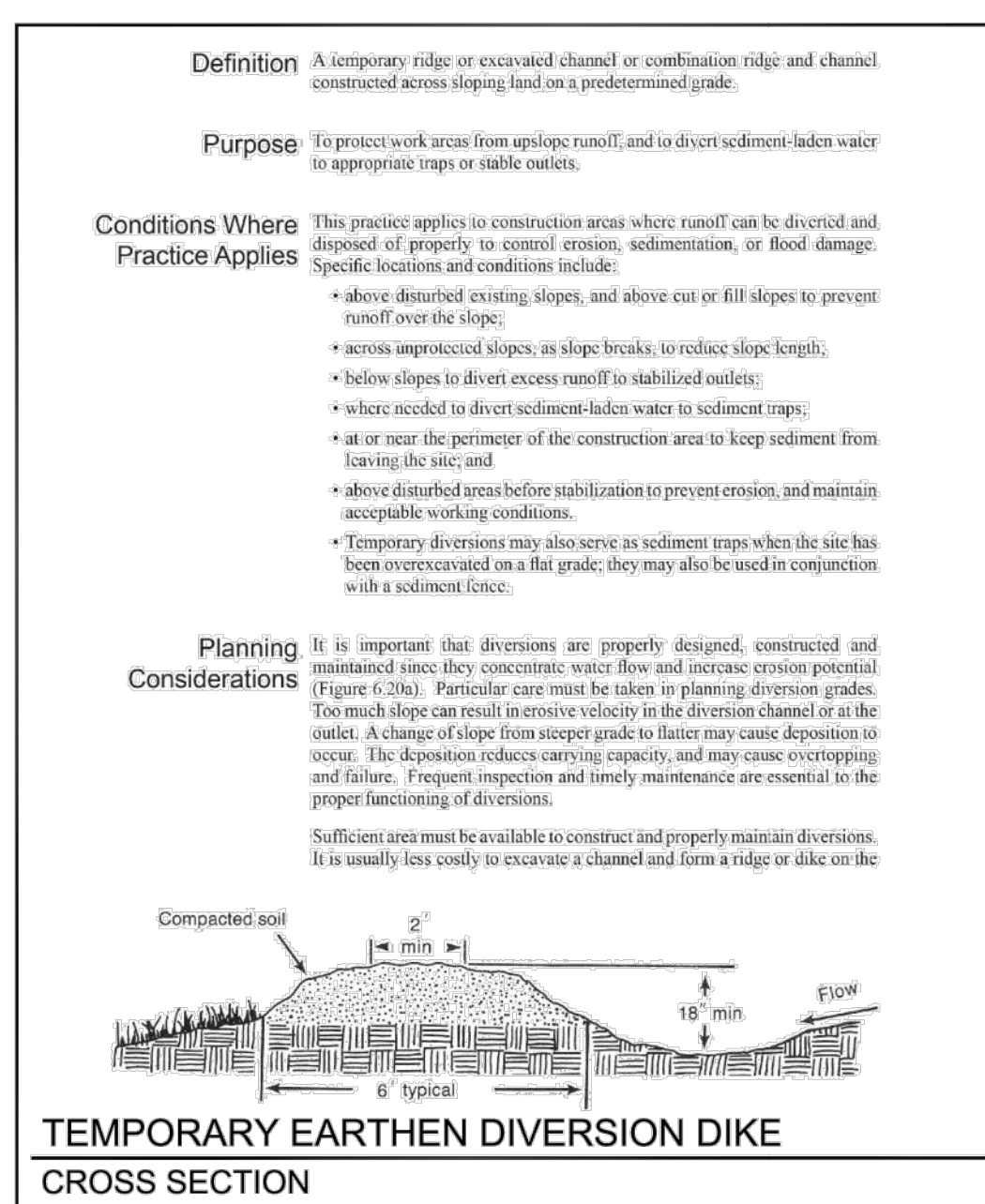
ROCK DOUGHNUT INLET PROTECTION PLAN VIEW & CROSS SECTION



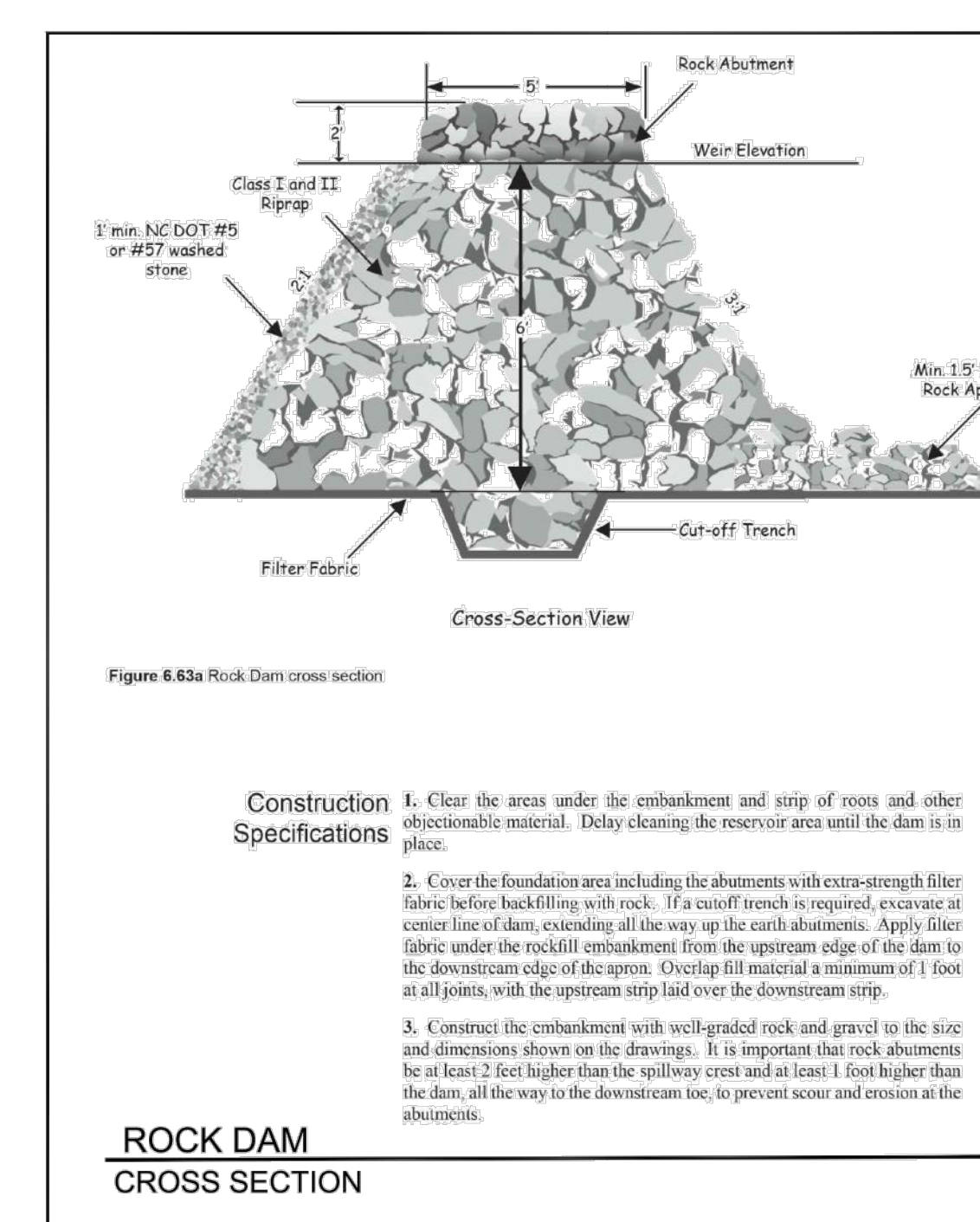
STONE CHECK DAM PLAN VIEW & CROSS SECTION



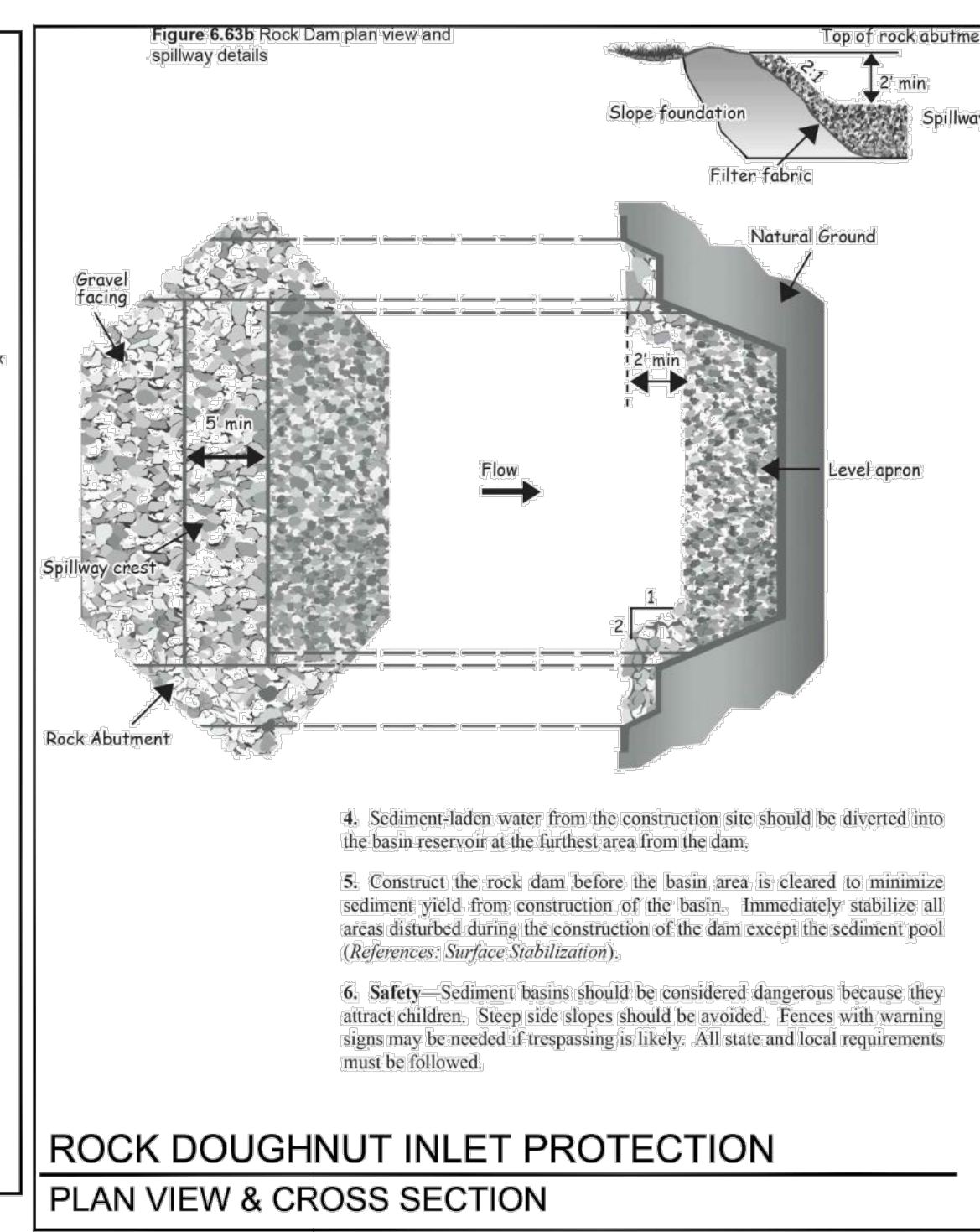
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT CROSS SECTION & PLAN VIEW



TEMPORARY EARTHEN DIVERSION DIKE CROSS SECTION



ROCK DAM CROSS SECTION



ROCK DOUGHNUT INLET PROTECTION PLAN VIEW & CROSS SECTION

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Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

DETAIL SHEET

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DATE: 01.14.2020

2018-6100.06

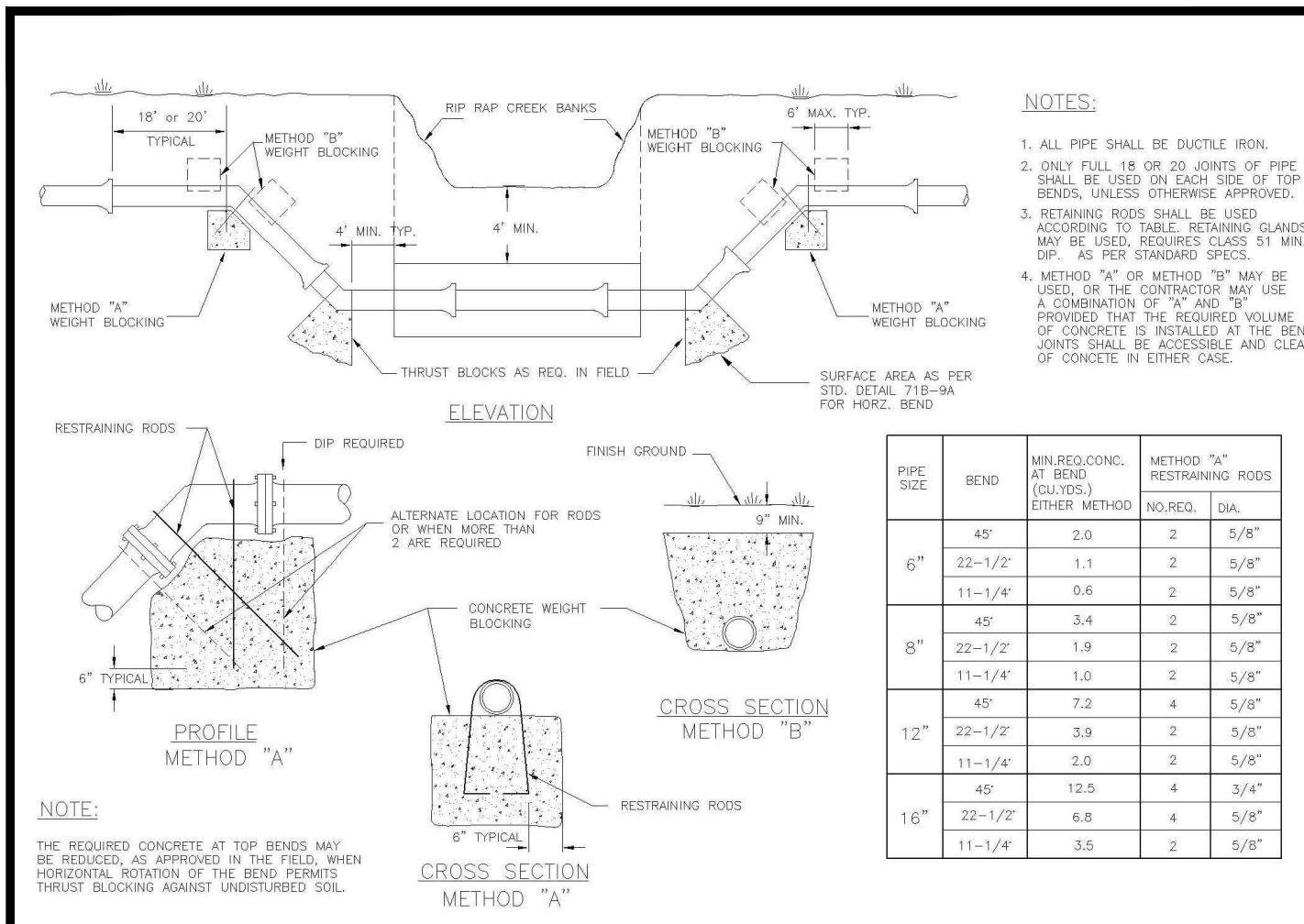
C-5

PRELIMINARY DRAWINGS  
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FRANKLIN S. CRAIG, P.E.  
CONSULTING ENGINEER  
2543 Glenholme Road  
Gastonia, NC 28956  
PH: (704) 813-5764

