

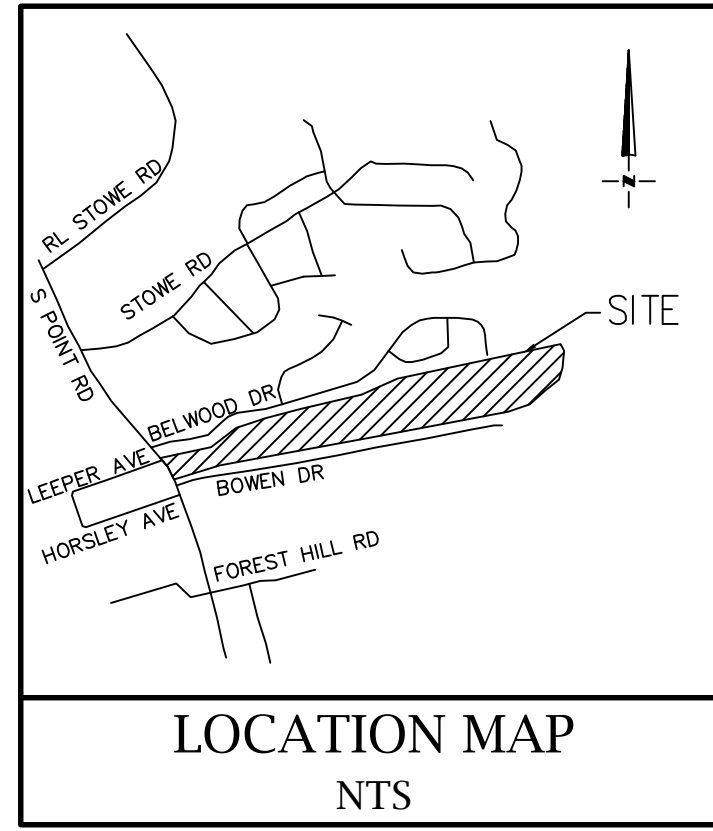
RIVERMIST SUBDIVISION

SOUTH POINT ROAD

BELMONT, NC



Know what's below.
Call before you dig.



GENERAL NOTES	
EXISTING CONDITIONS & DEMOLITION PLAN - SITE WEST & CENTER	C1.0
EXISTING CONDITIONS & DEMOLITION PLAN - SITE EAST & OFF-SITE	C1.1
SITE PLAN - SITE WEST	C1.2
SITE PLAN - SITE CENTER	C2.0
SITE PLAN - SITE CENTER (PT. II)	C2.1
SITE PLAN - SITE EAST	C2.2
EROSION CONTROL PLAN - SITE WEST PH. 1	C2.3
EROSION CONTROL PLAN - SITE CENTER PH. 1	C3.0
EROSION CONTROL PLAN - SITE EAST PH. 1	C3.1
EROSION CONTROL PLAN - OFF-SITE	C3.2
EROSION CONTROL PLAN - SITE WEST PH. 2	C3.3
EROSION CONTROL PLAN - SITE CENTER PH. 2	C3.4
EROSION CONTROL PLAN - SITE EAST PH. 2	C3.5
NGDOT STANDARD NOTES	C3.6
GRADING PLAN - SITE WEST	C3.7
GRADING PLAN - SITE CENTER	C4.0
GRADING PLAN - SITE CENTER (PT. II)	C4.1
GRADING PLAN - SITE EAST	C4.2
GRADING PLAN - SITE EAST	C4.3
STORM SEWER DRAINAGE AREA PLAN	C4.4
SCM DRAINAGE AREA PLAN	C4.5
STORM SEWER/ROADWAY PLAN AND PROFILE - RIVERMIST DRIVE	C6.0-C6.3
STORM SEWER/ROADWAY PLAN AND PROFILE - WATERCOURSE WAY	C6.4
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BELWOOD DRIVE ROADWAY IMPROVEMENTS PLAN	C6.9
UTILITY COVER SHEET	C7.0
UTILITY PLANS	C7.1-C7.7
SITE DETAILS	C9.0-C9.7

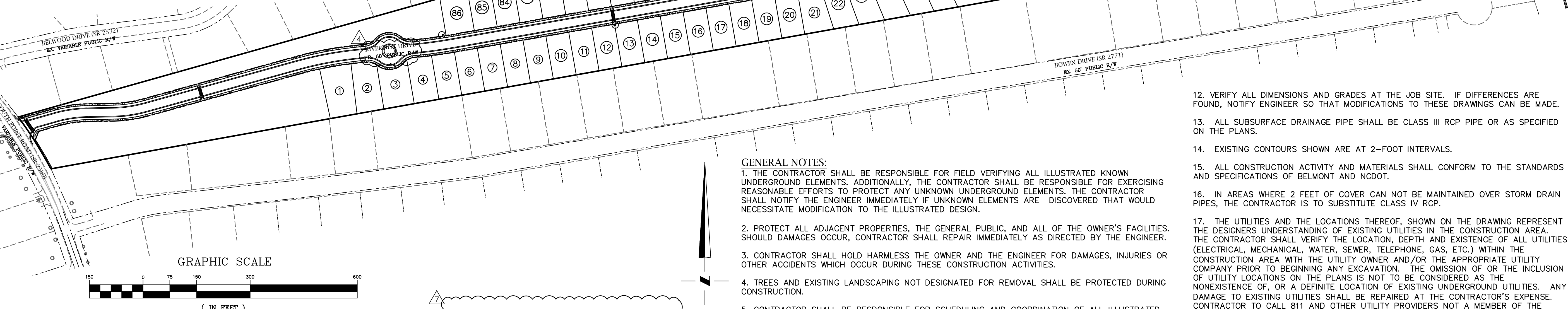
NORFOLK SOUTHERN RAIL ROAD STANDARD NOTES:
ALL UTILITY INSTALLATIONS OR RELOCATIONS THAT ARE REQUIRED IN CONJUNCTION WITH THIS PROJECT CAN BE INSTALLED OR RELOCATED AS PART OF THE PROJECT PROVIDED THE CONSTRUCTION IS PERFORMED BY THE PROJECT CONTRACTOR OR PROJECT CONTRACTOR'S SUB-CONTRACTOR. HOWEVER, THE UTILITY MUST SUBMIT AN APPLICATION FOR THE INSTALLATION OR RELOCATION TO NS PIPE AND WIRE FOR APPROPRIATE HANDLING FOR LICENSE AGREEMENT AND APPLICABLE FEES. FOR UTILITY APPLICATIONS GO TO: WWW.NSCORP.COM/CONTENT/NSCORP/EN/REAL-ESTATE/NORFOLK-SOUTHERN-SERVICES/WIRE-PIPELINE-FIBER-OPTIC-PROJECTS.HTML
NOTE: LICENSE AGREEMENT MUST BE EXECUTED PRIOR TO UTILITY BEING INSTALLED OR RELOCATED.

CONTRACTOR WILL NOT BE PERMITTED TO STORE ANY EQUIPMENT ON NS PROPERTY WITHOUT PERMISSION FROM THE NS RAILROAD ENGINEER IN ACCORDANCE WITH SECTION E.5.K.1 OF THE NS PUBLIC PROJECTS MANUAL

ALL ROADWAY WORK WITHIN 2' OF THE OUTSIDE EDGE OF RAIL SHALL BE COMPLETED BY NORFOLK SOUTHERN FORCES AT THE SPONSOR'S EXPENSE.

PROPOSED WORK WITHIN NORFOLK SOUTHERN RIGHT OF WAY WILL TAKE APPROXIMATELY 60-90 DAYS

BELWOOD DRIVE CONNECTION NOTES:
THE EASTERN ROAD CONNECTION TO BELWOOD DRIVE MAY BE OPEN FOR UTILITY CONSTRUCTION AND SHALL BE CLOSED FOR THROUGH TRAFFIC UNTIL THE DEVELOPMENT IS 90% BUILT-OUT OR THE CITY HAS BEEN PETITIONED TO ACCEPT THE STREET FOR MAINTENANCE.

