

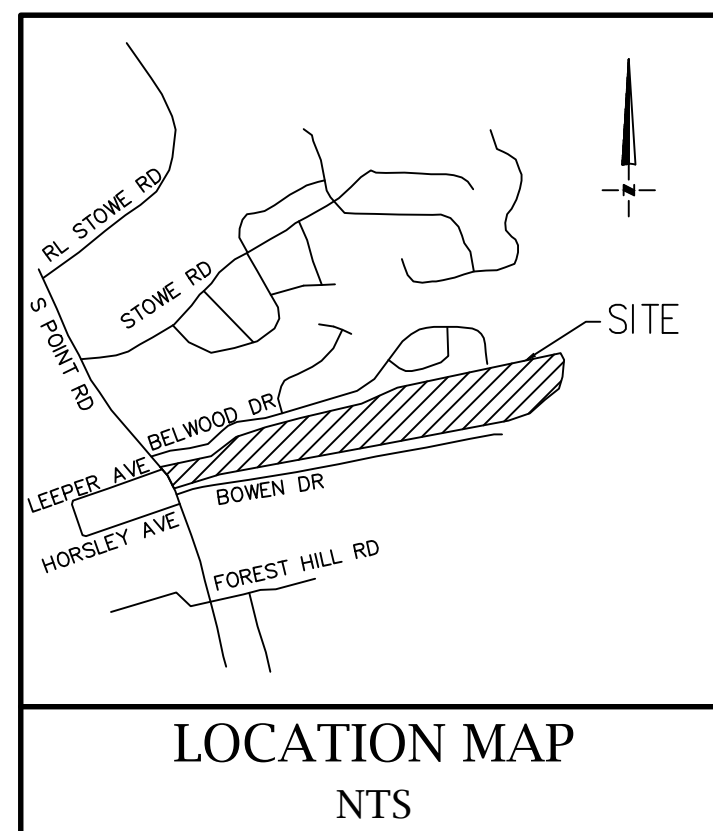
RIVERMIST SUBDIVISION

SOUTH POINT ROAD

BELMONT, NC



Know what's below.
Call before you dig.



GENERAL NOTES	
EXISTING CONDITIONS & DEMOLITION PLAN - SITE WEST & CENTER	C1.0
EXISTING CONDITIONS & DEMOLITION PLAN - SITE EAST & OFF-SITE	C1.1
SITE PLAN - SITE WEST	C1.2
SITE PLAN - SITE CENTER	C2.0
SITE PLAN - SITE CENTER (PT. II)	C2.1
SITE PLAN - SITE EAST	C2.2
EROSION CONTROL PLAN - SITE WEST PH. 1	C2.3
EROSION CONTROL PLAN - SITE CENTER PH. 1	C3.0
EROSION CONTROL PLAN - SITE EAST PH. 1	C3.1
EROSION CONTROL PLAN - OFF-SITE	C3.2
EROSION CONTROL PLAN - SITE WEST PH. 2	C3.3
EROSION CONTROL PLAN - SITE CENTER PH. 2	C3.4
EROSION CONTROL PLAN - SITE EAST PH. 2	C3.5
NGDOT STANDARD NOTES	C3.6
GRADING PLAN - SITE WEST	C3.7
GRADING PLAN - SITE CENTER	C4.0
GRADING PLAN - SITE CENTER (PT. II)	C4.1
GRADING PLAN - SITE EAST	C4.2
STORM SEWER DRAINAGE AREA PLAN	C4.3
SCM DRAINAGE AREA PLAN	C4.4
STORM SEWER/ROADWAY PLAN AND PROFILE - RIVERMIST DRIVE	C4.5
STORM SEWER/ROADWAY PLAN AND PROFILE - WATERCOURSE WAY	C6.0-C6.3
SOUTH POINT ROAD TRAFFIC CONTROL PLAN	C6.4
SOUTH POINT ROAD INTERSECTION SIGHT DISTANCE	C6.5
BELWOOD DRIVE ROADWAY IMPROVEMENTS PLAN	C6.8
UTILITY COVER SHEET	C6.9
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SITE DETAILS	C7.1-C7.7
	C9.0-C9.7

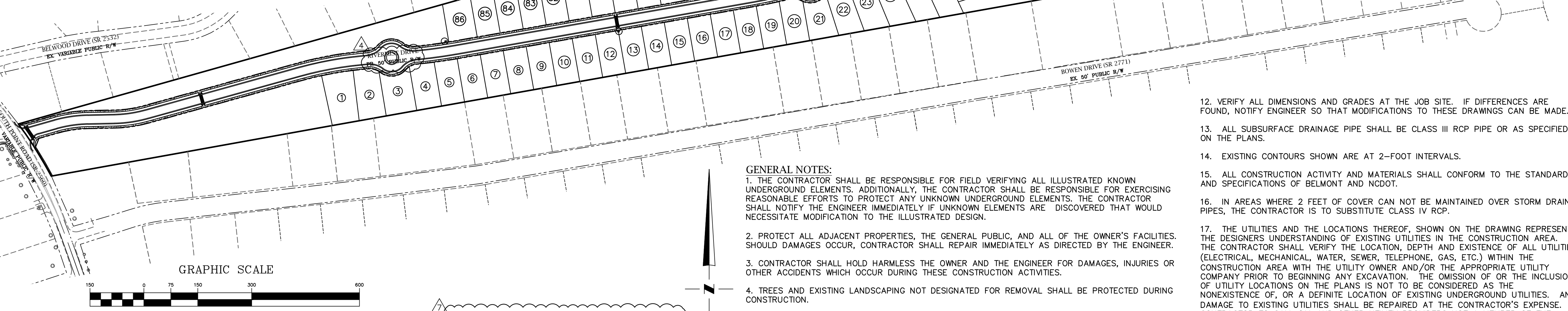
NORFOLK SOUTHERN RAIL ROAD STANDARD NOTES:
ALL UTILITY INSTALLATIONS OR RELOCATIONS THAT ARE REQUIRED IN CONJUNCTION WITH THIS PROJECT CAN BE INSTALLED OR RELOCATED AS PART OF THE PROJECT PROVIDED THE CONSTRUCTION IS PERFORMED BY THE PROJECT CONTRACTOR OR PROJECT CONTRACTOR'S SUB-CONTRACTOR. HOWEVER, THE UTILITY MUST SUBMIT AN APPLICATION FOR THE INSTALLATION OR RELOCATION TO NS PIPE AND WIRE FOR APPROPRIATE HANDLING FOR LICENSE AGREEMENT AND APPLICABLE FEES. FOR UTILITY APPLICATIONS GO TO: WWW.NSCORP.COM/CONTENT/NSCORP/EN/REAL-ESTATE/NORFOLK-SOUTHERN-SERVICES/WIRE-PIPELINE-FIBER-OPTIC-PROJECTS.HTML
NOTE: LICENSE AGREEMENT MUST BE EXECUTED PRIOR TO UTILITY BEING INSTALLED OR RELOCATED.

CONTRACTOR WILL NOT BE PERMITTED TO STORE ANY EQUIPMENT ON NS PROPERTY WITHOUT PERMISSION FROM THE NS RAILROAD ENGINEER IN ACCORDANCE WITH SECTION E.5.K.1 OF THE NS PUBLIC PROJECTS MANUAL

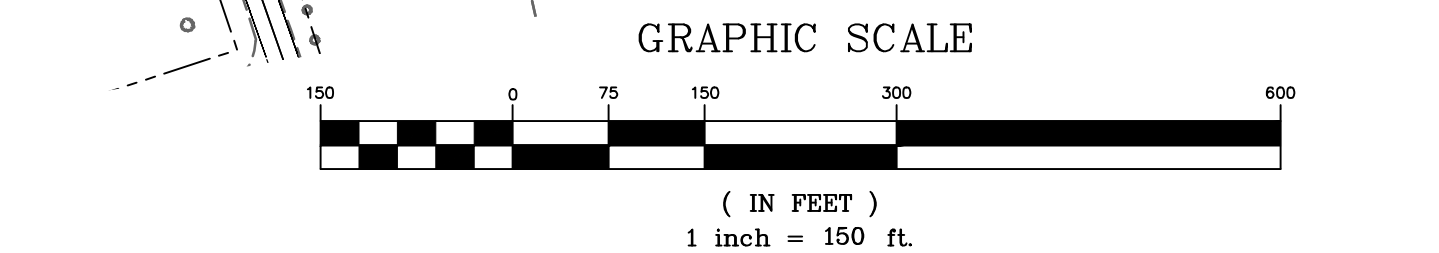
ALL ROADWAY WORK WITHIN 2' OF THE OUTSIDE EDGE OF RAIL SHALL BE COMPLETED BY NORFOLK SOUTHERN FORCES AT THE SPONSOR'S EXPENSE.

BELWOOD DRIVE CONNECTION NOTES:
THE EASTERN ROAD CONNECTION TO BELWOOD DRIVE MAY BE OPEN FOR UTILITY CONSTRUCTION AND SHALL BE CLOSED FOR THROUGH TRAFFIC UNTIL THE DEVELOPMENT IS 90% BUILT-OUT OR THE CITY HAS BEEN PETITIONED TO ACCEPT THE STREET FOR MAINTENANCE.

PROPOSED WORK WITHIN NORFOLK SOUTHERN RIGHT OF WAY WILL TAKE APPROXIMATELY 60-90 DAYS



FINAL DRAWING FOR REVIEW PURPOSES ONLY



"I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS CONTAIN ALL INFORMATION REQUIRED BY THE ZONING ORDINANCE OF THE CITY OF BELMONT, NC AND THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL."

"I (WE) HEREBY CERTIFY THAT ALL LAND DISTURBING ACTIVITIES INCLUDING CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED PLANS.

CITY, COUNTY AND STATE AUTHORITIES WILL BE ALLOWED TO ENTER UPON THE PROJECT SITE PROVIDED THEY PRESENT APPROPRIATE CREDENTIALS."

11/27/18 *Courtney Sloan* COURTNEY SLOAN
DATE DEVELOPER/APPLICANT (PRINT)

APPLICANT CERTIFICATION

[Signature]
SEAL 29606
6/11/21

[Signature]
SEAL C-2630
6/11/21

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER.
 - CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
 - TREES AND EXISTING LANDSCAPING NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL ILLUSTRATED CONSTRUCTION ACTIVITIES AT THE JOB SITE.
 - SAFETY PROVISIONS: THE CONTRACTOR SHALL COMPLY WITH THE "RULES AND REGULATIONS GOVERNING THE CONSTRUCTION INDUSTRY" AS PROMULGATED FOR THE HEALTH, SAFETY AND GENERAL WELFARE OF EMPLOYEES BY THE COMMISSION OF LABOR UNDER GENERAL STATUTES OF NORTH CAROLINA, AND 29CFR PART 1926 AND PART 1910. PARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO THE FOLLOWING RULES AND REGULATIONS: BUILDING CONSTRUCTION WORK, DEMOLITION, EXCAVATION, PERMIT REQUIRED CONFINED SPACES AND TRENCHING. IN ADDITION TO THE FOREGOING SAFETY PROVISIONS, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR AND COMPLY WITH THE DEPARTMENT OF LABOR SAFETY REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (L 91-54). WHERE THE REQUIREMENTS OF THESE ACTS ARE IN EXCESS OF THOSE REQUIREMENTS SPECIFIED, THE REQUIREMENTS OF THESE ACTS SHALL GOVERN. SHOULD THE PLANS OR SPECIFICATIONS REQUIRE MATERIALS OR METHODS IN CONFLICT WITH THE SAFETY AND HEALTH REGULATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST OF THE ENGINEER ANY CHANGES THAT MAY BE NECESSARY.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT HIS EXPENSE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION ADJUSTMENTS OF ALL EXISTING VAULTS (REGARDLESS OF FUNCTION), METER BOXES, FIRE HYDRANTS, CLEAN OUTS, MANHOLES ETC. TO MATCH FINISHED GRADES AND SITE PLAN. ALL SUCH WORK SHALL BE COORDINATED WITH THE ENGINEER.
 - UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY ENGINEER PRIOR TO CONSTRUCTION.

- VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IF DIFFERENCES ARE FOUND, NOTIFY ENGINEER SO THAT MODIFICATIONS TO THESE DRAWINGS CAN BE MADE.
- ALL SUBSURFACE DRAINAGE PIPE SHALL BE CLASS III RCP PIPE OR AS SPECIFIED ON THE PLANS.
- EXISTING CONTOURS SHOWN ARE AT 2-FOOT INTERVALS.
- ALL CONSTRUCTION ACTIVITY AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF BELMONT AND NCDOT.
- IN AREAS WHERE 2 FEET OF COVER CAN NOT BE MAINTAINED OVER STORM DRAIN PIPES, THE CONTRACTOR IS TO SUBSTITUTE CLASS IV RCP.
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWING REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE UTILITY OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CALL 811 AND OTHER UTILITY PROVIDERS NOT A MEMBER OF THE 1-CALL SERVICE.
- THERE SHALL BE NO ON-SITE BURIAL PITS. ALL SOLID WASTE GENERATED FROM THE PROJECT INCLUDING CONSTRUCTION AND LAND CLEARING DEBRIS, ETC. WILL BE PROPERLY DISPOSED OF OFFSITE IN AN APPROVED DISPOSAL FACILITY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES AND TOPOGRAPHY AS NEEDED DURING CONSTRUCTION STAKING.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS PRIOR TO GRADING ACTIVITIES. SHOULD FIELD CONDITIONS WARRANT DISTURBING SITE AREAS IN EXCESS OF THE AMOUNT OF DISTURBED ACREAGE APPROVED, THE CONTRACTOR SHALL FIRST OBTAIN APPROVAL FROM THE LINCOLN COUNTY NATURAL RESOURCES INSPECTOR WHICH MAY REQUIRE REVISIONS TO THE EROSION CONTROL PERMIT.
- COMMON OPEN SPACE IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- C.O.S.- COMMON OPEN SPACE
- ALL STREETS WITHIN THE DEVELOPMENT SHALL BE TURNED OVER TO BELMONT FOR OWNERSHIP AND MAINTENANCE.
- STREET TREES ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION OR THE HOME OWNER.
- THE RAILROAD CROSSING OF NORFOLK SOUTHERN RAILROAD TRACKS SHALL BE MAINTAINED BY THE CITY OF BELMONT. THIS INCLUDES ALL PAVEMENT AREA WITHIN THE 150 FOOT WIDE RAILROAD R.O.W.
- REFER TO CURRENT STANDARDS FOR CURRENT CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL: <http://www.cityofbelmont.org/216/Land-Development-Standards-Manual>