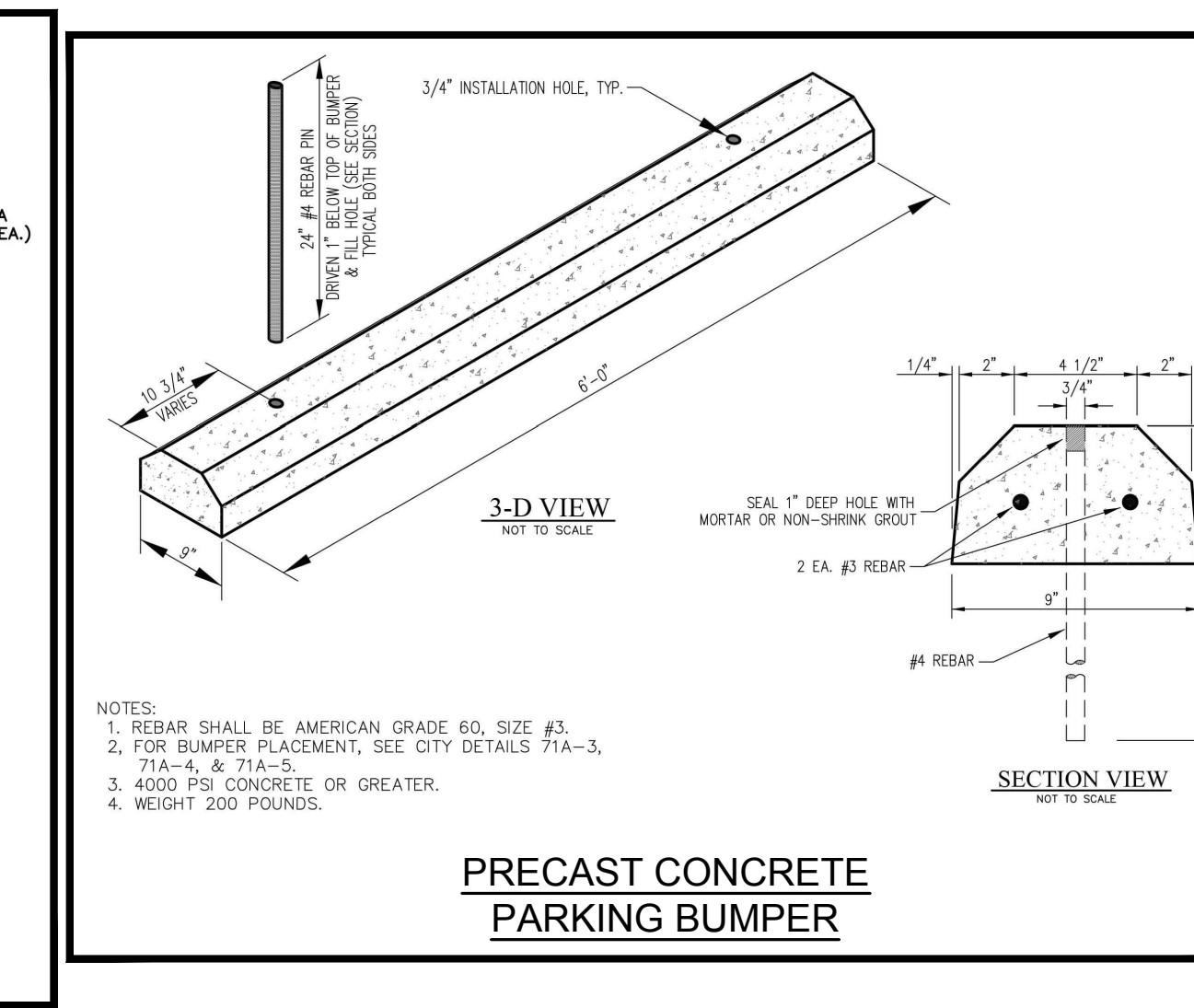
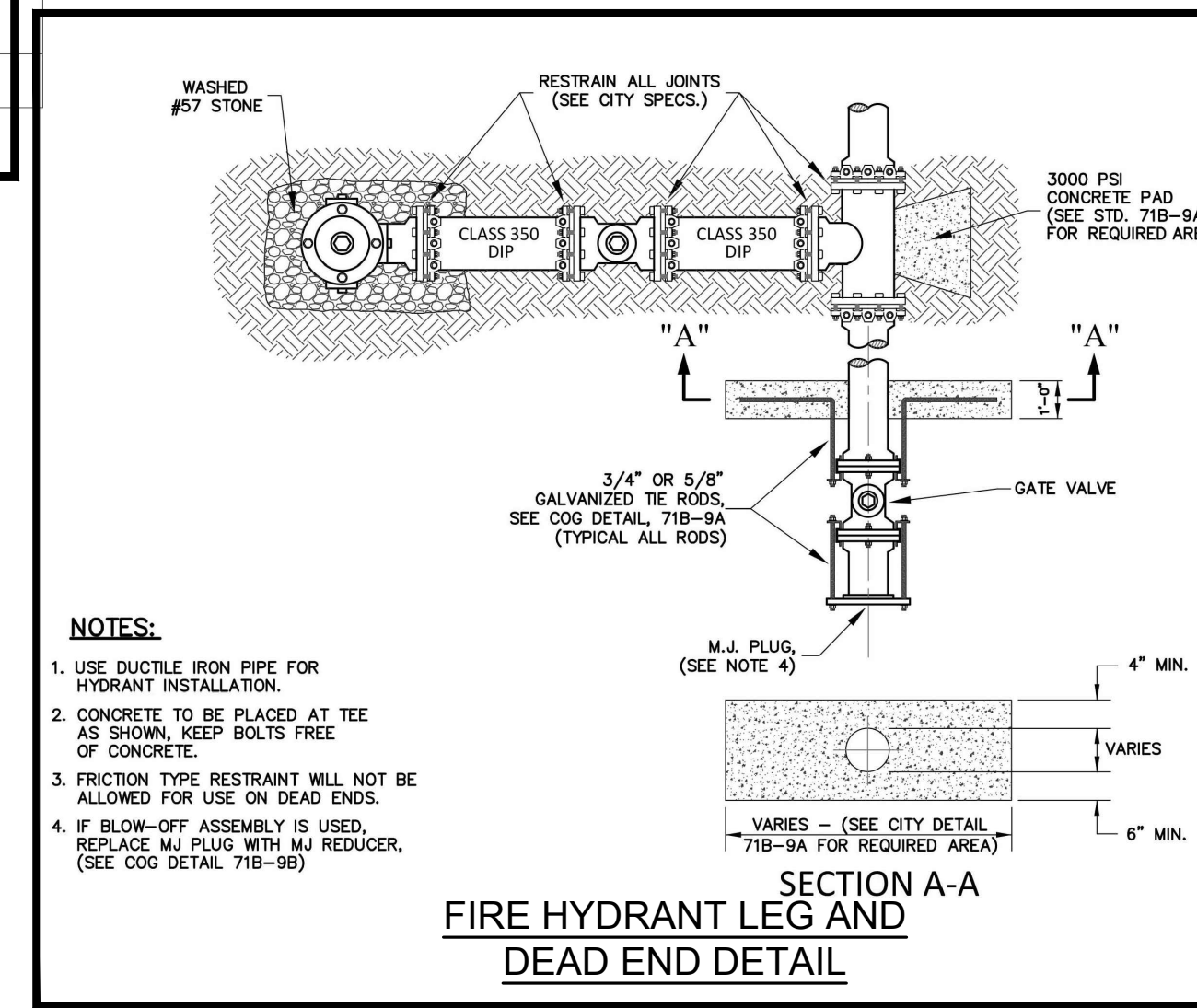
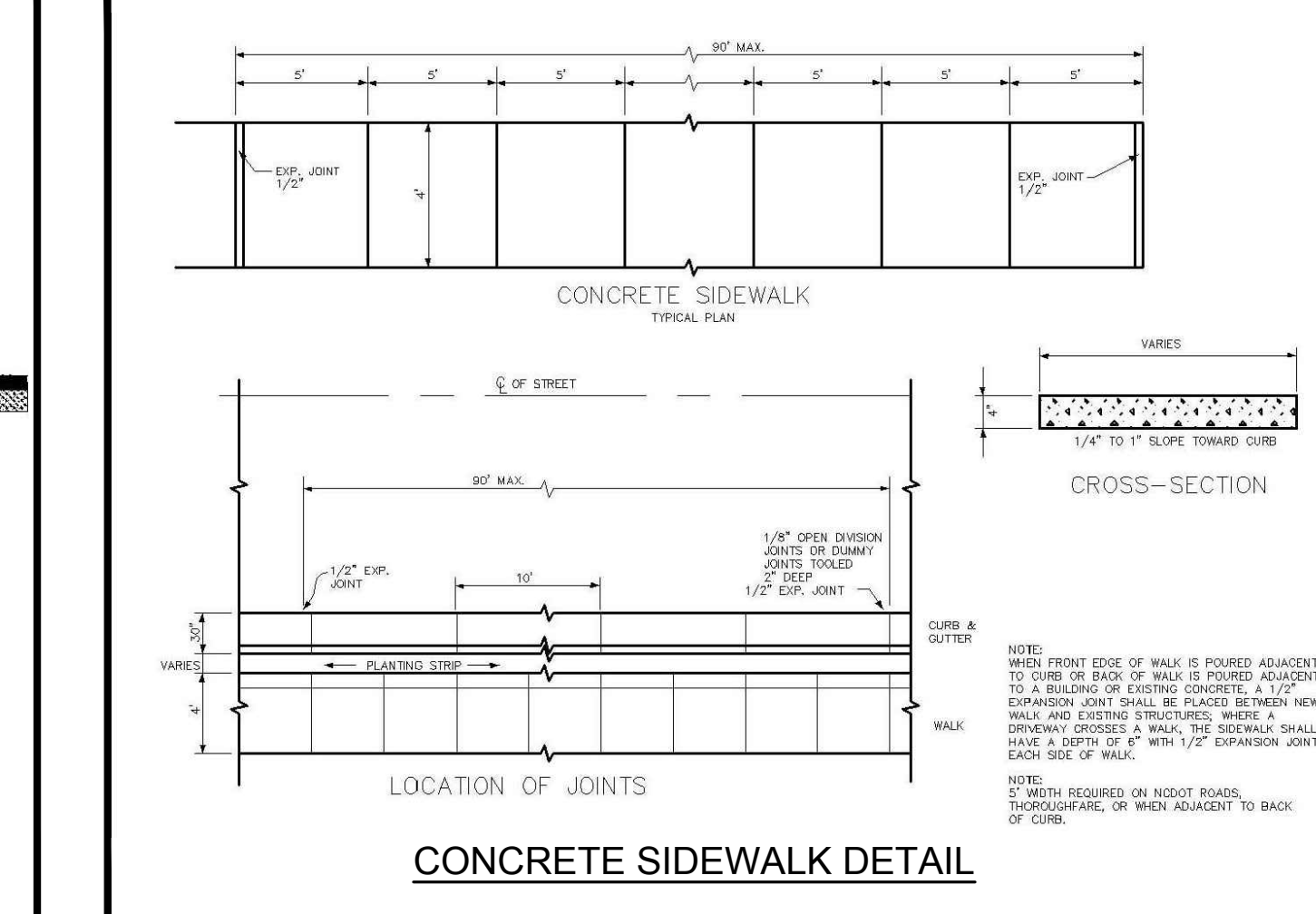