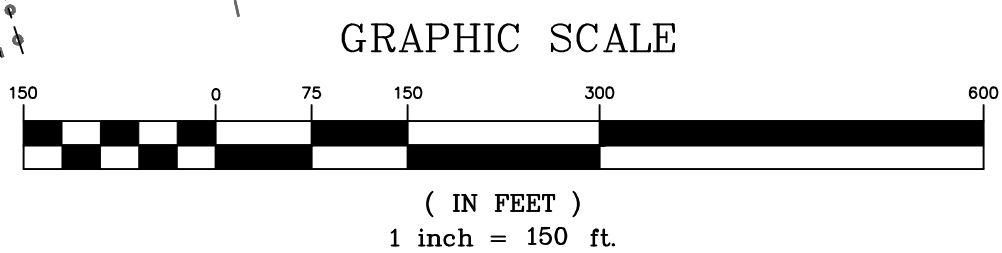


FINAL DRAWING FOR REVIEW PURPOSES ONLY

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
- TREES AND EXISTING LANDSCAPING NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL ILLUSTRATED CONSTRUCTION ACTIVITIES AT THE JOB SITE.
- SAFETY PROVISIONS: THE CONTRACTOR SHALL COMPLY WITH THE "RULES AND REGULATIONS GOVERNING THE CONSTRUCTION INDUSTRY" AS PROMULGATED FOR THE HEALTH, SAFETY AND GENERAL WELFARE OF EMPLOYEES BY THE COMMISSION OF LABOR UNDER GENERAL STATUTES OF NORTH CAROLINA, AND 29CFR PART 1926 AND PART 1910. PARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO THE FOLLOWING RULES AND REGULATIONS: BUILDING CONSTRUCTION WORK, DEMOLITION, EXCAVATION, PERMIT REQUIRED CONFINED SPACES AND TRENCHING. IN ADDITION TO THE FOREGOING SAFETY PROVISIONS, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR AND COMPLY WITH THE DEPARTMENT OF LABOR SAFETY REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (L 91-54), WHERE THE REQUIREMENTS OF THESE ACTS ARE IN EXCESS OF THOSE REQUIREMENTS SPECIFIED, THE REQUIREMENTS OF THESE ACTS SHALL GOVERN. SHOULD THE PLANS OR SPECIFICATIONS REQUIRE MATERIALS OR METHODS IN CONFLICT WITH THE SAFETY AND HEALTH REGULATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST OF THE ENGINEER ANY CHANGES THAT MAY BE NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION ADJUSTMENTS OF ALL EXISTING VAULTS (REGARDLESS OF FUNCTION), METER BOXES, FIRE HYDRANTS, CLEAN OUTS, MANHOLES ETC. TO MATCH FINISHED GRADES AND SITE PLAN. ALL SUCH WORK SHALL BE COORDINATED WITH THE ENGINEER.
- UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY ENGINEER PRIOR TO CONSTRUCTION.

- VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IF DIFFERENCES ARE FOUND, NOTIFY ENGINEER SO THAT MODIFICATIONS TO THESE DRAWINGS CAN BE MADE.
- ALL SUBSURFACE DRAINAGE PIPE SHALL BE CLASS III RCP PIPE OR AS SPECIFIED ON THE PLANS.
- EXISTING CONTOURS SHOWN ARE AT 2-FOOT INTERVALS.
- ALL CONSTRUCTION ACTIVITY AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF BELMONT AND NCDOT.
- IN AREAS WHERE 2 FEET OF COVER CAN NOT BE MAINTAINED OVER STORM DRAIN PIPES, THE CONTRACTOR IS TO SUBSTITUTE CLASS IV RCP.
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWING REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE UTILITY OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CALL 811 AND OTHER UTILITY PROVIDERS NOT A MEMBER OF THE 1-CALL SERVICE.
- THERE SHALL BE NO ON-SITE BURIAL PITS. ALL SOLID WASTE GENERATED FROM THE PROJECT INCLUDING CONSTRUCTION AND LAND CLEARING DEBRIS, ETC. WILL BE PROPERLY DISPOSED OF OFFSITE IN AN APPROVED DISPOSAL FACILITY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES AND TOPOGRAPHY AS NEEDED DURING CONSTRUCTION STAKING.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS PRIOR TO GRADING ACTIVITIES. SHOULD FIELD CONDITIONS WARRANT DISTURBING SITE AREAS IN EXCESS OF THE AMOUNT OF DISTURBED ACREAGE APPROVED, THE CONTRACTOR SHALL FIRST OBTAIN APPROVAL FROM THE LINCOLN COUNTY NATURAL RESOURCES INSPECTOR WHICH MAY REQUIRE REVISIONS TO THE EROSION CONTROL PERMIT.
- COMMON OPEN SPACE IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- C.O.S.- COMMON OPEN SPACE
- ALL STREETS WITHIN THE DEVELOPMENT SHALL BE TURNED OVER TO BELMONT FOR OWNERSHIP AND MAINTENANCE.
- STREET TREES ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION OR THE HOME OWNER.
- THE RAILROAD CROSSING OF NORFOLK SOUTHERN RAILROAD TRACKS SHALL BE MAINTAINED BY THE CITY OF BELMONT. THIS INCLUDES ALL PAVEMENT AREA WITHIN THE 150 FOOT WIDE RAILROAD R.O.W.
- REFER TO CURRENT STANDARDS FOR CURRENT CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL: <http://www.cityofbelmont.org/216/Land-Development-Standards-Manual>



"I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS CONTAIN ALL INFORMATION REQUIRED BY THE ZONING ORDINANCE OF THE CITY OF BELMONT, NC AND THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL."

"I (WE) HEREBY CERTIFY THAT ALL LAND DISTURBING ACTIVITIES INCLUDING CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED PLANS.

CITY, COUNTY AND STATE AUTHORITIES WILL BE ALLOWED TO ENTER UPON THE PROJECT SITE PROVIDED THEY PRESENT APPROPRIATE CREDENTIALS."

11/27/18 *Courtney Sloan* COURTNEY SLOAN
DATE DEVELOPER/APPLICANT (PRINT)

APPLICANT CERTIFICATION



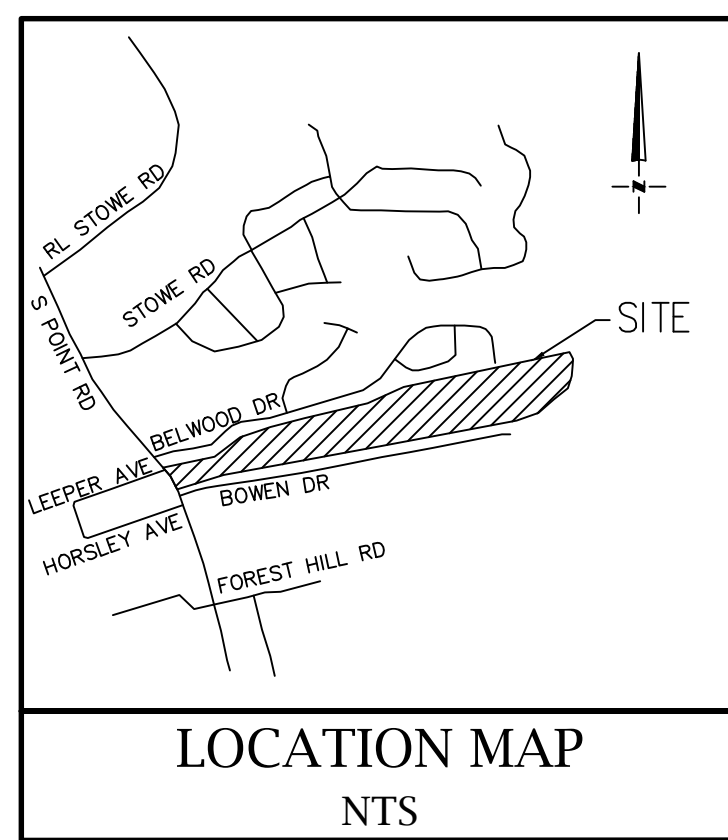
6/11/21

REVISIONS

CAD FILE:	18-017 BASE.DWG
PROJECT NO.:	18-017
DESIGNED BY:	TAP
SUBMITTAL DATE:	OCTOBER 8, 2018
SUBMITTAL DATE:	NOVEMBER 27, 2018
SUBMITTAL DATE:	OCTOBER 30, 2020
SUBMITTAL DATE:	JANUARY 26, 2021
SUBMITTAL DATE:	APRIL 27, 2021
SUBMITTAL DATE:	JUNE 11, 2021
CITY PROJECT NUMBER:	SPR 2018.18