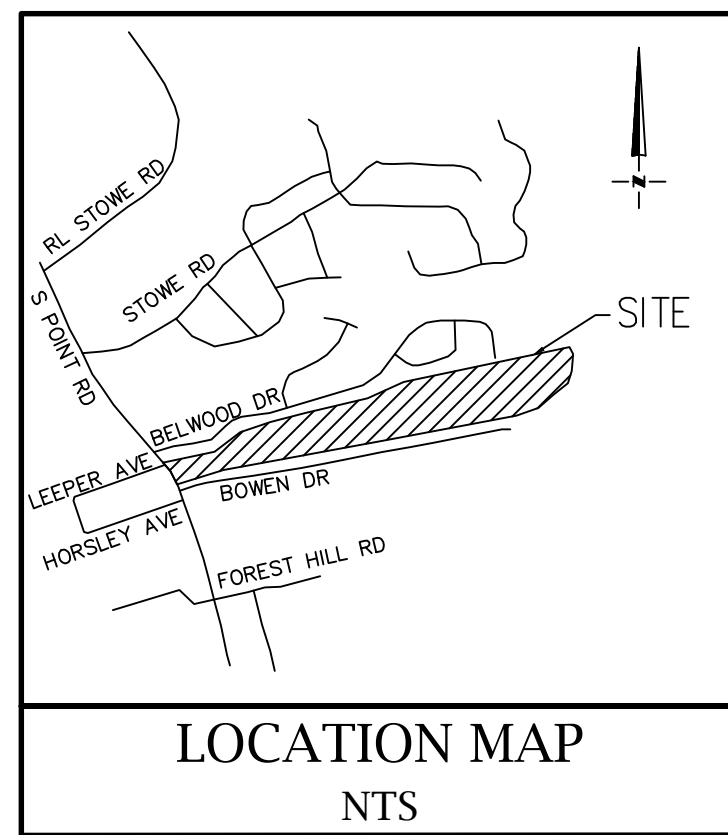
REVISIONS

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DESIGNED BY:	TAP
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SUBMITTAL DATE:	NOVEMBER 27, 2018
SUBMITTAL DATE:	OCTOBER 30, 2020
SUBMITTAL DATE:	JANUARY 26, 2021
SUBMITTAL DATE:	APRIL 27, 2021
SUBMITTAL DATE:	JUNE 11, 2021
CITY PROJECT NUMBER:	SPR 2018.18

DEVELOPED BY:
SHINNVILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

Mc² ENGINEERING

Mc² ENGINEERING, INC.
2110 BEN CRAIG DR.
SUITE 400
CHARLOTTE, NC 28262
PHONE 704.510.9797

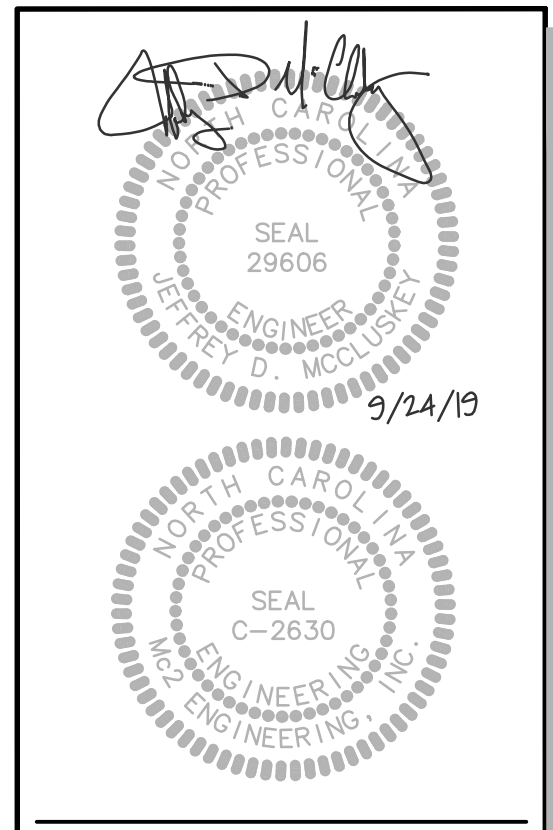
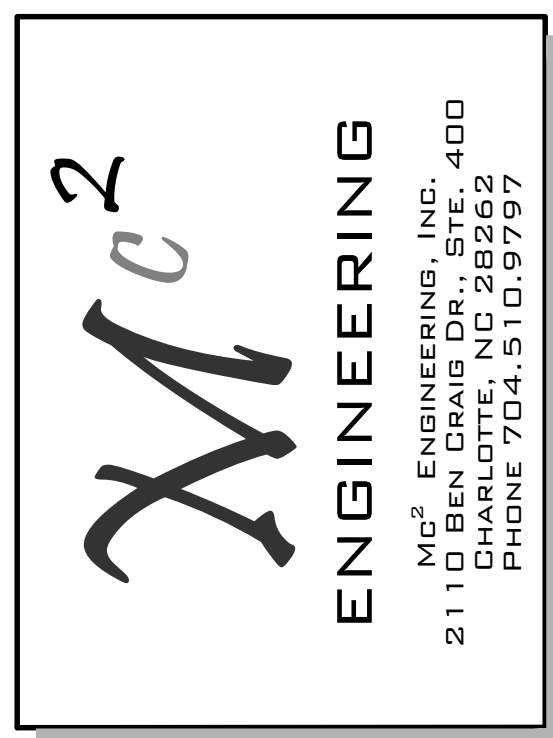


CITY OF BELMONT APPENDIX A GENERAL NOTES:

1. THE CITY OF BELMONT WILL PROVIDE PART TIME INSPECTION SERVICES FOR IMPROVEMENTS THAT ARE TO BECOME PUBLICLY MAINTAINED. THE DESIGN PROFESSIONAL AND CONTRACTOR SHALL PROVIDE ADEQUATE NOTIFICATION AND COORDINATION IT ENSURE ALL IMPROVEMENTS ARE INSPECTED DURING CONSTRUCTION.
2. REGULAR WORKING HOURS ARE DEFINED AS 8 HOURS PER DAY BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING CITY OF BELMONT HOLIDAYS. IF THE CONTRACTOR INTENDS TO WORK OTHER THAN REGULAR WORKING HOURS, HE SHALL SUBMIT A WRITTEN REQUEST TO THE CITY INSPECTOR NOT LESS THAN 48 HOURS PRIOR TO ANY PROPOSED WEEKEND WORK OR SCHEDULED EXTENDED WORK WEEKS.
3. CONTRACTOR SHALL REIMBURSE THE CITY OF BELMONT FOR ADDITIONAL INSPECTION COSTS INCURRED AS A RESULT OF OVERTIME WORK IN EXCESS OF THE REGULAR WORKING HOURS STIPULATED IN NOTE 2. OVERTIME COSTS FOR CITY PERSONNEL SHALL BE \$75 PER HOUR.
4. CONSTRUCTION MATERIALS AND METHODS SHALL BE GOVERNED BY THE CURRENT CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL AND THE DESIGN PROFESSIONAL'S WRITTEN SPECIFICATIONS. REQUEST FOR ANY VARIANCES TO THESE STANDARDS SHALL BE SUBMITTED TO AND REVIEWED BY DESIGN PROFESSIONAL. DESIGN PROFESSIONAL SHALL THEN MAKE FORMAL SUBMITTALS TO THE CITY FOR OFFICIAL APPROVAL. CONSTRUCTION WHICH DOES NOT CONFORM TO THE LAND DEVELOPMENT STANDARDS MANUAL WILL BE REJECTED.
5. SHOP DRAWINGS AND MATERIAL SPECIFICATION SHEETS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL FOR APPROVAL. CONTRACTOR SHALL AFFIX A STAMP TO EACH SHOP DRAWING OR MATERIALS SPECIFICATION SHEET STATING THAT HE APPROVES THE ITEM AS MEETING THE DESIGN PROFESSIONAL'S SPECIFICATIONS. THE STAMP SHALL INCLUDE CONTRACTOR'S NAME, LANGUAGE REGARDING CONTRACTOR'S APPROVAL, AND IT MUST BE SIGNED AND DATED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL WILL REVIEW AND APPROVE THESE DOCUMENTS PRIOR TO SUBMITTAL TO THE CITY FOR FINAL ACCEPTANCE. THE DESIGN PROFESSIONAL SHALL AFFIX HIS COMPANY'S STAMP AND SIGN EACH SUBMITTAL ITEM. CITY, AFTER REVIEW, WILL ISSUE FINAL MATERIAL AND EQUIPMENT APPROVAL.
 - a. ALL APPLICABLE PERMIT APPROVALS (3 COPIES).
 - b. FINAL CONSTRUCTION PLANS AND SPECIFICATIONS, CLEARLY NOTED AS "RELEASED FOR CONSTRUCTION" (3 FULL SIZED COPIES AND ONE HALF SIZE COPY).
 - c. SHOP DRAWING SUBMITTALS FOR ALL MATERIALS TO BE INCORPORATED INTO THE PUBLIC IMPROVEMENTS. THE SHOP DRAWINGS SHALL HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL AND STAMPED AS "APPROVED" (4 COPIES).
 - d. LIST OF ALL PARTIES INVOLVED WITH THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE DEVELOPER AND PROJECT OWNER. LIST SHALL INCLUDE AUTHORIZED REPRESENTATIVE FOR EACH ENTITY AND FULL CONTACT INFORMATION INCLUDING ADDRESSES, 24-HOUR CELL PHONE NUMBERS, EMAIL ADDRESSES, ETC. (3 COPIES).
7. CONTRACTOR MUST OBTAIN A GRADING PERMIT FROM THE BELMONT PLANNING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. THE CITY WILL NOT ISSUE THIS PERMIT UNTIL ALL OFF-SITE EASEMENTS HAVE BEEN OBTAINED AND RECORDED, ALL OTHER PERMITS HAVE BEEN OBTAINED WITH COPIES DELIVERED TO THE CITY ENGINEER, AND A PRECONSTRUCTION MEETING HELD. BEGINNING WORK ON THE SITE PRIOR TO THE ISSUANCE OF THE GRADING PERMIT WILL SUBJECT THE CONTRACTOR TO FINES AND OTHER REMEDIES PRESCRIBED IN BELMONT AND GASTON COUNTY ORDINANCES AND CODES.
8. RECORD DRAWINGS MUST BE PROVIDED IN PAPER AND DIGITAL FORMAT (AUTOCAD AND ADOBE PDF) PRIOR TO ACCEPTANCE OF THE WATER, SANITARY SEWER, AND DRAINAGE SYSTEMS FOR MAINTENANCE BY THE CITY. THE RECORD DRAWINGS FOR THIS PROJECT MUST INCLUDE SPECIFIC INFORMATION REGARDING THE LOCATION OF:
 - a. WATER MAINS, WATER SERVICE TAPS ON THE MAIN, VALVES, AND FIRE HYDRANTS.
 - b. SANITARY SEWERS, MANHOLES, SEWER SERVICE TAPS ON THE SEWER.
 - c. PUMP STATION AND FORCE MAIN.
 - d. STORM SEWERS, MANHOLES, CATCH BASINS, SUBSURFACE DRAINS.
 - e. DETENTION AND WATER QUALITY FACILITIES INCLUDING FIELD VERIFICATION OF BASIN VOLUMES.
 - f. ALL EXISTING BURIED UTILITIES ENCOUNTERED DURING CONSTRUCTION.
 - g. ROCK IF ENCOUNTERED DURING CONSTRUCTION.
9. UTILITY EASEMENTS HAVE BEEN EXECUTED AND RECORDED. IF THE LOCATIONS OF WATER AND SEWER FACILITIES ARE CHANGED DURING CONSTRUCTION, THE EASEMENT DOCUMENTS SHALL BE UPDATED AND RE-RECORDED.
10. CONSTRUCTION FOR THE PLACEMENT AND COMPACTION OF FILL DIRT SHALL BE CONTROLLED AND TESTED BY A CERTIFIED GEOTECHNICAL ENGINEER. THE CITY OF BELMONT ASSUMES NO LIABILITY OR RESPONSIBILITY REGARDING THE FILLING OF THE LOTS. FILLS IN RIGHTS OF WAY WILL BE MONITORED BY THE CITY INSPECTOR. THE DESIGN PROFESSIONAL SHALL SUBMIT COMPACTION TESTING RESULTS TO THE CITY INSPECTOR AS VERIFICATION THAT SPECIFIED COMPACTION IS ACHIEVED.
11. ANY SPRINGS DISCOVERED DURING CONSTRUCTION OF THE IMPROVEMENTS MUST BE ACCOMMODATED BY THE EXTENSION OF THE STORM DRAINAGE SYSTEM TO PREVENT WATER FROM FLOWING OVER PUBLIC SIDEWALKS, CURBS, AND PAVEMENTS. THESE EXTENSIONS SHALL BE INCLUDED ON THE RECORD DRAWINGS.
12. NO TREES MAY BE REMOVED FROM THE SITE WITHOUT FIRST IDENTIFYING TREES TO REMAIN IN THE FIELD WITH YELLOW FLAGGING. TREE PROTECTION FENCING IS REQUIRED BY CITY CODE.
13. THE CITY OF BELMONT DOES NOT GUARANTEE WATER VOLUME AND WATER DISTRIBUTION SYSTEM PRESSURE.
14. NO VERTICAL BUILDING CONSTRUCTION MAY PROCEED UNTIL THE WATER MAINS AND FIRE HYDRANTS ARE INSTALLED AND APPROVED FOR OPERATION BY THE NCDENR PUBLIC WATER SUPPLY DIVISION. THIS PROCESS REQUIRES COMPLETE INSTALLATION, PRESSURE TESTING OF THE WATER MAIN, DISINFECTION, ACCEPTABLE BACTERIOLOGICAL TEST RESULTS, CERTIFICATION BY THE DESIGN PROFESSIONAL, APPLICANT CERTIFICATION, AND SUBMITTAL TO THE NCDENR PUBLIC WATER SUPPLY SECTION FOR AUTHORITY TO OPERATE APPROVAL. THE CONSTRUCTION OF THE WATER MAIN MAY BE THE CRITICAL PATH ITEM FOR STARTING BUILDING CONSTRUCTION.
15. WATER AND SEWER SYSTEMS CANNOT BE ACTIVATED UNTIL FINAL APPROVAL FROM NCDENR IS OBTAINED AND NCDENR APPROVAL LETTERS ARE RECEIVED BY THE CITY. THE PROJECT DESIGN PROFESSIONAL SHALL PROVIDE THE NECESSARY SERVICES REQUIRED IN ORDER FOR HIM TO MAKE THE CERTIFICATIONS NECESSARY FOR SUCH FINAL APPROVALS. IF A DIFFERENT ENGINEER WILL BE RETAINED BY THE DEVELOPER FOR CONSTRUCTION PHASE SERVICES, THE DEVELOPER SHALL NOTIFY THE CITY OF BELMONT IN WRITING OF SUCH CHANGE IN DESIGN PROFESSIONAL.
16. CLEARANCES BETWEEN SEWER, WATER, AND STORM PIPES HAVE BEEN CHECKED IN DETAIL BY THE DESIGN PROFESSIONAL. FIELD CHANGES FOR CROSSING CONFLICTS MUST BE SUBMITTED WITH REVISED PLANS BY THE DESIGN PROFESSIONAL AND MUST BE APPROVED BY THE CITY PRIOR TO ANY CONSTRUCTION MODIFICATIONS.
17. THE MINIMUM PAVEMENT CROSS-SECTION SHALL BE 8 INCHES OF ABC STONE BASE, 2 INCHES OF TYPE SF9.5B ASPHALT INTERMEDIATE COURSE, AND 1-1/2 INCHES OF TYPE SF9.5A ASPHALT SURFACE COURSE. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL 50 PERCENT OF THE LOTS ON A STREET HAVE RECEIVED A CERTIFICATE OF OCCUPANCY FOR A PRINCIPAL STRUCTURE OR ONE YEAR AFTER THE COMPLETION OF THE BASE AND INTERMEDIATE COURSES. FINAL SURFACE COURSE SHALL NOT BE PLACED UNTIL THE STREET HAS BEEN INSPECTED BY THE CITY INSPECTOR AND ALL BASE AND INTERMEDIATE ASPHALT COURSES HAVE BEEN REPAIRED AND ARE DEEM IN GOOD CONDITION BY THE CITY.
18. ALL PUBLICLY MAINTAINED STORM INLETS, CATCH BASINS, AND MANHOLES SHALL BE PRECAST CONCRETE CONSTRUCTION. BRICK OR BLOCK STRUCTURES ARE UNACCEPTABLE.
19. WATER SERVICE LINES AND SEWER SERVICES ARE NOT PERMITTED UNDER DRIVEWAYS. PAIRED SEWER SERVICES SHARING THE SAME TRENCH FOR ADJACENT LOTS ARE NOT PERMITTED. THE SAME APPLIES TO WATER SERVICES. SERVICES SHALL BE LOCATED IN THE MIDDLE OF THE LOT FRONTAGE TO AVOID DRIVEWAYS. IF THIS DOES NOT WORK WITH THE PROPOSED BUILDING PLANS, THEN SEWER SERVICES SHOULD BE AT THE LOW CORNER OF THE LOT FRONTAGE.
20. THE CITY DOES NOT ASSUME THE RESPONSIBILITY FOR REPLACEMENT OF PAVEMENTS, CONCRETE WALKS AND CURBING, OR LANDSCAPING IF REMOVAL OF THESE ITEMS IS REQUIRED TO REPAIR WATER AND SEWER FACILITIES IN UTILITY EASEMENTS.
21. THE CITY RESERVES THE RIGHT TO DELETE ANY TREES THAT MAY CONFLICT WITH ADEQUATE VEHICULAR SIGHT DISTANCES.
22. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL IMPROVEMENTS. WARRANTY PERIOD DOES NOT BEGIN UNTIL THE IMPROVEMENTS HAVE BEEN INSPECTED AND ACCEPTED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ACCEPTANCE POLICY. A TWO YEAR WARRANTY IS REQUIRED FOR TREES AND PLANT MATERIALS.