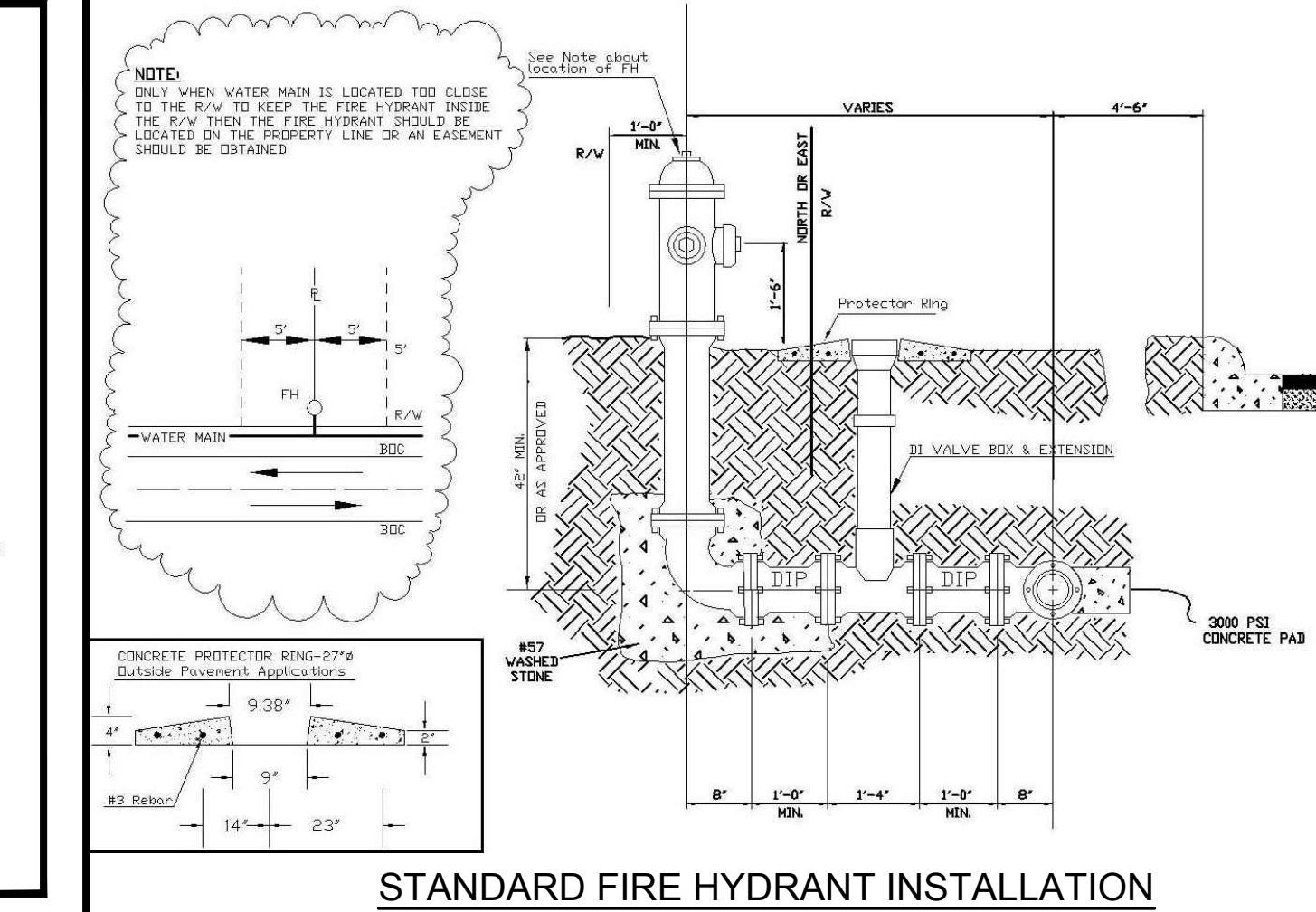
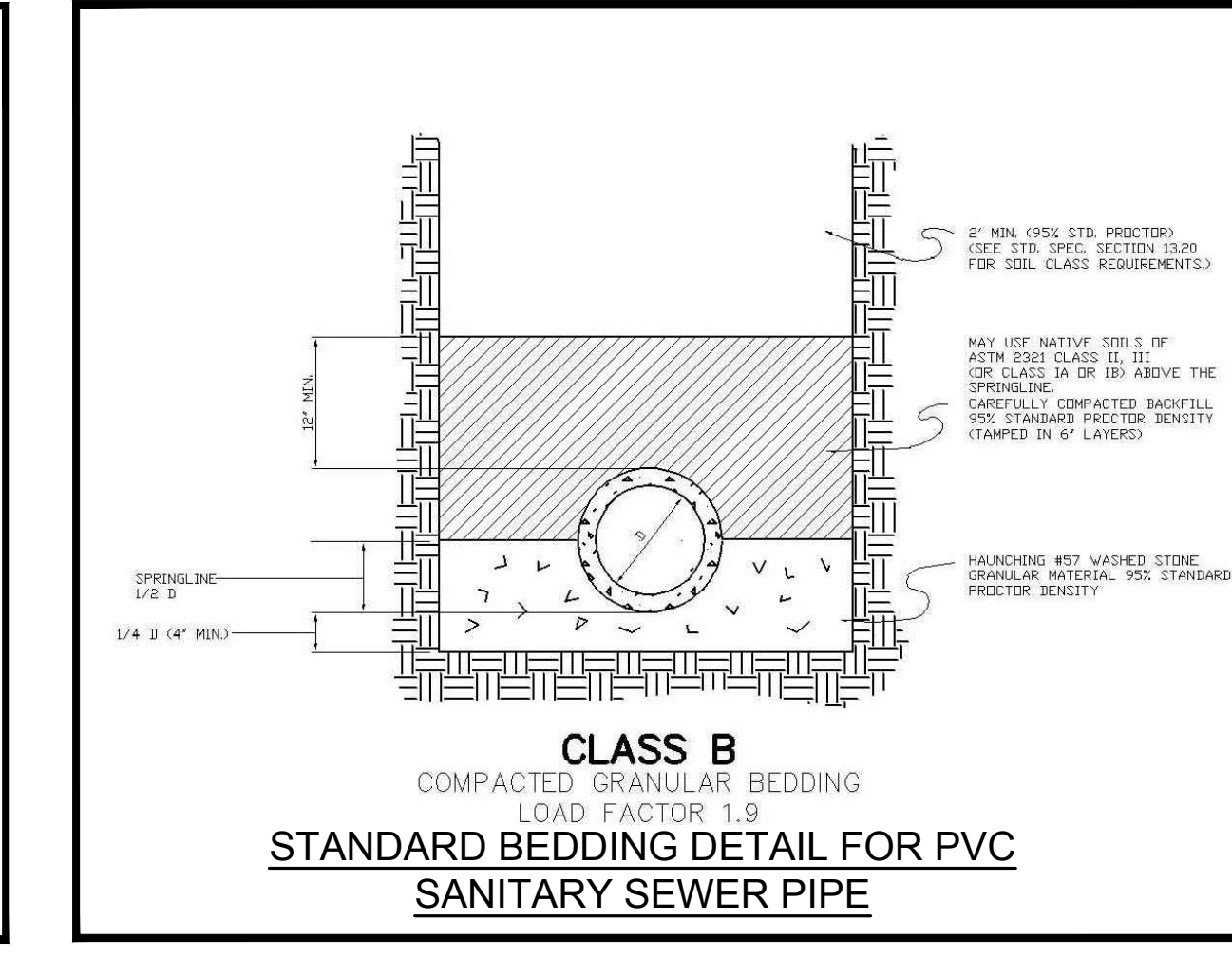