DEVELOPED BY:
SHINNVILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

Mc2 ENGINEERING, INC.
2110 BEN CRAIG DR.
SUITE 400
CHARLOTTE, NC 28262
PHONE 704.510.9797



- SITE KEY NOTES:**
- (A) PROPOSED 50' RIGHT OF WAY WITH SIDEWALK. SEE TYPICAL SECTION 1/C9.2.
 - (B) PROPOSED 52' RIGHT OF WAY TRAFFIC CIRCLE. SEE TYPICAL SECTION 8/C9.3.
 - (C) CONTRACTOR SHALL INSTALL 2' VALLEY GUTTER FOR 52' RIGHT OF WAY TRAFFIC CIRCLE PER DETAIL 2/C9.3.
 - (D) CONTRACTOR SHALL INSTALL 2'-6" STANDARD CURB AND GUTTER (NCDOT 846.01) PER DETAIL 2/C9.3.
 - (E) CONTRACTOR SHALL INSTALL 5' WIDE SIDEWALK (NCDOT 848.01) PER DETAIL 3/C9.3.
 - (F) CONTRACTOR SHALL INSTALL STOP SIGN "30X30" MUTCD R1-1 AT INTERSECTION. STOP BARS (24" WHITE THERMOPLASTIC) SHALL BE PROVIDED AT ALL STOP SIGNS. TEMPORARY PAINTED STOP BARS MUST BE PROVIDED UNTIL THE FINAL ASPHALT LAYER IS INSTALLED.
 - (G) PROPOSED MAILBOX KIOSK SHALL INCLUDE AF-FLORENCE MANUFACTURING COMPANY VITAL CLUSTER BOX UNITS INSTALLED PER MANUFACTURER SPECIFICATIONS.
 - (H) CITY OF BELMONT 35' X 35' SIGHT TRIANGLE.
 - (I) NCDOT 10' X 70' SIGHT TRIANGLE.
 - (J) PROPOSED PERMANENT UTILITY EASEMENT (P.U.E.). SEE UTILITY PLANS FOR ADDITIONAL DETAILS.
 - (K) PROPOSED MONUMENT SIGNAGE TO BE DESIGNED AND PERMITTED BY OTHERS.
 - (L) PROPOSED STORM DRAINAGE EASEMENT (S.D.E.).
 - (M) CONTRACTOR SHALL INSTALL NEW TREE PER TREE PLANTING DETAIL SEE DETAIL 3/C9.6. TREES SHALL NOT BE PLANTED IN ANY EASEMENT.
 - (N) VARIABLE WIDTH TEMPORARY CONSTRUCTION EASEMENT
 - (O) CONTRACTOR TO INSTALL RAILROAD CROSSING SIGNAGE PER DETAIL 5/C9.6.
 - (P) CONTRACTOR TO INSTALL HEAVY DUTY FULL DEPTH RUBBER GRADE CROSSING SYSTEM PER DETAIL 6/C9.6.
 - (Q) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R7-1 (LEFT ARROW).
 - (R) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R7-1 (RIGHT ARROW).
 - (S) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R8-3
 - (T) CONTRACTOR SHALL COORDINATE WITH DUKE POWER FOR STANDARDS AND INSTALLATION OF LIGHT POLES. LIGHT POLES ARE NOT TO BE DECORATIVE.

ROADWAY CENTERLINE LINE TABLE:

LINE	ALIGNMENT NAME	LENGTH	BEARING
L1	RIVERMIST DRIVE	120.82'	N74° 13' 59"E
L2	RIVERMIST DRIVE	73.46'	N88° 51' 07"E
L3	RIVERMIST DRIVE	441.65'	N74° 29' 04"E
L4	RIVERMIST DRIVE	153.72'	N84° 32' 35"E
L5	RIVERMIST DRIVE	834.20'	N80° 03' 11"E
L6	RIVERMIST DRIVE	200.45'	N65° 14' 09"E
L7	RIVERMIST DRIVE	112.17'	N85° 56' 38"E
L8	RIVERMIST DRIVE	607.92'	N80° 27' 13"E
L9	RIVERMIST DRIVE	236.80'	N05° 26' 24"W
L10	WATERCOURSE WAY	162.95'	S58° 35' 02"E
L11	WATERCOURSE WAY	56.74'	N28° 27' 03"E
L12	WATERCOURSE WAY	102.87'	N15° 32' 30"W

ROADWAY CENTERLINE CURVE TABLE:

CURVE	ALIGNMENT NAME	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C3	RIVERMIST DRIVE	90.43	360.00	90.19	N81° 39' 21"E
C4	RIVERMIST DRIVE	90.27	360.00	90.04	N81° 40' 05"E
C5	RIVERMIST DRIVE	175.56	1000.00	175.33	N79° 30' 50"E
C6	RIVERMIST DRIVE	111.67	1425.00	111.64	N82° 17' 53"E
C7	RIVERMIST DRIVE	387.91	1500.00	386.83	N72° 38' 40"E
C8	RIVERMIST DRIVE	361.42	1000.00	359.46	N75° 35' 23"E
C9	RIVERMIST DRIVE	95.82	1000.00	95.78	N83° 11' 56"E
C10	RIVERMIST DRIVE	374.78	250.00	340.66	N37° 30' 25"E
C11	WATERCOURSE WAY	567.89	350.00	507.62	N74° 56' 00"E
C12	WATERCOURSE WAY	230.34	300.00	224.73	N06° 27' 16"E

PLANT MATERIALS LIST

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	CALIPER	MIN. HEIGHT
	102	RED MAPLE	<i>Acer rubrum</i>	2.5"	8-10'
	49	SOUTHERN RED OAK	<i>Quercus falcata</i>	2.5"	8-10'
	108	VIRGINIA PINE	<i>Pinus virginiana</i>	2.5"	8-10'
	4	APALACHEE CRAPE MYRTLE	<i>Lagerstroemia india</i>	2.5"	8-10'

UNDISTURBED/TREE SAVE AREA PROVIDED SUMMARY

LOT #	AREA (SQ FT)	AREA (ACRES)	CLASSIFICATION	FORREST TYPE	APPROX. TREES/ACRE	APPROX NO. TREES
LOT A	93,200	2.14	GREENS	MIXED	75	160
LOT B	57,095	1.31	GREENS	MIXED	75	98
LOT C	54,312	1.25	GREENS	PINE	100	125
LOT D	204,432	4.69	GREENS	HARDWOOD	50	235
LOT E	125,104	2.87	GREENS	MIXED	75	215
LOT F	17,759	0.41	GREENS	MIXED	50	20
LOT G	7,745	0.18	PARK	MIXED	75	13
LOT H	55,138	1.27	PARK	MIXED	75	70
TOTAL	614,785	14.11				937

UNDISTURBED/TREE SAVE AREA PROVIDED SUMMARY

LOT #	AREA (SQ FT)	AREA (ACRES)
LOT A	77,304	1.77
LOT B	43,372	1.00
LOT C	38,411	0.88
LOT D	151,121	3.47
LOT E	80,248	1.84
LOT F	14,239	0.33
LOT G	30,627	0.70
LOT H	48,036	1.10
TOTAL	483,358	11.10

- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO BACK OF CURB OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE CITY OF BELMONT.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS NOT ALREADY OBTAINED BY THE DESIGN TEAM FROM ALL REGULATORY AUTHORITIES AND SHALL KEEP COPIES OF ALL APPLICABLE PERMITS ON SITE.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD).
 - PROPOSED STOP BARS SHALL BE 24" WHITE THERMOPLASTIC AND PROVIDED AT ALL STOP SIGNS. TEMPORARY PAINTED STOP BARS MUST BE PROVIDED UNTIL THE FINAL ASPHALT LAYER IS INSTALLED. ALL SIGNS AND PAVEMENT STRIPING IS TO BE PROVIDED BY THE DEVELOPER AT HIS EXPENSE.
 - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT CONNECTION TO NEW ASPHALT PARKING AREA.
 - CONTRACTOR SHALL COORDINATE WITH OWNER, SUB CONTRACTORS AND UTILITIES TO INSURE ALL THAT CONDUITS ARE INSTALLED UNDER THE CURB AND GUTTER AND PAVEMENT ARE INSTALLED BEFORE THE FINISHED SURFACE IS LAID.
 - ALL OPEN SPACE AREAS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE CITY OF BELMONT WILL NOT BE RESPONSIBLE FOR MAINTENANCE OF THE OPEN SPACE AREAS OF THIS DEVELOPMENT.
 - NO FENCES, TREES, LARGE SHRUBBERY, ACCESS BUILDINGS, POOLS, PATIOS, OVERHANGING STRUCTURES, OR YARD STRUCTURES ARE PERMITTED IN EASEMENTS.
 - DECORATIVE STREET SIGN POLES, IF PROPOSED BY THE DEVELOPER, WILL NOT BE MAINTAINED BY THE CITY OF BELMONT. THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE REPLACEMENT OR RE-INSTALLATION OF ANY POLES DAMAGED.
 - STOP BARS ARE REQUIRED AT ALL STOP SIGNS. THEY SHALL BE PAINTED FOR TEMPORARY SERVICE UNTIL THE FINAL ASPHALT SURFACE IS PLACED. AT THAT TIME, THE STOP BARS SHALL BE THERMOPLASTIC PER NCDOT STANDARD DETAILS AND SPECIFICATIONS.
 - FIELD DENSITY TESTING OF THE STREET RIGHTS OF WAY IS REQUIRED PER 7.06A OF THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL.
 - FINAL ASPHALT SURFACE COURSE SHALL BE INSTALLED ONE YEAR AFTER THE ACCEPTANCE OF THE INTERMEDIATE ASPHALT COURSE OR WHEN 50% OF HOUSING UNITS HAVE RECEIVED CERTIFICATES OF OCCUPANCY PER 7.05D(2) OF THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL.