CITY OF BELMONT GENERAL DEVELOPMENT STANDARDS:

1. EXISTING SPRINGS. ANY EXISTING KNOWN SPRINGS, OR THOSE DISCOVERED DURING CONSTRUCTION OF THE IMPROVEMENTS, MUST BE ACCOMMODATED BY THE EXTENSION OF THE STORM DRAINAGE SYSTEM TO PREVENT WATERS FROM FLOWING OVER PUBLIC PAVEMENTS. THESE DRAIN EXTENSIONS SHALL BE INCLUDED ON THE RECORD DRAWINGS. THERE ARE CURRENTLY NO KNOWN SPRINGS ON SITE.
2. DEEP FILL AREAS. THE SITE GRADING INCLUDES SOME SIGNIFICANT FILLS. THE DESIGN ENGINEER MUST PROVIDE DETAILED SPECIFICATIONS REGARDING THE PLACEMENT AND COMPACTION OF FILL DIRT. FOR THE PROTECTION OF FUTURE HOME OWNERS, EXISTING SUBSURFACE SOILS SHOULD BE IDENTIFIED AND FILLS CONTROLLED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE CITY OF BELMONT ASSUMES NO LIABILITY OR RESPONSIBILITY REGARDING THE FILLING OF THE LOTS. FILLS IN RIGHTS OF WAY WILL BE MONITORED BY THE CITY INSPECTOR. THE DESIGN ENGINEER MUST SUBMIT COMPACTION TESTING RESULTS TO THE CITY INSPECTOR AS VERIFICATION THAT SPECIFIED COMPACTION IS ACHIEVED IN THE RIGHTS OF WAY.
3. PRECONSTRUCTION MEETING REQUIREMENT. UPON FINAL APPROVAL OF THE PLANS BY THE CITY OF BELMONT, GASTON NATURAL RESOURCES DEPARTMENT, NCDENR DIVISION OF WATER QUALITY, NCDENR PUBLIC WATER SUPPLY DIVISION, AND NCDOT, THE DESIGN ENGINEER MUST SUBMIT COPIES OF ALL PERMITS ISSUED. AFTER RECEIPT AND VERIFICATION OF THESE APPROVALS, THE DESIGN ENGINEER AND DEVELOPER MUST REQUEST A PRECONSTRUCTION MEETING WITH CITY STAFF. THIS MEETING IS MANDATORY AND MUST BE ARRANGED THROUGH THE CITY ENGINEER. IN ATTENDANCE AT THE MEETING SHALL BE THE DEVELOPER, THE CONTRACTOR(S), AND THE DESIGN ENGINEER. NO CONSTRUCTION MAY PROCEED PRIOR TO THIS MEETING AND THE CITY WILL NOT ISSUE A GRADING PERMIT UNTIL AFTER THE MEETING. A NOTE STATING SUCH MUST BE ADDED TO THE PLANS.
4. RECORD DRAWINGS. THE CITY REQUIRES THE DEVELOPER TO PROVIDE AS-CONSTRUCTED RECORD DRAWINGS FOR THE WATER, SANITARY SEWER, AND STORM DRAINAGE SYSTEMS. THESE MUST BE PREPARED BY THE DESIGN ENGINEER AND CAN BE BASED ON CONTRACTOR SUPPLIED INFORMATION. THE RECORD DRAWINGS MUST SHOW ALL CHANGES TO THE LOCATION OF THE PIPELINES.
 - a. FOR WATER IMPROVEMENTS, ALL VALVES, BLOW-OFFS, FIRE HYDRANTS, METER BOXES, AND SERVICE CONNECTION POINTS ON THE WATER MAIN MUST BE INDICATED IN THEIR FINAL LOCATIONS AND MUST BE DIMENSIONED TO PERMANENT REFERENCE POINTS SUCH AS THE DISTANCE FROM THE EDGE OF PAVEMENT OR THE DISTANCE TO A READILY LOCATED FEATURE SUCH AS THE EDGE OF A DRIVEWAY, A FIRE HYDRANT, MANHOLE COVER, DRAINAGE STRUCTURE, ETC. THE DIMENSIONS MAY BE TO THE NEAREST FOOT, AND CAN BE FIELD MEASURED BY THE DESIGN ENGINEER.
 - b. FOR SANITARY SEWER, THE RECORD DRAWINGS MUST INCLUDE REFERENCE DIMENSIONS FOR ALL FORCE MAINS, VALVES, AIR RELEASE VAULTS, MANHOLES, SEWER SERVICE CONNECTION POINTS ON THE SEWERS, AND CLEANOUTS.
 - c. STORM SEWERS, DRAINAGE MANHOLES, CATCH BASINS, AND SUBSURFACE DRAINS ARE TO BE LOCATED.
 - d. ALL EXISTING BURIED UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO BE INDICATED. ALSO, ANY ROCK ENCOUNTERED DURING CONSTRUCTION SHALL BE LOCATED.
 - e. CONTACT INFORMATION FOR THE CONTRACTORS, DESIGN ENGINEER, AND THE DEVELOPMENT COMPANY MUST BE INCLUDED ON THE COVER SHEET.
 - f. ONE PAPER COPY OF THE RECORD DRAWINGS IS TO BE SUBMITTED FOR PRELIMINARY REVIEW BY THE CITY.
9. AFTER APPROVAL OF THE DRAWINGS, THE DESIGN ENGINEER MUST SUBMIT 2 FULL SIZED PAPER COPIES, DIGITAL AUTOCAD FILES FOR THE DRAWING SET, AND "PDF" FORMAT DIGITAL FILES FOR EACH PLAN SHEET. THE DIGITAL FILES MUST BE CONTAINED ON A CD PROPERLY LABELED AS TO DEVELOPMENT NAME, ENGINEER, DEVELOPER, AND DATE OF RECORD DRAWINGS.
5. LAND DEVELOPMENT STANDARDS MANUAL. ALL STORMWATER, STREETS, WATER AND WASTEWATER IMPROVEMENTS MUST MEET THE MINIMUM STANDARDS PRESENTED IN THE LAND DEVELOPMENT STANDARDS MANUAL (LDSM) AS AVAILABLE ON THE CITY'S WEBSITE. THE ENGINEER MUST SPECIFICALLY REFERENCE ENTIRE APPLICABLE CHAPTERS (6, 7, 8 & 9) AND APPENDIX B BY NOTE ON THE PLANS. THE CITY'S STANDARDS ARE NOT CONSTRUCTION SPECIFICATIONS; THEY ONLY PROVIDE MINIMUM DESIGN AND MATERIALS STANDARDS. THE FOLLOWING WEBSITE ADDRESS FOR THE LDSM SHALL BE INCLUDED IN THE NOTE ON THE PLANS FOR REFERENCE: [HTTP://WWW.CITYOFBELMONT.ORG/216/LAND-DEVELOPMENT-STANDARDS-MANUAL](http://www.cityofbelmont.org/216/LAND-DEVELOPMENT-STANDARDS-MANUAL)
6. CONSTRUCTION MATERIALS SUBMITTALS, SHOP DRAWINGS AND MATERIALS CATALOG CUT SHEETS MUST BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION BEGINNING FOR ALL WATER, SEWER, AND STORM DRAIN MATERIALS. THESE DRAWINGS AND CUT SHEETS MUST BE APPROVED BY THE CONTRACTOR, THEN APPROVED BY THE DESIGN ENGINEER WITH A STAMP ON EACH SUBMITTAL ITEM INDICATING DESIGN ENGINEER'S REVIEW AND APPROVAL. ALL OF THIS SHALL BE PRIOR TO SUBMITTAL OF THE DOCUMENTS TO THE CITY. THE CITY STAFF WILL PERFORM THE FINAL REVIEW AND ISSUE ACCEPTANCE AS APPROPRIATE.



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RIVERMIST SUBDIVISION
SOUTH POINT ROAD
BELMONT, NC

SHINNVILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

GENERAL NOTES

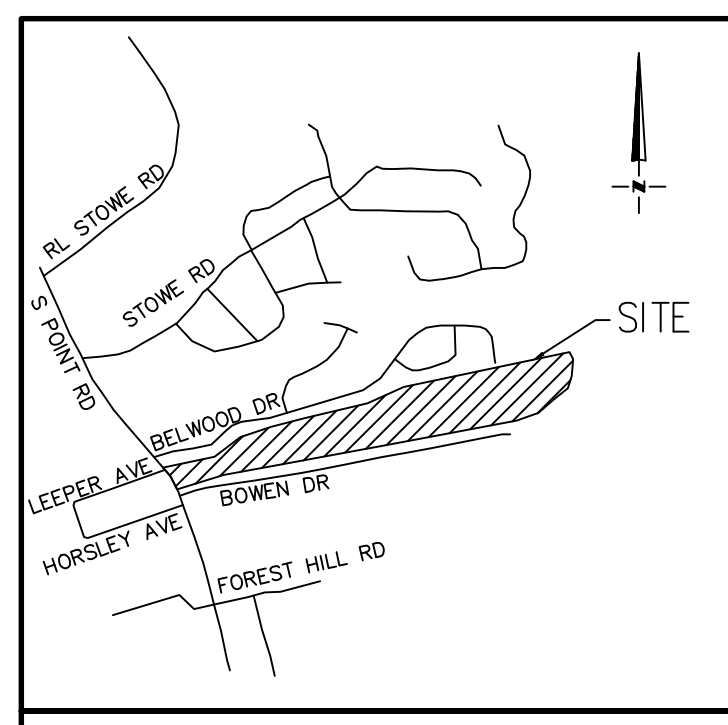
REVISIONS		
NO.	DATE	DESCRIPTION
2	11/27/18	BELMONT COMMENTS

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PROJECT NO.: 18-017
DESIGNED BY: TAP
REVIEWED BY: JDM
DATE: OCTOBER 8, 2018

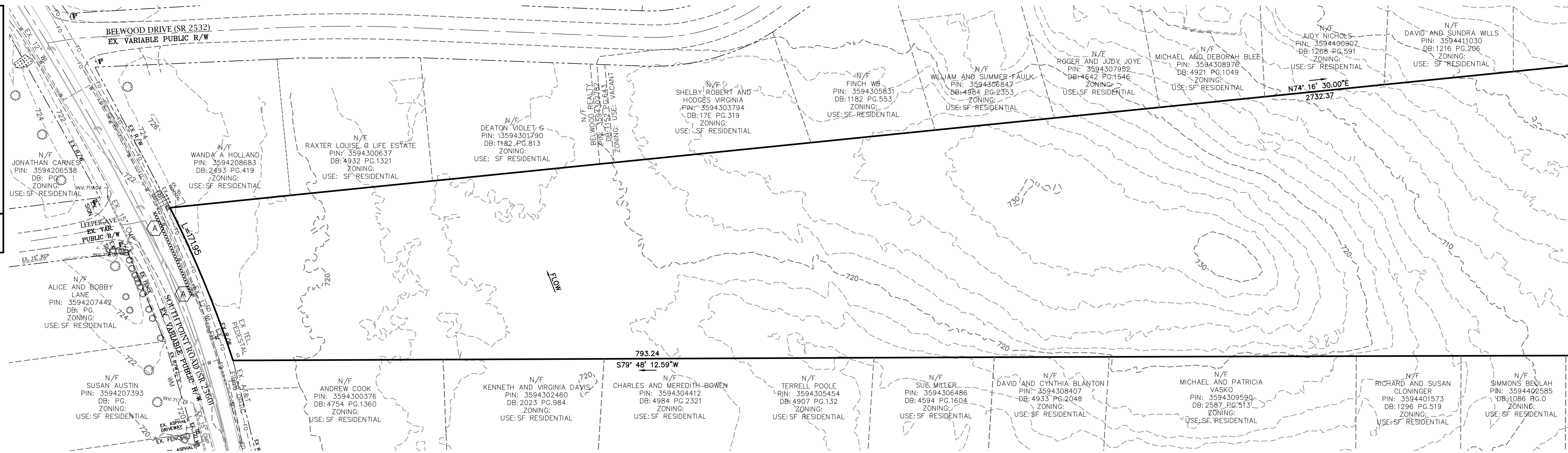
2

C1.0



LOCATION MAP
NTS

KEY NOTES:
CONTRACTOR SHALL SAWCUT EXISTING EDGE OF PAVEMENT FOR PROPOSED ROADWAY CONNECTION. SEE SHEET C6.0 FOR RIVERMIST DRIVE ROAD CONNECTION.