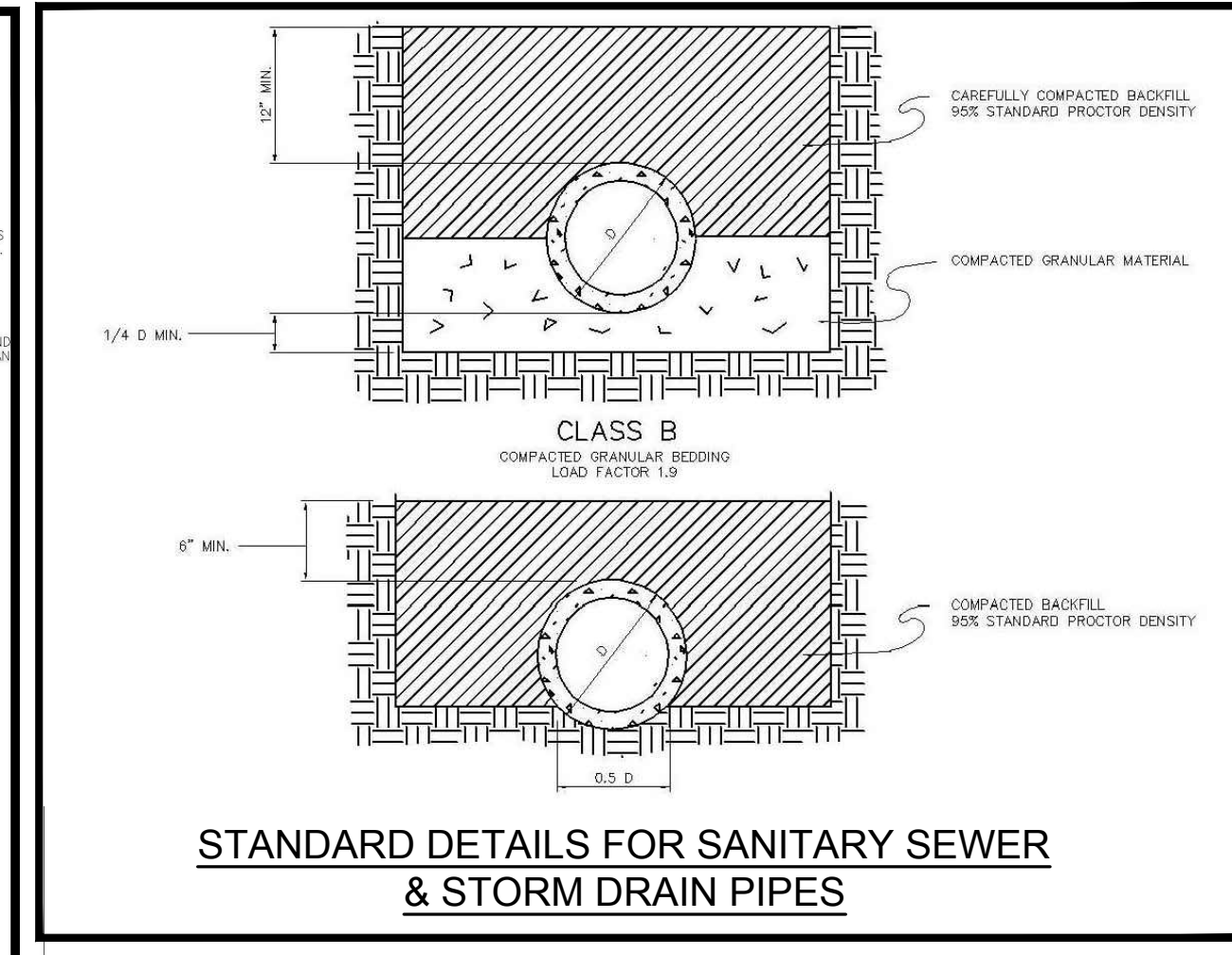
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