DEVELOPER/OWNER: SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD CORNELIUS, NC 28031

DEED BOOK & PAGE: 4977&1780 AND 4977&1780
TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
EXISTING USE: VACANT/WOODY
PROPOSED USE: SINGLE-FAMILY
TOTAL LOTS: 86
DENSITY: 1.95 DUA

FRONT YARD: 30'
SIDE YARD: 20% OF LOT WIDTH
REAR YARD: 30'
MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
PROPOSED LARGEST LOT: 28,084 SF
TYPICAL LOT DIMENSIONS: 65'x121'

PROPOSED ROAD:
PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

STREET TREES: REQUIRED STREET TREES 10'-40' OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

TOTAL OPEN SPACE REQUIRED: DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
(86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
(50%)(3.46 AC) = 1.73 AC (75,359 SF)
NOTE: REDUCTION ALLOWED UP TO 25% PROVIDING 1.5x OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED: 0.87 AC (37,897 SF)
(25%)(3.46 AC) =

ADDITIONAL OFF-WATER OPEN SPACE: 2.60 AC (113,256 SF)
(1.5)(1.73 AC) =

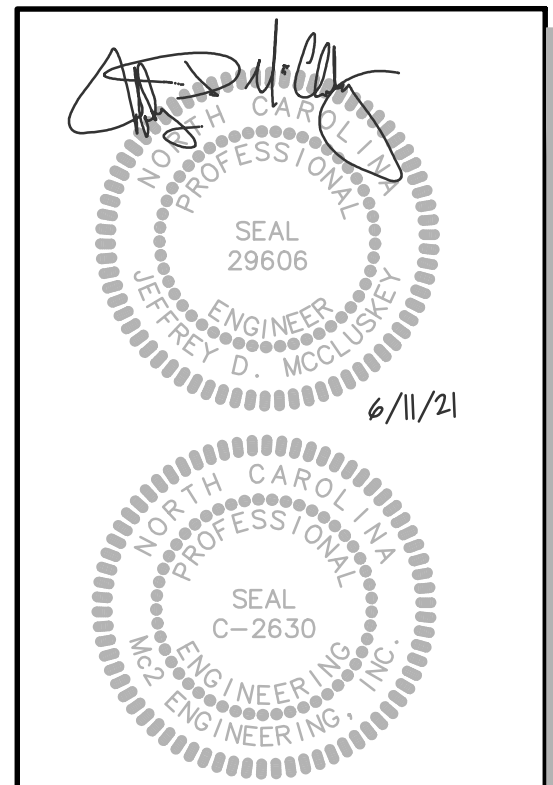
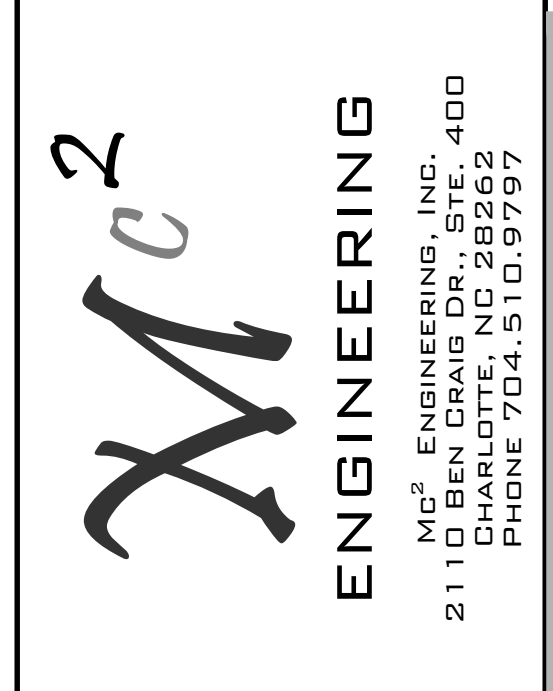
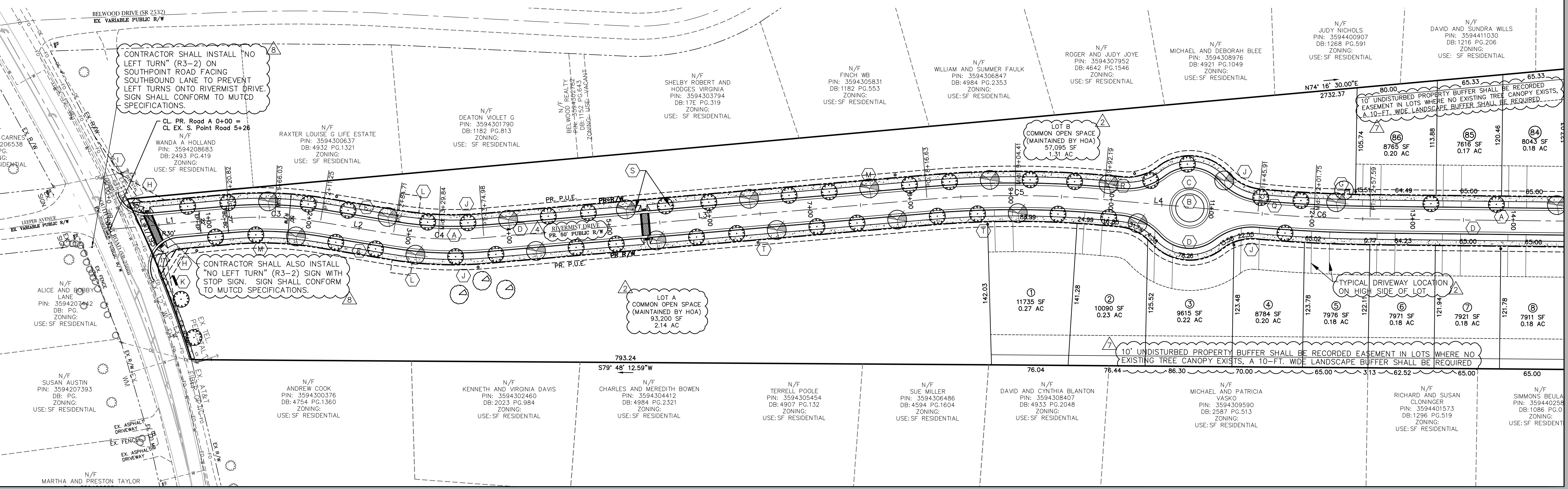
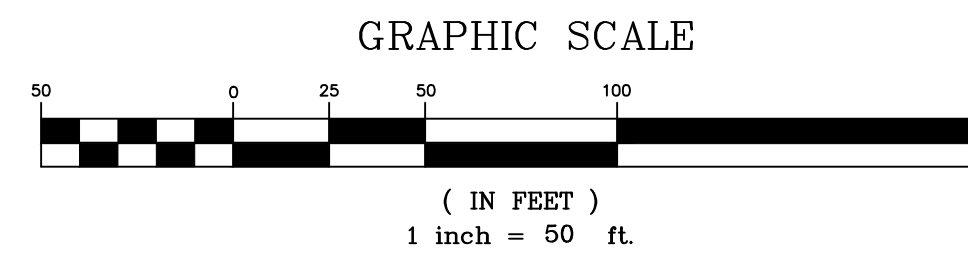
OPEN SPACE SUMMARY:
REVISED TOTAL OPEN SPACE REQUIRED (3.46 AC) + (2.60 AC) = 6.06 AC
TOTAL OPEN SPACE PROVIDED: 14.11 AC

WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
1,030 LF TOTAL PERIMETER = 30%

WATERSHED DATA:
WATERSHED: CATAWBA RIVER/LAKE WYLYE WS IV
WATERSHED CRITICAL AREA = 32.86
WATERSHED PROTECTED AREA = 11.26
***CLASSIFICATION = LOW DENSITY (<2.00 DUA)**

DEVELOPMENT SUMMARY



THE GEODESIC AND DRAWINGS SHOWN ARE THE PROPERTY OF MC2 ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC2 ENGINEERING, INC. IS PROHIBITED.