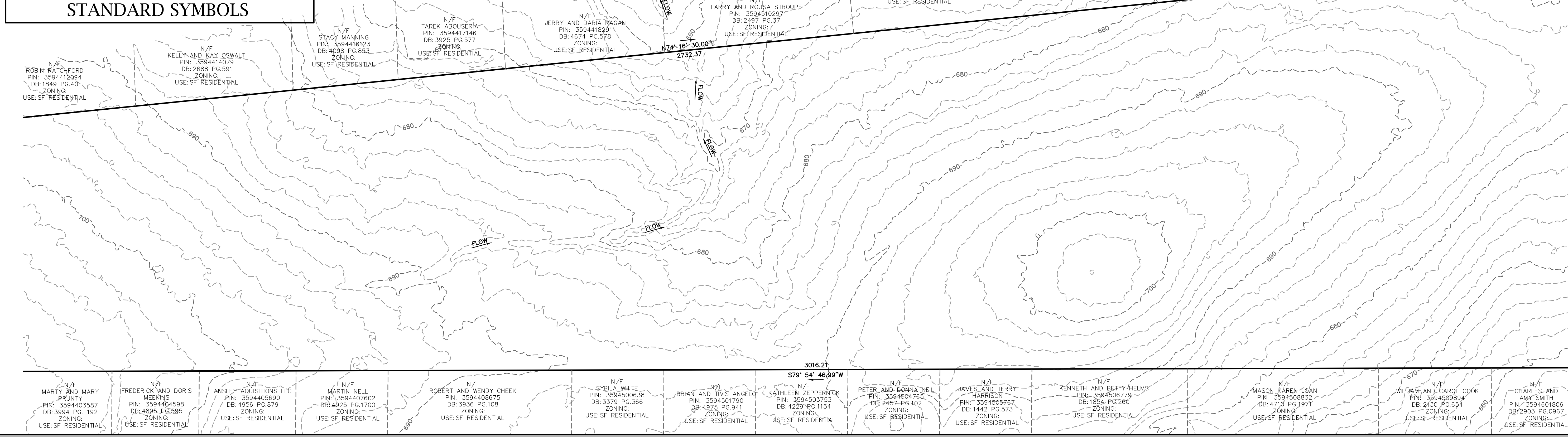
	EXISTING	PROPOSED
RIGHT OF WAY	--- 60' R/W ---	--- 60' R/W ---
BUILDING STRUCTURE	--- 1 ---	--- 1 ---
CURB AND GUTTER	--- 1 ---	--- 1 ---
PARKING COUNT	--- 1 ---	--- 1 ---
CONTOURS	--- 700 ---	--- 700 ---
SPOT ELEVATIONS	--- 1 ---	x 700.00
PERCENT SLOPE	--- 1 ---	2.0%
BENCHMARK	--- 1 ---	--- 1 ---
STREET SIGNS	--- 1 ---	--- 1 ---
SANITARY SEWER MANHOLE	--- 1 ---	--- 1 ---
STORM INLET/CATCH BASIN	--- 1 ---	--- 1 ---
TREE PROTECTION LINE	--- 1 ---	--- 1 ---
TREE LINE	--- 1 ---	--- 1 ---
FENCE LINE	--- 1 ---	--- 1 ---
TELEPHONE (UNDERGROUND)	--- 1 ---	--- 1 ---
TELEPHONE (OVERHEAD)	--- 1 ---	--- 1 ---
ELECTRIC (UNDERGROUND)	--- 1 ---	--- 1 ---
ELECTRIC (OVERHEAD)	--- 1 ---	--- 1 ---
GAS LINE	--- 1 ---	--- 1 ---
WATER LINE	--- 1 ---	--- 1 ---
SANITARY SEWER LINE	--- 1 ---	--- 1 ---
STORM SEWER LINE	--- 1 ---	--- 1 ---

SURVEY LEGEND

CB = CATCH BASIN
 CL = CENTER LINE
 CMP = CORRUGATED METAL PIPE
 CV = CONTROL VALVE
 DIP = DUCTILE IRON PIPE
 EIP = EXISTING IRON PIPE
 EIR = EXISTING IRON REBAR
 EP = EDGE OF PAVEMENT
 EX = EXISTING
 FES = FLARED END SECTION
 FND = FOUND
 GW = GUIDE WIRE
 HW = HEAD WALL
 INV = INVERT
 LP = LIGHT POLE
 MB = MAIL BOX
 PP = POWER POLE
 PROP = PROPOSED
 P.S.D.E = PUBLIC STORM DRAINAGE EASEMENT
 PVC = POLYVINYL CHLORIDE PIPE
 R/W = RIGHT OF WAY
 SIR = SET IRON REBAR
 SSMH = SANITARY SEWER MAN HOLE
 WM = WATER METER
 WV = WATER VALVE

DEMOLITION NOTES

1. THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMIT PRIOR TO ANY REMOVAL OF STRUCTURES, UTILITIES, ETC.
2. SITE DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL BUILDING STRUCTURES, ASSOCIATE UTILITIES, FOUNDATIONS, CONCRETE WALKS, CURB AND GUTTER AND SPECIFIED ASPHALT.
3. THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION WORK.
4. TRENCHES AND EXCAVATION AREAS SHALL BE RE-COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.
5. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT A PERMITTED FACILITY.
6. REFER TO SHEETS C3.0-C3.6 FOR PLACEMENT OF EROSION CONTROL MEASURES AND RELATED NOTES.
7. EXISTING PAVEMENT AND CURB SHOWN TO BE REMOVED SHALL BE SAW CUT.
8. NO EXISTING OR PROPOSED DEMOLITION LANDFILLS SHALL BE LOCATED ON-SITE.



Mc² ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.1979

Professional Engineer Seal for Jeffrey D. McClintock, No. 29606, State of North Carolina, expires 6/11/21.

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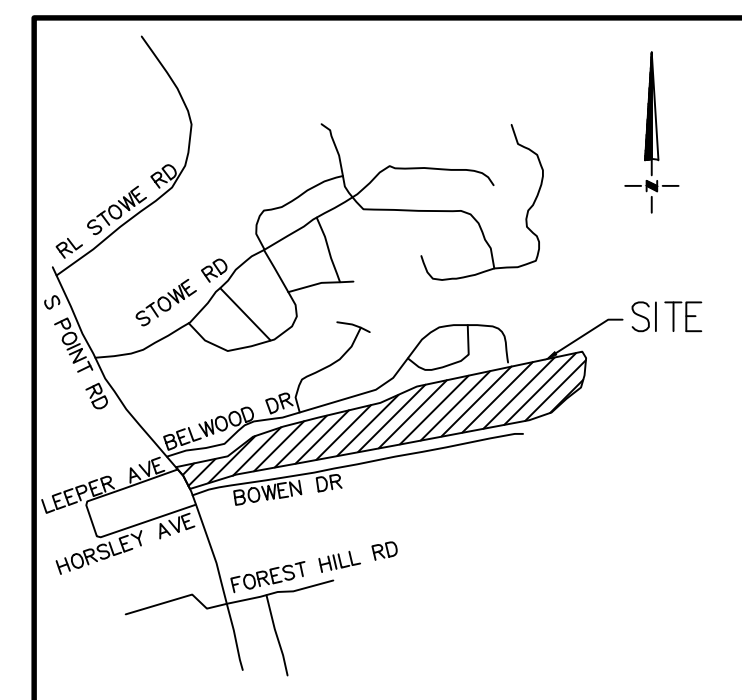
EXISTING CONDITIONS & DEMOLITION PLAN - SITE WEST & CENTER

REVISIONS	
2	11/27/18 BELMONT COMMENTS
8	6/11/21 NCDOT/BELMONT CMTS

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 REVIEWED BY: JDM
 DATE: OCTOBER 8, 2018

C1.1



LOCATION MAP
NTS

- CB = CATCH BASIN
 CL = CENTER LINE
 CMP = CORRUGATED METAL PIPE
 CV = CONTROL VALVE
 DIP = DUCTILE IRON PIPE
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 R/W = RIGHT OF WAY
 S/R = SET IRON REBAR
 SSMH = SANITARY SEWER MAN HOLE
 WM = WATER METER
 WV = WATER VALVE

SURVEY LEGEND

NORFOLK SOUTHERN RAIL ROAD STANDARD NOTES:
 ALL UTILITY INSTALLATIONS OR RELOCATIONS THAT ARE REQUIRED IN CONJUNCTION WITH THIS PROJECT CAN BE INSTALLED OR RELOCATED AS PART OF THE PROJECT PROVIDED THE CONSTRUCTION IS PERFORMED BY THE PROJECT CONTRACTOR OR PROJECT CONTRACTOR'S SUB-CONTRACTOR. HOWEVER, THE UTILITY MUST SUBMIT AN APPLICATION FOR THE INSTALLATION OR RELOCATION TO NS PIPE AND WIRE FOR APPROPRIATE HANDLING FOR LICENSE AGREEMENT AND APPLICABLE FEES. FOR UTILITY APPLICATIONS GO TO: WWW.NSCORP.COM/CONTENT/NSCORP/EN/REAL-ESTATE/NORFOLK-SOUTHERN-SERVICES/WIRE-PIPELINE-FIBER-OPTIC-PROJECTS.HTML
NOTE: LICENSE AGREEMENT MUST BE EXECUTED PRIOR TO UTILITY BEING INSTALLED OR RELOCATED.

CONTRACTOR WILL NOT BE PERMITTED TO STORE ANY EQUIPMENT ON NS PROPERTY WITHOUT PERMISSION FROM THE NS RAILROAD ENGINEER IN ACCORDANCE WITH SECTION E.5.K.1 OF THE NS PUBLIC PROJECTS MANUAL

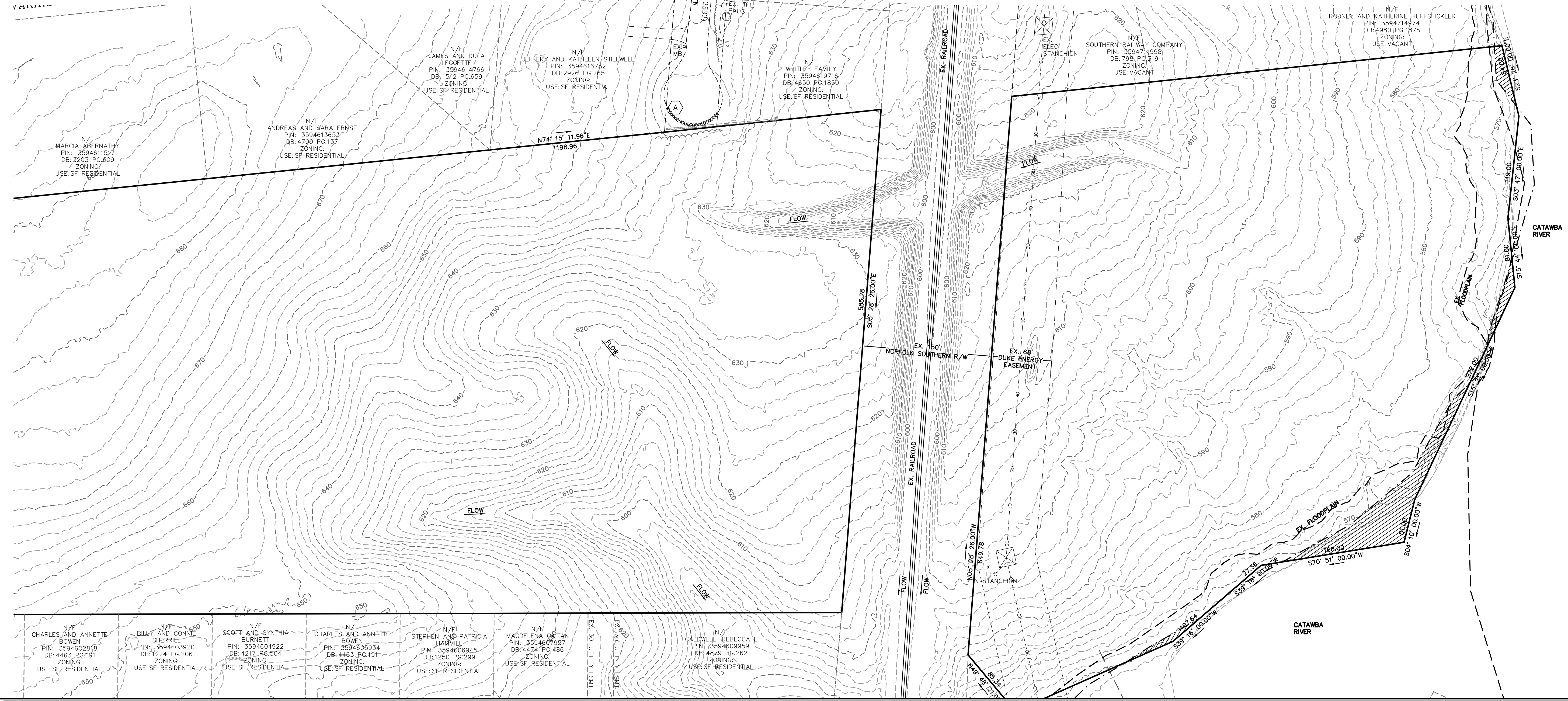
ALL ROADWAY WORK WITHIN 2' OF THE OUTSIDE EDGE OF RAIL SHALL BE COMPLETED BY NORFOLK SOUTHERN FORCES AT THE SPONSOR'S EXPENSE.



Know what's below.
Call before you dig.

MATCHLINE TO PUMP STATION THIS SHEET

MATCHLINE TO BELWOOD DR. THIS SHEET



	EXISTING	PROPOSED
RIGHT OF WAY	60' R/W	60' R/W
BUILDING STRUCTURE	[Symbol]	[Symbol]
CURB AND GUTTER	[Symbol]	[Symbol]
PARKING COUNT		700
CONTOURS	700	700
SPOT ELEVATIONS		x 700.00
PERCENT SLOPE		2.0%
BENCHMARK	[Symbol]	[Symbol]
STREET SIGNS	[Symbol]	[Symbol]
SANITARY SEWER MANHOLE	[Symbol]	[Symbol]
STORM INLET/CATCH BASIN	[Symbol]	[Symbol]
TREE PROTECTION LINE	[Symbol]	[Symbol]
TREE LINE	[Symbol]	[Symbol]
FENCE LINE	[Symbol]	[Symbol]
TELEPHONE (UNDERGROUND)	[Symbol]	[Symbol]
TELEPHONE (OVERHEAD)	[Symbol]	[Symbol]
ELECTRIC (UNDERGROUND)	[Symbol]	[Symbol]
ELECTRIC (OVERHEAD)	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]
STORM SEWER LINE	[Symbol]	[Symbol]

STANDARD SYMBOLS

DEMOLITION KEY NOTES:
 CONTRACTOR SHALL INSTALL PROPOSED UTILITY (WATER, GRAVITY SANITARY SEWER AND FORCEMAIN) WITHIN EXISTING BELWOOD DRIVE. SEE SHEET C6.9 FOR CONSTRUCTION SEQUENCE OF UTILITY CONNECTIONS AND ROAD CONNECTION.

Mc² ENGINEERING
 ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.518.1979

Professional Engineer Seal
 Seal No. 29606
 License No. C-2630
 State of North Carolina
 10/30/10

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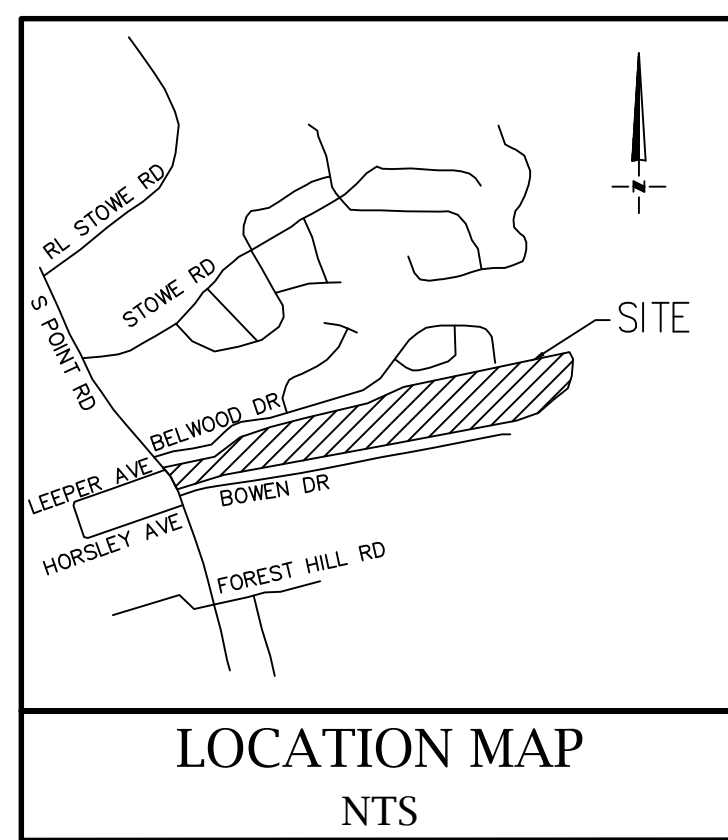
EXISTING CONDITIONS & DEMOLITION PLAN - SITE EAST & OFFSITE

REVISIONS		
2	11/27/18	BELMONT COMMENTS
5	10/30/20	NS COMMENTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY