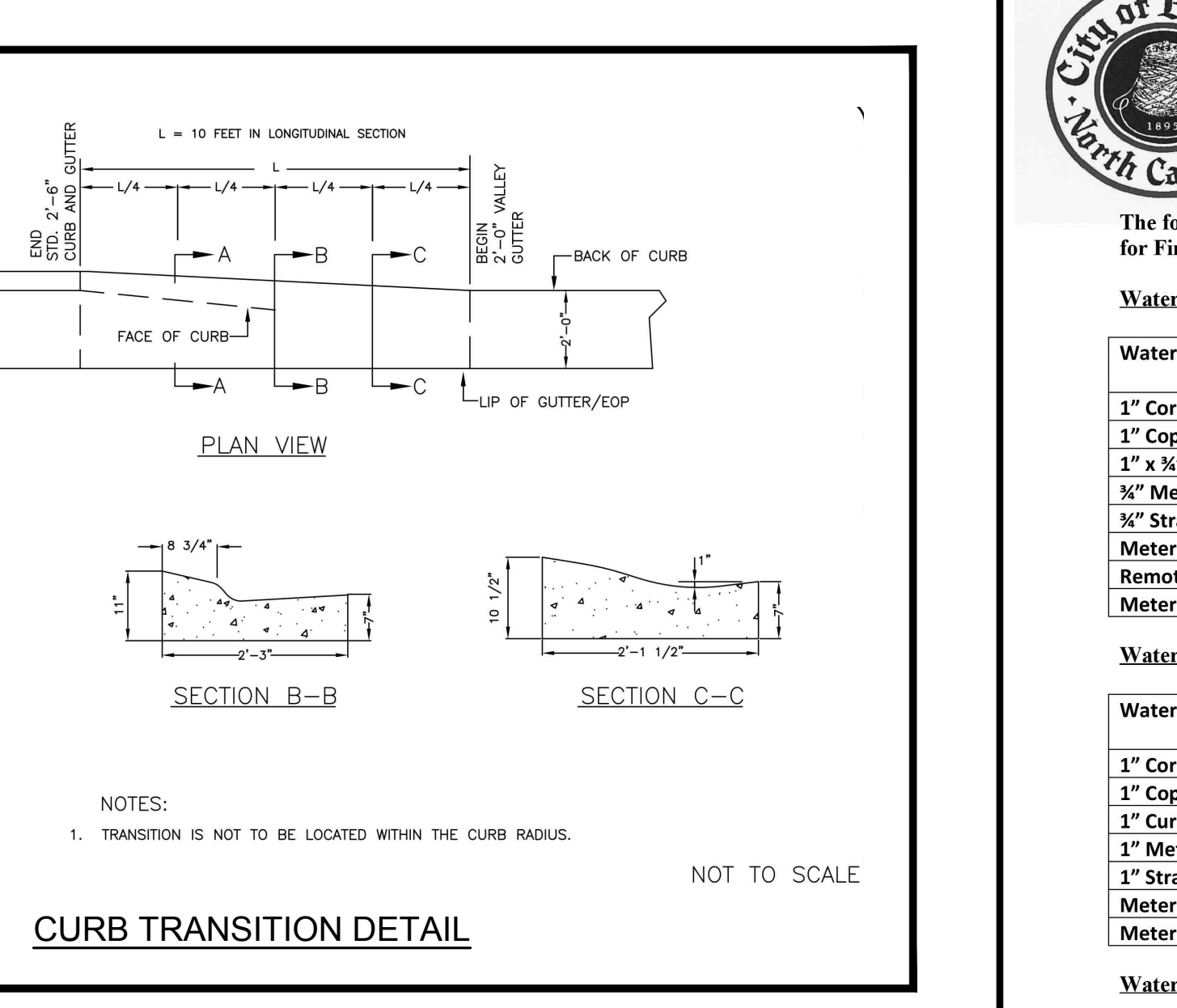
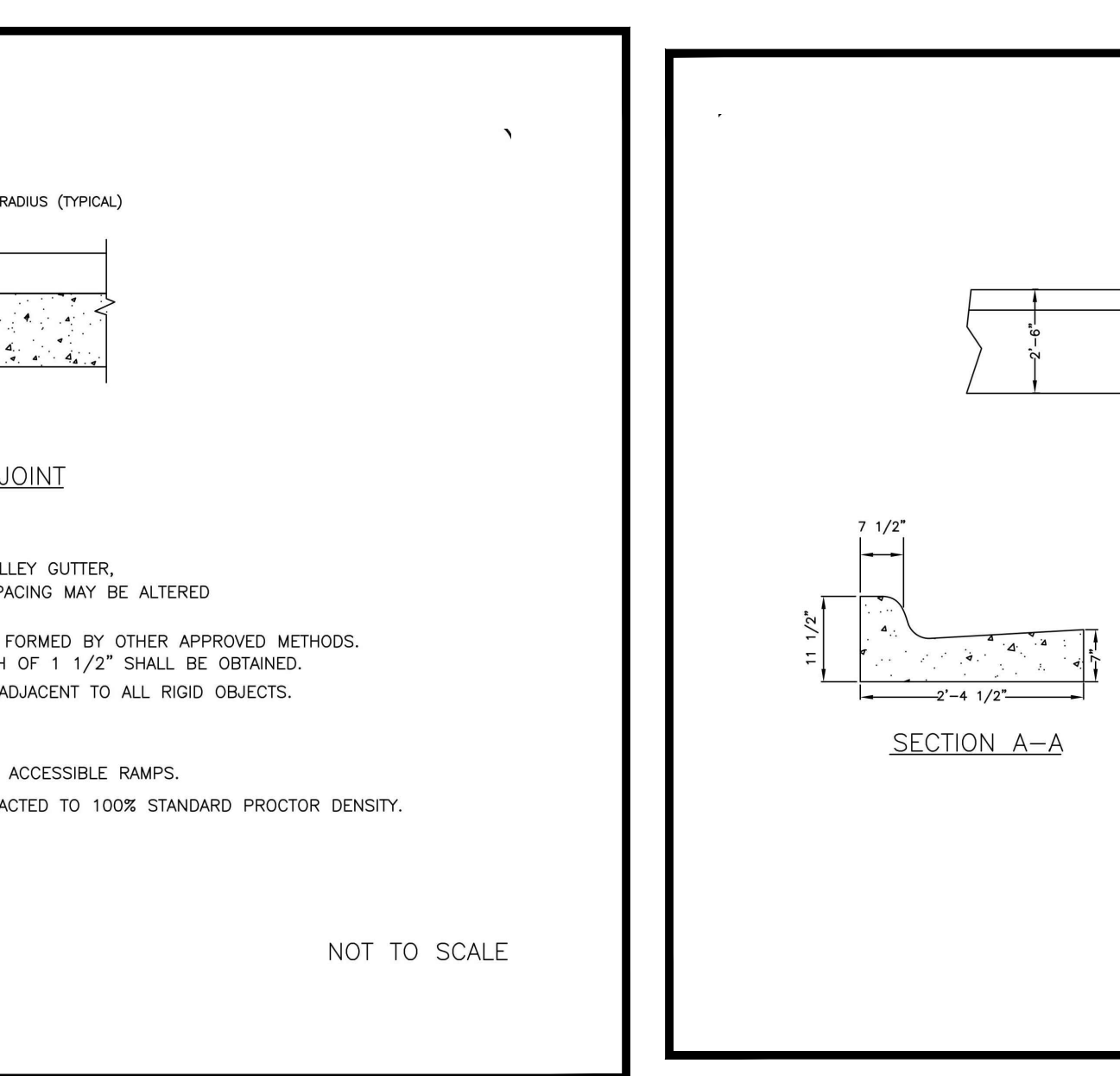
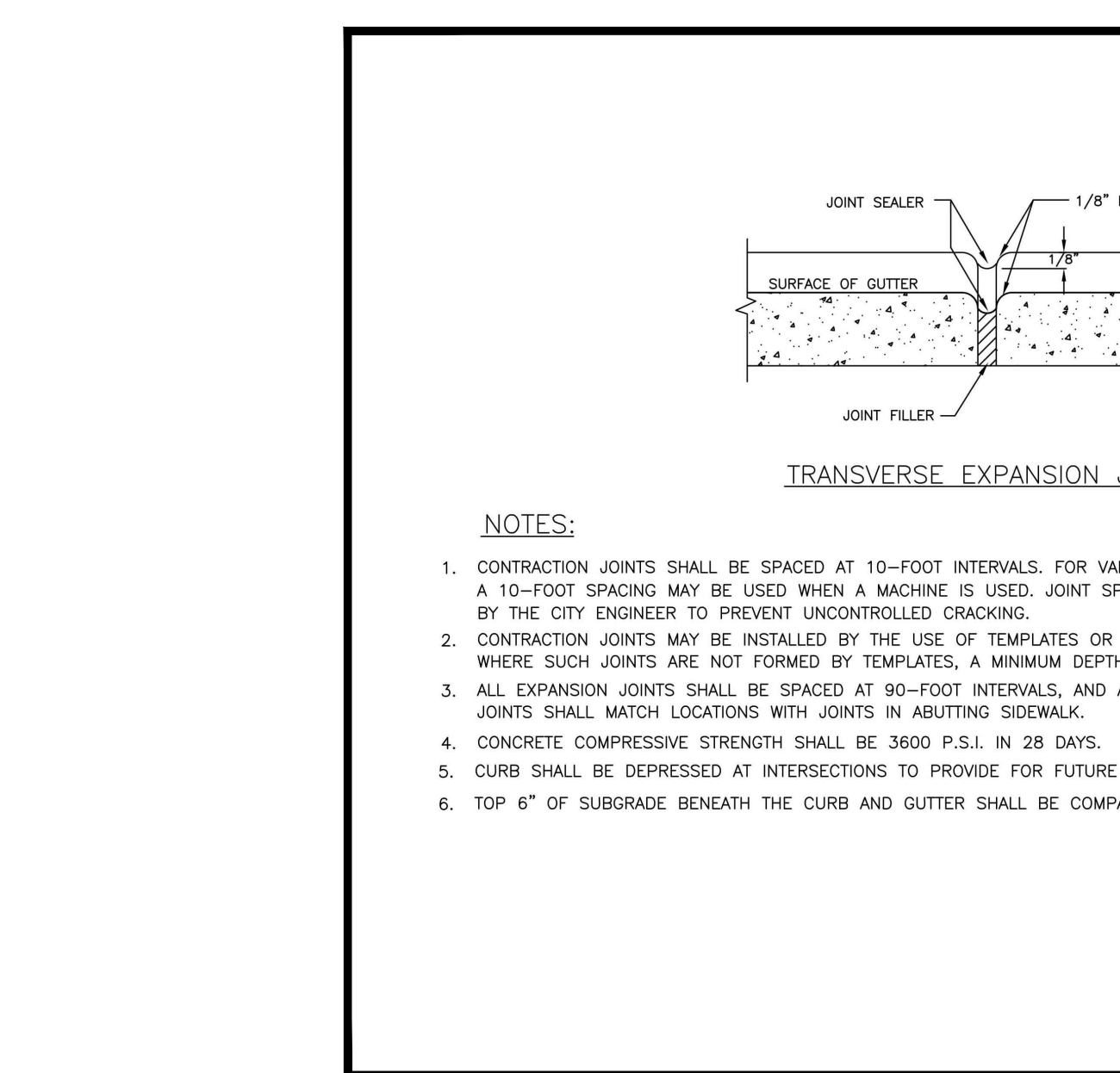