RIVERMIST SUBDIVISION
SOUTH POINT ROAD
BELMONT, NC

SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

SITE PLAN - SITE WEST

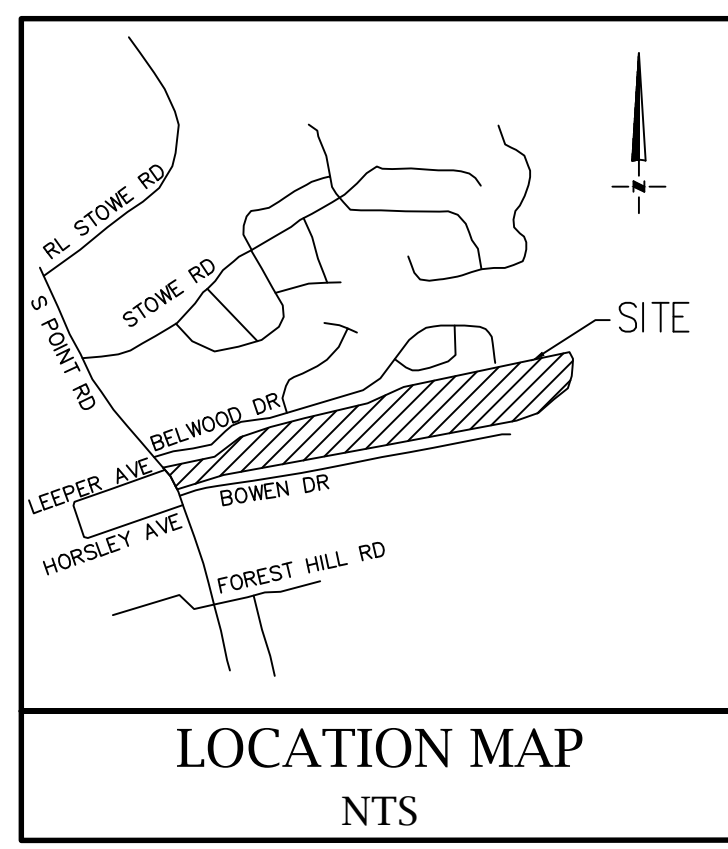
REVISIONS

NO.	DATE	DESCRIPTION
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4	9/24/19	BELMONT COMMENTS
7	4/27/21	BELMONT COMMENTS
8	6/11/21	NCDOT/BELMONT CMTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY

CAD FILE: 18-017 BASE.DWG
PROJECT NO.: 18-017
DESIGNED BY: TAP
REVIEWED BY: JDM
DATE: OCTOBER 8, 2018

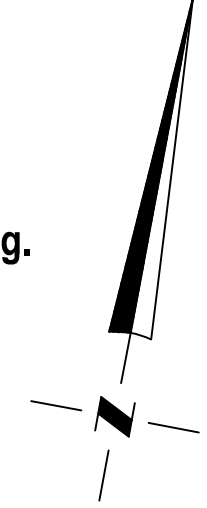
C2.0



LOCATION MAP
NTS



Know what's below.
Call before you dig.



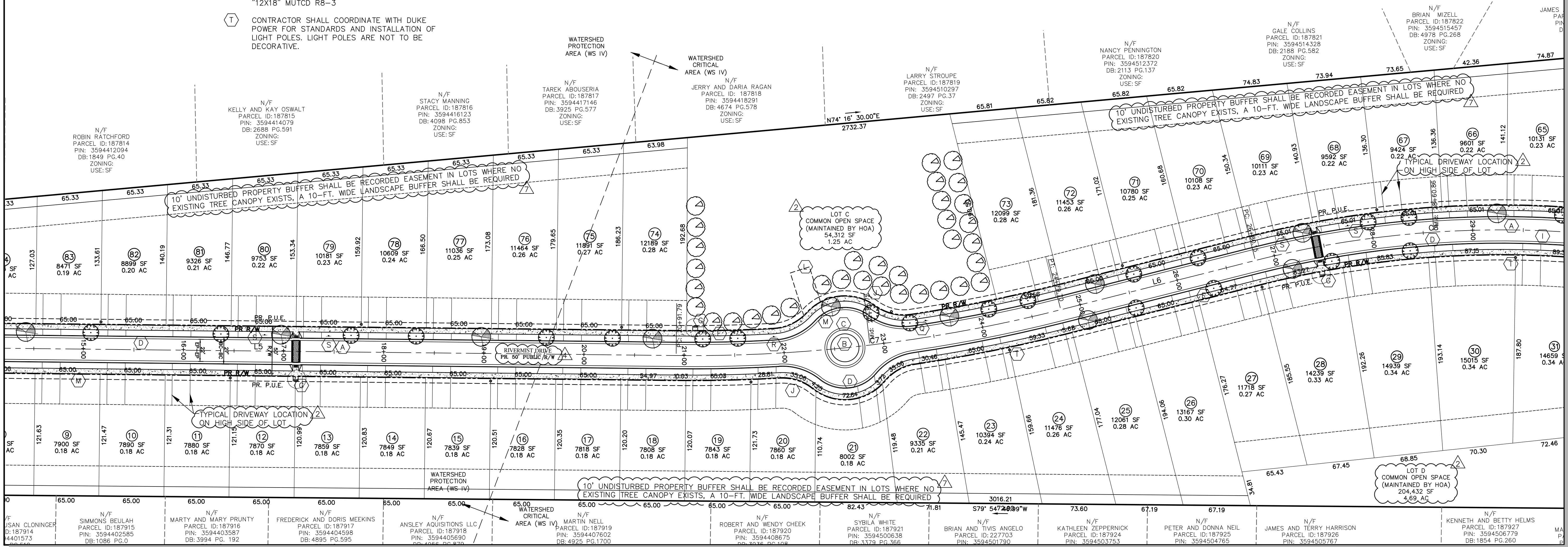
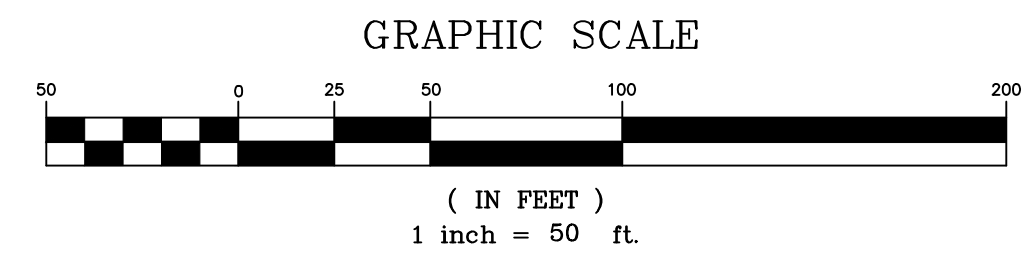
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 - (H) CITY OF BELMONT 35' X 35' SIGHT TRIANGLE.
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ROADWAY CENTERLINE LINE TABLE:

LINE	ALIGNMENT NAME	LENGTH	BEARING
L1	RIVERMIST DRIVE	120.82'	N74° 13' 59"E
L2	RIVERMIST DRIVE	73.46'	N88° 51' 07"E
L3	RIVERMIST DRIVE	441.65'	N74° 29' 04"E
L4	RIVERMIST DRIVE	153.72'	N84° 32' 35"E
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L12	WATERCOURSE WAY	102.87'	N15° 32' 30"W

ROADWAY CENTERLINE CURVE TABLE:

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DEVELOPER/OWNER: SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

2 PIN: 3594513084 AND 3594714552
TAX ID NUMBERS: 207492 AND 207491
JURISDICTION: CITY OF BELMONT

DEED BOOK & PAGE: 4977&1780 AND 4977&1780
TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
EXISTING USE: VACANT/WOODED
PROPOSED USE: SINGLE-FAMILY
TOTAL LOTS: 86
DENSITY: 1.95 DUA

FRONT YARD: 30'
SIDE YARD: 20% OF LOT WIDTH
REAR YARD: 30'
MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
PROPOSED LARGEST LOT: 28,084 SF
TYPICAL LOT DIMENSIONS: 65'x121'

2 ALL PROPOSED LOTS SHALL MEET OR EXCEED THE MINIMUM LOT WIDTH, LOT AREA, AND SETBACKS OF THE CITY OF BELMONT LAND DEVELOPMENT CODE (LDC)

PROPOSED ROAD:
PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
-FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

2 STREET TREES
REQUIRED STREET TREES 10'-40' OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

2 TOTAL OPEN SPACE REQUIRED:
DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
(86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
(50%)(3.46 AC) = 1.73 AC (75,359 SF)
NOTE: REDUCTION ALLOWED UP TO 25% PROVIDING 1.5x
OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED:
(25%)(3.46 AC) = 0.87 AC (37,897 SF)

ADDITIONAL OFF-WATER OPEN SPACE:
(1.5)(1.73 AC) = 2.60 AC (113,256 SF)