CAD FILE: 18-017 BASE.DWG
 PROJECT NO.: 18-017
 DESIGNED BY: TAP
 REVIEWED BY: JDM
 DATE: OCTOBER 8, 2018

C1.2



- SITE KEY NOTES:**
- (A) PROPOSED 50' RIGHT OF WAY WITH SIDEWALK. SEE TYPICAL SECTION 1/C9.2.
 - (B) PROPOSED 52' RIGHT OF WAY TRAFFIC CIRCLE. SEE TYPICAL SECTION 8/C9.3.
 - (C) CONTRACTOR SHALL INSTALL 2' VALLEY GUTTER FOR 52' RIGHT OF WAY TRAFFIC CIRCLE PER DETAIL 2/C9.3.
 - (D) CONTRACTOR SHALL INSTALL 2'-6" STANDARD CURB AND GUTTER (NCDOT 846.01) PER DETAIL 2/C9.3.
 - (E) CONTRACTOR SHALL INSTALL 5' WIDE SIDEWALK (NCDOT 848.01) PER DETAIL 3/C9.3.
 - (F) CONTRACTOR SHALL INSTALL STOP SIGN "30X30" MUTCD R1-1 AT INTERSECTION. STOP BARS (24" WHITE THERMOPLASTIC) SHALL BE PROVIDED AT ALL STOP SIGNS. TEMPORARY PAINTED STOP BARS MUST BE PROVIDED UNTIL THE FINAL ASPHALT LAYER IS INSTALLED.
 - (G) PROPOSED MAILBOX KIOSK SHALL INCLUDE AF-FLORENCE MANUFACTURING COMPANY VITAL CLUSTER BOX UNITS INSTALLED PER MANUFACTURER SPECIFICATIONS.
 - (H) CITY OF BELMONT 35' X 35' SIGHT TRIANGLE.
 - (I) NCDOT 10' X 70' SIGHT TRIANGLE.
 - (J) PROPOSED PERMANENT UTILITY EASEMENT (P.U.E.). SEE UTILITY PLANS FOR ADDITIONAL DETAILS.
 - (K) PROPOSED MONUMENT SIGNAGE TO BE DESIGNED AND PERMITTED BY OTHERS.
 - (L) PROPOSED STORM DRAINAGE EASEMENT (S.D.E.).
 - (M) CONTRACTOR SHALL INSTALL NEW TREE PER TREE PLANTING DETAIL SEE DETAIL 3/C9.6. TREES SHALL NOT BE PLANTED IN ANY EASEMENT.
 - (N) VARIABLE WIDTH TEMPORARY CONSTRUCTION EASEMENT
 - (O) CONTRACTOR TO INSTALL RAILROAD CROSSING SIGNAGE PER DETAIL 5/C9.6.
 - (P) CONTRACTOR TO INSTALL HEAVY DUTY FULL DEPTH RUBBER GRADE CROSSING SYSTEM PER DETAIL 6/C9.6.
 - (Q) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R7-1 (LEFT ARROW).
 - (R) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R7-1 (RIGHT ARROW).
 - (S) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R8-3
 - (T) CONTRACTOR SHALL COORDINATE WITH DUKE POWER FOR STANDARDS AND INSTALLATION OF LIGHT POLES. LIGHT POLES ARE NOT TO BE DECORATIVE.

ROADWAY CENTERLINE LINE TABLE:

LINE	ALIGNMENT NAME	LENGTH	BEARING
L1	RIVERMIST DRIVE	120.82'	N74° 13' 59"E
L2	RIVERMIST DRIVE	73.46'	N88° 51' 07"E
L3	RIVERMIST DRIVE	441.65'	N74° 29' 04"E
L4	RIVERMIST DRIVE	153.72'	N84° 32' 35"E
L5	RIVERMIST DRIVE	834.20'	N80° 03' 11"E
L6	RIVERMIST DRIVE	200.45'	N65° 14' 09"E
L7	RIVERMIST DRIVE	112.17'	N85° 56' 38"E
L8	RIVERMIST DRIVE	607.92'	N80° 27' 13"E
L9	RIVERMIST DRIVE	236.80'	N05° 26' 24"W
L10	WATERCOURSE WAY	162.95'	S58° 35' 02"E
L11	WATERCOURSE WAY	56.74'	N28° 27' 03"E
L12	WATERCOURSE WAY	102.87'	N15° 32' 30"W

ROADWAY CENTERLINE CURVE TABLE:

CURVE	ALIGNMENT NAME	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C3	RIVERMIST DRIVE	90.43	360.00	90.19	N81° 39' 21"E
C4	RIVERMIST DRIVE	90.27	360.00	90.04	N81° 40' 05"E
C5	RIVERMIST DRIVE	175.56	1500.00	175.33	N79° 30' 50"E
C6	RIVERMIST DRIVE	111.67	1425.00	111.64	N82° 17' 53"E
C7	RIVERMIST DRIVE	387.91	1500.00	386.83	N79° 30' 50"E
C8	RIVERMIST DRIVE	361.42	1000.00	359.46	N75° 35' 23"E
C9	RIVERMIST DRIVE	95.82	1000.00	95.78	N83° 11' 56"E
C10	RIVERMIST DRIVE	374.78	250.00	340.66	N37° 30' 25"E
C11	WATERCOURSE WAY	567.89	350.00	507.62	N74° 56' 00"E
C12	WATERCOURSE WAY	230.34	300.00	224.73	N06° 27' 16"E

PLANT MATERIALS LIST

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	CALIPER	MIN. HEIGHT
	102	RED MAPLE	<i>Acer rubrum</i>	2.5"	8-10'
	49	SOUTHERN RED OAK	<i>Quercus falcata</i>	2.5"	8-10'
	108	VIRGINIA PINE	<i>Pinus virginiana</i>	2.5"	8-10'
	4	APALACHEE CRAPE MYRTLE	<i>Lagerstroemia india</i>	2.5"	8-10'

UNDISTURBED/TREE SAVE AREA PROVIDED SUMMARY

LOT #	AREA (SQ FT)	AREA (ACRES)	CLASSIFICATION	FORREST TYPE	APPROX. TREES/ACRE	APPROX NO. TREES
LOT A	93,200	2.14	GREENS	MIXED	75	160
LOT B	57,095	1.31	GREENS	MIXED	75	98
LOT C	54,312	1.25	GREENS	PINE	100	125
LOT D	204,432	4.69	GREENS	HARDWOOD	50	235
LOT E	125,104	2.87	GREENS	MIXED	75	215
LOT F	17,759	0.41	GREENS	MIXED	50	20
LOT G	7,745	0.18	PARK	MIXED	75	13
LOT H	55,138	1.27	PARK	MIXED	75	70
TOTAL	614,785	14.11				937

UNDISTURBED/TREE SAVE AREA PROVIDED SUMMARY

LOT #	AREA (SQ FT)	AREA (ACRES)
LOT A	77,304	1.77
LOT B	43,372	1.00
LOT C	38,411	0.88
LOT D	151,121	3.47
LOT E	80,248	1.84
LOT F	14,239	0.33
LOT G	30,627	0.70
LOT H	48,036	1.10
TOTAL	483,358	11.10

- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO BACK OF CURB OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE CITY OF BELMONT.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS NOT ALREADY OBTAINED BY THE DESIGN TEAM FROM ALL REGULATORY AUTHORITIES AND SHALL KEEP COPIES OF ALL APPLICABLE PERMITS ON SITE.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD).
 - PROPOSED STOP BARS SHALL BE 24" WHITE THERMOPLASTIC AND PROVIDED AT ALL STOP SIGNS. TEMPORARY PAINTED STOP BARS MUST BE PROVIDED UNTIL THE FINAL ASPHALT LAYER IS INSTALLED. ALL SIGNS AND PAVEMENT STRIPING IS TO BE PROVIDED BY THE DEVELOPER AT HIS EXPENSE.
 - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT CONNECTION TO NEW ASPHALT PARKING AREA.
 - CONTRACTOR SHALL COORDINATE WITH OWNER, SUB CONTRACTORS AND UTILITIES TO INSURE ALL THAT CONDUITS ARE INSTALLED UNDER THE CURB AND GUTTER AND PAVEMENT ARE INSTALLED BEFORE THE FINISHED SURFACE IS LAID.
 - ALL OPEN SPACE AREAS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE CITY OF BELMONT WILL NOT BE RESPONSIBLE FOR MAINTENANCE OF THE OPEN SPACE AREAS OF THIS DEVELOPMENT.
 - NO FENCES, TREES, LARGE SHRUBBERY, ACCESS BUILDINGS, POOLS, PATIOS, OVERHANGING STRUCTURES, OR YARD STRUCTURES ARE PERMITTED IN EASEMENTS.
 - DECORATIVE STREET SIGN POLES, IF PROPOSED BY THE DEVELOPER, WILL NOT BE MAINTAINED BY THE CITY OF BELMONT. THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE REPLACEMENT OR RE-INSTALLATION OF ANY POLES DAMAGED.
 - STOP BARS ARE REQUIRED AT ALL STOP SIGNS. THEY SHALL BE PAINTED FOR TEMPORARY SERVICE UNTIL THE FINAL ASPHALT SURFACE IS PLACED. AT THAT TIME, THE STOP BARS SHALL BE THERMOPLASTIC PER NCDOT STANDARD DETAILS AND SPECIFICATIONS.
 - FIELD DENSITY TESTING OF THE STREET RIGHTS OF WAY IS REQUIRED PER 7.06A OF THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL.
 - FINAL ASPHALT SURFACE COURSE SHALL BE INSTALLED ONE YEAR AFTER THE ACCEPTANCE OF THE INTERMEDIATE ASPHALT COURSE OR WHEN 50% OF HOUSING UNITS HAVE RECEIVED CERTIFICATES OF OCCUPANCY PER 7.05D(2) OF THE CITY OF BELMONT LAND DEVELOPMENT STANDARDS MANUAL.

DEVELOPER/OWNER: SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

DEED BOOK & PAGE: 4977&1780 AND 4977&1780
TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
EXISTING USE: VACANT/WOODED
PROPOSED USE: SINGLE-FAMILY
TOTAL LOTS: 86
DENSITY: 1.95 DUA

FRONT YARD: 30'
SIDE YARD: 20% OF LOT WIDTH
REAR YARD: 30'
MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
PROPOSED LARGEST LOT: 28,084 SF
TYPICAL LOT DIMENSIONS: 65'x121'

PROPOSED ROAD:
PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

STREET TREES: REQUIRED STREET TREES 10'-40" OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

TOTAL OPEN SPACE REQUIRED: DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
(86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
(50%)(3.46 AC) = 1.73 AC (75,359 SF)
NOTE: REDUCTION ALLOWED UP TO 25% PROVIDING 1.5x OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED: 0.87 AC (37,897 SF)
(25%)(3.46 AC) =

ADDITIONAL OFF-WATER OPEN SPACE: 2.60 AC (113,256 SF)
(1.5)(1.73 AC) =

OPEN SPACE SUMMARY:
REVISED TOTAL OPEN SPACE REQUIRED (3.46 AC) + (2.60 AC) = 6.06 AC
TOTAL OPEN SPACE PROVIDED: 14.11 AC

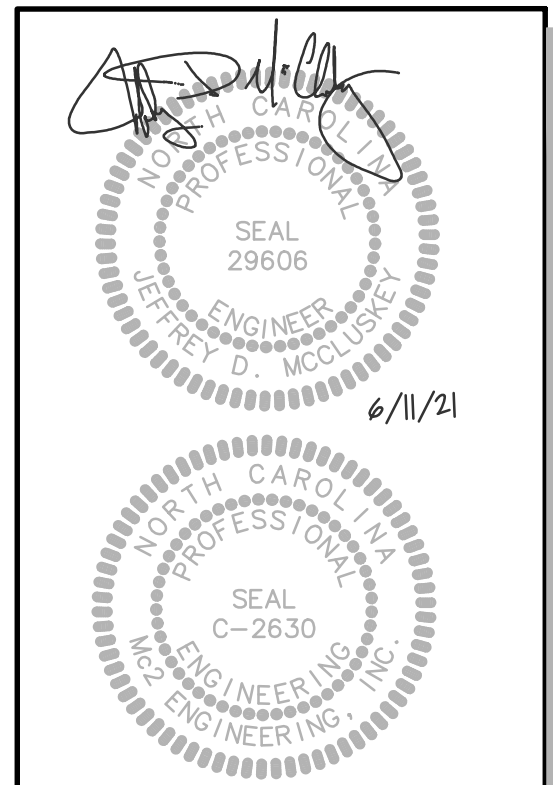
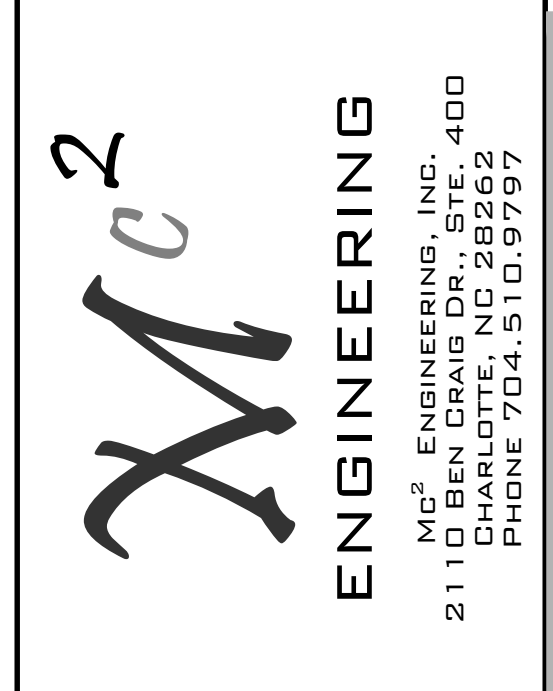
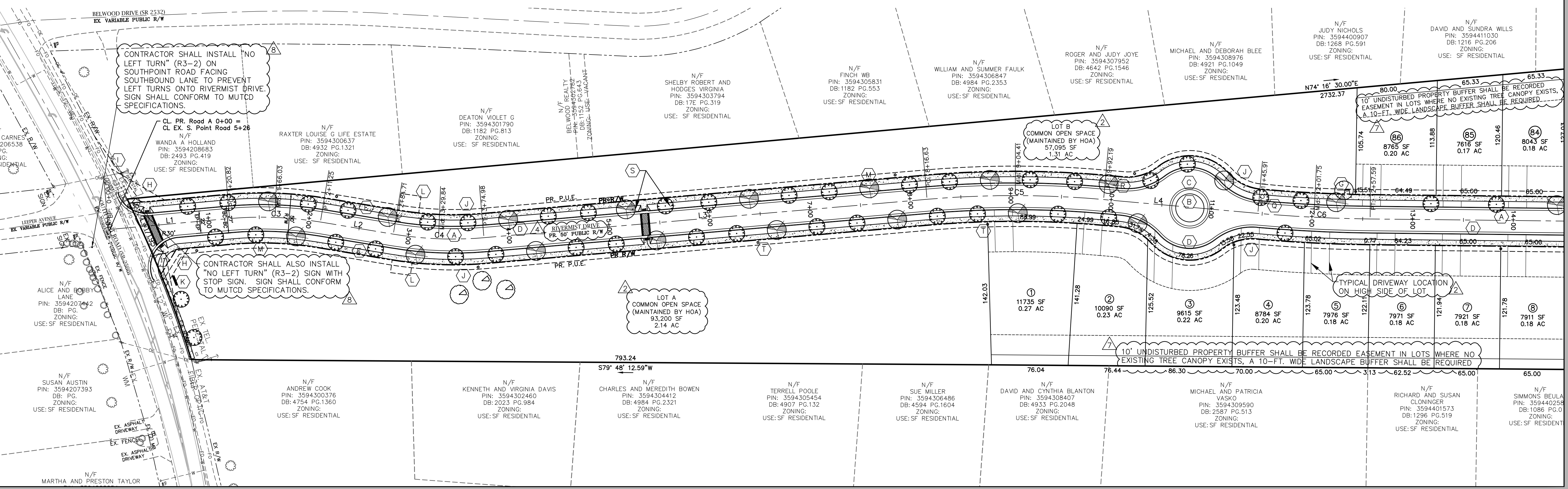
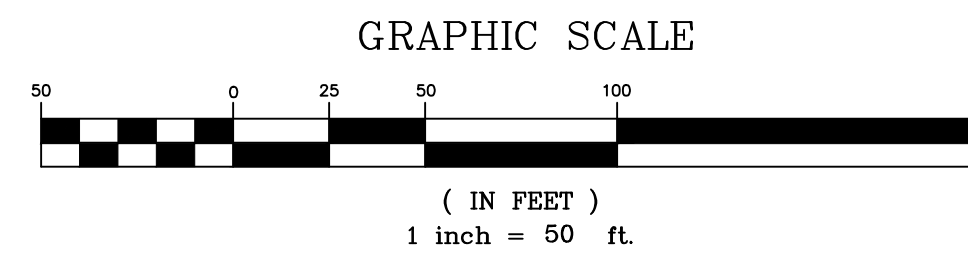
WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
1,030 LF TOTAL PERIMETER = 30%

WATERSHED DATA:
WATERSHED: CATAWBA RIVER/LAKE WYLYE WS IV
WATERSHED CRITICAL AREA = 32.86
WATERSHED PROTECTED AREA = 11.26

*CLASSIFICATION = LOW DENSITY (<2.00 DUA)

DEVELOPMENT SUMMARY



THE GEODESIC AND DRAWINGS SHOWN ARE THE PROPERTY OF Mc2 ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY Mc2 ENGINEERING, INC. IS PROHIBITED.