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DRAWN BY: JPC/EF  
CHECKED BY: RED/TAP  
CITY ENGINEER: JPB

OFFICE OF THE CITY ENGINEER GASTONIA, NC  
FILE # 71B-27



AREAS REQUIRED FOR CONCRETE BLOCKING FOR TEES AND BENDS ETC. (BASED ON TEST PRESSURE OF 200 P.S.I.)		
SIZE AND DEGREE OF BEND	STATIC THRUST IN POUNDS	AREAS REQUIRED
1 1/2" x 1 1/2"	1,138	1 1 1/2" x 1 1/2" x 2'-0"
2 1/2" x 2 1/2"	2,207	2 1/2" x 2 1/2" x 2'-0"
45°	4,238	2 1/2" x 2 1/2" x 2'-0"
90°/TEE	7,266	2 1/2" x 2 1/2" x 2'-0"
P/J	5,885	2 1/2" x 2 1/2" x 2'-0"
1 1/2" x 2"	1,579	1 1/2" x 2" x 2'-0"
2" x 2"	3,040	2" x 2" x 2'-0"
90°/TEE	14,215	2" x 2" x 2'-0"
12"	10,053	2" x 2" x 2'-0"
1 1/2" x 1 1/2"	4,433	2" x 2" x 2'-0"
2 1/2" x 2 1/2"	8,866	2" x 2" x 2'-0"
90°/TEE	23,863	2" x 2" x 2'-0"
12"	22,819	2" x 2" x 2'-0"
1 1/2" x 1 1/2"	7,891	2" x 2" x 2'-0"
2 1/2" x 2 1/2"	15,891	2" x 2" x 2'-0"
P/J	30,779	2" x 2" x 2'-0"
12"	22,819	2" x 2" x 2'-0"
12"	40,231	2" x 2" x 2'-0"



City of Belmont  
115 N. MAIN STREET  
POST OFFICE BOX 431  
BELMONT, NC 28012  
PHONE (704) 825-5586

The following is a required list of parts to be used for a 1/2", 1" and 2" water connection and for Fire Meter Service. Per City of Belmont

Water Service Connections for 1/2" Meter:	
Water Service Saddle	Smith Blair 313 for iron/metal piping and 317 for PVC Stainless Steel Bands
1" Corporation Stop	Mueller H-15008
1" Copper	Type K Soft Copper
1" x 3/8" Curb Stop	Mueller B-24350
3/8" Meter Resetter	VHH42-7W
3/8" Straight Coupling	Mueller H-10871
Meter	5/8" x 3/4" WOGA2945 w/Nicor (Hersey)
Remote Disconnect Meter	5/8" x 3/4" HENWOOD294M4 w/Nicor (Hersey)
Meter Box	NDS #D1200-D1TR (L2X17)

Water Service Connections for 1" Meter:	
Water Service Saddle	Smith Blair 313 for iron/metal piping and 317 for PVC Stainless Steel Bands
1" Corporation Stop	Mueller H-15008
1" Copper	Type K Soft Copper
1" Curb Stop	Mueller B-24350
1" Meter Resetter	VHH42-10W
1" Straight Coupling	Mueller H-10871
Meter	1" WOGA2945 w/Nicor (Hersey)
Meter Box	NDS #D1500-D1BTR (L3X20)

Water Service Connections for 2" Meter:	
Water Service Saddle	Smith Blair 313 for iron/metal piping and 317 for PVC Stainless Steel Bands
2" Corporation Stop	Mueller H-15013
2" Copper	Type K Soft Copper
2" Curb Stop	Mueller B-25172
2" Meter Resetter	VHH77-12B-13-77
Meter	2" WOPN29155 (Hersey)
Meter Box	DFWAAC - 12 - 1A with black AMR lid