OPEN SPACE SUMMARY
REVISED TOTAL OPEN SPACE REQUIRED
(3.46 AC) + (2.60 AC) = 6.06 AC
TOTAL OPEN SPACE PROVIDED: 14.11 AC

WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
1,030 LF TOTAL PERIMETER = 30%

WATERSHED DATA
WATERSHED: CATAWBA RIVER/LAKE WYLYE WS IV
WATERSHED CRITICAL AREA = 32.86
WATERSHED PROTECTED AREA = 11.26

*CLASSIFICATION = LOW DENSITY (<2.00 DUA)

DEVELOPMENT SUMMARY

Mc² ENGINEERING
ENGINEERING
MC² ENGINEERING, INC.
2110 BEN CRAIG DR., STE. 400
CHARLOTTE, NC 28262
PHONE 704.510.1979

Professional Engineer Seal
SEAL 29606
LETTER: D. MCCLOSKEY
A/27/21
Professional Engineer Seal
SEAL C-2630
LETTER: D. MCCLOSKEY

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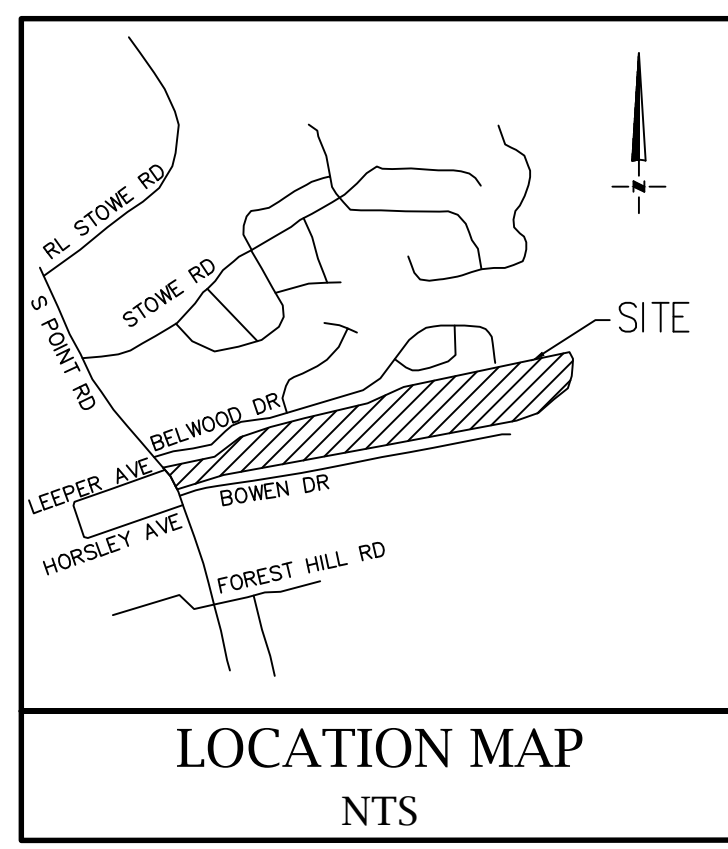
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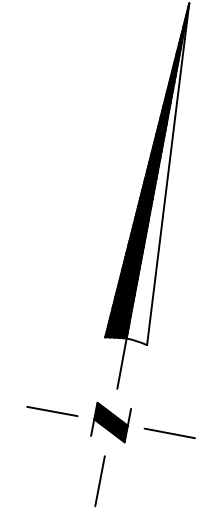
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C2.1



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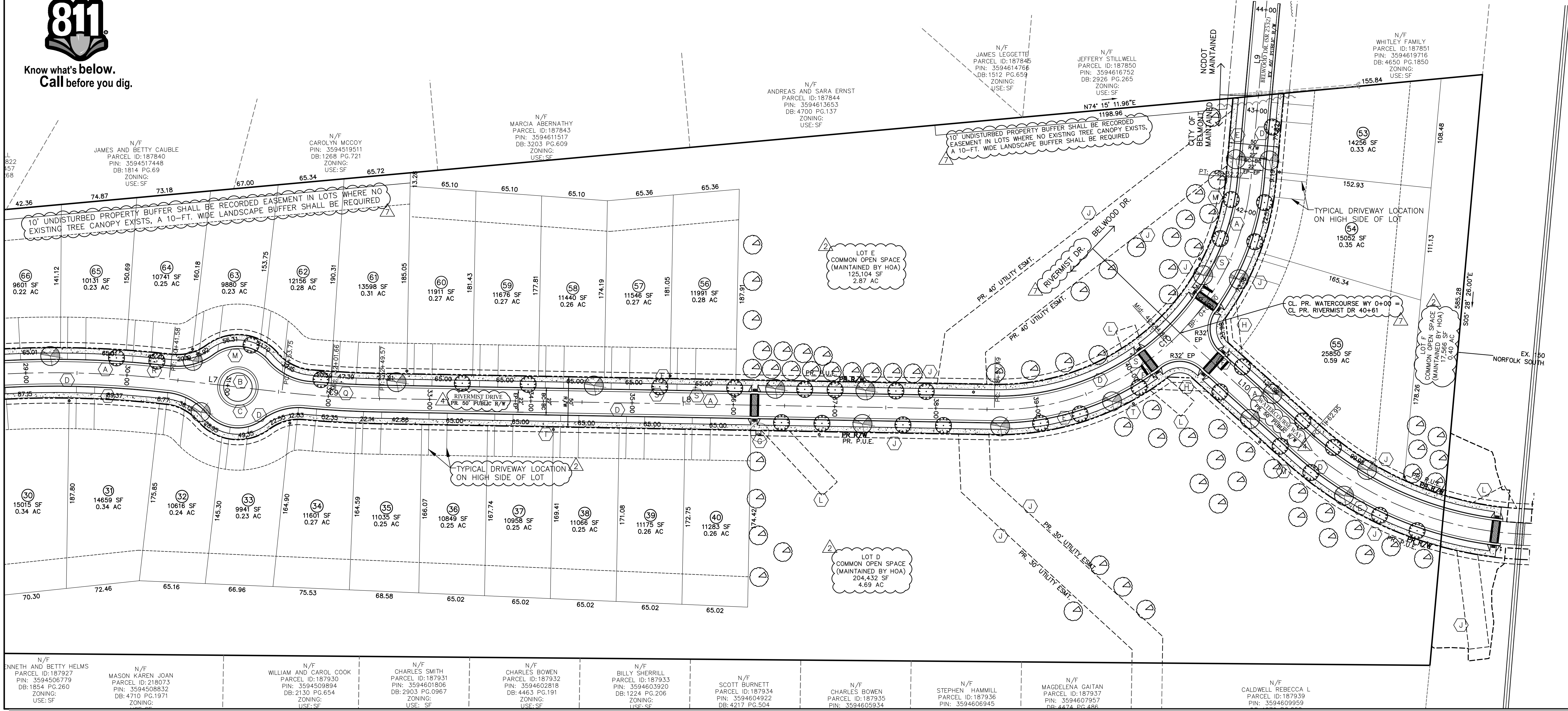
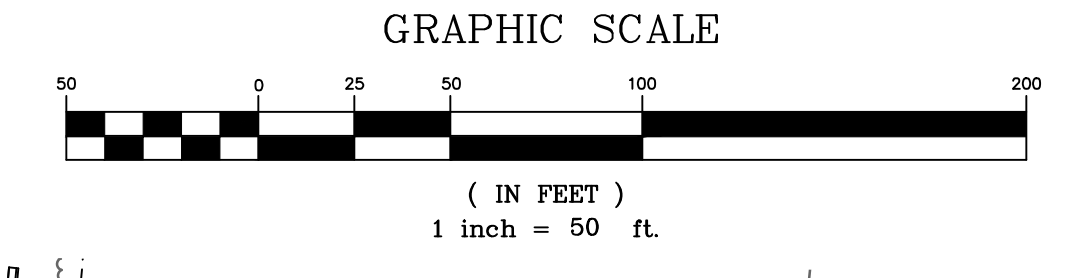
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BELWOOD DRIVE CONNECTION NOTES:
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SITE PLAN - SITE CENTER (PT II)