RIVERMIST SUBDIVISION
SOUTH POINT ROAD
BELMONT, NC

SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

SITE PLAN - SITE WEST

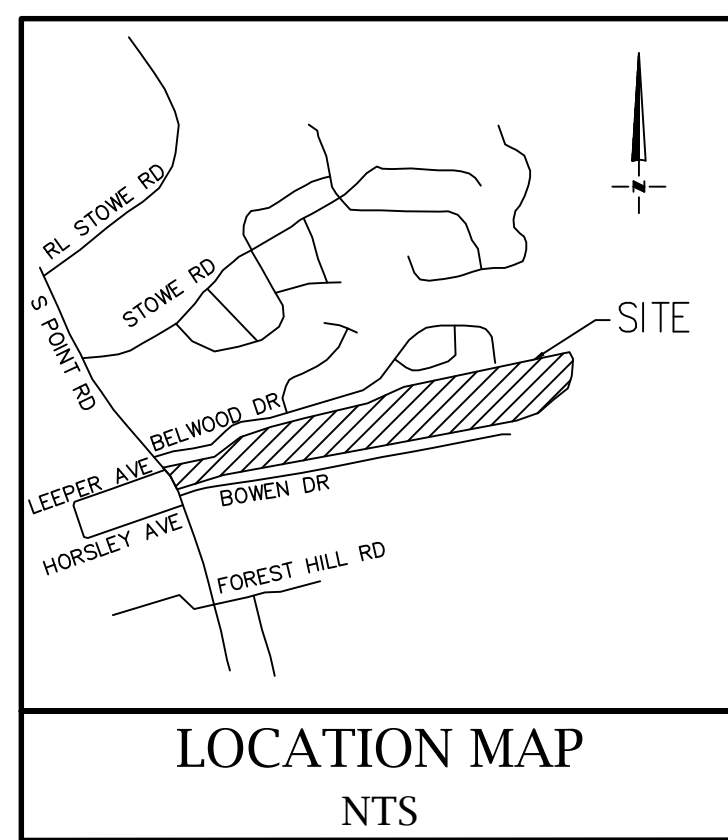
REVISIONS

NO.	DATE	DESCRIPTION
2	11/27/18	BELMONT COMMENTS
4	9/24/19	BELMONT COMMENTS
7	4/27/21	BELMONT COMMENTS
8	6/11/21	NCDOT/BELMONT CMTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY

CAD FILE: 18-017 BASE.DWG
PROJECT NO.: 18-017
DESIGNED BY: TAP
REVIEWED BY: JDM
DATE: OCTOBER 8, 2018

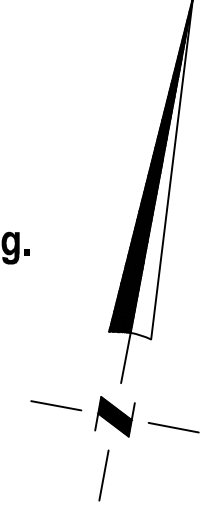
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LOCATION MAP
NTS



Know what's below.
Call before you dig.



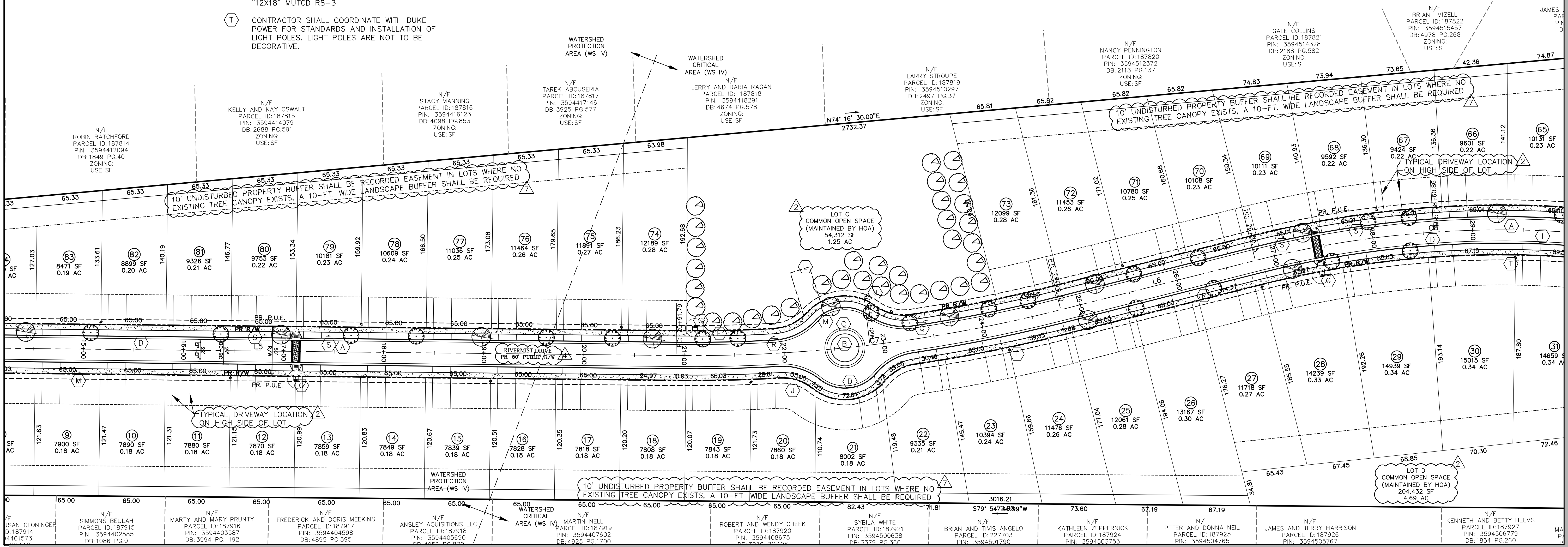
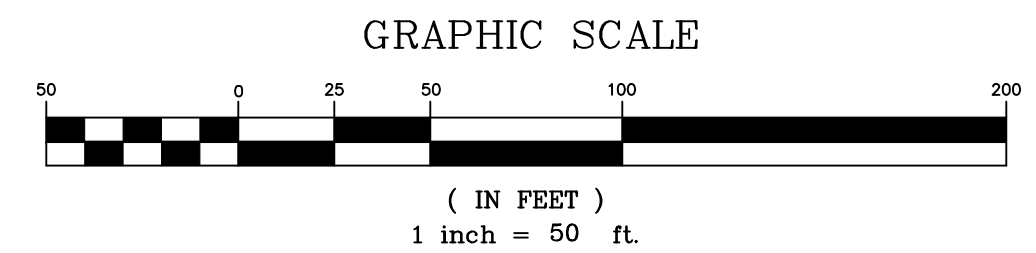
- SITE KEY NOTES:**
- (A) PROPOSED 50' RIGHT OF WAY WITH SIDEWALK. SEE TYPICAL SECTION 1/C9.2.
 - (B) PROPOSED 52' RIGHT OF WAY TRAFFIC CIRCLE. SEE TYPICAL SECTION 8/C9.3.
 - (C) CONTRACTOR SHALL INSTALL 2' VALLEY GUTTER FOR 52' RIGHT OF WAY TRAFFIC CIRCLE PER DETAIL 2/C9.3.
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 - (G) PROPOSED MAILBOX KIOSK SHALL INCLUDE AF-FLORENCE MANUFACTURING COMPANY VITAL CLUSTER BOX UNITS INSTALLED PER MANUFACTURER SPECIFICATIONS.
 - (H) CITY OF BELMONT 35' X 35' SIGHT TRIANGLE.
 - (I) NCDOT 10' X 70' SIGHT TRIANGLE.
 - (J) PROPOSED PERMANENT UTILITY EASEMENT (P.U.E.). SEE UTILITY PLANS FOR ADDITIONAL DETAILS.
 - (K) PROPOSED MONUMENT SIGNAGE TO BE DESIGNED AND PERMITTED BY OTHERS.
 - (L) PROPOSED STORM DRAINAGE EASEMENT (S.D.E.).
 - (M) CONTRACTOR SHALL INSTALL NEW TREE PER TREE PLANTING DETAIL SEE DETAIL 3/C9.6. TREES SHALL NOT BE PLANTED IN ANY EASEMENT.
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 - (O) CONTRACTOR TO INSTALL RAILROAD CROSSING SIGNAGE PER DETAIL 5/C9.6.
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 - (S) CONTRACTOR SHALL INSTALL NO PARKING SIGN "12X18" MUTCD R8-3
 - (T) CONTRACTOR SHALL COORDINATE WITH DUKE POWER FOR STANDARDS AND INSTALLATION OF LIGHT POLES. LIGHT POLES ARE NOT TO BE DECORATIVE.

ROADWAY CENTERLINE LINE TABLE:

LINE	ALIGNMENT NAME	LENGTH	BEARING
L1	RIVERMIST DRIVE	120.82'	N74° 13' 59"E
L2	RIVERMIST DRIVE	73.46'	N88° 51' 07"E
L3	RIVERMIST DRIVE	441.65'	N74° 29' 04"E
L4	RIVERMIST DRIVE	153.72'	N84° 32' 35"E
L5	RIVERMIST DRIVE	834.20'	N80° 03' 11"E
L6	RIVERMIST DRIVE	200.45'	N65° 14' 09"E
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L10	WATERCOURSE WAY	162.95'	S58° 35' 02"E
L11	WATERCOURSE WAY	56.74'	N28° 27' 03"E
L12	WATERCOURSE WAY	102.87'	N15° 32' 30"W

ROADWAY CENTERLINE CURVE TABLE:

CURVE	ALIGNMENT NAME	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C3	RIVERMIST DRIVE	90.43	360.00	90.19	N81° 39' 21"E
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DEVELOPER/OWNER: SHINNILLE RIDGE PARTNERS, LLC
20607 BETHEL CHURCH ROAD
CORNELIUS, NC 28031

2 PIN: 3594513084 AND 3594714552
TAX ID NUMBERS: 207492 AND 207491
JURISDICTION: CITY OF BELMONT

DEED BOOK & PAGE: 4977&1780 AND 4977&1780
TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
EXISTING USE: VACANT/WOODED
PROPOSED USE: SINGLE-FAMILY
TOTAL LOTS: 86
DENSITY: 1.95 DUA

FRONT YARD: 30'
SIDE YARD: 20% OF LOT WIDTH
REAR YARD: 30'
MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
PROPOSED LARGEST LOT: 28,084 SF
TYPICAL LOT DIMENSIONS: 65'X121'

2 ALL PROPOSED LOTS SHALL MEET OR EXCEED THE MINIMUM LOT WIDTH, LOT AREA, AND SETBACKS OF THE CITY OF BELMONT LAND DEVELOPMENT CODE (LDC)

PROPOSED ROAD:
PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

STREET TREES
REQUIRED STREET TREES 10'-40' OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

2 TOTAL OPEN SPACE REQUIRED:
DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
(86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
(50%)(3.46 AC) = 1.73 AC (75,359 SF)
NOTE: REDUCTION ALLOWED UP TO 25% PROVIDING 1.5x
OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED:
(25%)(3.46 AC) = 0.87 AC (37,897 SF)

ADDITIONAL OFF-WATER OPEN SPACE:
(1.5)(1.73 AC) = 2.60 AC (113,256 SF)

OPEN SPACE SUMMARY
REVISED TOTAL OPEN SPACE REQUIRED
(3.46 AC) + (2.60 AC) = 6.06 AC
TOTAL OPEN SPACE PROVIDED: 14.11 AC

WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
1,030 LF TOTAL PERIMETER = 30%

WATERSHED DATA
WATERSHED: CATAWBA RIVER/LAKE WYLYE WS IV
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DEVELOPMENT SUMMARY

Mc² ENGINEERING
ENGINEERING
MC² ENGINEERING, INC.
2110 BEN CRAIG DR., STE. 400
CHARLOTTE, NC 28262
PHONE 704.510.1979

Professional Engineer Seal
BRIAN MIZELL
PARCEL ID: 187822
PIN: 3594515457
DB: 4978 PG. 268
ZONING: USE: SF
A/17/21

Professional Engineer Seal
NORTH CAROLINA
C-2630
ENGINEERING
INC. ENGINEERING, INC.