\*\*\* Larger meters will be Hersey meters and you will need to contact Fortline Waterworks for all part numbers  
\*\*\* For all Facilities requiring Backflow Preventers an approved list and test forms are available on the City's Website at [www.cityofbelmont.org](http://www.cityofbelmont.org)

PRELIMINARY DRAWINGS  
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FOR REVIEW & COORDINATION

FRANKLIN S. CRAIG, P.E.  
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Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012

DETAIL SHEET

REVISIONS:  $\Delta$

No.	Description	Date

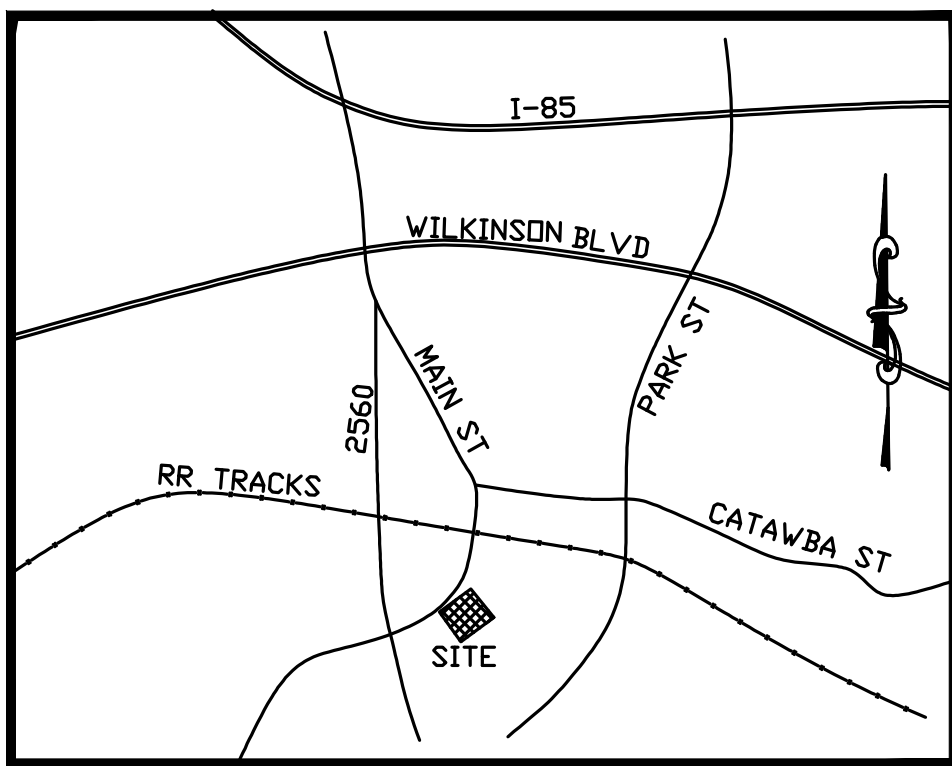
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DATE: 01.14.2020

2018-6100-06

C-6

Design Development





VICINITY MAP  
(NOT TO SCALE)

ALEXANDER MEMORIAL  
BAPTIST CHURCH  
DB 1178, PG. 0007  
ZONED: G-R

SITE SUMMARY

OWNER/DEVELOPER: ANDY MERCER  
31 N. MAIN STREET  
BELMONT, NC 28012-3155

SUBJECT: BELMONT MIXED USE DEVELOPMENT  
SITE ADDRESS: 201 1/2 S. MAIN STREET, BELMONT, NC 28012-3155  
TOTAL SITE AREA = 0.43 AC  
PROPOSED USE: COMMERCIAL - MIXED USE DEVELOPMENT  
PARCEL #: #102708  
PIN #: 3694182431  
OWNER ID: BEP11 - PERIMETER CBD BELMONT  
DB 4916, PG. 1933  
ZONING: NC-C NEIGHBORHOOD CENTER COMMERCIAL

BUILDINGS - MIXED USE BUILDING 13,802 SF TOTAL  
1st FLOOR = 4,959 SF  
2nd FLOOR = 4,959 SF  
3rd FLOOR = 3,884 SF

PARKING:  
PARKING FEED:  
1 SPACE PER 400SF: 13,802 / 400 = 34.5 SPACES = 35 SPACES  
PARKING PROVIDED: 22 SPACES INCLUDING 2 HANDICAP  
BICYCLE PARKING: 8 BICYCLE SPACES

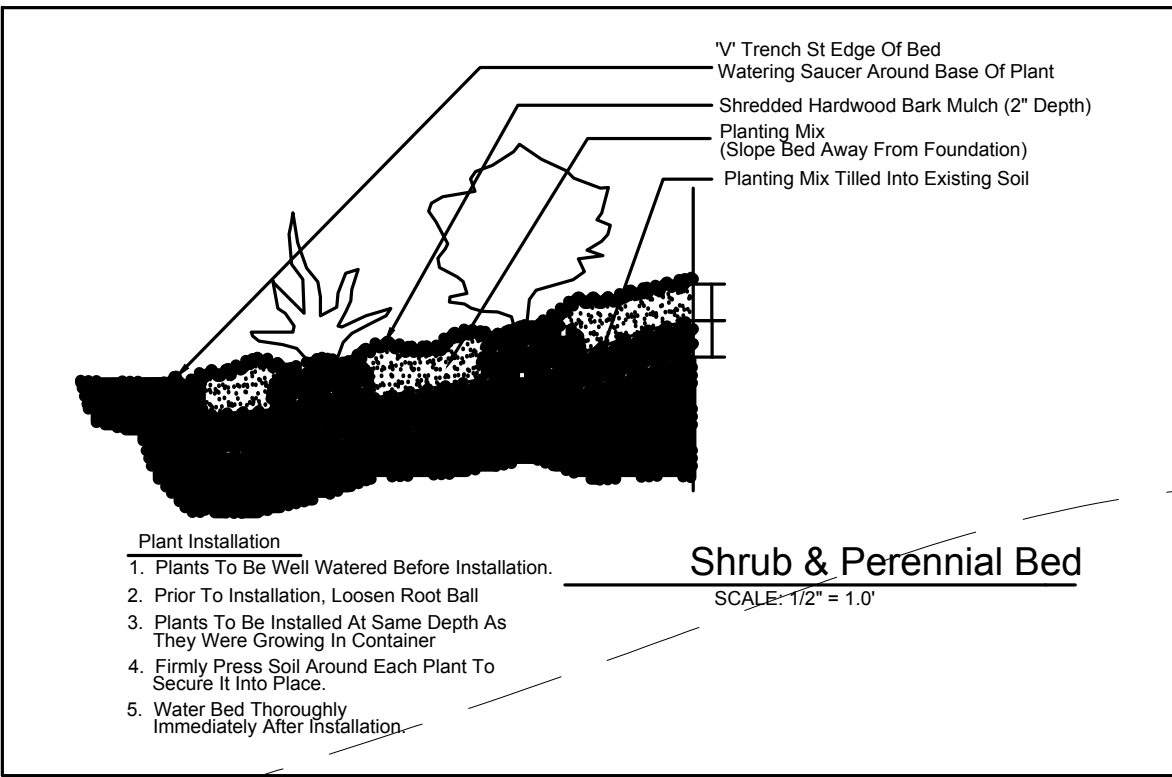
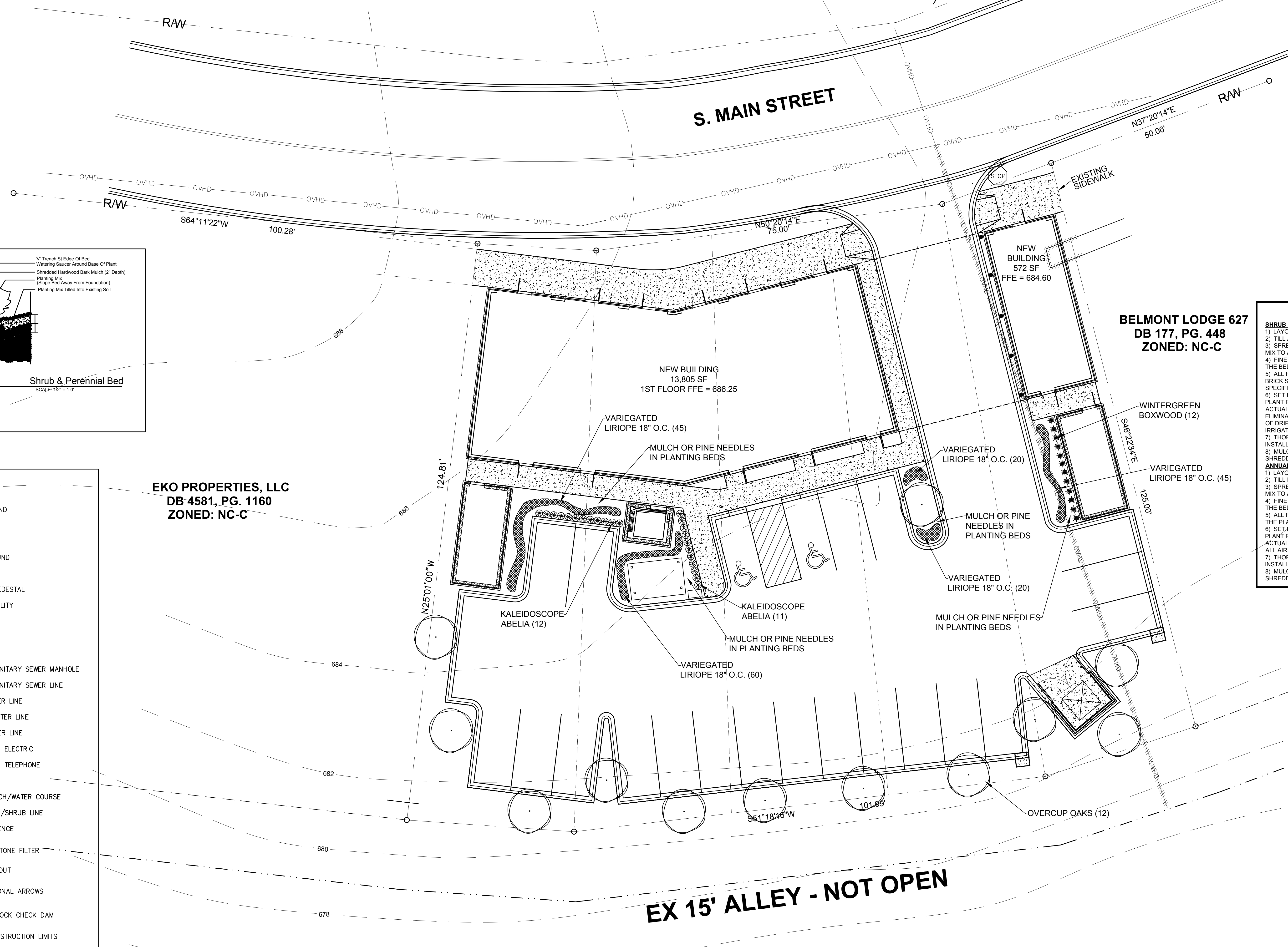
SETBACKS: C1 & C3 ZONING:  
MIN. FRONT SETBACK = 0'  
MIN. SIDE SETBACK = 0' MIN. REAR SETBACK = 0'  
MIN. LOT WIDTH = 50' MAX. BLDG. HEIGHT = 115'  
MIN. LOT AREA = 5,000 SF