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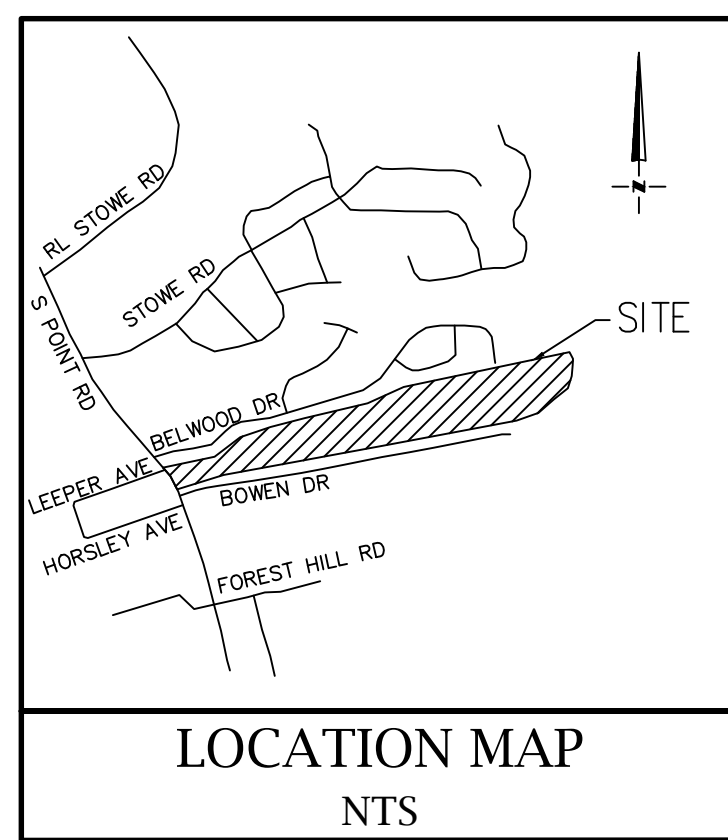
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C2.2

Mc² ENGINEERING
Mc² ENGINEERING, INC.
2110 BEN CRAIG DR., STE. 400
CHARLOTTE, NC 28262
PHONE 704.510.1979

Professional Engineer Seal for Jeffrey Stillwell, License No. 29606, State of North Carolina, dated 4/27/21.

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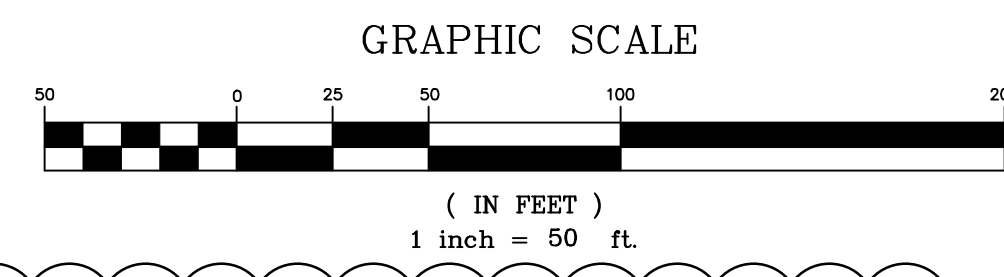


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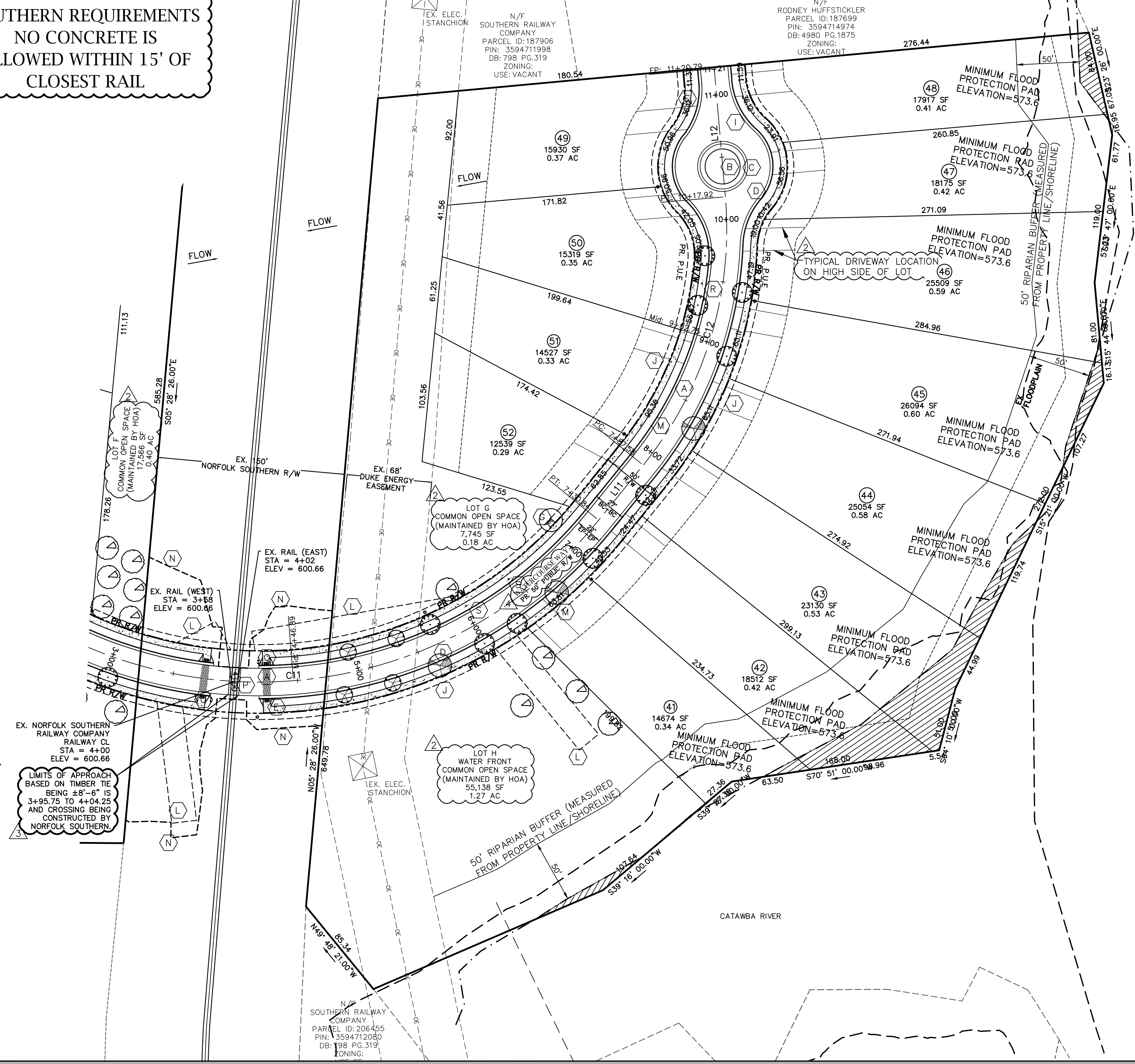


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TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
EXISTING USE: VACANT/WOODED
PROPOSED USE: SINGLE-FAMILY
TOTAL LOTS: 86
DENSITY: 1.95 DUA

FRONT YARD: 30'
SIDE YARD: 20% OF LOT WIDTH
REAR YARD: 30'
MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
PROPOSED LARGEST LOT: 28,084 SF
TYPICAL LOT DIMENSIONS: 95'X121'

PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

STREET TREES
REQUIRED STREET TREES 10'-40' OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

TOTAL OPEN SPACE REQUIRED:
DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
(86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
(50%)(3.46 AC) = 1.73 AC (75,359 SF)
NOTE: REDUCED WATER FRONT ALLOWED UP TO 25% PROVIDING 1.5x OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED:
(25%)(3.46) = 0.87 AC (37,897 SF)

ADDITIONAL OFF-WATER OPEN SPACE:
(1.5)(1.73 AC) = 2.60 AC (113,256 SF)

OPEN SPACE SUMMARY
REVISED TOTAL OPEN SPACE REQUIRED
(3.46 AC) + (2.60 AC) = 6.06 AC

TOTAL OPEN SPACE PROVIDED: 14.11 AC

WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
1,030 LF TOTAL PERIMETER
= 30%

WATERSHED DATA
WATERSHED: CATAMBA RIVER/LAKE WYLYE WS IV
WATERSHED CRITICAL AREA = 32.86
WATERSHED PROTECTED AREA = 11.26

*CLASSIFICATION = LOW DENSITY (<2.00 DUA)