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**SITE PLAN -
SITE CENTER**

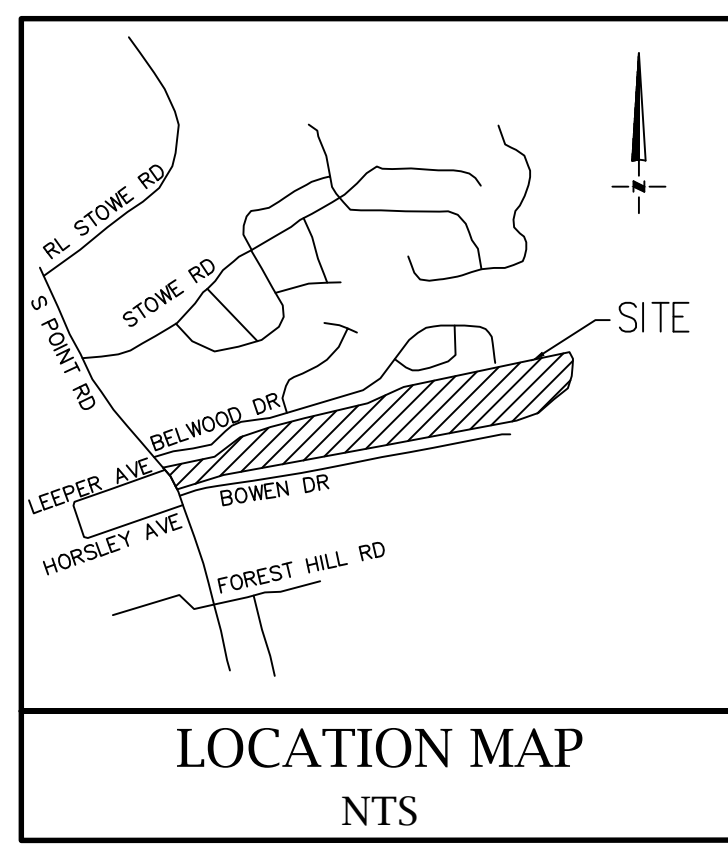
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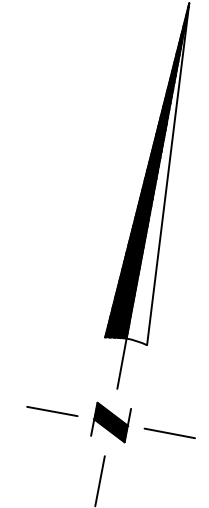
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CAD FILE: 18-017 BASE.DWG
PROJECT NO.: 18-017
DESIGNED BY: TAP
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C2.1



LOCATION MAP
NTS



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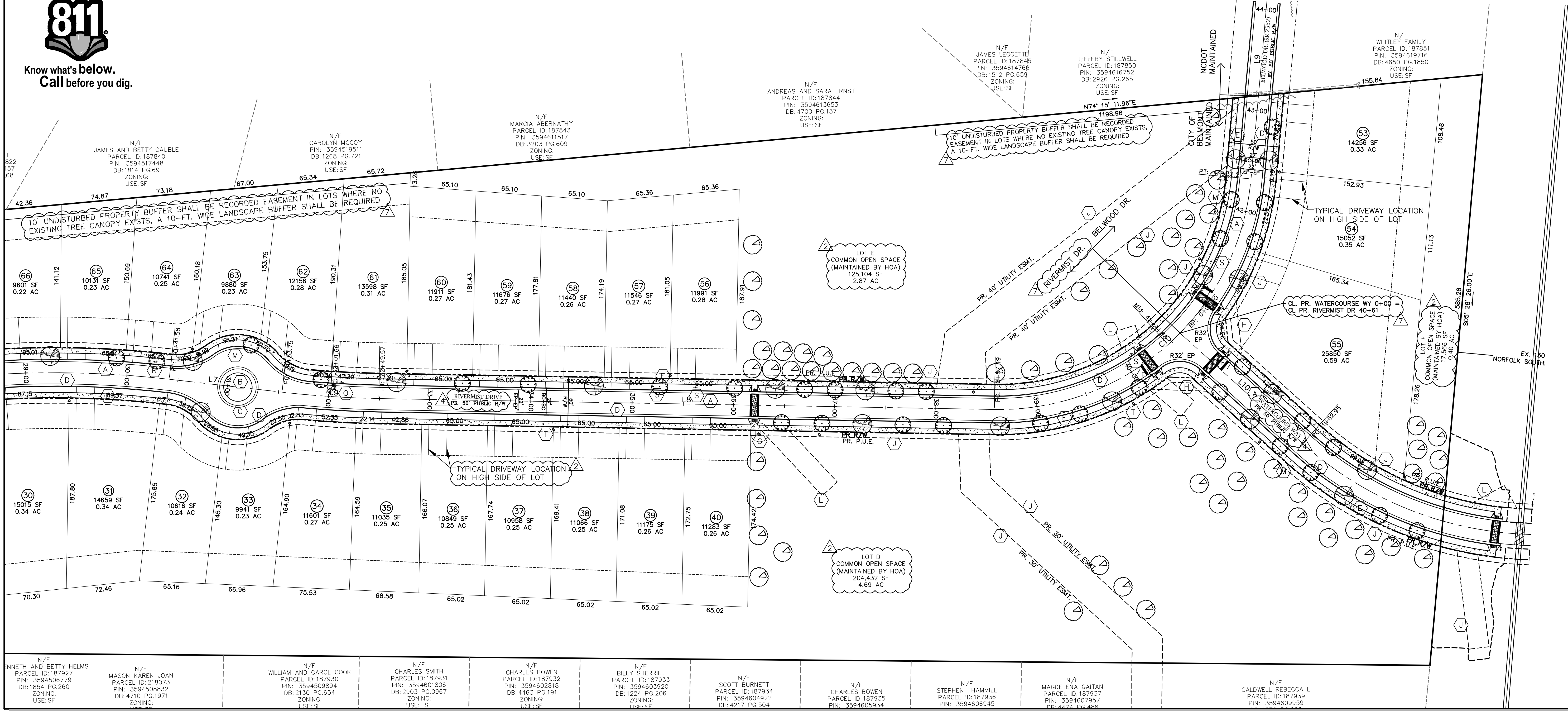
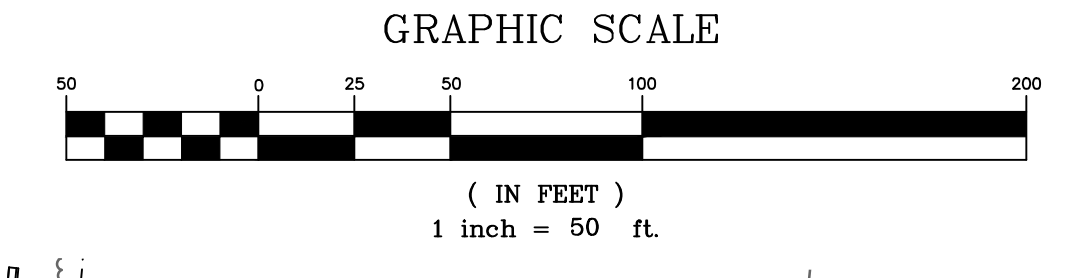
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BELWOOD DRIVE CONNECTION NOTES:
THE EASTERN ROAD CONNECTION TO BELWOOD DRIVE MAY BE OPEN FOR UTILITY CONSTRUCTION AND SHALL BE CLOSED FOR THROUGH TRAFFIC UNTIL THE DEVELOPMENT IS 90% BUILT-OUT OR THE CITY HAS BEEN PETITIONED TO ACCEPT THE STREET FOR MAINTENANCE.

NORFOLK SOUTHERN RAIL ROAD STANDARD NOTES:
ALL UTILITY INSTALLATIONS OR RELOCATIONS THAT ARE REQUIRED IN CONJUNCTION WITH THIS PROJECT CAN BE INSTALLED OR RELOCATED AS PART OF THE PROJECT PROVIDED THE CONSTRUCTION IS PERFORMED BY THE PROJECT CONTRACTOR OR PROJECT CONTRACTOR'S SUB-CONTRACTOR. HOWEVER, THE UTILITY MUST SUBMIT AN APPLICATION FOR THE INSTALLATION OR RELOCATION TO NS PIPE AND WIRE FOR APPROPRIATE HANDLING FOR LICENSE AGREEMENT AND APPLICABLE FEES. FOR UTILITY APPLICATIONS GO TO: WWW.NSCORP.COM/CONTENT/NSCORP/EN/REAL-ESTATE/NORFOLK-SOUTHERN-SERVICES/WIRE-PIPELINE-FIBER-OPTIC-PROJECTS.HTML
NOTE: LICENSE AGREEMENT MUST BE EXECUTED PRIOR TO UTILITY BEING INSTALLED OR RELOCATED.

CONTRACTOR WILL NOT BE PERMITTED TO STORE ANY EQUIPMENT ON NS PROPERTY WITHOUT PERMISSION FROM THE NS RAILROAD ENGINEER IN ACCORDANCE WITH SECTION E.5.K.1 OF THE NS PUBLIC PROJECTS MANUAL

ALL ROADWAY WORK WITHIN 2' OF THE OUTSIDE EDGE OF RAIL SHALL BE COMPLETED BY NORFOLK SOUTHERN FORCES AT THE SPONSOR'S EXPENSE.



RIVERMIST SUBDIVISION
SOUTH POINT ROAD
BELMONT, NC

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CORNELIUS, NC 28031

**SITE PLAN -
SITE CENTER
(PT II)**

REVISIONS

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**FINAL DRAWING
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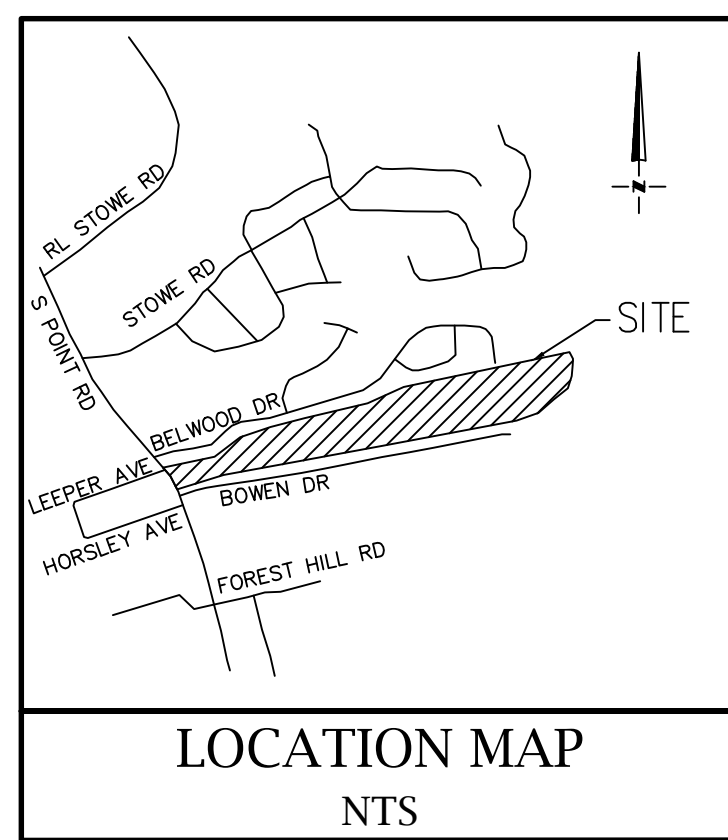
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C2.2

Mc² ENGINEERING
Mc² ENGINEERING, INC.
2110 BEN CRAIG DR., STE. 400
CHARLOTTE, NC 28262
PHONE 704.510.1979

Professional Engineer Seal for Jeffrey Stillwell, License No. 29606, State of North Carolina, dated 4/17/21.

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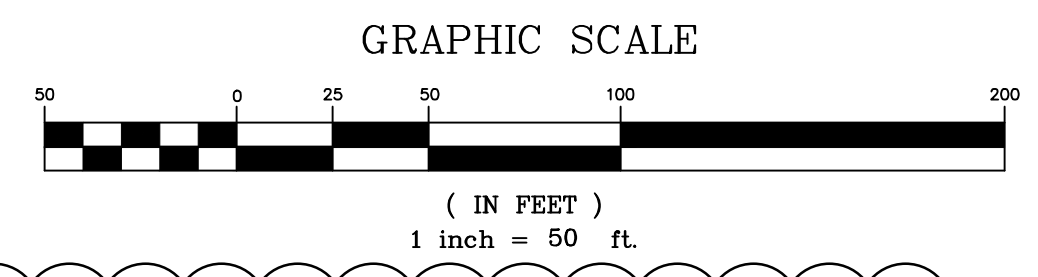


BASED ON NORFOLK SOUTHERN REQUIREMENTS NO CONCRETE IS ALLOWED WITHIN 15' OF CLOSEST RAIL

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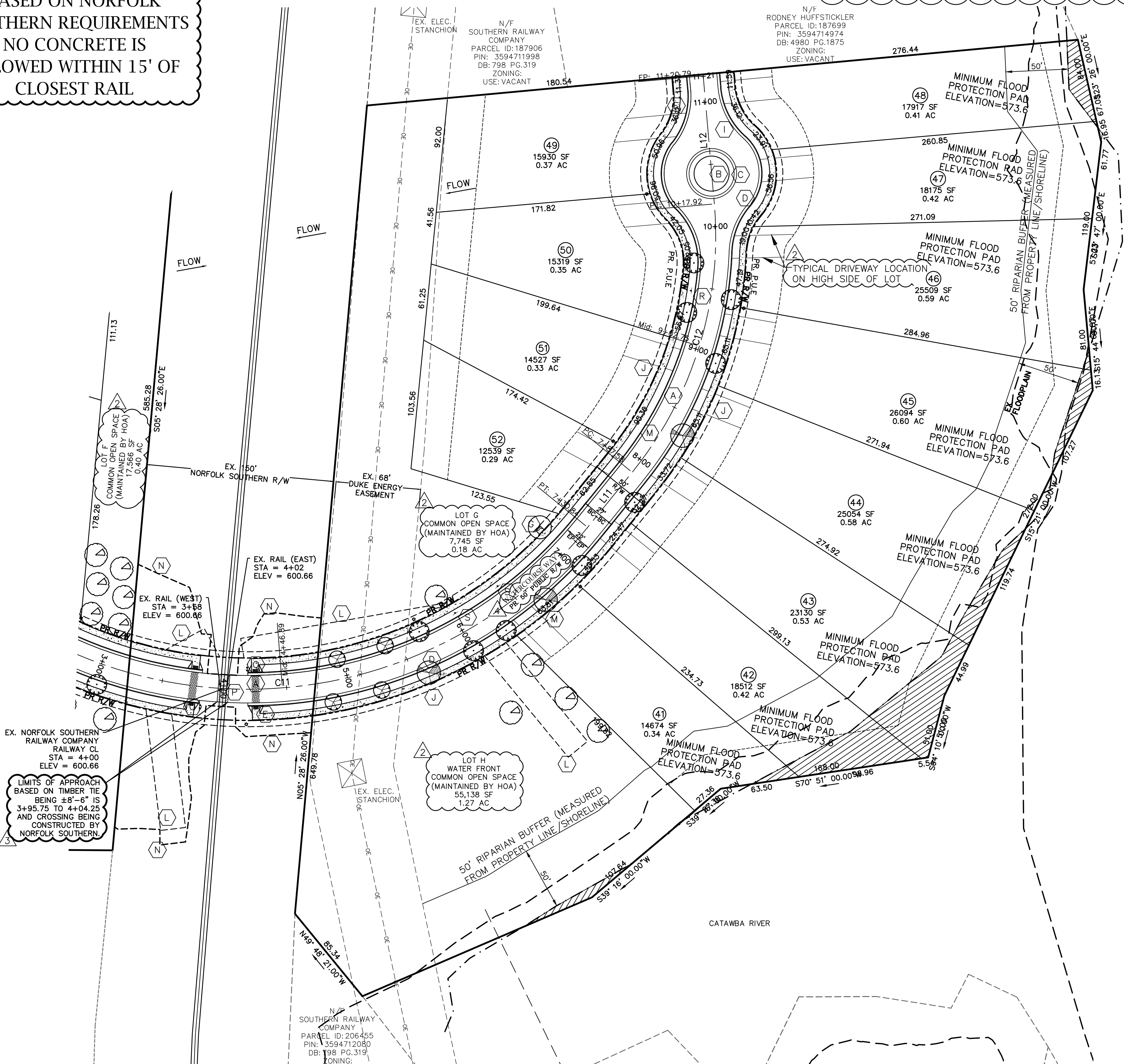
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C12	WATERCOURSE WAY	230.34	300.00	224.73	N06° 27' 16"E



NORFOLK SOUTHERN RAIL ROAD STANDARD NOTES:
 ALL UTILITY INSTALLATIONS OR RELOCATIONS THAT ARE REQUIRED IN CONJUNCTION WITH THIS PROJECT CAN BE INSTALLED OR RELOCATED AS PART OF THE PROJECT PROVIDED THE CONSTRUCTION IS PERFORMED BY THE PROJECT CONTRACTOR OR PROJECT CONTRACTOR'S SUB-CONTRACTOR. HOWEVER, THE UTILITY MUST SUBMIT AN APPLICATION FOR-INSTALLATION-OR RELOCATION TO NS PIPE AND WIRE FOR APPROPRIATE HANDLING FOR LICENSE AGREEMENT AND APPLICABLE FEES. FOR UTILITY APPLICATIONS GO TO: WWW.NSCORP.COM/CONTENT/NSCORP/EN/REAL-ESTATE/NORFOLK-SOUTHERN-SERVICES/WIRE-PIPELINE-FIBER-OPTIC-PROJECTS.HTML
 NOTE: LICENSE AGREEMENT MUST BE EXECUTED PRIOR TO UTILITY BEING INSTALLED OR RELOCATED.