FLOOD INFORMATION:  
ZONE: X MINIMAL FLOOD RISK  
PARCEL: 3594 MAP NO. 3710359400M  
EFFECTIVE DATE: SEPTEMBER 2, 2015  
LATITUDE: 35.23979 LONGITUDE: -81.039  
CID #: 370320 COUNTY: GASTON



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**SHRUB BED SPECIFICATION:**

- 1) LAYOUT BEDS AND ERADICATE ANY EXISTING VEGETATION.
- 2) TILL ALL PROPOSED BEDS TO A DEPTH OF 8".
- 3) SPREAD A 4-8" LAYER OF PLANTING MIX ON TOP OF THE BED. TILL IN PLANTING MIX TO A DEPTH OF 8".
- 4) FINE GRADE BED TO DRAIN. REMOVE ANY ROCKS, CLODS, OR DEBRIS FROM THE BED THAT ARE GREATER THAN 1" IN DIAMETER.
- 5) ALL PLANTING BEDS SHALL HAVE A 4" V-CUT TRENCH, STEEL EDGING, OR BRICK SOLDIER COURSE AT THE PERIMETER OF THE PLANTING BEDS AS SPECIFIED ON THE PLANTING PLAN.
- 6) SET PLANT MATERIAL 2-3" ABOVE THE FINISHED GRADE. BACKFILL AROUND PLANT ROOT BALL WITH AMENDED SOIL. NO FILLING SHALL BE DONE AROUND ACTUAL TRUNKS OR STEMS OF PLANT MATERIAL. FIRM DOWN BACKFILL TO ELIMINATE ALL AIR POCKETS. FORM 2" HIGH COLLAR AROUND OUTER PERIMETER OF DRIP ZONE OF INDIVIDUAL PLANTS WITH PLANTING BEDS WHICH ARE NOT IRRIGATED.
- 7) THOROUGHLY WATER IN ALL PLANT MATERIAL IMMEDIATELY AFTER INSTALLATION.
- 8) MULCH ENTIRE BED AREA WITH A 2" LAYER OF DOUBLE-HAMMERED, SHREDDED HARDWOOD MULCH.

**ANNUAL & PERENNIAL BED SPECIFICATION:**

- 1) LAYOUT BEDS AND ERADICATE ANY EXISTING VEGETATION.
- 2) TILL EXISTING SOIL TO A DEPTH OF 6-8" MINIMUM.
- 3) SPREAD A 6" LAYER OF PLANTING MIX ON TOP OF THE BED. TILL IN PLANTING MIX TO A DEPTH OF 6".
- 4) FINE GRADE BED TO DRAIN. REMOVE ANY ROCK, CLODS, OR DEBRIS FROM THE BED THAT ARE GREATER THAN 1" IN DIAMETER.
- 5) ALL PLANTING BEDS SHALL HAVE A 4" V-CUT TRENCH AT THE PERIMETER OF THE PLANTING BEDS AS SPECIFIED ON THE PLAN.
- 6) SET PLANT MATERIAL 2" ABOVE THE FINISHED GRADE. BACKFILL AROUND PLANT ROOT BALL WITH AMENDED SOIL. NO FILLING SHALL BE DONE AROUND ACTUAL TRUNK OR STEMS OF PLANT MATERIAL. FIRM BACKFILL TO ELIMINATE ALL AIR POCKETS.
- 7) THOROUGHLY WATER IN ALL PLANT MATERIAL IMMEDIATELY AFTER INSTALLATION.
- 8) MULCH ENTIRE BED AREA WITH A 2" LAYER OF DOUBLE-HAMMERED, SHREDDED HARDWOOD MULCH.

**SYMBOL LEGEND**

- IP(F) ⊙ IRON PIN FOUND
- CM(F) ⊙ IRON PIN SET
- IP(S) ⊙ IRON PIN SET
- PK(F) ⊙ P-K NAIL FOUND
- ⊙ FIRE HYDRANT
- TP ⊙ TELEPHONE PEDESTAL
- OVERHEAD UTILITY
- UP ⊙ UTILITY POLE
- ☆ LIGHT POLE
- WV ⊙ WATER VALVE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- SS — PROPOSED SANITARY SEWER LINE
- - - - - EXISTING SEWER LINE
- W — PROPOSED WATER LINE
- - - - - EXISTING WATER LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- G — GAS LINE
- DRAINAGE DITCH/WATER COURSE
- ~ ~ ~ ~ ~ APPROX. TREE/SHRUB LINE
- X — CHAIN LINK FENCE
- ⊙ TEMPORARY STONE FILTER
- SEWER CLEANOUT
- → FLOW DIRECTIONAL ARROWS
- ⊙ TEMPORARY ROCK CHECK DAM
- DENUDE/CONSTRUCTION LIMITS
- x — TEMPORARY SILT/CONSTRUCTION FENCE
- EXISTING DRAINAGE STRUCTURE & PIPE
- CURB & GUTTER
- - - - - EXISTING CONTOURS
- 680 — PROPOSED CONTOURS
- SEDIMENT BASIN
- ⊙ TEMPORARY CONSTRUCTION ENTRANCE

EKO PROPERTIES, LLC  
DB 4581, PG. 1160  
ZONED: NC-C

PLANTING SCHEDULE - TREES & SHRUBS PLANTINGS

○	OVERCUP OAKS	12	QUERCUS IGRATA	B&B	2.5" - 3.0" CALIPER	SINGLE STEM	PLANTED WITH MULCH
⊙	ABELIA KALEIDOSCOPE	23	KALEIDOSCOPE ABELIA	---	---	---	PLANTED WITH MULCH
⊙	WINTERGREEN BOXWOOD	12	BUXUS - WINTERGREEN	---	---	---	PLANTED WITH MULCH
⊙	VARIEGATED LIRIOPE	23	MONKEY GRASS	---	---	---	PLANTED 18" O.C.

**PRELIMINARY DRAWINGS**  
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FRANKLIN S. CRAIG, P.E.  
CONSULTING ENGINEER  
2543 Glenholme Blvd  
Gastonia, NC 29056  
PH: (704) 813-9754

SCALE: 1" = 10'

Belmont Mixed-Use  
201 1/2 S. Main Street, Belmont, NC 28012  
LANDSCAPE PLAN

REVISIONS:

No.	Description	Date

DRAWN BY: XXX  
CHECKED BY:  
DATE: 01.14.2020  
2018-6100.06

L-1

Design Development