DEVELOPMENT SUMMARY

DUKE ELECTRIC TRANSMISSION RIGHTS OF WAY RESTRICTIONS

- THIS LIST OF RIGHTS-OF-WAY RESTRICTIONS HAS BEEN DEVELOPED TO ANSWER THE MOST FREQUENTLY ASKED QUESTIONS ABOUT PROPERTY OWNER USE OF DUKE ENERGY'S ELECTRIC TRANSMISSION RIGHTS OF WAY. THIS LIST DOES NOT COVER ALL RESTRICTIONS OR ALL POSSIBLE SITUATIONS. YOU SHOULD CONTACT THE ASSET PROTECTION RIGHT-OF-WAY SPECIALIST IF YOU HAVE ADDITIONAL CONCERNS ABOUT THE RIGHTS OF WAY. THIS LIST OF RESTRICTIONS IS SUBJECT TO CHANGE AT ANY TIME AND WITHOUT NOTICE. DUKE ENERGY RESERVES ALL RIGHTS CONVEYED TO IT BY THE RIGHT-OF-WAY AGREEMENT APPLICABLE TO THE SUBJECT PROPERTY. ALL ACTIVITY WITHIN THE RIGHTS OF WAY SHALL BE REVIEWED BY AN ASSET PROTECTION RIGHT-OF-WAY SPECIALIST. IT IS STRONGLY SUGGESTED THAT YOU CONTACT DUKE ENERGY AND SUBMIT PLANS FOR APPROVAL PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHTS OF WAY.
- STRUCTURES, BUILDINGS, MANUFACTURED HOMES, MOBILE HOMES AND TRAILERS, SATELLITE SIGNAL RECEIVER SYSTEMS, SWIMMING POOLS (AND ANY ASSOCIATED EQUIPMENT AND DECKING), GRAVES, BILLBOARDS, DUMPSTERS, SIGNS, WELLS, SEPTIC SYSTEMS OR STORAGE TANKS AND SYSTEMS (WHETHER ABOVE OR BELOW GROUND), REFUSE OF ANY TYPE, FLAMMABLE MATERIAL, BUILDING MATERIAL, WRECKED OR DISABLED VEHICLES AND ALL OTHER OBJECTS (WHETHER ABOVE OR BELOW GROUND) WHICH MAY, IN DUKE ENERGY'S OPINION, INTERFERE WITH THE ELECTRIC TRANSMISSION RIGHT OF WAY, IN ANY WAY, ARE NOT ALLOWED WITHIN THE RIGHTS-OF-WAY LIMITS. TRANSFORMERS, TELEPHONE/CABLE PEDESTALS (AND ASSOCIATED EQUIPMENT), AND FIRE HYDRANTS ARE NOT ALLOWED. MANHOLES, WATER VALVES, WATER METERS AND BACKFLOW PREVENTORS ARE NOT PERMITTED.
 - FENCES SHALL NOT BE ATTACHED TO POLES OR TOWERS. FENCES SHALL NOT EXCEED 10 FEET IN HEIGHT AND SHALL BE INSTALLED GREATER THAN 25 FEET FROM POLES, TOWERS AND GUY ANCHORS. FENCES SHALL NOT PARALLEL THE CENTERLINE WITHIN THE RIGHTS OF WAY BUT MAY CROSS FROM ONE SIDE TO THE OTHER AT ANY ANGLE NOT LESS THAN 30 DEGREES WITH THE CENTERLINE. IF A FENCE CROSSES THE RIGHTS OF WAY, A GATE (16 FOOT WIDE GATE AT EACH CROSSING) SHALL BE INSTALLED BY THE PROPERTY OWNER, PER DUKE ENERGY'S SPECIFICATIONS, TO ALLOW FREE ACCESS REQUIRED BY DUKE ENERGY EQUIPMENT.
 - CONTACT DUKE ENERGY AND OBTAIN WRITTEN APPROVAL BEFORE GRADING OR FILLING ON THE RIGHTS OF WAY. GRADING (CUTS OR FILLS) SHALL BE NO CLOSER THAN 25 FEET FROM A POLE OR TOWER LEG, AND THE SLOPE SHALL NOT EXCEED 4:1 ON THE RIGHTS OF WAY. GRADING OR FILLING WITHIN THE RIGHTS OF WAY OR NEAR A STRUCTURE, WHICH WILL PREVENT FREE EQUIPMENT/VEHICLE ACCESS, OR CREATES GROUND TO CONDUCTOR CLEARANCE VIOLATIONS, WILL NOT BE PERMITTED. SEDIMENTATION CONTROL, INCLUDING RE-VEGETATION, IS REQUIRED PER STATE REGULATIONS.
 - STREETS, ROADS, DRIVEWAYS, SEWER LINES, WATER LINES, AND OTHER UTILITY LINES, OR ANY UNDERGROUND FACILITIES SHALL NOT PARALLEL THE CENTERLINE WITHIN THE RIGHTS OF WAY, BUT MAY CROSS, FROM ONE SIDE TO THE OTHER, AT ANY ANGLE NOT LESS THAN 30 DEGREES WITH THE CENTERLINE. NO PORTION OF SUCH FACILITY SHALL BE LOCATED WITHIN 25 FEET OF DUKE ENERGY'S SUPPORTING STRUCTURES. INTERSECTIONS OF ROADS, DRIVEWAYS, OR ALLEYS ARE NOT PERMITTED WITHIN THE RIGHTS OF WAY.
 - ANY DRAINAGE FEATURE THAT ALLOWS WATER TO POND, CAUSES EROSION, DIRECTS STORM WATER TOWARD THE RIGHTS OF WAY, OR LIMITS ACCESS TO OR AROUND A STRUCTURE IS PROHIBITED.
 - CONTACT DUKE ENERGY PRIOR TO THE CONSTRUCTION OF LAKES, PONDS OR RETENTION FACILITIES, ETC. WITHIN THE RIGHTS-OF-WAY LIMITS.
 - DUKE ENERGY DOES NOT OBJECT TO PARKING WITHIN THE RIGHTS OF WAY, PROVIDED THAT:
 - A BARRIER, SUFFICIENT TO WITHSTAND A 15 MPH VEHICULAR IMPACT, SHALL BE ERRECTED BY THE PARTY CONSTRUCTING THE PARKING AREA TO PROTECT THE POLE, TOWER OR GUY ANCHOR. THE BARRIER SHALL BE LOCATED IN SUCH A MANNER AS TO RESTRICT PARKING TO AT LEAST 5 FEET FROM THE STRUCTURE.
 - ANY ACCESS AREAS, ENTRANCES, OR EXITS SHALL CROSS (FROM ONE SIDE TO THE OTHER) THE RIGHTS OF WAY AT OR NEAR RIGHT ANGLES TO THE CENTERLINE, AND SHALL NOT PASS WITHIN 25 FEET OF ANY STRUCTURE. PARKING LOT ENTRANCES/EXITS CANNOT CREATE AN INTERSECTION WITHIN THE RIGHTS OF WAY.
 - LIGHTING STRUCTURES WITHIN THE RIGHTS-OF-WAY LIMITS MUST BE APPROVED BY DUKE ENERGY BEFORE INSTALLING. TOTAL HEIGHT MAY NOT EXCEED 15 FEET.
 - SIGNS AND OTHER ATTACHMENTS TO DUKE ENERGY STRUCTURES ARE PROHIBITED.
 - DUKE ENERGY CAROLINAS WILL NOT OBJECT TO CERTAIN VEGETATION PLANTINGS AS LONG AS:
 - IT DOES NOT INTERFERE WITH THE ACCESS OF EXISTING STRUCTURES OR THE SAFE AND RELIABLE OPERATION AND MAINTENANCE OF THE LINE.
 - WITH PRIOR WRITTEN APPROVAL, DUKE ENERGY CAROLINAS DOES NOT OBJECT TO PLANTS, SHRUBS AND TREES THAT ARE OF A SPECIES THAT WILL NOT EXCEED, AT MATURITY, FIFTEEN (15) FEET IN HEIGHT.
 - DUKE ENERGY CAROLINAS RESERVES THE RIGHT TO OBJECT TO THE PLANTING OF ALL PLANTS, SHRUBS AND TREES WITHIN THE RIGHT OF WAY EASEMENT THAT MAY INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE OF THE LINE.
 - DUKE ENERGY CAROLINAS MAY EXERCISE THE RIGHT TO CUT "DANGER TREES" OUTSIDE THE RIGHTS OF WAY LIMITS AS AUTHORIZED BY THE RIGHT OF WAY AGREEMENT APPLICABLE TO THE SUBJECT PROPERTY AND AS REQUIRED TO PROPERLY MAINTAIN AND OPERATE THE TRANSMISSION LINE.

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RIVERMIST SUBDIVISION
SOUTH POINT ROAD
BELMONT, NC

SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

SITE PLAN - SITE EAST

REVISIONS		
2	11/27/18	BELMONT COMMENTS
3	9/4/19	NS COMMENTS
4	9/24/19	BELMONT COMMENTS
5	10/30/20	NS COMMENTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY
CAD FILE: 18-017 BASE.DWG
PROJECT NO.: 18-017
DESIGNED BY: TAP
REVIEWED BY: JDM
DATE: OCTOBER 8, 2018

C2.3