CONTRACTOR WILL NOT BE PERMITTED TO STORE ANY EQUIPMENT ON NS PROPERTY WITHOUT PERMISSION FROM THE NS RAILROAD ENGINEER IN ACCORDANCE WITH SECTION E.5.K.1 OF THE NS PUBLIC PROJECTS MANUAL

ALL ROADWAY WORK WITHIN 2' OF THE OUTSIDE EDGE OF RAIL SHALL BE COMPLETED BY NORFOLK SOUTHERN FORCES AT THE SPONSOR'S EXPENSE.



DEVELOPER/OWNER: SHINNILLE RIDGE PARTNERS, LLC
 20607 BETHEL CHURCH ROAD
 CORNELIUS, NC 28031

DEED BOOK & PAGE: 4977&1780 AND 4977&1780
 TOTAL SITE ACREAGE: 44.12 AC (1,961,867 SF)

CURRENT ZONING: G-R
 EXISTING USE: VACANT/WOODED
 PROPOSED USE: SINGLE-FAMILY
 TOTAL LOTS: 86
 DENSITY: 1.95 DUA

FRONT YARD: 30'
 SIDE YARD: 20% OF LOT WIDTH
 REAR YARD: 30'
 MINIMUM LOT WIDTH: 55'

PROPOSED SMALLEST LOT: 7,616 SF
 PROPOSED LARGEST LOT: 28,084 SF
 TYPICAL LOT DIMENSIONS: 95'x121'

PROPOSED RIVERMIST DRIVE (TOTAL LENGTH): 4284 LF
 -FROM SOUTH POINT TO WATERCOURSE WAY: 4032 LF
 -FROM WATERCOURSE WAY TO BELWOOD DRIVE: 252 LF

PROPOSED WATERCOURSE WAY (TOTAL LENGTH): 1116 LF

STREET TREES
 REQUIRED STREET TREES 10'-40' OC

PROPOSED RIVERMIST DRIVE PROVIDED (4280 LF/40'): 214
 PROPOSED WATERCOURSE WAY PROVIDED (948 LF/40'): 47
 SOUTH POINT ROAD PROVIDED (85 LF/40'): 2

TOTAL OPEN SPACE REQUIRED:
 DEVELOPMENT CALCULATIONS ARE BASED ON 3.5 AVE. BEDROOMS PER LOT.
 (86 LOTS)(3.5 BR/500) = 3.46 AC (150,500 SF)
 OPEN SPACE % OF TOTAL SITE: 7.7%

WATER FRONT REQUIRED:
 (50%)(3.46 AC) = 1.73 AC (75,359 SF)
 NOTE: REDUCED RATION ALLOWED UP TO 25% PROVIDING 1.5x OFF-WATER OPEN SPACE IS PROVIDED.

REDUCED WATER FRONT REQUIRED:
 (25%)(3.46) = 0.87 AC (37,897 SF)

ADDITIONAL OFF-WATER OPEN SPACE:
 (1.5)(1.73 AC) = 2.60 AC (113,256 SF)

OPEN SPACE SUMMARY
 REVISED TOTAL OPEN SPACE REQUIRED
 (3.46 AC) + (2.60 AC) = 6.06 AC

TOTAL OPEN SPACE PROVIDED: 14.11 AC

WATER FRONT OPEN SPACE REQUIRED: 0.87 AC
 WATER FRONT OPEN SPACE PROVIDED: 1.27 AC

OPEN SPACE WATER FRONTAGE REQUIRED = 30% OF PERIMETER
 OPEN SPACE WATER FRONTAGE PROVIDED: 310 LF WATER FRONTAGE
 1,030 LF TOTAL PERIMETER
 = 30%

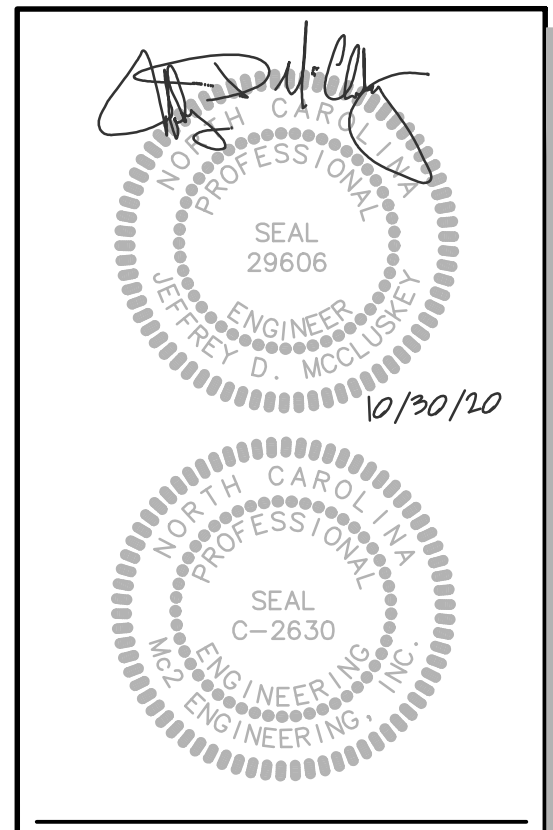
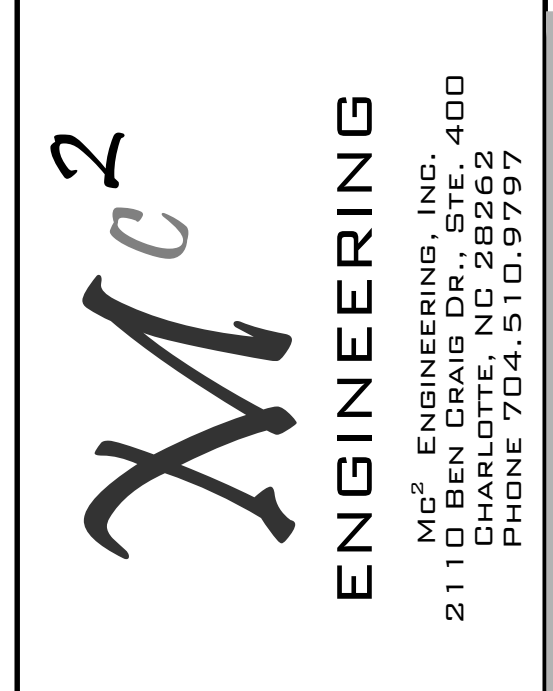
WATERSHED DATA
 WATERSHED: CATAWBA RIVER/LAKE WYLYE WS IV
 WATERSHED CRITICAL AREA = 32.86
 WATERSHED PROTECTED AREA = 11.26

*CLASSIFICATION = LOW DENSITY (<2.00 DUA)

DEVELOPMENT SUMMARY

DUKE ELECTRIC TRANSMISSION RIGHTS OF WAY RESTRICTIONS

- THIS LIST OF RIGHTS-OF-WAY RESTRICTIONS HAS BEEN DEVELOPED TO ANSWER THE MOST FREQUENTLY ASKED QUESTIONS ABOUT PROPERTY OWNER USE OF DUKE ENERGY'S ELECTRIC TRANSMISSION RIGHTS OF WAY. THIS LIST DOES NOT COVER ALL RESTRICTIONS OR ALL POSSIBLE SITUATIONS. YOU SHOULD CONTACT THE ASSET PROTECTION RIGHT-OF-WAY SPECIALIST IF YOU HAVE ADDITIONAL CONCERNS ABOUT THE RIGHTS OF WAY. THIS LIST OF RESTRICTIONS IS SUBJECT TO CHANGE AT ANY TIME AND WITHOUT NOTICE. DUKE ENERGY RESERVES ALL RIGHTS CONVEYED TO IT BY THE RIGHT-OF-WAY AGREEMENT APPLICABLE TO THE SUBJECT PROPERTY. ALL ACTIVITY WITHIN THE RIGHTS OF WAY SHALL BE REVIEWED BY AN ASSET PROTECTION RIGHT-OF-WAY SPECIALIST. IT IS STRONGLY SUGGESTED THAT YOU CONTACT DUKE ENERGY AND SUBMIT PLANS FOR APPROVAL PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHTS OF WAY.
- STRUCTURES, BUILDINGS, MANUFACTURED HOMES, MOBILE HOMES AND TRAILERS, SATELLITE SIGNAL RECEIVER SYSTEMS, SWIMMING POOLS (AND ANY ASSOCIATED EQUIPMENT), GRAVES, BILLBOARDS, DUMPSTERS, SIGNS, WELLS, SEPTIC SYSTEMS OR STORAGE TANKS AND SYSTEMS (WHETHER ABOVE OR BELOW GROUND), REFUSE OF ANY TYPE, FLAMMABLE MATERIAL, BUILDING MATERIAL, WRECKED OR DISABLED VEHICLES AND ALL OTHER OBJECTS (WHETHER ABOVE OR BELOW GROUND) WHICH MAY, IN DUKE ENERGY'S OPINION, INTERFERE WITH THE ELECTRIC TRANSMISSION RIGHT OF WAY, IN ANY WAY, ARE NOT ALLOWED WITHIN THE RIGHTS-OF-WAY LIMITS. TRANSFORMERS, TELEPHONE/CABLE PEDESTALS (AND ASSOCIATED EQUIPMENT), AND FIRE HYDRANTS ARE NOT ALLOWED. MANHOLES, WATER VALVES, WATER METERS AND BACKFLOW PREVENTORS ARE NOT PERMITTED.
 - FENCES SHALL NOT BE ATTACHED TO POLES OR TOWERS. FENCES SHALL NOT EXCEED 10 FEET IN HEIGHT AND SHALL BE INSTALLED GREATER THAN 25 FEET FROM POLES, TOWERS AND GUY ANCHORS. FENCES SHALL NOT PARALLEL THE CENTERLINE WITHIN THE RIGHTS OF WAY BUT MAY CROSS FROM ONE SIDE TO THE OTHER AT ANY ANGLE NOT LESS THAN 30 DEGREES WITH THE CENTERLINE. IF A FENCE CROSSES THE RIGHTS OF WAY, A GATE (16 FOOT WIDE GATE AT EACH CROSSING) SHALL BE INSTALLED BY THE PROPERTY OWNER, PER DUKE ENERGY'S SPECIFICATIONS, TO ALLOW FREE ACCESS REQUIRED BY DUKE ENERGY EQUIPMENT.
 - CONTACT DUKE ENERGY AND OBTAIN WRITTEN APPROVAL BEFORE GRADING OR FILLING ON THE RIGHTS OF WAY. GRADING (CUTS OR FILLS) SHALL BE NO CLOSER THAN 25 FEET FROM A POLE OR TOWER LEG, AND THE SLOPE SHALL NOT EXCEED 4:1 ON THE RIGHTS OF WAY. GRADING OR FILLING WITHIN THE RIGHTS OF WAY OR NEAR A STRUCTURE, WHICH WILL PREVENT FREE EQUIPMENT/VEHICLE ACCESS, OR CREATES GROUND TO CONDUCTOR CLEARANCE VIOLATIONS, WILL NOT BE PERMITTED. SEDIMENTATION CONTROL, INCLUDING RE-VEGETATION, IS REQUIRED PER STATE REGULATIONS.
 - STREETS, ROADS, DRIVEWAYS, SEWER LINES, WATER LINES, AND OTHER UTILITY LINES, OR ANY UNDERGROUND FACILITIES SHALL NOT PARALLEL THE CENTERLINE WITHIN THE RIGHTS OF WAY, BUT MAY CROSS, FROM ONE SIDE TO THE OTHER, AT ANY ANGLE NOT LESS THAN 30 DEGREES WITH THE CENTERLINE. NO PORTION OF SUCH FACILITY SHALL BE LOCATED WITHIN 25 FEET OF DUKE ENERGY'S SUPPORTING STRUCTURES. INTERSECTIONS OF ROADS, DRIVEWAYS, OR ALLEYS ARE NOT PERMITTED WITHIN THE RIGHTS OF WAY.
 - ANY DRAINAGE FEATURE THAT ALLOWS WATER TO POND, CAUSES EROSION, DIRECTS STORM WATER TOWARD THE RIGHTS OF WAY, OR LIMITS ACCESS TO OR AROUND A STRUCTURE IS PROHIBITED.
 - CONTACT DUKE ENERGY PRIOR TO THE CONSTRUCTION OF LAKES, PONDS OR RETENTION FACILITIES, ETC. WITHIN THE RIGHTS-OF-WAY LIMITS.
 - DUKE ENERGY DOES NOT OBJECT TO PARKING WITHIN THE RIGHTS OF WAY, PROVIDED THAT:
 - A BARRIER, SUFFICIENT TO WITHSTAND A 15 MPH VEHICULAR IMPACT, SHALL BE ERRECTED BY THE PARTY CONSTRUCTING THE PARKING AREA TO PROTECT THE POLE, TOWER OR GUY ANCHOR. THE BARRIER SHALL BE LOCATED IN SUCH A MANNER AS TO RESTRICT PARKING TO AT LEAST 5 FEET FROM THE STRUCTURE.
 - ANY ACCESS AREAS, ENTRANCES, OR EXITS SHALL CROSS (FROM ONE SIDE TO THE OTHER) THE RIGHTS OF WAY AT OR NEAR RIGHT ANGLES TO THE CENTERLINE, AND SHALL NOT PASS WITHIN 25 FEET OF ANY STRUCTURE. PARKING LOT ENTRANCES/EXITS CANNOT CREATE AN INTERSECTION WITHIN THE RIGHTS OF WAY.
 - LIGHTING STRUCTURES WITHIN THE RIGHTS-OF-WAY LIMITS MUST BE APPROVED BY DUKE ENERGY BEFORE INSTALLING. TOTAL HEIGHT MAY NOT EXCEED 15 FEET.
 - SIGNS AND OTHER ATTACHMENTS TO DUKE ENERGY STRUCTURES ARE PROHIBITED.
 - DUKE ENERGY CAROLINAS WILL NOT OBJECT TO CERTAIN VEGETATION PLANTINGS AS LONG AS:
 - IT DOES NOT INTERFERE WITH THE ACCESS OF EXISTING STRUCTURES OR THE SAFE AND RELIABLE OPERATION AND MAINTENANCE OF THE LINE.
 - WITH PRIOR WRITTEN APPROVAL, DUKE ENERGY CAROLINAS DOES NOT OBJECT TO PLANTS, SHRUBS AND TREES THAT ARE OF A SPECIES THAT WILL NOT EXCEED, AT MATURITY, FIFTEEN (15) FEET IN HEIGHT.
 - DUKE ENERGY CAROLINAS RESERVES THE RIGHT TO OBJECT TO THE PLANTING OF ALL PLANTS, SHRUBS AND TREES WITHIN THE RIGHT OF WAY EASEMENT THAT MAY INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE OF THE LINE.
 - DUKE ENERGY CAROLINAS MAY EXERCISE THE RIGHT TO CUT "DANGER TREES" OUTSIDE THE RIGHTS OF WAY LIMITS AS AUTHORIZED BY THE RIGHT OF WAY AGREEMENT APPLICABLE TO THE SUBJECT PROPERTY AND AS REQUIRED TO PROPERLY MAINTAIN AND OPERATE THE TRANSMISSION LINE.



RIVERMIST SUBDIVISION
 SOUTH POINT ROAD
 BELMONT, NC

SHINNILLE RIDGE PARTNERS, LLC
 20607 BETHEL CHURCH ROAD
 CORNELIUS, NC 28031

SITE PLAN - SITE EAST

REVISIONS		
2	11/27/18	BELMONT COMMENTS
3	9/4/19	NS COMMENTS
4	9/24/19	BELMONT COMMENTS
5	10/30/20	NS COMMENTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 CAD FILE: 18-017 BASE.DWG
 PROJECT NO.: 18-017
 DESIGNED BY: TAP
 REVIEWED BY: JDM
 DATE: OCTOBER 8, 2018

C2.3